



SAN FRANCISCO PLANNING DEPARTMENT

Permit to Alter Case Report Consent Calendar

HEARING DATE: OCTOBER 15, 2014

Filing Date: September 3, 2014
Case No.: **2014.1349H**
Project Address: **685 Market Street**
Category: Category I (Significant)
Conservation District: New Montgomery-Mission-Second Street
Zoning: C-3-O (Downtown-Office)
120-X Height and Bulk District
Block/Lot: 3707/051
Applicant: Elisa Skaggs
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San Francisco, CA 94111
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PROPERTY DESCRIPTION

685 MARKET STREET is located on the north side of Market Street between Kearny Street and Annie Street (Assessor's Block 3707; Lot 051). The subject building is a Category I (Significant) building within the New Montgomery-Mission-Second Street Conservation District, which is locally designated under Article 11, Appendix A of the Planning Code. It is located within a C-3-O (Downtown-Office) Zoning District with a 120-X Height and Bulk limit.

685 Market Street was originally constructed in 1906 by Architects Meyer & O'Brien and historically known as the Monadnock Building. The subject building is a ten-story steel-frame and brick cavity wall building with Renaissance/Baroque ornamentation. 685 Market Street features a tripartite composition with a non-historic glass-fiber reinforced concrete (GFRC) base constructed in the 1980's, brick masonry throughout the building, and terra cotta at the upper levels.

PROJECT DESCRIPTION

The proposed project is to replace in-kind the existing exterior wythe of brick on the Annex Wall. The Annex wall is painted and will be repainted. Specifically, the proposal includes:

- In-kind brick unit replacement to match existing in size, shape, color, and finish.
- Repointing of new brick wall with a mortar that is physically compatible with new and existing bricks, and matches existing mortar in dimension, profile, color, texture, and finish.

Please see photographs and plans for details.

OTHER ACTIONS REQUIRED

The proposed project will require a Building Permit.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 11

Pursuant to Section 1110 of the Planning Code, unless delegated to the Planning Department Preservation Staff through the Minor Permit to Alter process pursuant to Section 1111.1 of the Planning Code, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition for Significant buildings, Contributory buildings, or any building within a Conservation District. In evaluating a request for a Permit to Alter, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, Section 1111.6 of the Planning Code, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

SECTION 1111.6 OF THE PLANNING CODE

Section 1111.6 and Section 1111.2, as it relates to signage, of the Planning Code outline the specific standards and requirements the Historic Preservation Commission shall use when evaluating Permits to Alter. These standards, in relevant part(s), are listed below:

- (a) The proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 11.

The proposed project is consistent with Article 11.

- (b) For Significant Buildings/Properties - Categories I and II, and for Contributory Buildings - Categories III and IV, proposed alterations of structural elements and exterior features shall be consistent with the architectural character of the building, and shall comply with the following specific requirements:

- (1) The distinguishing original qualities or character of the building may not be damaged or destroyed. Any distinctive architectural feature which affects the overall appearance of the building shall not be removed or altered unless it is the only feasible means to protect the public safety.

The proposed project involves the in-kind replacement of an existing exterior wythe of brick with new units that will match existing in size, shape, color, and finish. However, the texture will differ slightly to differentiate the new from old. The existing wall was previously painted and the new wall will be painted. New brick units will be repointed with a mortar that is physically compatible with existing and new bricks, and that will match existing in profile,

color, texture, and finish. Thus, the original qualities and character of the building will be maintained.

- (2) The integrity of distinctive stylistic features or examples of skilled craftsmanship that characterize a building shall be preserved.

As described above, the proposed project will not result in the loss of distinctive stylistic features or examples of skilled craftsmanship that characterize the building.

- (3) Distinctive architectural features which are to be retained pursuant Paragraph (1) but which are deteriorated shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplication of features, substantiated by historic, physical or pictorial evidence, if available, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures. Replacement of non-visible structural elements need not match or duplicate the material being replaced.

Existing brick units consisting of a soft lime-sand mixture were manufactured without a fire skin and are deteriorated beyond repair. Repair is not possible and if undertaken would compromise the exterior envelope of the historic building. New replacement brick units will be installed to match existing configuration and pattern, and have a proper fire skin that will protect the wall against water intrusion and general weathering. All mortar joints will match existing in profile, color, texture, and finish, and will also be comprised of a material that is physically compatible with new and existing brick units. The proposed brick units will match the existing brick in most visual qualities including size, shape, color, and finish. The wall was originally painted and the new wall will also be painted.

- (4) Contemporary design of alterations is permitted, provided that such alterations do not destroy significant exterior architectural material and that such design is compatible with the size, scale, color, material and character of the building and its surroundings.

The replacement brick units will not destroy existing adjacent brick units and windows, and instead will protect the building from water intrusion. Overall, the proposed project is compatible with the size, scale, color, materials and character of the existing building and these change are compatible with the overall design of the building.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal is limited to the Annex Wall and includes the replacement in-kind of existing brick units with new brick units that match existing in material, size, shape, color, and finish. The texture of new brick units will differ slightly to differentiate the new from the old. These changes will not remove distinctive materials, nor irreversibly alter features that characterize the building.

Standard 4: Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The proposed project retains the existing appearance of the building including the exterior brick wythe of the cavity wall system at the Annex wall.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The distinctive features and finishes of the building will be retained and preserved. Replacement brick units are compatible with existing adjacent brick units below. Staff has reviewed the texture and finish of the proposed replacement brick units and has confirmed that as outlined in the scope of work, distinctive features and finishes will be preserved. The proposed mortar will match existing in material, profile, color, texture, and finish.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The proposal to replace existing brick units along the Annex Wall with new brick units will provide for a more durable and weather tight system. Repair of existing brick units is not possible and would compromise the stability of the wall and serve as a means of water intrusion and thus, not allow for long-term stability of the building envelope. The replacement brick units will match the existing in design, color, and finish, and is materially compatible with the existing terra cotta units. The new units will have a slightly different texture to differentiate it from the old and be compatible with the existing building. And the new mortar will match existing in material, profile, color, texture, and finish.

Standard 7: Chemical or physical treatments, if possible, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The proposed project includes removal of existing deteriorated brick units and installation of new brick units with mortar that matches existing in material, profile, color, texture, and finish. Stainless steel ties will be used to anchor the exterior wythe of brick to the building and will not damage any adjacent historic fabric.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials and features that characterize the building. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed work will not destroy historic materials or features that characterize the building. The new brick units will be differentiated from the old in texture and will be compatible in material, size, color, and finish.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

ISSUES & OTHER CONSIDERATIONS

On May 13, 2014, a Minor Permit to Alter (Case No. 2014.0049H) was issued for the salvage and reinstallation of existing brick units at the Annex Wall as part of the maintenance and repair of 685 Market Street exterior in order to access locations of water infiltration. See attachment. The scope of work included removal, salvage, repair, and reinstallation of existing brick units, repair and repointing of existing terra cotta units, repair of existing non-historic glass-fiber reinforced concrete (GFRC) units, repair of existing concrete surfaces, wood window rehabilitation, repair and reinforcement of existing steel window lintels and beams, and replacement of existing expansion joints. During construction, existing brick units along the Annex Wall were found to be beyond repair and required full unit replacement to provide future stability of the wall. The existing brick wall was coated with an asbestos-containing waterproofing coating which compromised existing bricks.

STAFF ANALYSIS

Staff has determined that the proposed work will be in conformance with the requirements of Article 11 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject building. The overall proposal includes restoration of the exterior building cladding. The proposal includes replacement of existing terra cotta cladding at window lintels with new GFRC units to match existing in size, design, profile, color, texture, and finish. Staff finds that the historic character of the building will be retained and preserved and will not result in the removal of historic fabric.

This project will require minimal disturbance of existing historic fabric, limited to the replacement of brick units beyond repair at the Annex Wall (see Sheet A2.01 in attached Drawings for specific location). The Annex Wall is an exterior wall located on a secondary elevation and minimally visible from the public right-of-way. The proposed brick replacement units will retain the overall character, design and visual qualities of existing brick wall and will not destroy historic materials and features that characterize the building. The existing brick wall is painted and the newly reconstructed exterior wythe of the wall will also be painted. However, the existing brick wall was coated with a non-permeable asbestos-containing waterproofing coating which caused the original lime-based units to spall and deteriorate beyond repair. New bricks will be coated with a permeable paint to allow for bricks to breathe. The proposed new brick units will match existing in size, shape, color, and finish. Only the texture will differ slightly to differentiate the new from the old. And the material composition will be a clay-based brick which is industry standard today for greater durability. All existing joints will be replicated in a running

bond pattern and new joints will match existing in dimension, profile, material, color, texture and finish. Thus, staff finds that the proposed scope of work will not remove any distinguishing historic materials and is consistent with the historic building.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL of the proposed project as it appears to meet the provisions of Article 11 of the Planning Code regarding Major Alteration to a Category I (Significant) Property and the *Secretary of the Interior Standards for Rehabilitation*.

ATTACHMENTS

Draft Motion
Parcel Map
Sanborn Map
Aerial Photo
Zoning Map
Site Photos
Minor Permit to Alter Case No. 2014.0049H, issued 5/13/2014
Major Permit to Alter Application
Project Sponsor Packet & Drawings

KW: G:\Kelly\02_Projects\Major PTA\685 Market\01_685 Market_Case Report.doc



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. XXXX Permit to Alter MAJOR ALTERATION

HEARING DATE: OCTOBER 15, 2014

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ADOPTING FINDINGS FOR A PERMIT TO ALTER FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 11, TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE CATEGORY I (SIGNIFICANT) PROPERTY LOCATED ON LOT 051 IN ASSESSOR'S BLOCK 3707. THE SUBJECT PROPERTY IS WITHIN A C-3-O (COMMERCIAL-OFFICE) ZONING DISTRICT AND A 120-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on September 3, 2014, Elisa Skaggs of Page & Turnbull ("Applicant") filed an application with the San Francisco Planning Department ("Department") for a Permit to Alter for an exterior restoration. The subject building is located on Lot 051 in Assessor's block 3707, a Category I (Significant) building historically known as the Monadnock Building and locally designated under Article 11, Appendix A of the Planning Code. Specifically, the proposal includes:

- In-kind brick unit replacement to match existing in size, shape, color, and finish.

- Repointing of new brick wall with a mortar that is physically compatible with new and existing bricks, and match existing mortar in dimension, profile, color, texture, and finish.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on October 15, 2014, the Commission conducted a duly noticed public hearing on Permit to Alter application No. 2014.1349H ("Project").

WHEREAS, in reviewing the application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, and has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby **APPROVES** the Permit to Alter, in conformance with the architectural plans dated March 17, 2014 and labeled Exhibit A on file in the docket for Case No. 2014.1349H based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 11:

The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 11 of the Planning Code:

- That the new brick replacement units will match the existing brick in size, shape, color and finish, and new mortar joints match existing in pattern, dimension, size, profile, material, color, texture, and finish;
- That the proposal respects the character-defining features of the subject building;
- That the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved;
- That the architectural character of the subject building will be maintained and that replacement elements will not affect the building's overall appearance;

For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 11, meets the standards of Article 1111.6 of the Planning Code and complies with the *Secretary of the Interior's Standards for Rehabilitation*.

3. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project is located on Market Street and will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 11 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 11 of the Planning Code regarding Major Alterations to Category I (Significant) buildings.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Permit to Alter** for the property located at Lot 051 in Assessor's Block 3707 for proposed work in conformance with the architectural submittal dated March 17, 2014 and labeled Exhibit A on file in the docket for Case No. 2014.1349H.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Permit to Alter shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on October 15, 2014.

Jonas P. Ionin
Acting Commission Secretary

AYES:

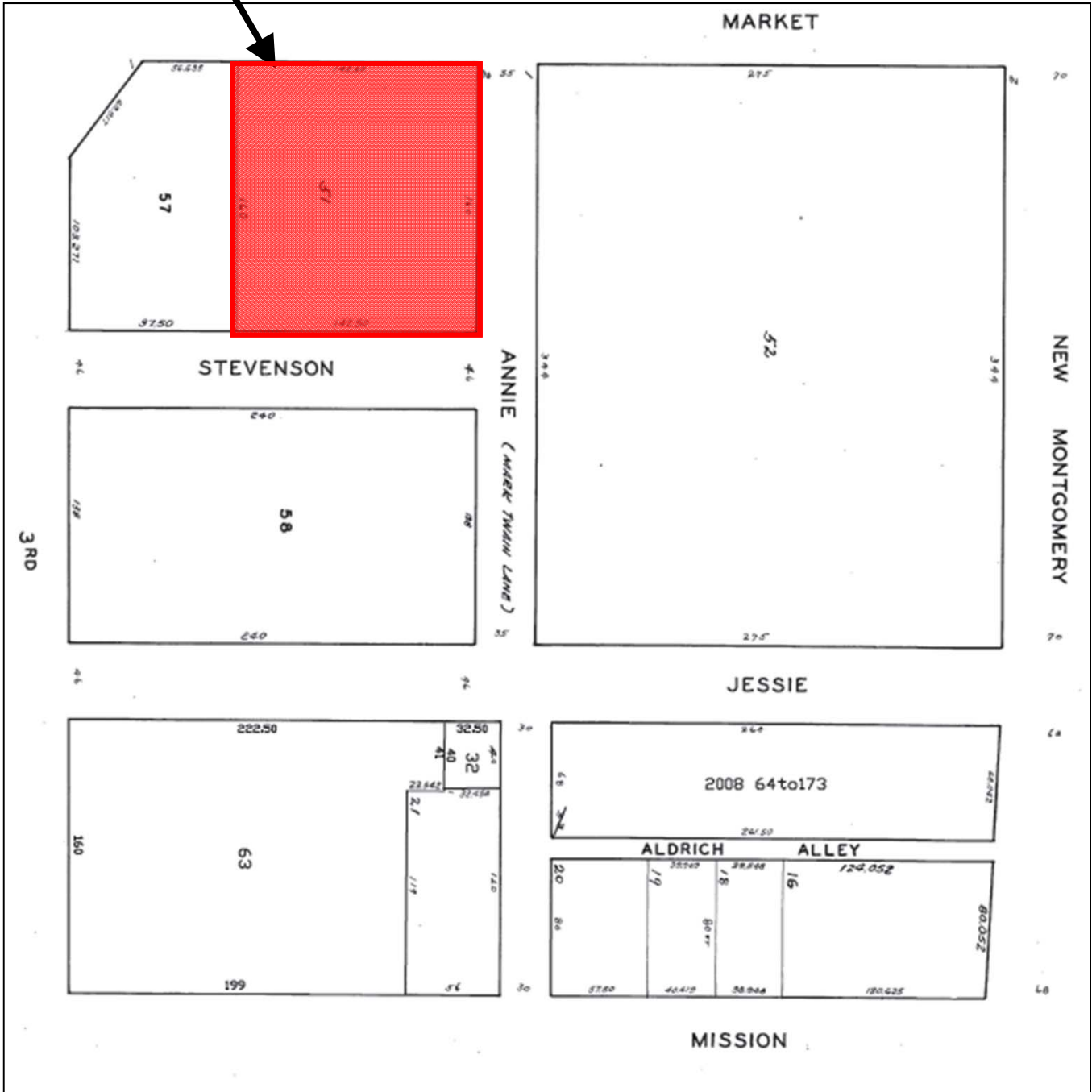
NAYS:

ABSENT:

ADOPTED: October 15, 2014

Parcel Map

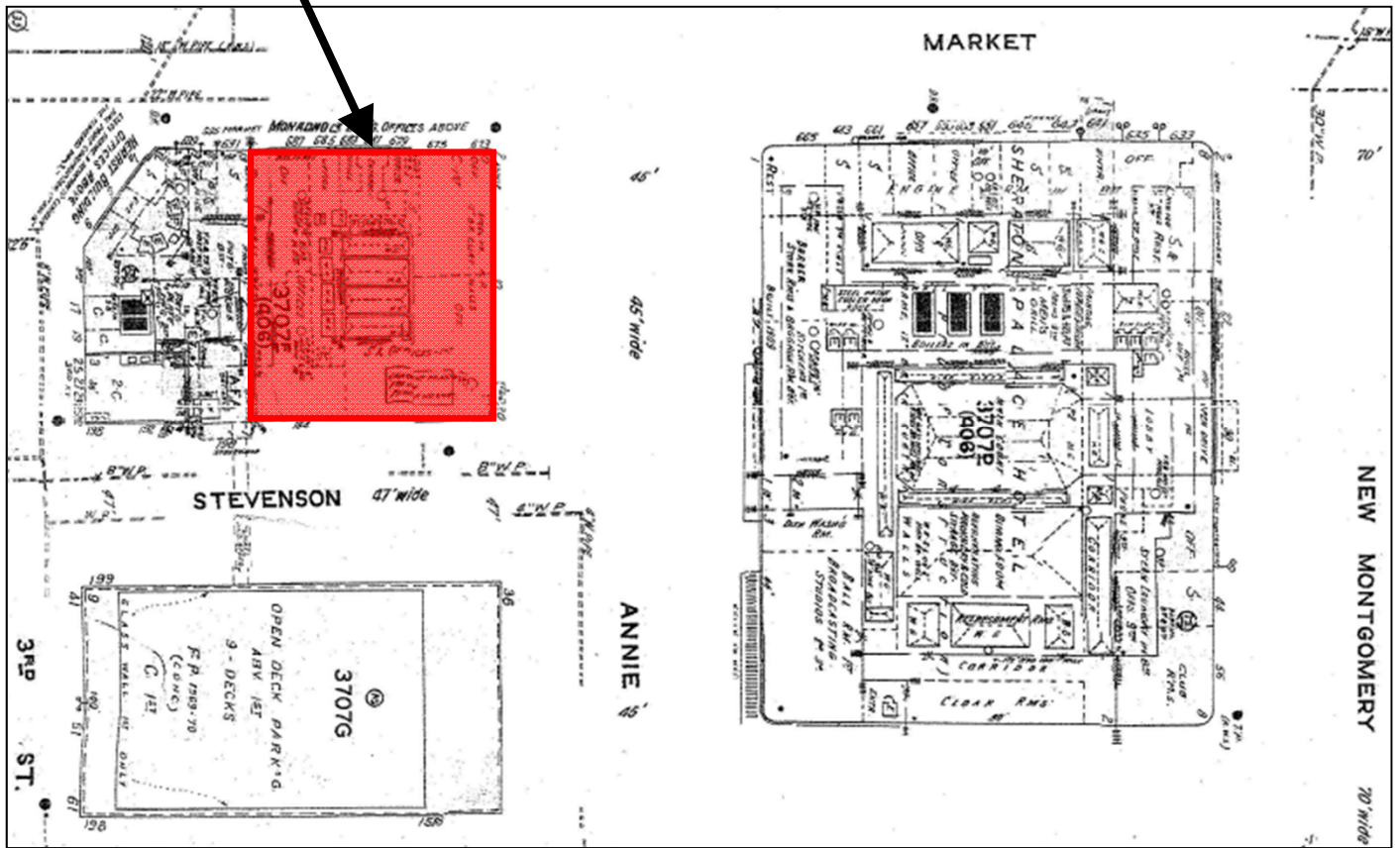
SUBJECT PROPERTY



Major Permit to Alter Hearing
 Case Number 2014.1349H
 685 Market Street

Sanborn Map*

SUBJECT PROPERTY



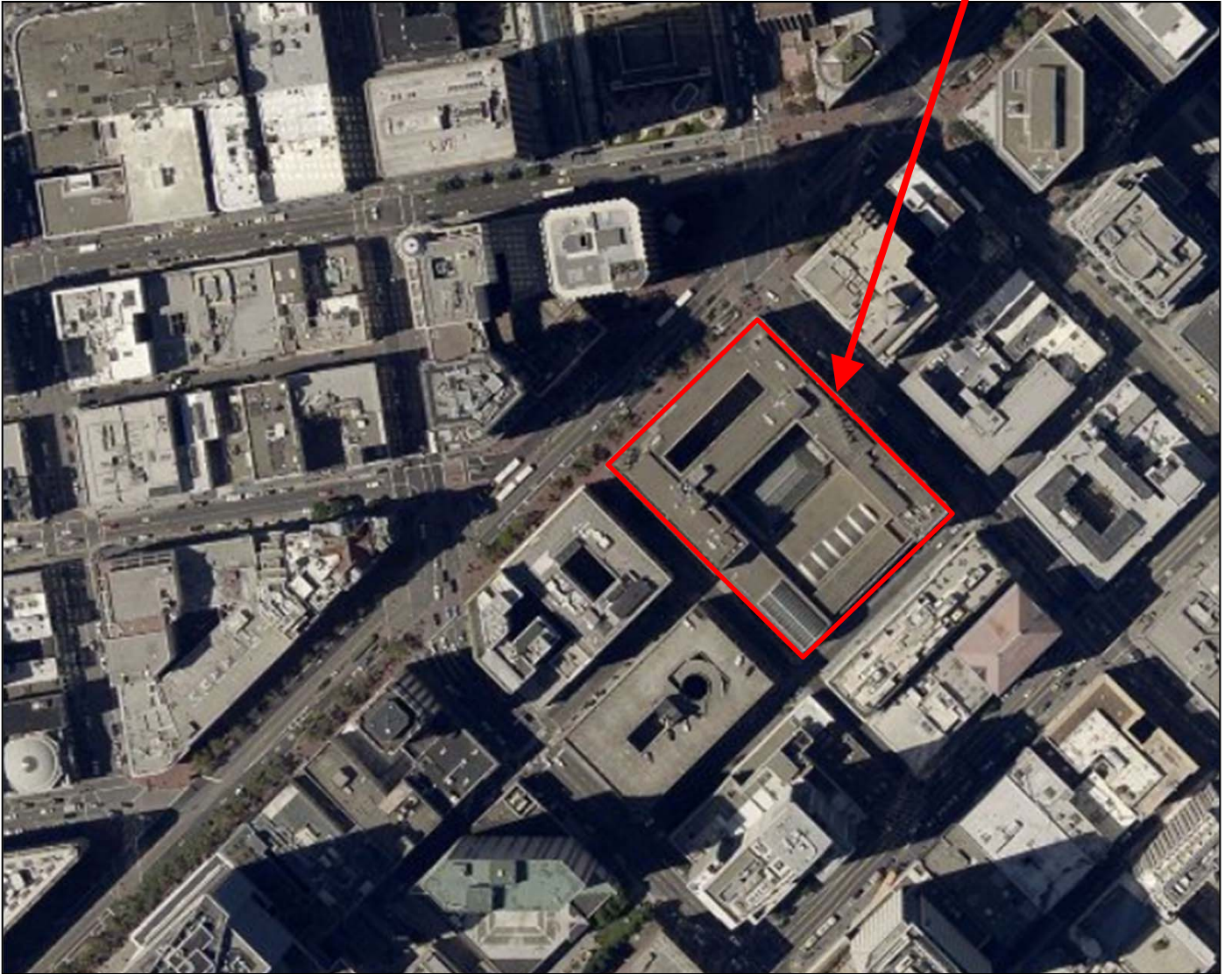
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Major Permit to Alter Hearing
Case Number 2014.1349H
685 Market Street

Aerial Photo

SUBJECT PROPERTY



Aerial Photo

SUBJECT PROPERTY



Major Permit to Alter Hearing
Case Number 2014.1349H
685 Market Street



Zoning Map



Major Permit to Alter Hearing
Case Number 2014.1349H
685 Market Street

Site Photo



Major Permit to Alter Hearing
Case Number 2014.1349H
685 Market Street

Site Photo



Major Permit to Alter Hearing
Case Number 2014.1349H
685 Market Street

Site Photo



Annex Wall

Major Permit to Alter Hearing
Case Number 2014.1349H
685 Market Street



SAN FRANCISCO PLANNING DEPARTMENT

Permit to Alter Minor Alteration

Date: May 13, 2014
Case No.: 2014.0049H
Building Permit: 2014.0410.2980
Project Address: 685 MARKET STREET
Conservation District: New Montgomery-Mission-Second Street
Category: Category I – Significant
Zoning: C-3-O (Downtown Office) District
120-X Height and Bulk District
Block/Lot: 3707/051
Project Sponsor: Elisa Skaggs
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This is to notify you that pursuant to the process and procedures adopted by the Historic Preservation Commission (“HPC”) in Motion No. 0212 and authorized by Section 1111.1 of the Planning Code, the proposal at **685 MARKET STREET** is determined to be minor in scope and the Minor Permit to Alter has been delegated to the Department. The Department grants **APPROVAL** in conformance with the submittals dated March 17, 2014 and labeled Exhibit A on file in the docket for Case No. **2014.0049H** and associated with Building Permit No. **2014.0410.2980**.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is categorically exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 (State CEQA Guidelines 15301 – Minor alteration of existing facilities with negligible or no expansion of use) Categorical Exemption because the project is an alteration of an existing structure and meets the *Secretary of the Interior’s Standards for the Treatment of Historic Properties*.

PROJECT DESCRIPTION

The proposed scope of work is the regular maintenance and repair of the historic building and qualifies for a Minor Permit to Alter since all proposed alterations to the exterior are consistent with the architectural character of the building and the *Secretary of the Interior’s Standards for the Treatment of Historic Properties*. Any removal of existing historic fabric for treatment of the existing building system will be reinstalled in their original locations. Additionally, the proposed project will retain distinguishing historic qualities, features, character of the building, and integrity of distinctive stylistic features. Distinctive features will be repaired rather than replaced and where existing materials are beyond repair,

replacements will match the historic in composition, design, color, profile, texture and other visual qualities. Any new interventions will be located in discrete locations and minimally visible. Specifically, the project includes:

- Repair of existing brick including repointing, spall and crack repair, surface consolidation and unit replacement in limited areas, and reinforcement at the building envelope using stainless steel helical anchors and through-wall anchors; and
- Repair of existing terra cotta units including bisque and glaze spall repairs, crack repair, and reinforcement at building envelope using stainless steel helical anchors and through-wall anchors; and
- Repointing of existing terra cotta at vertical wall surfaces and installation of sealant at existing sky-facing joints at sills and parapet; and
- Removal and reinstallation of existing terra cotta units at parapet cap for installation of new painted flashing; and
- Repair of existing glass fiber reinforced concrete (GFRC) units at base of building and previously replaced cornice at 9th floor with epoxy injection; and
- Repair of existing concrete surfaces including spall and crack repair at light well; and
- Rehabilitation of existing double-hung wood windows including replacement of wood glazing stops and epoxy repairs at existing wood sills; and
- Repair and reinforcement of existing steel members including window lintels and spandrel beams; and
- Installation of new reinforcement beam at 8th floor; and
- Removal of miscellaneous abandoned steel anchors and patch repair of holes; and
- Replacement of existing expansion joints between subject building and adjacent building, and between existing brick and concrete finishes on the Annex elevation.

FINDINGS

The project complies with the following requirements:

1. Compliance with requirements outlined in Article 11, Section 1111.6 of the Planning Code, including the Secretary of the Interior’s Standards for Rehabilitation (Secretary’s Standards), and related HPC policies:

- a. The distinguishing historic qualities and character of the building may not be damaged or destroyed.

In general, existing bricks will be patch repaired and consolidated at surfaces where required. Existing brick units will also be removed, salvaged and reinstalled for investigation and treatment of existing steel window lintels and steel spandrel beams. A limited number of existing brick units that are beyond repair will be replaced with new brick units that match existing in composition, color, texture, and finish. Existing terra cotta units at parapet cap will be removed, salvaged and reinstalled in their original locations for installation of new flashing. New flashing will be painted a color to match existing adjacent

surfaces, located in a discrete location, and minimally visible from the public right-of-way. Existing terra cotta units will also be patched repaired where decorative elements are missing and joints repointed to match existing adjacent joints in material, color, and texture at vertical surfaces and caulked to match existing terra cotta surfaces where sky-facing. Existing GFRC at base of building and at previously replaced cornice will be epoxy repaired and finished with a coating to match existing finish. At the light well, existing concrete walls will be patch repaired at existing spalls and cracks with patching mortar that matches existing in composition, color, texture, and finish. A select number of existing wood windows will receive new wood glazing stops that match existing in material, design, profile, and finish. Thus, the distinguishing historic qualities and character of the building will not be damaged or destroyed.

- b. The integrity of distinctive stylistic features or examples of skilled craftsmanship that characterize a building shall be preserved.

The proposed project is the restoration and repair of existing historic fabric and will not impact the integrity of any adjacent distinctive features or examples of skilled craftsmanship. Restoration includes patch repair of existing spalls and cracks and existing bricks using a mortar that is softer than and materially compatible with existing brick, as well as surface consolidation using a permeable coating that will allow any trapped moisture to evaporate. The proposed treatment and reinforcement of existing steel lintels, spandrel beams, and brick walls will use materials and systems that are compatible with the existing building materials and will preserve the character of the building and surrounding conservation district. Only stainless steel reinforcement materials will be used for durability and gaskets used to separate dissimilar metals will be used to prevent galvanic corrosion. Existing terra cotta units will be removed and reinstalled in their original locations for installation of new flashing at parapets in order to address infiltration issues and joints will be repointed at vertical surfaces with mortar that matches existing adjacent joints in material, color, and texture and caulked with sealant to match existing terra cotta surfaces at parapet caps where water infiltration is prevalent. New flashing will be located in a discrete location and minimally visible from the public right-of-way. Missing decorative terra cotta features will also be patched and finished using materials that are physically compatible to match existing in design, profile and finish. Existing GFRC at base of building and at previously replaced cornice will be epoxy repaired and finished with a coating that is compatible with existing GFRC and adjacent surfaces. The project also proposes to replace a limited number of existing wood glazing stops at existing windows that match existing in material, design, profile, and finish. Concrete wall surfaces at the light well will be repaired at existing spalls and cracks to address water infiltration issues using materials that match existing in composition, color, texture, and finish. Two existing expansion joints between the subject building and adjacent building will be replaced with a new joint that is compatible in material and color with existing buildings on both Market Street and Stevenson Street elevations. A new expansion joint will be installed on the Annex elevation between existing brick and concrete finished surfaces to allow for expansion and contraction of materials and prevent cracks from forming which can lead to future water infiltration. As such, in compliance with Article 11, and with the Secretary of the Interior Standards for Rehabilitation, Standards 2 and 5, the proposed work will retain distinguishing historic qualities and character of the building and will avoid alteration of spaces, features, and spatial relationships that characterize the building.

- c. Distinctive architectural features which are deteriorated shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material shall match the historic material in composition, design, color, profile, texture and other visual qualities. Repair

or replacement of missing architectural features shall be based on historic, physical or pictorial evidence, if available, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

Existing miscellaneous steel attachments will be removed to prevent further corrosion within masonry surfaces and patched appropriately with mortar that is physically compatible with the substrate and coated with a finish to match existing adjacent surfaces in color, texture, and finish. In general, existing bricks will be repaired where cracks and spalls occur using a mortar that is materially compatible with existing bricks with finish that matches existing bricks. At select locations, existing bricks will receive a surface consolidation treatment using a compatible and breathable coating. Where existing bricks are damaged during removal or deteriorated are beyond repair for reinstallation, new brick units that match existing in composition, color, texture, and finish will be used. Existing concrete walls will be repaired using materials that match existing material in composition, color, texture and finish. Existing wood windows will receive new glazing stops that match existing in material, design, profile and finish, and wood sills at select locations will receive epoxy repairs where required. Existing adjacent historic materials damaged during construction including terra cotta units and GFRC will be repaired. All existing historic architectural features will be repaired rather than replaced. Only in areas where materials are beyond repair will new material be used to match existing in composition, design, color, profile, texture, finish, and other visual qualities.

- d. Contemporary design of alterations is permitted, provided that such alterations do not destroy significant exterior architectural materials, including historic storefronts, and that such design is compatible with the size, scale, color, profile, texture, material, and character of the building and its surroundings.

The proposed project is limited to the restoration of existing historic character defining features and does not propose to alter the appearance of the historic building. Interventions such as installation of new flashing at the parapet, the use of sealant to caulk sky-facing terra cotta joints, and the reinforcement of existing steel lintels, steel spandrel beams, parapets and walls will be obscured from view and not destroy significant exterior architectural materials. Existing expansion joints between the existing building and adjacent building will be replaced with a new joint that is compatible in material and color with existing buildings on both Market Street and Stevenson Street elevations. Additionally, a new expansion joint will be installed on the Annex elevation to correct the transition between existing brick and concrete finished surfaces and prevent water infiltration at this location. New interventions such as installation of sealant will be located in a discrete location and minimally visible from the public right-of-way. Based on this assessment, the proposed project is minimally visible and compatible with the material and character of the building and surrounding district.

- e. All exterior alterations, including signage and awnings, shall be compatible with the character-defining features of the building and/or the historic district.

The proposal does not propose to alter the exterior and is found to be compatible with Appendix E of Article 11 of the Planning Code in terms of Massing, Composition, Scale, Materials, Detailing, and Ornamentation.

2. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject building and/or Conservation District for the future enjoyment and education of San Francisco residents and visitors.

3. **Prop M Findings.** The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- a. The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project is not neighborhood-serving; however, its continued use maintains and strengthens the surrounding retail uses, many of them are locally-owned, by bringing visitors to the area.

- b. The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the subject building and/or Conservation District in conformance with the requirements set forth in HPC Motion No. 0138 and the Secretary of the Interior's Standards.

- c. The City's supply of affordable housing will be preserved and enhanced:

The proposed project will have no adverse effect on the City's supply of affordable housing.

- d. The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- e. A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not affect the City's diverse economic base and will not displace any business sectors due to commercial office development.

- f. The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is unaffected by the proposed amendments. Any construction or alteration associated would be executed in compliance with all applicable construction and safety measures.

- g. That landmark and historic buildings will be preserved:

The proposed project respects the character-defining features of the subject building and/or Conservation District and is in conformance with the requirements set forth in HPC Motion No. 0138 and the Secretary of the Interior's Standards.

- h. Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed Permit to Alter will not impact the City's parks and open space.

For these reasons, the above-cited work is consistent with the intent and requirements outlined in HPC Motion No. 0138 and will not be detrimental to the subject building and/or the Conservation District.

REQUEST FOR HEARING: If you have substantial reason to believe that there was an error in the issuance of this Permit to Alter, or abuse of discretion on the part of the Planning Department, you may file for a Request for Hearing with the Historic Preservation Commission within 20 days of the date of this letter or 10 days for a Minor Permit to Alter for a sign or awning. Should you have any questions about the contents of this letter, please contact the Planning Department at 1650 Mission Street, 4th Floor or call 415-575-9121.

cc: Historic Preservation Commission, 1650 Mission Street, San Francisco, CA 94103
San Francisco Architectural Heritage, 2007 Franklin Street, San Francisco, CA 94109
Sue Hestor, Attorney, 870 Market Street, San Francisco, CA 94102
Nancy Shanahan, Planning & Zoning Committee, Telegraph Hill Dwellers, 224 Filbert Street, San Francisco, CA 94133
Robert Cushman, BOP 685 Market LLC, Owner, c/o Brookfield Property Management (CA) Figueroa at Wilshire, 601 South Figueroa Street, Suite 2200, Los Angeles, CA 90017
Elisa Skaggs, Project Sponsor, Page & Turnbull, 1000 Sansome Street, Suite 200, San Francisco, CA 94111

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APPLICATION FOR Major Permit to Alter

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: Brookfield Office Properties (Robert Cushman)	
PROPERTY OWNER'S ADDRESS: Figueroa at Wilshire 601 South Figueroa Street, Suite 2200, Los Angeles, CA 90017	TELEPHONE: (213) 330-8080
	EMAIL: robert.cushman@brookfield.com

APPLICANT'S NAME: Brookfield Office Properties (Robert Cushman) Same as Above <input checked="" type="checkbox"/>	
APPLICANT'S ADDRESS:	TELEPHONE: ()
	EMAIL:

CONTACT FOR PROJECT INFORMATION: Elisa Skaggs Same as Above <input type="checkbox"/>	
CONTACT PERSON'S ADDRESS: Page & Turnbull 1000 Sansome, Ste. 200 San Francisco, CA 94111	TELEPHONE: (415) 593-3224
	EMAIL: skaggs@page-turnbull.com

2. Location and Classification

STREET ADDRESS OF PROJECT: 685 Market Street (The Monadnock Building)	ZIP CODE: 954105
CROSS STREETS: Market Street and Kearny Street	

ASSESSORS BLOCK/LOT: 3707 /	LOT DIMENSIONS: 142.50' x 160'	LOT AREA (SQ FT): 22,800	ZONING DISTRICT: C-3-O (Downtown Office)	HEIGHT/BULK DISTRICT: 120-X
ARTICLE 11 CLASSIFICATION: Category 1			CONSERVATION DISTRICT: New Montgomery Mission 2nd Street Conserv. District	

3. Project Description

Scope of work consists of exterior façade repairs under Permit #201404102980. The scope has been revised to address extensive deterioration of the brick at the Annex Wall. The revised scope includes the replacement of the exterior wythe of brick with new brick to match the existing in size, color, texture, and appearance.

Building Permit Application No. 201404102980

Date Filed: 4/10/2014

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

GROSS SQUARE FOOTAGE (GSF)	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
Residential	0	0	0	0
Retail	12,755 sf	12,755 sf	0	12,755
Office	186,648 sf	186,648 sf	0	186,648
Industrial	0	0	0	0
PDR Production, Distribution, & Repair	0	0	0	0
Parking	0	0	0	0
Other (Specify Use)	5,222 sf storage	5,222 sf storage		5,222 sf storage
Total GSF	204,625 sf	204,625 sf	0	204,625
PROJECT FEATURES	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
Dwelling Units	0	0	0	0
Hotel Rooms	0	0	0	0
Parking Spaces	0	0	0	0
Loading Spaces	0	0	0	0
Number of Buildings	1	1	1	1
Height of Building(s)	131' - 6"	131' - 6"	0	131' - 6"
Number of Stories	10	10	0	10

Please provide a narrative project description, and describe any additional project features that are not included in this table:

The permitted project is largely a repair project. The building was painted with a non-breathable elastomeric paint in the 1980s. The paint has trapped moisture at the exterior surface of the building, resulting in deterioration. The scope of work includes removal of the existing paint system and addressing repairs as required. Repairs include brick repointing, removal of corroded brick ties and re-anchoring of brick, new sealant at window and masonry interface, repairs to sheet metal cornice, replacement of sealant joints between existing GFRC and masonry, and replacement of the joint at the Hearst Building interface. After repairs have been completed, the facades will be primed and painted with a breathable elastomeric paint. The Market St. brick may remain unpainted pending final decisions based on the paint stripping and cleaning processes.

Also part of the permitted project, the southwest portion of the building that rises above the Hearst Building (the Annex wall) exhibits severe corrosion of steel elements - a built-up beam in this area is about 50% deteriorated. The exterior of this wall is clad with brick and areas that were previously repaired have either hardy board or a felt covering coated with asbestos laden tar. The permitted work includes abatement of the coating and removal of the outer and middle wythes of brick to access steel elements for their repair. Shotcrete will replace the inner and middle wythe and the abated salvaged exterior brick was to be reinstalled and painted. The Annex wall is not a character-defining feature. Its visibility from the public right of way is minimal.

UPDATE FOR THIS APPLICATION: Abatement of the asbestos tar coating at the Annex wall has revealed that the existing brick is deteriorated beyond repair and is not salvageable. The proposed scope has been revised to replace the existing brick with new brick that matches the size, color, texture, and appearance of the original brick. The brick will still be painted with a breathable coating per the previously permitted approach. Regardless of painting, the change will not be perceived nor diminish the historic character of the building.

Findings of Compliance with General Preservation Standards

In reviewing applications for Major Permits to Alter the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* as an additional evaluative standard for Major Permit to Alter. The *Standards* are contained in the Preserving the Past section of the Downtown Plan, a component of the San Francisco General Plan. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;
 No change in use is proposed. The building will continue to be used for office space with retail at the ground level. The project complies with Standard 1.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided;
 No removal of distinctive materials or alterations of features, spaces or spatial relationships are proposed. At the Annex wall, located at the southwest corner of the building, the brick will be removed to make repairs to structural steel elements. The original brick is deteriorated beyond repair. The inner and middle wythes of brick will be replaced with concrete. The exterior wythe will be replaced with matching brick. The Annex wall is not distinctive. The change will not diminish the historic integrity of the building and will comply with Standard 2.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken;
 The proposed project consists of repairs. No changes that would create a false sense of historical development are proposed. The proposed project complies with Standard 3.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved;

There are no changes to the Monadnock Building that have acquired historic significance in their own right. The Market St. exterior of floors one and two were altered in the 1980s and clad with pre-cast concrete and the 3rd floor brick at Market St. was replaced. The cornice at the ninth floor was also removed and replaced with GFRC. These alterations have not gained significance in their own right; however, no changes are proposed to these features. The project will comply with Standard 4.

5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved;

The Monadnock Building has several distinctive materials and features that characterize the property. These include the decorative sheet metal cornice, the decorative terra cotta, a regular fenestration pattern, and the brick cladding. The permitted project will make repairs as required to the exterior of the building. Distinctive materials, features and finishes will be retained. The Annex wall brick is not distinctive, so replacement of the brick with new brick to match does not impact distinctive materials, features, finishes, or craftsmanship.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence;

The scope at the Annex wall includes abatement of a coating of asbestos containing tar and removal of the brick to repair structural steel. Abatement of the tar coating has revealed that the existing brick is deteriorated beyond repair and is not salvageable. The scope includes the installation of concrete at the inner and middle wythes, and replacement of the brick at the exterior wythe with new to match existing. The new brick will match the size, color, texture, and appearance of the original brick. The project will comply with Standard 6.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used;

The permitted project includes removal of the existing elastomeric paint and cleaning of the building. Mock-ups of the paint removal process have been conducted to make sure that the method does not damage historic materials. Cleaning will use the gentlest means possible. At the Annex wall, the historic material is deteriorated beyond repair, so no chemical or physical treatments are proposed. The project will be in compliance with Standard 7.

CASE NUMBER:
For Staff Use only

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken;

The proposed project does not include work that would disturb potential archeological resources. The project will comply with Standard 8.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment;

No additions, exterior alterations, or related new construction that will destroy historic materials or features that characterize the property are proposed. The project will be in compliance with Standard 9.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired;

No additions, exterior alterations, or related new construction are proposed. The project will be in compliance with Standard 10.

PLEASE NOTE: For all applications pertaining to buildings located within Conservation Districts, the proposed work must comply with all applicable standards and guidelines set forth in Section 6 and 7 of the Appendix which describes the District, in addition to the applicable standards and requirements set forth in Section 1111.6. In the event of any conflict between the standards of Section 1111.6 and the standards contained within the Appendix which describes the District, the more protective shall prevail.

Major Permit to Alter Findings

In reviewing applications for Major Permits to Alter, the Historic Preservation Commission, Planning Department staff, Board of Permit Appeals and/or Board of Supervisors, and the Planning Commission (where applicable) shall be governed by the following requirements set forth in Planning Code Section 1111.6. Please describe below how the project is consistent with each requirement (Note: Attach continuation sheets, if necessary). Each requirement must have a response. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. The distinguishing original qualities or character of the building may not be damaged or destroyed. Any distinctive architectural feature which affects the overall appearance of the building shall not be removed or altered unless it is the only feasible means to protect the public safety;

The permitted project is rehabilitating and repairing the exterior facades. Historic fabric will be repaired rather than replaced. Where material is deteriorated beyond repair, the feature will be documented and replaced with a new feature to match the existing. Distinctive and character-defining architectural features will be retained. The brick at the Annex wall has been found to be deteriorated beyond repair and is proposed to be replaced with new brick that matches the original in design, size, color, texture, and appearance.

2. The integrity of distinctive stylistic features or examples of skilled craftsmanship that characterize a building shall be preserved.;

Distinctive stylistic features and examples of skilled craftsmanship that characterize the Monadnock building will be retained. Where the features are deteriorated beyond repair, the features will be replaced with new to match existing.

3. Distinctive architectural features which are to be retained pursuant to Paragraph (1) but which are deteriorated shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplication of features, substantiated by historic, physical or pictorial evidence, if available, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures. Replacement of non-visible structural elements need not match or duplicate the material being replaced.;

The permitted project consists of repairs to the exterior of the building. Materials that are deteriorated beyond repair will be replaced with new materials that match the existing in design, size, color, texture, and appearance. Features that require replacement will be carefully documented to ensure acceptable replacements. There are no missing features that are proposed to be replaced. Replacement brick is necessary at the Annex wall where it is deteriorated beyond repair. New brick will match the original in design, size, color, texture, and appearance.

CASE NUMBER:
For Staff Use only

- 4. Contemporary design of alterations is permitted, provided that such alterations do not destroy significant exterior architectural material and that such design is compatible with the size, scale, color, material and character of the building and its surroundings;

The permitted project and proposed update consist of repairs. No alterations of contemporary design are proposed.

- 5. The degree to which distinctive features need be retained may be less when the alteration is to exterior elements not constituting a part of a principal facade or when it is an alteration of the ground-floor frontage in order to adapt the space for ground-floor uses;

Permitted scope of work at Market and Annie streets (principal facades), Stevenson Street and the lightwell (secondary facades), and Annex Wall (secondary facade on the southwest corner of the building) consist of repairs. The existing brick at the Annex Wall is deteriorated beyond repair. Following repair of corroded steel elements, the Annex Wall brick will be replaced with new matching brick. The Annex wall is minimally visible from the public right of way and will be repainted per the permitted scope.

- 6. In the case of Significant Buildings - Category I, any additions to height of the building (including addition of mechanical equipment) shall be limited to one story above the height of the existing roof, shall be compatible with the scale and character of the building, and shall in no event cover more than 75 percent of the roof area;

No additions to the height of the building are included as part of the project's scope of work.

- 7. In the case of Significant Buildings - Category II, a new structure or addition, including one of greater height than the existing building, may be permitted on that portion of the lot not restricted in Appendix B even if such structure or addition will be visible when viewing the principal facades at ground level, provided that the structure or addition does not affect the appearance of the retained portion as a separate structure when so viewing the principal facades and is compatible in form and design with the retained portion. Alteration of the retained portion of the building is permitted as provided in Paragraphs (1) through (6) of this Subsection (b);

Not Applicable (685 Market Street is a Category I building).

Estimated Construction Costs

TYPE OF APPLICATION:	
Major Permit to Alter	
OCCUPANCY CLASSIFICATION:	
B (Office), M (Mercantile)	
BUILDING TYPE:	
IB	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION:	BY PROPOSED USES:
Limited to exterior facades.	No change in use is proposed.
ESTIMATED CONSTRUCTION COST:	
\$4,739,000.00	
ESTIMATE PREPARED BY:	
Giampolini/Courtney - Construction Bid	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature: _____

Date: September 3, 2014

Print name, and indicate whether owner, or authorized agent:

Robert Cushman/Brookfield Office Properties

Owner / Authorized Agent (circle one)

Major Permit to Alter Application Submittal Checklist

The intent of this application is to provide Department Staff and the Historic Preservation Commission with sufficient information to understand and review the proposal. Receipt of the application and the accompanying materials by the Planning Department shall only serve the purpose of establishing a Planning Department file for the proposed project. After the file is established, Preservation staff will review the application to determine whether the application is complete or whether additional information is required. Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	PERMIT TO ALTER
Application, with all blanks completed	<input type="checkbox"/>
Site Plan	<input type="checkbox"/>
Floor Plan	<input type="checkbox"/>
Elevations	<input type="checkbox"/>
Section 303 Requirements	<input checked="" type="checkbox"/>
Prop. M Findings	<input checked="" type="checkbox"/>
Historic photographs (if possible), and current photographs	<input type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Original Application signed by owner or agent	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (ie. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (ie. windows, doors)	<input type="checkbox"/>

NOTES:

- Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- Typically would not apply. Nevertheless, in a specific case, staff may require the item.
- Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

PLEASE NOTE: *The Historic Preservation Commission will require fifteen (15) copies each of plans and color photographs in reduced sets (8 1/2" x 14" or 11" x 17") a week before the respective scheduled hearing date. If the application is for a demolition, additional materials not listed above may be required. All plans, drawings, photographs, mailing lists, maps and other materials required for the application must be included with the completed application form and cannot be "borrowed" from any related application.*

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____



**SAN FRANCISCO
PLANNING
DEPARTMENT**

**FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department**

Central Reception

1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**

FAX: **415 558-6409**

WEB: **<http://www.sfplanning.org>**

Planning Information Center (PIC)

1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: **415.558.6377**

*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

685 MARKET STREET
MONADNOCK BUILDING
San Francisco, CA

MAJOR PERMIT TO ALTER

Prepared for the
Historic Preservation Commission



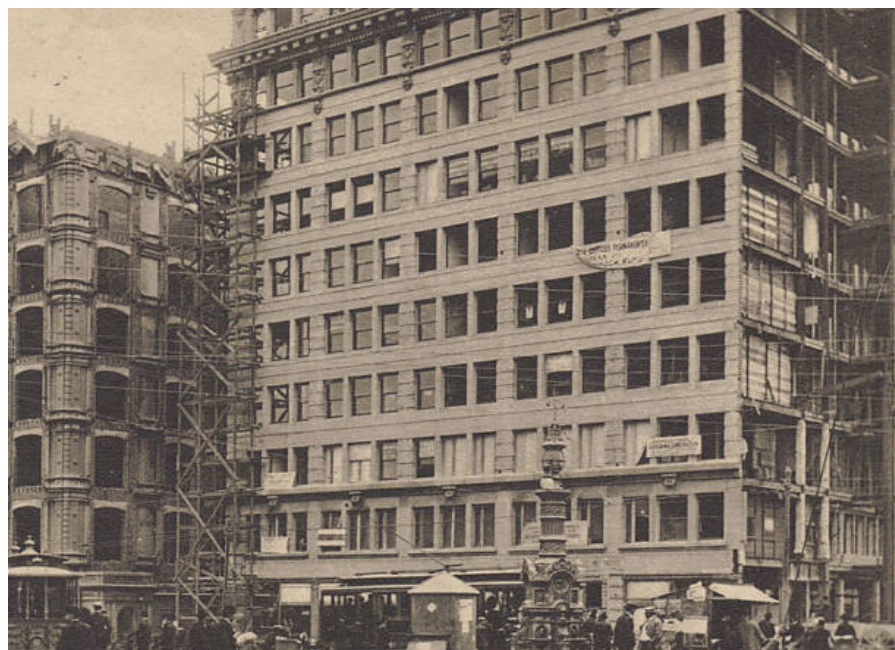
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BUILDING OVERVIEW AND PROJECT SUMMARY

BUILDING HISTORY

Designed by Frederick Meyer, the Monadnock Building was in construction at the time the 1906 Earthquake and Fire struck San Francisco. Construction began pending purchase of the adjacent building on the west side. The catastrophic event felled the adjacent building, facilitating completion of the purchase transaction. Construction was completed in 1906, including the westernmost bays of the building built on the adjacent site. The building is of steel-framed construction and is notable for its beaux-arts design. The building is ten stories in height and is constructed around a large central courtyard. Its primary façade fronts Market Street and has a tripartite composition that includes a base, shaft, and capital. The shaft is comprised of brick with horizontal banding. A 1980s alteration at Market Street included the replacement of cladding on the first two floors with pre-cast concrete and the lower cornice with GFRC. A large two-story arch at the central entrance was added at that time. The 1980s work also included replacement of the storefronts and the addition of the metal canopies. Though the building has been altered, it still conveys its significance as a Chicago School commercial building as well as a survivor of the 1906 Earthquake and Fire.



HISTORIC STATUS

The Monadnock Building at 685 Market is listed as a Category I building under Article 11 of the San Francisco Planning Code. The building is also part of the New Montgomery-Mission-2nd Street Conservation District. It has been determined through previous surveys that it “appears eligible for the National Register as an individual property.”

Character defining features include:

- Form, shape, height, and massing;
- Tripartite organization with a clear base, shaft and capital;
- Regular fenestration pattern;
- Double hung wood windows;
- Regular pattern of storefront openings;
- Exterior brick cladding with horizontal relief pattern;
- Ornamental decorative terra cotta;
- Double cornice including the entablature with modillions, dentil molding, and brackets (replaced with GFRC in the 1980s) and the top sheet metal cornice;
- Piers between windows.



PROJECT SUMMARY

The project is largely a repair project and under construction under permit #201404102980. The building was painted with a non-breathable elastomeric paint in the 1980s. The paint trapped moisture at the exterior surface of the building, resulting in deterioration. The scope of work includes removal of the existing paint system and repairs as required. Repairs include brick repointing, removal of corroded brick ties and re-anchoring of brick, new sealant at window and masonry interface, repairs to sheet metal cornice, replacement of sealant joints between existing pre-cast concrete and masonry and replacement of the joint at the Hearst Building interface.

The Annex wall (located on the southwest corner of the building, above the adjacent Hearst Building) has corroded structural steel that requires the removal of the brick in order to repair the steel. The inner and middle wythes of brick will be replaced with concrete and the exterior wythe of brick will be replaced with new brick to match the existing. This portion of the building is not a character-defining feature of the building, so the historic character of the building will not be impacted.



HISTORIC IMAGES

EXTERIOR



Market Street Facade, 1940 (kellistanley.com)



Market Street: Looking southwest, 1906 (Bancroft)



Market Street Facade, 1906 (Bancroft)



Stevenson Street Facade, 1906 (Bancroft)



Market Street Facade, 1906 (Bancroft)

EXISTING CONDITIONS IMAGES

EXTERIOR

The Monadnock Building is located within the New Montgomery - Mission - Second Street Conservation District. This District is made up of downtown buildings constructed after the 1906 Earthquake and Fire. The buildings within the district are typically masonry commercial loft buildings and usually range between two and eight stories in height. The height, style, massing, and architectural detailing of the Monadnock Building is typical of buildings within the District.

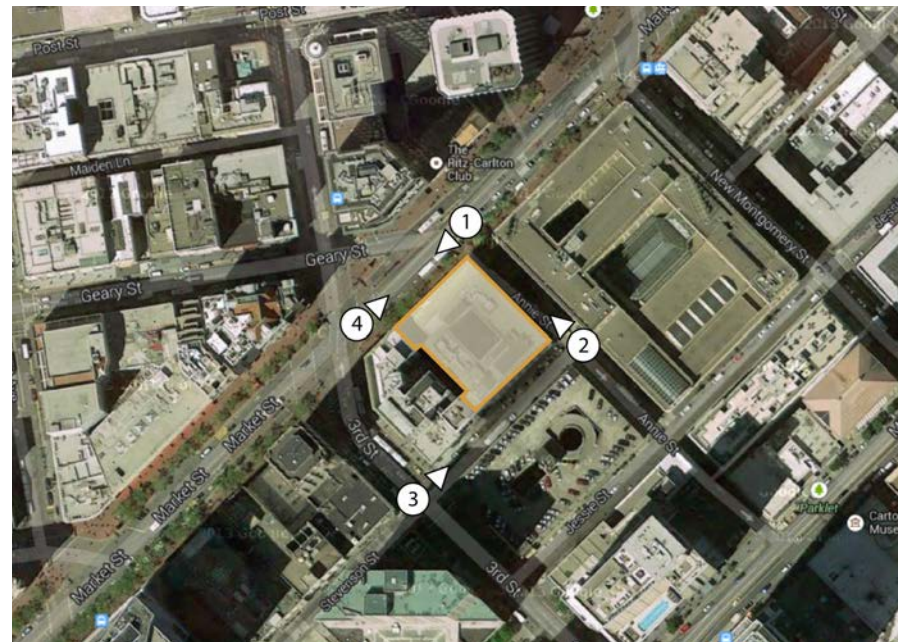
The building was altered in the 1980s when it was painted and the first two floors were refaced with pre-cast concrete. Despite the alterations the building still conveys the character of the district and the building largely retains its historic integrity. The building is in overall fair condition and requires repairs to address water intrusion. There are localized areas that require more extensive repairs.



1 View along Market Street, looking southwest



2 View along Annie Street, looking north



Key Map



3 View along Stevenson Street, looking east



4 View along Market Street, looking east

EXISTING CONDITIONS IMAGES



Storefronts along Market Street



Corner of Market & Annie Streets



Annie Street Facade



Stevenson Street Facade (Annex wall shown in dashed rectangle)

PROJECT DESCRIPTION



Scope of Work, Overview

The scope of work for the Monadnock Building was determined through a series of field observations, testing, and destructive investigations conducted on site between September 2012 and April 2013. Hands-on survey of the building exterior was conducted by swingstage and included to 2-to-3 drops per façade (approximately 50% of each façade was surveyed). The project is now under construction under permit #201404102980.

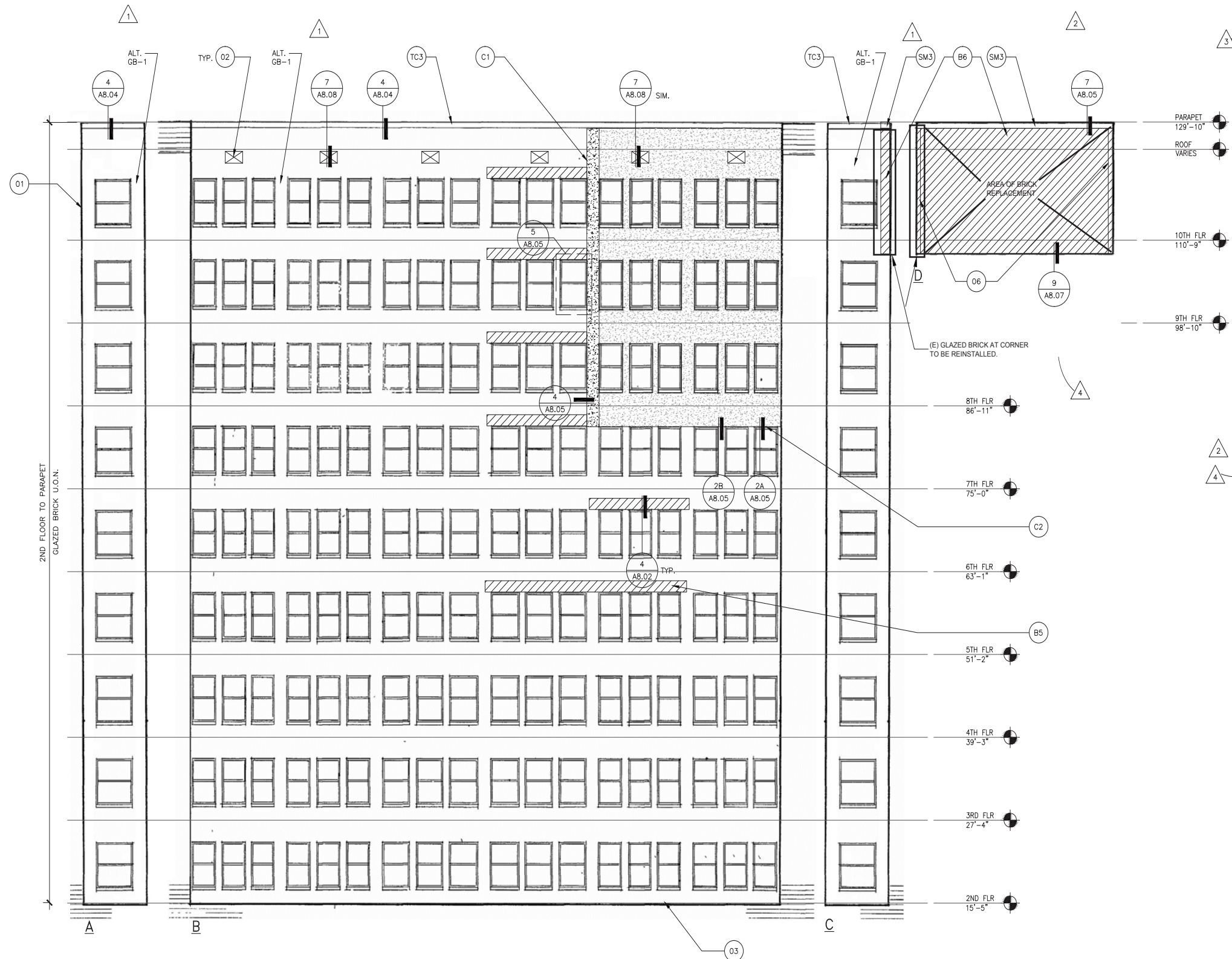
The Monadnock Building has several distinctive materials and features that characterize the property. These include the decorative sheet metal cornice, the decorative terra cotta, a regular fenestration pattern, and the brick cladding with horizontal banding. The proposed work consists of repair work that will lengthen the life of the building. Distinctive materials, features and finishes will be retained to the fullest extent possible. Materials deteriorated beyond repair will be replaced with new materials that match the existing in texture, color, and composition.

Alterations in the 1980s included the painting of the building with a non-breathable elastomeric paint. The paint has trapped moisture between the face of the building and the paint, resulting in some deterioration. The proposed work includes removal of the paint, conducting appropriate repairs to the brick, terra cotta and sheet metal, priming the building and repainting with a breathable elastomeric paint.

The Annex wall on the southwest corner of the building exhibits the most severe deterioration. Previous repairs were temporary in nature and poorly executed. The permit plans call for the removal of the brick in order to make the repairs to the corroded structural steel. The inner two wythes of brick are to be replaced with concrete and the exterior wythe of brick was to be reinstalled. Due to the deterioration of the brick, the brick will be required to be replaced with new brick to match existing. This portion of the building is not a character-defining feature of the building, so the historic character of the building will not be impacted.

PROJECT DESCRIPTION

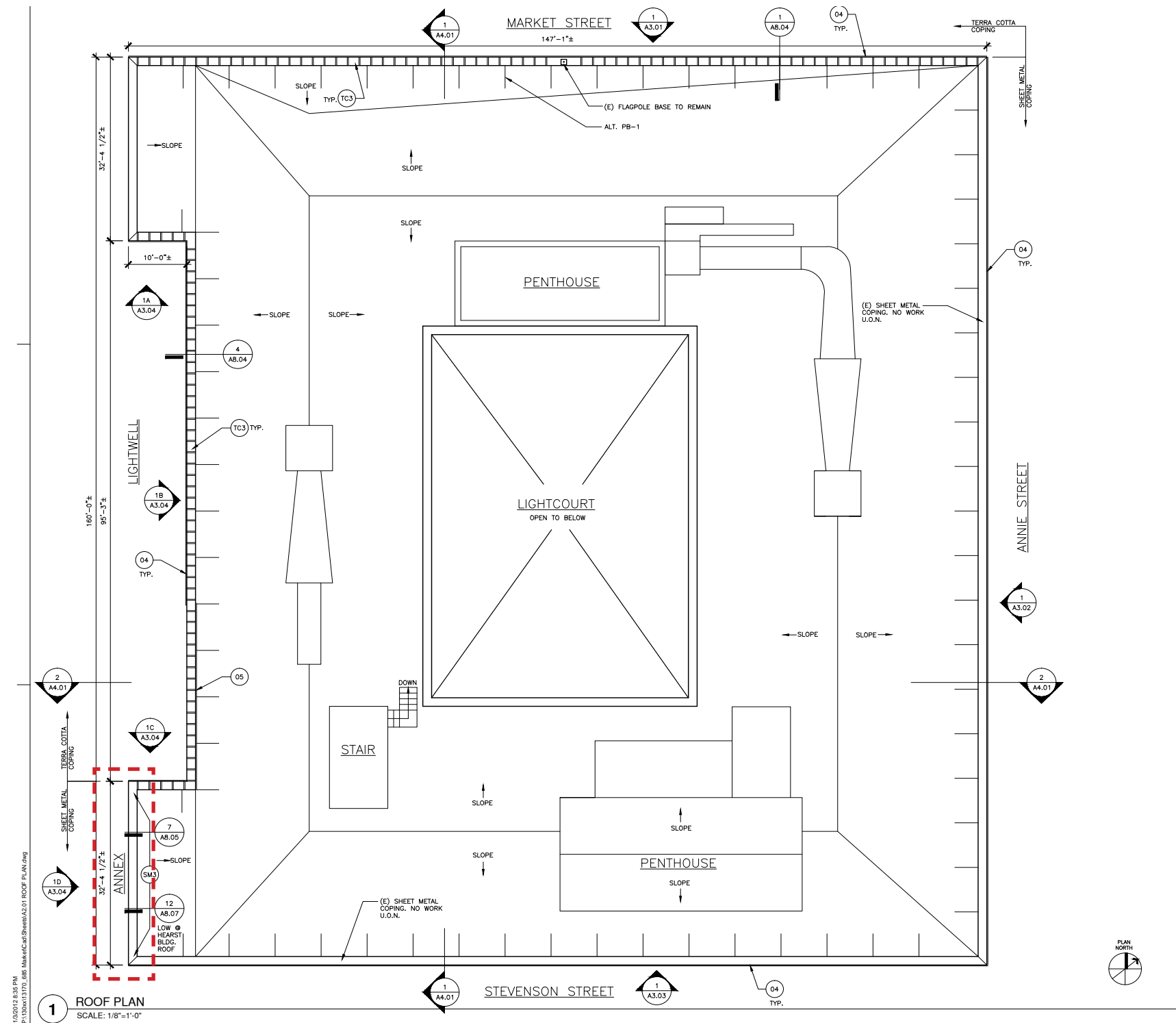
ANNEX WALL (WEST FACADE)



- The permitted scope at the Annex wall includes:
- Removal of non-breathable paint;
 - Removal of brick and previous failed repairs;
 - Repair of corroded structural steel;
 - Install shotcrete at two inner wythes of brick and reinstall salvaged brick at exterior wythe of brick;
 - Prime and paint.

The brick at the Annex wall has been found to be deteriorated beyond repair. Abatement of the asbestos tar coating at the Annex Wall has revealed that the existing brick is deteriorating beyond repair and is not salvageable. Attempts to salvage the brick have been unsuccessful, as the mortar is hard and well-adhered to the brick. Additionally, mortar removal from the brick results in breakage of the brick, and the abated face of the brick is friable and crumbling. The proposed scope has been changed to replace the existing brick with new brick that matches the size, color, texture, and appearance of the original brick since the original cannot be salvaged. The brick will still be painted with a breathable coating per the previously permitted approach. Regardless of painting, the change will not be perceived nor diminish the historic character of the building. The proposed scope at the Annex wall has been revised to include the placement of the existing brick with new brick to match.

ROOF PLAN



Annex wall shown in dashed rectangle

ANNEX WALL

ANNEX WALL (WEST FACADE)



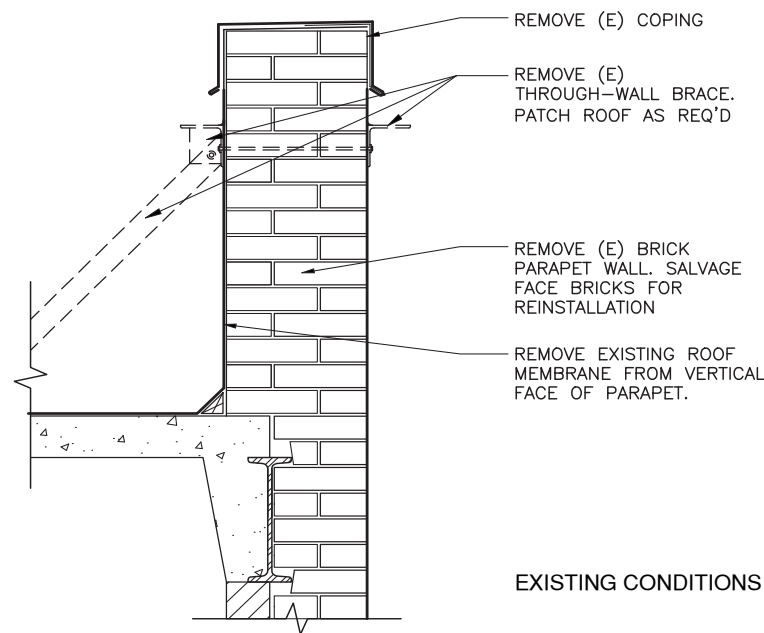
Previous repair at Annex Wall



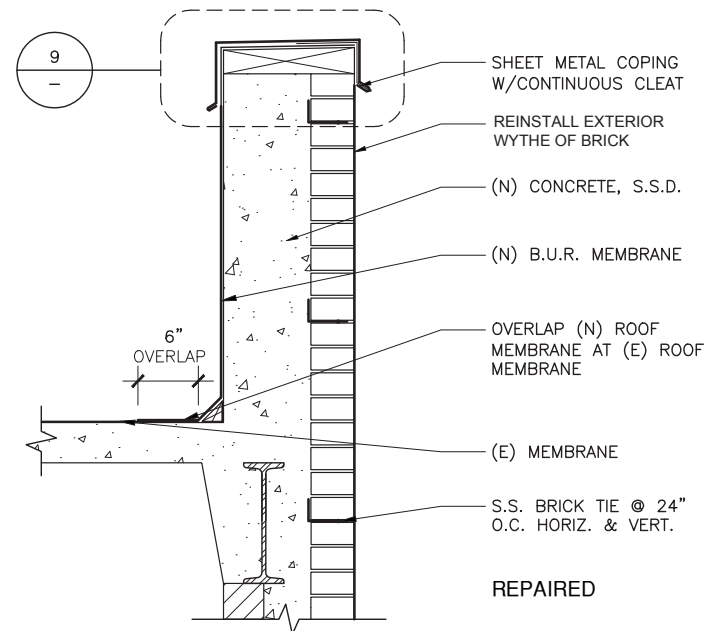
Photo of deteriorated brick at Annex wall



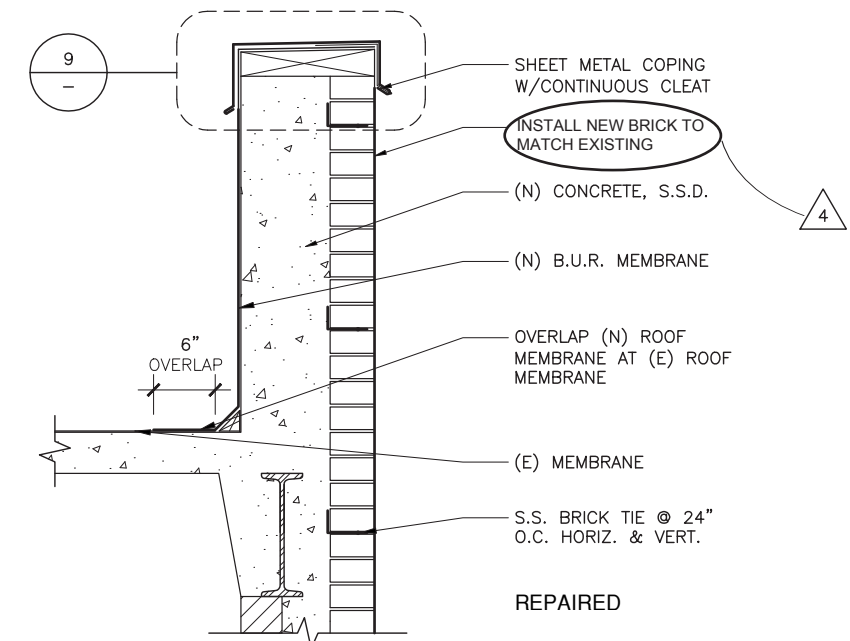
Photo of deteriorated brick at Annex wall



Original construction



Previous repair approach



Proposed repair approach

REPLACEMENT BRICK SELECTION



Annex wall after paint removal



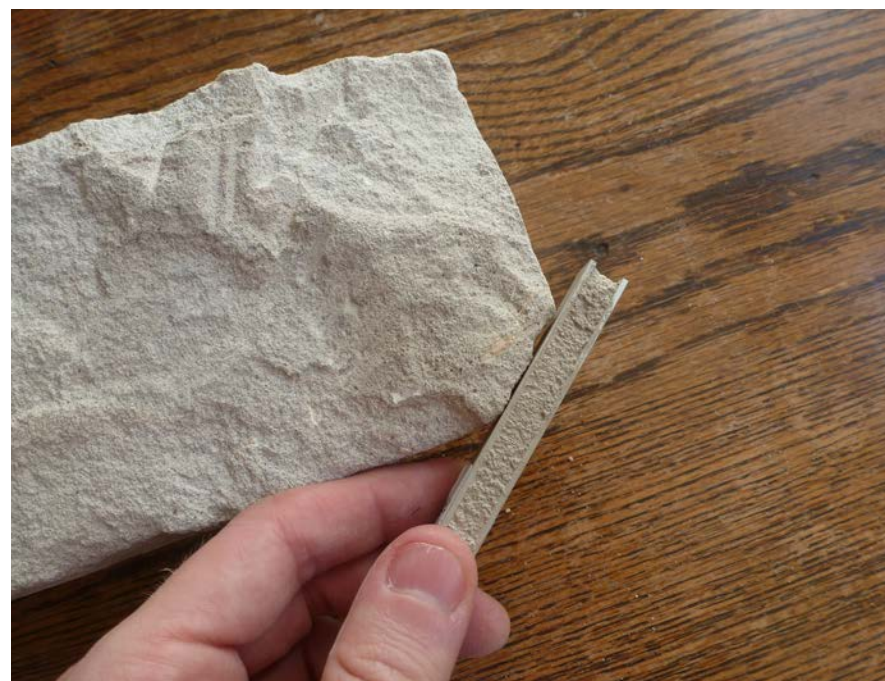
Selected brick will be a clay brick by Interstate Brick

PROPOSED REPLACEMENT BRICK AND MORTAR

The team reviewed several brick and mortar options with the Planning Department. The selected brick is a clay brick manufactured by Interstate Brick. The replacement mortar will be Natural Hydraulic Lime mortar by TransMineral USA, Type 3.5 NHL, 1-part lime to 2.2 parts sand. The sand component is a custom blend by Transmineral USA with sands from San Juan Capistrano and Simi Valley. The mortar color is TM 173 ¼ (TransMineral, Color 173 with a ¼ ratio of pigment).



The selected brick color is similar to the existing brick



The mortar will be lime based and will have a color similar to the existing brick

SIGHTLINE STUDIES

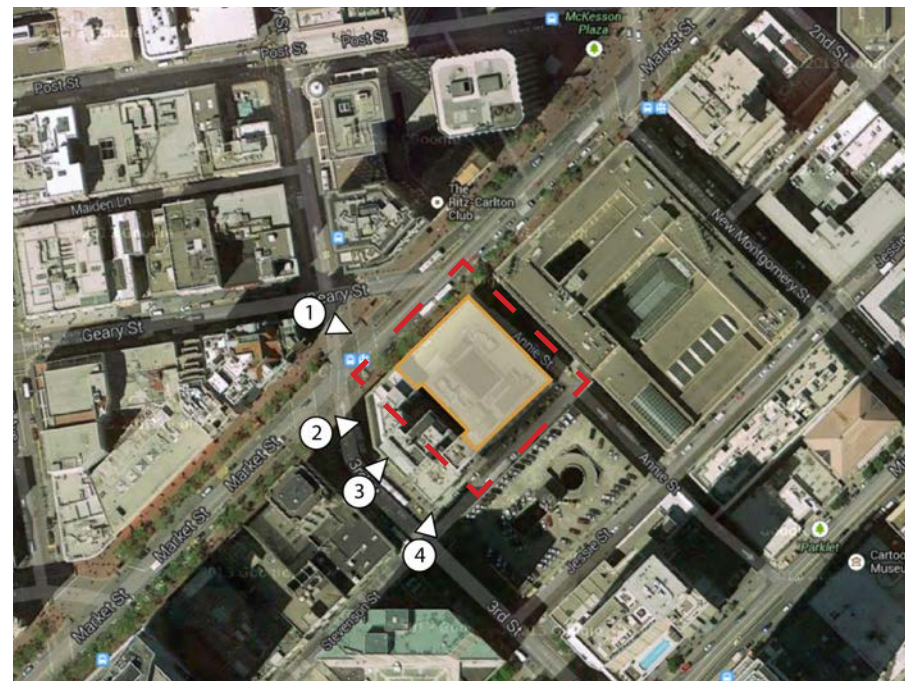
Photos taken of 685 Market Street show that the Annex Wall has minimal visibility from the public right of way. The Annex Wall is minimally visible from Third Street & Stevenson, see photo 4.



1 View from Market Street: Annex wall not visible



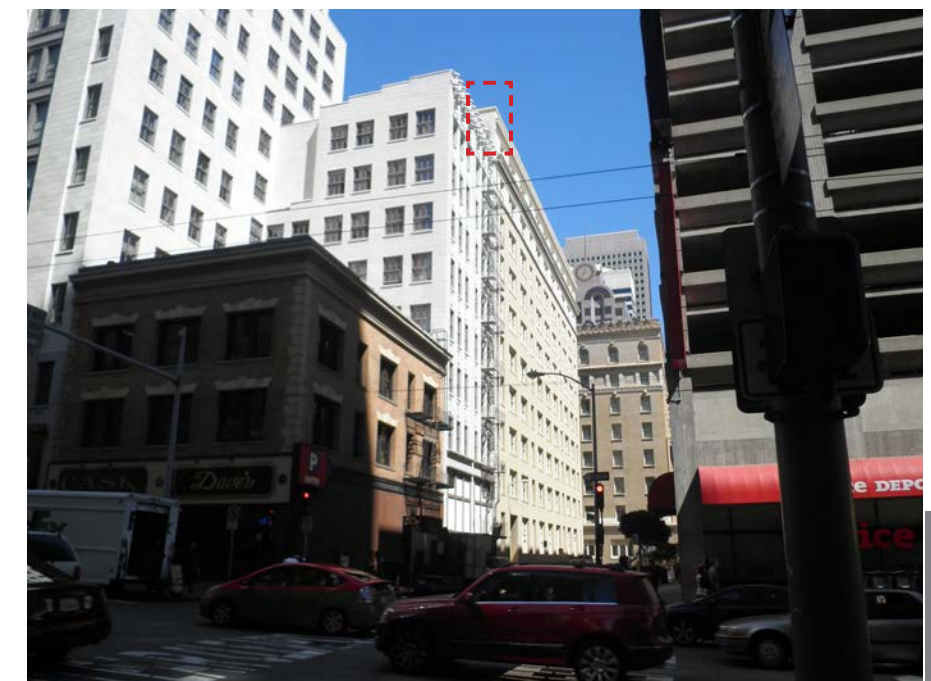
2 View from Third Street: Annex wall not visible



Key Plan



3 View from Third Street: Annex wall not visible



4 View from Third Street & Stevenson, Annex wall minimally visible. (Shown in dashed rectangle)

CODE INFORMATION

APPLICABLE CODES:
 2013 CALIFORNIA BUILDING CODE
 2013 SF MUNICIPAL CODE
 2013 CALIFORNIA STATE HISTORIC BUILDING CODE

LOCAL HISTORIC STATUS:
 THE MONADNOCK BUILDING IS A STEEL FRAME BUILDING DESIGNED BY FREDERICK H. MEYER. THE BUILDING WAS COMPLETED IN 1907 AND IS NOTABLE FOR THE LARGE GLASS WINDOWS THAT WERE CONSIDERED INNOVATIVE FOR THE TIME. THE BUILDING IS DESIGNATED AS A CATEGORY I BUILDING UNDER ARTICLE II OF THE SAN FRANCISCO PLANNING CODE AND IS CONSIDERED TO BE A HISTORIC RESOURCE FOR THE PURPOSES OF CEQA. THE PROPOSED PROJECT IS SUBJECT TO REVIEW BY THE SAN FRANCISCO PLANNING DEPARTMENT. THE BUILDING APPEARS TO BE ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER UNDER CRITERION C (DESIGN/CONSTRUCTION). THE BUILDING IS ALSO A CONTRIBUTOR TO THE NEW MONTGOMERY-MISSION-2ND STREET CONSERVATION DISTRICT.

OCCUPANCY:
 NUMBER OF STORIES 10
 OCCUPANCY TYPE B OFFICE
 (NOTE: NO CHANGE IN USE)
 BUILDING TYPE PER TABLE 503 TYPE IB
 (NOTE: TYPE IIA IS NOT ALLOWED BECAUSE OF BUILDING HEIGHT)
 FIRE RESISTANCE PER TABLE 601 2HR THROUGHOUT

DRAWING INDEX

SHEET NO.	SHEET NAME
ARCHITECTURAL	
G0.01	PROJECT INFORMATION
G0.02	SITE PLAN AND PROJECT PHASING
A2.01	ROOF PLAN
A3.04	LIGHTWELL AND ANNEX EXTERIOR ELEVATIONS
A8.05	CONCRETE DETAILS

PROJECT TEAM

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 LOS ANGELES, CA 90071

KEVIN DEVINE, DIRECTOR OF ENGINEERING
 KEVIN.DEVINE@BROOKFIELD.COM

OWNER'S REPRESENTATIVE:
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 415-422-0457

PROJECT

**MONADNOCK BUILDING
 Exterior Façade
 Rehabilitation & Repair**

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 sattary@earthlink.net

GENERAL NOTES

- BUILDING TO REMAIN OCCUPIED DURING CONSTRUCTION.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS SHOWN OR DIMENSIONED HERE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER'S REPRESENTATIVE FOR WRITTEN RESOLUTION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHUTTING OFF, CAPPING, OR RESTORING AS APPROPRIATE ANY OR ALL UTILITIES IMPACTED BY WORK.
- SAFETY MEASURES
 - AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT REVIEWS OF THESE CONDITIONS.
 - CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST SAFETY RULES AND REGULATIONS OF ALL AUTHORITIES AND AGENCIES HAVING JURISDICTION OVER THE WORK.
 - THE JOBSITE REVIEWS OF THE ARCHITECT AND/OR ENGINEER ARE NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
 - PROVIDE SHORING OR BRACING WHERE REQUIRED.
- ALL WORK SHALL BE IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. WHERE DETAILED INFORMATION OR CLARIFICATION IS REQUIRED, THE MATTER SHALL BE REFERRED TO THE ARCHITECT AND OWNER'S REPRESENTATIVE FOR WRITTEN CLARIFICATION BEFORE PROCEEDING.
- 685 MARKET STREET IS A HISTORIC STRUCTURE.
 - WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE REHABILITATION OF HISTORIC BUILDINGS.
 - IN SITU MOCK-UPS WILL TYPICALLY BE USED TO DETERMINE FINAL REHABILITATION TREATMENTS AND REPAIR PROCEDURES. REFER TO THE SPECIFICATIONS FOR A LIST OF REQUIRED MOCK-UPS.
- THE DIMENSIONS & INFORMATION REGARDING THE (E) STRUCTURE ARE BASED ON UNVERIFIED PREVIOUS DESIGN DRAWINGS AND LIMITED VISUAL OBSERVATIONS. VERIFY ALL DIMENSIONS & BUILDING CONDITIONS PRIOR TO COMMENCING WORK.

PROJECT DESCRIPTION

PROJECT SCOPE CONSISTS OF EXTERIOR FAÇADE MAINTENANCE AND REPAIR INCLUDING:
 REMOVAL OF (E) PAINT
 BRICK MASONRY REPAIR AND RESTORATION
 TERRA COTTA REPAIR AND RESTORATION
 GFRC CLEANING AND REPAIR
 SHEET METAL REPAIR AND RESTORATION
 STRUCTURAL STEEL REPAIR

FLASHING AND WATERPROOFING
 (N) SEALANTS AT WINDOWS
 (N) PAINT AND BREATHABLE COATINGS

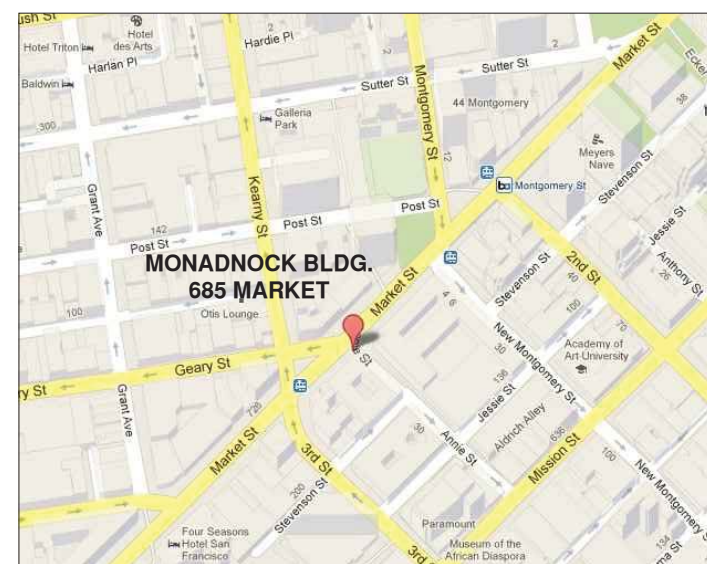
ABBREVIATIONS

(E)	EXISTING	EMER.	EMERGENCY	O/-	OVER
(N)	NEW	EQ.	EQUAL	OPNG.	OPENING
@	AT	EQPT.	EQUIPMENT	P.T.	PRESSURE TREATED
A.B.	ANCHOR BOLT	EXIST.	EXISTING	PL.	PLATE
ADJ.	ADJACENT	EXP.	EXPANSION	PLAS.	PLASTER
ADJUST.	ADJUSTABLE	EXT.	EXTERIOR	PTD.	PAINTED
ALT.	ALTERNATE	F.O.	FACE OF	R.D.	ROOF DRAIN
APPROX.	APPROXIMATE	FDN.	FOUNDATION	R.O.	ROUGH OPENING
ARCH.	ARCHITECTURAL	FIN.	FINISH	R.W.L.	RAIN WATER LEADER
B.O.	BOTTOM OF	FLR.	FLOOR	RAD.	RADIUS
BD.	BOARD	FUT.	FUTURE	REINF.	REINFORCED
BLDG.	BUILDING	GA.	GAUGE	REM.	REMOVE(D)
BLKG.	BLOCKING	GALV.	GALVANIZED	REQ'D.	REQUIRED
BOT.	BOTTOM	GFRC	GLASS FIBER REINFORCED CONCRETE	S.F.	SQUARE FEET
B	BRICK	GL.	GLASS	SM.	SHEET METAL
B.U.R.	BUILT UP ROOF	GYP. BD.	GYPSUM BOARD	S.S.D.	SEE STRUCTURAL DRWGS.
CEM.	CEMENT	H.C.	HOLLOW CORE	SCHED.	SCHEDULE
CL.	CENTERLINE	HORZ.	HORIZONTAL	SECT.	SECTION
CLG.	CEILING	INSUL.	INSULATION	SHT.	SHEET
CONC.	CONCRETE	INT.	INTERIOR	SIM.	SIMILAR
CON'D	CONDITION	JT.	JOINT	SM.	SHEET METAL
CONFIG.	CONFIGURATION	LOC'N	LOCATION	SPEC.	SPECIFICATION
CONSTR.	CONSTRUCTION	MAT.	MATERIAL	S.S.	STAINLESS STEEL
CONTIN.	CONTINUOUS	MAX.	MAXIMUM	STD.	STANDARD
CONTR.	CONTRACTOR	MECH.	MECHANICAL	STL.	STEEL
CTR.	CENTER	MEMB.	MEMBRANE	STRUCT.	STRUCTURAL
CTSK.	COUNTERSUNK	MIN.	MINIMUM	SUSP.	SUSPENDED
DBL.	DOUBLE	MISC.	MISCELLANEOUS	TC	TERRA COTTA
DEM.	DEMOLISH	MTD.	MOUNTED	T.O.	TOP OF
DET.	DETAIL	N.	NORTH	T.O.C.	TOP OF CONCRETE
DIM.	DIMENSION	N.I.C.	NOT IN CONTRACT	THK.	THICK
DN.	DOWN	N.T.S.	NOT TO SCALE	TYP.	TYPICAL
DR.	DOOR	NEC.	NECESSARY	U.O.N.	UNLESS OTHERWISE NOTED
DS.	DOWNSPOUT	NO. or #	NUMBER	VERT.	VERTICAL
DWG.	DRAWING	NOM.	NOMINAL	W/-	WITH
E.J.	EXPANSION JOINT	O.C.	ON CENTER	W/O	WITHOUT
EA.	EACH			WD.	WOOD
ELEV.	ELEVATION			WP.	WATERPROOF
				WT.	WEIGHT

SYMBOLS

	NEW
	EXISTING
	FLOOR ELEVATION
	ELEVATION DATUM
	ALIGN
	REVISION CLOUD
	REVISION NUMBER
	DETAIL SECTION
	WALL SECTION
	BUILDING SECTION
	DETAIL PLAN
	EXTERIOR ELEVATION
	PROJECT NORTH
	PICTURE VIEW

VICINITY MAP



1/2/2013 8:35 PM
 P:\1300x13170_685_MarketCard\Sheets\G0.01 PROJECT INFORMATION.dwg

SEAL & SIGNATURE



ISSUE

PROGRESS SET	12/02/2013
50% CD SET	12/23/2013
90% CD SET	01/24/2014
BID SET	02/07/2014
1 ADDENDUM No. 1	02/21/2014
2 PERMIT SET	03/17/2014

TITLE

PROJECT INFORMATION

Project Status
 ISSUE DATE 02/07/2014
 SCALE AS NOTED
 DRAWN BY AG/JW/JF
 CHECKED BY ES/JL
 JOB NUMBER 13170

G0.01

GENERAL SHEET NOTES

1. SEE COVER SHEET G0.01 FOR PROJECT GENERAL NOTES
2. THE CONTRACTOR SHALL PROVIDE APPROPRIATE BARRIERS BETWEEN THE CONSTRUCTION AREA AND THE REMAINDER OF THE SITE OR BUILDING AND SHALL COMPLY WITH CALIFORNIA BUILDING CODE (CBC) SECTION 3306 - PROTECTION OF PEDESTRIANS DURING CONSTRUCTION OR DEMOLITION.
3. REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.

PROJECT

**MONADNOCK BUILDING
Exterior Façade
Rehabilitation & Repair**

685 MARKET STREET
SAN FRANCISCO, CA 94105

CLIENT

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SEAL & SIGNATURE



ISSUE

	PROGRESS SET	12/02/2013
	50% CD SET	12/23/2013
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	BID SET	02/07/2014
1	ADDENDUM No. 1	02/21/2014
2	PERMIT SET	03/17/2014

TITLE

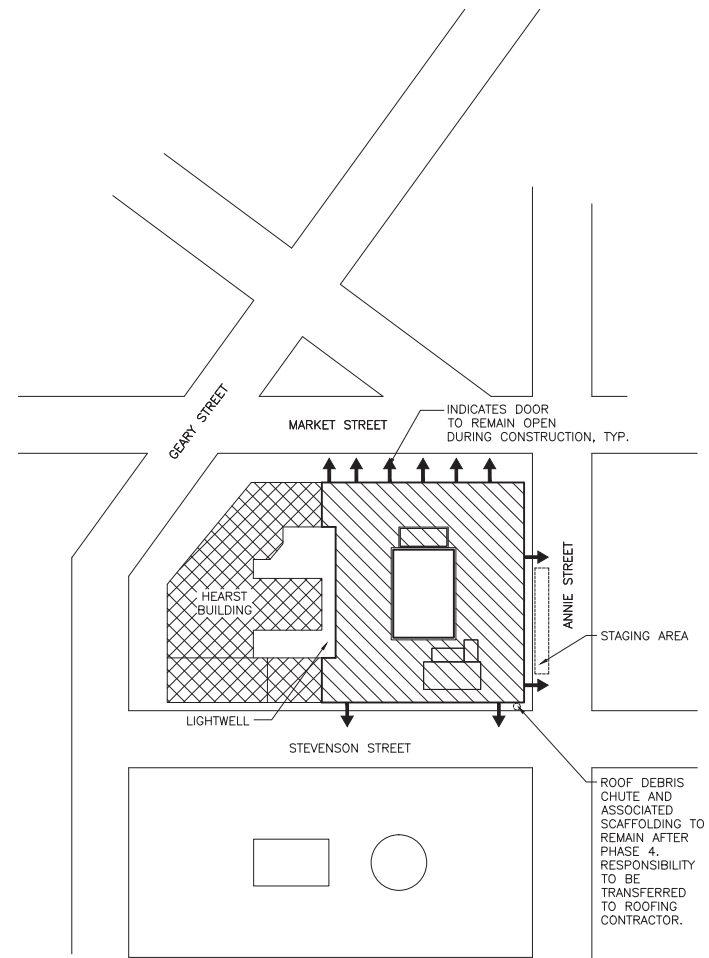
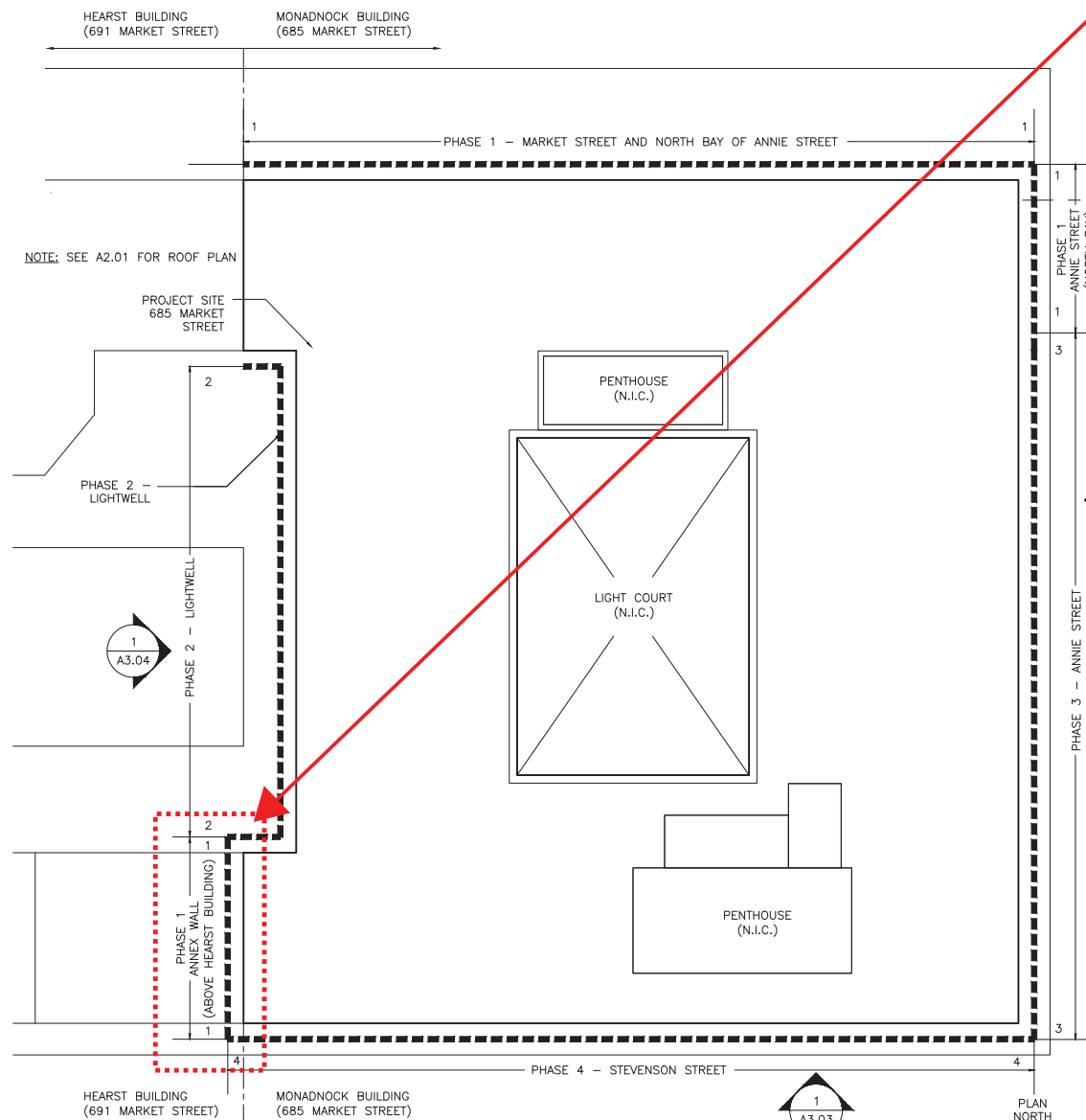
**SITE PLAN AND
PROJECT PHASING**

Project Status
ISSUE DATE 02/07/2014
SCALE AS NOTED
DRAWN BY AG/JW/JF
CHECKED BY ES/JL
JOB NUMBER 13170

G0.02

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**MAJOR PERMIT TO ALTER WORK SHOWN IN DASHED RECTANGLE.
ALL OTHER WORK WAS APPROVED VIA A MINOR PERMIT TO
ALTER CASE #2014.0049H, PERMIT #2014.0410.2980.**



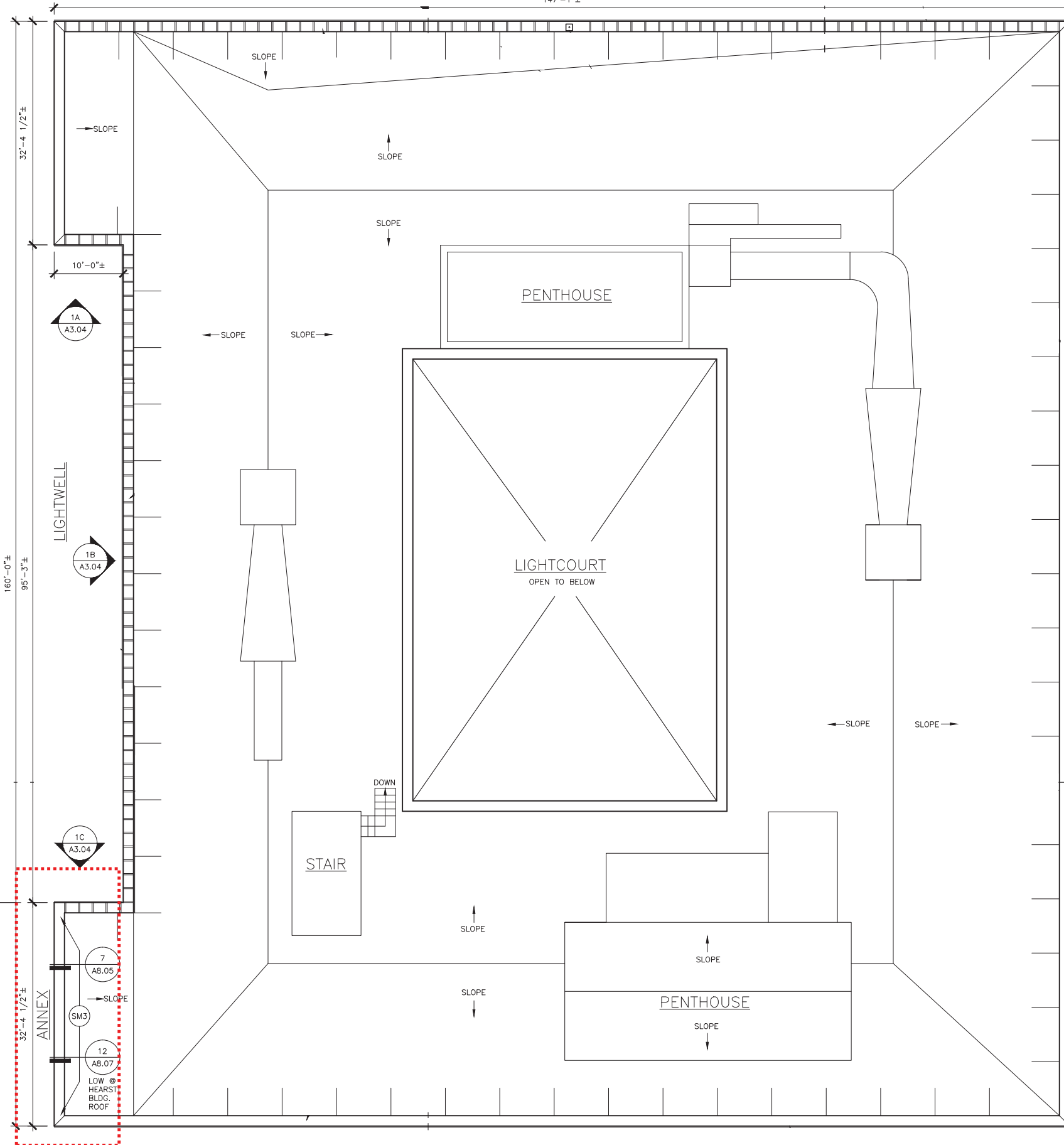
2 PHASING PLAN
SCALE: 1/16"=1'-0"

1 SITE PLAN
SCALE: 1"=40'-0"

12/2012 8:35 PM P:\13170\13170_685 Market\Site\Sheet\G0.02 SITE PLAN AND PROJECT PHASING.dwg

MARKET STREET

147'-1"±



GENERAL SHEET NOTES

1. SEE COVER SHEET G0.01 FOR PROJECT GENERAL NOTES
2. THE DIMENSIONS & INFORMATION REGARDING THE (E) STRUCTURE ARE BASED ON UNVERIFIED PREVIOUS DESIGN DRAWINGS AND LIMITED VISUAL OBSERVATIONS. VERIFY ALL DIMENSIONS & BUILDING CONDITIONS PRIOR TO COMMENCING WORK
3. PROTECT ROOFING AT FLASHING AT ALL TIMES. PROVIDE WALKING PADS FROM STAIR ACCESS TO AREAS OF WORK
4. KEEP ROOF DRAINS FREE & CLEAR OF DEBRIS AT ALL TIMES. DO NOT WASH EXCESS MORTAR PASTE DOWN ROOF DRAINS
5. DO NOT OVERLOAD ROOF. ROOF LIVE LOAD LIMITED TO 20 POUNDS PER SQUARE FOOT

KEY NOTES

SHEET METAL

- SM3 INSTALL (N) SHEET METAL CAP AT ANNEX WALL PER SPEC. SECTION 076200 AND DTL. 7/A8.05

PROJECT

MONADNOCK BUILDING Exterior Façade Rehabilitation & Repair

685 MARKET STREET SAN FRANCISCO, CA 94105

CLIENT

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MAJOR PERMIT TO ALTER WORK SHOWN IN DASHED RECTANGLE. ALL OTHER WORK WAS APPROVED VIA A MINOR PERMIT TO ALTER CASE #2014.0049H, PERMIT #2014.0410.2980.

ANNIE STREET

STEVENSON STREET



SEAL & SIGNATURE



ISSUE

	PROGRESS SET	12/02/2013
	50% CD SET	12/23/2013
	90% CD SET	01/24/2014
	BID SET	02/07/2014
1	ADDENDUM No. 1	02/21/2014
2	PERMIT SET	03/17/2014

TITLE ROOF PLAN

Project Status
ISSUE DATE 02/07/2014
SCALE AS NOTED
DRAWN BY AG/JW/JF
CHECKED BY ES/JL
JOB NUMBER 13170

A2.01

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10/2012 8:35 PM P:\13170\13170_685 Market\Cut\Sheet\A2.01 ROOF PLAN.dwg

1 ROOF PLAN SCALE: 1/8"=1'-0"

MONADNOCK BUILDING
Exterior Façade
Rehabilitation & Repair

685 MARKET STREET
 SAN FRANCISCO, CA 94105

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SEAL & SIGNATURE



ISSUE

PROGRESS SET	12/02/2013
50% CD SET	12/23/2013
90% CD SET	01/24/2014
BID SET	02/07/2014
1 ADDENDUM No. 1	02/21/2014
2 PERMIT SET	03/17/2014
3 PERMIT REVISIONS	05/30/2014
4 MAJOR PERMIT TO ALTER	09/02/2014

TITLE
LIGHTWELL AND ANNEX EXTERIOR ELEVATIONS

Project Status
 ISSUE DATE 02/07/2014
 SCALE AS NOTED
 DRAWN BY AG/JW/JF
 CHECKED BY ES/JL
 JOB NUMBER 13170

A3.04

LEGEND

	BRICK TO BE SALVAGED. SEE NOTES AND DETAILS FOR ADDITIONAL INFORMATION
	(E) CONCRETE
	(N) CONCRETE

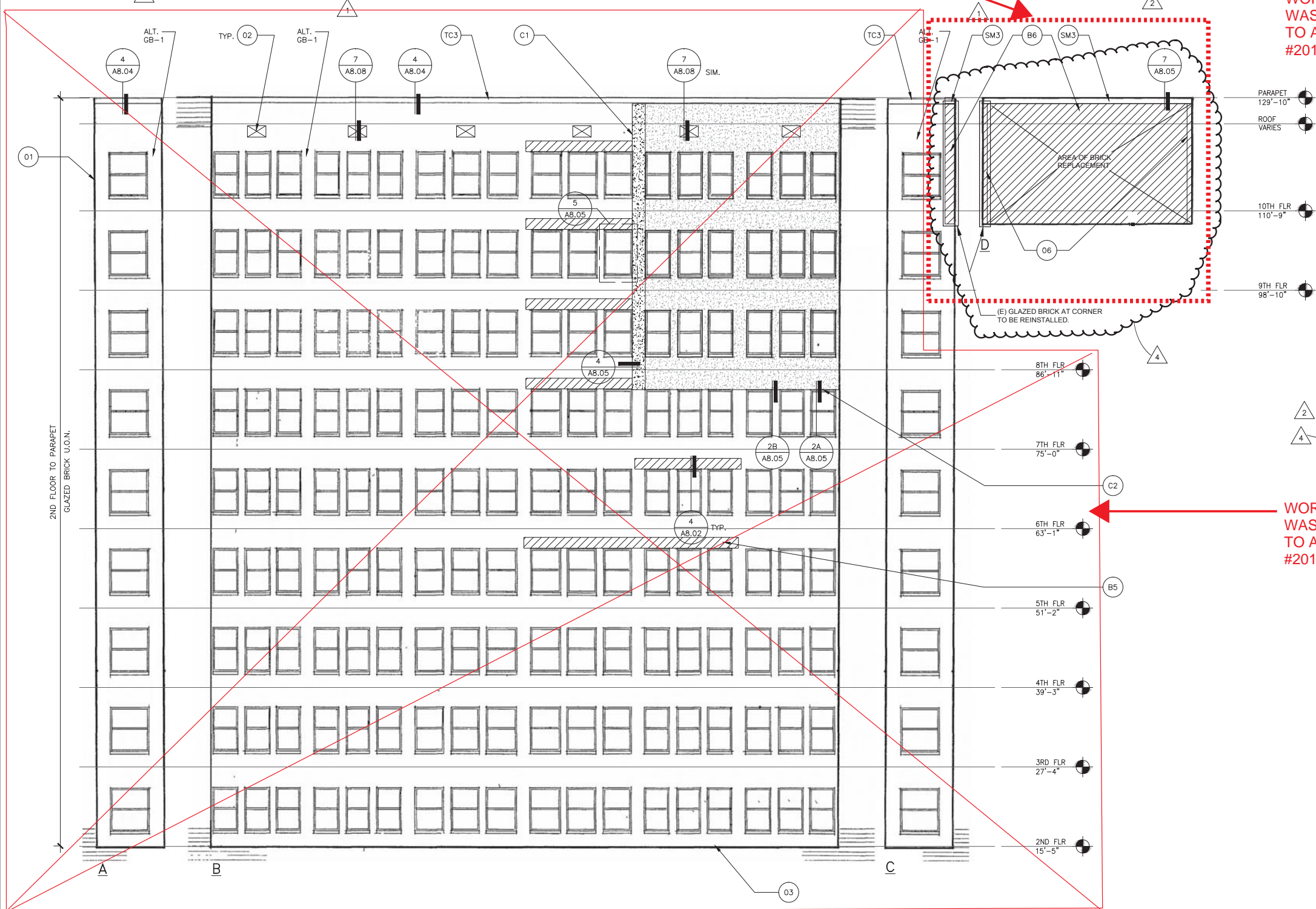
- GENERAL SHEET NOTES**
- SEE COVER SHEET G0.01 FOR PROJECT GENERAL NOTES
 - SEE G0.03 FOR RE-POINTING ALLOWANCES FOR BRICK MASONRY, TERRA COTTA, GFRC, AND SHEET METAL REPAIRS
 - SEE PHOTOS FOR INDICATION OF MATERIALS
 - THE LIST OF SCOPE OF WORK AND KEY NOTES ARE THE SAME ON ALL ARCHITECTURAL SHEETS. INDIVIDUAL SCOPE OF WORK AND KEY NOTES ARE NOT APPLICABLE TO EACH SHEET, HOWEVER.
 - CONTACT PLANNING DEPARTMENT IF REPLACEMENT OF MORE THAN 50% OF BRICK UNITS AT ANY ELEVATION IS REQUIRED.

- SCOPE OF WORK NOTES**
- BRICK MASONRY**
- (E) PAINT COATING IS TRAPPING MOISTURE W/ IN WALL. REMOVE PAINT COATING FROM ALL EXTERIOR BRICK SURFACES PER SPEC. SECTION 040310. FOLLOWING PAINT REMOVAL PERFORM EXISTING CONDITIONS SURVEY PER SPEC. SECTION 040322
 - (E) BRICK WALL HAS CRACKED AND DAMAGED BRICK MASONRY UNITS FROM MOISTURE AND SEISMIC MOVEMENT. REMOVE AND REPLACE DAMAGED MASONRY. SEE SPEC. SECTION 040322 AND DTL. 11/A8.02
 - REPOINT BRICK MASONRY PER MASONRY POINTING ALLOWANCES ON G0.03. SEE SPEC. SECTION 040323 AND DTLs. 1/A8.01 & 2/A8.01
 - PRIME AND PAINT ALL BRICK MASONRY SURFACES. SEE SPEC. SECTION 099113. SEE ALT. P-1
 - AT WINDOW FRAME TO MASONRY INTERFACES, REMOVE (E) SEALANT AND INSTALL NEW SEALANT PER SPEC. SECTION 079200

MAJOR PERMIT TO ALTER WORK SHOWN IN DASHED RECTANGLE. ALL OTHER WORK WAS APPROVED VIA A MINOR PERMIT TO ALTER CASE #2014.0049H, PERMIT #2014.0410.2980.

WORK IN SOLID RECTANGLE WITH "X" WAS APPROVED VIA A MINOR PERMIT TO ALTER CASE #2014.0049H, PERMIT #2014.0410.2980.

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KEY NOTES

- BRICK MASONRY**
- (E) MASONRY UNITS AT PIER ADJACENT TO HEARST BLDG. HAVE EXPERIENCED SUBSTANTIAL DAMAGE FROM SEISMIC POUNDING. REMOVE AND REPLACE DAMAGED MASONRY UNITS PER SPEC. SECTION 040322 AND DTL. 11/A8.02
 - (E) LIGHT-GAUGE BRICK TIES ARE RUSTED CAUSING METAL TO SWELL AND DISPLACING AND DAMAGING BRICK MASONRY. GRIND-OUT AND REMOVE ALL RUSTED TIES, REPAIR MASONRY AND REPOINT JOINT. S.S.D FOR DETAILS
 - (E) STEEL LINTEL AT WINDOWS HAS RUST DAMAGE. REMOVE AND SALVAGE BRICK MASONRY AND TREAT STEEL PER STRUCT. DWGS. REINSTALL SALVAGED BRICK PER DTL. 1/A8.02
 - TOP FLANGE AT STL. BEAM ABOVE WINDOWS EXHIBITS RUST. REMOVE AND SALVAGE BRICK MASONRY AND TREAT STEEL PER STRUCT. DWGS. REINSTALL SALVAGED BRICK PER DTL. 1/A8.02
 - (E) BRICK MASONRY ABOVE WINDOW TO BE REMOVED AND SALVAGED TO PROVIDE ACCESS TO DAMAGED STEEL. S.S.D FOR STEEL REPAIR. REINSTALL BRICK PER DTL. 4/A8.02
 - REMOVE (E) COATINGS. REMOVE AND SALVAGE OUTER 2 WYTHES (E) BRICK TO FACILITATE STRUCTURAL REPAIRS. CONSULT W/ ARCHITECT TO REVIEW CONDITION OF SALVAGED BRICK. REINSTALL (E) BRICK WHERE UNITS ARE BEYOND REPAIR. REPLACE INDIVIDUAL DAMAGED BRICK UNITS WITH (N) TO MATCH EXISTING IN COLOR, FINISH, SIZE AND COMPOSITION. INSTALL (N) MASONRY COATING AS SPECIFIED.

- SHEET METAL**
- REMOVE CAP OF (E) LT. GA. SHEET METAL CORNICE. INSPECT (E) WOOD SHEATHING AND NAILERS AND REPLACE WOOD SHEATHING. INSPECT STEEL BRACKETS AND REPORT DAMAGE TO ENGINEERS. PREPARE AND PAINT METAL BRACKETS WITH RUST-INHIBITING COATING. INSTALL NEW SHEET METAL CAP. SEE SPEC. SECTION 050372 AND DTLs. 1/A8.06 & 7/A8.06
 - REPAIR (E) LT. GA. SHEET METAL CORNICE PER SPEC. SECTION 050372 AND DTL. 6/A8.06 AND 12/A8.06
 - INSTALL (N) SHEET METAL CAP AT ANNEX WALL PER SPEC. SECTION 076200 AND DTL. 7/A8.05

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SEAL & SIGNATURE



ISSUE

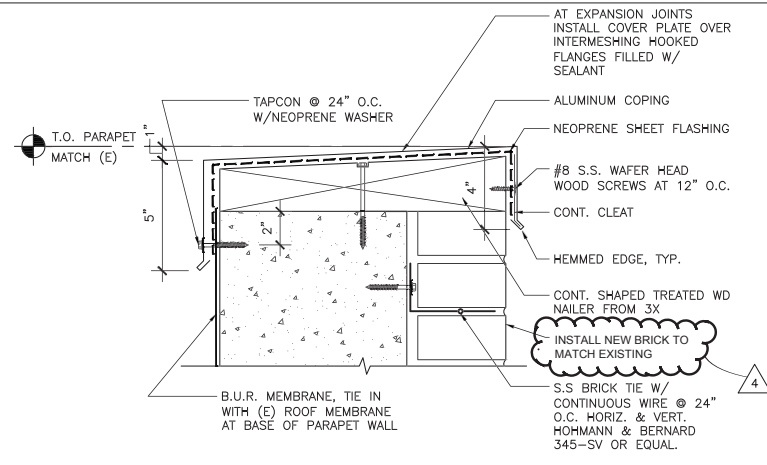
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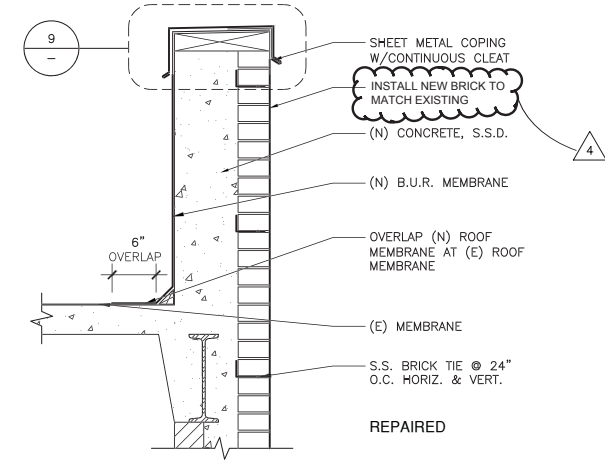
CONCRETE DETAILS

Project Status
ISSUE DATE 02/07/2014
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DRAWN BY AG/JW/JF
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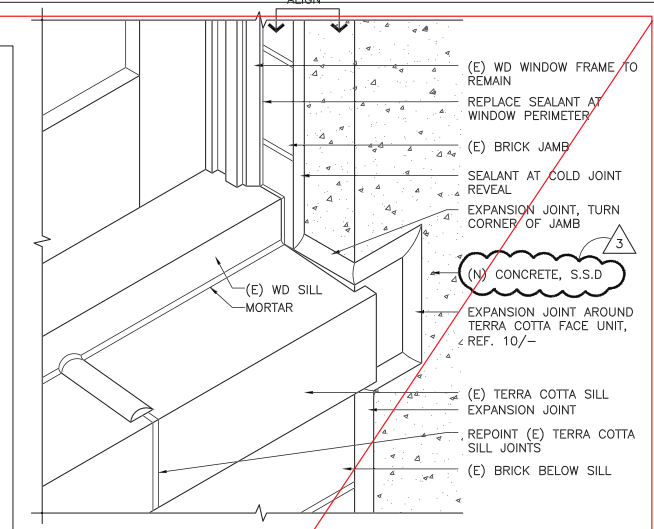
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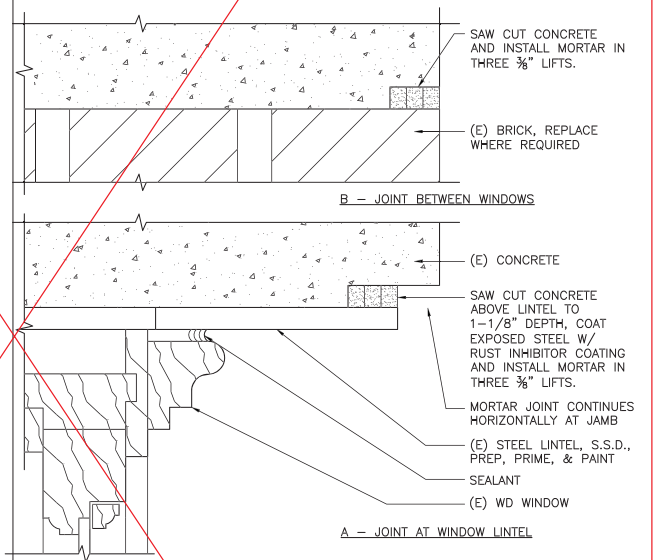
9 SHEET METAL COPING AT PARAPET WALL
SCALE: 3"=1'-0"



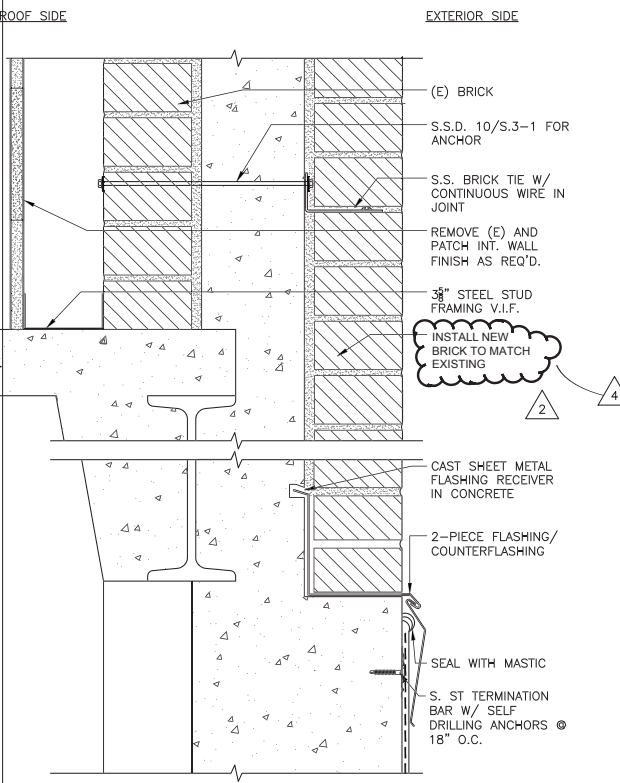
5 WINDOW ELEV @ CONCRETE
SCALE: 3/4"=1'-0"



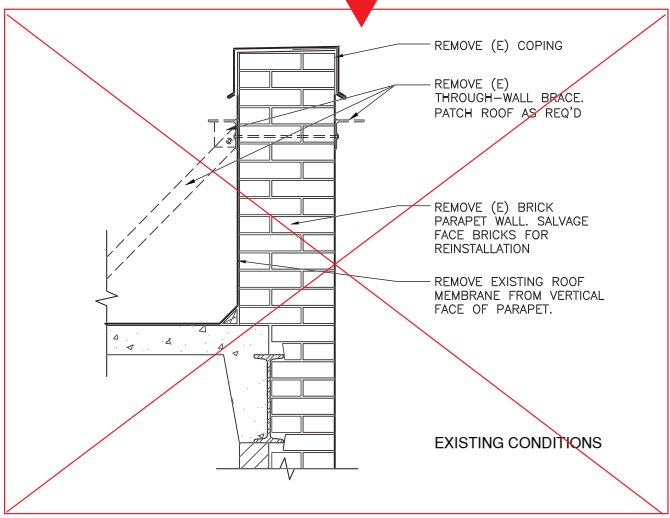
3 JOINT AT TC SILL TO CONCRETE
SCALE: 6"=1'-0"



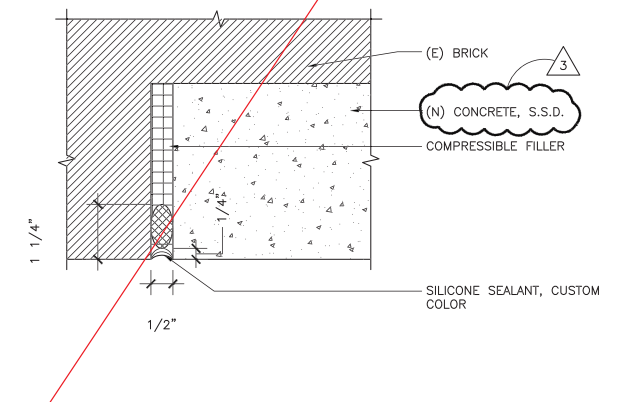
2 (E) CONCRETE TERMINATION AT LEVEL 8
SCALE: 6"=1'-0"



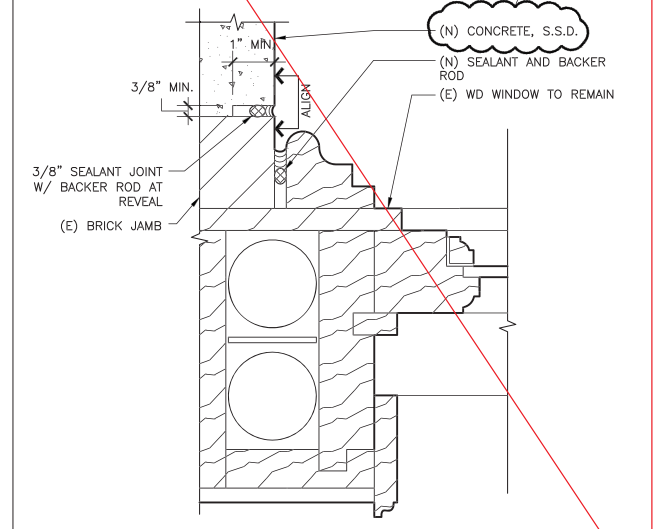
10 WALL SECTION AT ANNEX
SCALE: 3"=1'-0"



7 PARAPET WALL W/ SHEET METAL COPING
SCALE: 1-1/2"=1'-0"



4 TYP. EXPANSION JOINT @ CONCRETE
SCALE: 6"=1'-0"



1 CONCRETE JOINT @ WINDOW JAMB
SCALE: 6"=1'-0"

WORK IN SOLID RECTANGLE WITH "X" WAS APPROVED VIA A MINOR PERMIT TO ALTER CASE #2014.0049H, PERMIT #2014.0410.2980.