



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

**DATE:** October 27, 2010  
**HEARING DATE:** November 3, 2010  
**TO:** Historic Preservation Commission  
**FROM:** Jeremy Battis, Environmental Planner  
**REVIEWED BY:** Tina Tam, Senior Preservation Planner  
**RE:** Request for Review and Comment per Eastern Neighborhoods  
Interim Permit Review Procedures for Historic Resources  
Case No. 2006.0054E  
2652 Harrison Street (Block 3639/Lot 002)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

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## PROPERTY DESCRIPTION

2652 Harrison Street is located midblock on the west side between 22<sup>nd</sup> and 23<sup>rd</sup> Streets, within Assessor's Block 3639; Lot 002, within an Urban Mixed Use (UMU) zoning district and a 40-X height and bulk district. The 8,375-square foot project site is also within the Mission Alcoholic Beverage Control Special Use District and the Mission Area Plan. The subject property contains a vacant 20-foot-tall, 7,425-square-foot commercial building with no off-street parking constructed circa 1939.

## PROJECT DESCRIPTION

The proposed project involves the demolition of the existing building and construction of a new four-story, 40-foot-tall, approximately 28,000-square-foot building containing 20 dwelling units with an at-grade 17-car parking garage. The site has no existing off-street parking.

## INTERIM PERMIT REVIEW PROCEDURES

The proposed project is subject to the Eastern Neighborhoods Area Plan Interim Permit Review Procedures for Historic Resources in effect until such time as the Historic Preservation Commission adopts the forthcoming Historic Resources Survey. All proposed new construction that would result in an increased building envelope with a height exceeding 55 feet, or an increased building envelope with a height 10 feet greater than an adjacent building constructed prior to 1963 shall be forwarded to the Historic Preservation Commission for review and comment during a regularly scheduled hearing with any comments to be forwarded to the Planning Department for incorporation into the project's final environmental evaluation document. The proposed project requires a public hearing because its proposed height would exceed by more than 10 feet the height of adjacent properties at 2650 and 2660 Harrison Street, both of which were constructed prior to 1963.

## SURVEY

The subject property is located within the area documented in the South Mission Survey, which has not yet been adopted by the Historic Preservation Commission. Although the survey has not been adopted, initial findings indicate that the subject property does not qualify as a potential historic resource and that any nearby off-site historic resources would not be eligible as contributors to a potential historic district, owing to the immediate surrounding area's mixed context which does not

display a high level of visual continuity. The Department preliminarily concurs with the survey findings.

## **ENVIRONMENTAL REVIEW STATUS**

The Planning Department is in the process of reviewing the Environmental Evaluation application for the proposed project. A Preliminary Mitigated Negative Declaration was published on October 13, 2010.

## **ACTION**

The Department is requesting comment by the Historic Preservation Commission pursuant to the Eastern Neighborhoods Interim Permit Review Procedures, which are intended as a precautionary measure against the loss of potential historic resources in the interim period between Plan adoption and Survey completion. Specifically, the Department seeks comments on the following aspects of the proposed project:

- Does the HPC concur with the Department's preliminary survey finding for the subject building; and
- Is the proposed project is compatible and appropriate in terms of size, massing, scale, fenestration pattern, and material with the adjacent and surrounding buildings?

## **ATTACHMENTS**

Draft Commission Motion

Sanborn Map

Parcel Map

Street View Photographs

Aerial Photographs

Historic Resource Evaluation Response memorandum

Historic Resource Evaluation

Project Environmental Evaluation Application

Project Sponsor-prepared Plans and Photographs



# SAN FRANCISCO PLANNING DEPARTMENT

## HISTORIC PRESERVATION COMMISSION Motion XXXXX

HEARING DATE: November 3, 2010

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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Information:  
415.558.6377

*Date:* October 27, 2010  
*Case No.:* 2006.0054E  
*Project Address:* 2652 Harrison Street  
*Zoning:* UMU (Urban Mixed Use) District  
40-X Height and Bulk District  
Mission Alcohol Beverage Control District  
*Block/Lot:* Block 3639; Lot 002  
*Lot Size:* 8,375 square feet  
*Project Sponsor:* Toby Morris, Kerman Morris Architects, 415-954-4902  
*Project Contact:* Representing John O'Connor, 2652 Harrison Street, LLC, 415-285-3035  
*Staff Contact:* Jeremy D. Battis – 415 575-9022  
jeremy.battis@sfgov.org

**ADOPTING FINDINGS RELATED TO THE INTERIM PROCEDURES FOR PERMIT REVIEW IN THE EASTERN NEIGHBORHOODS PLAN AREA FOR THE CONSTRUCTION OF A NEW FOUR-STORY, 40-FOOT-TALL, APPROXIMATELY 28,000-SQUARE-FOOT BUILDING CONTAINING 20 DWELLING UNITS AND AN AT-GRADE 17-CAR PARKING GARAGE AT 2652 HARRISON STREET (ASSESSOR'S BLOCK 3639, LOT 002) WITHIN A UMU (URBAN MIXED USE) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

1. On August 7, 2008, the San Francisco Planning Commission certified the Final Environmental Impact Report (FEIR) for the Eastern Neighborhoods Rezoning and Area Plans (Case No. 2004.0160E). The FEIR analyzed amendments to the Planning Code and Zoning Maps and to the Eastern Neighborhoods, an element of the San Francisco General Plan. The FEIR analysis assumed a development and activity level anticipated as a result adoption of the Eastern Neighborhoods Rezoning and Area Plans.
2. The FEIR provided Interim Permit Review Procedures for Historic Resources that would be in effect until the Historic Preservation Commission (HPC) adopts the forthcoming Historic Resources Survey. These procedures were developed to provide additional protection for potential historic resources within the Plan Area while the historic resources survey is being completed. Once the historic resources survey is endorsed and the Plan is amended to incorporate the results, these policies would expire and the Preservation Policies in the Area Plan would become effective.

Per the Interim procedures, there are two types of review. The first type is for projects that propose demolition or major alteration to a structure constructed prior to 1963 located within the Plan Area.

These projects shall be forwarded to HPC for review and comment. Within 30 days after receiving copies of the Environmental Evaluation application and supporting Historic Resource Evaluation (HRE) documents, the HPC members may forward comments directly to the Environmental Review Officer and Preservation Coordinator. No public hearing is required.

The second type of review is for projects that propose new construction or alteration within the Plan Area resulting in a structure that would exceed 55 feet in height, or a resulting height that exceeds by more than ten feet an adjacent building constructed prior to 1963. Such projects shall be forwarded to the HPC for review and comment during a regularly scheduled hearing. After such hearing, any HPC comment will be forwarded to the Planning Department for incorporation into the project's final submittal and in advance of any required final hearing before the Planning Commission.

3. On January 6, 2006, pursuant to the provisions of the California Environmental Quality Act ("CEQA"), the State CEQA Guidelines, and Chapter 31 of the San Francisco Administrative Code, the Planning Department ("Department") received an Environmental Evaluation Application for the proposed project in order to evaluate whether the project might result in a significant environmental effect.
4. A Historic Resource Evaluation Response (HRER) memorandum was prepared by the Department on April 17, 2009, which found that the proposed project would not result in a significant adverse impact on a historic resource or any surrounding adopted or potential historic district.
5. Finding that the proposed project would not result in a significant environmental impact, the Department published a Preliminary Mitigated Negative Declaration (PMND) on October 13, 2010.
6. On November 3, 2010, the Department presented the proposed project to the HPC. The proposed project would result in the construction of a new 40-foot-tall building that would exceed by more than ten feet the height of the adjacent buildings, both constructed prior to 1963. Hence, the HPC's comments would be forwarded to the Planning Department for incorporation into the project's final submittal and in advance of any required final hearing before the Planning Commission.

## COMMENTS

Having reviewed the materials identified in the recitals above, and having heard all testimony and arguments, this Commission has provided the following comments regarding the proposed project:

- 1.
- 2.
- 3.
- 4.

I hereby certify that the foregoing Motion was ADOPTED by the Historic Preservation Commission at its regularly scheduled meeting on November 3, 2010.

Linda D. Avery

Motion No. \_\_\_\_\_  
Hearing Date: November 3, 2010

CASE NO. 2006.0054E  
2652 HARRISON STREET

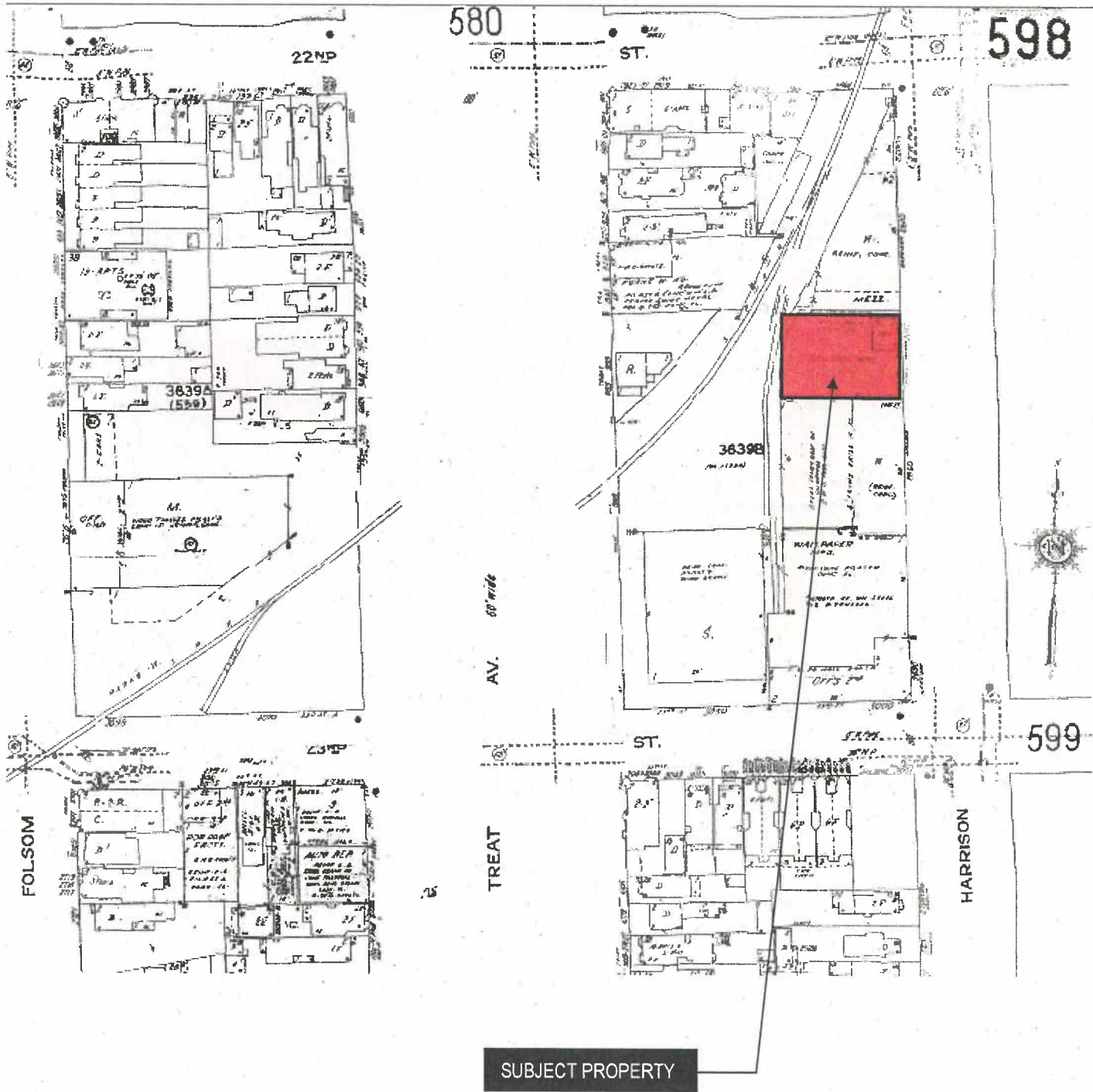
Commission Secretary

PRESENT:

ABSENT:

ADOPTED: November 3, 2010

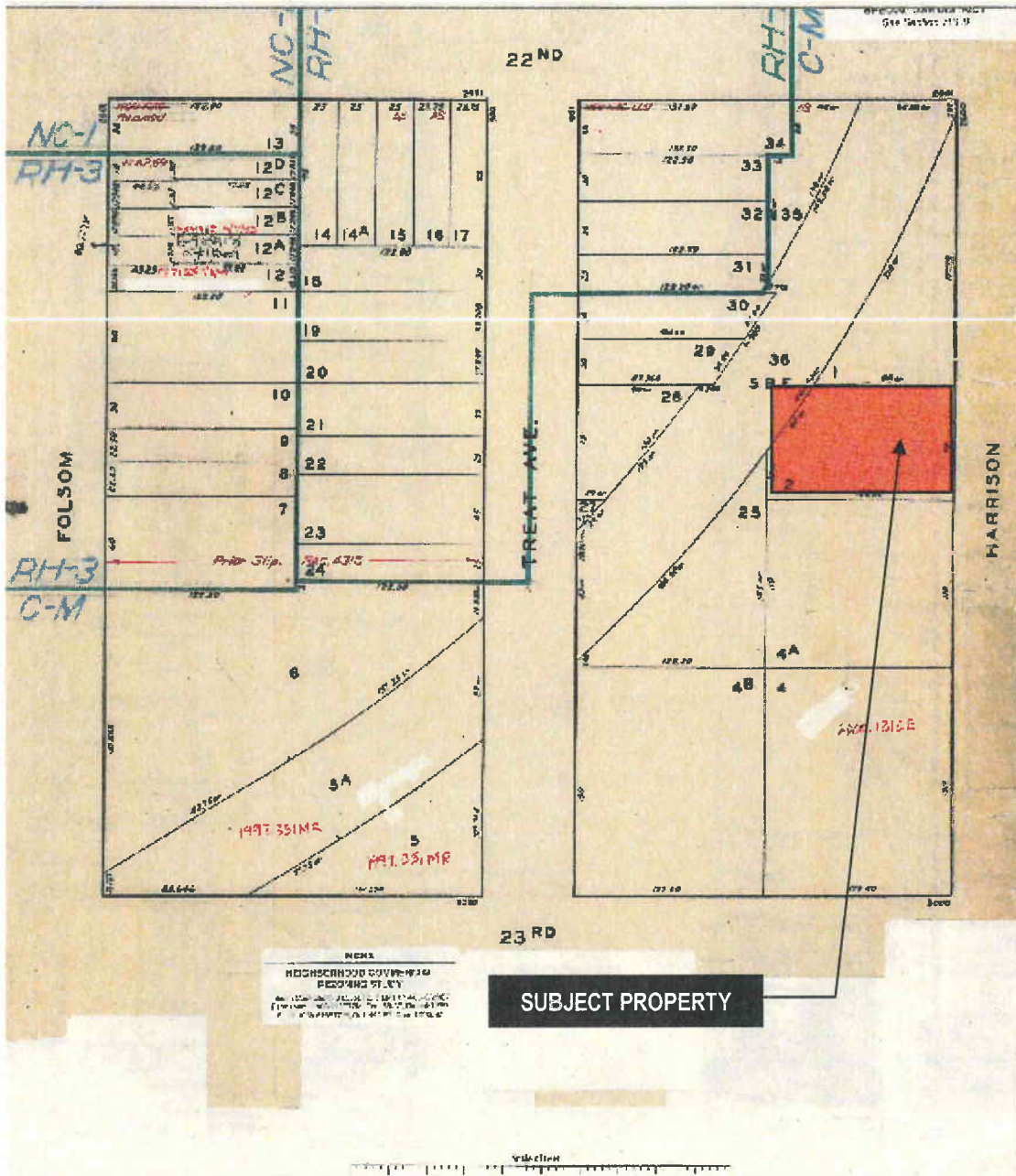
# Sanborn Map\*



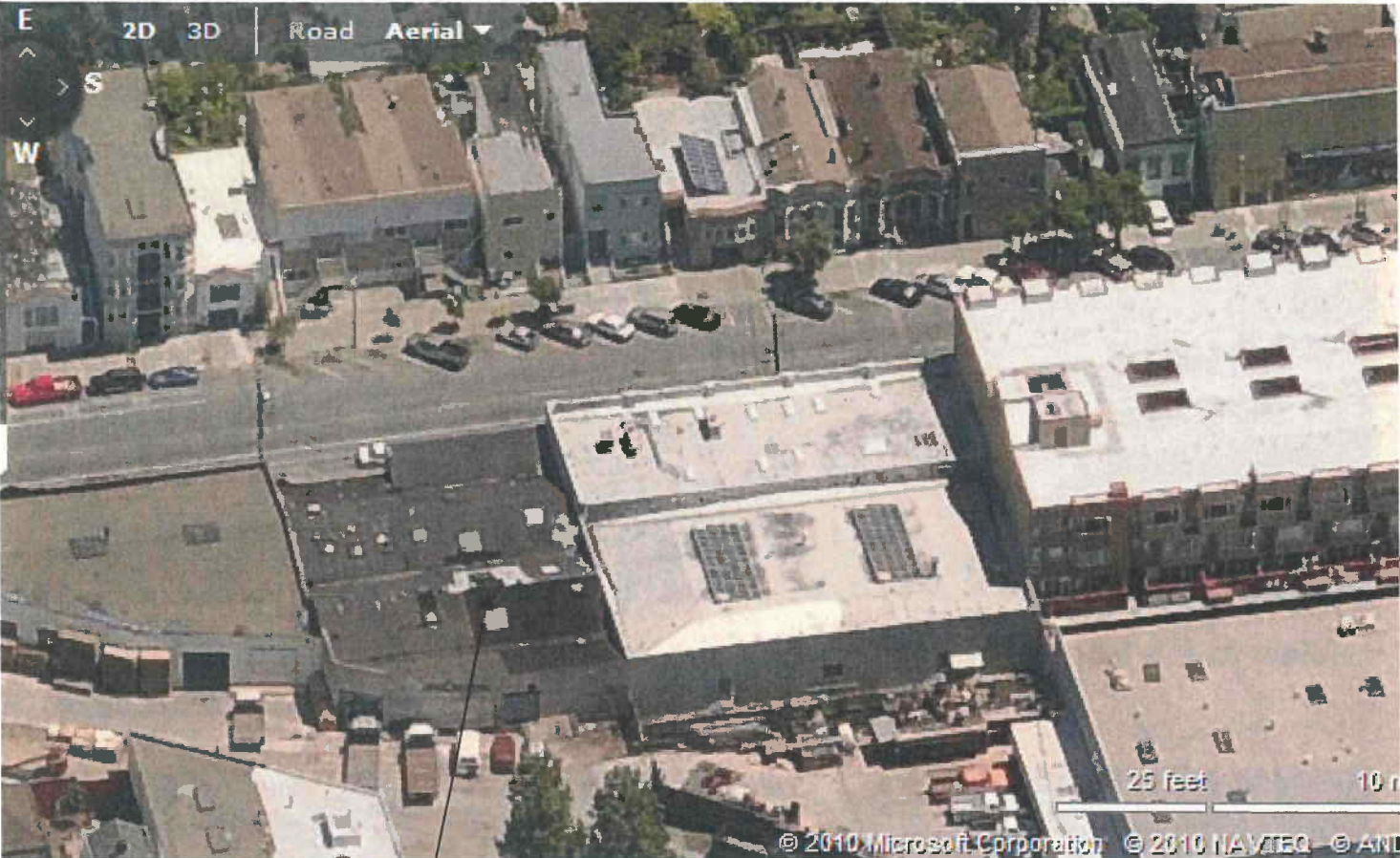
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



# Parcel Map



# Aerial Photo



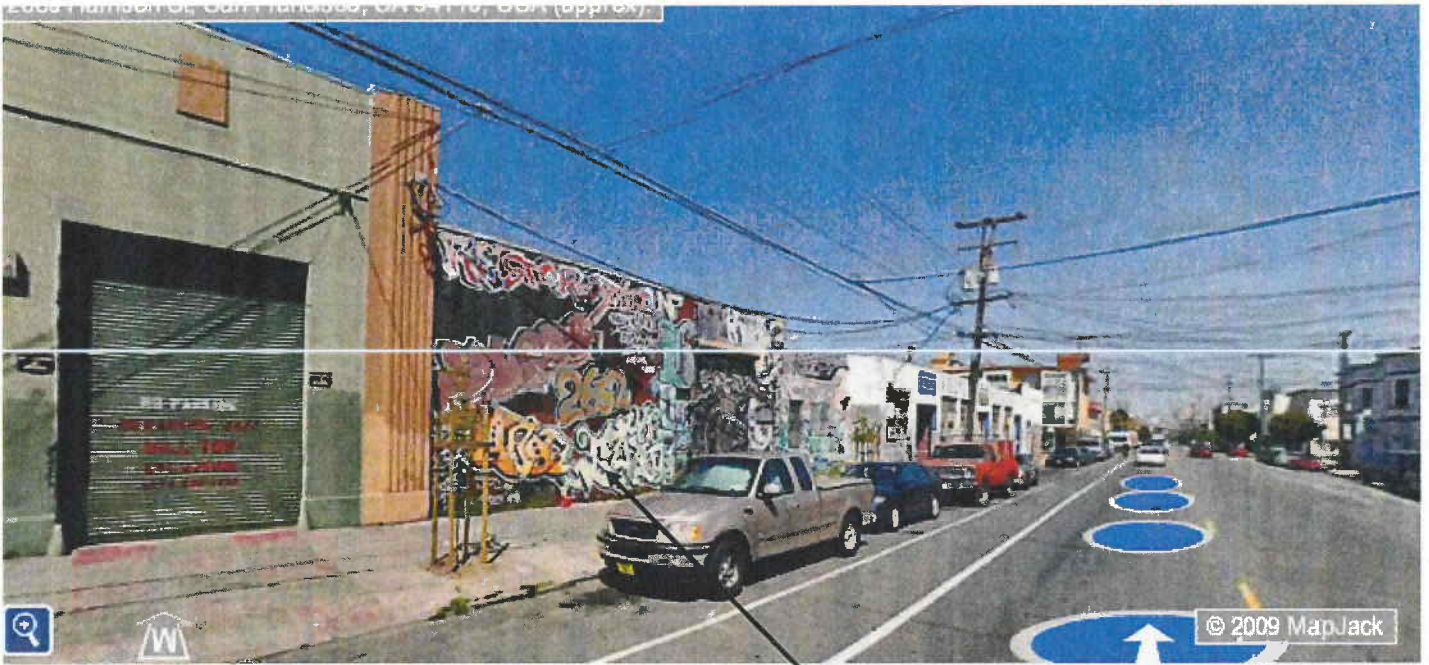
SUBJECT PROPERTY



Historic Preservation Commission Hearing  
Case Number 2005.0054E  
2652 Harrison Street



# Street View



View to the North

SUBJECT PROPERTY



View to the South

Historic Preservation Commission Hearing  
Case Number 2005.0054E  
2652 Harrison Street



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Historic Resource Evaluation Response

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

*MEA Planner:* Jeremy Battis  
*Project Address:* 2652 Harrison Street  
*Block/Lot:* 3639/002  
*Case No.:* 2006.0054E  
*Date of Review:* August 17, 2009  
*Planning Dept. Reviewer:* Ben Fu  
(415) 558-6613 | ben.fu@sfgov.org

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PROPOSED PROJECT       Demolition       Alteration

### PROJECT DESCRIPTION

The project proposes demolition of an existing one-story industrial building and construction of a new four-story-over-basement/garage, residential building with 30 residential units and 30 off-street parking spaces.

### PRE-EXISTING HISTORIC RATING / SURVEY

According to the Historic Resource Evaluation prepared by Jonathan Pearlman, the subject building was constructed in 1939 by an unknown contractor and architect as an industrial building occupied by R.N. and W. Rapper. The property originally was two separate lots each with a dwelling unit. Historic Sanborn Maps indicate that the lots were merged and the dwellings were demolished sometime between 1919 and 1927. The subject property is not included on any historic surveys, and is not included on the National or the California Registers. The recorded date of construction makes it a "Category B" building for the purposes of CEQA review by the Planning Department.

### HISTORIC DISTRICT / NEIGHBORHOOD CONTEXT

The subject building is located on the west side of Harrison Street, between 22nd and 23rd Streets. The adjacent buildings to the north and south are both industrial buildings constructed in 1924 and 1935, respectively. The existing context is a mixture of residential with various density and commercial and industrial uses. Visual continuity is mixed in terms of style, massing, architecture, and materials.

- 1. California Register Criteria of Significance:** Note, a building may be an historical resource if it meets any of the California Register criteria listed below. If more information is needed to make such a determination please specify what information is needed. *(This determination for California Register Eligibility is made based on existing data and research provided to the Planning Department by the above*

named preparer / consultant and other parties. Key pages of report and a photograph of the subject building are attached.)

- Event: or  Yes  No  Unable to determine  
Persons: or  Yes  No  Unable to determine  
Architecture: or  Yes  No  Unable to determine  
Information Potential:  Further investigation recommended.  
District or Context:  Yes, may contribute to a potential district or significant context

If Yes; Period of significance: To be Determined up on Completion of Survey.

Notes: Based on the criteria, staff believes that the subject building is not eligible for inclusion on the California Register.

*Criterion 1: It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;*

The subject property is not located within a potential district, or associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

*Criterion 2: It is associated with the lives of persons important in our local, regional, or national past;*

Based upon the information provided, none of the owners, occupants, or others associated with the buildings were historically important. The property was originally owned by Henry J. Wehr until 1918 and has since changed ownership eight times. Therefore, the existing building is not individually eligible for listing on the California Register under Criterion 2.

*Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;*

According to photographs, the design quality and neighborhood character of the surrounding built environment is mixed. According to permit history, the subject building was constructed in 1939 and is approximately 7,250 square feet. The subject building is a one-story, corrugated metal structure with asymmetrical double-hung windows on either side of a centered entrance and overhead roll up dock door. The subject building has been utilized as storage and/or warehouse since construction. The building appears to be in relatively poor condition, does not appear to be the work of a master, and does not have extraordinary qualities that merit special consideration under the architecture criteria for listing on the California Register of Historical Resources.

*Criterion 4: It yields, or may be likely to yield, information important in prehistory or history;*

It does not appear that the subject property is likely to yield information important to a better understanding of prehistory or history.

- 
2. **Integrity** is the ability of a property to convey its significance. To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity. To retain historic integrity a property will always possess several, and

usually most, of the aspects. The subject property has retained or lacks integrity from the period of significance noted above:

Location:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Setting:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Association:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Feeling:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Design:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Materials:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Workmanship:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks			

Notes: Evaluation of integrity is not applicable as the subject building has not been shown to be significant under California Register criteria. Should an assessment of integrity be required, staff believes that the subject building has undergone significant alteration (at unknown dates) and generally lack integrity.

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3. Determination Whether the property is an "historical resource" for purposes of CEQA

No Resource Present ( Go to 6. below )       Historical Resource Present ( Continue to 4. )

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4. If the property appears to be an historical resource, whether the proposed project is consistent with the Secretary of Interior's Standards or if any proposed modifications would materially impair the resource (i.e. alter in an adverse manner those physical characteristics which justify the property's inclusion in any registry to which it belongs).

The project appears to meet the Secretary of the Interior's Standards. ( Go to 6. below )  
Optional:  See attached explanation of how the project meets standards.

The project is NOT consistent with the Secretary of the Interior's Standards and is a significant impact as proposed. ( Continue to 5. if the project is an alteration )

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5. Character-defining features of the building to be retained or respected in order to avoid a significant adverse effect by the project, presently or cumulatively, as modifications to the project to reduce or avoid impacts. Please recommend conditions of approval that may be desirable to mitigate the project's adverse effects.


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6. Whether the proposed project may have an adverse effect on off-site historical resources, such as adjacent historic properties.

Yes     No     Unable to determine

Notes: The immediate context is mixed and does not display a high level of visual continuity. It does not appear that the proposal will have a significant adverse impact on any eligible off-site historic resources.

**PRESERVATION COORDINATOR REVIEW**

Signature:   
Tina Tam, *Preservation Coordinator*

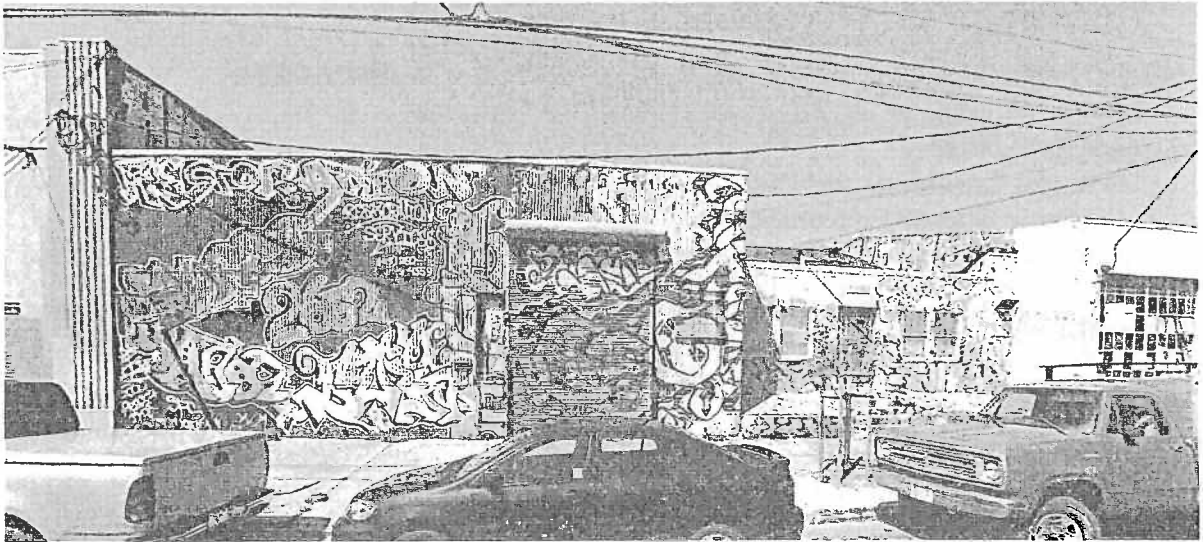
Date: 8-17-09

cc: Linda Avery-Herbert, *Recording Secretary*, Historic Preservation Commission  
Virnaliza Byrd / Historic Resource Impact Review File

BF: G:\DOCUMENTS\Historic\HRE\_not a resource\Natoma\_537\_20050990E.doc

## HISTORICAL RESOURCE EVALUATION

2652 Harrison Street, San Francisco, California



### PREPARED BY:

Jonathan Pearlman  
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October 21, 2008

**ELEVATION**architects

**HISTORIC RESOURCE EVALUATION REPORT**

October 21, 2008

2652 Harrison Street  
San Francisco, California

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## Project Summary and CEQA Evaluation

This report is to determine if the warehouse at 2652 Harrison Street in San Francisco can be considered an historical resource under CEQA guidelines. The summary evaluates the building's integrity and its eligibility for listing on the California Register of Historical Resources. The existing building has moderate integrity but it does not meet any of the CEQA criteria to be considered an historical resource. This building is a warehouse that replaced two residential structures in 1939 in a neighborhood of mixed uses.

2652 Harrison Street is a one-story, corrugated metal clad warehouse built in 1939 according to building permits (Figure 1). It sits on a site whose west side is truncated by the former Pacific Coast Railroad right-of-way. The building footprint fills the site. There is a lower height, one-story office on the northeast corner of the lot that is set back from the property line. It appears to be a simple wood-frame with stucco finish building. The façade of the office portion is symmetrical with two double-hung windows on either side of a central entry door. The corrugated metal portion of the façade is approximately 15'-0" high and features an asymmetrically placed overhead roll up dock door. There are no distinctive architectural details or features on this building. No architect is noted on the permit.

The neighborhood context is not unified with houses of varying styles and warehouse buildings of different periods, styles and materials. There is no design consistency in the development of this area. For the most part, this area of the Mission was well developed by the early 20<sup>th</sup> century with mixed residential structures. The Pacific Coast Railroad line cuts diagonally through the Mission and its right-of-way is the western neighbor to all of the lots on the west side of Harrison Street running from the northeast corner of 22<sup>nd</sup> and Harrison Streets to the south west crossing Treat Avenue to the north of 23<sup>rd</sup> Street.

The 1913-15 Sanborn Fire Insurance Map shows that the subject property was originally divided into two lots, 2650 and 2652 Harrison (Figure 10). Each lot had a dwelling on it. To the south, filling the block bounded by Harrison, 23<sup>rd</sup> Street, Treat Avenue and the railroad, was "J.H. Kruse Lumber Yards and Planing Mill". Kruse had a substantial operation with additional yards to the west across Treat.

The 1950 Sanborn Map indicates some substantial changes to the west side of Harrison Street in this block (Figure 11). The two properties at 2650 and 2652 have been merged into one lot and now indicate a "Building Material Warehouse" and office filling the site. A branch track from the rail line has been located to the south of the right-of-way into the back of the warehouse sites. The property to the south at 2660 has been built out as a "tobacco processing warehouse" building that appears to be vintage 1940 with Art Deco detailing (Figure 4). To the north at 2600 and 2610 Harrison, a fairly non-descript style block warehouse which fills its triangular site is noted as "printing" (Figure 5). Adjacent properties surrounding this block are little changed from the earlier map.

There are only two building permits on record with the San Francisco Department of Building Inspection. The first, from 1927 is for the construction of a cement foundation and a storage shed. With the ownership change to J.H. Kruse in 1919, it seems likely that the two properties were purchased to expand his lumberyards. By this date, the two dwellings were demolished and the new foundation built. In 1939, a permit was issued for a replacement of the existing storage shed to build the new warehouse. By 1950, as indicated in the Sanborn Map, the J.H. Kruse name is not found and most of his property has been subdivided with new buildings and new uses. The southwestern portion of the Kruse site still notes milling operations under the name of "Eureka Mills". Later Sanborn maps through 1991 indicate no change in the footprints of these buildings.

This block today remains as varied in its architectural character as was apparent in the early Sanborn Maps. The warehouse buildings to the north and south of the subject property are still extant and appear to be little changed from when they were built (Figures 2 and 3). The southwestern corners of both 22<sup>nd</sup> and 23<sup>rd</sup> and Harrison Street have 4-story condominium buildings built within the past 10 years (distant in Figure 3 and Figure 6). The east side of Harrison features a mix of single and multi-family dwellings of one to three stories. Some of the buildings have flat facades with projecting cornices and little or no ornament indicating that they were likely built as worker, low cost housing. At mid-block are two, two-unit



Victorian era dwellings that are one-story over raised basement (Figures 7 and 8). They feature unique pointed bays that are mimicked in the pediment over the central entrances. The block has a very varied skyline with an erratic staccato rhythm of three to one to two to one stories from 22<sup>nd</sup> to 23<sup>rd</sup> Streets. The overall effect is jarring (Figure 5).

**Integrity**

For a property to be considered an historical resource it must retain enough of its historic character or appearance and have integrity as defined by seven categories:

<u>Category</u>	<u>yes</u>	<u>no</u>
Location	x	
Design	x	
Materials		x
Workmanship		x
Setting		x
Feeling		x
Association	x	

With little change to the building since it was built, the warehouse has a modicum of integrity. Built as a warehouse in 1939, the building has not been moved and remains in the same use (location, association). With no building permits, it is unknown whether or not the exterior of the warehouse building has been modified, but the corrugated metal as the exterior is not inconsistent for its construction date (design). The building is in a deteriorated state with a significant amount of rust on its corrugated metal skin as well as graffiti-like mural painting over its entire street façade (materials, workmanship) The setting and feeling of the surrounding area is evolving with a number of four-story condominium buildings and a modern school filling most of the block to the north between 21<sup>st</sup> and 22<sup>nd</sup> Streets. The rail right-of-way is still evident (Figure 9), but trains have not run through the Mission in many decades.

**Is the property an “historical resource” under CEQA?**

According to the State Office of Historic Preservation Office (OHP), the property is not listed or determined eligible for separate listing in the National Register of Historic Places (National Register). The property does not appear in the California Historic Resources Inventory System (CHRIS) database or the Planning Department’s Parcel Information Database 1976 survey.

Under the CEQA Category listings for determination, 2652 Harrison Street falls into Category C: Properties Determined Not to be Historical Resources: Properties constructed after 1913 , but more than 50 years old. As it is noted in the CEQA guidelines, “age alone does not make a property an “historical resource.” It is not significantly rare as there are other warehouse buildings in the area that are from this period some of which feature more architectural interest and retain more integrity than the subject building.

• **Criterion A: Event:** *It is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural history of California or the United States*

This building was constructed in 1939 on a site that had residences that were torn down by 1926. It is not associated with any particular event (such as the rebuilding period after the 1906 earthquake and fire) that has contributed to local, regional or cultural history.

• **Criterion B: Person:** *It is associated with the lives of persons important to local, California or national history*

Historical research has not identified anyone associated with this building to have been of note or important to history.

• **Criterion C: Architecture/Design:** *It embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values*

2652 Harrison Street is a typical metal-clad warehouse building with no unique features or details.

• **Criterion D: Information Potential:** *It has yielded or has the potential to yield information important to the prehistory or history of the local area, California or the nation*

Unable to determine relevance to prehistory.

Although the building retains some of its integrity, it does not meet any of the CEQA criteria noted above. This warehouse was ordinary when built to serve its utilitarian purpose. There is nothing in its architectural design that is significant. 2652 Harrison Street is not significantly rare and therefore, does not meet the criteria to be considered a historical resource.

## SUPPLEMENTAL INFORMATION FORM FOR HISTORICAL RESOURCE EVALUATION

Subject Property:  
2652 Harrison Street  
San Francisco, California

### Historic Survey Information

The Property is:

- No Constructed prior to 1913
- No Listed in the 1976 Architectural Survey & more than 50 years old
- No Listed in the 1968 Junior League Survey (the basis for *Here Today*)
- No Listed in a San Francisco Architectural Heritage Survey & more than 50 years old
- No Listed in the Unreinforced Masonry Building (UMB) Survey
- No General Plan Referenced Building
- No National Register and California Register Status Code of 7
- No Listed in the North Beach Survey, Local Survey Codes 4,5 or 6
- No Is there an existing, proposed or potential historic district in the immediate vicinity to which the subject building would be a contributor?
- No Other Informational Survey
- No Other

### Property Information

<u>Address:</u>	2652 Harrison Street
<u>Block No.:</u> 3639	Lot No.: 002
<u>Date of Construction:</u>	1939, Source for date: building permit
<u>Architect:</u>	unknown
<u>Builder:</u>	unknown
<u>Original Owner:</u>	R.N. & W. Rapper
<u>Historic Name:</u>	none
<u>Common Name:</u>	2652 Harrison Street
<u>Original Use:</u>	warehouse and office
<u>Present Use:</u>	warehouse and office
<u>Has the building been moved?</u>	No
<u>Architectural Style:</u>	non-descript

### Ownership History

<b>Transaction Date:</b>	<b>By Whom Sold:</b>	<b>To Whom Sold:</b>
05/08/18	Henry J. Wehr	Celia, Kearry, Annie, Dora, and Amanda Wehr
09/29/19	Dora Wehr	Celia Baruxis, Anna, Amanda and Kearry Wehr
11/07/19	Celia Baruxis, Amanda Jones, Annie and Kearry Wehr	J.H. Kruse
Unknown (assumed from permit history)	J.H. Kruse	R.N. & W. Rapper
01/05/40	R.N. & W. Rapper	San Francisco Materials Company (Lot 2/3)
08/19/88	San Francisco Materials Company (Lot 2/3)	Ted K & Sandra J Surber
04/17/89	Ted K & Sandra J Surber	Verminia Fregoso
10/30/92	Verminia Fregoso	Lucia Alvarez & Lidia Soler
06/07/94	Lucia Alvarez & Lidia Soler	Lucia Alvarez

### Building Occupants

<b>Date</b>	<b>Occupant</b>
Late 1920's-1930's	J.H. Kruse Lumber Yards
1940's	San Francisco Materials Company
Early 1950's	Diamond Springs Lime Company
Late 1950's	Price Building Specialties
1964-65	Vacant
Late 1960's	Warren and Company Stationers
Early 1970's	Cultural and Equipment Center Electrical Equipment
Late 1970's -1980's	Goshen Leather Factory Outlet
1995 - present	Restoration Services
2000 - present	Surber Drywall Construction

### Permit History

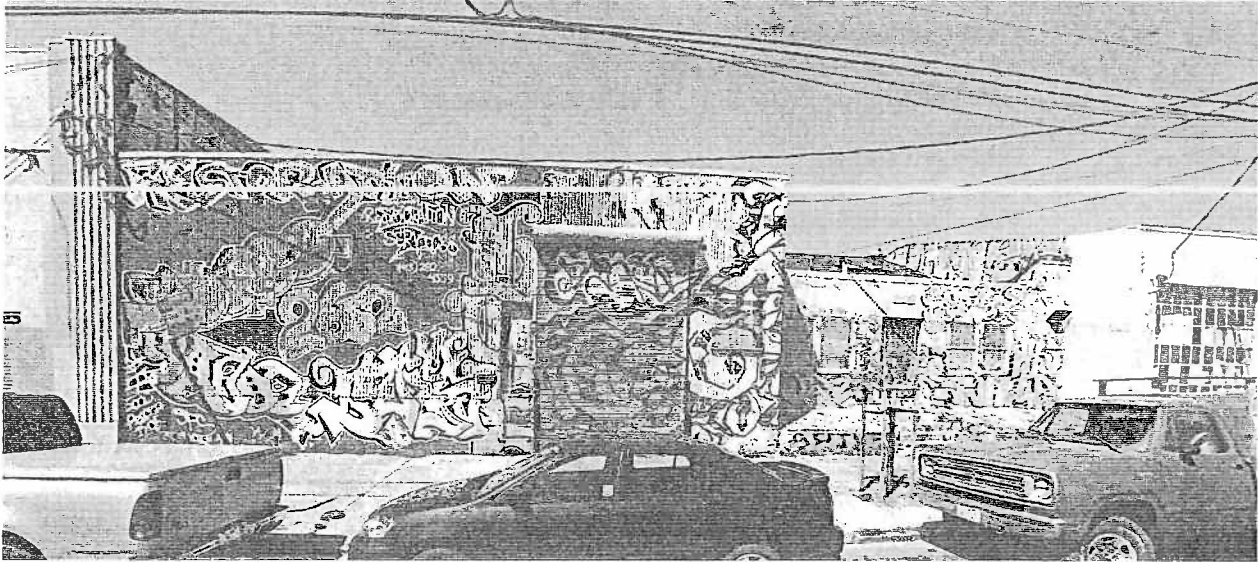
Only two building permits could be located in the San Francisco Building Department archive.

<b>Date</b>	<b>Applicant</b>	<b>Description of Permit</b>
1927	Peter Sorensen	Cement foundation and construction of a storage shed
1939	R.N. Rapper	Replacement of existing storage shed

## Supporting Photographs

A search of the San Francisco Public Library photographic collection revealed no images for this or nearby properties.

*Figure 1: 2652 Harrison Street (photo from [www.mapjack.com](http://www.mapjack.com))*



*Figure 2: Looking South on Harrison Street (photo from [www.mapjack.com](http://www.mapjack.com))*

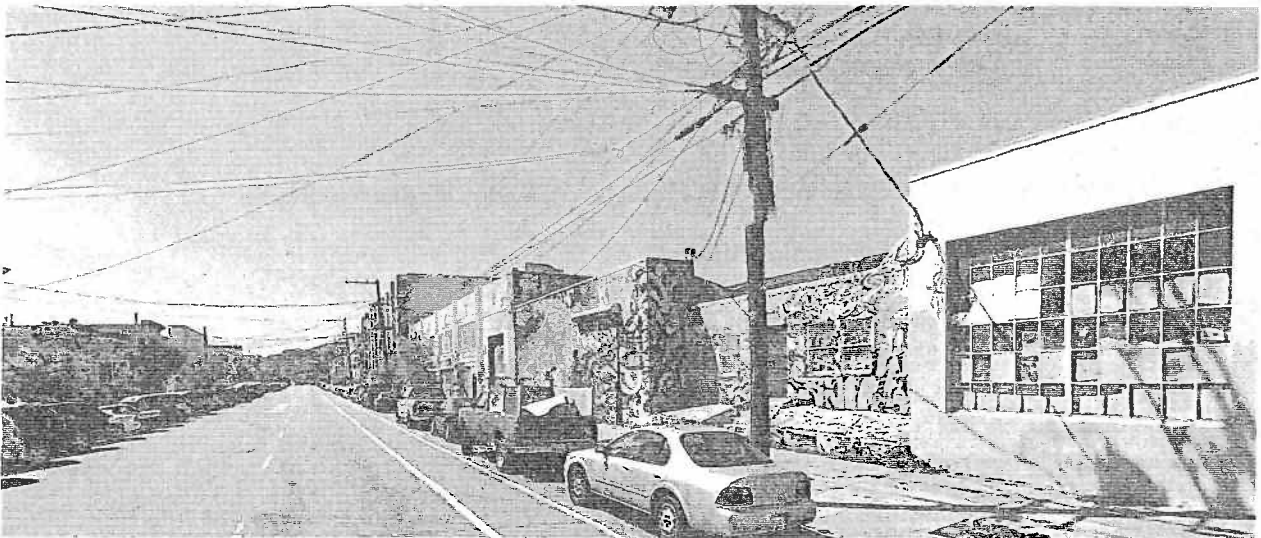


Figure 3: Looking North on the West Side of Harrison Street (photo from [www.mapjack.com](http://www.mapjack.com))



Figure 4: Looking South on the West Side of Harrison Street (photo from [www.mapjack.com](http://www.mapjack.com))



Figure 5: Looking South on Harrison Street from 22<sup>nd</sup> Street (photo from [www.mapjack.com](http://www.mapjack.com))



Figure 6: West Side of Harrison Street at 23<sup>rd</sup> Street (photo from [www.mapjack.com](http://www.mapjack.com))



Figure 7: East Side of Harrison Street to 23<sup>rd</sup> Street (photo from [www.mapjack.com](http://www.mapjack.com))



Figure 8: East Side of Harrison Street to 22<sup>nd</sup> Street (photo from [www.mapjack.com](http://www.mapjack.com))





Figure 9: View down the rail right-of-way (photo from [www.mapjack.com](http://www.mapjack.com))

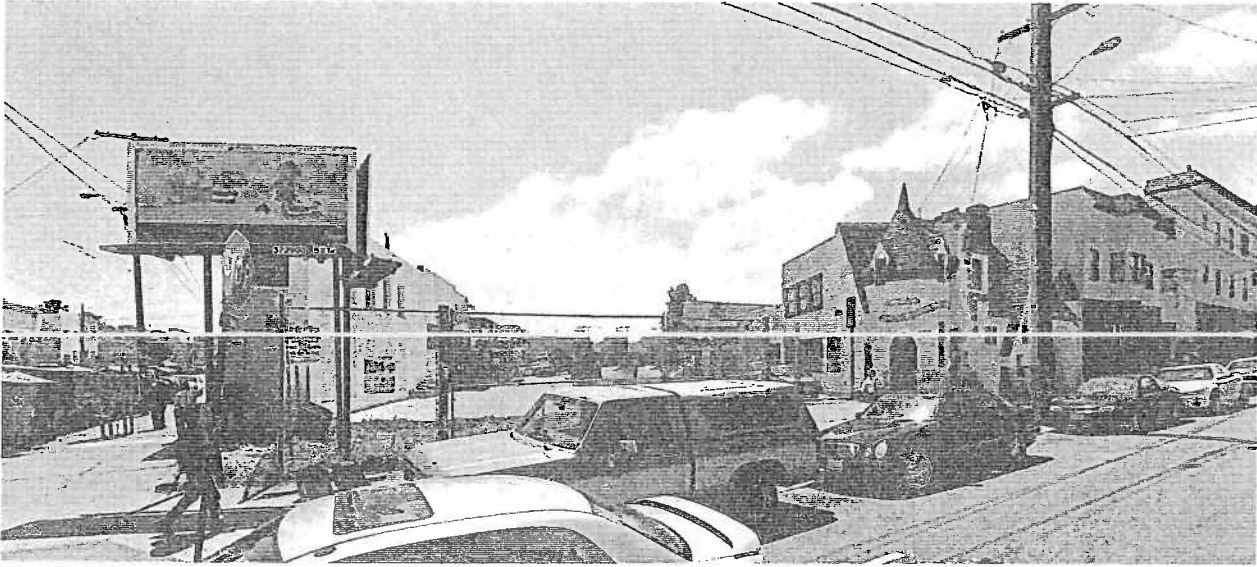


Figure 10: 1913-15 Sanborn Map

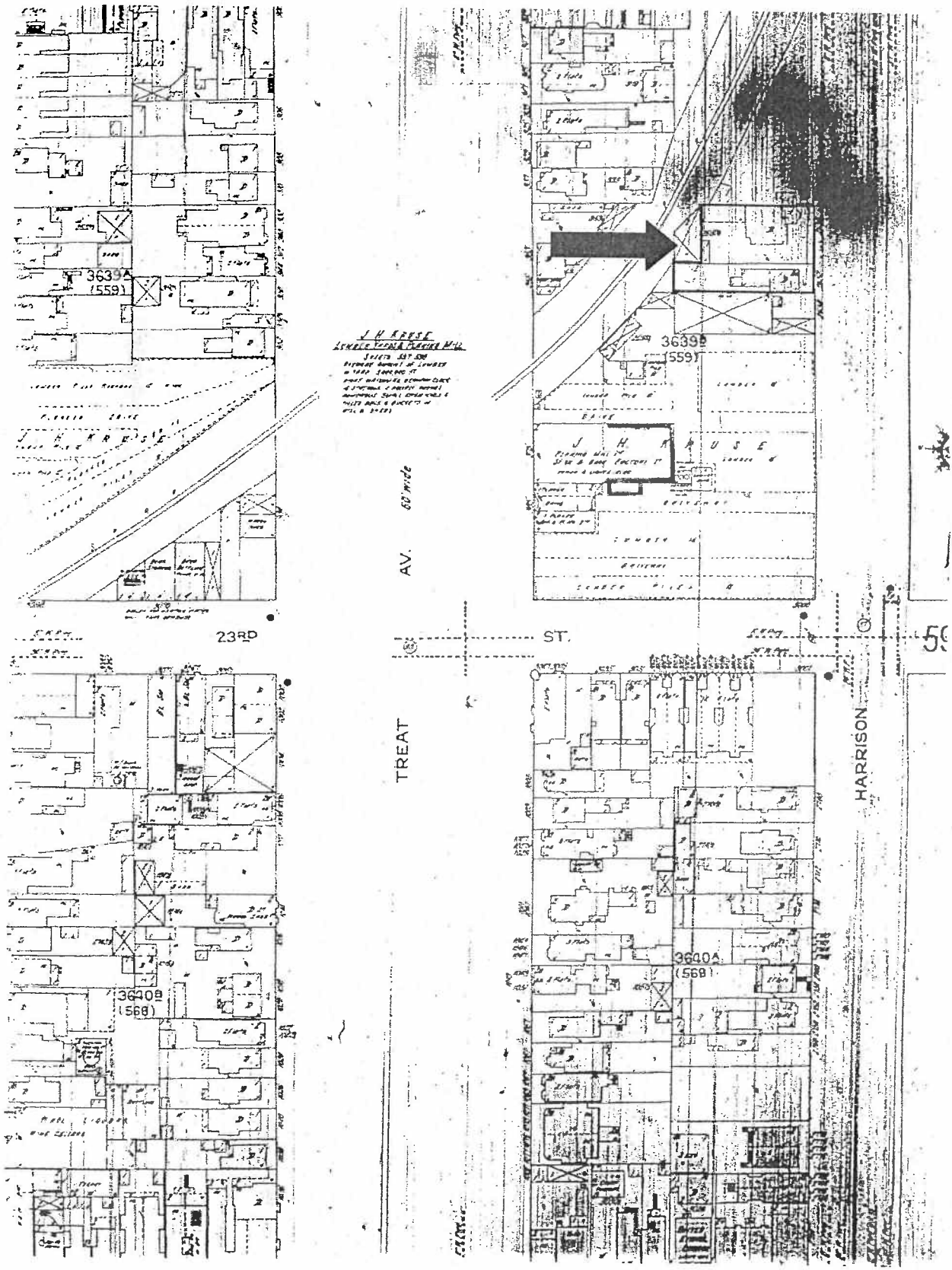
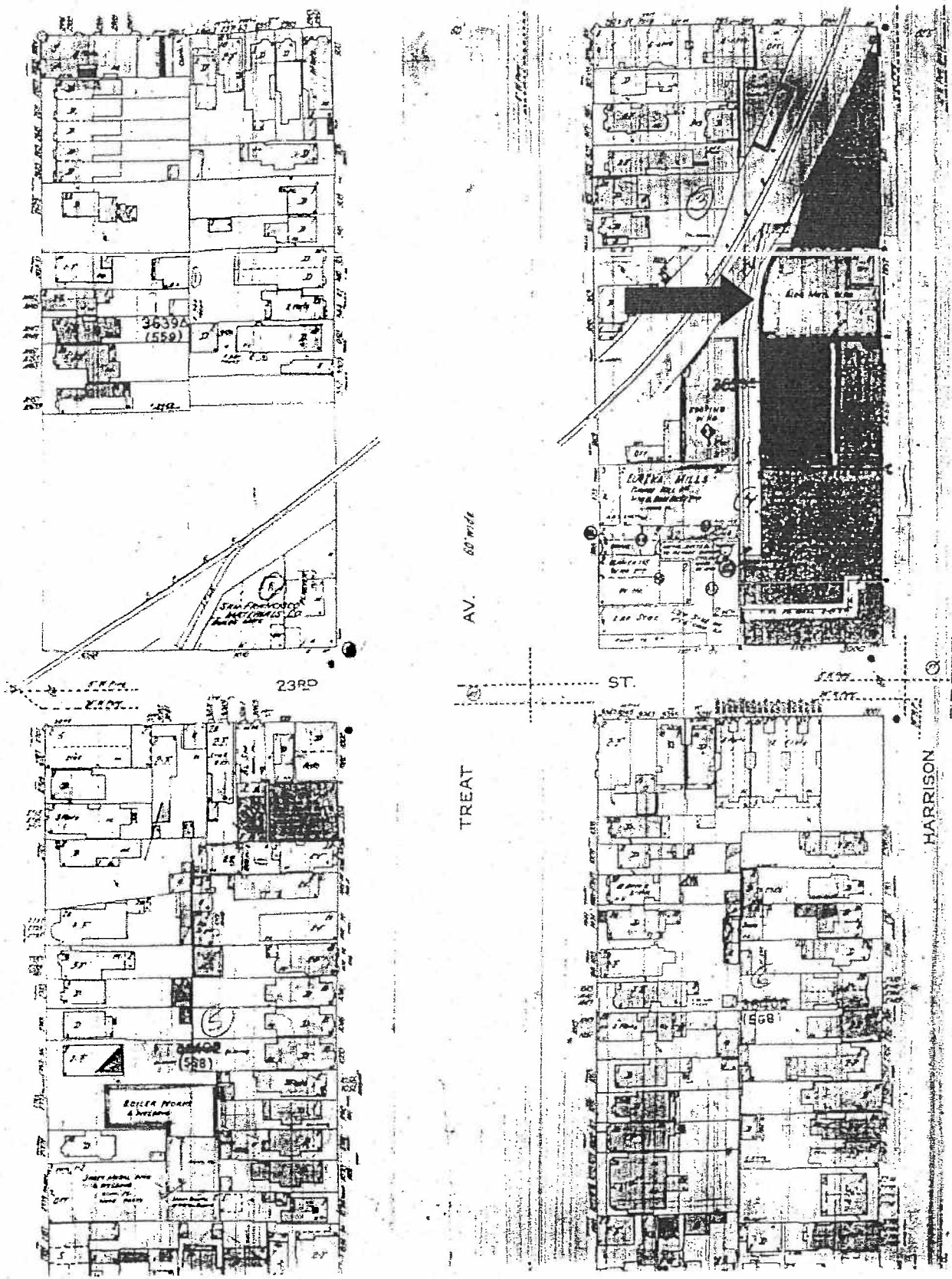


Figure 11: 1913-15 Sanborn Map corrected to 1950



# ENVIRONMENTAL EVALUATION APPLICATION

## Owner / Agent Information

Property Owner: 2652 HARRISON ST. LLC Telephone No.: (415) 724-9771  
Contact Person: JOHN O'CONNOR Fax No.: (415) 664-2912  
Address: 49 ROCKWAY AVE., S.F. CA 94127 Email Address: jocannor.elect@comcast.net

Project Contact: KERMAN MORRIS ARCHITECTS LLP Telephone No.: (415) 749-0302  
Contact Person: EDWARD ("TOBY") MORRIS Fax No.: (415) 928-5152  
Address: 69A WATER ST., S.F. CA 94133 Email Address: toby@kermanmorris.com

CEQA Consultant: KERMAN MORRIS ARCHITECTS LLP Telephone No.: (415) 749-0302  
Contact Person: EDWARD ("TOBY") MORRIS Fax No.: (415) 928-5152  
Address: 69A WATER ST., S.F. CA 94133 Email Address: toby@kermanmorris.com

## Site Information

Site Address(es): 2652 HARRISON STREET, S.F. CA 94110  
Nearest Cross Streets: LOCATED ON HARRISON ST. BETWEEN 22<sup>nd</sup> AND 23<sup>rd</sup> ST.  
Assessor's Block(s)/Lot(s): 3639 / 002 Zoning District(s): C-M  
Site Square Footage: 8,372 SQ. FT. Height/Bulk District(s): 40-X  
Present or Previous Use of the Site: PRESENT USE: WAREHOUSE PURPOSES AND FOR FURNATURE REFINISHING

## Project Description

Please Check All That Apply:

Addition  Change of Use  <sup>New</sup> Construction  Lot Split/Subdivision  
 Alteration  Demolition  Zoning Change  Other

Please Describe Proposed Use: RESIDENTIAL OVER BASEMENT LEVEL PARKING GARAGE  
Estimated Construction Cost: \$2 MILLION  
Previous Environmental Review: \_\_\_\_\_ Case No.: \_\_\_\_\_

## Written Project Description:

Please include location; existing height, use, gross square footage, and number of off-street parking spaces; and proposed height, use, gross square footage, and number of off-street parking spaces. Attach additional sheet(s) if necessary.

Case No. 06.0054E (For Staff Use Only)

January 5, 2006

Planning Department  
1660 Mission Street, 5<sup>th</sup> Floor  
San Francisco, CA 94103

**RE: WRITTEN PROJECT DESCRIPTION:  
2652 HARRISON STREET**

**Response to Written Project Description in the Environmental Evaluation  
Application:**

The project site is located at 2652 Harrison Street in San Francisco; Block 3639, Lot 002. The site is 8,372 sq. ft. (irregular: 75'-0" x 122'-6" with notch).

Existing: Existing on the site is a single-story, 20'-0" tall, 7,250 sq. ft. warehouse building which is currently used for warehouse purposes and for furniture refinishing. Previously the building was used as a building materials warehouse and later for warehouse purposes by various other businesses, including a leather goods company and a stationary supply company. The existing building is to be demolished.

Proposed: The proposed project is a 4-story, 40'-0" tall building that includes 30 residential units over basement level parking garage. The gross square footage of the new construction is as follows: Residential: 30,300 sq. ft., Parking: 8,700 sq. ft. (30 parking spaces).  
Total Gross Square Footage of new construction: 39,000 sq. ft.

## PROJECT SUMMARY TABLE

Please provide information on existing site conditions and proposed uses. You may round numbers. If you are not sure of the eventual size of the project, provide MAXIMUM estimates.

Category Gross Square Footage (GSF)	Existing Uses	Existing Uses To Be Retained	Net New Construction &/or Addition	Project Totals
Residential	∅	∅	30,300	30,300
Retail	∅	∅	∅	∅
Office	∅	∅	∅	∅
Industrial	7,250	∅	∅	∅
Parking	∅	∅	8,700	8,700
Other (Specify Use)	∅	∅	∅	∅
<b>TOTAL GSF</b>	7,250	∅	39,000	39,000
Dwelling Units	∅	∅	30	30
Hotel Rooms	∅	∅	∅	∅
Parking Spaces	∅	∅	25	25
Loading Spaces	∅	∅	∅	∅
Number of Buildings	1	∅	1	1
Height of Building(s)	20 FT.	∅	40 FT.	40 FT.
Number of Stories	1	∅	4 (OVER BASEMENT)	4 (OVER BSMT.)

If there are features of your project not included in this table, please describe:

If your project involves demolition, please describe the use and gross square footage of each building to be demolished:

THE EXISTING ONE STORY WAREHOUSE BUILDING WHICH IS  
APPROXIMATELY 7,250 SQ. FT. (AND IS CURRENTLY WAREHOUSE) IS TO BE  
DEMOLISHED.

## ENVIRONMENTAL ISSUES

Please respond to all questions below taking care to **provide all the required information**. If not applicable to your project, explain why. Attach separate sheets if needed.

- a) Would the proposed project require any variances, special authorizations, or changes to the City Planning Code or Zoning Maps? If so, please describe.
- b) Would the proposed project displace any existing housing or business use? If so, please describe.
- c) Would the proposed project exceed any of the thresholds specified in the *Transportation Impact Analysis Guidelines for Environmental Review*? If so, please describe. You may request a determination of whether your proposed project requires a Transportation Study by the Department's Transportation Section (**contact Bill Wycko at 558-5972**). If a Transportation Study is required, two separate fees are necessary to cover Planning Department management and review of consultant-prepared transportation studies: 1) payable to the San Francisco Planning Department for \$16,607.00 and 2) payable to Department of Parking and Traffic for \$400.00.
- d) Would the proposed project exceed 40 feet in height per Planning Code (via new construction or additions)? If so, please explain and submit a Shadow Study Application at the Planning Information Counter at 1660 Mission Street.
- e) Would the proposed project remove any trees with a trunk 4 inches in diameter or greater or any trees taller than 20 feet? If so please submit a plot plan showing the location, diameter, height, common name, and botanic name of each such tree.
- f) Is the grade of the project site: (a) level or only slightly sloped, or (b) steeply sloped? Please explain and, if steeply sloped, provide a geotechnical or soils report.
- g) To your knowledge have any hazardous materials ever been present on the site? If so, please attach a Phase I Environmental Site Assessment or hazardous material technical report and any additional related reports that are available.
- h) What type of foundation system is proposed for the project?
- i) Would construction of the proposed project involve any soils-disturbing activities? If so, please describe, including depth of any excavation and cubic yards of any soil to be removed.
- j) Are any designated landmarks or rated historic buildings on the project site, or is the site within a historic district? If so, please describe.

January 5, 2006

Planning Department  
1660 Mission Street, 5<sup>th</sup> Floor  
San Francisco, CA 94103

RE: **ENVIRONMENTAL ISSUES:**  
2652 HARRISON STREET

**Response to Environmental Issues in the Environmental Evaluation  
Application:**

- a. The proposed project will require a rear yard modification per SFPC section 134(e).
- b. The proposed project will not displace any existing housing or business use.
- c. We do not believe that the proposed project will exceed any of the thresholds specified in the *Transportation Impact Analysis Guidelines for Environmental Review*.
- d. The proposed project is 40 feet in height and therefore does not require a Shadow Study.
- e. The proposed project will not remove any trees.
- f. The grade of the project site is level or slightly sloped.
- g. See attached Phase I report.
- h. The proposed project will contain a mat slab foundation with grade beams.
- i. The construction of the proposed project will displace approximately 2,800 cubic yards of soil for the basement level parking garage.
- j. There are no designated landmarks or rated historic buildings on the project site; see attached Phase I report.



# ENVIRONMENTAL EVALUATION APPLICATION CHECKLIST

Please submit all materials shown below. The staff planner assigned to the project will contact you if additional information is required in order for environmental review to proceed.

Submit These Materials With Application	Check Box to Indicate That Materials Are Provided
<b>Application</b> with all blanks filled in	<input type="checkbox"/>
<b>Public Notification Materials</b>	
Parcel map showing block and lot numbers within a 300-foot radius of the project site boundaries	<input type="checkbox"/>
Two sets of address labels of all property owners within a 300-foot radius of project site <u>and</u> directly adjacent property occupants, including those across the street	<input type="checkbox"/>
Photocopy of address labels	<input type="checkbox"/>
<b>Project Drawings</b> on 8.5" x 11", 11" x 17", or reduced size Site Plan, Floor Plans, Elevations, and Sections	<input type="checkbox"/>
<b>Photographs</b> of the project site and adjacent properties, including those across the street, with viewpoints labeled	<input type="checkbox"/>
<b>Check payable to <u>San Francisco Planning Department</u></b> (see attached EE Application Fee Schedule)	<input type="checkbox"/>
<b>Application signed by owner or agent</b>	<input type="checkbox"/>
Letter from property owner(s) authorizing agent to sign Application	<input type="checkbox"/>
<b>Special Studies (if required)</b> Examples include Phase I Site Assessments and Geotechnical Reports	<input type="checkbox"/>

Applicant's Affidavit - I certify the accuracy of the following declarations:

- a: The undersigned is the owner or authorized agent of the owner(s) of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: I understand that other applications and information may be required.

Signed: Edward D Morris Date: 1-9-05  
Agent or Owner

Print full name of applicant: Edward D. Morris, Agent

06.0054E

CASE NO: \_\_\_\_\_ (For Staff Use Only)



NO. 001	DATE	DESCRIPTION

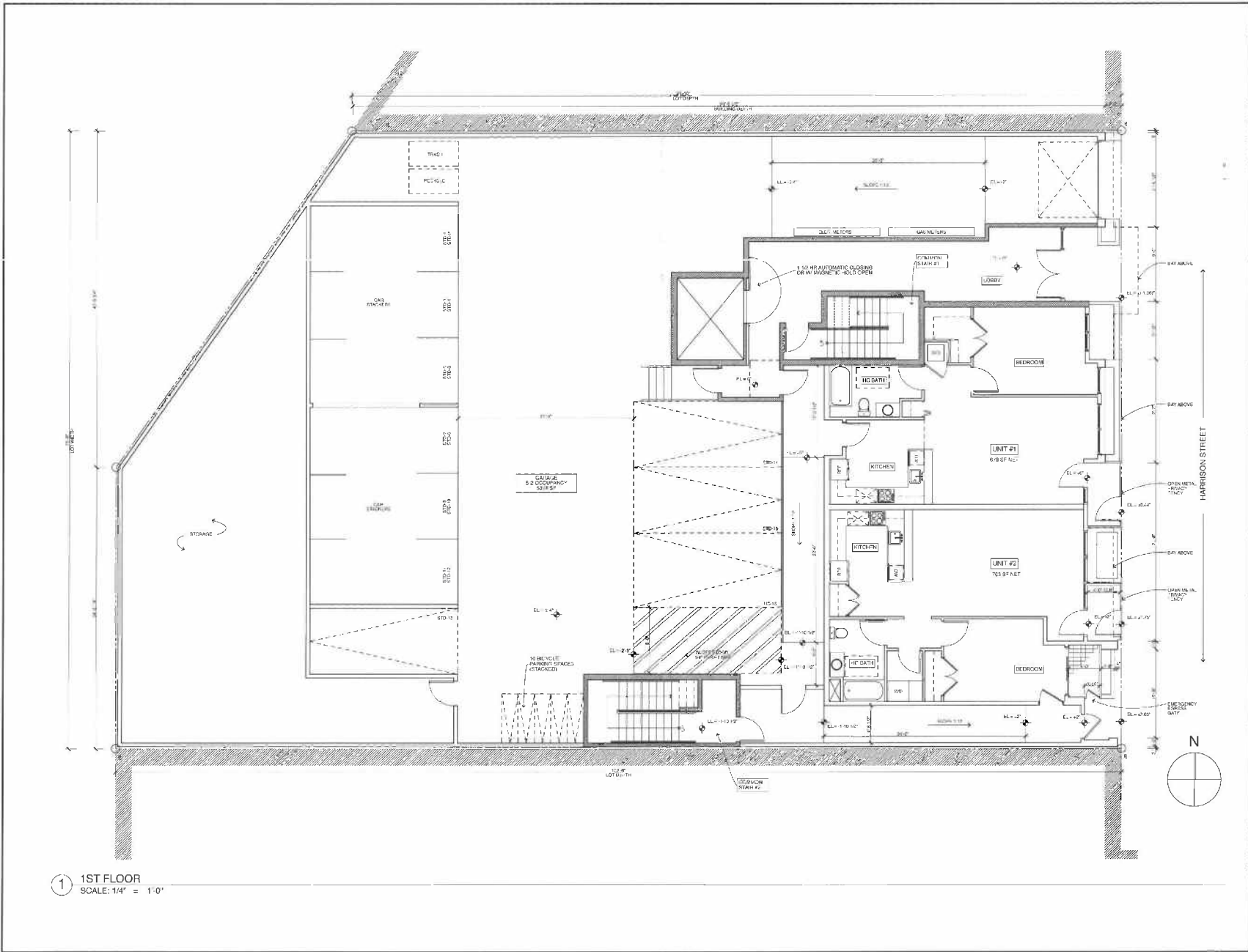










1 1ST FLOOR  
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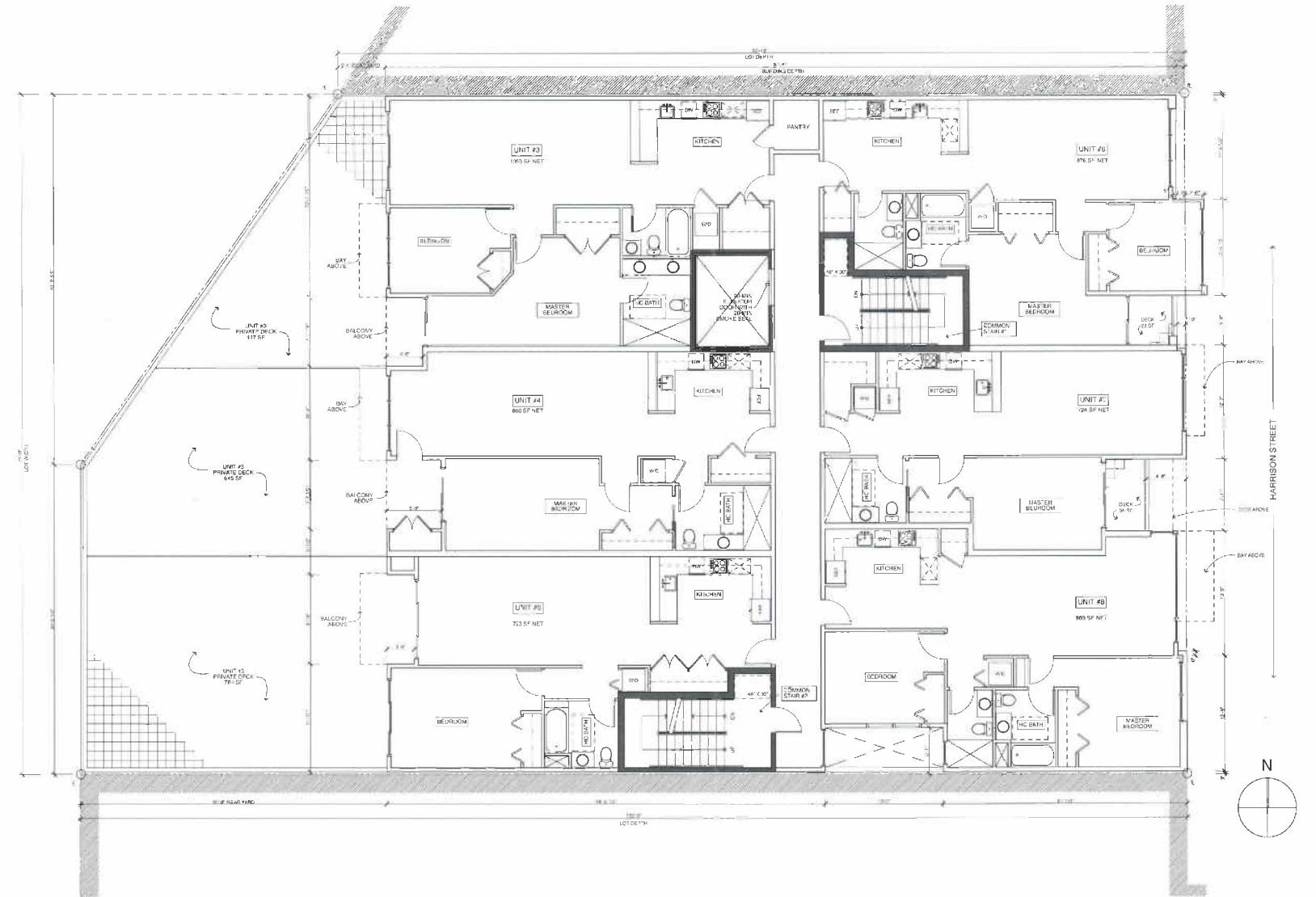
Project:	
Client:	
Architect:	VEEMAN ARCHITECTS
Date:	08/11/11

2522 HARRISON ST.  
 NEW CONSTRUCTION  
 2nd FLOOR PLAN

**NOTES:**  
 1. These drawings are prepared for the purpose of construction. They are not to be used for any other purpose without the written consent of the architect.  
 2. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations.  
 3. The contractor shall be responsible for coordinating with all other trades and for ensuring that all work is completed in accordance with the contract documents.  
 4. The contractor shall be responsible for protecting all existing conditions and for restoring any damage to the site.  
 5. The contractor shall be responsible for maintaining accurate records of all construction activities and for providing regular progress reports to the architect.

Scale:	1/4" = 1'-0"
Sheet:	001
Drawn by:	TH
Checked by:	TH
Date:	08/11/11

DRIVING  
**A-1.2**



**1** 2ND FLOOR  
 SCALE: 1/4" = 1'-0"



PROJECT	NEW CONSTRUCTION
CLIENT	BLGOK 3655 LOT 002
DATE	10/20/2023
SCALE	1/4" = 1'-0"

NO.	DESCRIPTION
1	FOURTH FLOOR PLAN

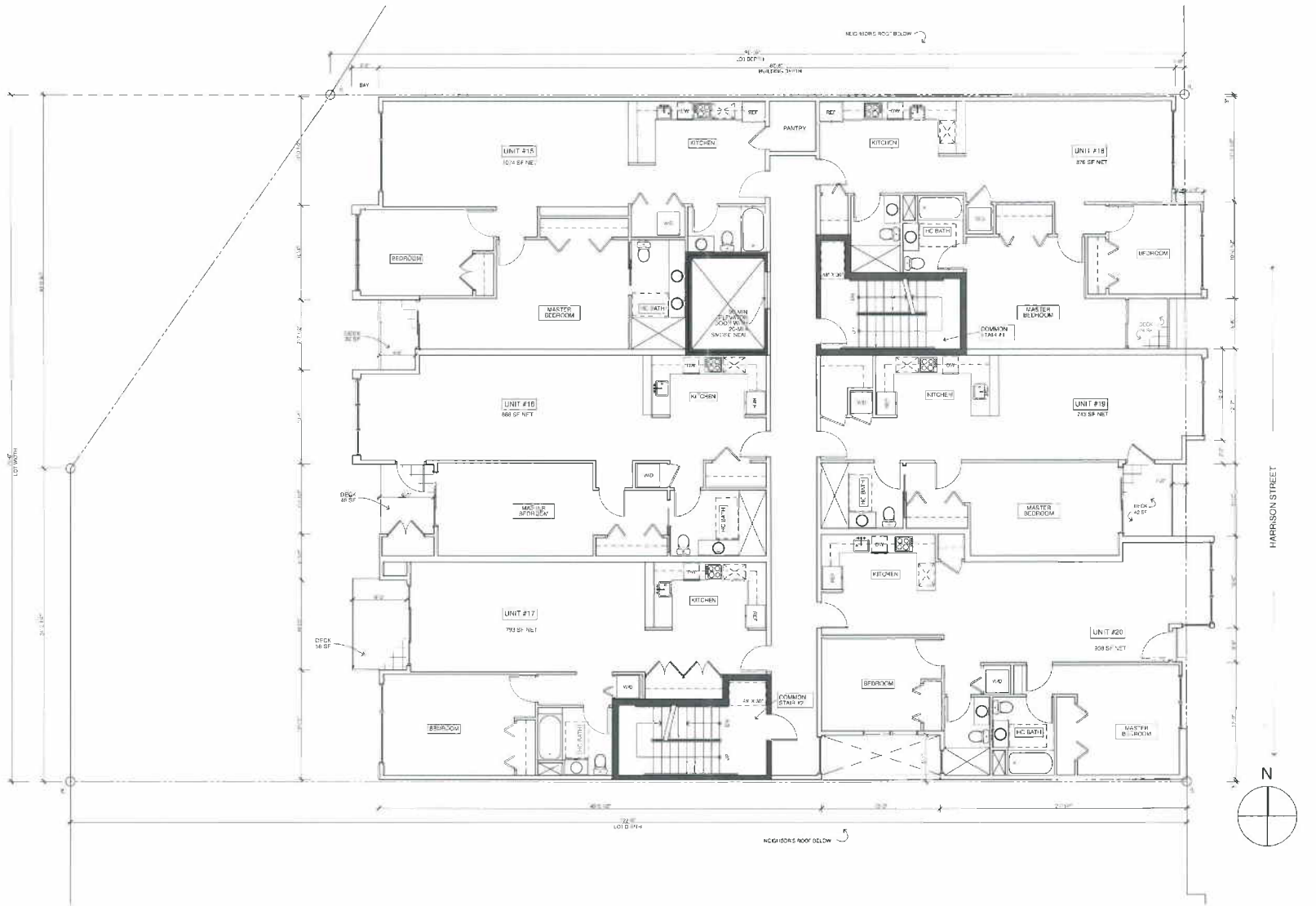
2852 HARRISON ST.  
 NEW CONSTRUCTION  
 BLGOK 3655 LOT 002

FOURTH FLOOR PLAN

NOTES:  
 1. THIS SET OF ARCHITECTURAL DRAWINGS IS THE PROPERTY OF KERMAN ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS SET OF DRAWINGS IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KERMAN ARCHITECTS.  
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS ON SITE.  
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

DATE	10/20/2023
SCALE	1/4" = 1'-0"
PROJECT	BLGOK 3655 LOT 002
DATE	10/20/2023

UNNOTED  
**A-1.4**



1 4TH FLOOR  
 SCALE: 1/4" = 1'-0"

NO. 1	ROOF PLAN
NO. 2	
NO. 3	
NO. 4	
NO. 5	
NO. 6	
NO. 7	
NO. 8	
NO. 9	
NO. 10	

2552 HARRISON ST.

NEW CONSTRUCTION  
50-UNIT APARTMENTAL

BLOCK 1308-1 LOT 005

ROOF PLAN

WORK:

To illustrate the proposed roof structure and details for the 50-unit apartment building located at 2552 Harrison Street, Ann Arbor, Michigan. The project is a new construction of a 50-unit apartment building. The roof structure is shown in plan view, including the location of the roof deck, stairs, and other structural elements. The drawing is intended to provide a clear and detailed representation of the roof structure for the project.

The drawing is based on the architectural plans and specifications provided by the client. It is intended to be used in conjunction with the other drawings in the set. The drawing is not to be used for construction without the approval of the architect.

DATE: 10/1/2019

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NO. 257









NO.	REVISION

2622 HARRISON ST.  
NEW CONSTRUCTION  
SOLAR RESIDENTIAL  
BLOCK 2622 LOT 400  
NORTH ELEVATION

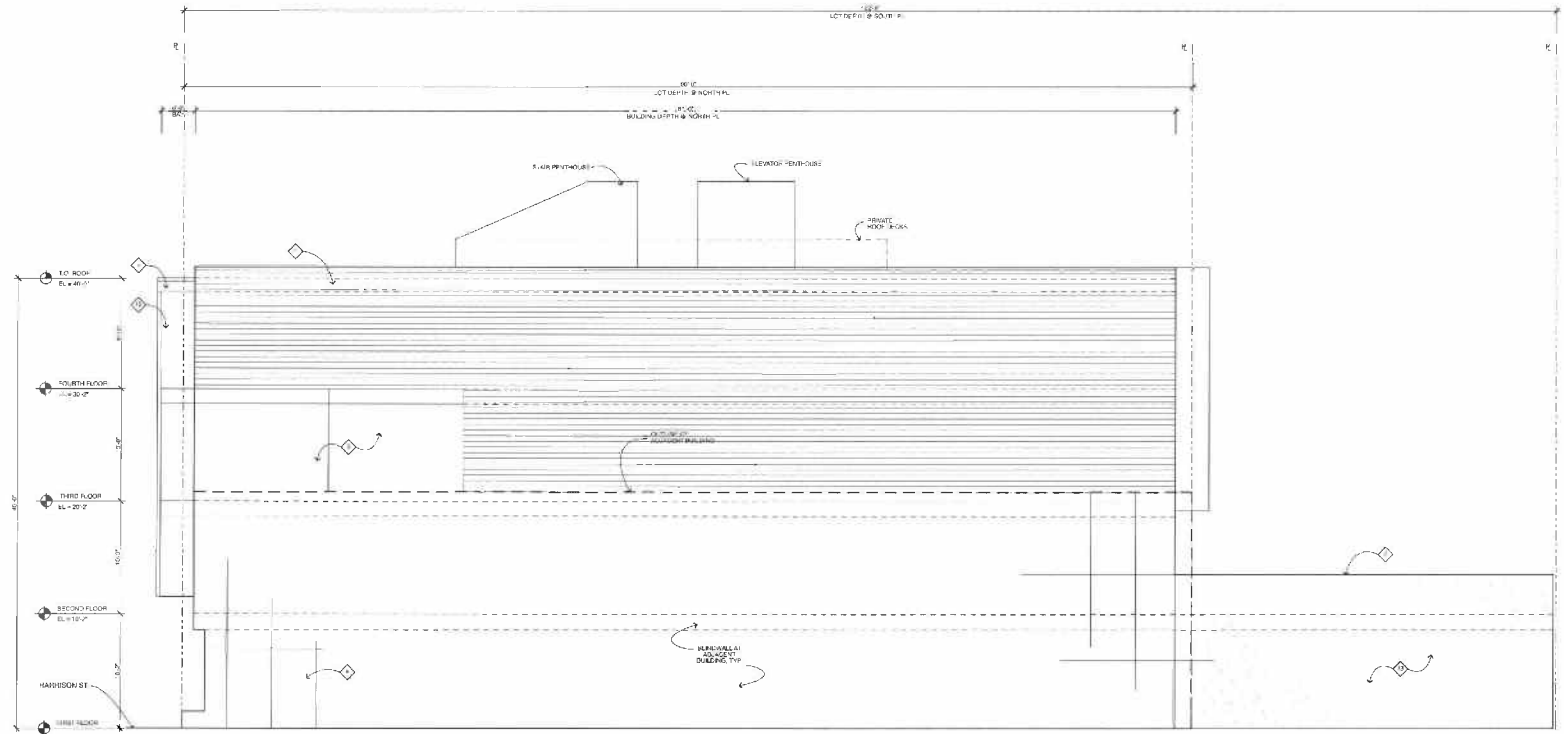
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3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES FOR THE PROJECT.  
4. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE FOR THE PROJECT.  
5. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS AND AGREEMENTS FOR THE PROJECT.  
6. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINANCING AND FUNDING FOR THE PROJECT.  
7. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LEGAL AND TAX ADVICE FOR THE PROJECT.  
8. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL AND CONSULTANT SERVICES FOR THE PROJECT.  
9. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND SUPPLIES FOR THE PROJECT.  
10. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR AND SERVICES FOR THE PROJECT.  
11. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TRANSPORTATION AND LOGISTICS FOR THE PROJECT.  
12. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY COMMUNICATIONS AND NETWORKING FOR THE PROJECT.  
13. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SECURITY AND PROTECTION FOR THE PROJECT.  
14. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MAINTENANCE AND REPAIRS FOR THE PROJECT.  
15. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY OPERATIONAL AND SUPPORT SERVICES FOR THE PROJECT.

DATE	11/20/24
BY	
SCALE	1/4" = 1'-0"
PROJECT NO.	2622
DATE	11/20/24
BY	

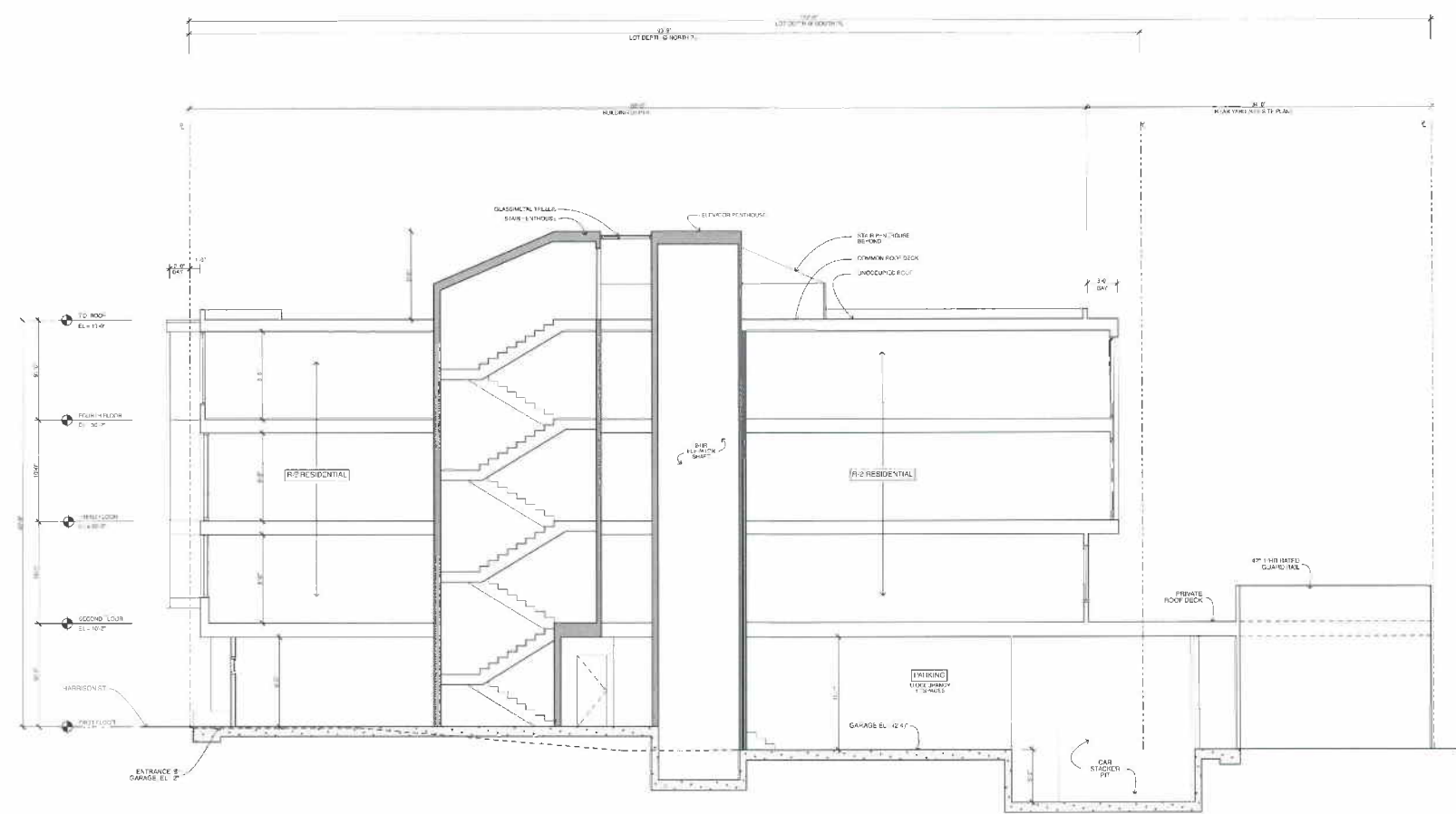
PREPARED BY  
**A-2.4**

**ELEVATION KEY NOTES:**

- ◇ ANTI-GLARE CONCRETE SURF. HORIZONTAL DISPLAY
- ◇ CLASHLESS PANEL 10'
- ◇ CLASHLESS PANEL 10'
- ◇ DUAL GLAZED ALUMINUM WINDOWS/DOORS (TYP.) BRONZE ANODIZED FINISH
- ◇ DUAL GLAZED ALUMINUM WINDOWS/DOORS (TYP.) CLEAR ANODIZED FINISH
- ◇ OPEN METAL CLASHLESS 10' MAX. OPENINGS, 42" HIGH (TYP.)
- ◇ 1 HOUR RATED 42" HIGH CLASHLESS WALL
- ◇ 10" HOLLOW METAL TOP SIGN, 11 1/2" BASE
- ◇ TYP. 10" HOLLOW CENTER SIGN (MAX. 11 1/2" H) CONCRETE TOP OF THE SIGN (MAX. 11 1/2" H) PROVIDE TO MATCH 10" HOLLOW METAL, A.V. IN ARE. @ EMPLOYED AREAS (11 1/2" H)
- ◇ 10" HOLLOW METAL
- ◇ 42" HIGH CLASHLESS GUARDRAIL
- ◇ 10" HOLLOW METAL TOP
- ◇ METAL CLASHLESS WINDOW FINISH
- ◇ 10" HOLLOW METAL
- ◇ METAL STATIONARY SIGN (10" H) AND SIGN (11 1/2" H) TRIMMED
- ◇ METAL REVEAL



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION  
 SCALE: 1/4" = 1'-0"

2652 HARRISON ST.  
 NEW CONSTRUCTION  
 DUPLEX RESIDENTIAL  
 BLOCK 3000/ LOT 002

BUILDING SECTION

NO. 011  
 THESE PLANS AND SPECIFICATIONS  
 SHALL BE THE PROPERTY OF PERMAN  
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 MANNER WITHOUT THE WRITTEN  
 CONSENT OF PERMAN ARCHITECTS.

DATE	08-13-20
PROJECT	AS
DESIGNER	TM
DRAWN	SEK

DRAWING  
**A-3.1**

DATE PLOTTED: 08/13/20



HARRISON & 23RD STREET: LOOKING WEST

BLOCK 3639



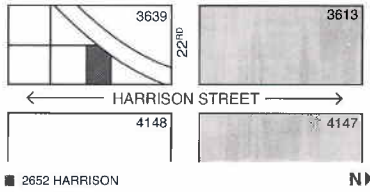
SOUTH END OF BLOCK 3639



HARRISON STREET: BLOCK 3639



HARRISON STREET - PROPERTIES ACROSS THE STREET: BLOCK 4148



HARRISON STREET: BLOCK 3613



HARRISON STREET: BLOCK 4147

2652 HARRISON STREET  
 KERMAN MORRIS ARCHITECTS  
 11/3/2010



LOOKING SOUTH ON HARRISON STREET



LOOKING NORTH ON HARRISON STREET



SUBJECT PROPERTY



2652 HARRISON STREET  
KERMAN MORRIS ARCHITECTS  
11/3/2010