



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: July 29, 2010
HEARING DATE: August 4, 2010
TO: Historic Preservation Commission
FROM: Pilar LaValley, Preservation Technical Specialist
REVIEWED BY: Tim Frye, Acting Preservation Coordinator
RE: Request for Review per Eastern Neighborhoods Interim Permit Review Procedures for Historic Resources
Case No. 2009.0880E
2100 Mission Street
3576/001

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROPERTY DESCRIPTION

2100 MISSION STREET, located at the southwest corner of Mission and 17th Streets, in Assessor's Block 3576, Lot 001. The parcel is zoned Mission NCT (Neighborhood Commercial Transit) District, is in a 65-B Height and Bulk District, and is within the Mission Area Plan. The subject property contains a one-story, reinforced concrete, commercial building, constructed in 1963.

PROJECT DESCRIPTION

The proposed project is to demolish the existing building and construct a new six-story, 65'-0" tall building containing 29 residential units over a ground floor commercial space. There would be below-grade parking for 15 vehicles and 26 bicycle parking spaces as well as a mini-park along the west elevation of the proposed building. Schematic designs and renderings of the proposed project have been developed by Stanley Saitowitz / Natoma Architects, Inc., dated June 11, 2009.

INTERIM PERMIT REVIEW PROCEDURES

The project is subject to the Eastern Neighborhoods Area Plan Interim Permit Review Procedures for Historic Resources in effect until the Historic Preservation Commission adopts the Historic Resource Survey. Under these procedures, there are two types or levels of review.

- The first is for projects that require California Environmental Quality Act (CEQA) review for properties constructed prior to 1963 that propose demolition or major alteration within the Plan Area. These projects are forwarded in the Commission packets to the Historic Preservation Commissioners for comment with information about the proposed project and a copy of the Environmental Evaluation application. No public hearing is required for this type of project.
- The second type is for proposed new construction within the entire areas covered by the Area Plan that is over 55 feet in height or 10 feet taller than adjacent buildings, built before 1963. These projects will be forwarded to the Historic Preservation Commission for review and comment during a regularly scheduled hearing with any comments being forwarded to the

Planning Department to be incorporated into the project's final environmental evaluation document.

The proposed project qualifies as a type two project because it is new construction that is over 55 feet in height.

SURVEY

The subject property is located within the area documented in the Inner Mission North Survey (2004), which was adopted by the Landmarks Preservation Advisory Board. At the time of the survey, the subject property was not assessed as it was constructed in 1963 and was not yet 50 years old. The area surrounding the subject property was identified in the survey as two, overlapping, potential historic districts eligible for local listing; Mission Reconstruction District and Inner Mission Commercial Corridor District. The periods of significance for both potential districts were identified as 1906 to 1913. In the Inner Mission North Survey, the subject property was not identified as eligible or potentially eligible for listing in the National or California Register either individually or as a contributor to a National or California Register eligible district.

The Inner Mission Commercial Corridor, identified as a potential historic district that is locally eligible as a collection of pre- and post-1906 residential over commercial and small-scale commercial buildings with a period of significance from 1906 to 1913, includes Mission Street, between 15th and 26th Streets, and 17th Street, between Albion and Shotwell Streets. The Mission Reconstruction District, identified in the Inner Mission North Survey as a potential historic district as a collection of post-1906 reconstruction buildings with a period of significance from 1906 to 1913, includes an area bounded by 12th Street, 20th Street, Market Street, Dolores Street, and South Van Ness Street.

Within the area immediately surrounding the project site, there are only a handful of potential contributory resources built within the periods of significance for both the Commercial Corridor and Reconstruction districts, and the overall visual continuity of the potential districts is low. A three-story residential over commercial building (constructed in 1912) is located directly south of the subject property and a four-story, residential building (constructed in 1925) is located directly west.

ENVIRONMENTAL REVIEW STATUS

The Planning Department is in the process of reviewing the Environmental Evaluation application for the proposed projects. A Historic Resource Evaluation report (HRE), prepared by Knapp Architects, has been submitted for review with findings that the subject property does not appear to be a historical resource and that the proposed project does not appear to constitute a significant impact to off-site historical resources. The Department preliminarily concurs with these findings although we disagree with the Knapp report finding that the proposed new construction is compatible with the character-defining features of the potential historic districts. While the proposed project does not fully conform to the *Secretary's Standards*, it does not appear that it would materially impair the diverse setting of the potential districts such that they could no longer convey historic significance.

These potential historic districts cover numerous blocks of the Mission neighborhood and have a fairly narrow period of significance (1906-1913). This means that while a majority of buildings in the

potential districts were initially constructed during this busy phase of reconstruction, there are also a large number of properties that have been developed, or redeveloped, since 1913. Therefore, an existing characteristic of the potential districts is that potential contributing buildings are intermingled with numerous buildings that do not contribute, and that overall visual continuity within the districts is low. This seems particularly true at the project site where the concentration of potential contributors is quite low and where there are several larger buildings built in the 1920s to present.

In this diverse context, the proposed project would replace a non-contributor with a contemporary design that is clearly differentiated from the old. Like its neighbors, the proposed building is built to the lot lines and provides setbacks that focus the massing toward the street intersection as appropriate for a corner building. The setback on the east elevation steps the building down toward the shorter buildings along Mission Street while the side setback at the west elevation provides a physical and visual break with buildings on 17th Street. While the proposed design does not “establish linkages with design characteristics of the surrounding buildings,”¹ and is not compatible with architectural features of the surroundings per Standard 9 of the *Secretary of the Interior’s Standards for Rehabilitation (Secretary’s Standards)*, it does not appear that it would materially impair the diverse setting of the potential districts such that they could no longer convey historic significance.

Therefore, the Department’s preliminary findings is that while the proposed project does not fully conform to the *Secretary’s Standards*, it does not appear that it would result in an adverse effect to off-site historic resources including the potential Inner Mission Commercial Corridor District or the Mission Reconstruction District.

ACTION

The Department is requesting the comments of the Historic Preservation Commission as part of the Department’s preparation of documentation pursuant to the CEQA, and prior to public notification of the proposed project. Pursuant to the Eastern Neighborhoods Interim Permit Review Procedures, which are intended as a precautionary measure against the loss of potential historical resources in the interim period between Plan adoption and Survey completion, the Department seeks comments on the following aspects of the proposed project:

- Whether the level of historical resource evaluation and analysis of potential impacts pursuant to the CEQA appears appropriate.
- Whether the proposed project poses a potential significant impact to historical resources. If so, what revisions would be recommended to reduce such potential impacts?

ATTACHMENTS

Sanborn Map

Aerial Photographs

Project Sponsor Environmental Evaluation Application

Project Sponsor Plans and photographs

¹ San Francisco Planning Department, *Inner Mission North 1853-1943 Context Statement*, 2005, p. 42.



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion

HEARING DATE: August 4, 2010

Date: July 29, 2010
Case No.: 2009.0880E
Project Address: 2100 Mission Street
Zoning: Mission Street NCT (Neighborhood Commercial Transit) District
65-B Height and Bulk District
Block/Lot: 3576/001
Project Sponsor: David Silverman
Reuben and Junius, LLP
One Bush Street, Suite 600
San Francisco, CA 94104
Staff Contact: Pilar LaValley – (415) 575-9084
pilar.lavalley@sfgov.org
Reviewed By: Tim Frye, Acting Preservation Coordinator

1650 Mission St.
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San Francisco,
CA 94103-2479

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ADOPTING FINDINGS RELATED TO THE INTERIM PROCEDURES FOR PERMIT REVIEW IN THE EASTERN NEIGHBORHOODS PLAN AREA FOR THE PROPOSED DEMOLITION OF AN EXISTING ONE-STORY, INDUSTRIAL/COMMERCIAL BUILDING CONSTRUCTED IN 1963 AND CONSTRUCTION OF A SIX-STORY, 65'-0" TALL, BUILDING FOR RESIDENTIAL OVER COMMERCIAL AND PARKING AT 2100 MISSION STREET (ASSESSOR'S BLOCK 3576, LOT 001), LOCATED WITHIN MISSION STREET NCT (NEIGHBORHOOD COMMERCIAL TRANSIT) DISTRICT AND A 65-B HEIGHT AND BULK DISTRICT.

PREAMBLE

1. On August 7, 2008, the San Francisco Planning Commission certified the Final Environmental Impact Report (FEIR) for the Eastern Neighborhoods Rezoning and Area Plans (Case No. 2004.0160E). The FEIR analyzed amendments to the Planning Code and Zoning Maps and to the Eastern Neighborhoods, an element of the San Francisco General Plan. The FEIR analysis was based upon an assumed development and activity that were anticipated to occur under the Eastern Neighborhoods Rezoning and Area Plans.
2. The FEIR provided Interim Permit Review Procedures for Historic Resources that would be in effect until the Historic Preservation Commission (HPC) adopts the Historic Resource Survey. These procedures were developed to provide additional protection for potential historic resources within the Plan Area while the historic resources survey is being completed. Once the historic resources survey is endorsed and the Plan is amended to incorporate the results of the survey, these policies would expire and the Preservation Policies in the Area Plan would become effective.

There are two types of review per the Interim Procedures. The first type is for projects that propose demolition or major alteration to a property constructed prior to 1963 within the Plan Area. These

projects shall be forwarded in the Commission packets to the Historic Preservation Commission for comment with information about the proposed project and a copy of the Environmental Evaluation application. The HPC members may forward comments directly to the Environmental Review Officer and Preservation Coordinator. No public hearing is required.

The second type of review is for projects that propose new construction within the Plan Area over 55 feet, or 10 feet taller than adjacent buildings, built before 1963. These projects shall be forwarded to the HPC for review and comment during a regularly scheduled hearing. After such hearing, the HPC's comment will be forwarded to the Planning Department for incorporation into the project's final submittal and in advance of any required final hearing before the Planning Commission.

3. On September 21, 2009, pursuant to the provisions of the California Environmental Quality Act ("CEQA"), the State CEQA Guidelines, and Chapter 31 of the San Francisco Administrative Code, the Planning Department ("Department") received an Environmental Evaluation Application form for the Project, in order that it might conduct an initial evaluation to determine whether the Project might have a significant impact on the environment.
4. On August 4, 2010, the Department presented the proposed project to the Historic Preservation Commission. The Commission's comments would be forwarded to the Planning Department for incorporation into the project's final submittal and in advance of any required final hearing before the Planning Commission.

COMMENTS

Having reviewed the materials identified in the recitals above, and having heard all testimony and arguments, this Commission has provided the following comments regarding the proposed project:

- 1.
- 2.
- 3.
- 4.

I hereby certify that the foregoing Motion was ADOPTED by the Historic Preservation Commission at its regularly scheduled meeting on August 4, 2010.

Linda D. Avery
Commission Secretary

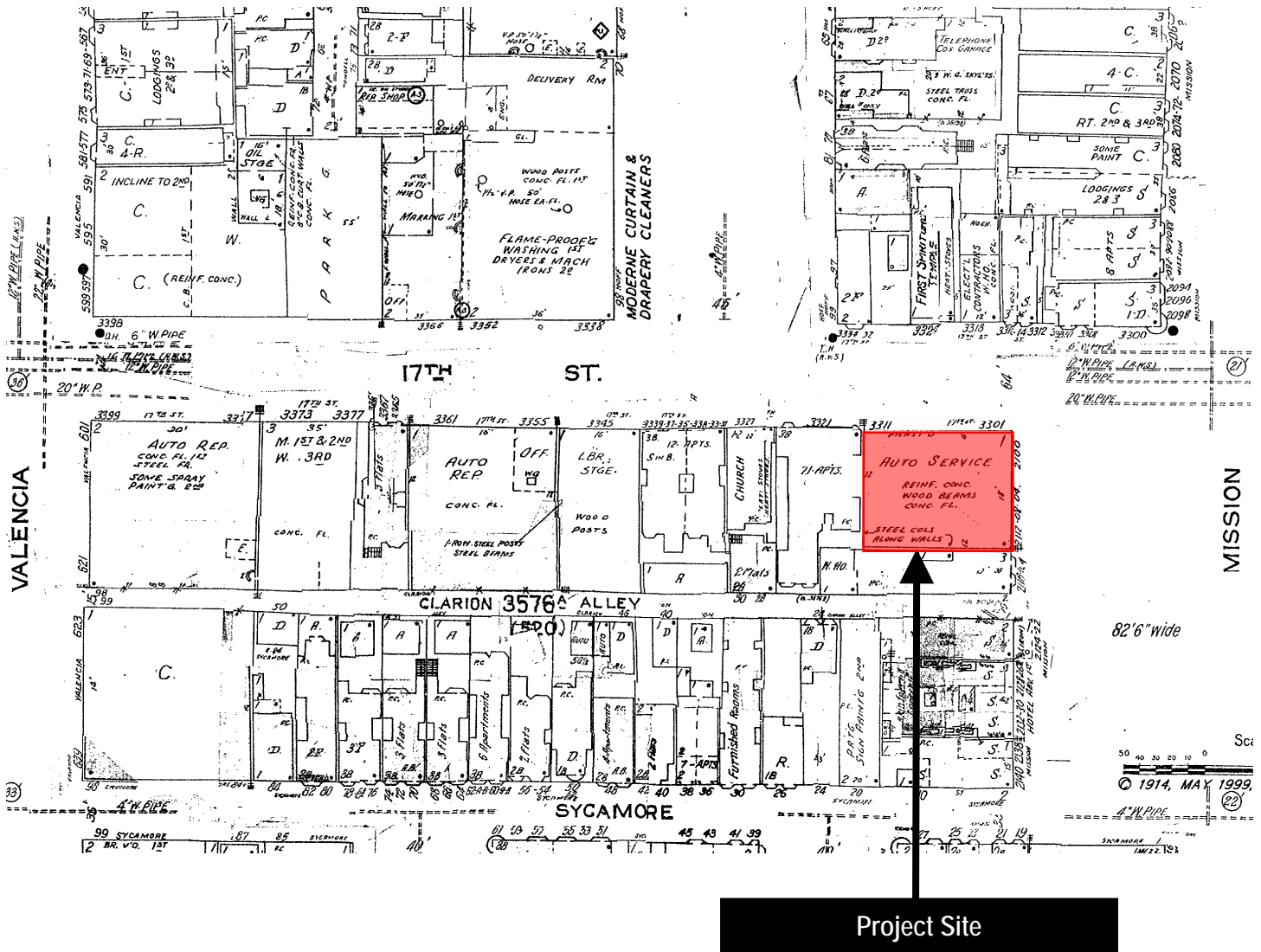
AYES:

NAYES:

ABSENT:

ADOPTED: August 4, 2010

Sanborn Map*



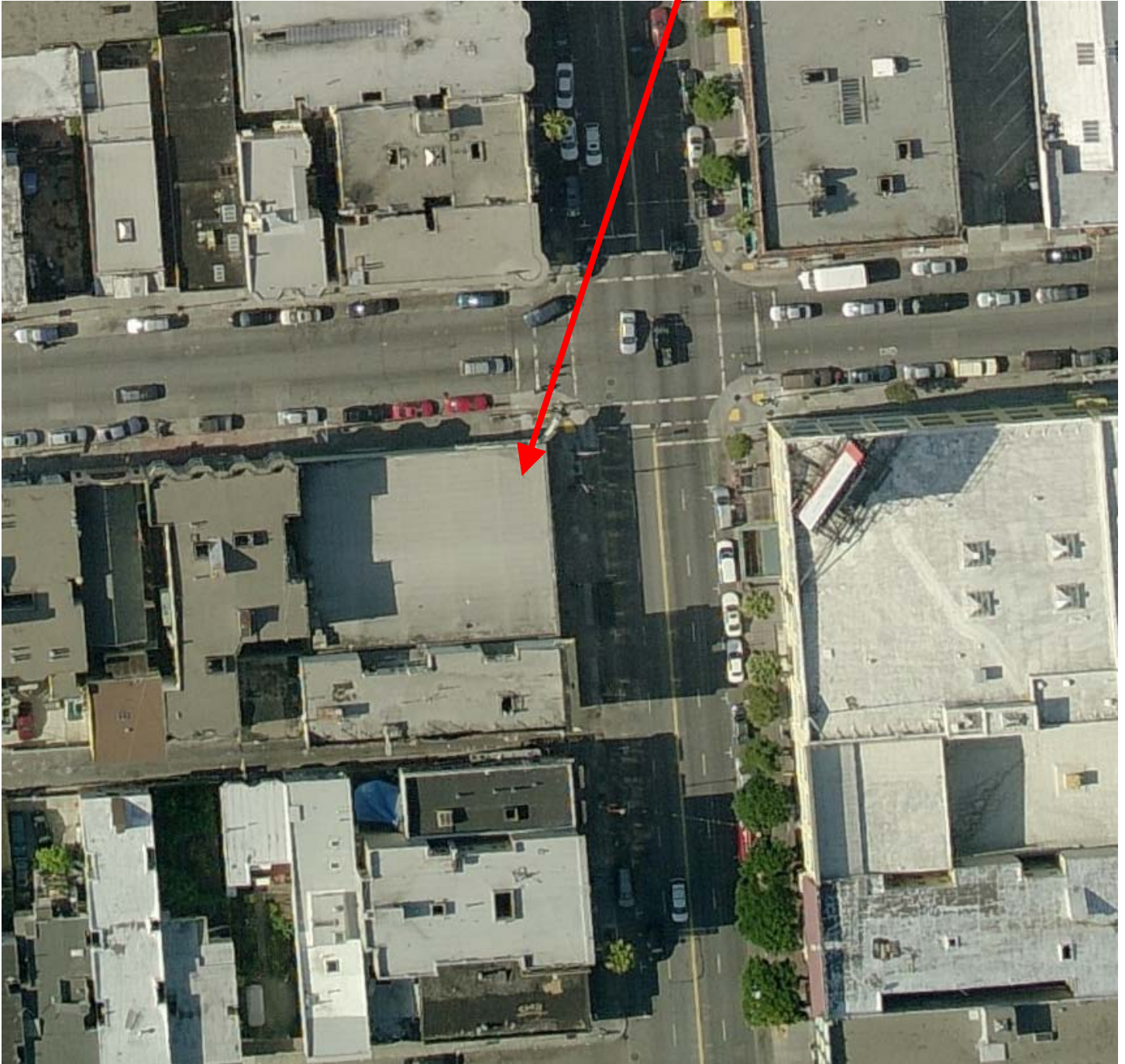
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



EN Review and Comment
2009.0880E
2100 Mission Street

Aerial Photo

Project Site



Aerial Photo



Project Site



Aerial Photo



Project Site



EN Review and Comment
2009.0880E
2100 Mission Street



**SAN FRANCISCO
PLANNING DEPARTMENT**

Date received:

Environmental Evaluation Application

The California Environmental Quality Act (CEQA) requires public agencies to review the environmental impacts of proposed projects. In San Francisco, environmental review under CEQA is administered by the Major Environmental Analysis (MEA) division of the Planning Department. The environmental review process begins with the submittal of a completed Environmental Evaluation (EE) Application to the Planning Department. Only the current EE Application form will be accepted. No appointment is required but staff is available to meet with applicants upon request.

The EE Application will not be processed unless it is completely filled out and the appropriate fees are paid in full. Checks should be made payable to the San Francisco Planning Department. See the current *Schedule of Application Fees* and contact the staff person listed below for verification of the appropriate fees. Fees are generally non-refundable. **Documents in italics are available online at sfgov.org/planning.**

The EE Application is comprised of four parts. Part 1 is a checklist to ensure that the EE Application is complete; Part 2 requests basic information about the site and the project; Part 3 is a series of questions to help determine if additional information is needed for the EE Application; and Part 4 is a project summary table.

The complete EE Application should be submitted to the Planning Department staff as follows: For projects greater than 10,000 square feet in size and where Part 3 Questions #3, #8, #10, or #11 are answered in the affirmative, or for projects that require mitigation measures, please send the application materials to the attention of Ms. Kienker. For all other projects, please send the application materials to the attention of Mr. Bollinger.

Brett Bollinger
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9024, brett.bollinger@sfgov.org

Leigh Kienker
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9036, leigh.kienker@sfgov.org

PART 1 – EE APPLICATION CHECKLIST	Provided	Not Applicable
Two copies of this application with all blanks filled in	<input checked="" type="checkbox"/>	
Two sets of project drawings (see "Additional Information" at the end of page 4,)	<input checked="" type="checkbox"/>	
Photos of the project site and its immediate vicinity, with viewpoints labeled	<input checked="" type="checkbox"/>	
Fee	<input checked="" type="checkbox"/>	
<i>Supplemental Information Form for Historical Resource Evaluation</i> and/or <i>Historic Resource Evaluation Report</i> , as indicated in Part 3 Questions 1 and 2	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Geotechnical Report</i> , as indicated in Part 3 Questions 3a and 3b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Tree Disclosure Statement</i> , as indicated in Part 3 Question 4	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Phase I Environmental Site Assessment, as indicated in Part 3 Question 8	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Additional studies (list) <i>Geotechnical Report</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicant's Affidavit. I certify the accuracy of the following declarations:

- The undersigned is the owner or authorized agent of the owner(s) of this property.
- The information presented is true and correct to the best of my knowledge.
- I understand that other applications and information may be required.

Signed (owner or agent):

David Silverman

Date:

8-14-09

(For Staff Use Only) Case No. _____

Address: 2100 Mission Street

Block/Lot: 3576/001

PART 2 – PROJECT INFORMATION

Property Owner	<u>Timothy Muller</u>	Telephone No.	<u>415-433-8620</u>
Address	<u>300 Montgomery Street, Suite 800</u>	Fax No.	<u>415434-3603</u>
	<u>San Francisco, CA 94104</u>	Email	
Project Contact	<u>David Silverman</u>	Telephone No.	<u>415-567-9000</u>
Company	<u>Reuben and Junius, LLP</u>	Fax No.	<u>415-399-9480</u>
Address	<u>One Bush Street, Suite 600</u>	Email	<u>dsilverman@reubenlaw.com</u>
	<u>San Francisco, CA 94104</u>		

Site Address(es):	<u>2100 Mission Street</u>		
Nearest Cross Street(s)	<u>Corner of 17th Street</u>		
Block(s)/Lot(s)	<u>3576/001</u>	Zoning District(s)	<u>Mission NCT</u>
Site Square Footage	<u>6,370 sq.ft.</u>	Height/Bulk District	<u>65-B</u>
Present or previous site use	<u>Retail "Dollar" Store</u>		
Community Plan Area (if any)	<u>Mission Plan Area</u>		

- | | | | |
|---|---|---|--|
| <input type="checkbox"/> Addition | <input checked="" type="checkbox"/> Change of use | <input type="checkbox"/> Zoning change | <input checked="" type="checkbox"/> New construction |
| <input type="checkbox"/> Alteration | <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Lot split/subdivision or lot line adjustment | |
| <input type="checkbox"/> Other (describe) | | Estimated Cost | <u>\$4,000,000</u> |

Describe proposed use New mixed-use residential and commercial building

Narrative project description. Please summarize and describe the purpose of the project.

Replace existing one story commercial building constructed in 1963 that covers the entire site with a new mixed-use building comprising 29 residential units, and 14 residential parking spaces, with one commercial parking space.

All off-street parking will be located within an underground garage. Twenty-six bicycle stalls will be provided.

Unit size will be two - 1 bedroom, fifteen - 1.5 bedroom, and twelve - 2 bedroom units.

A 25% rear yard (1,526 s.f.) will be provided.

PART 3 – ADDITIONAL PROJECT INFORMATION	Yes	No
1. Would the project involve a major alteration of a structure constructed 50 or more years ago or a structure in an historic district? If yes, submit a <i>Supplemental Information Form for Historical Resource Evaluation</i> . Instructions on how to fill out the form are outlined in the <i>San Francisco Preservation Bulletin No. 16</i> (see pages 28-34 in Appendix B).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Would the project involve demolition of a structure constructed 50 or more years ago or a structure located in an historic district? If yes, a Historic Resource Evaluation Report (HRER)* will be required. The scope of the HRER will be determined in consultation with the Department's Preservation Coordinator.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3a. Would the project result in excavation or soil disturbance/modification greater than 10 feet below grade? If yes, how many feet below grade would be excavated? <u>10 feet</u> What type of foundation would be used (if known)? <u>Mat Slab</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3b. Is the project site located in an area of potential geotechnical hazard as identified in the San Francisco General Plan or on a steep slope or would the project be located on a site with an average slope of 20% or more? If yes to either Question 3a or 3b, please submit a Geotechnical Report.*	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Would the project involve expansion of an existing building envelope, or new construction, or grading, or new curb cuts, or demolition? If yes, please submit a <i>Tree Disclosure Statement</i> .	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Would the project result in ground disturbance of 5,000 gross square feet or more?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Would the project result in any construction over 40 feet in height? If yes, apply for a Section 295 (Proposition K) Shadow Study. This application is available on the Planning Department's website and should be submitted at the Planning Information Center , 1660 Mission Street, First Floor.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Would the project result in a construction of a structure 80 feet or higher? If yes, an initial review by a wind expert, including a recommendation as to whether a Wind Analysis* is needed, may be required, as determined by Department staff.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Would the project involve work on a site with an existing or former gas station, auto repair, dry cleaners, or heavy manufacturing use, or a site with underground storage tanks? If yes, please submit a Phase I Environmental Site Assessment (ESA).* A Phase II ESA (for example, soil testing) may be required, as determined by Department staff.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Would the project require any variances, special authorizations, or changes to the Planning Code or Zoning Maps? If yes, please describe.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Is the project related to a larger project, series of projects, or program? If yes, please describe.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Is the project in a Community Plan Area? If yes, please identify the area (for example, Market/Octavia). <u>Mission Plan Area</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

* Report or study to be prepared by a qualified consultant who is contracted directly by the project sponsor.

PART 4 – PROJECT SUMMARY TABLE

If you are not sure of the eventual size of the project, provide the **maximum** estimates.

Gross Square Footage (GSF)	Existing Uses	Existing Uses to be Retained	Net New Construction and/or Addition	Project Totals
Residential				
Retail	7,630		2,640	2,640
Office				
Industrial				
Parking				
Other (specify use)				
Total GSF				

Dwelling units	0		29	29
Hotel rooms				
Parking spaces	0		15	15
Loading spaces	0		0	0
Number of buildings	1	0	1	1
Height of building(s)	20 ft.		65 ft.	65 ft.
Number of stories	2		6 plus basement	6 plus basement

Please describe any additional project features that are not included in this table:

Additional Information: Project drawings in 11x17 format should include existing and proposed site plans, floor plans, elevations, and sections, as well as all applicable dimensions and calculations for existing and proposed floor area and height. The plans should clearly show existing and proposed off-street parking and loading spaces; driveways and trash loading areas; vehicular and pedestrian access to the site, including access to off-street parking and parking configuration; and bus stops and curbside loading zones within 150 feet of the site. A **transportation study** may be required, depending on existing traffic conditions in the project area and the potential traffic generation of the proposed project, as determined by the Department's transportation planners. **Neighborhood notification** may also be required as part of the environmental review processes.

Timothy Muller
300 Montgomery Street, Suite 800
San Francisco, CA 94104

July 2, 2009

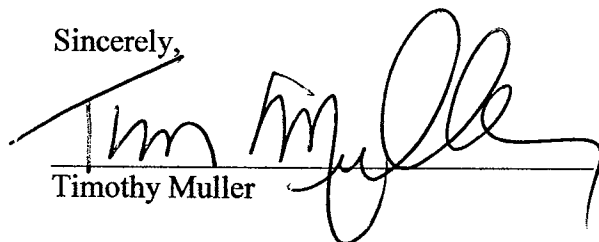
Planning Department
City and County of San Francisco
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: Property Address: 2100 Mission Street
Block/Lot: 3576/001
Subject: Project Applications and Processing

Dear Sir/Madam:

Timothy Muller is the owner of 2100 Mission Street. Timothy Muller hereby authorizes the law firm of Reuben and Junius LLP and its employees and agents to take all necessary action including, but not limited to, the signing of documents, in furtherance of the processing of all required environmental review and land use entitlement applications for 2100 Mission Street.

Sincerely,


Timothy Muller



PLANNING DEPARTMENT

Tree Disclosure Statement

1. REQUIREMENTS

The Department of Public Works Code Section 8.02-8.11 requires disclosure and protection of landmark, significant and street trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include building envelope expansion, new curbcuts, new garages, and all demolition or grading permit applications.

Protected trees include street trees and both significant trees and landmark trees on or over a development. Protected trees *must be protected* according to a protection plan developed by a certified arborist before demolition, grading or construction begins. Any tree identified in this Disclosure Statement must be shown on the Site Plans with size of the trunk diameter, tree height, and accurate canopy dripline.

If the protected tree is to remain and if activity occurs within the dripline, prior to building permit issuance, a tree protection plan prepared by an International Society of Arboriculture (ISA) certified arborist is to be submitted to the Planning Department on a full-sized plan sheet. The protection plan must state specific measures which if applied before construction can reasonably be expected to preserve the health of the tree. Additionally, the arborist must include a written statement to the Department of Building Inspection (DBI) verifying that the specified protections will be in place before demolition, grading or building permit will be issued, unless the Department of Public Works (DPW) waives or modifies these requirements.

If the applicant seeks to remove a Protected Tree, the applicant must get a tree removal permit from DPW before the Planning Department permit is issued. Illegally removing a protected tree may constitute a violation of the San Francisco Public Works Code Section 8.11, which can lead to criminal and/or civil legal action and the imposition of administrative fines.

2. APPLICANT'S CERTIFICATION & CONTACT INFORMATION

I hereby attest under penalty of perjury that the information I have entered on this document is true and correct to the best of my knowledge, and that I have read and understood this form, and that I am the property owner or designee of the property owner, familiar with the property, and able to provide accurate and complete information herein.

David Silverman

Attorney

Print Name

Title

One Bush Street, Suite 600

(415) 567-9000

Mailing Address: Street

Phone

San Francisco, CA 94104

Fax: (415) 399-9480

E-mail: dsilverman@reubenlaw.com

Mailing Address: City, State, Zip

Fax # or Email Address

3. PROTECTED TREES

The applicant must answer questions in the following table:

A	SIGNIFICANT TREES	Qty
	Are there any trees within 10-feet of a lot line abutting a public right-of-way that are above 20-feet in height, or with a canopy greater than 15-feet in diameter, or with a trunk diameter greater than 12-inches in diameter at breast height? (Check which boxes apply and document quantity of each tree type.)	
	<input type="checkbox"/> Trees on the subject property	
	<input type="checkbox"/> Trees on adjacent property overhanging the project site	
	<input checked="" type="checkbox"/> There are no such trees at these locations.	

If there is no sidewalk, the 10-foot distance is measured from the property line edge of the street. If there are no trees of the above size, go to item B. If any other above boxes are checked, the tree qualifies as a significant tree per DPW Code and is entitled to certain protections. The location and species of all such trees must be drawn on the site plans (if no plans are required for this application the trees must be drawn on the reverse side of this form).

B	LANDMARK TREES	Qty
	Are there any Landmark Trees on the project lot or on lots adjacent to the property? (Check which boxes apply and document quantity of each tree type.)	
	<input type="checkbox"/> Trees on the subject property	
	<input type="checkbox"/> Trees on the adjacent City right-of-way (street trees);	
	<input type="checkbox"/> Trees on adjacent property overhanging the project site	
	<input checked="" type="checkbox"/> There are no such trees at these locations.	

Landmark trees are trees that meet criteria for age, size, shape, species, location, historical association, visual quality, or other contribution to the City's character and have been found worthy of landmark status after public hearings at both the Urban Forestry Council and the Board of Supervisors. Temporary landmark status is also afforded to nominated trees currently undergoing the public hearing process. The Department of Public Works maintains the official "Landmark Tree Book" with all designated landmark trees in San Francisco. The location and species of all such trees must be drawn on the site plans (if no plans are required for this application the trees must be drawn on the reverse side of this form).

C	STREET TREES	Qty
	Are there any street trees on the public right-of-way adjacent to the property that are neither landmark trees nor significant trees? (Check which boxes apply and document quantity of each tree type.)	

<input type="checkbox"/>	Street trees bordering the subject property	
<input checked="" type="checkbox"/>	There are no such trees at these locations.	

Street trees and other public trees are afforded protections even if the trees are not large enough to be protected as landmark trees.

The undersigned agrees to the conditions of this form. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement may lead to denial or rescission of your permit and may constitute a violation of the San Francisco Public Works Code Section 8.11, which can lead to criminal and/or civil legal action and the imposition of administrative fines.

Signature:  Please Print: David Silverman Date: July 2, 2009
Property Owner or Authorized Agent

If you have any questions about this form, or the information required, please contact the Planning Department for assistance at (415) 558-6377.

4. PLANNING DEPARTMENT DETERMINATION

THE INFORMATION BELOW IS TO BE COMPLETED BY PLANNING DEPARTMENT STAFF ONLY

SITE INFORMATION	TREE SUMMARY
2100 Mission Street <i>Project Address</i>	_____ <i>Current number of street trees</i>
3576/001 <i>Block / Lot (s)</i>	_____ <i>Current number of other protected trees as noted herein</i>
_____ <i>Alteration type</i>	_____ <i>Total trees pre-project</i>
_____ <i>Planning Quadrant</i>	_____ <i>Total number of trees post-project</i>

- The proposed project has been declared
- to not have trees subject to any protections.
(DCP STAFF: file this form in historical file.)
 - to have protected trees subject to protections from construction.
(DCP STAFF: ensure that plan set includes tree protection form. After review, file this form in historical file.)
 - to have protected trees planned for removal.
(DCP STAFF: file this form in historical file and notify DPW via urbanforestry@sfdpw.org.)

_____ <i>Signature of Planner</i>	_____ <i>Print Name of Planner</i>	_____ <i>Date Signed</i>
--------------------------------------	---------------------------------------	-----------------------------

5. SITE PLAN

In the absence of a formal landscape plan, use this space to show street, curb, sidewalk, driveway, structure, and all tree locations as required. Protected trees must also include accurate tree height, canopy diameter, and trunk diameter.

None.



MAIN NUMBER
(415) 558-6378

DIRECTOR'S OFFICE
PHONE: 558-6411
4TH FLOOR
FAX: 558-6426

ZONING ADMINISTRATOR
PHONE: 558-6350
5TH FLOOR
FAX: 558-6409

PLANNING INFORMATION
PHONE: 558-6377
MAJOR ENVIRONMENTAL
FAX: 558-5991

COMMISSION CALENDAR
INFO: 558-6422
INTERNET WEB SITE
WWW.SFGOV.ORG/PLANNING

TYPE OF APPLICATION TO BE SUBMITTED: shadow Study (K)

1. OWNER/APPLICANT INFORMATION

PROPERTY OWNER'S NAME: Timothy Muller
 ADDRESS: 300 Montgomery St., Ste. 800, SF ZIP: 94104 TELEPHONE: (415) 433-8620
 APPLICANT'S NAME: Timothy Muller
 ADDRESS: 300 Montgomery St., Ste. 800, SF ZIP: 94104 TELEPHONE: (415) 433-8620
 CONTACT FOR PROJECT INFORMATION: Reuben and Junius, LLP - Attn: David Silverman - dsilverman@reubenlaw.com
 ADDRESS: One Bush St., Ste. 600, SF ZIP: 94104 TELEPHONE: (415) 399-9480

2. LOCATION AND CLASSIFICATION

STREET ADDRESS OF PROJECT: 2100 Mission Street ZIP: 94110
 CROSS STREETS: Corner of 17th Street
 ASSESSOR'S BLOCK/LOT: 3576/001 LOT DIMENSIONS: _____ LOT AREA (SQ.FT.): 6,370 s.f.
 ZONING DISTRICT: Mission NCT HEIGHT /BULK DISTRICT: 65-B

3. PROJECT DESCRIPTION

PLEASE CHECK:

CHANGE OF USE CHANGE OF HOURS NEW CONSTRUCTION
 ALTERATIONS DEMOLITION OTHER

DESCRIBE WHAT IS TO BE DONE:

Replace existing one story commercial building constructed in 1963 that covers the entire site with a new mixed-use building comprising 29 residential units, and 14 residential parking spaces, with one commercial parking space. All off-street parking will be located within an underground garage. Twenty-six bicycle stalls will be provided. Unit size will be two-1 bedroom, fifteen - 1.5 bedroom, and twelve - 2 bedroom units. A 25% rear yard (1,526 s.f.) will be provided.

ADDITIONS TO BUILDING:

REAR FRONT HEIGHT SIDE YARD

PRESENT OR PREVIOUS USE: Retail "Dollar" Store

PROPOSED USE: New mixed-use residential and commercial building.

BUILDING PERMIT APPLICATION NO. _____ DATE FILED: _____

4. ACTION(S) REQUESTED INCLUDING PLANNING CODE SECTION WHICH AUTHORIZES ACTION

Building permit.

5. APPLICANT'S AFFIDAVIT

UNDER PENALTY OF PERJURY THE FOLLOWING DECLARATIONS ARE MADE:

- A. THE UNDERSIGNED IS THE OWNER OR AUTHORIZED AGENT OF THE OWNER OF THIS PROPERTY.
- B. THE INFORMATION PRESENTED IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

SIGNED _____

David Silverman, Attorney
 (PRINT NAME OF APPLICANT IN FULL)

DATE: 8-14-09



Address **2096 Mission St**

Address is approximate

Street view of 2100 Mission from the northeast corner of Mission and 17th Streets





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2 1 0 0 M I S S I O N

STANLEY SAITOWITZ | NATOMA ARCHITECTS INC.















GENERAL

- The Contractor will visit the site and be fully cognizant of all existing conditions prior to submitting any proposals or bids. If any asbestos or lead materials are discovered, then the Contractor will be responsible to coordinate with the Owner, as required by these conditions, prior to the beginning of this project. If the Contractor participates in any portion of the removal process, his coordination with the Owner, then the Contractor will provide the Owner with a written statement releasing the owner of any future liability from the Contractor, his employees and any subcontractors hired by the Contractor related to this work.
- All work to be performed in accordance with all applicable codes, laws, ordinances and regulations, which relate to this project. It is the responsibility of the Contractor to notify the Designer at once upon discovery of any conflicts or discrepancies between the aforementioned and the drawings and specifications of this project. These drawings and specifications do not represent an assessment of the presence or absence of any toxic or hazardous materials on this project site. The Owners are sole responsible for such an assessment and should be consulted for any questions, therein. If the Contractor discovers any toxic or hazardous materials, as defined by the appropriate governing authorities, in the course of his work, he must notify the Owners in writing, as per the guidelines of all governing ordinances. The Contractor will resolve the applicable regulations and procedures with the owner at the time of discovery.
- The Contractor will coordinate and be responsible for all work by his subcontractors and their compliance with all these General Notes. The Contractor will identify any conflicts between the work of the subcontractors, as directed by these drawings, during the layout of the affected trades. The Contractor will review these conditions with the Designer for design conformance before beginning any installation.
- The Contractor will field verify all existing and proposed dimensions and conditions. It is the responsibility of the contractor to notify the designer at once upon the discovery of any conflicts or discrepancies between the aforementioned and the drawings and specifications of this project. The Contractor should follow dimensions and should not scale these drawings. If dimensions are required but not shown, then the Contractor shall notify the Designer at once.
- Any changes, alternatives or modifications to these drawings and specifications must be approved in writing from the Designer and Owner, and only when such written approval clearly states the agreed cost or credit of the change, alternative or modification to this project.
- The intent of these drawings and specifications are to include all items necessary for a complete job. The Contractor will provide all materials, labor and expertise necessary to achieve a complete job as shown in these drawings and specifications or not shown, but intended. The Contractor is fully responsible for construction means, methods, techniques, sequences and procedures for the work shown on these drawings and specifications. It is the Contractor's responsibility to enact the aforementioned in compliance with generally accepted standards of practice for the construction industry for the type of work shown on these drawings and specifications. The Designer reserves the right of review for all materials and products, for which no specific brand name or manufacturer is identified in these drawings and specifications. The contractor shall verify with the designer the need for shop drawings or samples of materials and products, which were not identified in these drawings and specifications, as well as any material, products or equipment substitutions proposed in place of those items identified in these drawings and specifications.
- It is the Contractor's responsibility to verify and coordinate all utility type connections. Utility Company's requirements and include any related costs associated with this responsibility in their proposal or bid. The Contractor is responsible for writing letters of confirmation regarding operative agreements for this project between the Contractor and the local fire department, the local water agency, the local natural or propane gas provider, the local electricity provider, the local telephone service provider, the local cable TV provider, the local security service provider and any unannounced utility type service provider. The Contractor will provide copies of any such agreements to the Designer and Owner, if required or requested.
- The Contractor is fully responsible to enact the appropriate safety precautions required to maintain a safe working environment. The Contractor will, also, indemnify and hold harmless the Owner, the Designer their Consultants, and their Employees from and against any claims for damages, including any injury claims by the Contractor, his Employees, his Subcontractors or anyone he allows into the construction site which result from the Contractor's performance of the work shown on these drawings and specifications. The Contractor will carry the appropriate Workman's Compensation and Liability Insurance as required by the local government agency having jurisdiction for this issue, as well as comply with the generally accepted industry standards of practice for a project of this scope. It will be the responsibility of the Contractor to verify with the Owner, if he will be required to carry fire insurance or other types insurance for the duration of the project. He should also assist the Owner in identifying the amount of coverage required.
- The Contractor will maintain a clean and orderly job site on a daily basis. The Contractor will not unreasonably encumber the site with materials or equipment. The Contractor will not endanger the existing structures and any newly constructed structure by overloading the aforementioned with materials or equipment. The Contractor will be responsible to provide temporary enclosures to protect the existing structure and any newly constructed structures from the ill effects of weather for the duration of the entire construction process.
- The Contractor is fully responsible for any damage by him or his subcontractors to any existing structure or work, any structure or work in progress, unused material intended for use in the project or any existing site condition within the scope of work intended by these drawings and specifications. This responsibility will include any materials and labor required to correct such damage to the Owner's satisfaction at no cost to the Owner unless agreed to by the Owner in writing. The Contractor will guarantee all work by him, his employees and his subcontractors against all defects or errors, that become apparent within one year of the completion of the project as accepted by the Owner. Any and all defects and errors, which do become apparent, will be repaired by the Contractor to the Owner's satisfaction at no cost to the Owner for materials or labor. Alterations or changes to this warranty must be mutually agreed to in writing by both the contractor and the Owner.
- It is the responsibility of the Contractor to verify the appropriateness of the application for all the product selections shown or intended in these drawings and specifications. The intended meaning of appropriateness is the proper system, model and specific selection required for the intended use as shown on these drawings and specifications. The contractor is responsible to verify the most current model name or number from the selected manufacturer. The Contractor is responsible to verify that any installers, which he selects for the various products, will follow all that product manufacturer's required and recommended methods and procedures to achieve the desired results claimed by such manufacturers for their products. In addition, these drawings and specifications identify some required systems and products in generic terms. The Contractor is responsible to make specific selections for these systems and products, which satisfy the some conditions outlined above the identified manufacturer items.
- It is the intent of these drawings and specifications to identify the scope of work for a design and build type of electrical installation. It will be the responsibility of the contractor to provide the necessary labor familiar with this type of installation, as well as all materials, tools, equipment, transportation, temporary construction and any special or occasional services required to install a complete working electrical system, as diagrammatically described and shown in these drawings and specifications. The Contractor will, also, be responsible to verify any information, which is not indicated in these drawings and specifications, but required for his performance of the installation.
- It is the intent of these drawings and specifications to identify the scope of work for a design and build type of mechanical and plumbing installation. It will be the responsibility of the Contractor to provide the necessary labor familiar with this type of installation, as well as all materials, tools, equipment, transportation, temporary construction and any special or occasional services required to install a complete working mechanical and plumbing system, as diagrammatically described on shown in these drawings and specifications. The Contractor will, also, be responsible to verify any information, which is not indicated in these drawings and specifications, but required for his performance of the installation.
- If the Contractor finds fault, disagrees, objects or would like to change the scope of these conditions and his stated responsibilities, as outlined in these General Notes, then the Contractor must resolve such changes with the Owner in writing before signing a contract. Failure to do so will constitute an understanding of these General Notes and their acceptance by the Contractor.
- The Contractor will identify which permits he expects to obtain and which permits and application fees he expects the Owner to provide for him in his proposal or bid.
- The Contractor is responsible to identify any conflicts between his contract with the Owner and these drawings. These conflicts will be reviewed by the designer, the Contractor and the Owner, in order to amend one of these documents before the start of the construction. If a conflict is discovered without this prior resolution, then these drawings will take precedence over any other documents, in resolving a conflict.
- Site meetings will be held once every other week with the Owner, the Designer and the Contractor, unless they are mutually changed or cancelled. The Contractor will keep written notes of all relevant information discussed at these meetings and provide copies of them to the Owner and the Designer. The Designer will provide any requested sketches or any other information, which is required and requested during these meetings.
- The Designer will write and issue field orders for changes to the drawings and specifications, as requested by Owner or the Contractor. If additional (or deletion) cost to the project is required, then these field orders will be the basis of a change order.
- The Contractor will write and issue all change orders, which will include a cost breakdown for all the work described in such a change order. Any change order will not be binding to the Owner, until both the Contractor and the Owner have signed it.
- Upon substantial completion the Contractor will notify the Designer, who will coordinate a walk of the project with the Owner and the Contractor and then provide a punch list of items to complete. Arrangements for final payment will be arranged at that time.

CONSTRUCTION NOTES

- The contractor will be responsible to maintain the security of the job site during the construction process until final acceptance by the owner or until an alternate date, as mutually agreed between the owner and the contractor.
- The contractor will verify the rough-in dimensions and requirements from the appropriate manufacturer or fabricator for doors, windows, equipment, cabinetry, plumbing fixtures, electrical fixtures, appliances and any other devices before proceeding to layout areas where such items are located.
- All connections and fasteners are intended to be concealed, unless otherwise noted. Where such devices can not be concealed, as intended, notify the architect for review of design conformance.
- Fire stops shall be provided in the following locations in accordance with S.F. Sec. 708.
 - concealed spaces of stud walls and partitions, including furred spaces, at the ceiling and floor levels and at 10ft. intervals, both vertically and horizontally.
 - At all interconnections between vertical and horizontal spaces such as soffits and drop ceilings.
 - In concealed spaces between stair stringers at the top and the bottom of the run and between studs along and in line with the run of stairs, if the walls under the stairs are unfinished.
 - In openings around vents, pipes, ducts, chimneys, fireplaces, and similar openings which afford a passage for fire at the ceiling and floor levels, with noncombustible materials.
 - At openings between attic spaces and chimney chases for factory-built chimneys.
- The contractor will verify all roof and framing spaces required to be ventilated with the local field inspector and provide the appropriate net free ventilation area, but in no case less than 1/50th of the area of the space to be ventilated. When the means of the ventilation is visible from a commonly used space or passageway to the building, review this situation with the designer for design conformance.
- The contractor will verify and provide the required blocking and backing for all cabinetry, wall mounted accessories, built-in equipment and fixtures.
- The contractor will verify and provide all code required fireproofing at all penetrations into and through floor, wall, ceiling, and roof assemblies.
- All changes in finish floor material shall occur under a threshold, when provided, or at the centerline of a door transition unless otherwise indicated on the drawings.
- The sealant, caulking and flashing locations shown on these drawings are not intended to cover all conditions requiring these products. It is the responsibility of the Contractor to identify all conditions requiring these products and review conditions not identified in the drawings with the Designer for design conformance.
- Complete all work required to meet the State of California Energy Conservation requirements, including but not limited to all mandatory and special features identified in the Title 24 report submitted for this project, as well as any local ordinances and any new requirements identified by the local building field inspector.
- The Contractor will identify in his proposal which utility (water, electricity, telephone, etc.) connections, use and related costs will be included in his overhead and which costs he expects the Owner to provide. Any utility-related cost which is not identified as an Owner-provided item will be assumed to be included in the Contractor's overhead cost.
- The Contractor will identify and provide the required sidewalk and public passage enclosure protection at the affected right-of-way areas. The Contractor will review all intended signage with the Designer for design conformance.

SYMBOLS

-  Reference Point
-  Wall, floor and roof type
-  Door number (for door schedule)
-  Window number (for window schedule)
-  Window number - obscured glass
-  Detail number
-  Sheet location
-  Section number
-  Sheet location
-  Interior elevation number
-  Specific wall
-  Sheet location
-  Sheet note designation and number
-  Room number (for finish schedule)

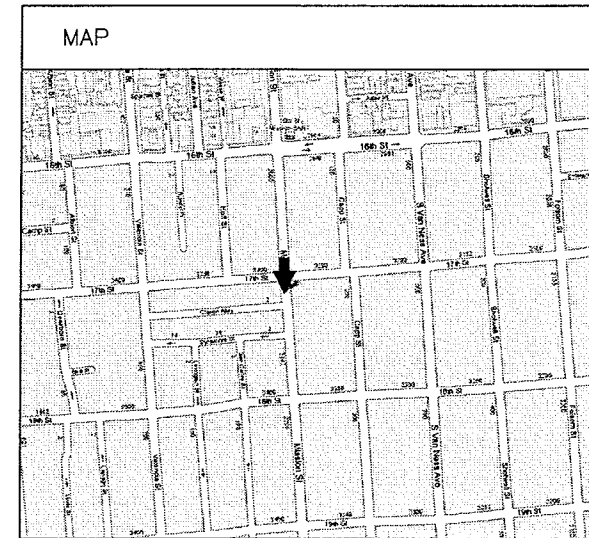
ABBREVIATIONS

A.C./A/C	Asphalt concrete	(E)	Existing	H.P.	High point
ACQUIS.	Adjacent	E.A.	Architect	I.A.	Inside diameter
ADJ.	Adjacent	ELEC.	Electrical	I.O.	Inside diameter
ALUM.	Aluminum	ELEV.	Elevation	J.	Joint
AGG.	Aggregate	EQ.	Equip	J.T.	Joint
APPROX.	Approximate	EQUIP.	Equipment	LAM.	Laminate
ARCH.	Architectural/ Architect	EX.	Existing	L.A.R.C.H.	Landscare architect
B.C.	Bottom of conc./ curb	EXT.	Exterior	LAV.	Lavatory
B.D.C.	Bottom of block	F.P.	Face of plywood	L.B.	Lobby
B.M.	Beam	F.F.	Finished Floor	L.T.	Light
B.U.R.	Built-up roof	F.F.	Finished Floor	M.	Maximum
B.W.	Bottom of wall	F.F.	Finished Floor	M.E.C.H.	Mechanical
C.B.	Catch basin	F.L.	Floor	M.F.R.	Manufacturer
C.C.	Centerline	F.M.	Finish	M.N.	Minimum
C.E.	Centerline	F.N.	Foundation	M.S.C.	Miscellaneous
C.M.	Concrete masonry unit	F.O.C.	Face of concrete	M.T.D.	Mounted
C.N.T. J.	Control joint	F.O.F.	Face of framing	M.T.L.	Metal
C.O.	Column	F.O.P.	Face of flush	N.	North
COL.	Column	F.O.P.	Face of flush	N.C.	Not in contract
CONC.	Concrete	F.O.P.	Face of plywood	N.M.	Nominal
CONT.	Continuous	F.O.SHT.G.	Face of sheathing	N.I.S.	Not to scale
C.R.	Crab bar	GA.	Gauge	O.C.	On center
C.S.	Galvanized sheet metal	CONC.	Concrete	O.D.	Outside diameter
C.S.M.	Galvanized sheet metal	CONC.	Concrete	OPV.	opening
D.F.	Drinking fountain	C.B.	Crab bar	OPP.	opposite
DIA.	Diameter	C.S.M.	Galvanized sheet metal	OPP.H.D.	Opposite hand
D.M.	Dimensions	G.P.	Gypsum	O.S.	Opposite
D.S.P.	Down	H.C.	Hand-capped	P.F.	Perforated
D.W.S.	Drawings	H.D.E.	Hand-drawn	H.S.	Horse bed
		H.M.	Hollow metal	P.L.	Property line
		HORZ.	Horizontal	P.L.S.	Plaster
				P.W.D.	Plywood
				P.R.	Pair

SHEET INDEX

A-0.1	COVER SHEET	NTS
A-0.4	SITE PLAN	1/32" = 1'-0"
A-1.1	PLAN - BASEMENT PLAN	1/8" = 1'-0"
A-1.2	PLAN - GROUND FLOOR	1/8" = 1'-0"
A-1.3	PLAN - LEVEL 2, 3 AND 4	1/8" = 1'-0"
A-1.4	PLAN - LEVEL 5 AND 6	1/8" = 1'-0"
A-1.5	PLAN - ROOF PLAN	1/8" = 1'-0"
A-2.1	SECTIONS	1/8" = 1'-0"
A-2.2	SECTIONS	1/8" = 1'-0"
A-3.1	ELEVATIONS - EAST (MISSION STREET)	1/8" = 1'-0"
A-3.2	ELEVATIONS - NORTH (17th STREET)	1/8" = 1'-0"
A-3.3	ELEVATIONS - WEST (REAR YARD)	1/8" = 1'-0"
A-3.4	ELEVATIONS - SOUTH (PROPERTY LINE)	1/8" = 1'-0"

PROJECT



DIRECTORY

ARCHITECT:	STANLEY SHERKOVITZ / NATOMA ARCHITECTS INC. 1022 MARINA STREET #1 SAN FRANCISCO, CA 94103 T 415.626.8977 F 415.626.8978 E SS@SHERKOVITZ.COM

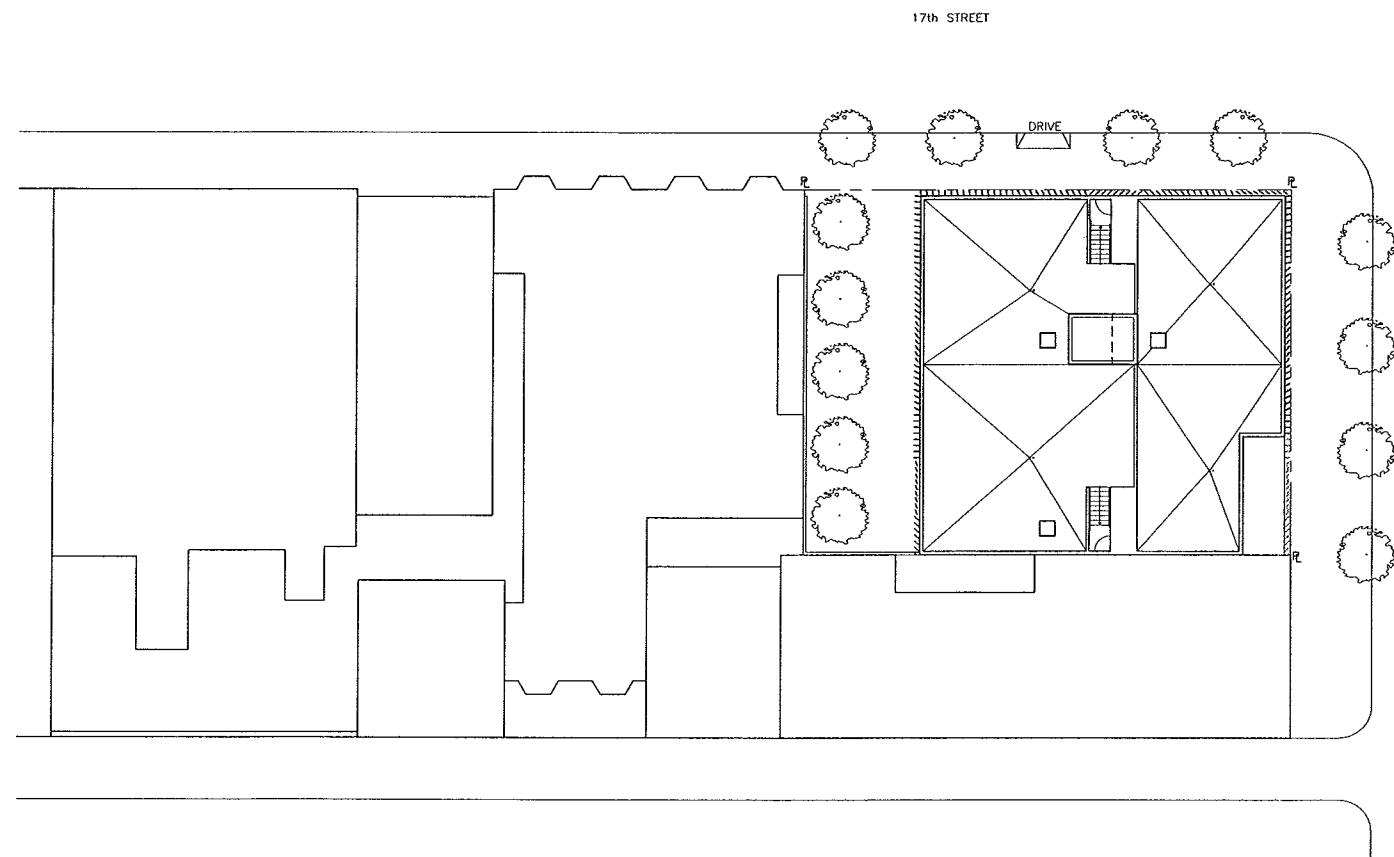
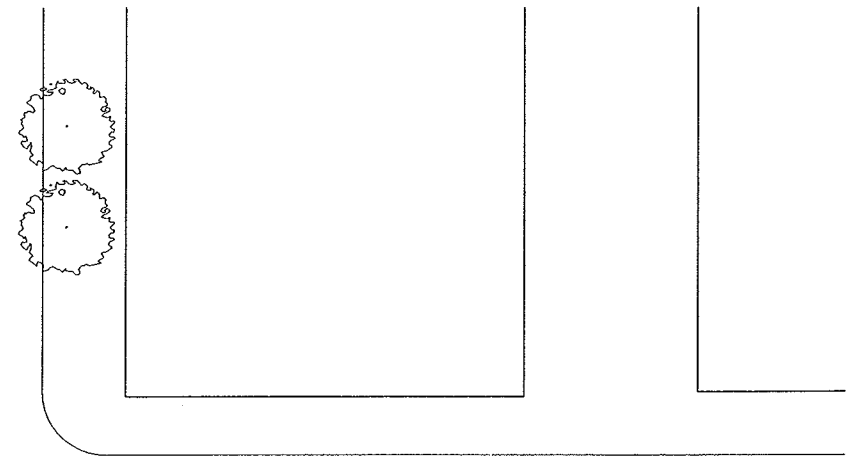
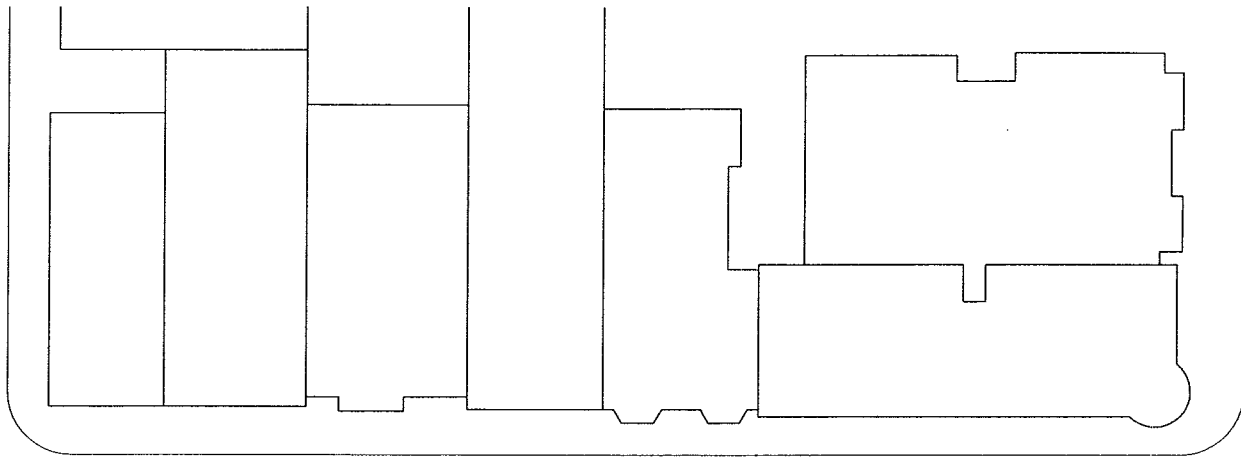
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 San Francisco, CA 94103
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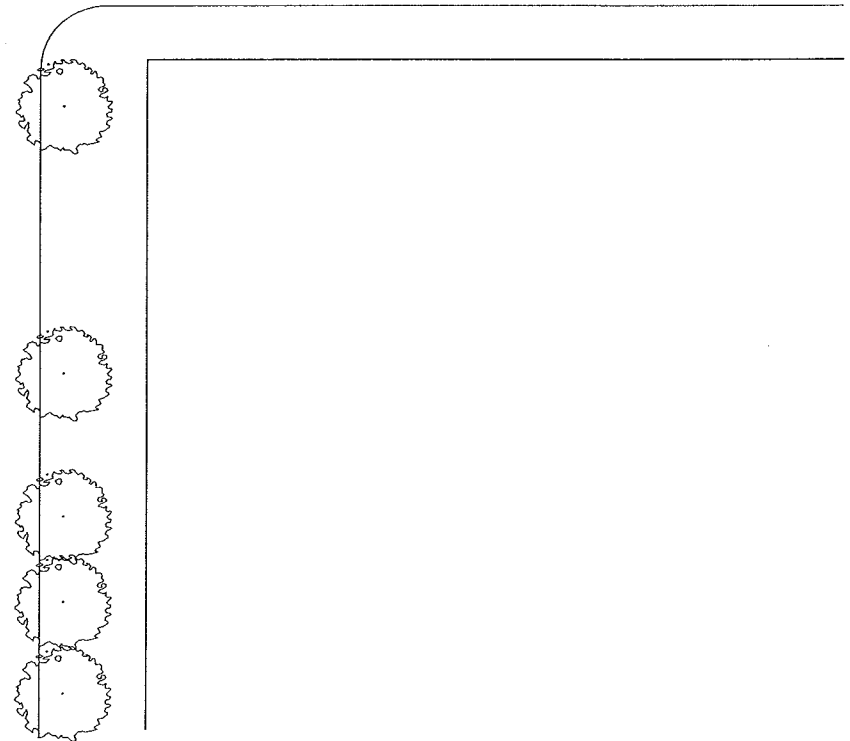
2100 MISSION STREET
SAN FRANCISCO, CA

TITLE

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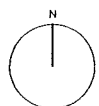


MISSION STREET



17th STREET

DRIVE



1

REVISIONS	

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2100 MISSION STREET
SAN FRANCISCO, CA

SITE PLAN

SCHEMATIC

Date 06/11/2009

Scale 1/16"=1'-0"

Job 21M

Sheet

A0.4

SITE PLAN

REVISIONS	

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E ss@stanleyschowls.com

2100 MISSION STREET
SAN FRANCISCO, CA

PROJECT DATA

SCHEMATIC
Date 06/11/2009
Scale 1/16"=1'-0"
Job 21M
Sheet
A0.5

ADDRESS: 2100 Mission Street, San Francisco, CA 94110
CROSS STREET: 17th Street
BLOCK/LOT: 3576/001
ENVIRONMENTAL/PROP K: 98.891E/98.791K
PROJECT DESCRIPTION: New 29 Unit, 7 Story, Mixed use Multi-Family and Commercial Building. The building will be, Automatic Sprinkled with a manual and automatic fire alarm system. It is considered an Accessible Building with full elevator access. The building will include parking, commercial space and residential housing units. There will typically be two unit types; a 1.5 bedroom (59%), 2 bedroom units (41%). Non of the units are to have mezzanines.

CODE USED: 2007 CALIF BLDG CODE & SF AMENDMENTS
2007 CALIF MECH CODE & SF AMENDMENTS
2007 CALIF PLUMB CODE & SF AMENDMENTS
2007 CALIF ELECTR CODE & SF AMENDMENTS
2007 CALIF ENERGY CODE
2007 CALIF FIRE CODE & SF AMENDMENTS
2007 HOUSING CODE
1999 NFPA 72 (FIRE ALARMS)
1999 NFPA 13 / 13R (SPRINKLERS)

ZONING: Mission Street NCT
EXISTING SITE CONDITION: One storey Commercial building. The existing building covers the entire site

OCCUPANCY: R-2 Multi- Residential,
S-2 Garage(>3000sf)
A-2 Assembly occupancy with loads less than 300

ACCESSIBILITY: As per the multi level model in CBC Sec 1107b and The California Multi Family Disabled Access Regulations book Sec 11, this is a multi-level, elevator building. It is in full compliance with CBC Section 11-b, accessible in all common areas and accessible adaptable in private dwelling units. There is one accessible parking stall as per CBC 1109A.3 (2% of covered multi family units). As per 1109A.6 this stall is a Van sized space with a clear 96 inch access aisle.

CONSTRUCTION and TYPE and BUILDING TYPE: The proposed building separated in the following Construction Types:
1. Basement (S-2) and Ground Floor (A-2) to be Type IIB
2. Residential Levels 2 thru 6 (R-2) to be Type IIIA
The building is equipped with an automatic fire sprinkler system therefore:
Maximum height of IIB increased from 55ft to 65 ft (from grade; 75ft permitted)

NUMBER OF STORIES: 6 stories and a basement.
THE ENTIRE BUILDING IS TO BE FULLY SPRINKLED. THIS WILL BE UNDER SEPERATE PERMIT. See addendum schedule.
Install Type 1 dry/wet combination standpipe. An additional storey of Type IIB construction is permitted under Sec 504.2 (increase from 4 to 5)

HEIGHT: Building is 65' high from top of curb to roof structure as permitted by the San Francisco Planning department. CBC Tbl 503 permits up to 75' for Type III B with automatic sprinkler system.
There is a 4ft parapet
Ground floor commercial space has a floor to floor height of 15'. This complies with SFPC 145.1 (C)
The elevator penthouse extends 12' above the parapet

LOT SIZE/AREA: The site dimensions are as follows:
Length: 91'-0"
Width: 70'-0"
Area: 6,370 sq ft

LOT COVERAGE: The building occupies 4,808 sq ft (75%) of the subject site. There is 22' wide rear yard that runs the full width of the lot.

STREET FRONTAGE: The entire street frontage on Mission Street is designated as active use. Furthermore

REAR YARD: There is a single rear yard which provides 25% open space as per SFPC 134.
There is an additional 515 sq ft public accessible entry court on the corner of 17th and Mission

OPEN SPACE: Common Outdoor Space
Number of Units = 29-2 private= 27
Open space requirement = 80 sq. ft *1.33 (common)
Total outdoor space required = 2,872 sq ft
Common Outdoor Space has been at the roof to the amount of 2,872 sq ft
The Project also provides 555 sq ft of publicly accessible open space on the corner of 17th and Mission as well as on at grade rear yard of 1,526 sq ft
Private Outdoor Space
Two units are provided with private decks
The deck is 181 sq ft and occurs on the 5th level

PARKING: Off street parking
Residential: The project makes provision for the following:
14 standard size stalls of which 1 is accessible.
This provides for a ratio of 0.48 and is permitted under table 151 SFPC
Commercial: One commercial parking stall is provided
To comply with Sec 145.1, all parking is below grade
As per UDC Table 11B-6 1 accessible parking space is required. As per UDC Sec 1129B4-2 this space is van accessible.
Bike Stalls
Twenty Six (15) independently accessible bike stalls have been provided. This provides for a ratio of 0.51

STRUCTURE: The entire structural component of the building is to be non combustible.
Type I to be poured in place concrete for floors, columns and bearing walls. All structural elements are to be 2 rated.
Type III to be metal studs and floor joists. As per CBC Tbl 601, structural frame and interior bearing walls to be non-rated

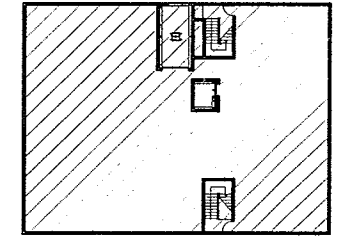
EXTERIOR MATERIALS: Exterior to be operable aluminum sun shade device over painted cementitious board.
Windows to be anodized aluminum double hung windows.
Ground floor to be 4 sided silicone glazed curtain wall.
Blind wall to be steel framed fire rated windows and painted cementitious board.

DATA AND CALCULATIONS:

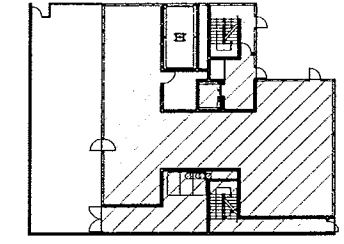
2100 Mission									
	Residential	sq ft	%	Level 2	Level 3	Level 4	Level 5	Level 6	Total
	1 Bedroom (Type 1)	446	59%	0	0	0	1	1	2
	1.5 Bedroom (Type 1)	634		4	4	4	3	0	15
	2 Bedroom (Type 1)	634	41%	1	2	2	2	5	12
			100%	5	6	6	6	6	29
	Lot Size	6,370							
	Rear Yard	1,562	25%						
	Building Area								
Level -1			Provided	Permitted					Ratio
	Bicycle Parking		15	15					0.52
	Parking (Car)	5,328	15	15					0.52
	Circulation / MEP	645							
Sub Total		5,973							
Level 1	Commercial 1	2,643							
Sub Total Commerical		2,643							
	Lobby	156							
	Garbage / Mech	509							
	Circulation	218							
Sub Total		3,526							
Residential Levels 2 thru 6									
	Residential	18,010	3,602	per floor net					
	Circulation / Storage	5,113							
Sub Total		23,123							
Building Gross Area Total		32,622							
Courts			Provided	Required					
Common									
	Roof Common Outdoor	2,873		2,873					
	Rear Yard	1,562							
	Ground Floor Court	515		Public Space					
		4,950							
Private									
	Private Deck (Lv 5)	181		2*80=160					

OCCUPANCY LOAD CALCULATIONS

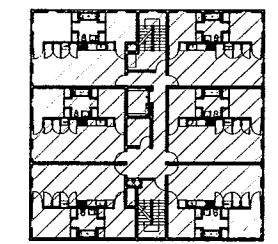
19.6	per floor: non cascading	R-2 Load Factor = 200 as per CBC Tbl 1004.1.1
26.6	per floor: non cascading	S-3 Load Factor = 200 as per CBC Tbl 1004.1.1
191	Load Factor:15	2 exits required
132+3	Load Factor:15 & 200	Common outdoor deck: roof 2 exits required as per CBC 1019.1 Mercantile (Mission street)- assumes 25% for kitchen 2 exits required
191	191* 0.3 = 57"	Minimum Accumulative Width of any component of means of egress system, as defined by Tbl 1005.1 However, minimum accessible stair width shall be 48" *2 = 96"



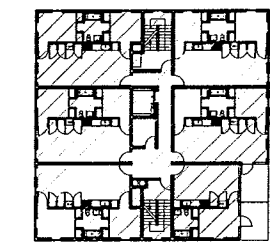
GROSS LEVEL -1: 5,973 SQ FT



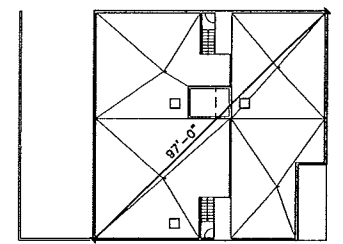
GROSS LEVEL 1: 3,526 SQ FT
COMMERCIAL NET: 2,643 SQ FT
Therefore permitted under SFPC Sec 121.2 and 124



GROSS LEVEL 2, 3, 4: 4,697 SQ FT



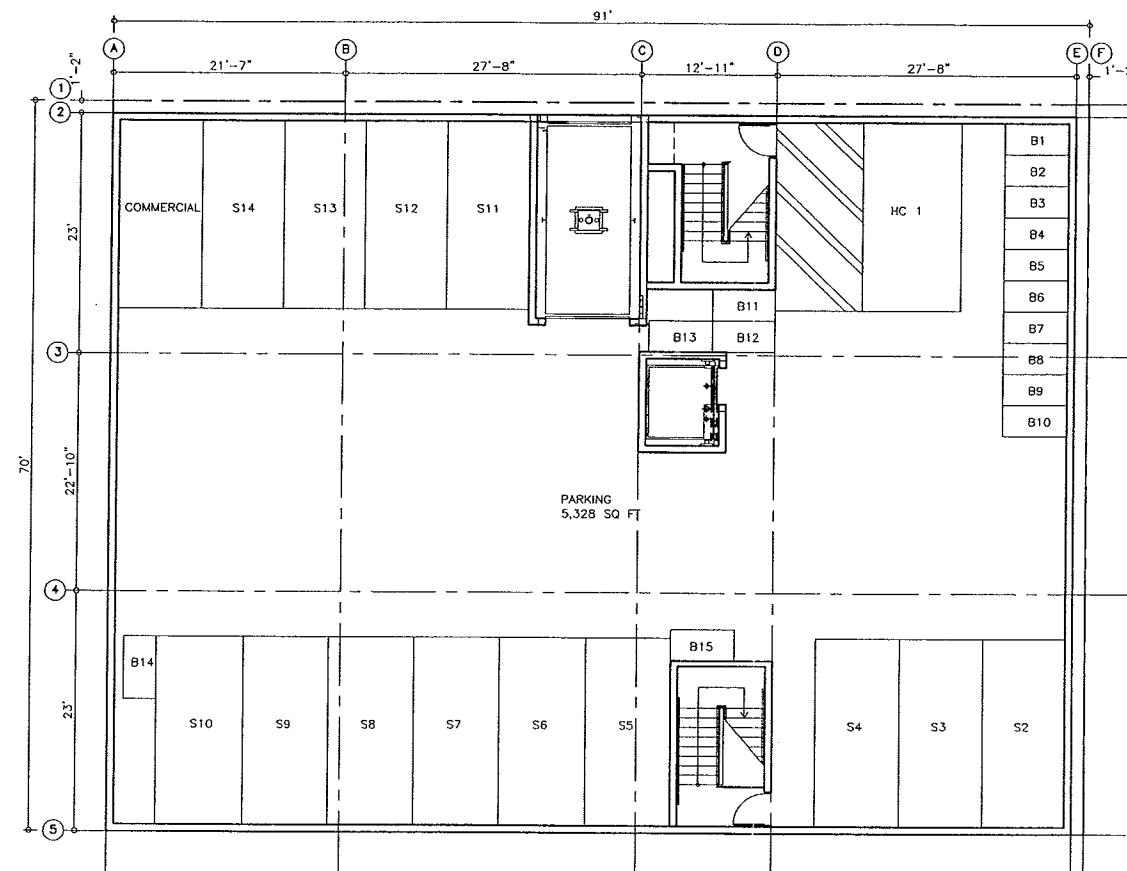
GROSS LEVEL 5, 6 : 4,516 SQ FT



BULK: 97'-0" MAXIMUM DIAG AS PER SFPC SEC 270

PROJECT DATA

1



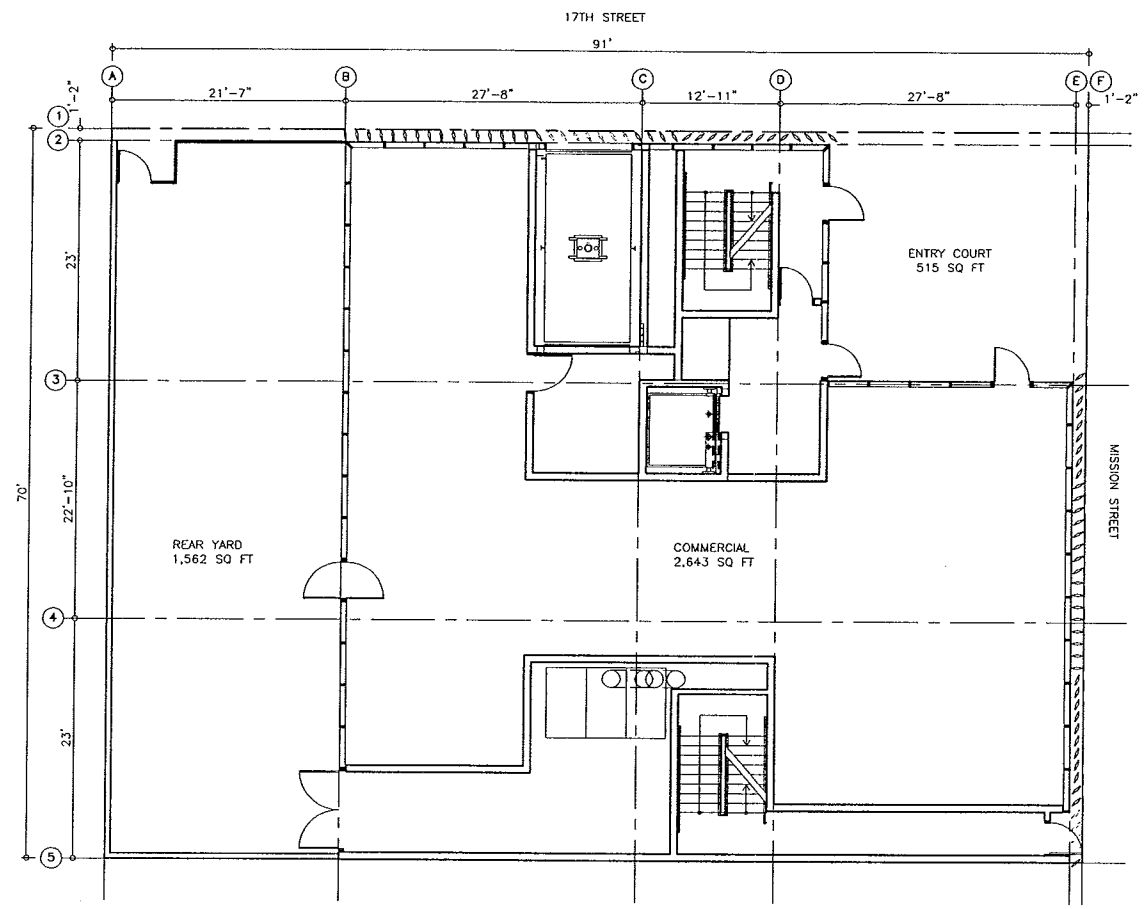
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PLAN
SCHEMATIC
Date 06/11/2009
Scale 1/8"=1'-0"
Job 21M
Sheet A1.1

LEVEL -1: GARAGE 1



REVISIONS	

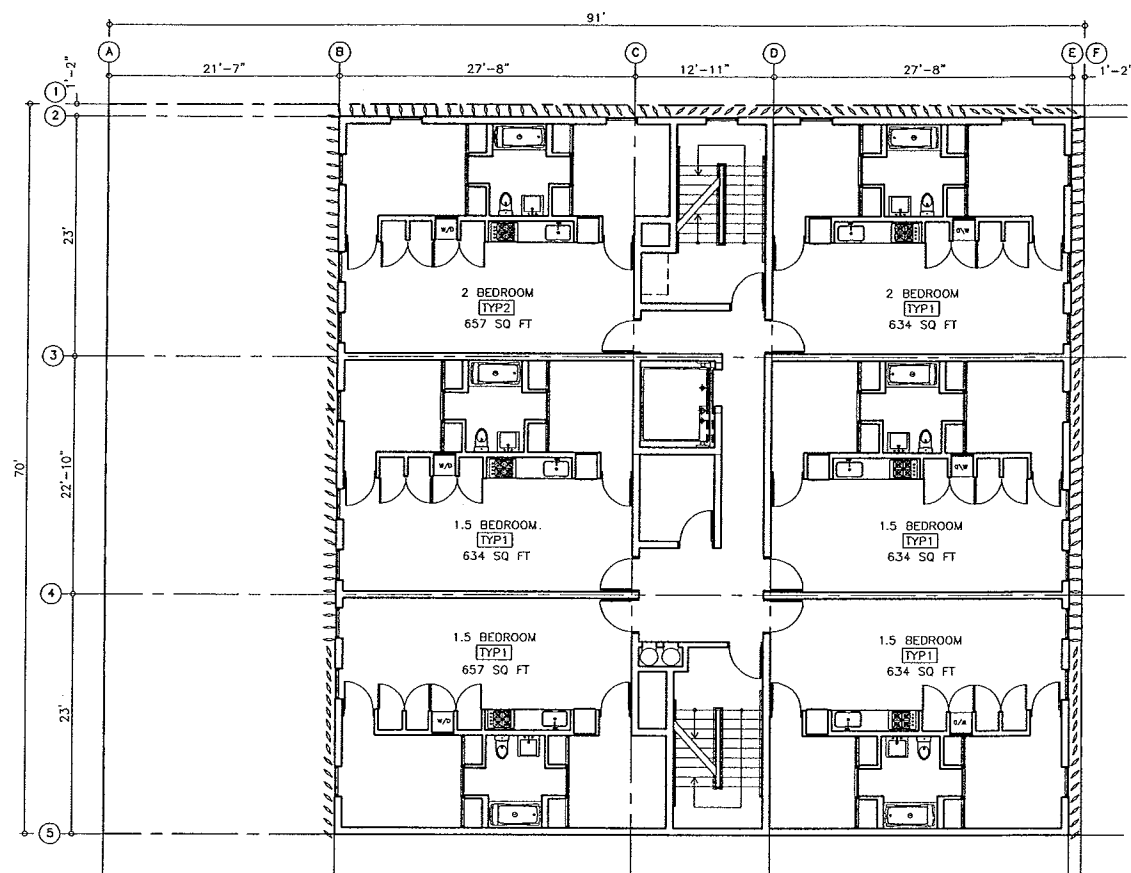
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PLAN
 SCHEMATIC
 Date 06/11/2009
 Scale 1/8"=1'-0"
 Job 21M
 Sheet
 A1.2

LEVEL 1: COMMERCIAL

1



LEVEL 2 THRU 4: TYPICAL FLOOR PLAN

1

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PLAN

SCHEMATIC

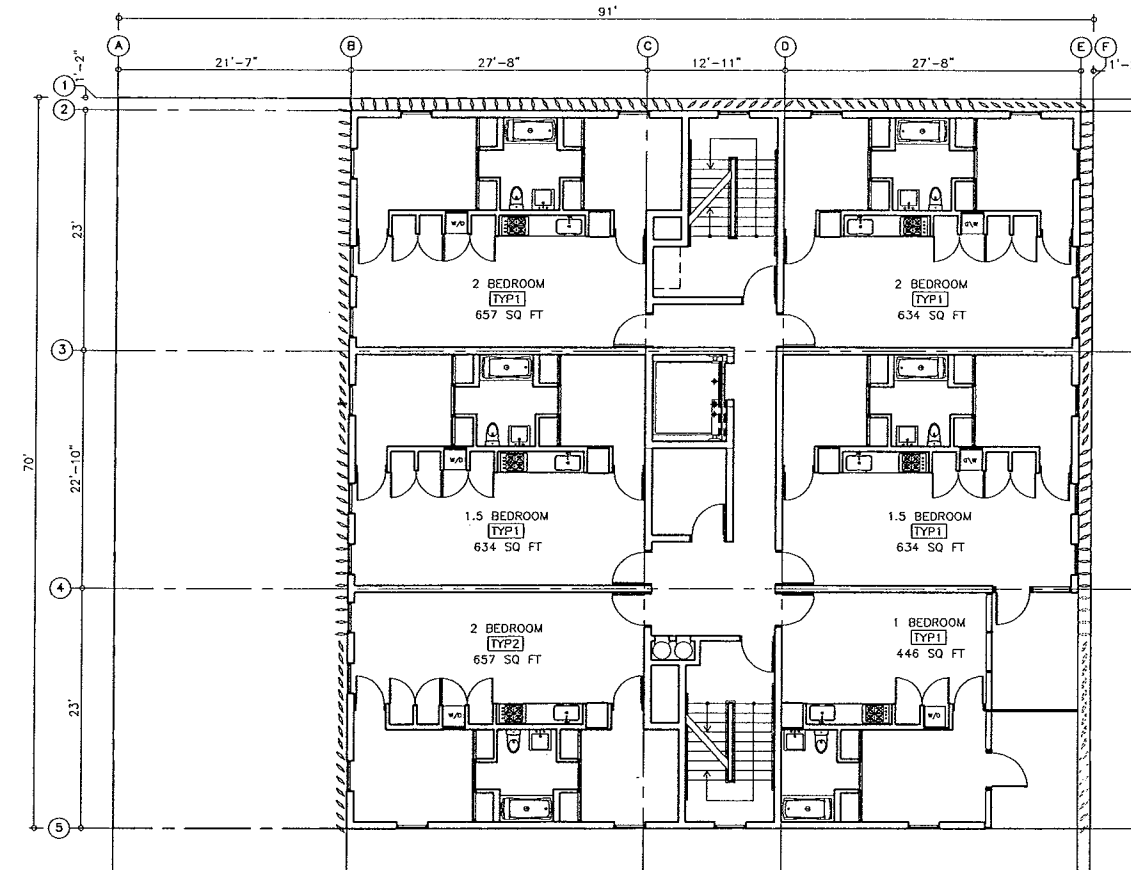
Date 06/11/2009

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Job 21M

Sheet

A1.3



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PLAN

SCHEMATIC

Date 06/11/2009

Scale 1/8"=1'-0"

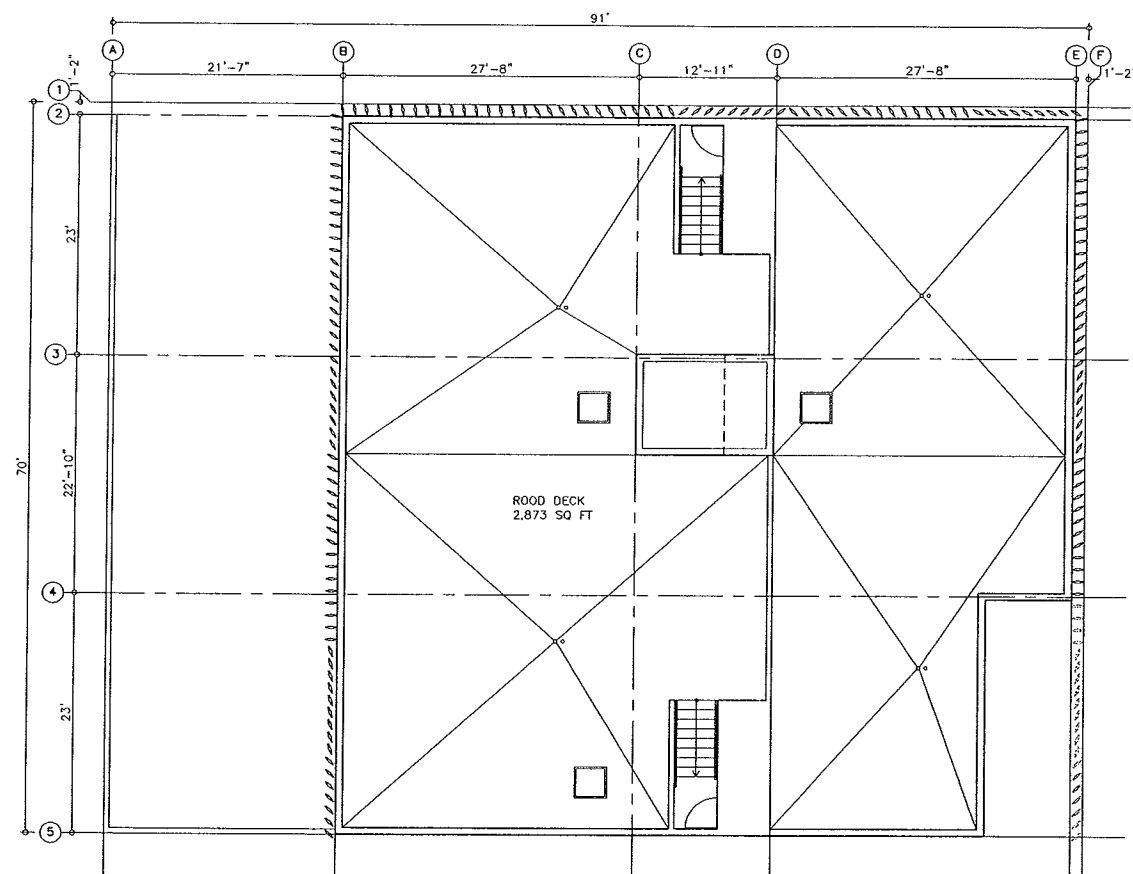
Job 21M

Sheet

A1.4

LEVEL 5 AND 6: TYPICAL FLOOR PLAN

1



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2100 MISSION STREET
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PLAN
SCHEMATIC
Date 06/11/2009
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Job 21M
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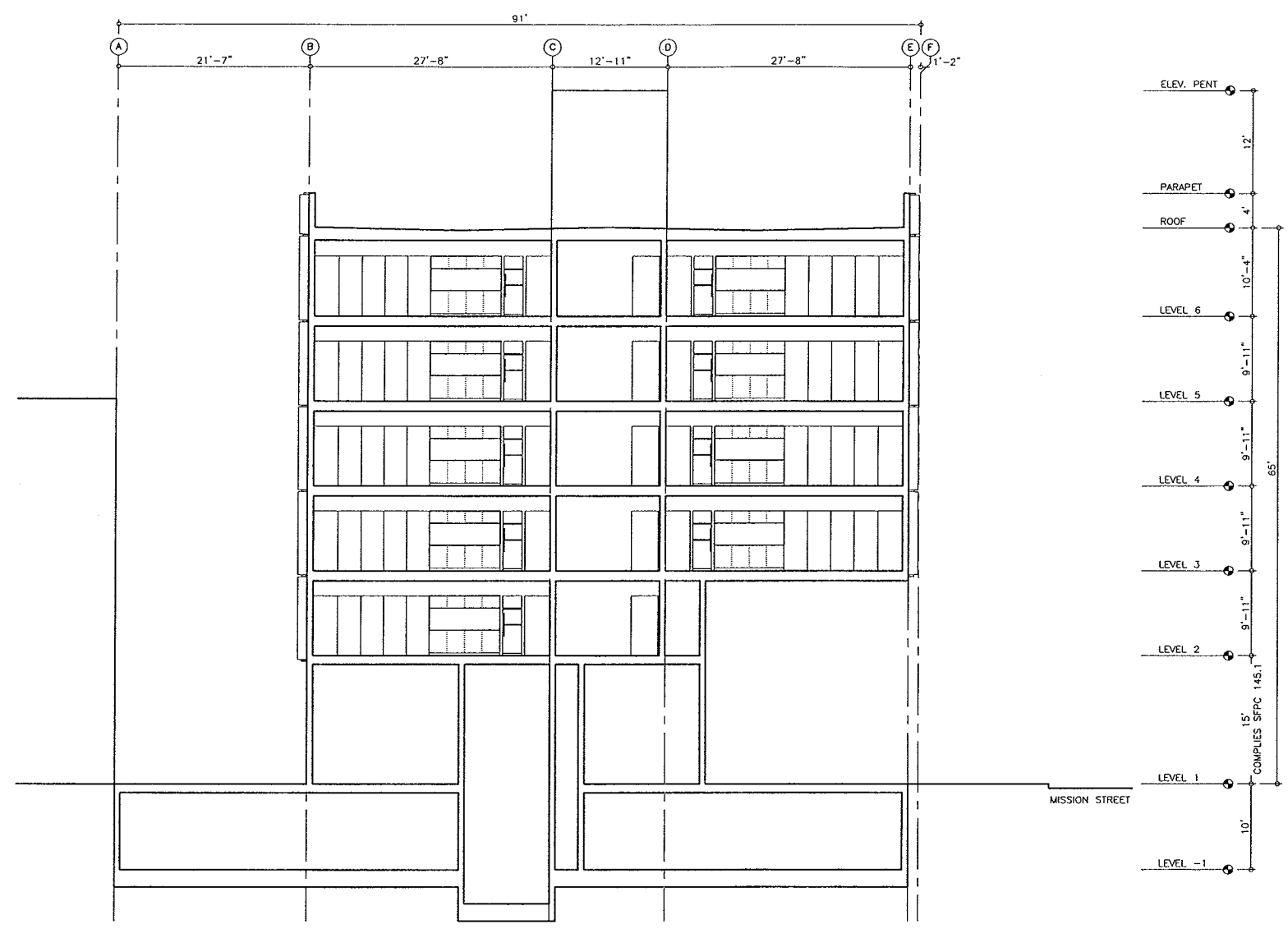
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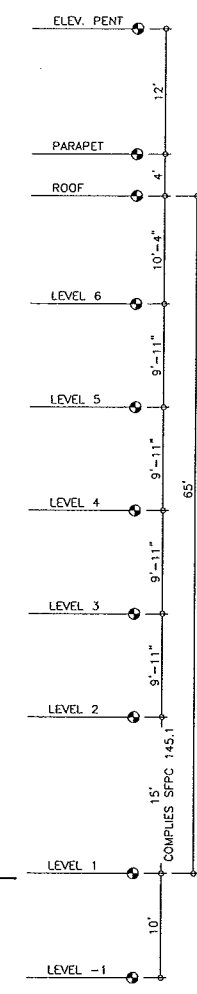
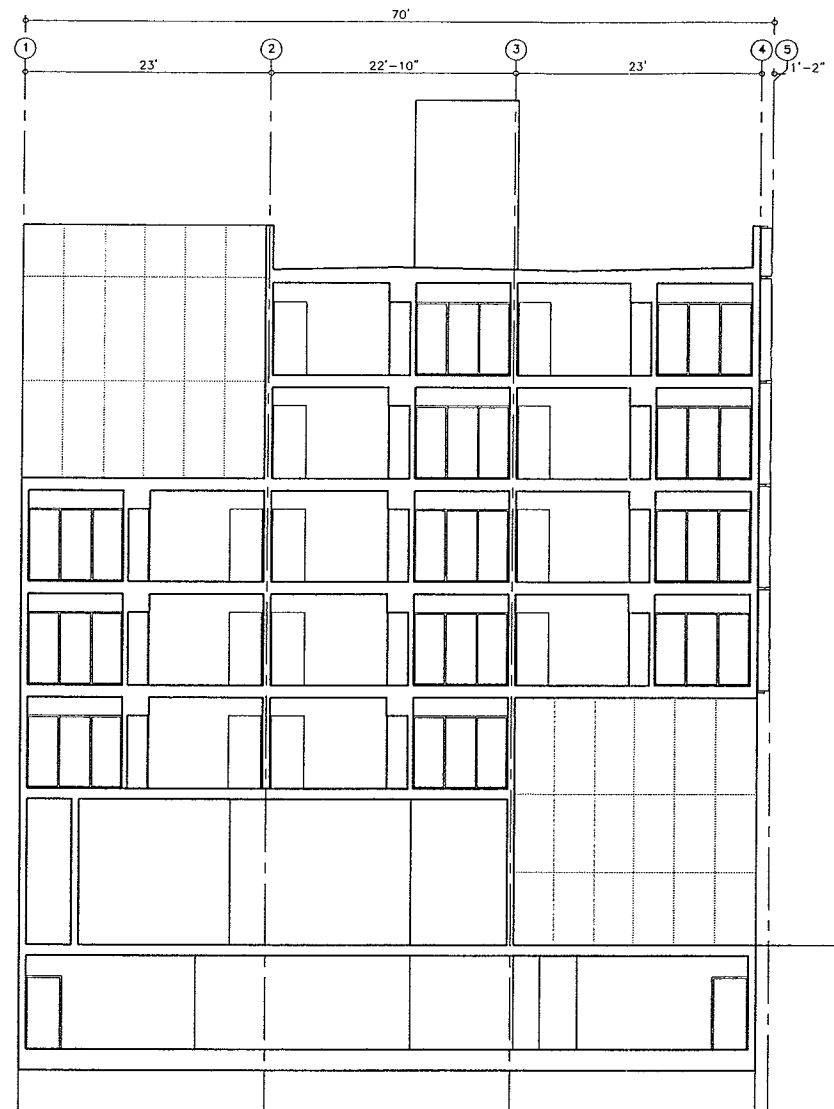
PLAN

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A2.1



SECTION

1



REVISIONS	DATE	BY	CHKD

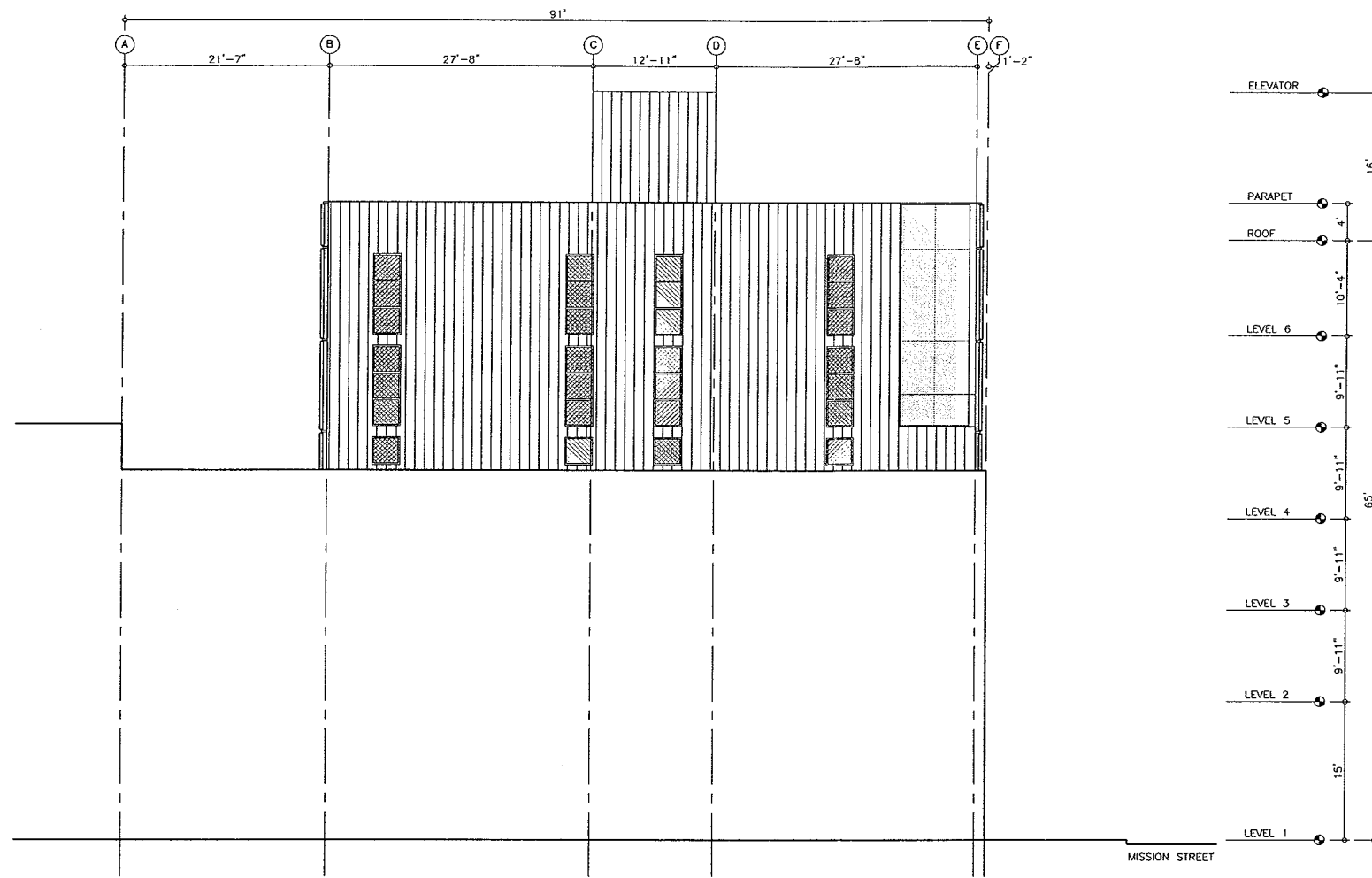
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2100 MISSION STREET
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PLAN
SCHEMATIC
Date 06/11/2009
Scale 1/8"=1'-0"
Job 21M
Sheet
A2.2

SECTION

1



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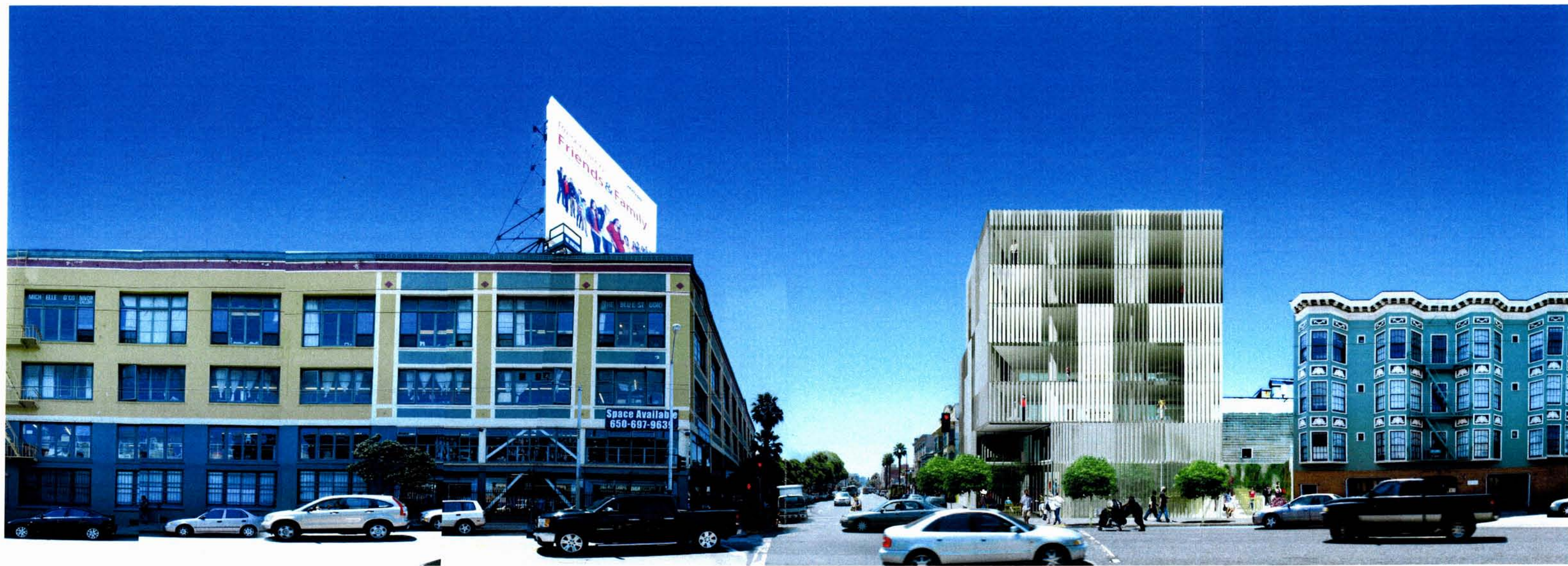
2100 MISSION STREET
 SAN FRANCISCO, CA

ELEVATION
SCHMATIC
Date 06/11/2009
Scale 1/8"=1'-0"
Job 21M
Sheet A3.4

SOUTH ELEVATION: PROPERTY LNE

1









HISTORIC RESOURCE EVALUATION REPORT

2100 MISSION STREET

San Francisco, California



Prepared by

KnappARCHITECTS

San Francisco, California

23 July 2010

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II. EXHIBITS

Exhibit A	Map
Exhibit B	Assessor’s Building Card
Exhibit C	Sanborn Fire Insurance Maps
Exhibit D	Building Permits
Exhibit E	DPR 523A form
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III. BIBLIOGRAPHY

I. HISTORIC RESOURCE EVALUATION REPORT

Executive Summary

Scope of Report

The scope of this report will establish a baseline of information for the proposed project at 2100 Mission Street. This report will discuss the building's history, as well as evaluate the project sponsor's proposal to demolish the existing building, and assess the compatibility of the proposed new building within the existing context, which has been determined by survey to be a potential historic district.

Findings

The existing one-story building, used for commercial purposes, that is located at 2100 Mission Street is proposed to be demolished. Built in 1963, the building is not a historic resource under the California Environmental Quality Act (CEQA). The property is located in two eligible historic districts identified by Planning Department survey. The subject property is not eligible as either an individual contributor or as a contributor to either historic district.

The project sponsor's proposed design for a new six-story building for residential and commercial use would be clearly differentiated in architectural language and materials from the nearby contributing historic buildings, but would share the design principles underlying their historic styles of architecture. The proposed building would fall within the prevailing height, form, and siting characteristics of the two districts.

Introduction

Purpose of the Report

This Historic Resource Evaluation (HRER) has been prepared at the request of property owner Timothy Mueller for the site (Assessor's Parcel Number, Block 3576 and Lot 001, which is old block 69 of the Mission Survey) that is located at the southwest corner of the intersection of Mission Street and 17th Street in San Francisco's Mission neighborhood. The address is commonly known as 2100 Mission Street.

Project Description

The site is located within the boundaries of the Inner Mission Commercial Corridor and the Mission Reconstruction District, both of which have been identified through survey as potential historic districts eligible to the California Register of Historic Resources. This report discusses the compatibility of the proposed new building with nearby contributing properties in the two districts. (For brevity, they will be referred to in this report as the Reconstruction District and the Commercial Corridor.)

The existing building, constructed in 1963, is being proposed to be demolished. In its place a new 25,978 square-foot building would be constructed. The new building would

be six stories high and contain 29 residential units over a ground floor commercial space. Included would be underground parking for 15 vehicles and 26 bicycle stalls. A mini-park would be available for public use.

Methodology

Christopher Pollock, under the direction of Frederic Knapp,¹ conducted an intensive survey of the project site during March of 2010, photographing and examining the physical fabric of the subject building and its physical surroundings. The area of focus was Mission Street, between 16th and 18th Street and 17th Street, between Valencia Street and South Van Ness Avenue, including alleys and sub-streets. In particular, Mission Street and 17th Street were reviewed in greater detail to understand the context.

Research was conducted at the San Francisco Public Library-San Francisco History Center, San Francisco Office of the Assessor-Recorder, and San Francisco Planning Department's archives. Online resources were also consulted.

Background Documents

This report follows the general principles of the City of San Francisco's "Scope of Work for San Francisco Historical Resource Evaluation Reports."² A draft outline was submitted for review and approved by the Planning Department. The following historic evaluation documents are informative about the area surrounding the subject site: Inner Mission Commercial Corridor (DPR 523D)³, Mission Reconstruction District (523D)⁴ and Inner Mission North Context Statement.⁵ The property at 2100 Mission Street was not specifically mentioned in these documents since it does not fall within the period of significance within either district.

Evaluation of Existing Structure

Building Description

The building is located on the southwest corner of the intersection of Mission Street, which runs north to south, and 17th Street, which runs east to west in the Mission District. The groundplane slopes up slightly to the west from the east. The lot is a rectangle with its long axis running east to west. A three-story residential building is located directly to the south of the subject building and a four story residential building is located directly to the west. Across the streets are a variety of buildings of differing heights that are commercial, residential, or a combination of the two. A concrete sidewalk, with curb-

¹ Frederic Knapp, AIA, meets *The Secretary of the Interior's Professional Qualification Standards* in Historic Architecture and Architecture (36 Code of Federal Regulations 61).

² City and County of San Francisco Planning Department, "Scope of Work for San Francisco Historical Resource Evaluation Reports," (non-archeological), final draft October 8, 2004.

³ City and County of San Francisco Planning Department, "Inner Mission Commercial Corridor," DPR 523D form, District Record, September 30, 2005.

⁴ City and County of San Francisco Planning Department, "Mission Reconstruction District," DPR 523D form, District Record, May 25, 2004, updated November 2, 2007.

⁵ City and County of San Francisco Planning Department, "Inner Mission North 1853-1943 Context Statement," 2005.

ing of the same material abuts both faces of the building. The sidewalks contain utility poles for lighting and MUNI overhead wires as well as parking meters. Utilities are undergrounded. There is a wheelchair curb cut at the intersection and vehicular curb cuts in the north and south sidewalks. Addresses associated with this lot over time have included 2100, 2104, 2108 and 2112 Mission Street, as well as 3311 17th Street, since it had five different lease spaces in the property's earlier history.

The existing one-story building occupies the entire lot. The first floor comprises 6,370 square feet and the mezzanine is 1,260 square feet, for a total of 7,630 square feet. The building's mass is a rectangle with its long axis running east to west. The main entrance is located on the east elevation, while a vehicle entrance occurs on the north.

The east elevation has one large recessed opening which contains the main entry storefront. Flanking both sides of the entry, which is offset from center to the north, are fixed ribbon windows framed in closely spaced vertical aluminum mullions. The windows sit on a low concrete wall on the north side and a low plywood faced wall on the south. The head of all the building's openings is halfway up the height of the facades.

The north elevation is separated into five equal bays. The bays are divided by closely spaced pairs of wide V-groove reveals which run the full height of the façade from the sidewalk. There are large fixed windows centered in the three bays at the east end of the elevation. The windows are framed in aluminum and each is divided equally in half vertically. The fourth bay has a vehicular opening with a metal roll-up door, and the fifth bay is a solid wall.

The exterior is entirely painted concrete is mostly flush and without any decoration except reveals on the north facade.

A rear illuminated, two-sided blade sign hangs off the northeast corner of the building at a 45 degree angle in plan. Two identical rear illuminated box signs are mounted on the façade, one is centered on the east façade and the other is offset on the north façade, and located near the blade sign. There are smaller blank boxes mounted above each box sign. Each sign has the phrase "ONE \$ STORE" in translucent lettering.

The ridge of the low-slope roof runs east to west. A flat top parapet encloses the tar and gravel covered roof.

The clear span roof structure is supported by steel columns which are encased in concrete. Between the columns the perimeter walls on the north and east are reinforced concrete. On the south and west the walls are brick. The roof system is composed of glulam beams spanning the entire 70 foot width from north to south. Joists span the beams and the structure is covered with plywood and a tar and gravel covered roof.

Most of the east elevation is constructed as an unobstructed opening of some 11 feet high by 60 feet wide, flanked at each side by five feet of wall. The header over the open-

ing is a huge precast reinforced concrete beam which was set in place and the flanking columns poured in place.

The columnless open plan interior has a mezzanine with two toilet rooms and storage below occupying the bay next to the west wall of the building. The floor is a concrete slab on grade.

Building History

The property was shown to have been owned by Jennie Gilbert as of January 27, 1908 as cited in a map book created by the City after the Earthquake and Fire of 1906.⁶ In that book the lot is shown to be 70 feet in the north to south direction and 91 feet in the east to west direction. A building was constructed on the site in 1910 for Charles A. Goss which was one-story high and was divided into five lease spaces, one facing 17th Street and four facing Mission Street. That structure was demolished and the existing building was constructed in 1963 according to the Assessor-Recorder records.

The building was designed by Russell H. Fuller, a structural engineer who practiced in San Francisco. The permit was to make “additions, alterations or repairs”⁷ to the existing 1910 building. Although this project was declared as an alteration, only the existing 17-foot high brick walls on the south and west elevations remained and the balance was replaced, including the entire floor, roof structure, and walls on the north and east. The construction cost was cited in the permit as \$25,000, which noted that the building would be used as a brake shop.

There have been two owners of the existing building. On February 14, 1962 Elmer and Leona Skinner acquired the property just before they had the existing building constructed. On February 27, 1984 Timothy Mueller, who is the current owner, purchased the property.

There have been two occupants of the building. Four Wheel Brake Service leased the property from 1963 through April 2005 and One \$ Store, the current tenant, leased the property starting in June of 2005.

Alterations

(This assumes that removal of much of the 1910 building was not really an alteration, using today’s Planning standards, but rather a demolition.) The facade originally had a single, wide opening that was closed with operable metal gates. A portion of the glass storefront that is north of the main entry was installed in 1966 for \$2,000 and the interior mezzanine was added in the same year for \$5,000. (A mezzanine appears in the original drawings but its construction was carried out at the later date.) The infill of the remaining façade opening, consisting of the entry doors and storefront to the south of the

⁶ City and County of San Francisco Office of the Assessor-Recorder, “Map Book, Mission, Pages 1093-1159,” sheet 1117.

⁷ City and County of San Francisco Planning Department, “Application of Elmer and Leona Skinner for permit to make additions, alterations or repairs to building at S.W. corner, 17th and Mission St., (2100 Mission),” approved by building department on March 16, 1962.

main entry doors, were added at a later unknown date, possibly in 2005. The signage boxes and blade sign are original to the building, while the blank boxes above the wall mounted signage boxes are a later addition. The roof was replaced in 1995 for a cost of \$18,500.

California Register

The California Register of Historic Resources (CRHR) is a guide to important architectural, archaeological and historical resources in the State of California. Resources can be listed in the California Register through a variety of methods. State Historical Landmarks and National Register-eligible properties (both listed and formal determinations of eligibility) are automatically listed. Properties can also be nominated to the California Register by local governments, organizations or private citizens. This includes properties identified in historical resource surveys with California Historic Resource Status Codes of 1 to 5 and resources designated as local landmarks or listed by city or county ordinance. The criteria used by the California Register for determining eligibility are based on the criteria developed by the National Park Service for the National Register. In order to be eligible for the California Register, a property must be demonstrated to be significant under one or more of the following criteria:

Criteria for Designation⁸

- Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States (*Criterion 1*).
- Associated with the lives of persons important to local, California or national history (*Criterion 2*).
- Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values (*Criterion 3*).
- Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation (*Criterion 4*).

CRHR Eligibility

The property at 2100 Mission Street is not individually eligible to the California Register because the building is not yet 50 years old, the threshold when a building may become eligible to be evaluated, unless it is of special importance. Under Criterion 1 this building is not associated with any known significant events. No known person(s) of importance is associated with the property under Criterion 2. The building does not embody a distinctive character or high artistic values relative to Criterion 3. The property has not been previously identified as eligible for listing under Criterion 4. The assessment of potential archeological significance is beyond the scope of this report.

⁸ California State Office of Historic Preservation, Department of Parks and Recreation. Technical Assistance Series #5 California Register of Historical Resources: The Listing Process, Criteria for Listing: http://ohp.parks.ca.gov/?page_id=21238

The property at 2100 Mission Street is not a contributor to a historic district, because the building is not yet 50 years old, the threshold when a building may become eligible to be evaluated, unless it is of special importance. Its construction date, historical associations, and physical characteristics do not fit the registration criteria for the Mission Reconstruction or Commercial Corridor districts.

Historic Districts: Nearby Context and Its Features

Commercial Corridor

The existing building is located within the Commercial Corridor but it is not a contributor to the district. The period of significance for the Commercial Corridor is 1906-1931. This starts with reconstruction after the 1906 event and ends with construction of the last residential-over-commercial property in the commercial strip.

Reconstruction District

It is located within the boundary of the Mission Reconstruction District⁹ but it is not a contributor to the district. The period of significance for the district is 1906 to 1913, the period of reconstruction after the 1906 event. The subject property is not listed in the Detailed Description section of the form which lists properties that have been evaluated. The form contains information in the form of a detailed description, boundary description, boundary justification and significance.

Liberty Hill District

The subject building is located near the Liberty Hill Historic District¹⁰ but it is not a potential contributor to the district.

Description

The nearby area is composed of a broad variety of heights of buildings, ranging from one story to five stories high. The massing is generally rectangular. Most of the buildings in this area, especially along Mission Street, have a first floor retail space with residential units above. Siting of most of the buildings is tight to the street lot line and the full width of the lot. Large footprint and sometimes taller buildings anchor the corner lots. The main materials are glass storefront at the street level retail and wood siding or stucco on the upper floors.

Contributing Buildings

Within the study area, there are numerous contributing buildings which display character defining features. The following buildings in the subject block of Mission Street are called out as contributors to the Commercial Corridor: 2072-2074 Mission, 2090 Mission, 2080-2086 Mission, 2060-2062 Mission, 2056-2058 Mission, 2044-2046 Mission,

⁹ City and County of San Francisco Planning Department, "Mission Reconstruction District"

¹⁰ City and County of San Francisco Planning Department, Zoning Map of the City of San Francisco, PD07.

2026-2030 Mission, 2032-2034 Mission, 2059-2065 Mission, 2135-2137 Mission, and 2069-2071 Mission.

Contributing Building Features

Within the defined area of the nearby context, the prevailing features include buildings that are one- to five-stories high with the majority being three stories. The buildings have a base with upper floors topped by a cornice. A pair of vertically stacked bay windows is common. The predominant exterior finish is wood siding or stucco. Corner buildings are generally larger.

Description of Proposed Project

The proposed building's south, north and east elevations would be tight to the property lines, while the west would be held back from the property line to allow for a public mini-park. The main entry would occur within a large recessed corner at the street intersection. A vehicle entrance would occur on the north façade with a curb cut in the sidewalk. The building would be 65 feet high overall.

The main mass would be two irregular L-shaped forms in plan layered on top of each other. The first and second floors' shape would have the inside corner of the L-shape facing the northeast and the third through sixth floors' inside corner would be facing southeast. A small, square penthouse would be located just off center of the L-shape.

The facades would be composed of a base, infill above and cornice line. A storefront system would occur in the base and vertical bands of window bays divided by flat walls, whose facades would be entirely faced with louvers, would comprise the infill above the base. A line of narrower louvers would serve as a cornice line at the roof. The principal roof of the sixth floor is flat as are the roofs of the fourth floor and penthouse.

The materials of the first floor facades would be full height clear glass set in matte extruded clear aluminum storefront system. The second through sixth floor facades would be completely faced in operable vertical louvers, one continuous horizontal band per floor. The chassis to hold the louvers would be a continuous horizontal element at each floor level. The cornice would consist of a narrow band of the same aluminum louvers. Behind all the louvers there would be a smooth finish surface of a wood or composition board.

The base would be storefront glass like many buildings in the immediate area. The entry, like the storefronts in the area, is recessed. Here there would be split circulation, one door to the commercial space and the other to access the residential units. Much of the perception of the upper portion of the building will be the extruded matte clear anodized aluminum fins which would control heat, light and acoustic penetration. These would be activated as groupings. These fins would be user controlled and consequently would give a random visual effect to the exterior which could change at the control of the various building occupants.

Windows on the first floor would be continuous clear glazing. This is the neighborhood standard for most of the larger buildings in the area. Windows on the upper floors would be stacked in regular patterns of vertical openings which echo the layout of vertically stacked windows that occur in the neighborhood context.

Evaluation of Compatibility of Proposed Building with Prevailing Features of Contributing Buildings in Nearby Context of Potential Historic Districts

The following evaluation considers the building height, massing, height of stories, window proportions and framing, material and color, horizontal and vertical articulation, setbacks, and other design elements. Additionally, observations of conditions in adjacent contributing buildings are evaluated in relation to the proposed design and how it would fit into the districts.

The Inner Mission North Context Statement states that:

“Positive urban design elements of the streetscape such as the proportion of street and sidewalk to adjacent building heights, landscaping and street trees, artwork and street furniture should be preserved and enhanced with the goal of maintaining and improving the established character and yet allowing the many functions of a neighborhood oriented, commercial area to be carried out in a pleasant and attractive environment.

“New development near buildings of historic or architectural importance should harmonize with the historic fabric. Slavish imitation of historic styles should be avoided and innovative new architecture, which contributes positively to the established urban design character of the district, encouraged. The design of new structures should establish linkages with design characteristics of the surrounding buildings such as building height, massing, height of stories, window proportions and framing, material and color, horizontal and vertical articulation, setbacks, stairs and other design elements.

“New development in historic or conservation districts, should respect the existing development pattern and scale, height of adjacent buildings, open space corridors in the interior of the block, facade design and rhythm, and special features characteristic of buildings in the particular district.”¹¹

The Secretary of the Interior's Standards for Rehabilitation, Standard 9 states that

“New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.”¹²

¹¹ “Inner Mission North 1853-1943 Context Statement, p. 42.

¹² National Park Service (NPS). *The Secretary of the Interior's Standards for Rehabilitation*: <http://www.nps.gov/history/hps/tps/tax/rhb/stand.htm>

The height of buildings within the area varies from one to five-stories. The six-story height is somewhat mitigated by stepping the east façade's south edge down to the height of the adjacent building to the south. The composition of the mass has voids which break down the apparent height at the building's outside edge on both facades. While the proposed building would be one of the tallest buildings within the context, it would fall within the existing range of building heights. The existing building similarly falls within the range found in the context (and the two potential districts), and it is similarly at one end of the range, at just one story in height.

The three-dimensional bulk of the building is not dissimilar to others around it -- many street corner buildings in the area are larger in height and bulk than mid-block buildings. The building is in scale with those in the area and would anchor this corner of the intersection. The windows are stacked in regular patterns. Their ratio of solid-to-void is more dense on the Mission Street façade and in keeping with the ratio of existing buildings nearby. On the 17th Street façade there are fewer windows, which is common on a secondary façade. The base has a setback entry at the corner which occurs in some buildings nearby. The floors above are articulated by their windows, but their visibility will vary depending on the adjustment of the louver groupings at any given time. The fins at the top level would be fixed, so this continuous band would contrast with the changing and independent sub-areas of fins within each of the lower floors. This would give an impression of a continuous top cap which is not unlike the large Thrift Town building at 2101 Mission and the somewhat smaller Last's Paint building at 2141 Mission, both across the street.

The proposed building would not employ the language of the contributing buildings of the two historic districts, being obviously different from the Classical Revival, Edwardian, and Mission Revival buildings nearby. It would be clearly differentiated from the contributing buildings, and could not create a perception that it is new but was designed to mimic buildings constructed during the period of significance, thus blurring the distinction between historic buildings and imitations. The design follows the recommendation in the context statement that "Slavish imitation of historic styles should be avoided and innovative new architecture, which contributes positively to the established urban design character of the district, encouraged." The design of the new building would be compatible with the massing, size, corner siting, and display of mixed of uses (ground floor retail/upper floor residential) that characterize the districts.

The proposed building would employ contemporary materials and details in a way that parallels the design principles which underlie the contributing buildings. Its architectural features would be contemporary, instead of employing the same features as historic buildings (e.g. window trim, belt courses, articulation of wood or stucco) while varying them only in detail, as some designs do in order to achieve compatibility. Per the Inner Mission North Context Statement, it avoids 'slavish imitation of historic styles' and is 'innovative new architecture' which respects the development pattern and scale of existing buildings.

While rectangular in overall massing, the building would be subtly divided into three horizontal zones, corresponding to the classical base-shaft-capital (cornice) composition. The ground floor storefront glazing (itself a common element among contributing buildings) would comprise the base, with the residential floors being the infill or shaft, and the single, continuous band of fixed slats making up the cornice. The primary walls would be composed of a flat board material, with vertical aluminum fins (divided into sub-areas on each floor, adjustable by building users except at the cornice) mounted on its face. The fins would be divided at each floor level, articulating the floors the same way belt courses and intermediate cornices do on historic buildings. The flat board substrate would share the monolithic visual property of stucco, while the fins would have the small-grained, repetitive quality of wood siding. The solid-void ratio of the windows and the organization of windows into simple, regular bays would be very similar to what is seen on the contributing buildings.

Cumulative Impacts

It is possible for a project to have a less-than-significant impact individually, but to be part of a larger pattern which causes a significant impact if a group of projects are considered simultaneously. This section considers whether the proposed project could have a significant impact on the district in combination with other new buildings in the vicinity.

To set the context, the following is a list of recently constructed buildings (since 1960) which occur in the study area:

- 3027 16th Street (1969)
- 3043 16th Street (1986)
- 3375 17th (2003)
- 3338-3388 17th Street (?)
- 36 Hoff Street (1986)
- 88 Hoff Street (2000)
- 2045 Mission Street (1981)
- 75 Rondel Street (2002)
- 77 Rondel Street (1999)
- 85 Sycamore Street (2002)

The following is a list of proposed projects in the study area:

- 2138 Mission Street, proposed demolition and new construction of a 4-story building

The existing building is proposed to be demolished and replaced. It is not an individual historic resource. The building is located within two historic districts identified through survey, but it is not a contributor to a historic district. Although other new buildings have been constructed in the study area since 1960 and additional projects are anticipated, these projects as a group would not have a significant impact on either district. Because the district survey is recent, the Planning Department's determination that two potential districts exist in this part of the Mission shows that past projects did not impair the integrity of the districts at the time of the survey. The projects developed since then are too

few in number and too limited in scale to cause an impact. Furthermore, the existing building at 2100 Mission Street was constructed well after the period of significance of the districts and lacks the physical character of contributing buildings, so it already plays a role in the districts that is similar to that of the proposed building. Because the proposed building would incorporate residential as well as commercial use and would have much more articulation than the existing building, it would be no more of an anomaly in comparison to the contributing buildings than the existing one is, even though it would be larger in scale.

Mitigations

No mitigation is required under CEQA as the existing building does not appear to be an individual historic resource or a contributor to a historic district. The proposed building would not cause a material impairment to either district, and would therefore have a less than significant effect on historic resources.

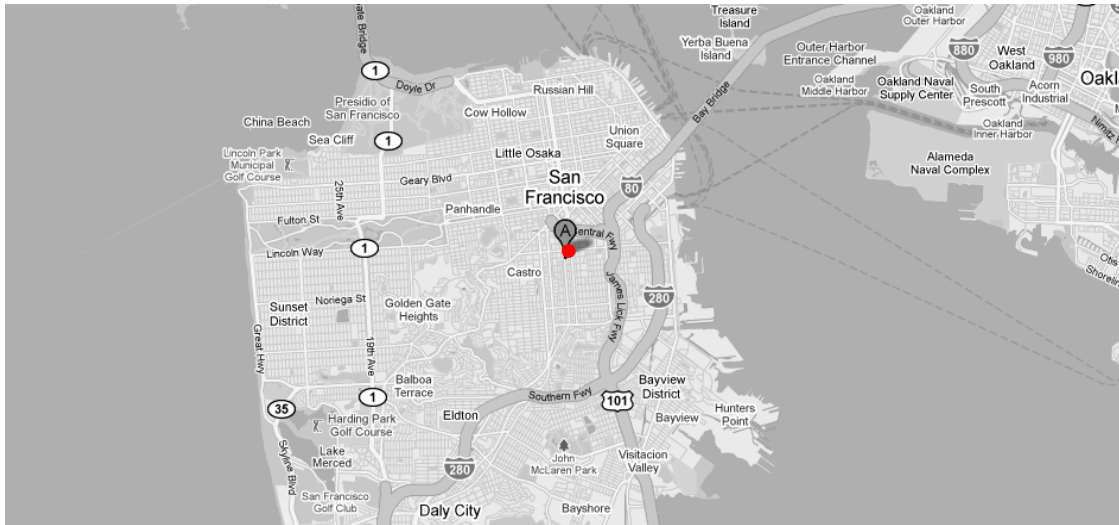
Conclusions

The existing building would be demolished and a new building would replace it. The site is located within two potential historic districts identified by the Inner Mission North survey conducted by the Planning Department. The existing one-story commercial building at 2100 Mission Street does not appear to be eligible for the California Register as an individual resource or as a contributor to either historic district.

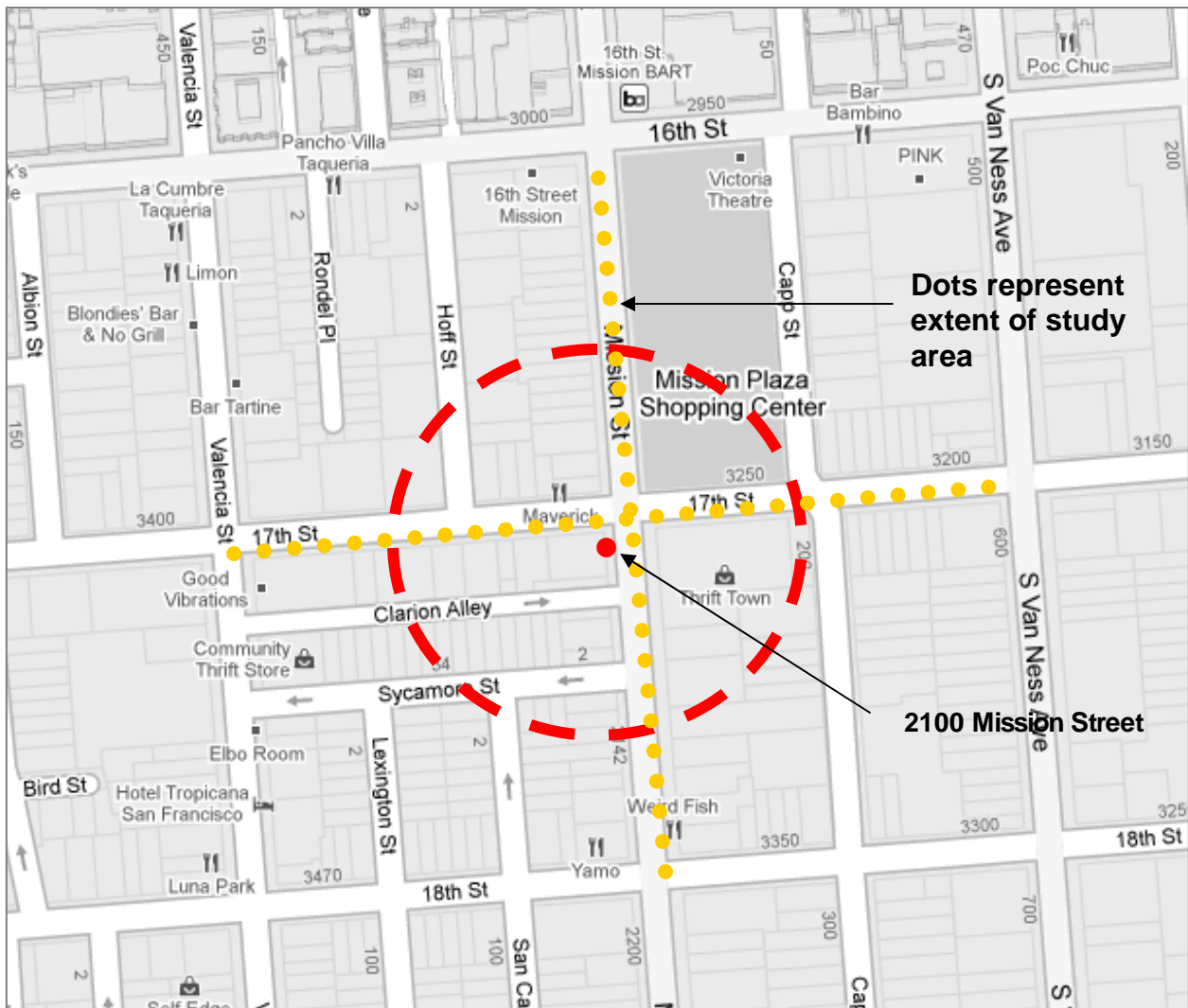
The proposed building would share the design principles which characterize the district, and would be compatible with it in scale and siting. The ground floor retail spaces would have storefront on the streets as the contributing buildings generally do; the building would mark the corner with its notched entry; and the basic composition of a rectangular mass articulated in a base-shaft-capital sequence, with regular window bays punctuating solid walls, would correspond to the character of nearby contributing buildings in the two districts.

II. APPENDICES

A. MAP



Map of San Francisco. Map courtesy of Google.com, 2010.



Map of area around 2100 Mission Street. Map courtesy of Google.com, 2010.

B. ASSESSOR'S BUILDING CARD

REAL PROPERTY RECORD
4 WHEEL BRAKE

CITY & COUNTY OF SAN FRANCISCO
ASSESSORS OFFICE VALUATION DIVISION

REAL PROPERTY RECORD
4 WHEEL BRAKE

VOL. 23 BLOCK 3576 LOT 1
ADDRESS 2100 MISSION
CODE CLASS I

TNI: 2-6-63

STORIES		B	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	M	TOTAL			
ROOMS		2																														4

RESIDENTIAL	CLASS	EXTERIOR CONSTRUCTION	INTERIOR FINISH	HEATING SYSTEM
Dwelling	A, B, 2, 3, 4, 5	Retic Pennis Shizo	Plaster Sheetrock Wallboard	Electric Gas Oil
Apartment				
Hotel	Concrete	Metal Shingles	Paneling Unfinished	Steam Radiant
Motel	Brick	Brick	PAINTED	Baseboard
Rooming House	Slab	Brick	BATH ROOM	Ment-Air-Comer Sump
	Concrete	Tile-Up		Groupy
	Piers			
NON-RESIDENTIAL				
Public Building	Misc.	Tile-Up Conc. Block Veneer	Number of Rooms Tubs Shower	Mechanical Sprinkler System Elevator
School				
Office	BASEMENT		Tile	
Commercial	Unfinished Finished	Comp Metal	Separate Toilet	Potenger Capacity Freight Capacity
Industrial	Number Cor Spaces	T&G Concr.	KITCHEN	Automatic Elevator
			Tile Sink	
			BUILT-INS	
Service Station	Medical	Solidwood	Dwain Oven	MISCELLANEOUS
Loft	Theatre	Hardwood	Disp. Range	Fire Escape Vault
Warehouse	Club	Terrazzo		Skylight Family Room
Condominium	Bank	Marble	W. C. Urns	1-Steel Ball Post 4 TO SPIN LOW WOOD BUR
Greenhouse	Store	Concrete	FIXTURES	
Co-Operative	Garage	Earth		
Shed	Church	Tile Metal CEMENT		

COMPUTATIONS				
APPRASER & DATE	DIM. AREA	AREA	UNIT COST	COST
1st Floor 70 x 91	6310			
MEZZ 18 x 70	1260			
Total	7630			
Normal % Good				
R. C. L. N. D.				

VALUATION RECORD				
YR.	LAND	IMPTS.	TOTAL	CH. BY
67	54,400	44,600	129,000	
75	109,500	58,000	167,500	RV
77		SPME		PV
78	116,200	61,600	187,800	RV
83	241,000	149,000	390,000	SPM 2-84
84	241,000	149,000	390,000	E

NEIGHBORHOOD ATTRIBUTES	
Single family use	<input type="checkbox"/>
Multi-family use	<input type="checkbox"/>
Commercial use	<input type="checkbox"/>
Industrial use	<input type="checkbox"/>
Zoning conform.	Yes <input type="checkbox"/> No <input type="checkbox"/>
Desirability	Yes <input type="checkbox"/> No <input type="checkbox"/>
Built-up	Yes <input type="checkbox"/> No <input type="checkbox"/>
Date of Improvements	G <input type="checkbox"/> F <input type="checkbox"/> P <input type="checkbox"/>
Trend	G <input type="checkbox"/> F <input type="checkbox"/> P <input type="checkbox"/>
CONCLUSIONS	
Land Value	
Improvement Value	
Total Value	

CONSTRUCTION RECORD				EFFECTIVE YEAR		APPROXIMATE YEAR		NORMAL % GOOD	
PERMIT NO.	FOR	AMT.	DATE	YEAR	AGE	REMA.	LIFE	TABLE	%
260191	N.H.	25,000	3-15-62						
325304	WHEEL BRAKE	5000	2-15-66						
327390	WHEEL BRAKE	25,000	2-15-66						

REMARKS: CONSTRUCTION - REIN. CONC. TILT-UP
 ROOF - LOG. Wood Gie. - 70' span
 S-22-PY EXCEL. CONDITION - EXCELLENT

LAND DATA				TOPOGRAPHY			
FRONT	DEPTH	AREA	ZONING	LEVEL	SOIL	VIEW	%
70	91	FT. = 6370 SF.	C-M				

ADJUSTMENT				VALUE		FFV.	
DESCRIPTION	CURB	SIDEWALK	UTILITIES	%	STD. DEPTH	%	STD. WIDTH
					\$84,400	\$13.25	\$1205.71

REMARKS:

MARKET APPROACH			
ADDRESS	BLOCK	LOT	DESC.

NET INCOME				INCOME IMPUTABLE TO BLDG.				INCOME IMPUTABLE TO LAND.			
LIFE	DEPR.	YIELD	TAX	YIELD	TAX	YIELD	TAX	YIELD	TAX	YIELD	TAX

NET INCOME: \$

RESIDUAL IMPUTABLE TO BLDG.:

RESIDUAL IMPUTABLE TO LAND:

Bldg. Val. \$

Rounded to:

Land Value

TOTAL

GROSS INCOME:

Vacancy %

Effective Gross Income

Expenses

Total Expense:

NET INCOME:

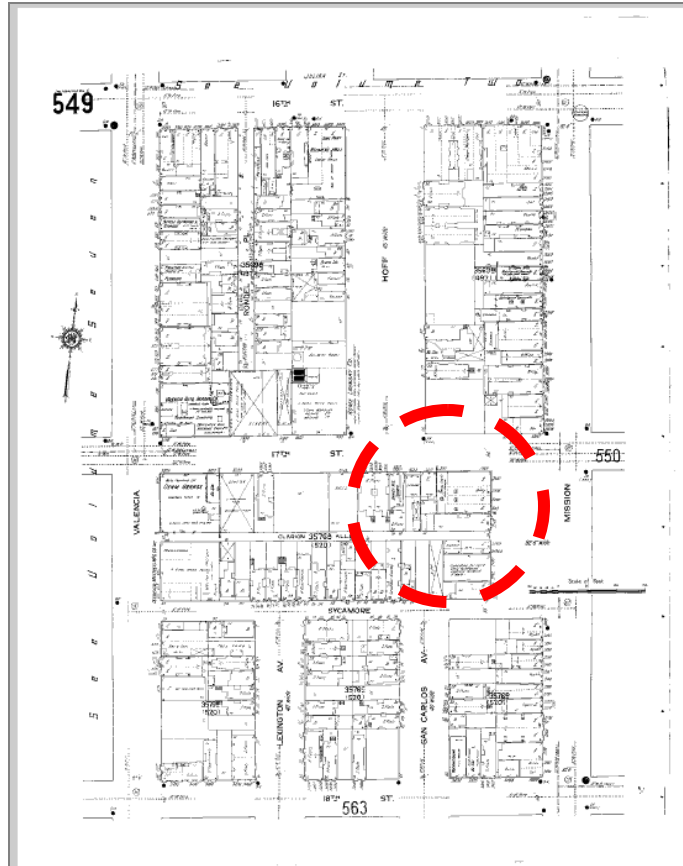
ESTIMATED VALUE:

PHOTO

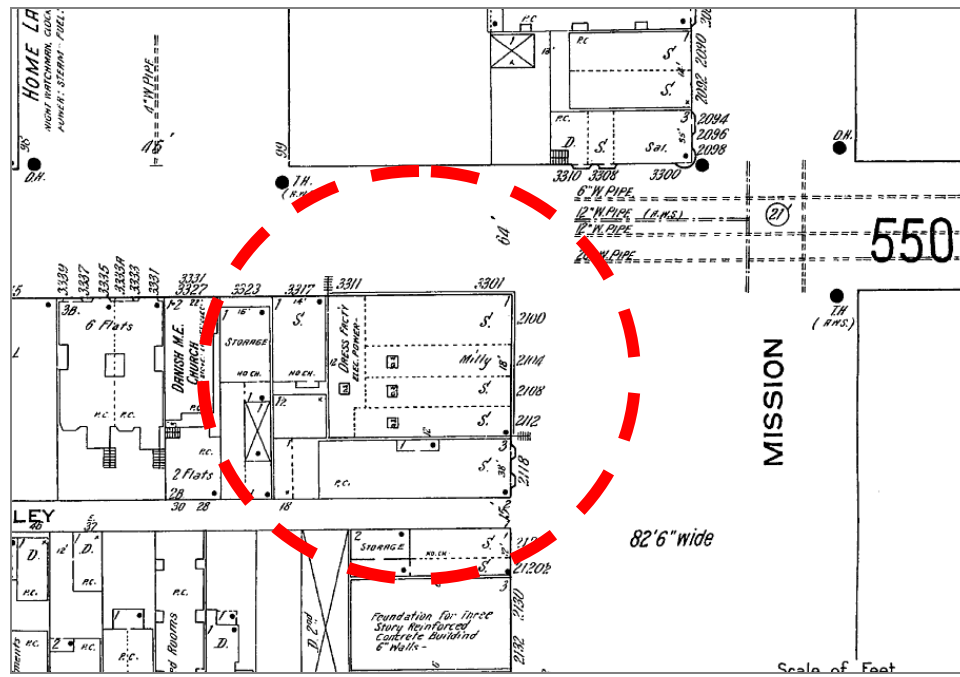
Sales History:
 7-14-62 - Extr. D - 57,000
 10-14-62 - D/T - 70,000
 5-25-66 - Amend. Lease to 811 per mo.
 2-27-84 - OWNER S/D - S.P. AS 1300 P/M 50 Y
 C.O.S. TO FOLLOW D/T 200,000 SELLER

Summary:

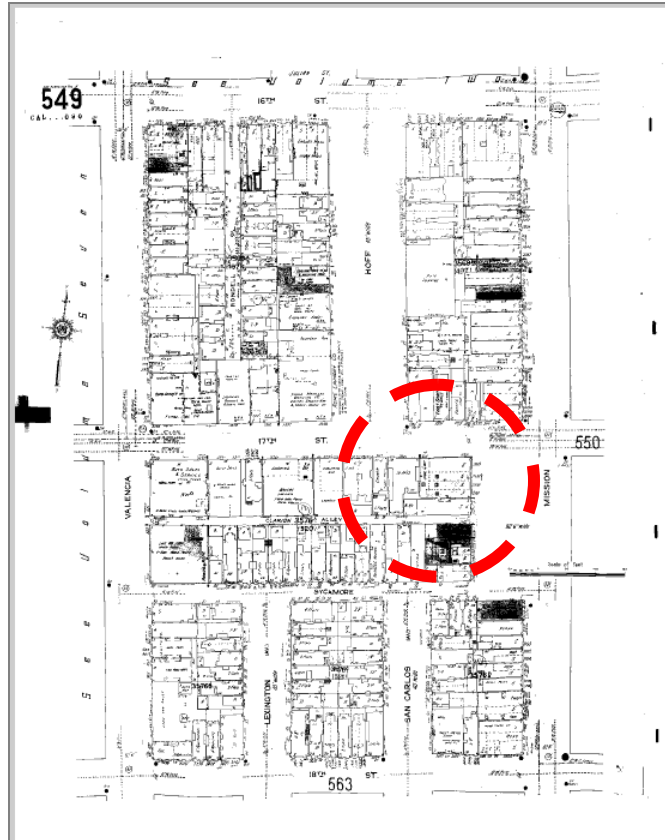
C. SANBORN FIRE INSURANCE MAPS



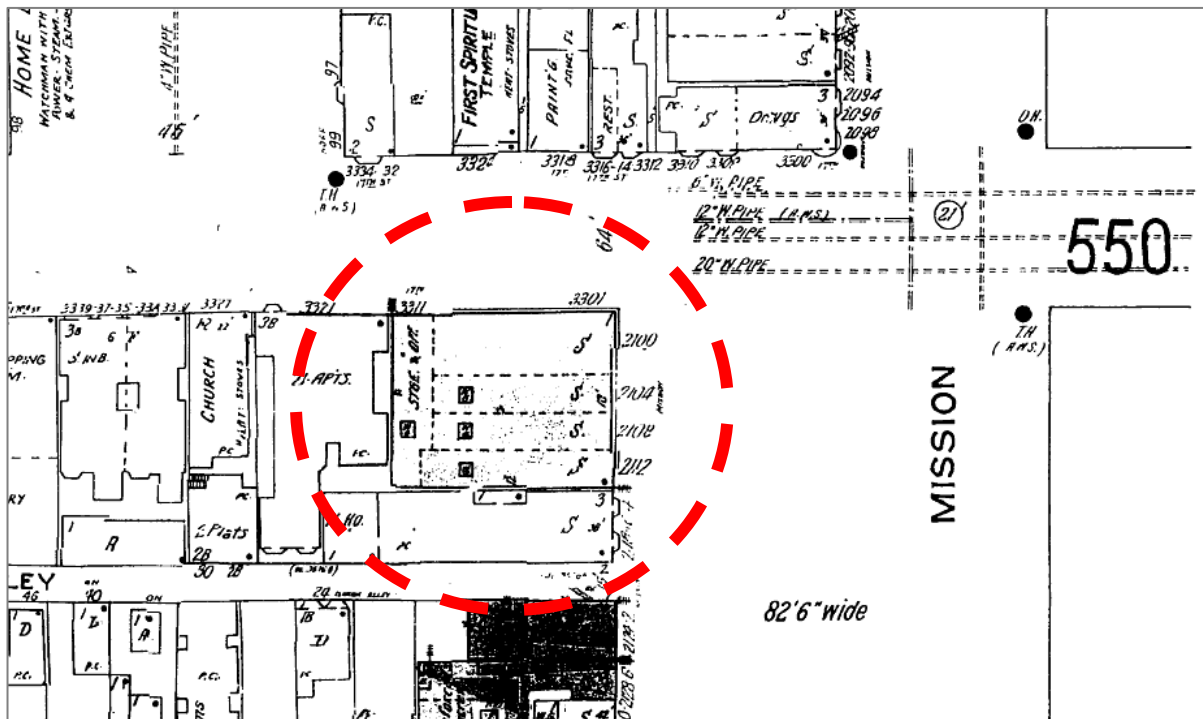
Sanborn Fire Insurance Map, San Francisco, 1913-1915, vol. 6, 1914, Sheet 549.



Detail of Sanborn Fire Insurance Map, San Francisco, 1913-1915, vol. 6, 1914, Sheet 549.



Sanborn Fire Insurance Map, San Francisco, 1913-Dec. 1950, vol. 6, 1914-Dec. 1950, Sheet 549.



Sanborn Fire Insurance Map, San Francisco, 1913-Dec. 1950, vol. 6, 1914-Dec. 1950, Sheet 549.

D. BUILDING PERMITS

BLDGC, FORM 3 No. 260191

APPLICATION OF ELMER SKINNER AND LEONA SKINNER CO. PARTNER OWNERS

FOR PERMIT TO MAKE ADDITIONS, ALTERATIONS or REPAIRS TO BUILDING

Location S.W. COR. 17TH & MISSION ST (2100 MISSION ST.)
SAN FRANCISCO, CALIF.

Total Cost \$25,000 Filed JAN. 23 1962

APPROVED APPROVED (Public Arts) MAR 6 1962
SUPERINTENDENT
BUREAU OF BUILDING INSPECTION

Superintendent, Bureau of Building Inspection
Permit No. 274564
Issued 7-15-62

REFER TO: Bureau of Engineering
 Bldg. Inspr.
 Art Commission
 Dept. of Public Health
 Dept. of Electricity
 Redevelopment Agency
 Parking Authority
 PLANNING

Approved 1-24-62 1962
Provided the following conditions are complied with:

- 1- PROVIDE 140 SEPARATION BETWEEN BUSINESS & SHOP OFFICE. EXPOSE STAIRS TO 4th FLOOR. DOORS & VESTIBULE DOORS FOR MECH. ENG. PLANS FOR MECH. VENTILATION & DROPS
- 2- PROVIDE 2 1/2 GALLON FIRE EXTINGUISHERS @ 50' L.O.C.
- 3- See Section 10 of plan.

W. C. Dutton (Signature)
Owner or Owner's Authorized Agent

Building Inspector, Bureau of Building Inspection
I agree to comply with all conditions or stipulations of the various Bureaus or Departments noted herein.

Approved: C. M. Zone
CPC, Software, Name
W. C. Dutton Department of City Planning
Approved: Gregory J. Kelly Bureau of Prevention & Public Safety
Approved: 3/15/62 Civil Engineer, Bureau of Building Inspection

Approved: _____ Department of Public Health
Approved: _____ Department of Electricity
Approved: _____ Art Commission
Approved: _____ Boiler Inspector
Approved: _____ Redevelopment Agency
Approved: _____ Parking Authority

No portion of building or structure or scaffolding used during construction to be closer than 6' to any wire containing more than 750 volts. See Sec. 355 California Penal Code.

ALL ENCLOSURES IN THE OFFICE SHALL BE ON SHOCKLESS WIRING IN THE OFFICE SHALL BE BY THE BOARD OF SUPERVISORS. ALL ENCLOSURES WITH FEEDER AND VEH. CABLE SHALL MEET THE STANDARD ENGINEERING ALL WIRING SHALL BE INSIDE OF PROPERTY.

W. C. Dutton 3-8-62

CENTRAL PERMIT BUREAU F431

Write in Ink--File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS **CENTRAL PERMIT BUREAU**
BLDG. FORM **APPLICATION FOR BUILDING PERMIT**
3 **ADDITIONS, ALTERATIONS OR REPAIRS**

JAN. 22 1962

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

(1) Location 2100 MISSION ST. S.W. COR. AT 17TH ST.

(2) Total Cost (\$) 25,000 (3) No. of Stories 1 (4) Basement or Cellar NO

(5) Present Use of building 3 STORES (6) No. of families yes or no

(7) Proposed Use of building BRANE SHOP (8) No. of families yes or no

(9) Type of construction 3 (10) 15-B Proposed Building Code Classification

(11) Any other building on lot NO (must be shown on plot plan if answer is yes.)

(12) Does this alteration create an additional story to the building? NO

(13) Does this alteration create a horizontal extension to the building? NO

(14) Does this alteration constitute a change of occupancy YES

(15) Electrical work to be performed YES (16) Plumbing work to be performed YES

(17) Automobile runway to be altered or installed YES

(18) Sidewalk over sub-sidewalk space to be repaired or altered YES

(19) Write in description of all work to be performed under this application:
 (Reference to plans is not sufficient)

ALTER MISSION ST AND 17TH ST WALLS.
INSTALL NEW FLOOR
INSTALL NEW ROOF
INSTALL NEW FRONT AND SIDE DRIVEWAY
INSTALL NEW WIRING
INSTALL RESTROOMS

(20) Supervision of construction by WHEEL BRAKE SERVICE Address 220 FELL ST. SF.

(21) General Contractor NOT SELECTED AS OF California License No. _____
 Address THIS DATE

(22) Architect or Engineer RUSSELL H. FULLER California Certificate No. 602
 (for design) Address 171 - 2ND ST. SAN FRANCISCO

(23) Architect or Engineer RUSSELL H. FULLER California Certificate No. 602
 (for construction) Address 171 - 2ND ST. SAN FRANCISCO

(24) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or sidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

ELMER & LEONA SKINNER (Phone HE 1-6745)
 Address 220 FELL ST. SAN FRANCISCO
 For contract by Bureau

Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.

CERTIFICATE OF FINAL COMPLETION AND/OR PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF WORK OR ALTERATION INVOLVING AN ENLARGEMENT OF THE BUILDING OR A CHANGE OF OCCUPANCY PURSUANT TO SEC. 809 AND 809.5, SAN FRANCISCO BUILDING CODE, BEFORE BUILDING IS OCCUPIED.

Pursuant to Sec. 304, San Francisco Building Code, the building permit shall be posted on job. Owner is responsible for approved plans and application being kept at building site.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED.

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

BY WIRING PERMIT BE HANGED ON EXTERIOR OF BUILDING. BY CONTRACTOR. BY ENGINEER. BY ARCHITECT. BY OWNER. BY CONTRACTOR. BY ENGINEER. BY ARCHITECT. BY OWNER. BY CONTRACTOR. BY ENGINEER. BY ARCHITECT. BY OWNER.

SAN FRANCISCO
MENT
INSPECTOR

BLDG. FORM
No. 927390

3576-3/23
3 APPLICATION OF

FOR PERMIT TO MAKE
ADDITIONS, ALTERATION or REPAIRS
TO BUILDING
2100 Mission
Location: SOUTH WEST CORNER
MISSION & 17TH STREETS

Total Cost \$ 3,000.00
Filed MAR 17 1966
APPROVED
APR 18 1966
MAR 29 1966
APPROVED
APR 18 1966
APR 29 1966
APPROVED
APR 18 1966
APR 29 1966

Superintendent Bureau of Building Inspection
Permit No. 3500 79-102
Issued 3-21-66 19

REFER TO:

- Bureau of Engineering
- BBI Struct. Engineer
- Boiler Inspector
- Art Commission
- Dept. of Public Health
- Dept. of Electricity
- Redevelopment Agency
- Parking Authority

Approved 3-21-1966

Provided the following conditions are complied with:

Approved: Department of Public Health

Approved: Department of Electricity

Approved: Art Commission

Approved: Boiler Inspector

Approved: Redevelopment Agency

Approved: Parking Authority

No portion of building or structure or scaffolding used during construction to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385 California Penal Code.

Approved: MAR 22 1966

Zone CPC - Setbacks

In executing this application, the zoning classification has not been checked. Approval is for the work described only and is not to be construed as approval of any proposed use as shown on this application. Approved for single family use only. Approved for maintenance only.

Approved: Department of City Planning

Approved: Bureau of Fire Prevention & Public Safety

Approved: Civil Engineer, Bureau of Building Inspection

Approved: Bureau of Engineering

Ed Gull 3-22-66

Bureau of Fire Prevention & Public Safety

Approved: Civil Engineer, Bureau of Building Inspection

Approved: Bureau of Engineering

Approved: Parking Authority

No portion of building or structure or scaffolding used during construction to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385 California Penal Code.

Building Inspector, Bureau of Building Inspection

I agree to comply with all conditions in stipulations of the various Bureaus or Departments noted herein.

Owner or Owner's Authorized Agent

Ed Gull

3-21-66

3-21-66

3-21-66

3-21-66

3-21-66

3-21-66

3-21-66

3-21-66

3-21-66

CENTRAL PERMIT BUREAU F435
 Write in Ink—File Two Copies.
 CITY AND COUNTY OF SAN FRANCISCO
 DEPARTMENT OF PUBLIC WORKS
 BLDG. FORM
 3
 CENTRAL PERMIT BUREAU
 APPLICATION FOR BUILDING PERMIT
 ADDITIONS, ALTERATIONS OR REPAIRS

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

MAR. 18, 1966

(1) Location SOUTHWEST CORNER MISSION & 17TH STREETS
 (2) Total Cost (\$) 2,000.00 (3) No. of Stories 1 (4) Basement or Cellar NO
 (5) Present Use of building COMMERCIAL (6) No. of families YES OR NO
 (7) Proposed Use of building SAME AS S (8) No. of families YES OR NO
 (9) Type of construction 3 (10) Proposed Building Code Classification 15.4
 (11) Any other building on lot NO (must be shown on plot plan if answer is yes.)
 (12) Does this alteration create an additional story to the building? NO
 (13) Does this alteration create a horizontal extension to the building? NO
 (14) Does this alteration constitute a change of occupancy NO
 (15) Electrical work to be performed YES (16) Plumbing work to be performed NO
 (17) Automobile runway to be altered or installed NO
 (18) Sidewalk over sub-sidewalk space to be repaired or altered NO
 (19) Will street space be used during construction? NO
 (20) Write in description of all work to be performed under this application:
 (Reference to plans is not sufficient)
CONSTRUCT NEW WINDOW DISPLAY AREA - CONCRETE
FACING & WALL ALUMINUM SILL JAMBES & HENDERS
FOR GLASS ALUMINUM MULLIONS FOR CENTER
SUPPORT WHERE NEEDED. GLASS TO BE PLATE.
PLANS ARE SUBMITTED WITH THIS APPLICATION

(21) Supervision of construction by M. MORENO Address 286 E. GRAND AVE
 (22) General Contractor HALE-IA CONSTRUCTION California License No. 225383
 Address 286 E. GRAND AVE. S.O.S.F.
 (23) Architect or Engineer (for design) California Certificate No. _____
 Address _____
 (24) Architect or Engineer (for construction) California Certificate No. _____
 Address _____

(25) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or sub-sidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

(26) Owner Four Wheel Brake (Phone 431-2993)
 Address 229 FELL ST. S.F. For contract by Bureau

By M. Moreno Address 286 E. GRAND AVE. S.O.S.F.
 Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.

CERTIFICATE OF FINAL COMPLETION AND/OR PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF WORK OR ALTERATION INVOLVING AN ENLARGEMENT OF THE BUILDING OR A CHANGE OF OCCUPANCY PURSUANT TO SEC. 808 AND 809, SAN FRANCISCO BUILDING CODE, BEFORE BUILDING IS OCCUPIED.

Pursuant to Sec. 804, San Francisco Building Code, the building permit shall be posted on job. Owner is responsible for approved plans and application being kept at building site.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED.

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.



3576

BLDG. FORM No. 323

APPLICATION OF

Lease Owner
A. Daniel Epstein
FOR PERMIT TO MAKE
ADDITIONS, ALTERATION or REPAIRS
TO BUILDING

2100 Mission

Location of building, lot, corner, street, and other projects

Total Cost \$ 5,000.00

Filed January 17, 1966

APPROVED:

APPROVED
Dept. Public Works
FEB 15 1966

Superintendent, Bureau of Building Inspection

Permit No. 290877

Issued FEB 15 1966

REFER TO:

- Bureau of Engineering
- BHI Struct. Engineer
- Boiler Inspector
- Art Commission
- Dept. of Public Health
- Dept. of Electricity
- Redevelopment Agency
- Parking Authority

Approved 2-3-1966
Provided the following conditions are complied with:

1. Floors & frame supporting members shall be of ~~steel~~ *concrete*
2. Mezzanine Floor not to exceed 3 1/3 percent of Total Floor Area of Building
3. In lieu of #1, Floor can be of Wood - One Hour Fire Protected. Per Ruling Sept. Building Inspection.

Stella Ruffalo
Building Inspector, Bureau of Building Inspection

I agree to comply with all conditions or stipulations of the various Bureaus or Departments noted hereon.

Henry Schubert
Owner or Owner's Authorized Agent

Approved:

Zone FEB 8 1966
CPC Setbacks
Department of Public Health

Approved:

Department of Electricity

Approved:

Art Commission

Approved:

Boiler Inspector

Approved:

Redevelopment Agency

Approved:

Parking Authority

No portion of building or structure or scaffolding used during construction to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385 California Penal Code.

Approved:

Zone FEB 8 1966
CPC Setbacks
Department of City Planning

Gene Van Way
Department of City Planning

Approved:

R. Berger 2-8-66
Bureau of Fire Prevention & Public Safety

Approved:

Post build plan
per spec. 2-21-66
Code.

Robert Long 2-11-66
Civil Engineer, Bureau of Building Inspection

Approved:

Bureau of Engineering



CENTRAL PERMIT BUREAU F435

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS
BLDG. FORM

CENTRAL PERMIT BUREAU

3

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

January 27, 19 66

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location... Southwest corner Mission and 17th Streets
- (2) Total Cost (\$) 5,000.00 (3) No. of Stories... 1 (4) Basement or Cellar... no
- (5) Present Use of building... commercial (6) No. of families... none
- (7) Proposed Use of building... same (8) No. of families... none
- (9) Type of construction... (10) Proposed Building Code Classification... 1-5-4
- (11) Any other building on lot... no (must be shown on plot plan if answer is yes.)
- (12) Does this alteration create an additional story to the building?... no
- (13) Does this alteration create a horizontal extension to the building?... no
- (14) Does this alteration constitute a change of occupancy... no
- (15) Electrical work to be performed... yes (16) Plumbing work to be performed... yes
- (17) Automobile runway to be altered or installed... no
- (18) Sidewalk over sub-sidewalk space to be repaired or altered... no
- (19) Will street space be used during construction?... no
- (20) Write in description of all work to be performed under this application:
(Reference to plans is not sufficient)

New Mezzanine addition for Brake Shop as per plans and specifications.

- (21) Supervision of construction by Haleia Construction Address 286 E. Grand Ave. South San Francisco
- (22) General Contractor Haleia Construction Co. California License No. 225385
Address 286 E. Grand Avenue, South San Francisco, Calif.

- (23) Architect or Engineer... California Certificate No.
(for design)
Address
- (24) Architect or Engineer... California Certificate No.
(for construction)
Address

(25) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or sub-sidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

- (26) Owner... 4 Wheel Brake Service (Phone... 431-6745)
Address 220 Fell Street, San Francisco
Per contract by Bureau

By M. Luano Address 286 E. Grand Ave., So. S. F.
Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.

CERTIFICATE OF FINAL COMPLETION AND/OR PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF WORK OR ALTERATION INVOLVING AN ENLARGEMENT OF THE BUILDING OR A CHANGE OF OCCUPANCY PURSUANT TO SEC. 808 AND 809, SAN FRANCISCO BUILDING CODE, BEFORE BUILDING IS OCCUPIED.

Pursuant to Sec. 304, San Francisco Building Code, the building permit shall be posted on job. Owner is responsible for approved plans and application being kept at building site.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED.

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS
BUILDING INSPECTION

APPROVED
Dept. of Public Works

OCT 28 1994

Oct 27 3:44

APPROVAL ISSUANCE
001281994

APPLICATION NUMBER
09417876

OSHA APPROVAL REQ'D

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 OTHER AGENCIES REVIEW REQUIRED
FORM 8 OVER-THE-COUNTER ISSUANCE
0 NUMBER OF PLAN SETS *9/11/95*

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF PUBLIC WORKS OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DATE FILED <i>10-28-94</i>	PERMITS FEE RECEIPT NO. <i>9/11/95</i>	(1) STREET ADDRESS OF JOB <i>2100 Mission ST</i>	BLOCK & LOT <i>3576 1</i>
PERMIT NO. <i>75707</i>	ISSUED <i>10/28/94</i>	(2) ESTIMATED COST OF JOB <i>18,500</i>	(3) REVISED COST:

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

DESCRIPTION OF EXISTING BUILDING			
(1A) TYPE OF CONSTR.	(1A) NO. OF STORES OF OCCUPANCY:	(1A) NO. OF BASEMENTS AND CELLARS:	(1A) PRESENT USE: <i>Garage</i>
(1B) TYPE OF CONSTR.	(1B) NO. OF STORES OF OCCUPANCY:	(1B) NO. OF BASEMENTS AND CELLARS:	(1B) PROPOSED USE (LEGAL USE): <i>Garage</i>
(11) IS AUTO DRIVEWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(14) GENERAL CONTRACTOR <i>Star Roofing 740 Keewick</i>		ADDRESS <i>569-8592</i> PHONE <i>193296</i> EXPIRATION DATE <i>4-30-96</i>	
(15) OWNER - LESSOR (CROSS OUT ONE) <i>Harrison Weldenmuller Co. 300 Montgomery St.</i>		ADDRESS <i>9401</i> PHONE (FOR CONTACT BY BUREAU) <i>434-3600</i>	
(16) WRITE IN DESCRIPTION BY ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT) <i>Tear off Tar & Gravel and install 2 plx Asphalt and CapSheet 21b.</i>			

ADDITIONAL INFORMATION - FORM 3 APPLICANTS ONLY

(17) DOES THIS ALTERATION CREATE ADDITIONAL STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	FT.
(19) DOES THIS ALTERATION CREATE DECK OR PORCH EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA	SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING SETBACK BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(23) ANY OTHER EXISTING BLDG. ON LOTS OF YES, SHOW ON PLOT PLAN	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 6' to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this bureau for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) or (24). THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX
 OWNER ARCHITECT ENGINEER
 LESSEE AGENT WITH POWER OF ATTORNEY
 CONTRACTOR ATTORNEY IN FACT

APPLICANT'S CERTIFICATION
I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

9003 03

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE: The Permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands and actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have on file, or file with the Central Permit Bureau, either Certificate (I) or (II) or (III) designated below or shall indicate item (IV) or (V) or (VI) below, whichever is applicable. If however, item (VI) is checked then item (V) must be checked as well. Mark the appropriate method of compliance below:

() I. Certificate of Consent to Self-insure issued by the Director of Industrial Relations.
() II. Certificate of Workman's Compensation Insurance issued by an admitted insurer.
() III. An exact copy or duplicate of (I) certified by the Director or (II) certified by the insurer.
() IV. The cost of the work to be performed is \$100 or less.
() V. I certify that in the performance of the work for which this Permit is issued, I shall not employ any person in any manner so as to become subject to the workman's compensation laws of California, I further acknowledge that I understand, in the event that I should become subject to the workman's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the Permit herein applied for shall be deemed revoked.
() VI. I certify as the owner (or the agent of the owner) that in the performance of the work for which this Permit is issued, I will employ a contractor who complies with the workman's compensation laws of California and who has on file, or prior to the commencement of any work will file, with the Central Permit Bureau evidence that workman's compensation insurance is carried.

[Signature] *10-28-94*
Applicant's Signature Date

SAN FRANCISCO		CONDITIONS AND STIPULATIONS	
<p>DEPARTMENT OF BUILDING INSPECTION</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p>	<p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p> <p>APPROVED: _____</p>	<p>10-24-94</p> <p>CHECKED BY: <u>LEROY E. DOWNES</u> BUREAU OF BUILDING INSPECTION DATE <u>10-24-94</u> BUILDING INSPECTOR, BUR. OF BLDG. INSP.</p>	DATE: _____ REASON: _____ NOTIFIED MR. _____
		DEPARTMENT OF CITY PLANNING	DATE: _____ REASON: _____ NOTIFIED MR. _____
		BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR. _____
		CIVIL ENGINEER, BUR. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
		BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR. _____
		DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
		REDEVELOPMENT AGENCY	DATE: _____ REASON: _____ NOTIFIED MR. _____
		HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<p>I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.</p> <p>Number of attachments <input type="checkbox"/> _____</p> <p>OWNER'S AUTHORIZED AGENT _____</p>		HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING	

E. DPR 523A FORM

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code

Other Listings
Review Code

Reviewer

Date

Page 1 of 4

*Resource Name or #: 2100 Mission Street

P1. Other Identifier: Same as

***P2. Location:** Not for Publication Unrestricted

*a. County: San Francisco

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Oakland West

Date: 1993 T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: 2100 Mission Street

City: San Francisco

Zip: 94110

d. UTM: Zone: 10 ; mE/ mN (G.P.S.)

e. Other Locational Data: Assessor's Parcel Number, Block 3576 and Lot 001

Elevation:

***P3a. Description:**

The building is located on the southwest corner of the intersection of Mission Street, which runs north to south, and 17th Street, which runs east to west in the Mission District. (Continued on page 2.)

***P3b. Resource Attributes:** HP6. 1-3 story commercial building

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: View from intersection of 17th Street and Mission Street looking southwest. Image courtesy of Knapp Architects, 2010, #100315 003.jpg.

***P6. Date Constructed/Age and**

Sources: Historic

Prehistoric Both

1963, alteration permit

***P7. Owner and Address:**

Timothy Muller, Harrigan Weidenmuller Co., 300 Montgomery St. # 800,
San Francisco, CA 94104

***P8. Recorded by:** Frederic Knapp, Knapp Architects, 235 Montgomery Street, Suite 747, San Francisco, CA 94104-2918

***P9. Date Recorded:** March 25, 2010

***P10. Survey Type:** Intensive

***P11. Report Citation:**

"Historic Resource Evaluation Report for 2100 Mission Street," San Francisco, CA: Knapp Architects, 2010.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

CONTINUATION SHEET

***P3a. Description: (continued)**

The groundplane slopes up slightly to the west from the east. The lot is a rectangle with its long axis running east to west. A three-story residential building is located directly to the south of the subject building and a four story residential building is located directly to the west. Across the streets are a variety of buildings of differing heights that are commercial, residential, or a combination of the two. A concrete sidewalk, with curbing of the same material abuts both faces of the building. The sidewalks contain utility poles for lighting and MUNI overhead wires as well as parking meters. Utilities are underground. There is a wheelchair curb cut at the intersection and vehicular curb cuts in the north and south sidewalks. Addresses associated with this lot over time have included 2100, 2104, 2108 and 2112 Mission Street, as well as 3311 17th Street, since it had five different lease spaces in the property's earlier history.

The existing one-story building occupies the entire lot. The first floor comprises 6,370 square feet and the mezzanine is 1,260 square feet, for a total of 7,630 square feet. The building's mass is a rectangle with its long axis running east to west. The main entrance is located on the east elevation, while a vehicle entrance occurs on the north.

The east elevation has one large recessed opening which contains the main entry storefront. Flanking both sides of the entry, which is offset from center to the north, are fixed ribbon windows framed in closely spaced vertical aluminum mullions. The windows sit on a low concrete wall on the north side and a low plywoodfaced wall on the south. The head of all the building's openings is halfway up the height of the facades.

The north elevation is separated into five equal bays. The bays are divided by closely spaced pairs of wide V-groove reveals which run the full height of the façade from the sidewalk. There are large fixed windows centered in the three bays at the east end of the elevation. The windows are framed in aluminum and each is divided equally in half vertically. The fourth bay has a vehicular opening with a metal roll-up door, and the fifth bay is a solid wall.

The exterior is entirely painted concrete is mostly flush and without any decoration except reveals on the north facade.

A rear illuminated, two-sided blade sign hangs off the northeast corner of the building at a 45 degree angle in plan. Two identical rear illuminated box signs are mounted on the façade, one is centered on the east façade and the other is offset on the north façade, and located near the blade sign. Each sign has the phrase "ONE \$ STORE" in translucent lettering.

The ridge of the low-slope roof runs east to west. A flat top parapet encloses the tar and gravel covered roof.

The clear span roof structure is supported by steel columns which are encased in concrete. Between the columns the perimeter walls on the north and east are reinforced concrete. On the south and west the walls are brick. The roof system is composed of glulam beams spanning the entire 70 foot width from north to south. Joists span the beams and the structure is covered with plywood and a tar and gravel covered roof.

CONTINUATION SHEET

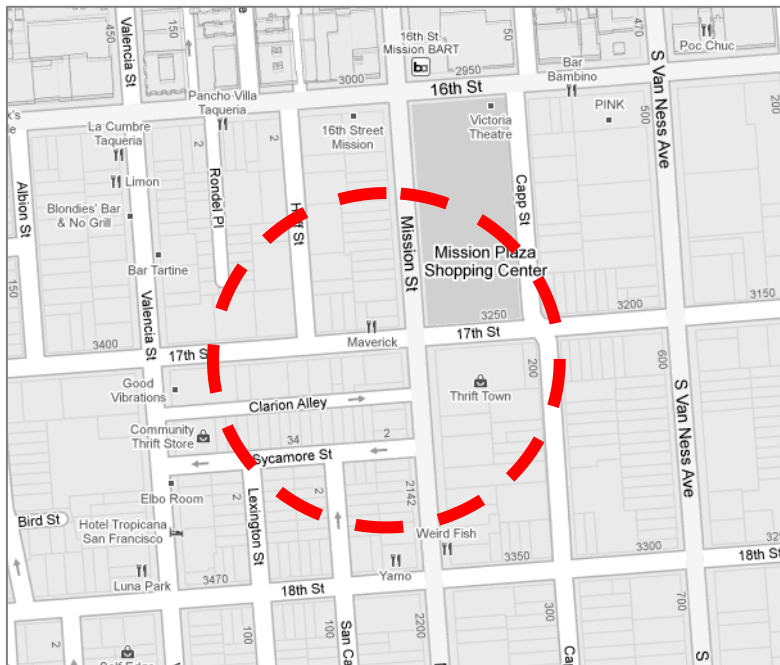
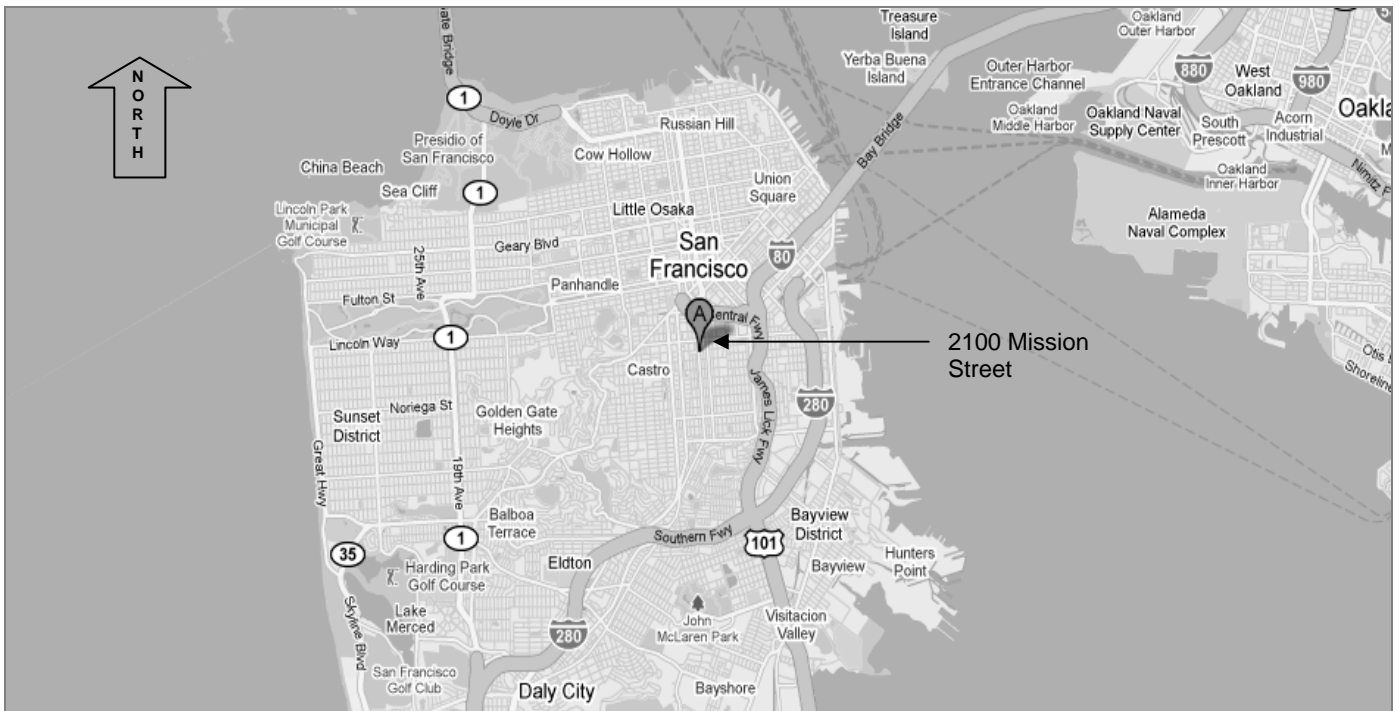
Page 3 of 4 *Resource Name or # 2100 Mission Street

***P3a. Description: (continued)**

Most of the east elevation is constructed as an unobstructed opening of some 11 feet high by 60 feet wide, flanked at each side by five feet of wall. The header over the opening is a huge precast reinforced concrete beam which was set in place and the flanking columns poured in place.

The columnless open plan interior has a mezzanine with two toilet rooms and storage below occupying the bay next to the west wall of the building. The floor is a concrete slab on grade.

***Recorded by:** Frederic Knapp, Knapp Architects, 235 Montgomery Street, Suite 747, San Francisco, CA 94104-2918 ***Date:** March 25, 2010 Continuation Update ***Required information**



F. HISTORIC AND CURRENT PHOTOGRAPHS



Figure 1 – Historic view from intersection of 17th Street and Mission Street looking southwest. Image courtesy of San Francisco Office of the Assessor Recorder, building card, circa 1966.



Figure 2 – View from intersection of 17th Street and Mission Street looking southwest. Image courtesy of Knapp Architects, 2010.

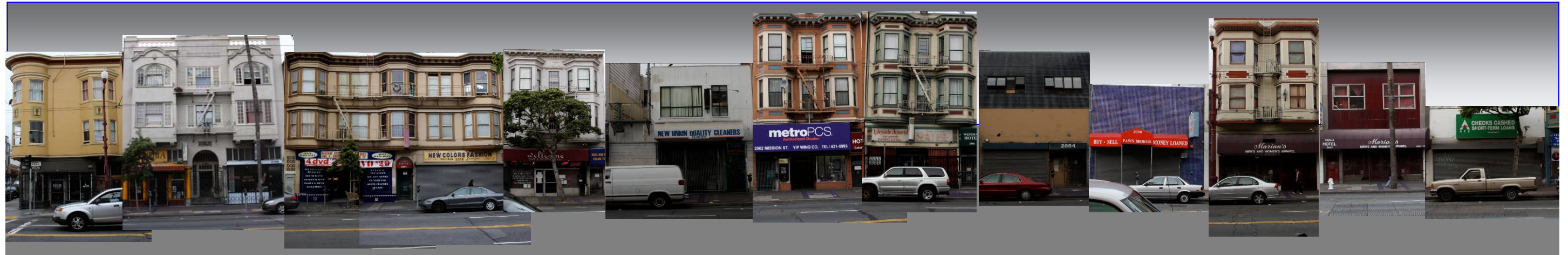


Figure 3 – View from Mission Street looking northwest. Image courtesy of Knapp Architects, 2010.

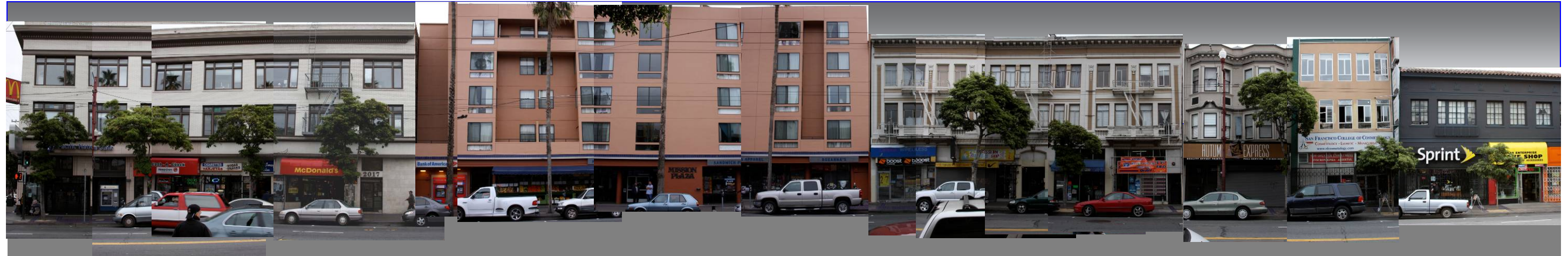


Figure 4 – View from 17th Street looking southeast. Image courtesy of Knapp Architects, 2010.

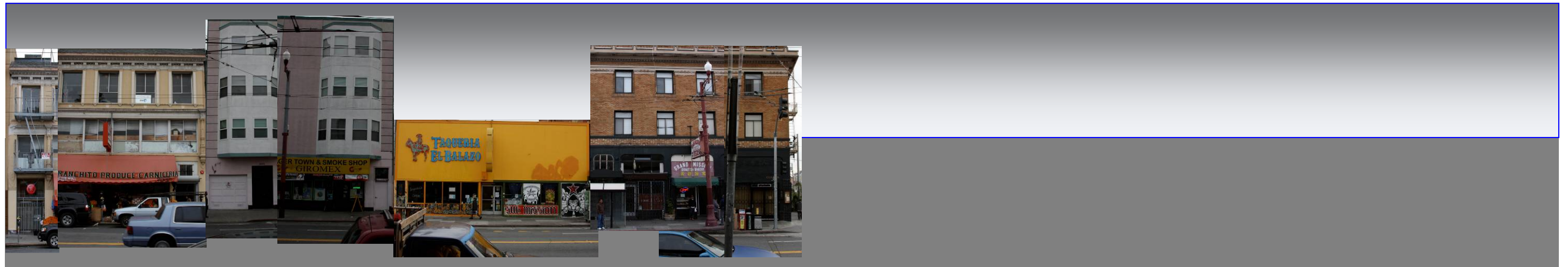
G. CONTEXT PHOTOGRAPHS



Context Images - Mission Street between 17th Street and 16th Street, looking west



Context Images - Mission Street between 16th Street and 17th Street, looking east

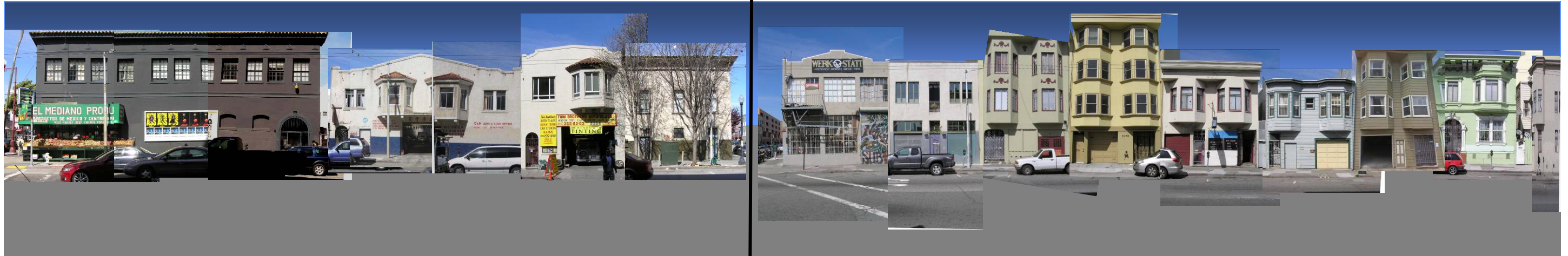


Context Images - Mission Street between 17th Street and 18th Street, looking east



Context Images - Mission Street between 17th Street and 18th Street, looking west

Capp Street



Context Images - 17th Street between Mission Street and South Van Ness Avenue, looking north

Capp Street



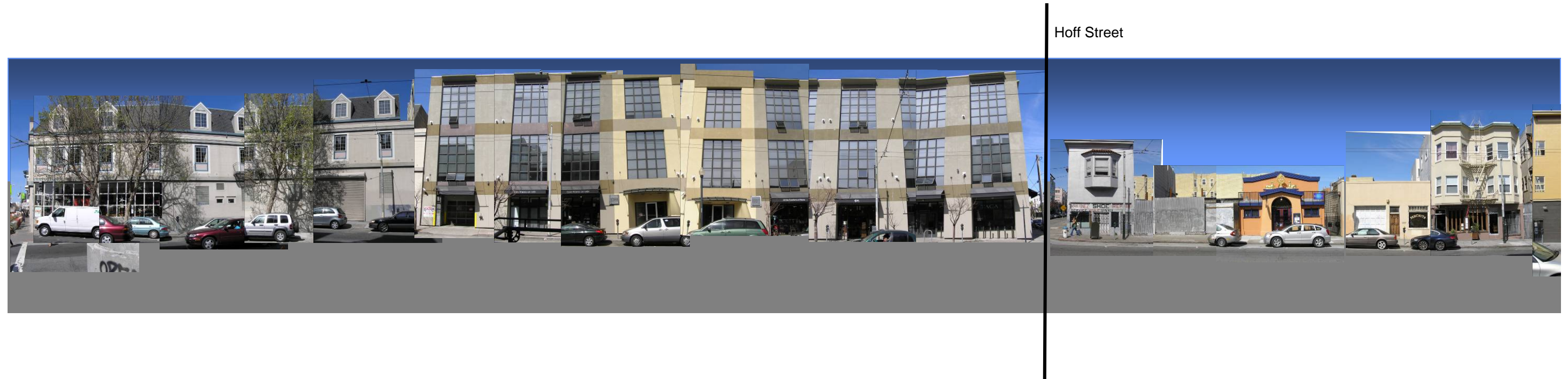
Context Images - 17th Street between Mission Street and South Van Ness Avenue, looking south



2100 Mission Street



Context Images - 17th Street between Mission Street and Valencia Street, looking south



Context Images - 17th Street Between Valencia Street and Mission Street, looking north

III. BIBLIOGRAPHY

III. BIBLIOGRAPHY

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City and County of San Francisco Office of the Assessor-Recorder, "Map Book, Mission, Pages 1093-1159."

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City and County of San Francisco Planning Department, "Inner Mission Commercial Corridor," DPR 523D form, September 30, 2005.

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City and County of San Francisco Planning Department, "Scope of Work for San Francisco Historical Resource Evaluation Reports," (non-archeological), final draft October 8, 2004

City and County of San Francisco Planning Department, Zoning Map of the City of San Francisco, PD07.

National Park Service (NPS). The Secretary of the Interior's Standards for Rehabilitation: <http://www.nps.gov/history/hps/tps/tax/rhb/stand.htm>

Sanborn Fire Insurance Maps, 1913-1915 and 1914-1950.

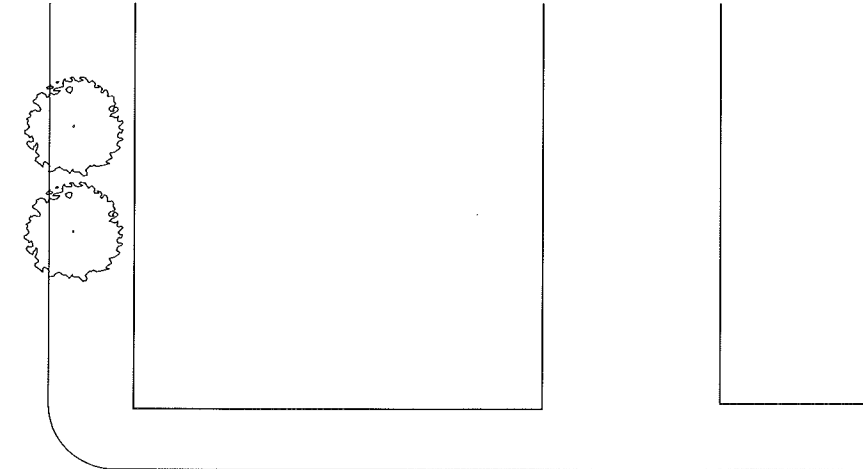
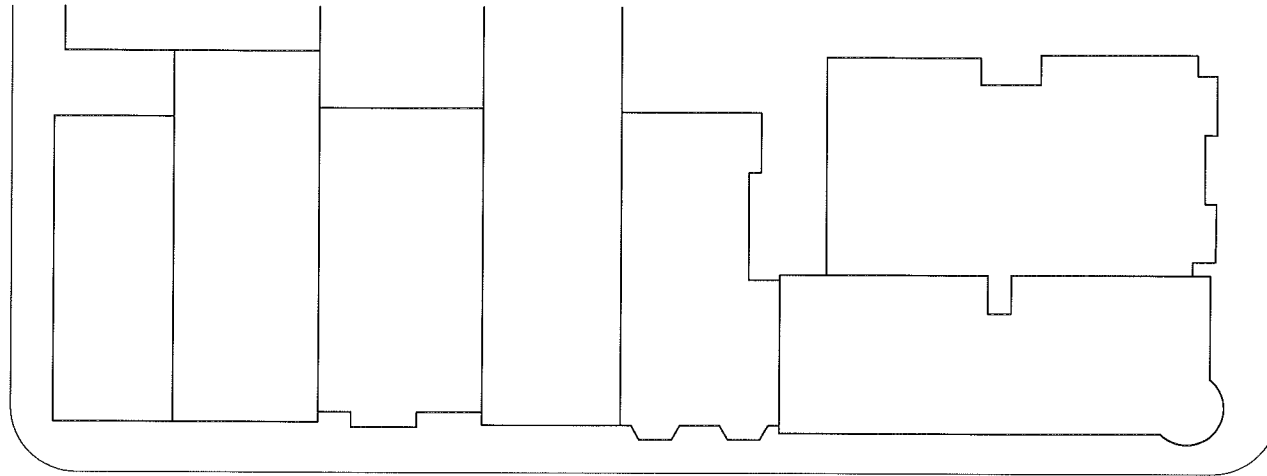


STANLEY SAITOWITZ |
NATOMA ARCHITECTS INC.

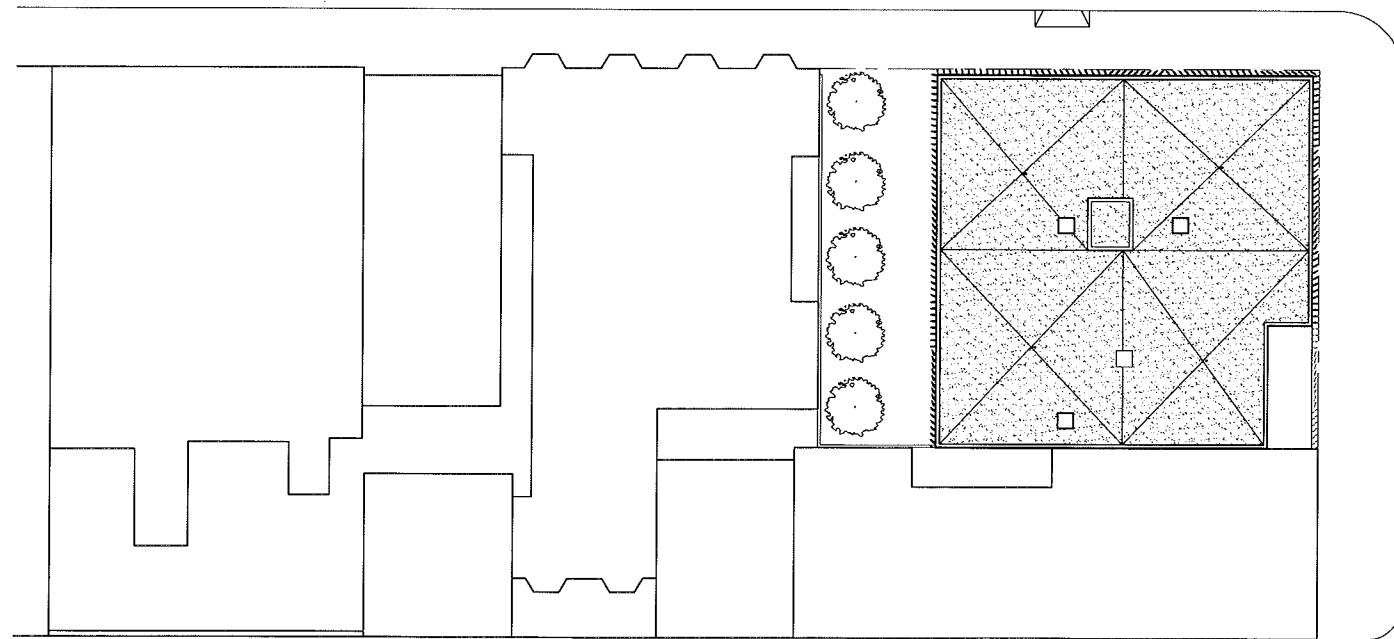
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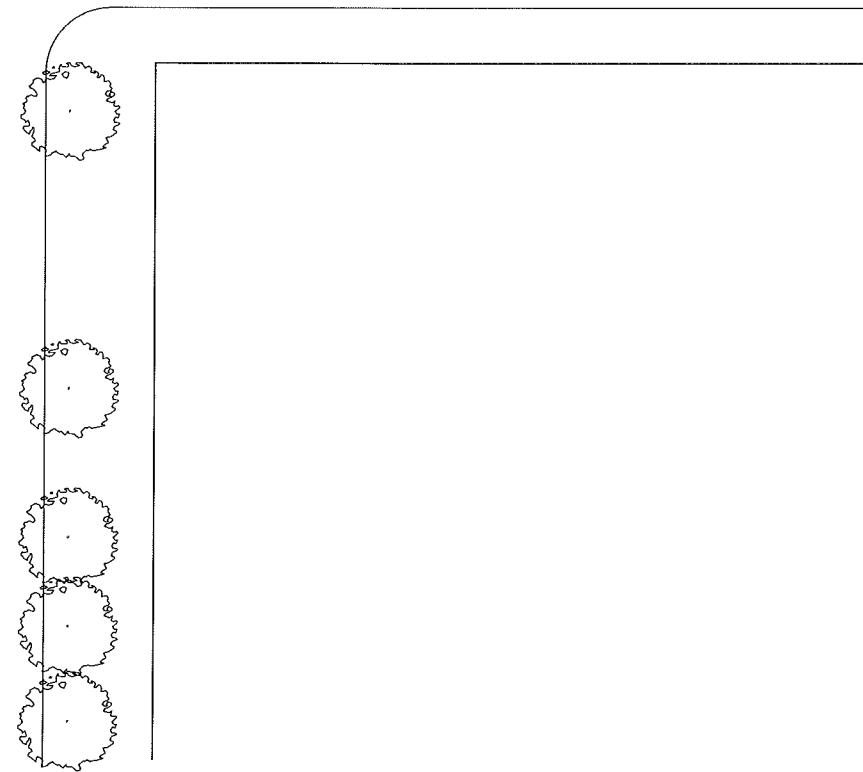




17th STREET



MISSION STREET



SITE PLAN

1

REVISIONS	

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Nafomo Architects Inc.
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San Francisco, CA 94102
T 415.628.8977
F 415.628.8978
E ss@stksaffowitz.com

2100 MISSION STREET
SAN FRANCISCO, CA

SITE PLAN

SCHEMATIC

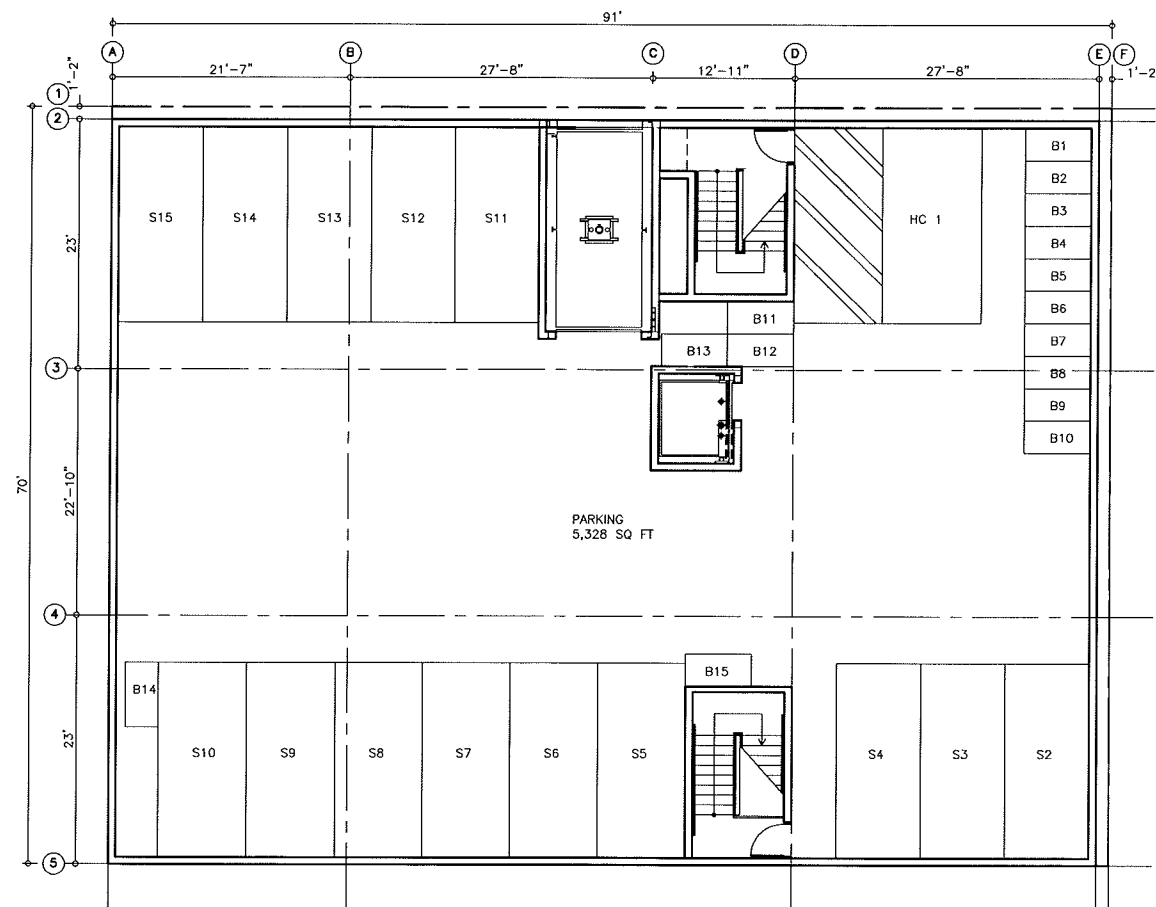
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Job 21M

Sheet

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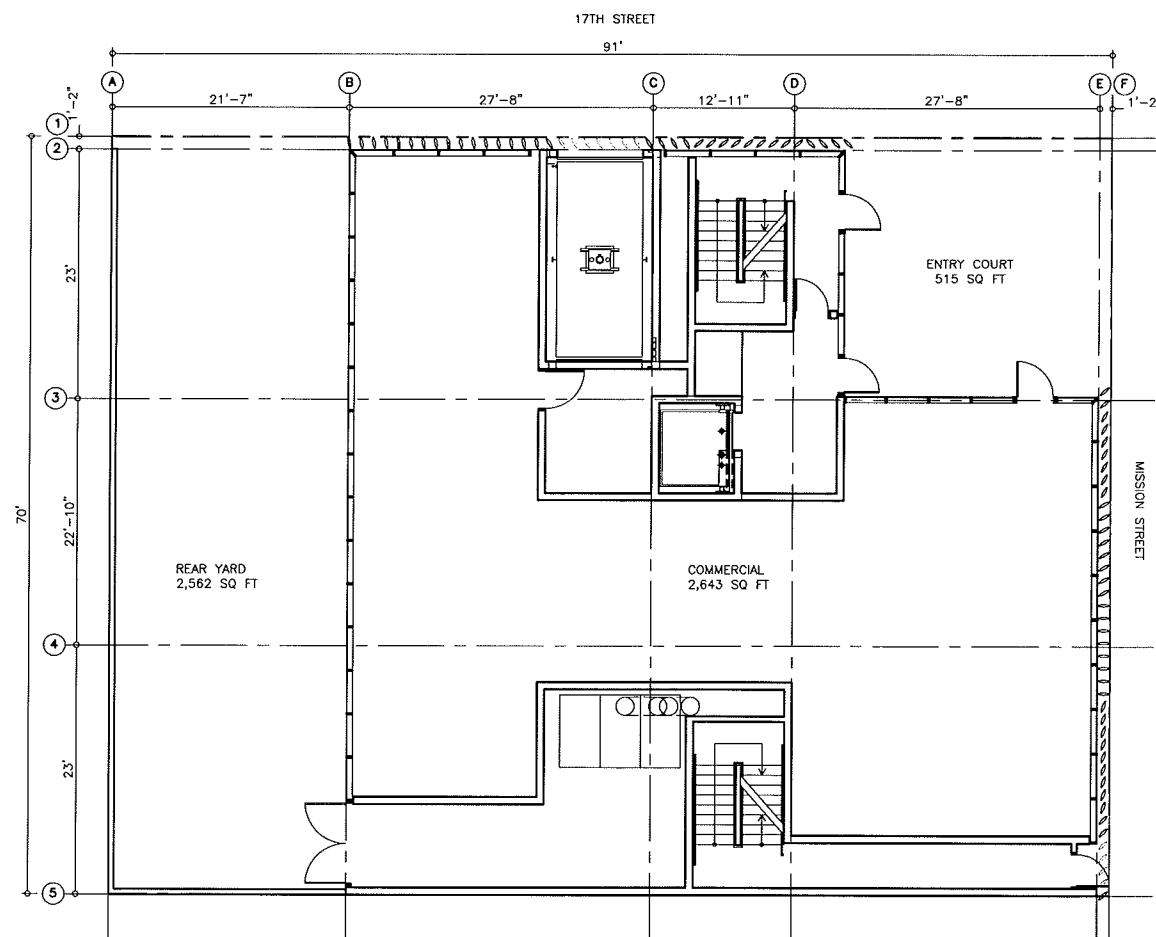
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REVISIONS	

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E ssa@safo.com

2100 MISSION STREET
SAN FRANCISCO, CA

PLAN
SCHMATIC
Date 04/29/2009
Scale 1/8"=1'-0"
Job 21M
Sheet A1.1



LEVEL 1: COMMERCIAL

1

REVISIONS	

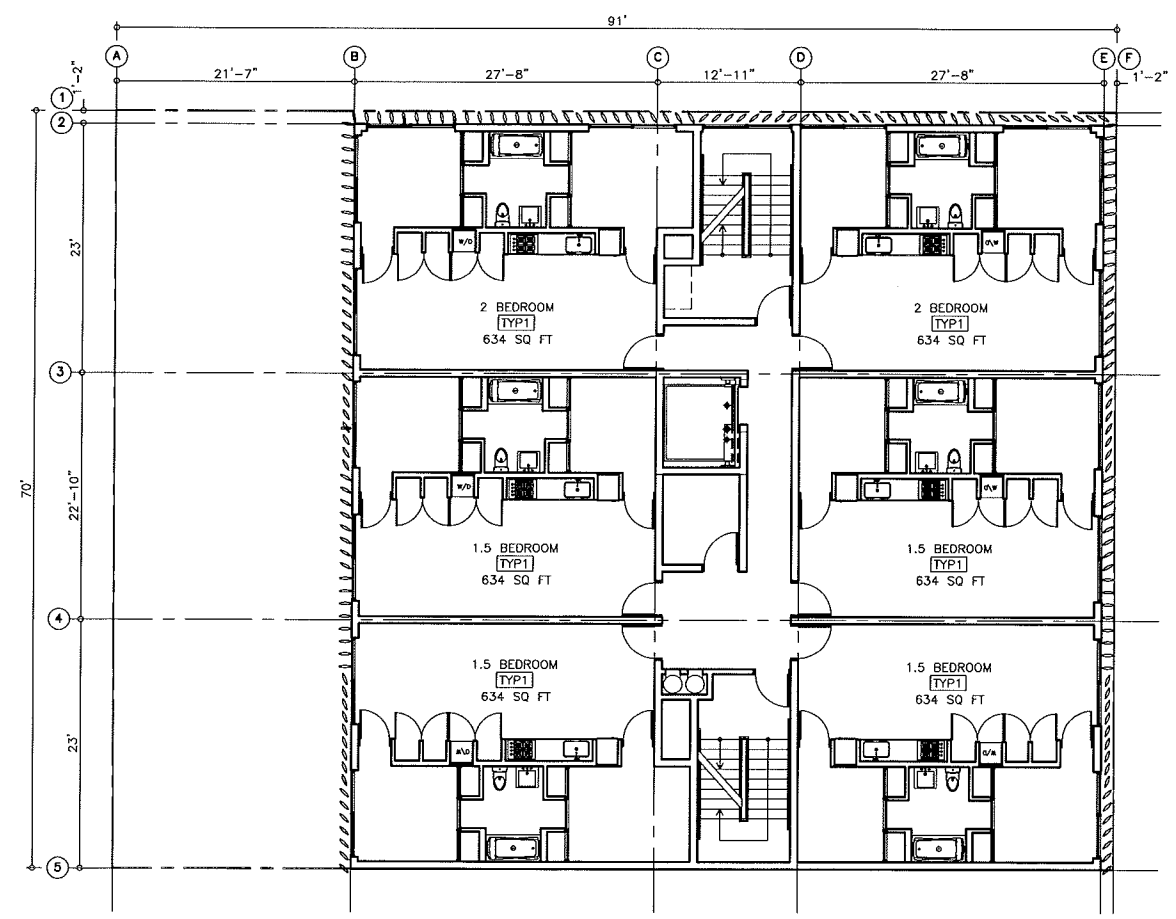
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2100 MISSION STREET
 SAN FRANCISCO, CA

PLAN
SCHMATIC
Date 04/29/2009
Scale 1/8"=1'-0"
Job 21M
Sheet A1.2

REVISIONS	

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2100 MISSION STREET
 SAN FRANCISCO, CA

PLAN

SCHEMATIC

Date 04/28/2009

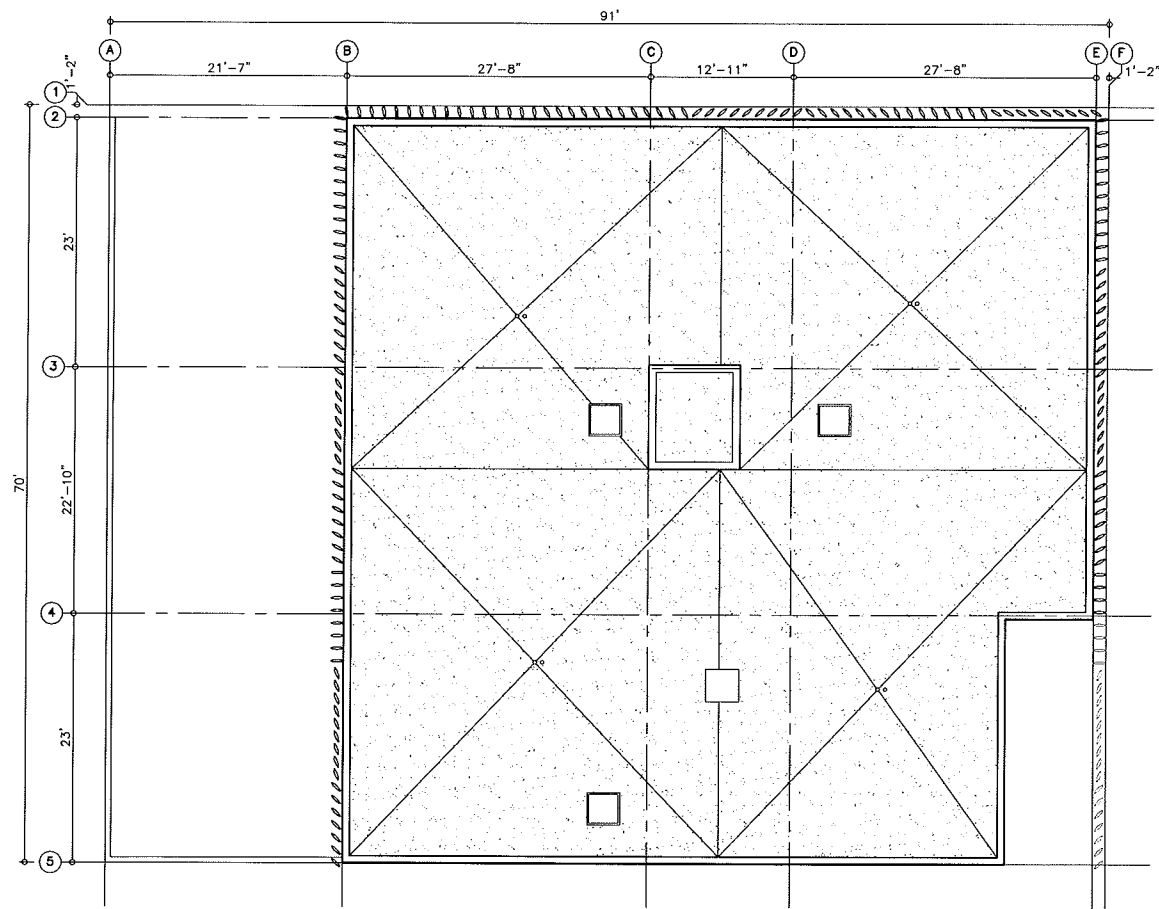
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Job 21M

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LEVEL 2 THRU 4: TYPICAL FLOOR PLAN

1



ROOF PLAN

1

REVISIONS	

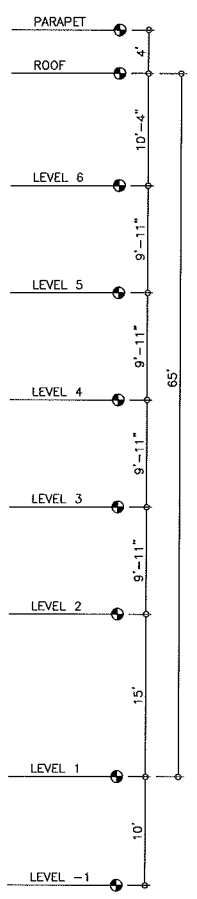
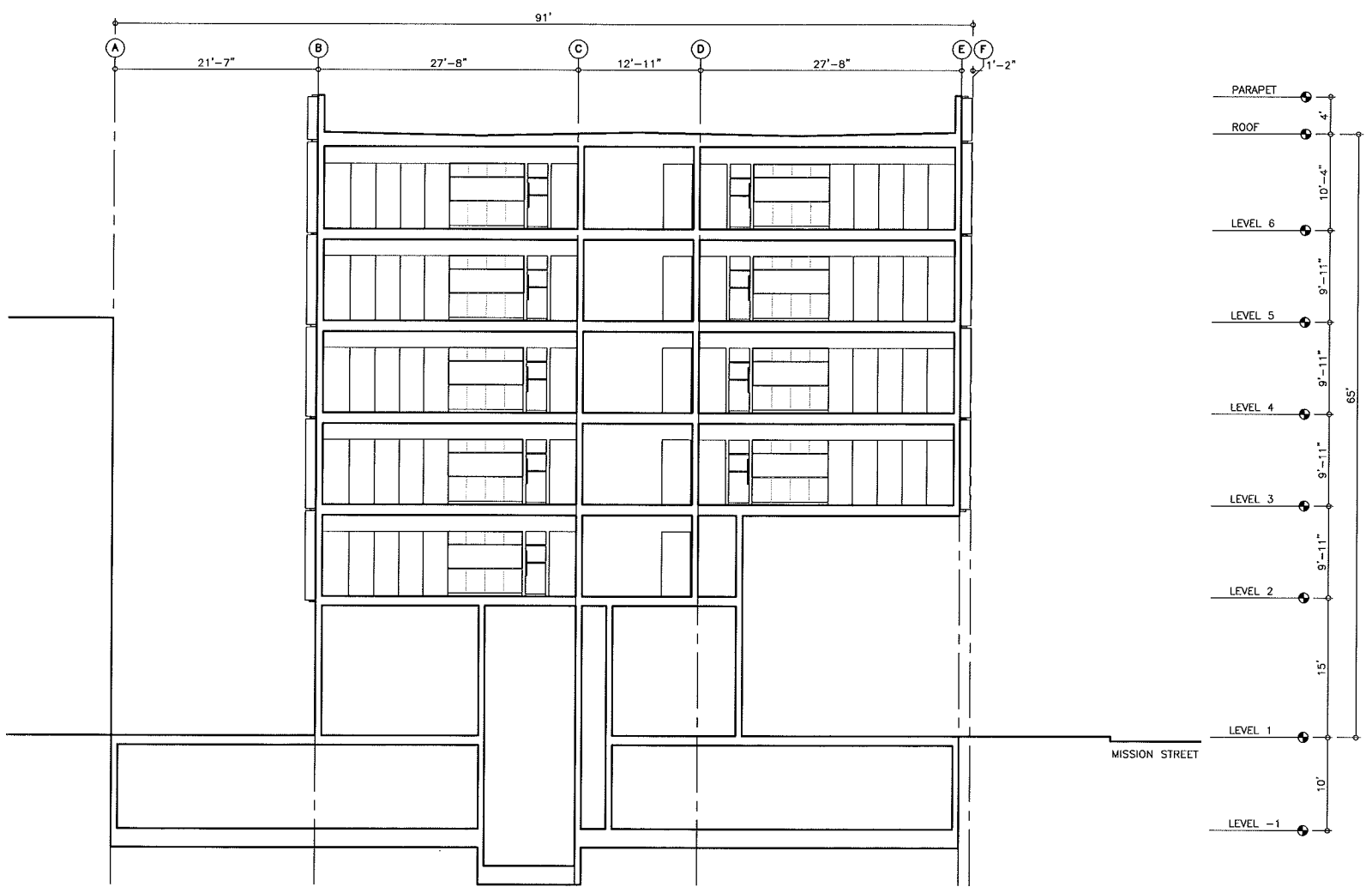
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 E ss@ssallowitz.com

2100 MISSION STREET
 SAN FRANCISCO, CA

PLAN
SCHEMATIC
Date 04/29/2009
Scale 1/8"=1'-0"
Job 21M
Sheet A1.5

REVISIONS		

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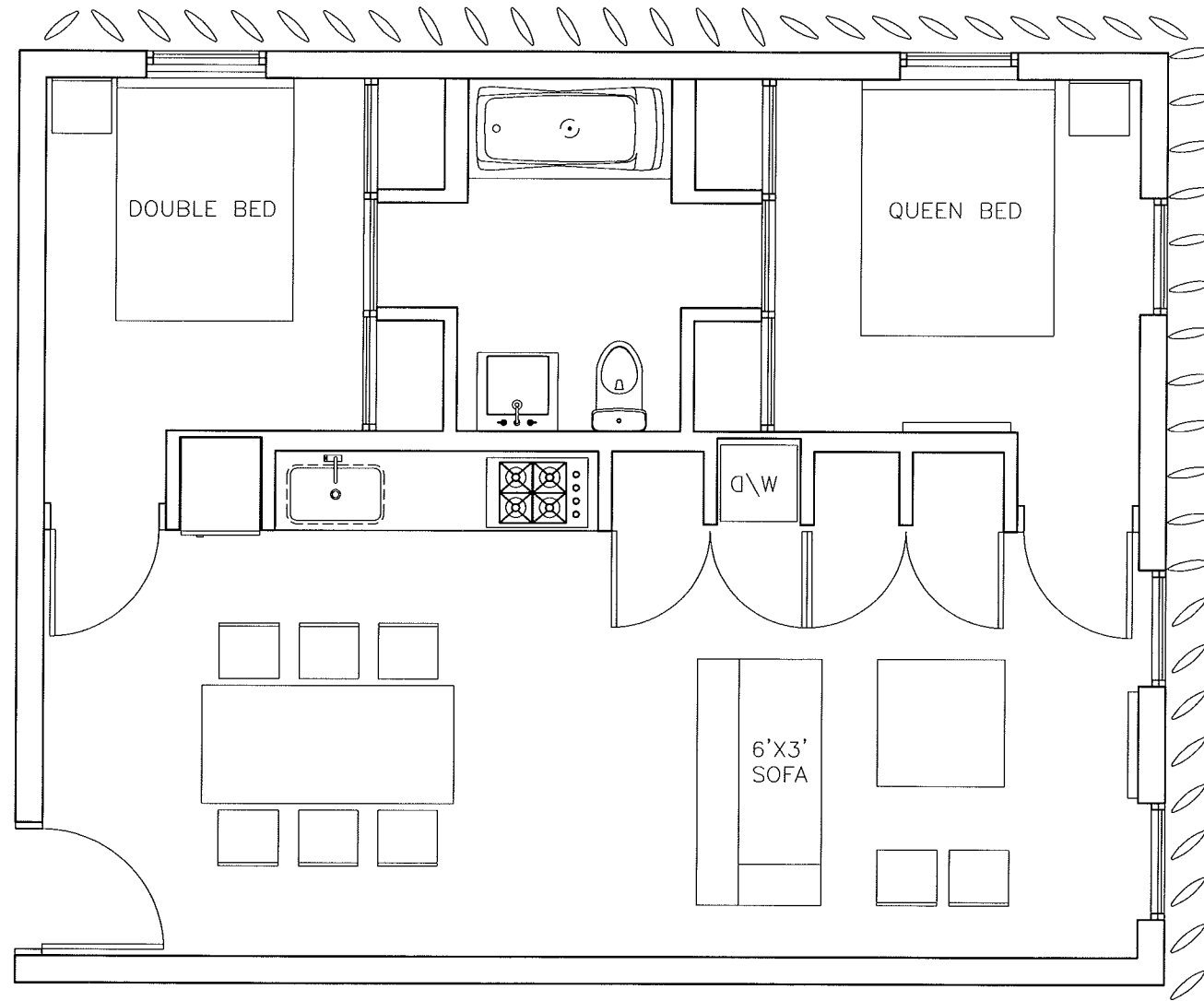
MISSION STREET

SECTION

1

2100 MISSION STREET
 SAN FRANCISCO, CA

PLAN
SCHEMATIC
Date 04/29/2009
Scale 1/8"=1'-0"
Job 21M
Sheet A2.1



UNIT PLAN

1

REVISIONS	

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2100 MISSION STREET
 SAN FRANCISCO, CA

UNIT PLAN

SCHEMATIC

Date 04/29/2009

Scale 1/2"=1'-0"

Job 21M

Sheet
 A4.1

Residential	sq ft	%	Level 2	Level 3	Level 4	Level 5	Level 6	Total
1 Bedroom (Type 1)	446	59%	0	0	0	1	1	2
1.5 Bedroom (Type 1)	634		4	4	4	3	0	15
2 Bedroom (Type 1)	634	41%	1	2	2	2	5	12
		100%	5	6	6	6	6	29

892
9510
7608
18010

Lot Size 6,370
Rear Yard 1,562 25%

Building Area

Level -1		Provided	Permitted	Ratio
	Bicycle Parking	15	15	0.52
	Parking (Car)	5,328	15	0.52
	Circulation / MEP	645		
Sub Total		5,973		

Level 1		
	Commercial 1	2,643
Sub Total Commerical		2,643
	Lobby	156
	Garbage / Mech	509
	Circulation	218
Sub Total		3,526

Residential Levels 2 thru 6		
	Residential	18,010
	Circulation / Storage	1,500
Subt Total		19,510 92% efficient

Building Gross Area Total **29,009**

Courts	Provided	Required
Common		
	Rear Yard	1,512
	Ground Floor Court	515
	<u>2,077</u>	
Private		
	Private Deck (Lvl 5)	80