



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: AUGUST 6, 2014

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Filing Date: March 11, 2014
Case No.: **2014.0359A**
Project Address: **201 Buchanan Street**
Landmark: **No. 47: The Nightingale House**
Zoning: RTO (Residential, Transit-Oriented)
40-X Height and Bulk District
Block/Lot: 0858 / 002
Applicant: Lido Martocchio
3759 Mission Street
San Francisco, CA 94110
Staff Contact Shelley Caltagirone - (415) 558-6625
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Reviewed By Tim Frye – (415) 575-6822
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PROPERTY DESCRIPTION

The subject property is located on the west side of Buchanan Street between Laussat and Waller Streets. Assessor's Block 0858, Lot 002. It is located in a RTO (Residential Transit-Oriented) Zoning District and a 40-X Height and Bulk District. The property was designated as Landmark No. 47 in 1972. It is also listed on the California Register, the Here Today survey, and the Planning Department 1976 Architectural Survey. The one-story-over-basement-with-attic, two-family, Eastlake-style residence was built in 1882 by John Nightingale, Sr. The architect of the building was John Marquis. According to the designation report, Nightingale was one of the chief builders of the neighborhood and this house represents all that remains of his extensive holdings in the area. Nightingale was a real estate dealer and manager of property, a Forty-Niner, and President of the Society of California Pioneers, an early San Francisco Alderman and one of the Trustees of the James Lick Estate. The house is designated as a masterpiece of the Eastlake Style which also incorporates elements of the Carpenter Gothic, Second Empire and late Italian Villa Styles. The basic architectural elements are the oblong ground plan, prominent carved gables, strongly projecting eaves, a square Mansard-roofed central tower, a steeply-pitched roof, and projecting bays, both square and slanting.

PROJECT DESCRIPTION

The proposed project calls for construction of a concrete stair and trash bin storage area at the southwest corner of the property and alteration of the non-historic sunroom attached at the rear wall of the historic residence. The stair construction will include cutting an opening in the existing concrete retaining wall, removing a 3-foot-wide section of the historic iron railing, and installing a new gate and safety railings along the top of the new stairwell. The gate and railings will replicate the design of historic railing; however, they will have a smooth finish to distinguish them from the historic railing. Modification of the

non-historic sunroom will include replacing windows and skylights. The sunroom is not visible from the public rights-of-way.

OTHER ACTIONS REQUIRED

None.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a landmark district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

ARTICLE 10 – The Nightingale House Landmark Ordinance

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Nightingale House as described in Landmark Ordinance No. 256-72, File No. 90-72-3, approved August 31, 1972, and the character-defining features of the landmark's exterior as outlined in the designating ordinance and listed below:

- Massing exhibiting a low-high-low rhythm accentuated by strongly-marked vertical elements
- An oblong ground plan
- Steeply-pitched gable roof with strongly projecting eaves and a square Mansard-roofed central tower
- Projecting bays, both square and slanting
- Decorative elements, including carved bargeboards, finials, brackets, spindle balusters, and wrought-iron railing
- Rectangular and Gothic-arched windows with eyebrow moldings
- Shiplap, board-and-batten, and fish-scale shingle wood cladding

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project will support the residential use of the building that does not require significant changes to the distinctive elements of the landmark. The proposed stair will provide safe entry and egress from the existing basement-level dwelling unit without compromising the historic character of the landmark site, and the sunroom alterations will improve an existing amenity of the house.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

All aspects of the historic character of the building will be retained and preserved. The only historic material proposed for removal is a relatively small 3-foot section of wrought-iron railing. The overall design and material integrity of the railing will remain intact. The sunroom alterations will not remove any historic material.

Standard 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed stairwell will be constructed of concrete and will include enclosed storage for garbage. The concrete stairs will be utilitarian in design and will not mimic any historic features of the landmark. The proposed railings and gate will be designed to match the form of the historic railing; however, the new railings and gate will be distinguished by their modern machine finish. The appearance of the new ironwork will be noticeably smoother and crisper than the historic wrought iron. The alterations to the sunroom will retain the contemporary appearance of this non-historic feature while improving its compatibility with the character of the landmark.

Standard 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

No distinctive materials, features, finishes, construction techniques or examples of craftsmanship would be affected by the proposed project. The sunroom is a later addition with no architectural or historical significance. Alteration of this feature will only improve the compatibility of the feature with the character of the landmark building.

Standard 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

All distinctive materials, features, finishes, construction techniques or examples of craftsmanship will be preserved by the proposed project.

Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed stair feature will be compatible with the character of the historic building. The stair will be located at the far southwest corner of the property in an area that is appropriately distanced from the formal front entry of the historic home. The stair will be constructed of concrete, a material used for the historic retaining wall surrounding the property. The new iron railing and gate will largely match the design of the historic iron railing so as not to introduce a new and distracting element to the landscape. The railing and gate will be subtly differentiated from the original railing by their modern finish. The trash bin storage area will be located in the side wall of the stair so that it does not have a prominent presence when viewed from the street. The storage door will be wood to match the material of the historic doors on the property; however, it will be designed in a simple, utilitarian manner to distinguish it from the more ornate original features of the site.

The proposed alterations to the sunroom will improve the structure's compatibility with the historic building while retaining a contemporary appearance. The work will replace aluminum-framed windows and doors with multi-light, wood-framed windows and doors. The traditional materials and framing details will be compatible with the historic building without mimicking the building's original fenestration. Also, the acrylic pyramid-shaped skylights will be replaced with a new lantern-shaped skylight that relates better to the proportions of the historic façade beyond it. The west wall of the sunroom will be extended to create 30-inch-tall parapet as required by the City codes for fire protection. None of the alterations will cause the removal or alteration of any historic features at the rear façade, and none of the sunroom alterations will be visible from the public rights-of-way.

Standard 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed alterations could be reversed in the future relying upon historic photographs and the building permit record.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

ISSUES & OTHER CONSIDERATIONS

The property is subject to a Mills Act Historical Property contract, approved in 2013, and the associated rehabilitation and maintenance plans. The property is currently in compliance with all aspects of the Mill's Act contract. Please see the attached Rehabilitation and Maintenance Plans for reference. Below is a list of work completed to date.

- Replacement of the non-historic asphalt shingle roofing;

- In-kind replacement of two chimneys and removal of one deteriorated, non-functional chimney at the rear of the building;
- Selective repair and in-kind replacement of deteriorated window sashes with African mahogany sashes;
- In-kind replacement of all redwood gutters and copper downspouts;
- Installation of a surface membrane and flashing above the non-historic porch decking;
- Selective repair and in-kind replacement of exterior millwork;
- Recreation of missing balconies, closely matching the forms shown in the historic photographs;
- Recreation of the jib doors that opened from the parlors to the missing balconies based upon building evidence;
- Recreation of the missing gable tip finials and ridge crest, closely matching the forms shown in the historic photographs ;
- Complete exterior painting; and,
- Foundation repairs.

STAFF ANALYSIS

Based on the requirements of Article 10 and the Secretary of Interior's Standards, staff has determined that the proposed work is largely compatible with the character-defining features of the subject building and with the Alamo Square Landmark District. The project is analyzed in its several parts below:

Proposed Stair:

The proposed stair will provide safe entry and egress from the existing basement-level dwelling unit without compromising the historic character of the landmark site. The only historic material proposed for removal is a relatively small 3-foot section of wrought-iron railing. The overall design and material integrity of the railing will remain intact. The proposed stair feature will be compatible with the character of the historic building. They will be utilitarian in design and will not mimic any historic features of the landmark. The stair will be located at the far southwest corner of the property in an area that is appropriately distanced from the formal front entry of the historic home. The stair will be constructed of concrete, a material used for the historic retaining wall surrounding the property. The new iron railing and gate will largely match the design of the historic iron railing so as not to introduce a new and distracting element to the landscape. The railing and gate will be subtly differentiated from the original railing by their modern finish. The trash bin storage area will be located in the side wall of the stair so that it does not have a prominent presence when viewed from the street. The storage door will be wood to match the material of the historic doors on the property; however, it will be designed in a simple, utilitarian manner to distinguish it from the more ornate original features of the site.

Proposed Sunroom Alteration:

The sunroom alterations will improve an existing, non-historic amenity of the house. The sunroom is a later addition with no architectural or historical significance. Alteration of this feature will only improve the compatibility of the feature with the character of the landmark building. The work will replace

aluminum-framed windows and doors with multi-light, wood-framed windows and doors. The new traditional materials and framing details will be compatible with the historic building without mimicking the building's original fenestration. Also, the acrylic pyramid-shaped skylights will be replaced with a new lantern-shaped skylight that relates better to the proportions of the historic façade beyond it. The west wall of the sunroom will be extended to create 30-inch-tall parapet as required by the Building Code. None of the alterations will cause the removal or alteration of any historic features at the rear façade, and none of the sunroom alterations will be visible from the public rights-of-way.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One - Minor Alteration of Existing Structure) because the project includes a minor alteration of an existing structure that meets the Secretary of the Interior Standards for Rehabilitation of a Historic Property.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation. Staff supports the project with the following condition:

- The project sponsor shall consult with the Department of Building Inspection and the Planning Department to determine if the parapet height requirement may be modified by applying the Historic Building Code. If feasible, the parapet shall be reduced in height.

ATTACHMENTS

Draft Motion
Parcel and 1998 Sanborn Maps
Rehabilitation and Maintenance Plans
Photographs
Plans

SC: G:\DOCUMENTS\Cases\COFA\Case Reports\201 Buchanan_8.6.14.doc



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No.

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 002 IN ASSESSOR'S BLOCK 0858, WITHIN THE RTO (RESIDENTIAL, TRANSIT-ORIENTED) ZONING DISTRICT AND 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on March 11, 2014, the Lido Martocchio, (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to construct a concrete stair and trash bin storage area at the southwest corner of the property and alter the non-historic sunroom attached at the rear wall of the historic residence.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on August 6, 2014, the Commission conducted a duly noticed public hearing on the current project, Case No. 2014.0359A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans and specifications labeled Exhibit A on file in the docket for Case No. 2014.0359A based on the following conditions and findings:

CONDITIONS OF APPROVAL

1. The project sponsor shall consult with the Department of Building Inspection and the Planning Department to determine if the parapet height requirement may be modified by applying the Historic Building Code. If feasible, the parapet shall be reduced in height.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The project will support the residential use of the building that does not require significant changes to the distinctive elements of the landmark. The proposed stair will provide safe entry and egress from the existing basement-level dwelling unit without compromising the historic character of the landmark site, and the sunroom alterations will improve an existing amenity of the house.
- All aspects of the historic character of the building will be retained and preserved. The overall design and material integrity of the railing will remain intact, and the sunroom alterations will not remove any historic material.
- The proposed concrete stairs will be utilitarian in design and will not mimic any historic features of the landmark.
- The proposed railings and gate will be designed to match the form of the historic railing; however, the new railings and gate will be distinguished by their modern machine finish.
- The alterations to the sunroom will retain the contemporary appearance of this non-historic feature while improving its compatibility with the character of the landmark.

- Alteration of the sunroom will improve the compatibility of the feature with the character of the landmark building.
- All distinctive materials, features, finishes, construction techniques or examples of craftsmanship will be preserved by the proposed project.
- The proposed stair will be located at the far southwest corner of the property in an area that is appropriately distanced from the formal front entry of the historic home.
- The stair will be constructed of concrete, a material used for the historic retaining wall surrounding the property.
- The new iron railing and gate will largely match the design of the historic iron railing so as not to introduce a new and distracting element to the landscape.
- The trash bin storage area will be located in the side wall of the stair so that it does not have a prominent presence when viewed from the street, and the storage door will be wood to match the material of the historic doors on the property.
- None of the alterations to the sunroom will cause the removal or alteration of any historic features at the rear façade, and none of the sunroom alterations will be visible from the public rights-of-way.
- The proposed alterations could be reversed in the future relying upon historic photographs and the building permit record
- That the proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Standard 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project is for the rehabilitation of a residential property and will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing unit will be retained.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking as it will provide new off-street parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 002 in Assessor's Block 0858 for proposed work in conformance with the renderings and architectural plans labeled Exhibit A on file in the docket for Case No. 2014.0359A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on August 6, 2014.

Jonas P. Ionin
Acting Commission Secretary

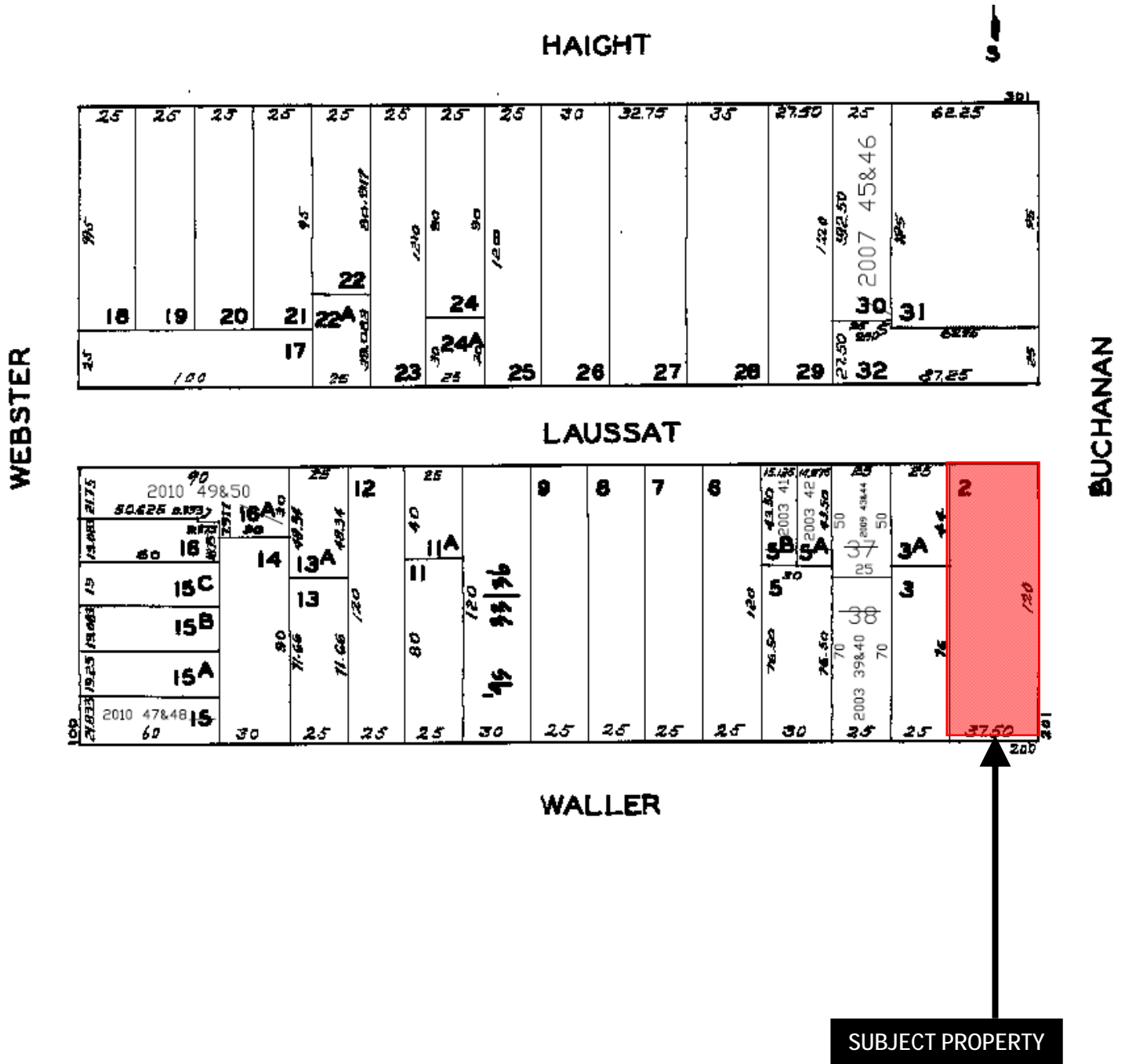
AYES:

NAYS:

ABSENT:

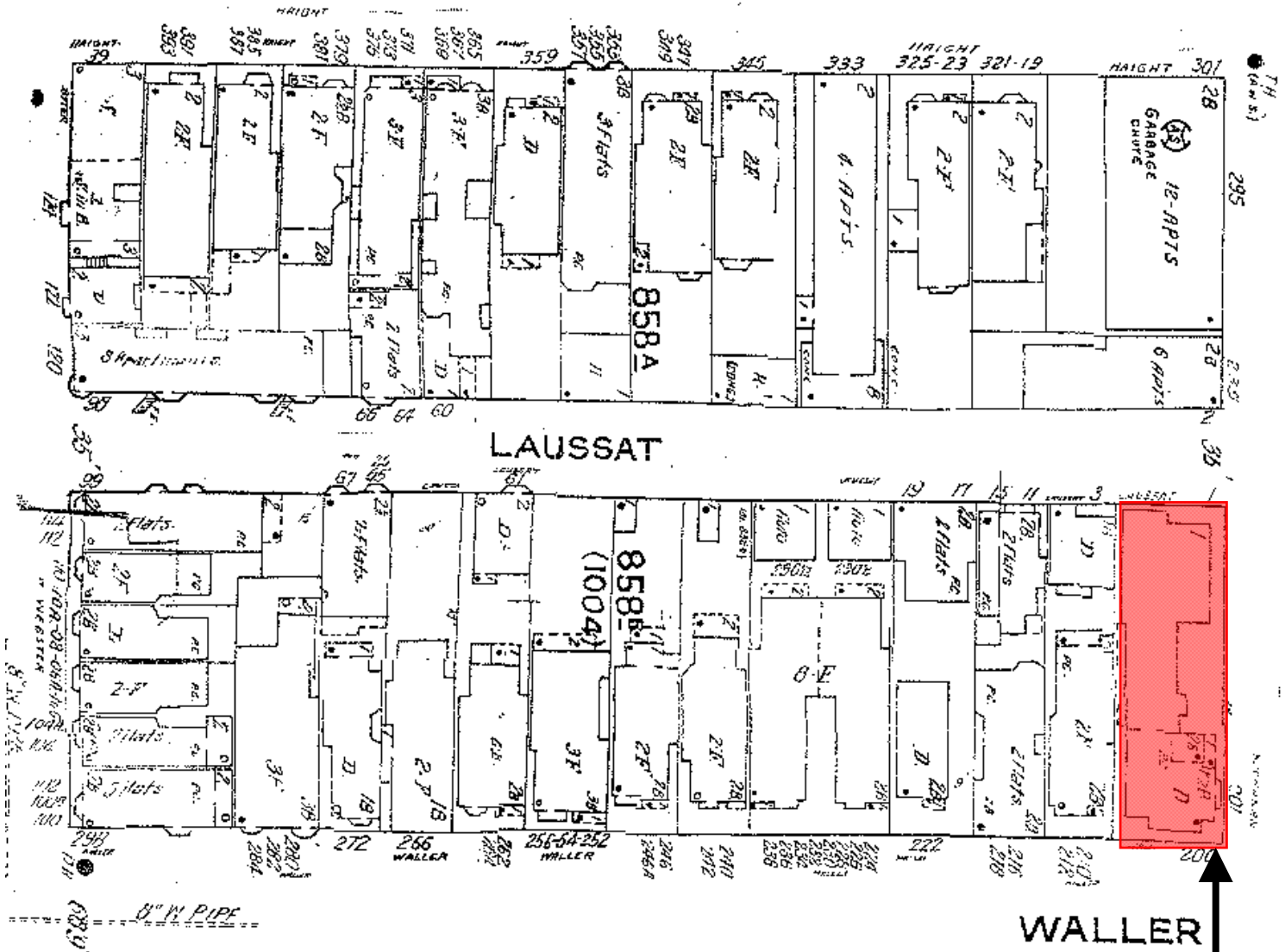
ADOPTED:

Parcel Map



CofA Application
 Case Number 2014.0359A
 Nightingale House, Landmark #47
 201 Buchanan Street

Sanborn Map*



SUBJECT PROPERTY

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

CofA Application
Case Number 2014.0359A
Nightingale House, Landmark #47
201 Buchanan Street



Aerial Photo



SUBJECT PROPERTY

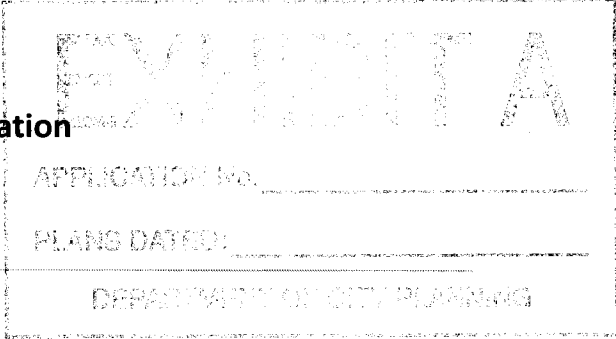


CofA Application
Case Number 2014.0359A
Nightingale House, Landmark #47
201 Buchanan Street

201 Buchanan St. Certificate of Appropriateness Application

Rehabilitation Program (Application Pages 6a, 6b, 6c)

Chris Yerke, Restoration Workshop, Ltd. – March 15th, 2011



Stabilization of Building Exterior

Building Feature	Description	Cost
Exterior Paint (for context only, not included in scope of application)	Completely strip large portions of the east and south facades in which the existing paint has lost its ability to bond to the substrate. These are typically projecting, unprotected areas which take the brunt of weather and ultraviolet light exposure. These portions will be stripped to approximately 95 percent bare condition. Necessary repairs or in-kind replacement will be performed before these area are prepped and repainted. Prep consists of sanding, and then treating with clear, penetrating epoxy. Two coats of acrylic primer and at least two coats of finish paint will then be subsequently applied. Areas where the old paint is deemed to maintain a sufficient bond to the substrate will be cleaned, sanded and repainted. These are typically sheltered areas, protected by the eaves, or otherwise sheltered from sunlight and weather. Two coats of acrylic primer will be applied, followed by a minimum of two coats of acrylic top coat. The west and south facades are sheltered and will require only careful prep and repainting. All paint waste removed from the building will be disposed of by professional waste handlers.	N/A
Roof	All existing roofing material, including the original wooden shingles is to be removed. The original sub sheathing will be decked over with ½" CDX plywood. Certaineed Landmark Premium composition shingles are to be used for the new roof. All step flashings, drip edges and roof to wall flashings to be copper.	\$35,320.00
Chimneys	All chimneys have highly weathered brick and substantial mortar loss. There are three existing Chimneys. Only two are visible from the street. These are the chimneys for the living room and dining room. These chimneys are both less than 2 feet tall. The living room chimney, which contains four flues, has a mortar cap and 4 terra cotta flue extensions. These chimneys will be disassembled to the roof deck, or slightly below and rebuilt to present configuration and height, using compatible new brick. They will be counter flashed using 20 oz. copper. The third chimney, which extends app. 6 feet above the roof, is not visible from and public thoroughfare. This chimney is now superfluous. Due to its deteriorated condition and lack of utility, it will be removed entirely and the opening roofed over. This chimney represents a hazard to the neighboring building in the event of an earthquake.	\$5645.00
Gutters	All remaining redwood gutters are in an advanced state of decay and no longer functioning properly. In certain areas, they have been replaced with aluminum gutters which bear no aesthetic relationship to the original gutters. The gutters function as a principal molding of the cornice and cope into the crown molding at the rakes. Thus, they are important to the appearance of the exterior. All gutters will be replaced with new redwood gutters made to match the existing profile. These redwood gutters will then be lined with 20 oz copper and new copper downspouts will be attached at existing downspout locations. (see attached schematics)	\$22917.00
Soffits	Do to failing roofing and leaking gutters there are areas of damage to wooden soffit planks. These will be repaired or replaced in-kind as is most appropriate. Repairs will be done with high quality, marine epoxies and rot-resistant CPES. Replacements will be done in old growth material which meets or exceeds the quality of the original wood used.	\$5400.00
Moldings/ornaments	Missing or highly damaged ornaments and moldings will be replaced with exact	\$11010.00

201 Buchanan St. Certificate of Appropriateness Application

Rehabilitation Program (Application Pages 6a, 6b, 6c)

Chris Yerke, Restoration Workshop, Ltd. – March 15th, 2011

	replicas executed in high quality, old growth wood appropriate for exterior use. When feasible, damaged original ornament will be repaired with high quality, marine epoxies and rot-resistant CPES.	
Porch deck	The porch deck is not the original material. It is of modern plywood and leaks profusely. A surface membrane and proper flashing will be installed to provide a proper seal and arrest further deterioration.	\$4400.00
Siding, Non-historic Addition	The non-historic addition and rear fence (ca. 1970) was sided in T1-11 sheet siding, improperly hung sideways. This siding is now in an advanced state of decay and must be replaced. This siding is to be removed and replaced with fiber cement or wood lap siding.	\$11360.00
Double Hung Window sashes	The majority of the double hung windows on the east and south faces of the house are inoperable, either painted or nailed shut. They suffer from rot, failing joints, failing glazing and distortion of stiles and rails. Second floor windows in the dormers and gable ends are relatively protected and can possibly be restored. The bulk of windows on the basement and first floors are beyond their useful life and must be replaced. Cost to restore exceeds cost to replace in all cases. These windows are to be replaced with exact copies made in African mahogany for a longer life expectancy. Profiles and glass sizes will be preserved in all new windows. Single glazing will be used for greater life and to maintain the historic look of the house. All sashes will be thoroughly gasketed at sides, top, and bottom using replaceable, kerf-in brush weather stripping to limit air infiltration and increase heating efficiency. This work will be executed as budget allows, in groups over the 10 year period of the rehabilitation plan.	\$38304.00
Fence	The original steel fence is covered in failing paint, has suffered damage and improper repairs, and needs a thorough cleaning down to bare metal. In most cases, the underlying metal is sound, if rusty. The fence will be professionally removed and taken away for sandblasting with the gentlest feasible aggregate. In this way it will be possible to get into highly recessed areas and areas impossible to reach when the fence is installed. Repairs will then be executed. Once repairs are complete, the fence will be primed with two part epoxy metal primer and reinstalled at the site, taking care to slightly elevate the fence in areas where the lower rail is currently sitting directly on grade. It will then be repainted with an appropriate acrylic top coat. New gates will be fabricated to replace the long-missing main gates. If possible, missing cast-iron finials will be found to replace missing post finials.	\$13223.00

Recreation of missing original ornament from historic photos

Balconies at southeast and southwest corners of sunroom, South Elevation. Visible in 1921 DPW photograph. (separate building permit)	Recreate missing balconies by reverse engineering from the photograph. Emphasis will be on closely matching the appearance of the originals while greatly improving the engineering and waterproofing by marrying traditional craft with modern materials and techniques. Plans subject to departmental review before issuance of building permit.	TBD
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201 Buchanan St. Certificate of Appropriateness Application

Rehabilitation Program (Application Pages 6a, 6b, 6c)

Chris Yerke, Restoration Workshop, Ltd. – March 15th, 2011

<p>Jib doors opening from parlors to the balconies (separate building permit)</p>	<p>Recreate the jib doors that opened from the parlors to the balconies. Both of the south facing parlor windows which opened upon the balconies where originally jib doors. They have false head jambs which allow the inner sash to recede upwards into the wall cavity. They both have the apron area below the sash completely rebuilt with incorrect later materials, and the historic photograph shows additional evidence that these were jib doors in which the apron portion below the sash was actually a part of the sash, and raised with it creating, in effect a hidden door. These were not uncommon in the period for use to access an exterior porch when, for reasons of symmetry, a window was preferred to that having an actual door.</p>	<p>TBD</p>
<p>Gable Finials and Metal Ridge Cap Visible in 1921 DPW photograph. (separate building permit)</p>	<p>Recreate missing Gable tip finials, closely matching the form shown in the photos, but engineering for long term durability. This historic photo shows quite clearly the existence of 6 gable tip finials. It is logical to surmise that there were three more on the gables not visible in the photo. There would have been a finial on the tower as well, although the top of the tower is not included in the photo.</p> <p>Also visible in the photo is a metal ridge cap on all ridges of the roof. We would like to recreate this detail as it adds to the period charm of the house and fits with the finials.</p>	<p>TBD</p>

201 Buchanan St. Mills Act Application

Maintenance Plan (Application Page 6c and 6d)

Chris Yerke, Restoration Workshop, Ltd. - March, 10th 2011

EXHIBIT B

APPLICATION No. _____

PLANS DATED: _____

PLANNING DEPARTMENT

The maintenance plan for 201 Buchanan St. involves both a cycle of readily performed annual inspections and maintenance and a longer major maintenance cycle to be performed at painting intervals of approximately 15 years when scaffolding is in place.

Annual inspection of all accessible features should be performed each year, following the winter rains in May or June. This inspection should encompass all readily accessible/visible areas of the exterior, with emphasis on the most vulnerable locations. The inspection should be followed by recommended maintenance to be completed before the following winter rainy season.

Exterior

Wood sheathing, millwork and ornaments

Inspect: Annually, best done after end of rainy season.

Annual: Spot prime, paint and caulk as necessary to protect all readily accessible joinery and wood surfaces as necessary.

Long Term: Approximately every 15 years, replace or repair millwork, prep and repaint building.

Sheet metal

Inspect: Annually

Annual: Replace any loose nails, and repair any solder joints damaged by cycles of expansion and contraction, on all readily accessible sheet metal surfaces. Visually inspect gutters for blockage or damage. Inspect downspouts for proper function.

Long Term: Exhaustive inspection of all sheet metal surfaces, including gutter lining concurrent with major painting and maintenance intervals. Repair as necessary.

Glazing

Inspect: Annually

Annual: Maintain as necessary, checking for signs of moisture infiltration.

Doors

Inspect: Annually

Maintain: Inspect all exterior doors for proper seal and function. Replace/adjust hardware as necessary.

Roof

Inspect: Approximately every 15 years with major maintenance cycle.

Maintain: As required.

201 Buchanan St. Mills Act Application

Maintenance Plan (Application Page 6c and 6d)

Chris Yerke, Restoration Workshop, Ltd. - March, 10th 2011

Gutters, Downspouts and Drainage

Inspect: Annually during rains.

Maintain: Repair if needed.

Exposed Foundation

Inspect: Annually for cracks/settling

Maintain: No routine maintenance required.

14.0359 A

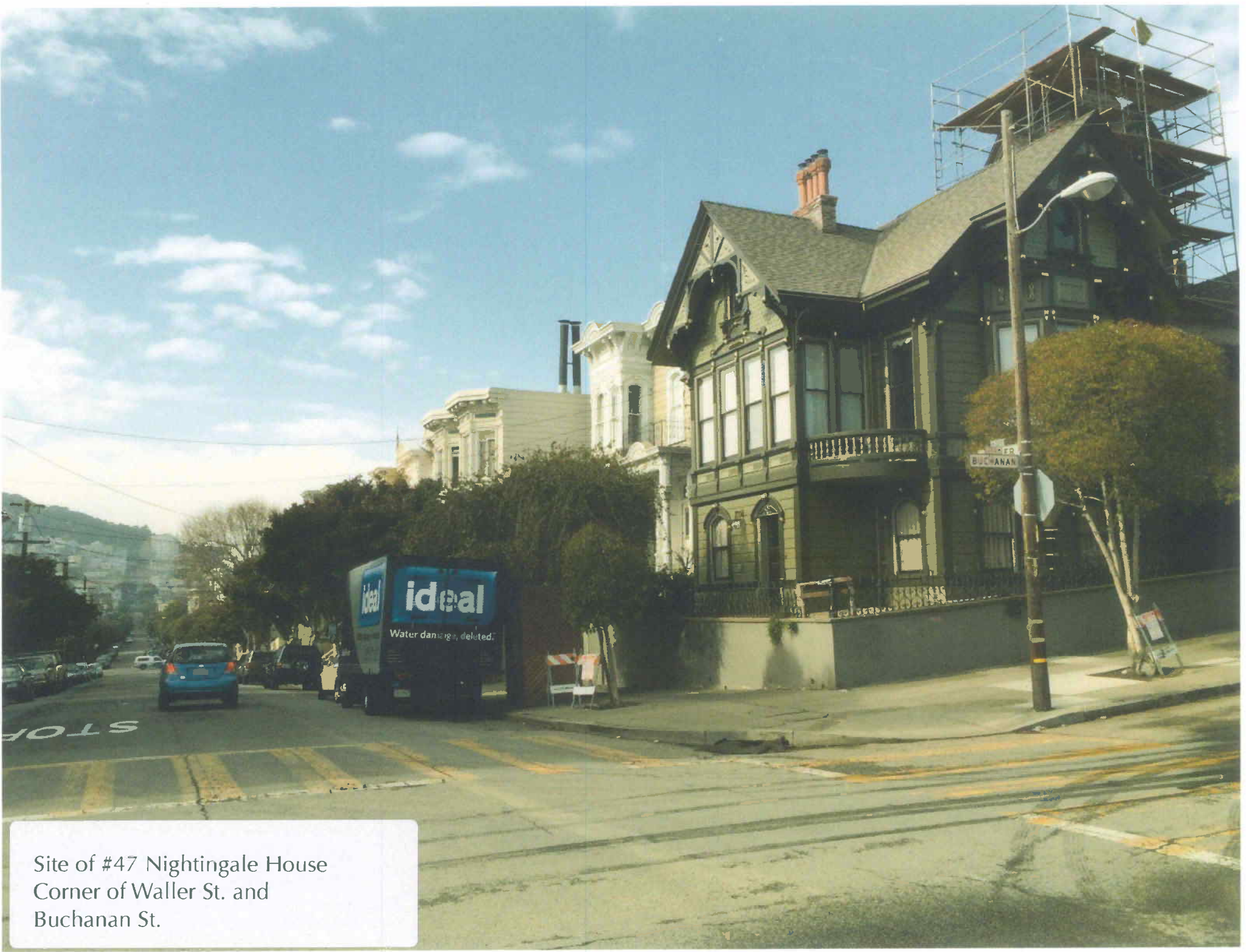


7369

11-14-21



Corner of Laussat st. and Buchanan st. Looking South down Buchanan.

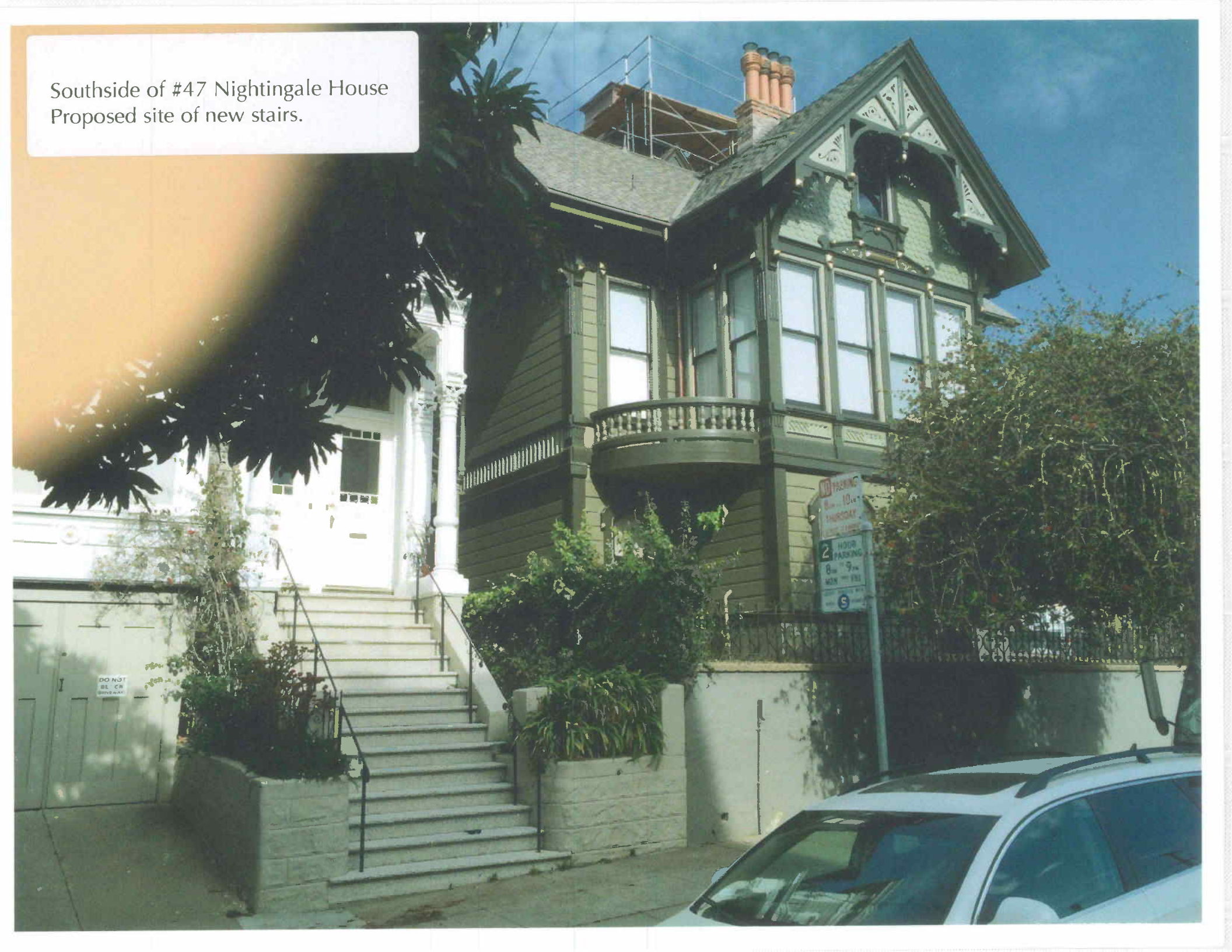


Site of #47 Nightingale House
Corner of Waller St. and
Buchanan St.



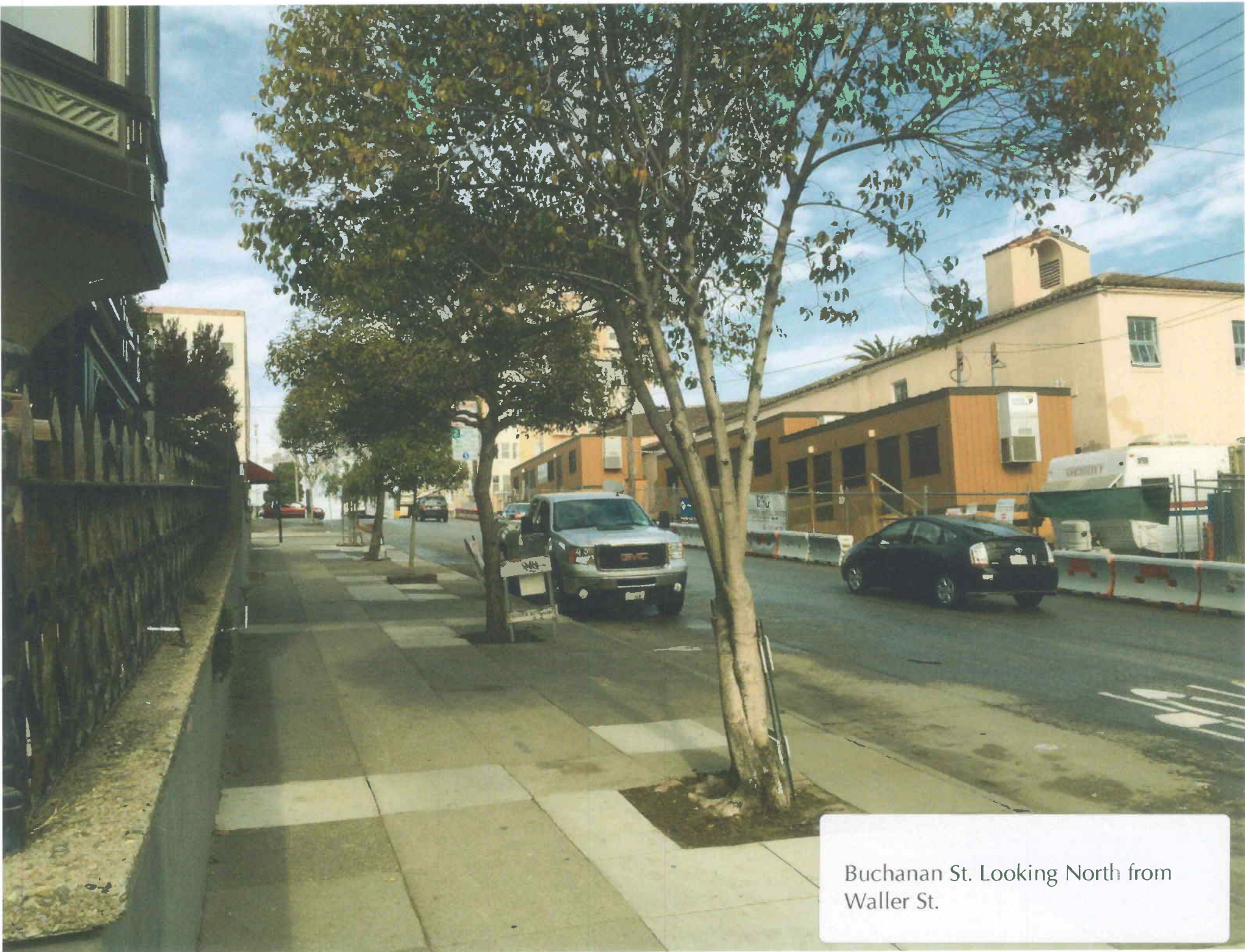
Looking South down the corner of
Waller St. and Buchanan St.

Southside of #47 Nightingale House
Proposed site of new stairs.

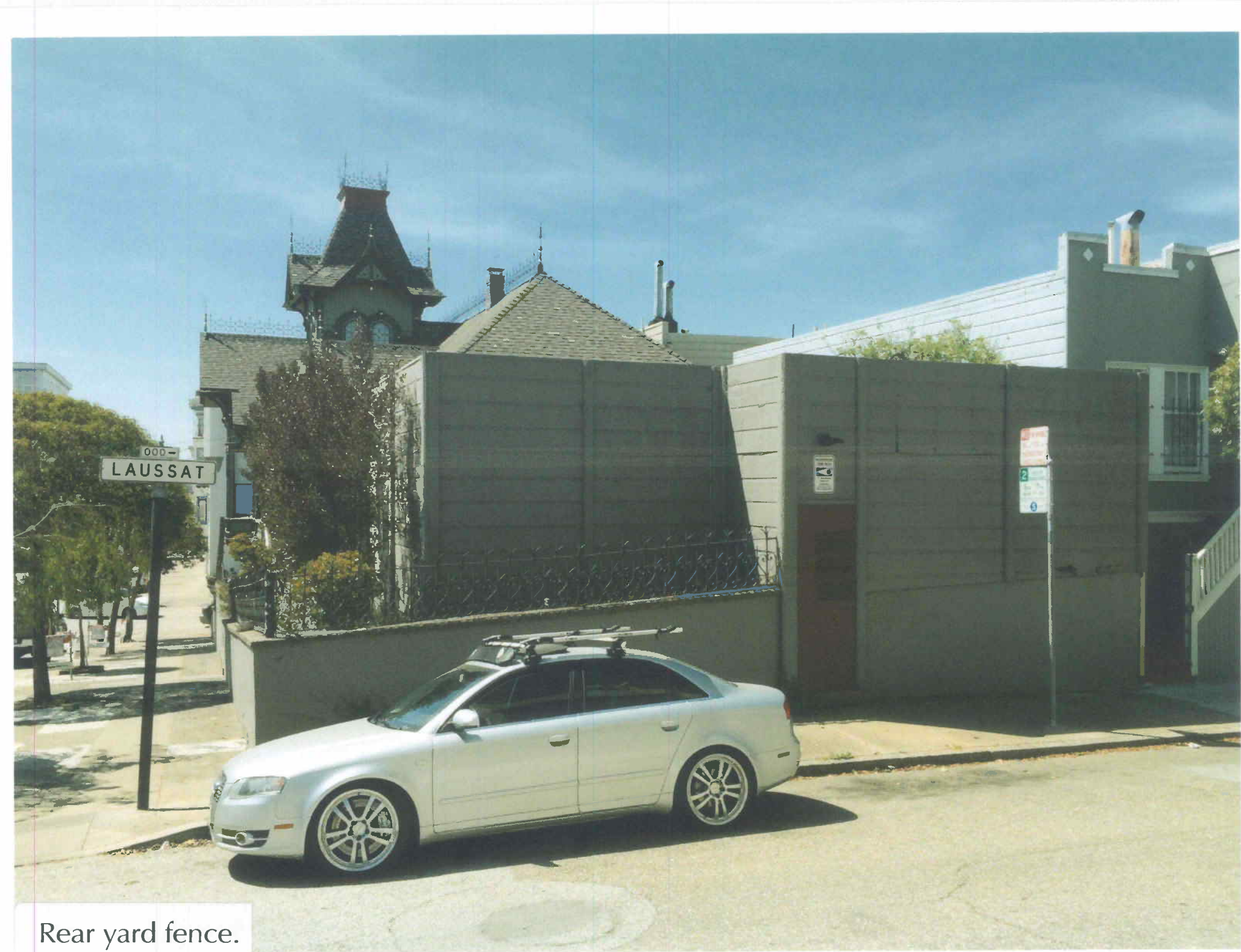




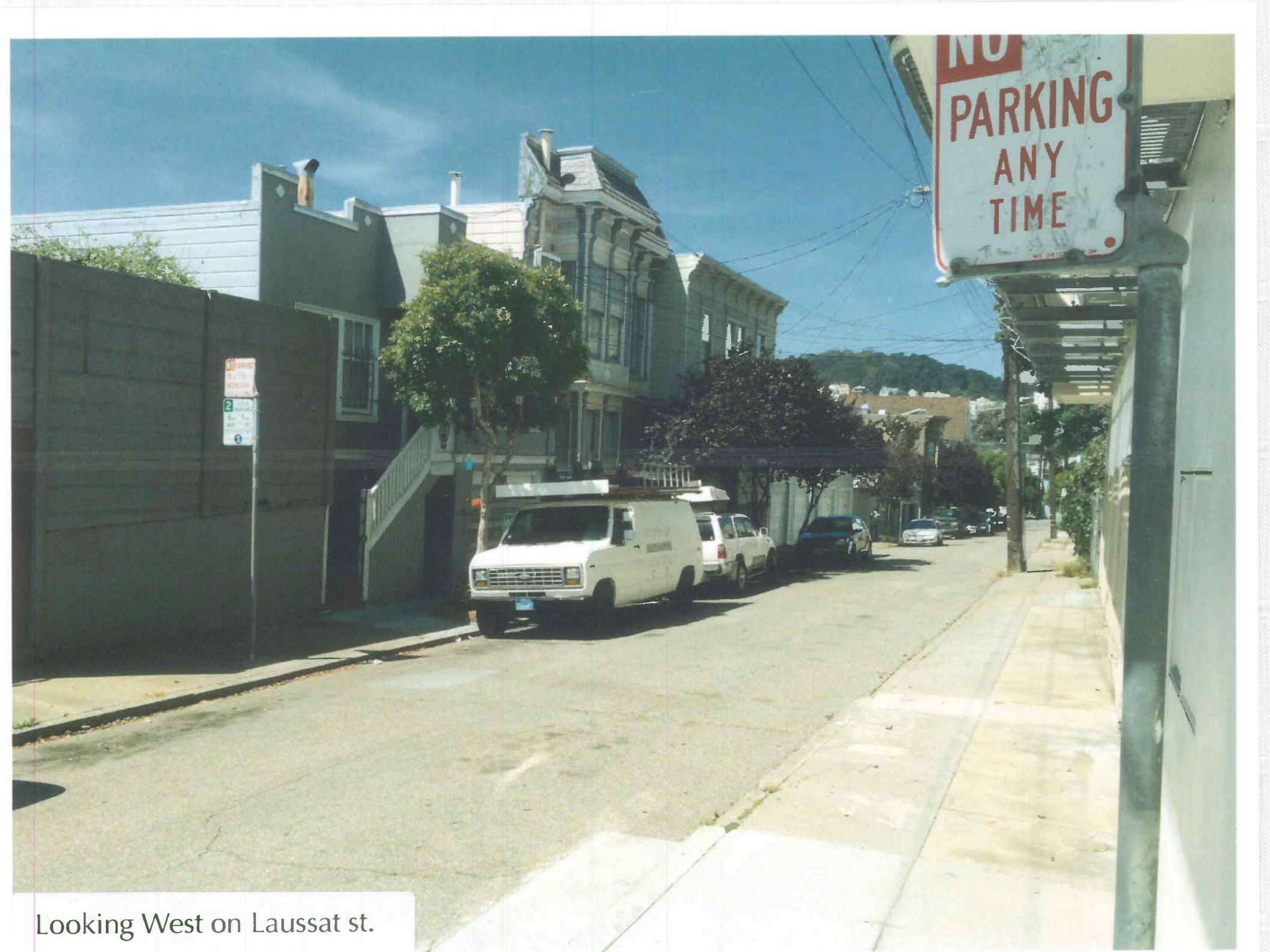
Southside of #47 Nightingale House
Proposed site of new stairs.



Buchanan St. Looking North from Waller St.

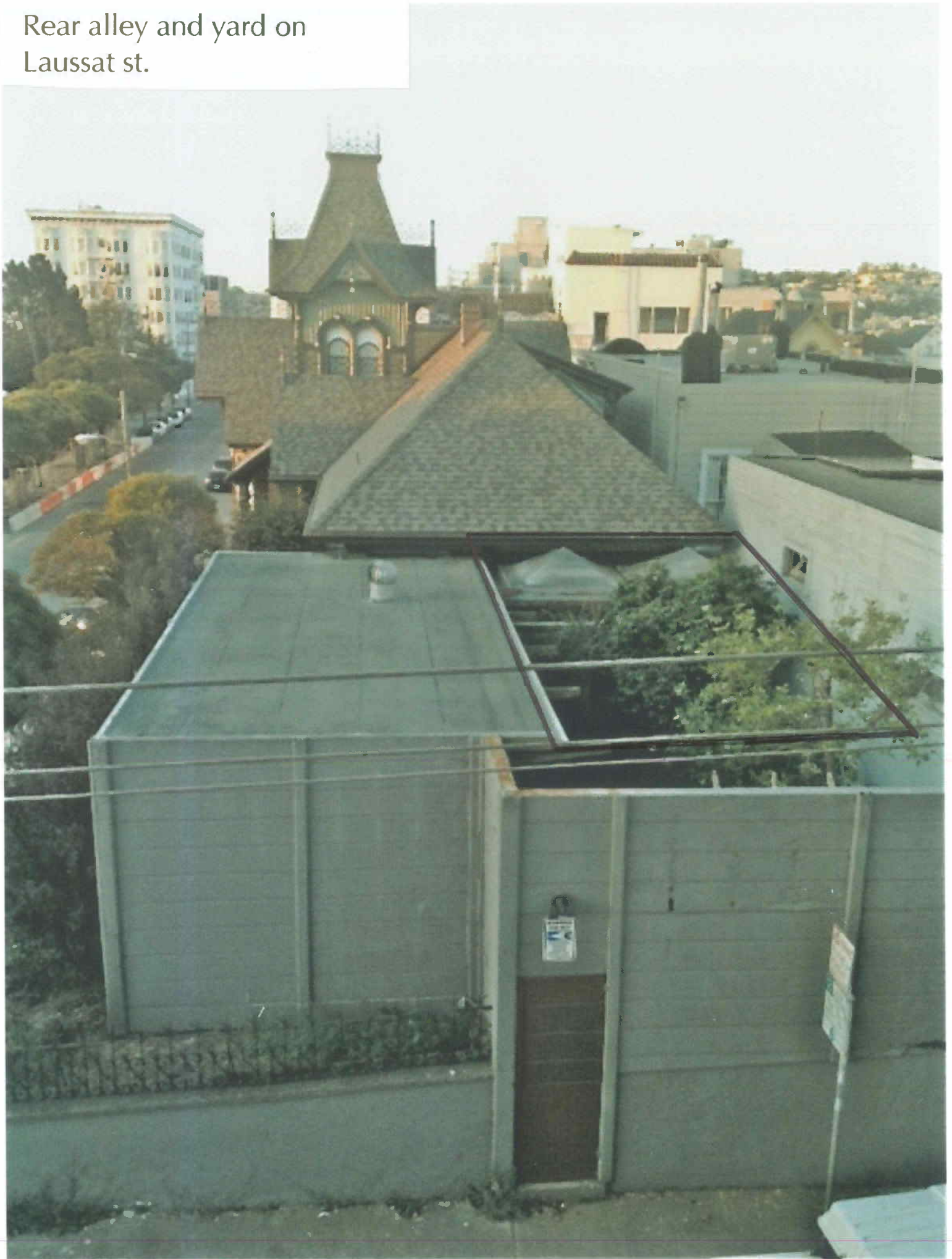


Rear yard fence.



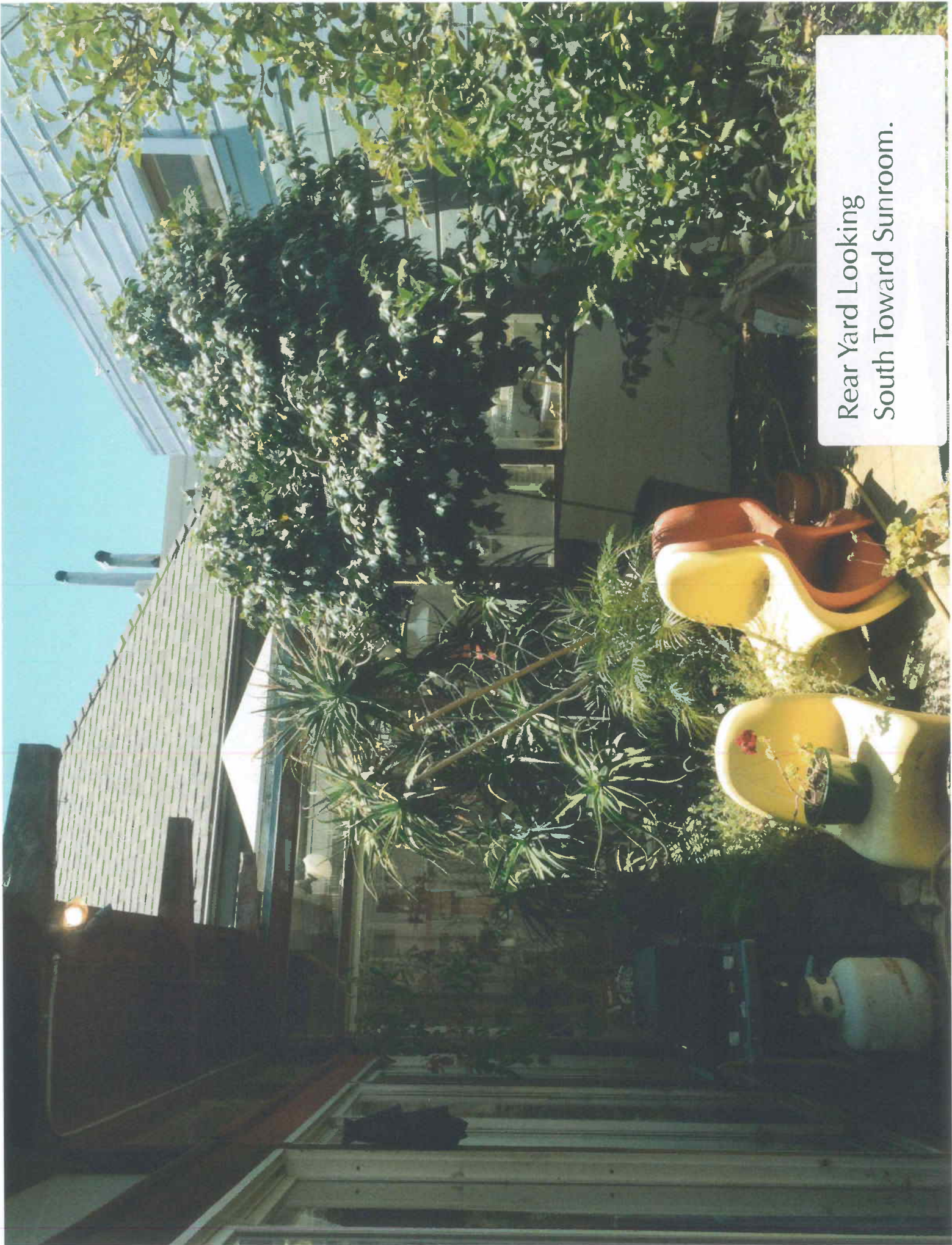
Looking West on Laussat st.

Rear alley and yard on
Laussat st.

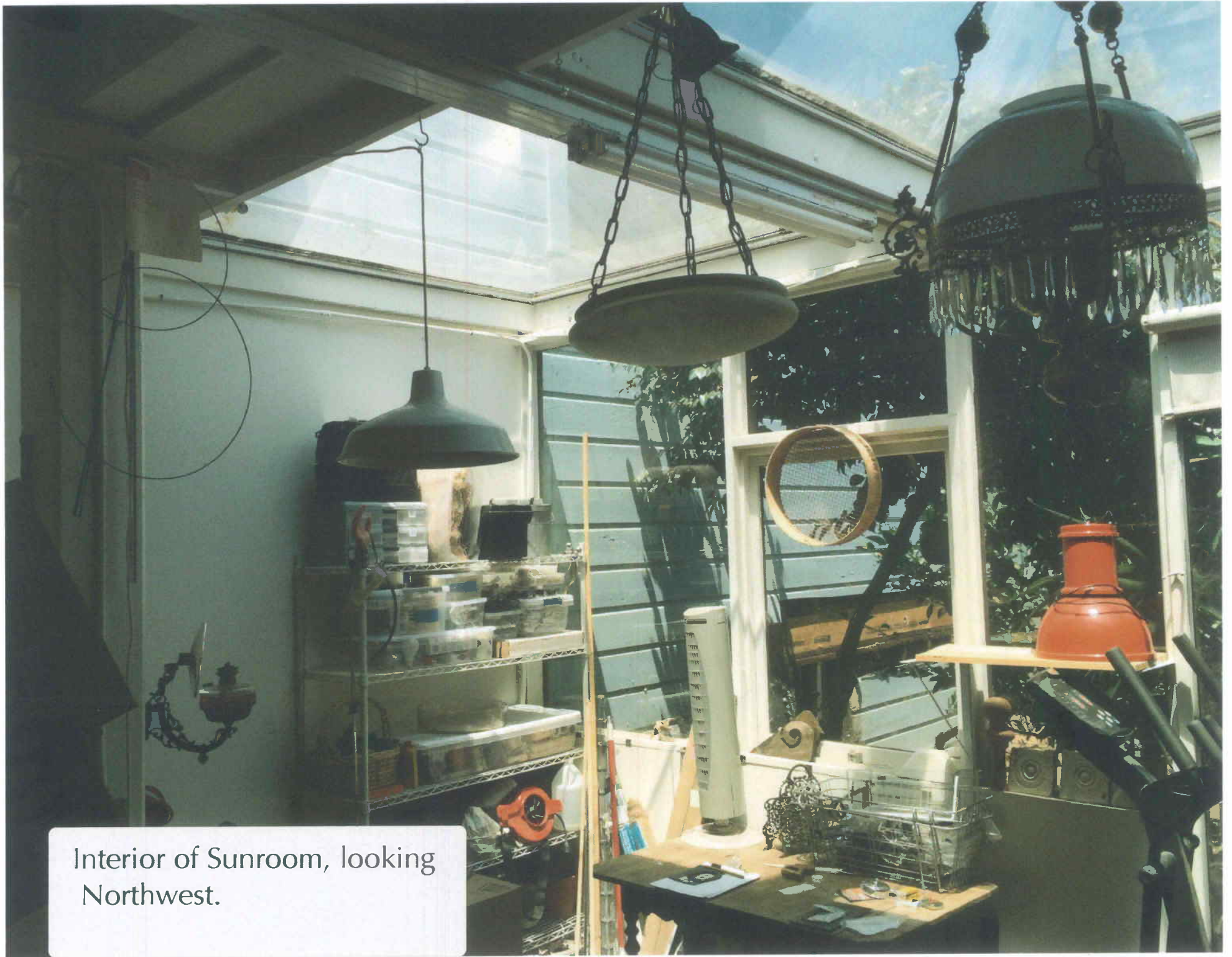




Rear yard looking at conservatory.



Rear Yard Looking
South Toward Sunroom.



Interior of Sunroom, looking Northwest.



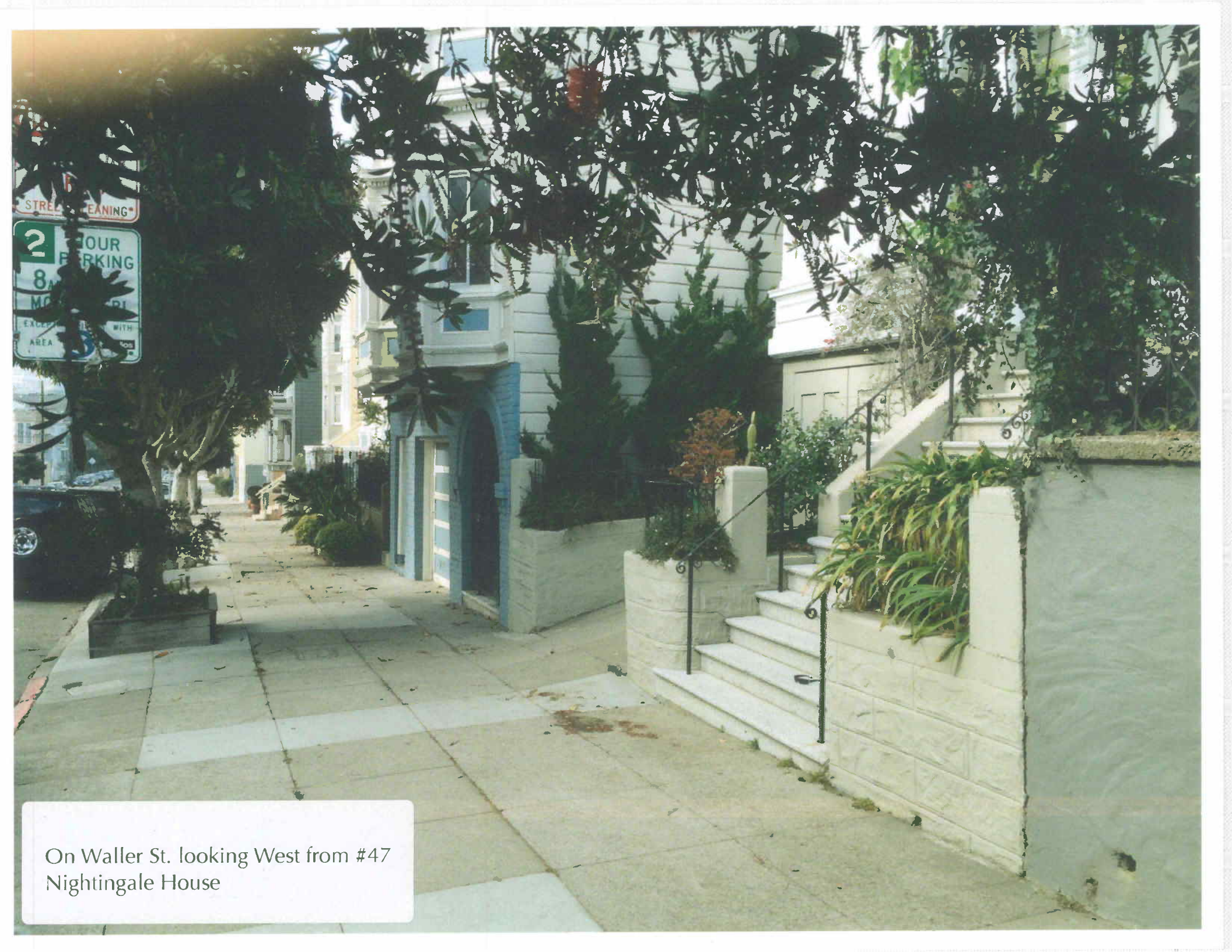
Interior of Sunroom, looking
Northeast.



Proposed Skylight.



Panoramic view of Waller St. block
between Buchanan St. and Webster St.



On Waller St. looking West from #47
Nightingale House



Looking West down Waller St. from Buchanan St.



Buchanan St. looking South from #47
Nightingale House



Proposed Stair Rendering.



REVISIONS	BY

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BLOCK 0858 LOT 002
 201 BUCHANAN STREET
 SAN FRANCISCO, CALIFORNIA

PARTIAL FOUNDATION
 REPLACEMENT

Date: 05-20-13
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 201B
 Sheet: **A1**
 Of Sheet

BUILDING DATA:

ADDRESS: 201 BUCHANAN STREET
 SAN FRANCISCO, CA
 STORIES: 2 STORIES
 OCCUPANCY: TWO FAMILY DWELLING
 TYPE: SB
 ZONING: RTD
 BLOCK: 0858 LOT: 002

INDEX:

- A1. SITE & LOCATION PLAN
- A2. PHOTO OF BUILDING AND WALL
- S1. RENDERING AND GROUND FLOOR STAIR PLAN
- S2. STAIR PLAN AND ELEVATIONS

SCOPE OF WORK:

* NEW FRONT CONCRETE STAIR

STRUCTURAL NOTES

1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM WITH REQUIREMENTS OF THE 2010 EDITION OF CALIFORNIA BUILDING CODE VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT JOB SITE.
2. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEW IF NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, PROVIDED SHORING WHERE REQUIRED.
3. FOUNDATION: EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAR LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. ALL FOUNDATIONS SHALL BE POURED IN NEAR EXCAVATIONS WITHOUT THE USE OF SIDE FORMS WHEREVER POSSIBLE. ALL EXCAVATIONS, FORMS AND REINFORCING ARE TO BE INSPECTED BY THE LOCAL BUILDING INSPECTOR PRIOR TO PLACING CONCRETE.
4. CONCRETE:
 - A. CONCRETE FOR ALL SLABS AND FOOTINGS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
 - B. MINIMUM CEMENT CONTENT SHALL BE 55 SACKS PER CUBIC YARD.
 - C. MAXIMUM AGGREGATE SIZE SHALL BE 1 1/2". MAXIMUM SLUMP SHALL BE 4".
5. REINFORCING STEEL: SHALL BE DEFORMED BARS OF BILLET OR AXLE STEEL, GRADE 40, PER ASTM A 615 GRADE 60 FOR #5 OR LARGER.
6. CONCRETE SLAB ON GRADE:
 - A. SUB-BASE SHAPE SHALL CONSIST OF 6" LAYER OF CRUSHED ROCK, GRAVEL, OR OTHER APPROVED GRANULAR MATERIAL.
 - B. SLAB REINFORCEMENT SHALL CONSIST OF #4 AT 16 INCHES ON CENTER EACH WAY.
7. PLYWOOD:
 - A. ROOF SHALL BE 1 1/8" CDX TONGUE AND GROOVED APA PLYWOOD NAILING AS SHOWN ON PLAN.
 - B. FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVED CDX APA PLYWOOD NAILING AS SHOWN ON PLAN.
 - C. WALL PLYWOOD SHALL BE 1/2" CDX STRUCTURAL 1, 5 PLY NAILING AS SHOWN ON PLAN.
8. LUMBER:
 - A. SILLS-FOUNDATION GRADE REDWOOD OR TREATED DOUGLAS FIR.
 - B. STRUCTURAL JOISTS, PLANKS AND STRINGERS-DOUGLAS FIR NO. 2. ALL NAILING SHALL BE PER BUILDING CODE TABLE NO 25-C EXCEPT SO NOTED OTHERWISE.
 - C. ALL CONNECTIONS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE MADE WITH SIMPSON STANDARD FASTENERS.
 - D. MULTIPLE JOISTS AND STUDS, WITH 160 AT 16" O.C. STAG AT EACH MEMBER.

ABBREVIATIONS

A/C	AIR CONDITIONING	FIN.	FINISH
ADJ.	ADJUSTABLE	FL.	FLOOR
A.F.F.	ABOVE FINISH FLR.	FLOOR.	FLOURESCENT
ALUM.	ALUMINUM	F.O.F.	FACE OF FINISH
ALT.	ALTERNATE	F.O.S.	FACE OF STUD
APPROX.	APPROXIMATELY	GA.	GAUGE
ARCH.	ARCHITECTURAL	G.C.	GEN. CONTRACTOR
BLDG.	BUILDING	GYP. BD.	GYPSUM BOARD
BLKG.	BLOCKING	H.B.	HOSE BIB
BM.	BEAM	H.C.	HANDICAP
CAB.	CABINET	HDWR.	HARDWARE
CAR.	COLD AIR RETURN	HP	HIGH POINT
CL.	CENTER LINE	H.W.	HOT WATER
CLG.	CEILING	INSUL.	INSULATION
CLOS.	CLOSET	INT.	INTERIOR
CLR.	CLEAR	L.P.	LOW POINT
COL.	COLUMN	MECH.	MECHANICAL
CONC.	CONCRETE	MTL.	METAL
CONST.	CONSTRUCTION	(N)	NEW
C.T.	CERAMIC TILE	N.I.C.	NOT IN CONTRACT
CTR.	CENTER	NO.	NUMBER
DET.	DETAIL	O.C.	ON CENTER
D.F.	DRINKING FOUNTAIN	OPP.	OPPOSITE
DIA.	DIAMETER	P-LAM	PLASTIC LAMINATE
DN.	DOWN	PLYWD.	PLYWOOD
DR.	DOOR	R.D.	ROOF DRAIN
D/S	DOWN SPOUT	R.O.	ROUGH OPENING
DWG.	DRAWING	S.C.	SOLID CORE
(E)	EXISTING	STOR.	STORAGE
EA.	EACH	SHT.	SHEET
EL.	ELEVATION	T + G	TONGUE & GROOVE
ELEC.	ELECTRICAL	TYP.	TYPICAL
EQ.	EQUAL	U.O.N.	UNLESS OTHERWISE NOTED
EQUIP.	EQUIPMENT	WD.	WOOD
EXP.	EXPANSION	W.P.	WATERPROOF
EXPOS.	EXPOSED		
EXT.	EXTERIOR		
F.D.	FLOOR DRAIN		

REMODELING NOTES

1. CONTRACTOR TO PAINT INTERIOR OF ALL WORK, WHERE WORK IS PERFORMED.
2. PATCH ALL EXISTING WALLS, CEILINGS, AND FLOORS WHERE ADJACENT DEMOLITION, ELECTRICAL, PLUMBING, OR MECHANICAL REMOVAL OCCURS, NEW FINISHES TO MATCH EXISTING.
3. NEW ELECTRICAL AND MECHANICAL WORK SHOWN ON PLANS REPRESENTS MINIMUM REQUIRED; UTILIZE ALL EXISTING OUTLETS, LIGHT FIXTURES, ETC. IN COMBINATION WITH NEW, TO PROVIDE THE ELECTRICAL WORK AS SHOWN ON PLANS.
4. STUB OFF AND RE-ROUTE ALL PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS AS REQUIRED TO COMPLETE THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AT SITE FOR DEMOLITION AND NEW CONSTRUCTION.
6. CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES AS REQUIRED.

SPECIAL INSPECTION AND TESTS REQUIRED AS PER BUILDING CODE SECTIONS 1701.1703, 1704. SUBMIT REPORTS TO THE DEPARTMENT OF BUILDING INSPECTION FOR FOLLOWING:

1. FOUNDATION, REINFORCING STEEL
2. CONCRETE CONSTRUCTION

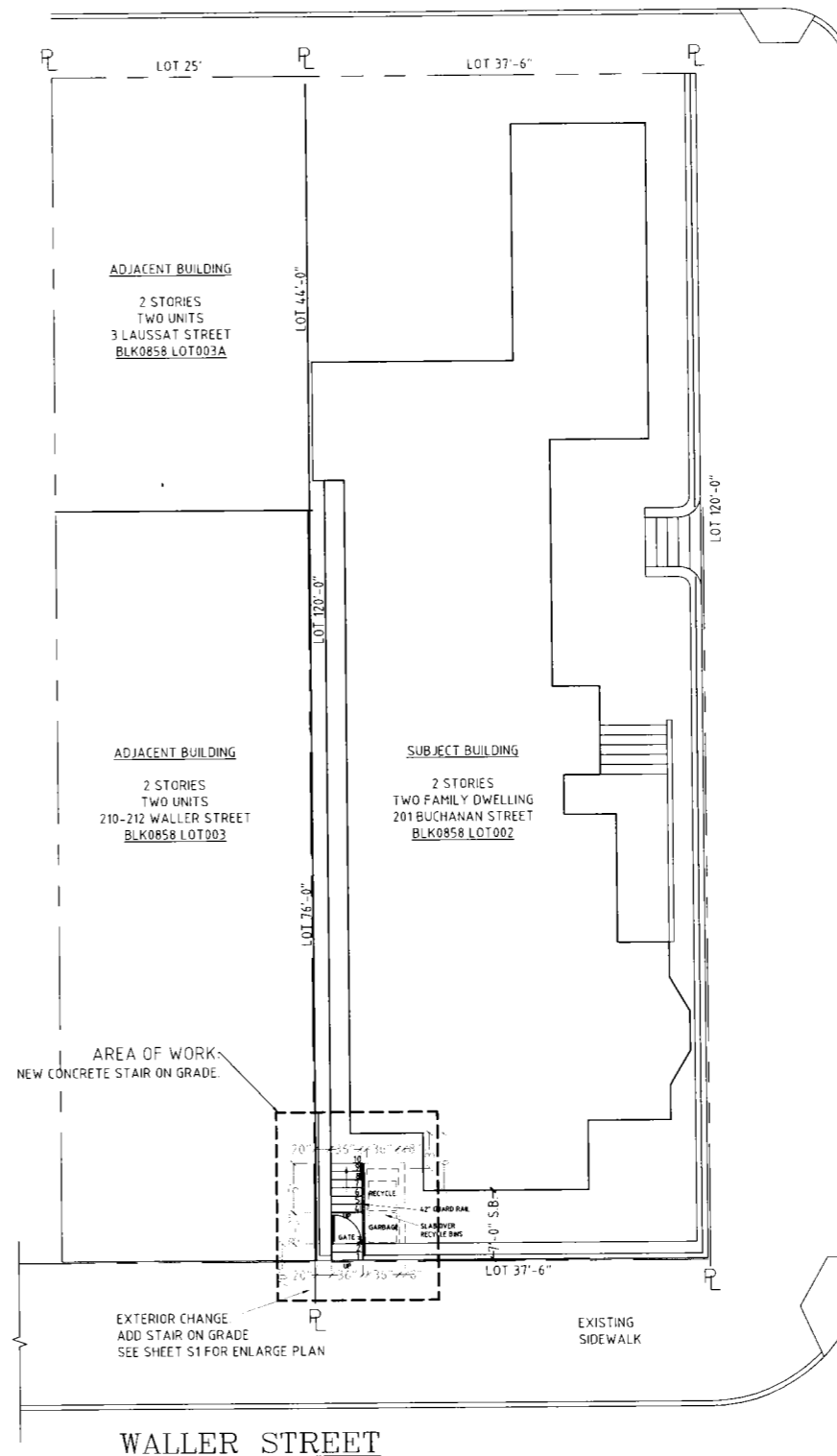
DEMOLITION NOTE:

ALTERATION IS NOT TO EXCEED THE SCOPE OF DEMOLITION DESCRIBED IN THESE PLANS. A SEPARATE AND ADDITIONAL PERMIT IS REQUIRED TO REPAIR DRY-ROT OR FOR ANY ALTERATION WHICH EXCEEDS THE SCOPE OF DEMOLITION DESCRIBED IN THESE PLANS.

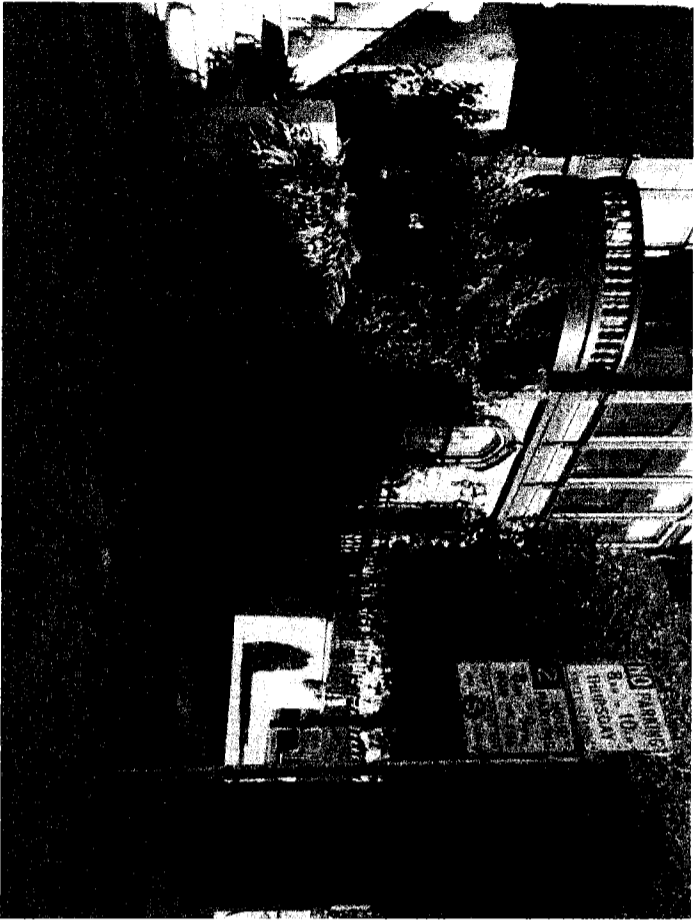
BY USE OF THESE PLANS THE OWNER AND THE GENERAL CONTRACTOR HAVE AGREED TO INDEMNIFY THE ENGINEER FOR ALL LEGAL COST ASSOCIATED WITH ANY OWNER AND CONTRACTOR DISPUTES AND HOLD ENGINEER HARMLESS. THE ENGINEER'S LIABILITY IS LIMITED TO FEES RECEIVED FOR SERVICES RENDERED.

CODE REQ. ALL CONSTRUCTION WORK SHALL COMPLY WITH THE 2010 CALIFORNIA RESIDENTIAL CODE, 2010 CALIFORNIA BUILDING CODE (CBC), 2010 CALIFORNIA PLUMBING CODE (CPC), 2010 CALIFORNIA MECHANICAL CODE (CMC), 2010 CALIFORNIA ELECTRICAL CODE (CEC), 2010 CALIFORNIA ENERGY CODE (2008 BUILDING ENERGY EFFICIENCY STANDARDS), 2010 CAL GREEN BUILDING CODE STANDARDS, 2010 CALIFORNIA FIRE CODE, AND 2010 LOCAL BUILDING CODE.

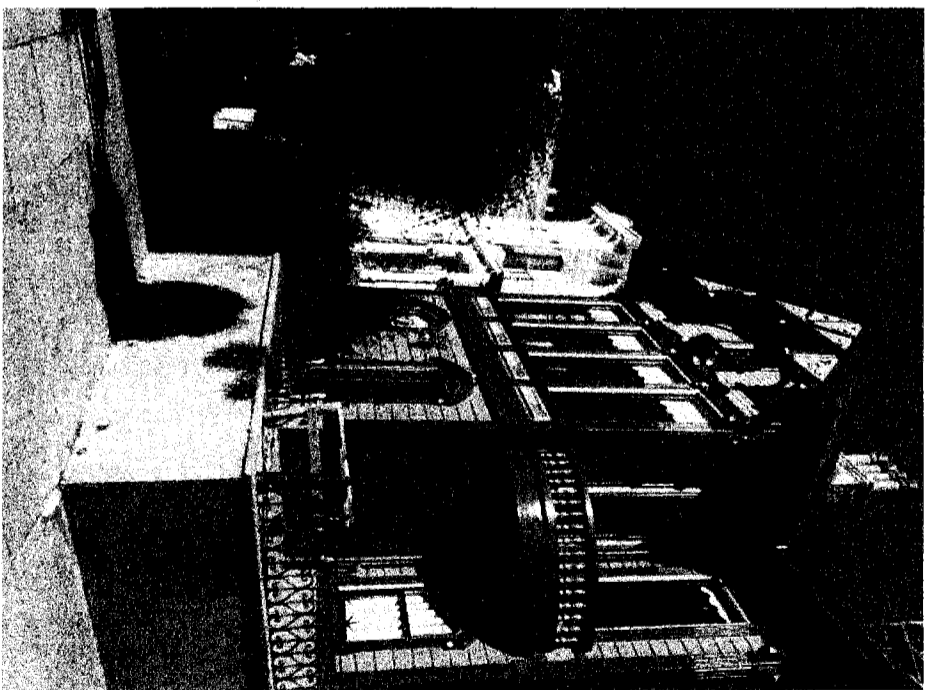
LAUSSAT STREET



SITE PLAN
 (1/8" = 1'-0")



EXISTING FRONT ELEVATION PHOTO AT STAIR



EXISTING FRONT ELEVATION PHOTO OF BUILDING

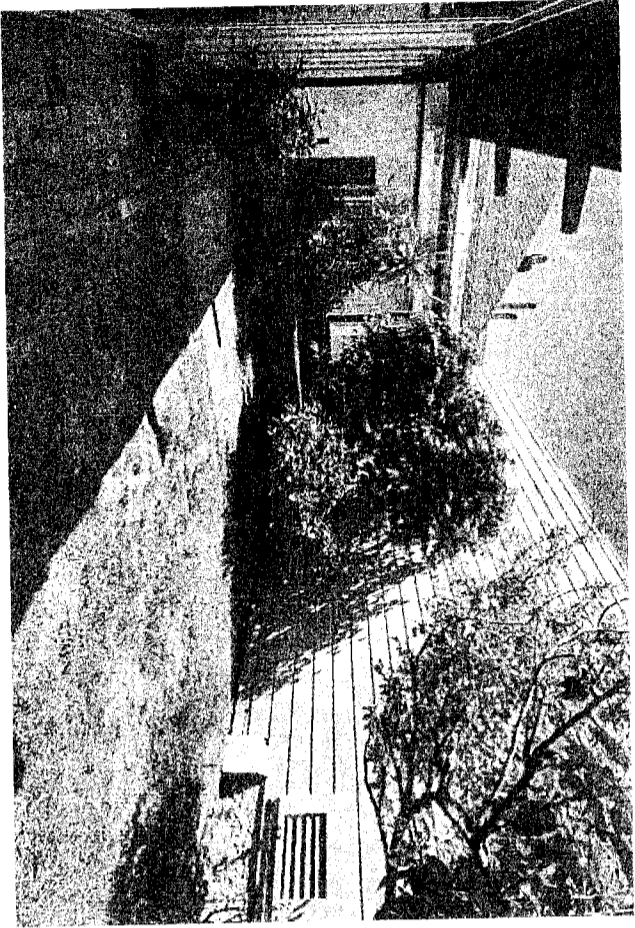
BLOCK 0858 LOT 002
 201 BUCHANNAN STREET
 SAN FRANCISCO, CALIFORNIA

HAWK N. LEE, P. E.
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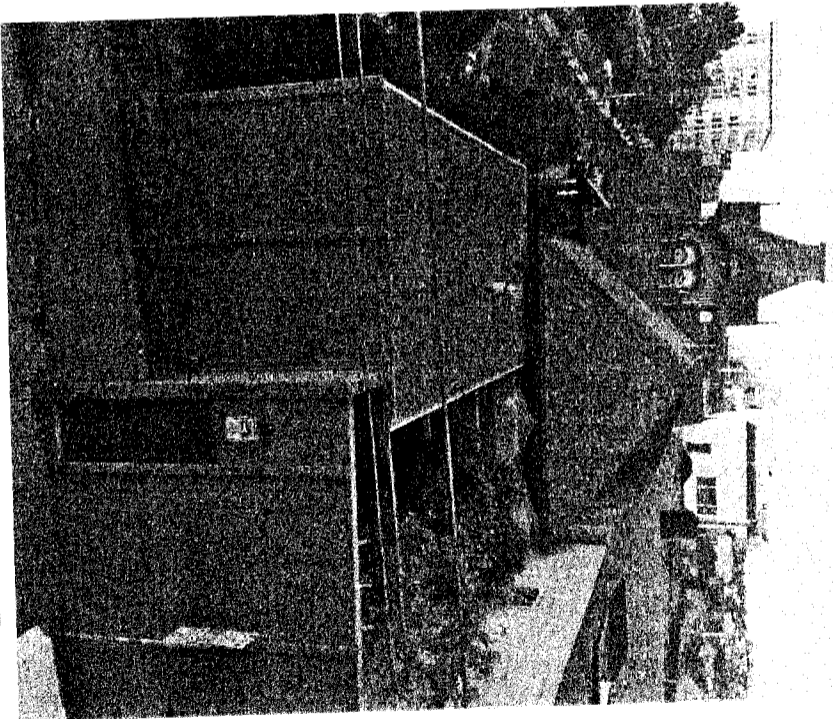
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STRUCTURAL PLAN

Date: 01-22-14
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 201B
 Sheet
 A2
 of
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EXISTING REAR YARD ELEVATION



EXISTING REAR YARD ELEVATION

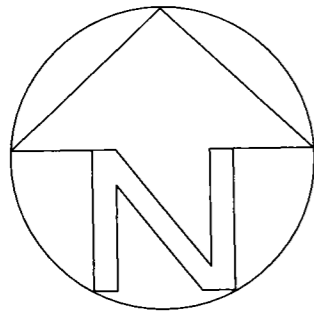
STRUCTURAL PLAN

BLOCK 0858 LOT 002
 201 BUCHANNAN STREET
 SAN FRANCISCO, CALIFORNIA

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Date: 07-22-14
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 201B

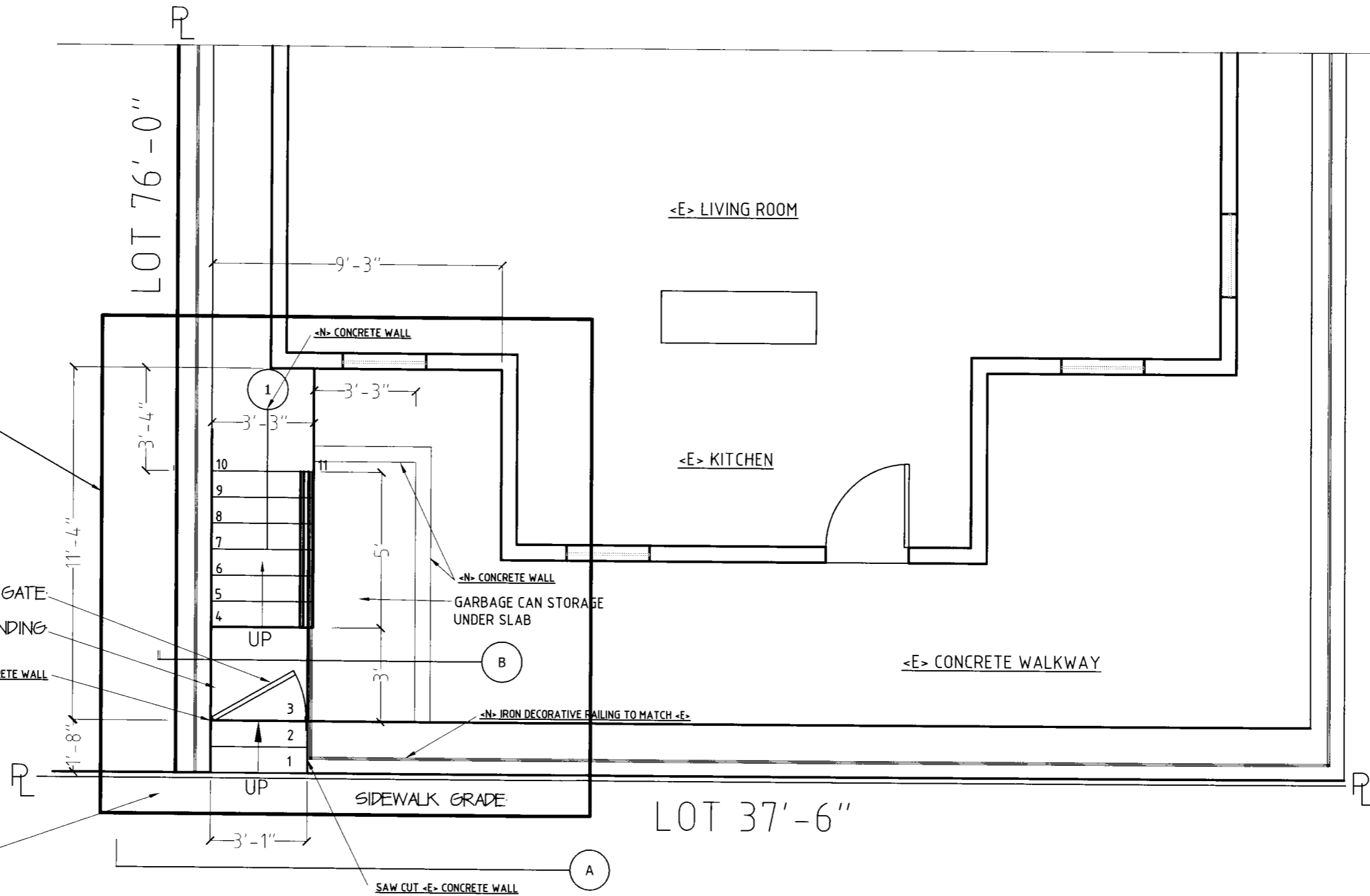
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 A3-A
 of
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AREA OF WORK:
NEW CONCRETE STAIR ON GRADE.

METAL IRON GATE
CONCRETE LANDING
SAW CUT -E- CONCRETE WALL

EXTERIOR CHANGE.
ADD NEW STAIR



EXISTING GROUND FLOOR STAIR PLAN

(1/4" = 1'-0")

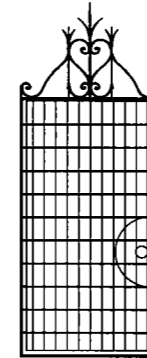
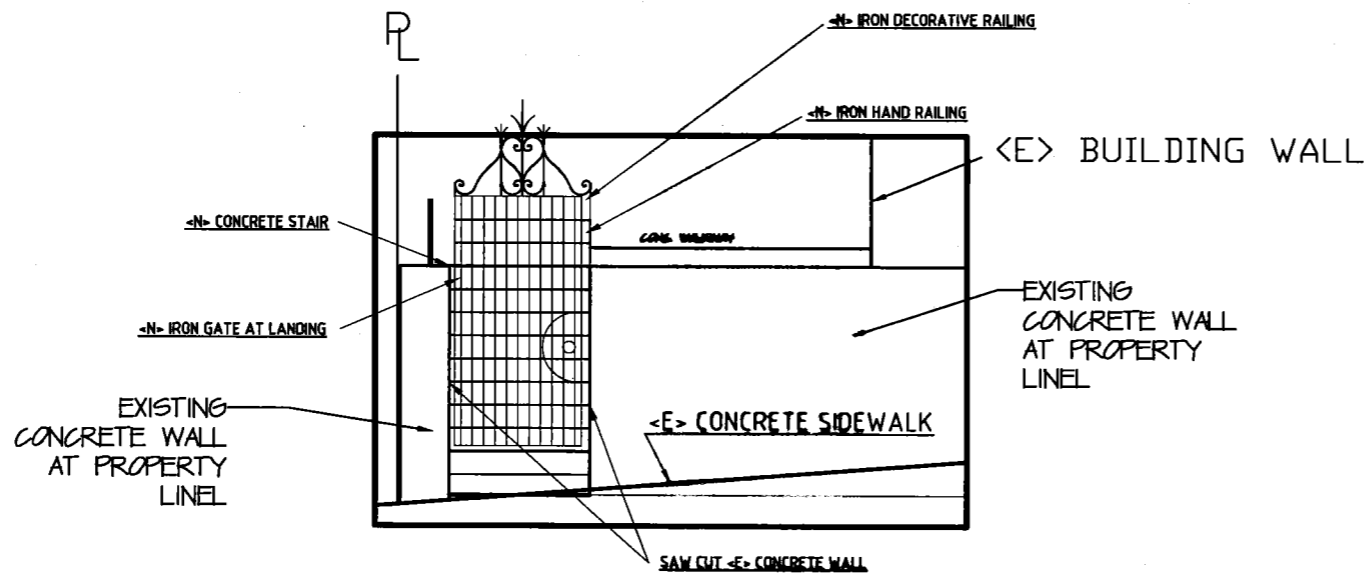
REVISIONS	BY

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BLOCK 0658 LOT 002
201 BUCHANNAN STREET
SAN FRANCISCO, CALIFORNIA

STRUCTURAL PLAN

Date:	05-20-13
Scale:	AS SHOWN
Drawn:	H. LEE
Job:	201B
Sheet	S1
Of	Sheet



<N> GARBAGE ROOM DOOR
(1/4" = 1'-0")

A

ELEVATION OF STAIRS AT FRONT
PROPERTY LINE

(1/4" = 1'-0")

REVISIONS	BY

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BLOCK 0856 LOT 002
201 BUCHANNAN STREET
SAN FRANCISCO, CALIFORNIA

STRUCTURAL PLAN

Date: 05-20-13

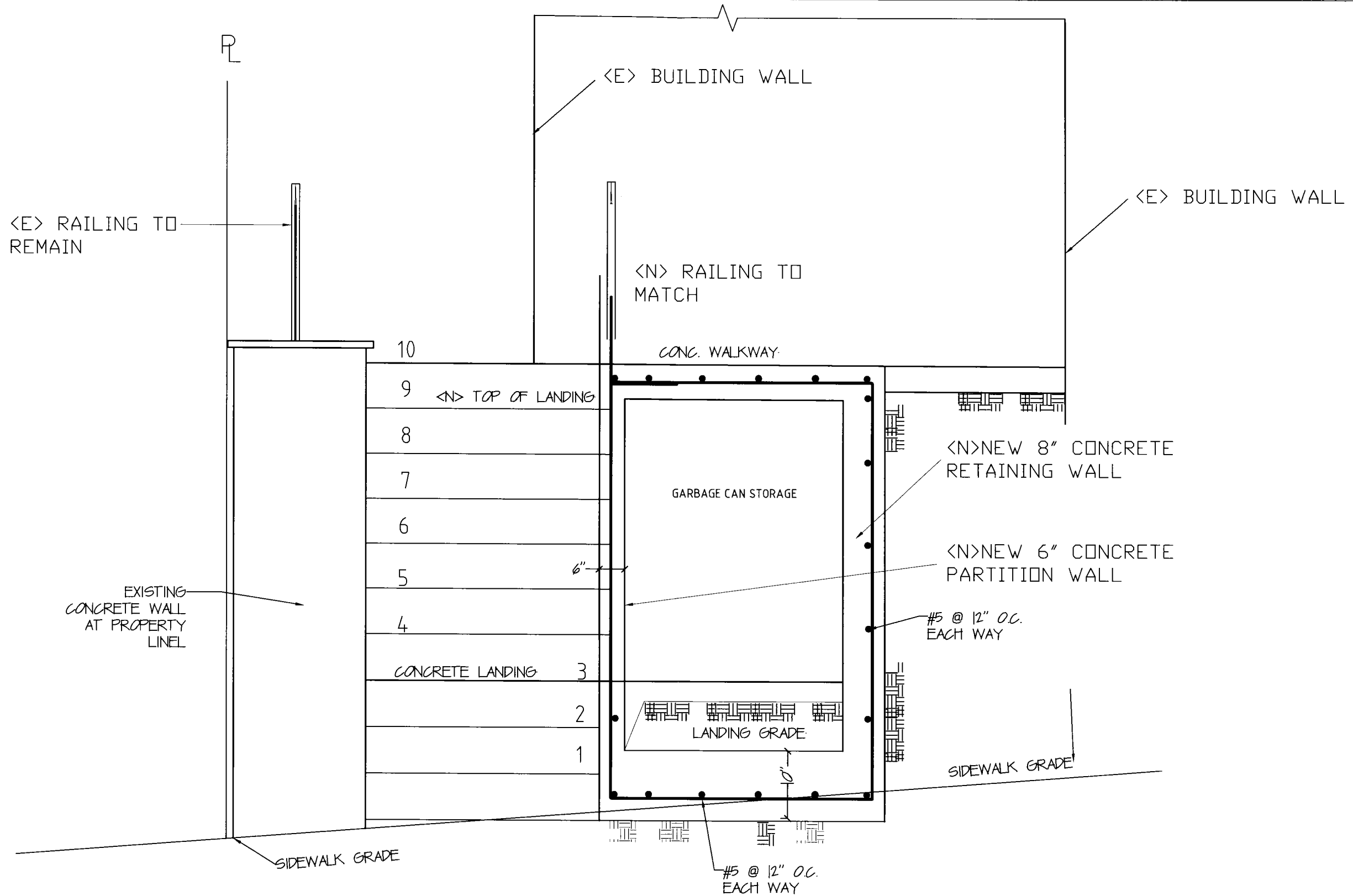
Scale: AS SHOWN

Drawn: H. LEE

Job: 201B

Sheet

Of 52 Sheet



B

RETAINING WALL SECTION AT STAIR

SCALE 3/4"=1'-0"

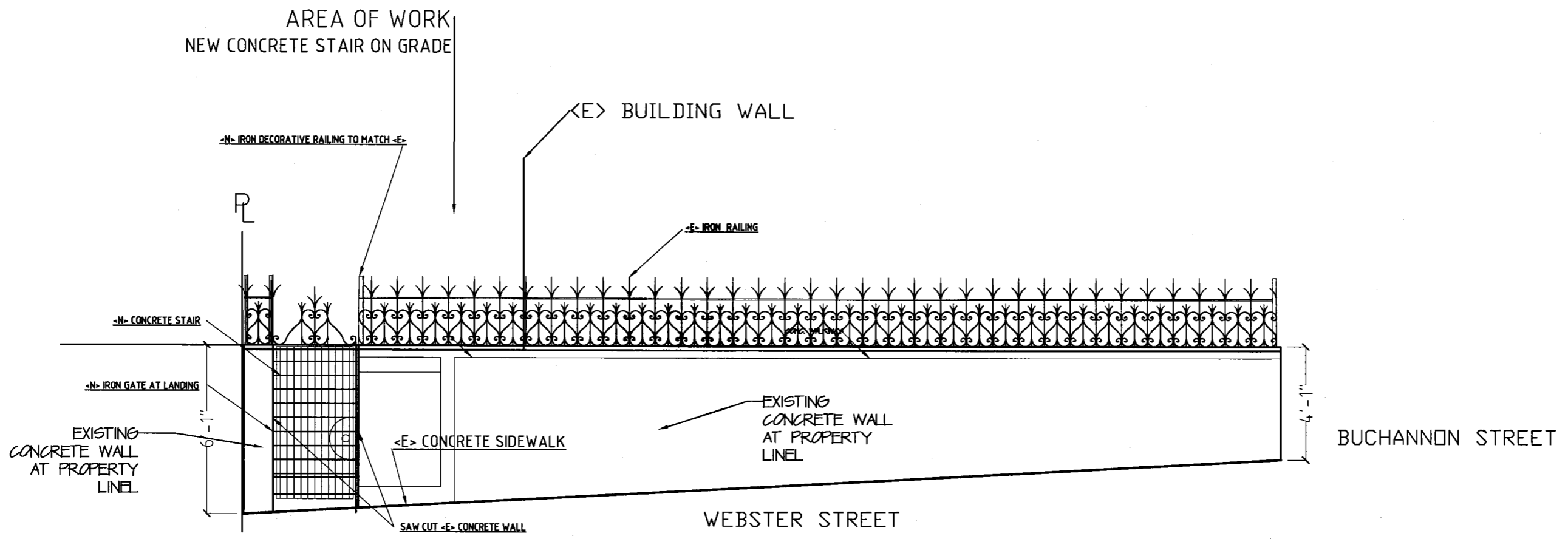
REVISIONS	BY

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BLOCK 0858 LOT 002
 201 BUCHANNAN STREET
 SAN FRANCISCO, CALIFORNIA

STRUCTURAL PLAN

Date: 05-20-13
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 201B
 Sheet
 Of 33 Sheet



C

ELEVATION OF STAIRS AT FRONT PROPERTY LINE

(1/4" = 1'-0")

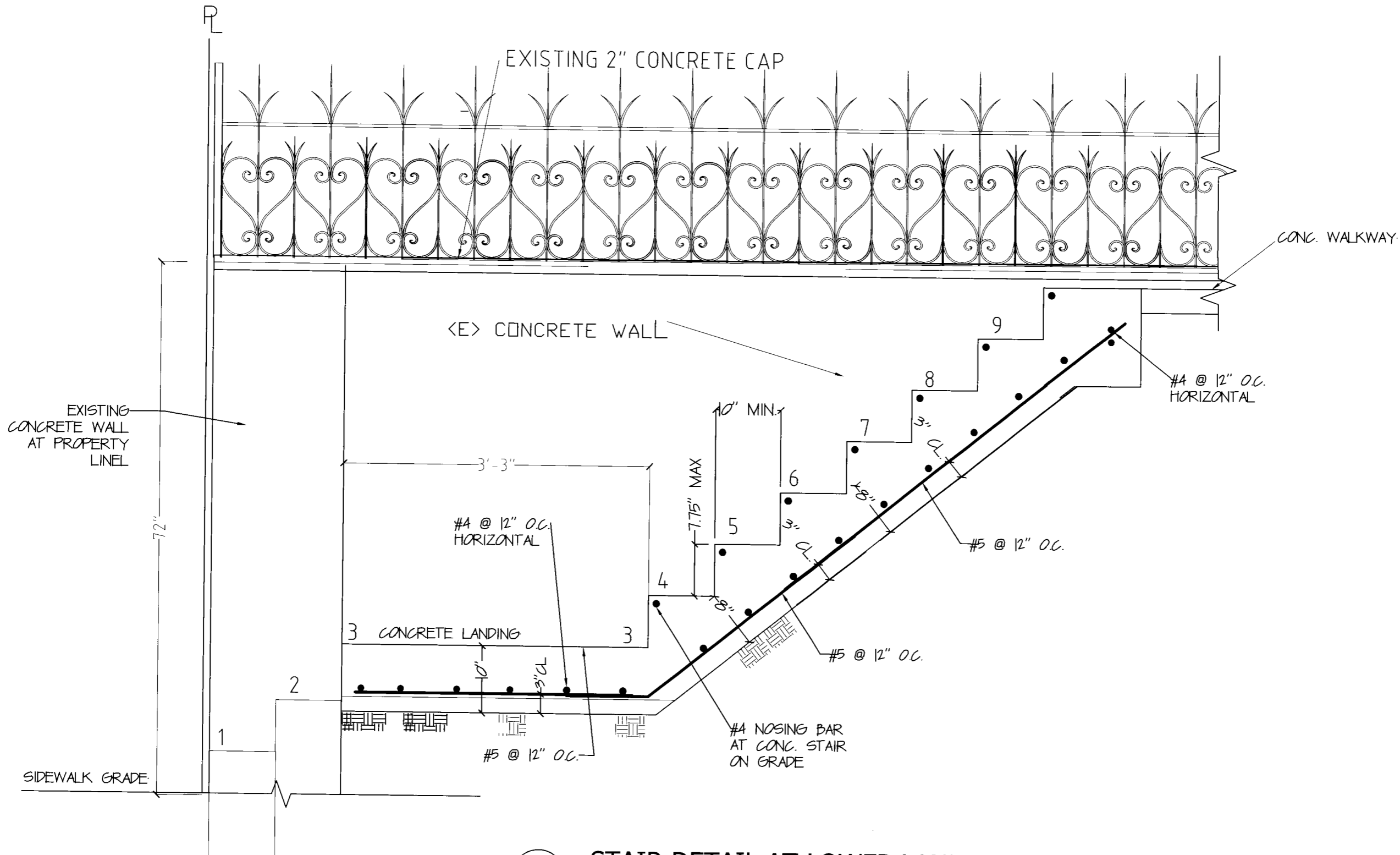
REVISIONS	BY

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 San Francisco, California 94122
 (415) 681-6525 fax (415) 681-1012

BLOCK 0868 LOT 002
 201 BUCHANNAN STREET
 SAN FRANCISCO, CALIFORNIA

STRUCTURAL PLAN

Date: 05-20-13
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 2018
 Sheet
 Of **S4**
 Sheet



1 STAIR DETAIL AT LOWER LANDING
SCALE 1" = 1'-0"

REVISIONS	BY

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BLOCK 0858 LOT 002
201 BUCHANNAN STREET
SAN FRANCISCO, CALIFORNIA

STRUCTURAL PLAN

Date: 05-20-13
Scale: AS SHOWN
Drawn: H. LEE
Job: 201B
Sheet
5
Of Sheet

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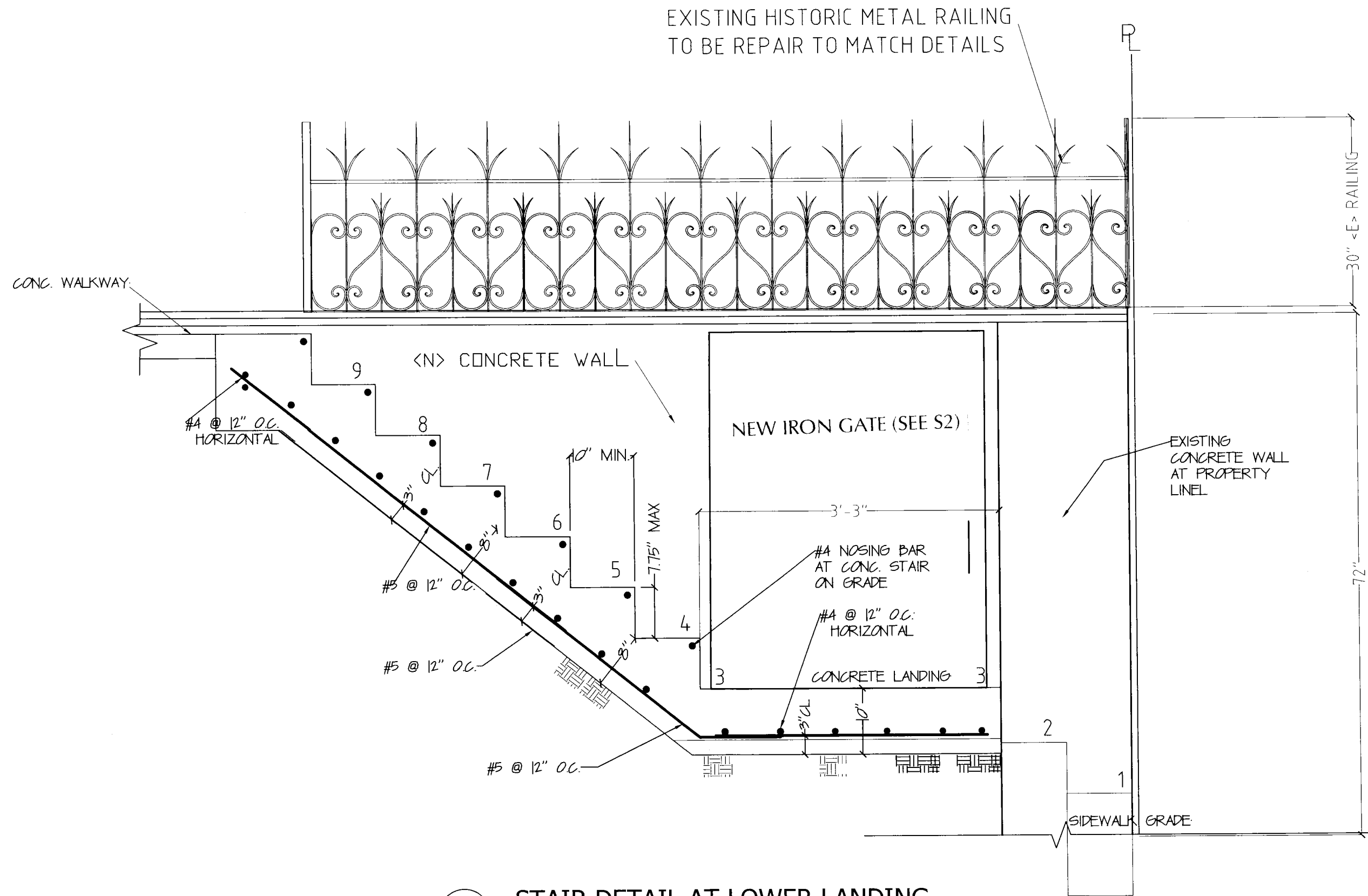
HAWK N. LEE, P. E.
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 1609 Noriega Street
 San Francisco, California 94122
 (415) 681-6325 fax (415) 691-1012

BLOCK 0858 LOT 002
 201 BUCHANNAN STREET
 SAN FRANCISCO, CALIFORNIA

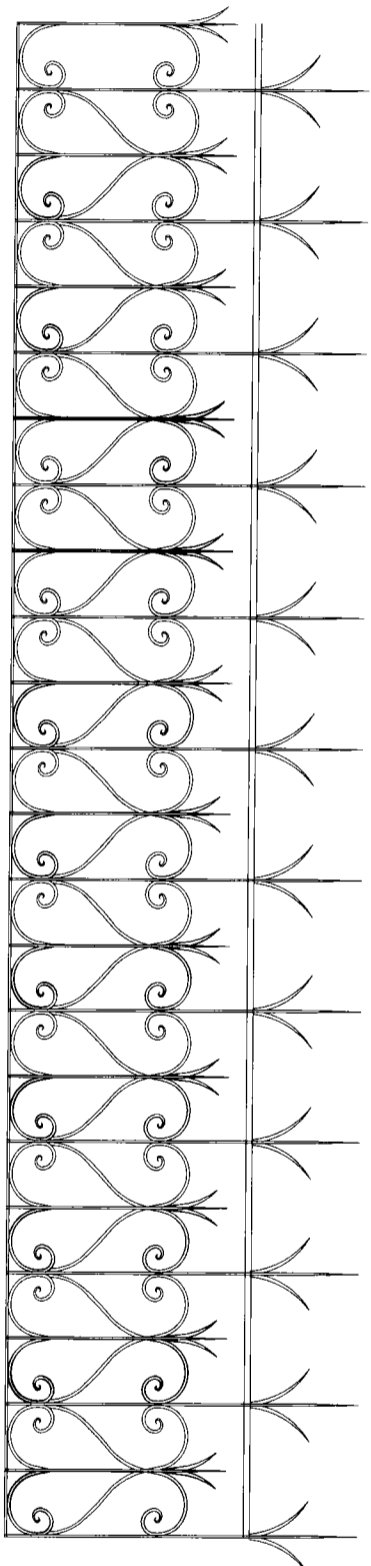
STRUCTURAL PLAN

Date: 05-20-13
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 2018
 Sheet
 Of

S6



2 STAIR DETAIL AT LOWER LANDING
 SCALE 1" = 1'-0"



EXISTING HISTORIC RAILING

< 3/4" = 1'-0" >

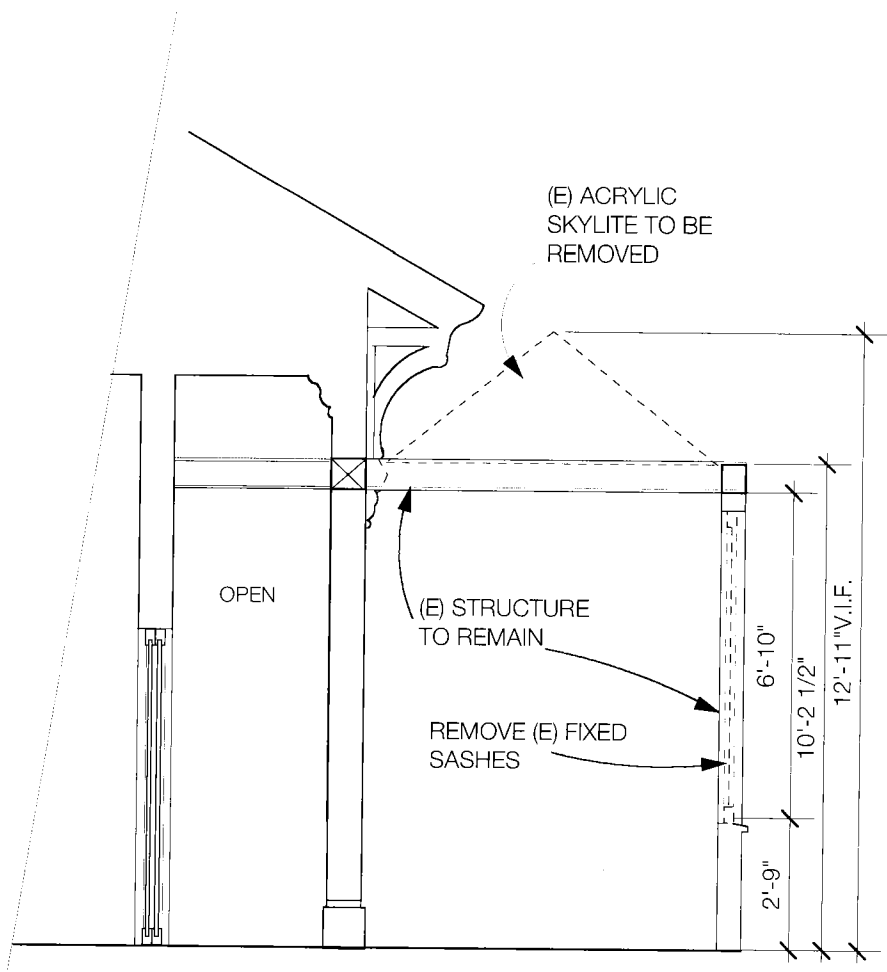
STRUCTURAL PLAN

BLOCK 0858 LOT 002
 201 BUCHANNAN STREET
 SAN FRANCISCO, CALIFORNIA

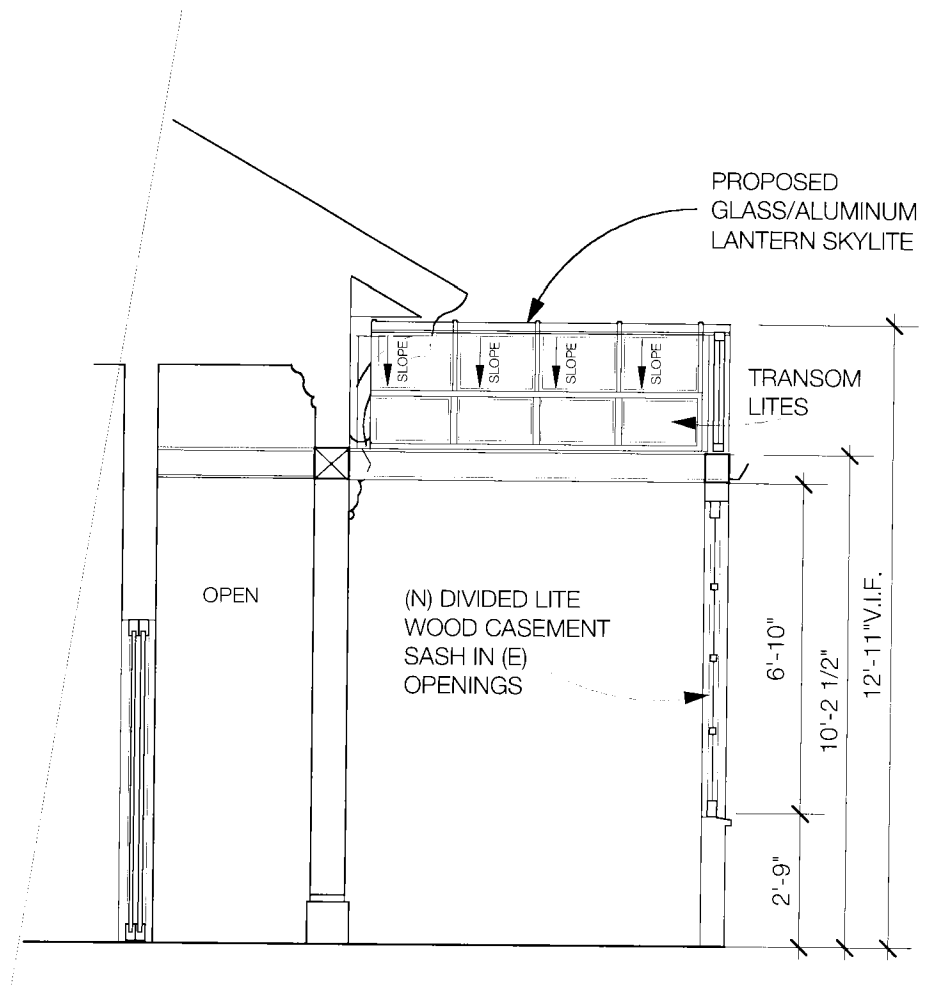
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 San Francisco, California 94122
 (415) 681-6325 fax (415) 681-1012

REVISIONS	BY

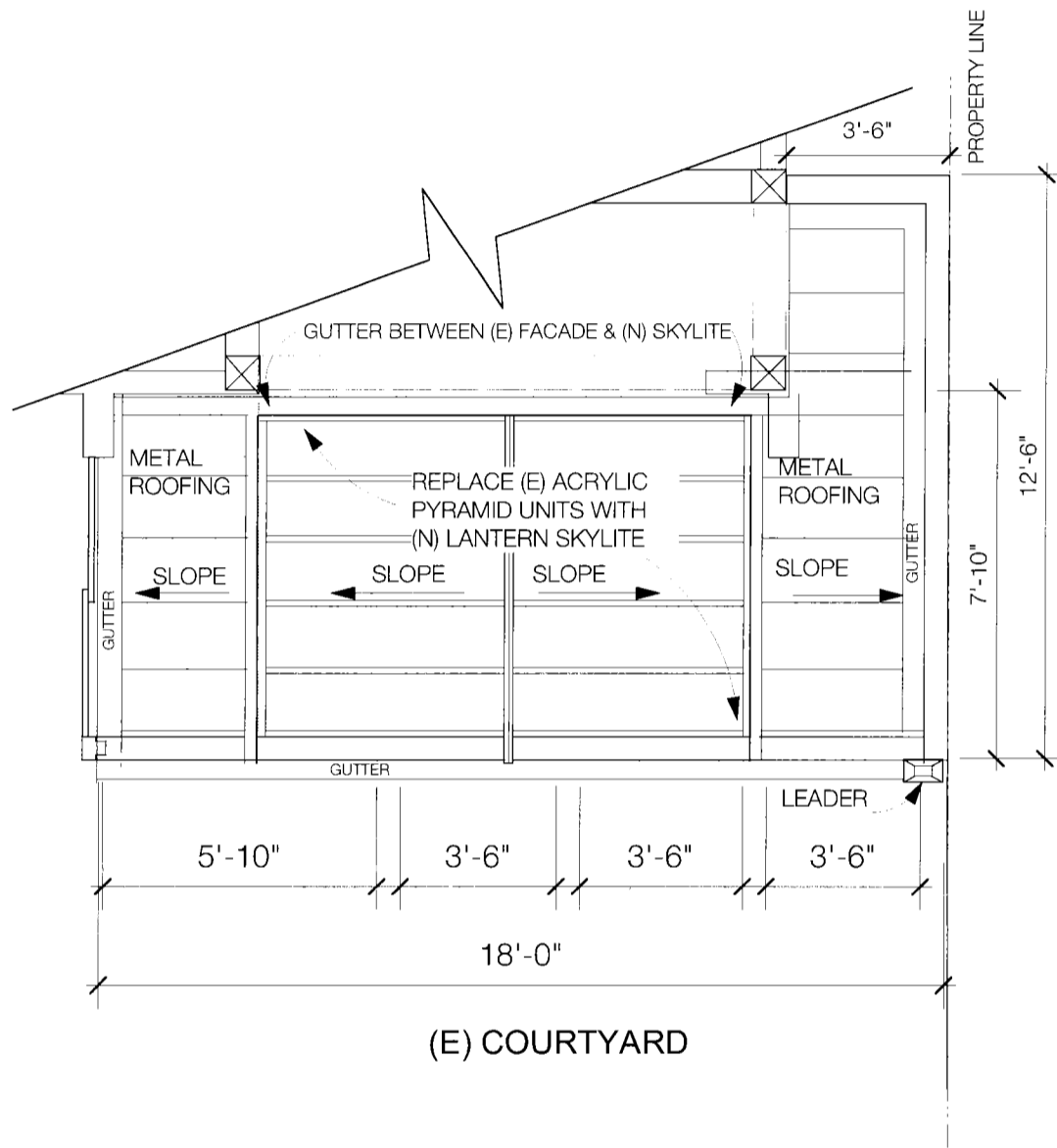
Date: 05-20-13
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 2018
 Sheet
 STY
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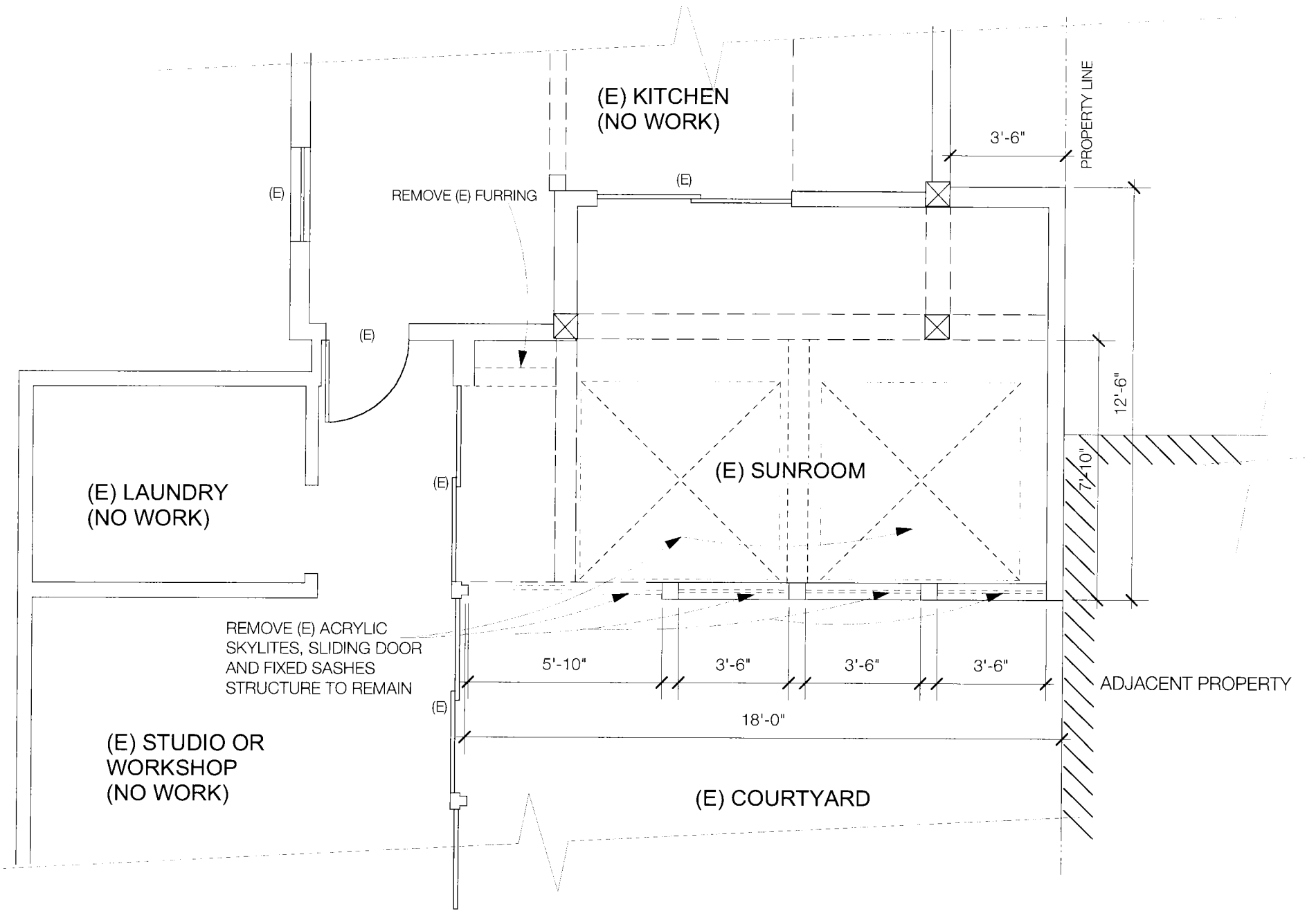
1 **SUNROOM -- EXISTING SECTION (WEST)**



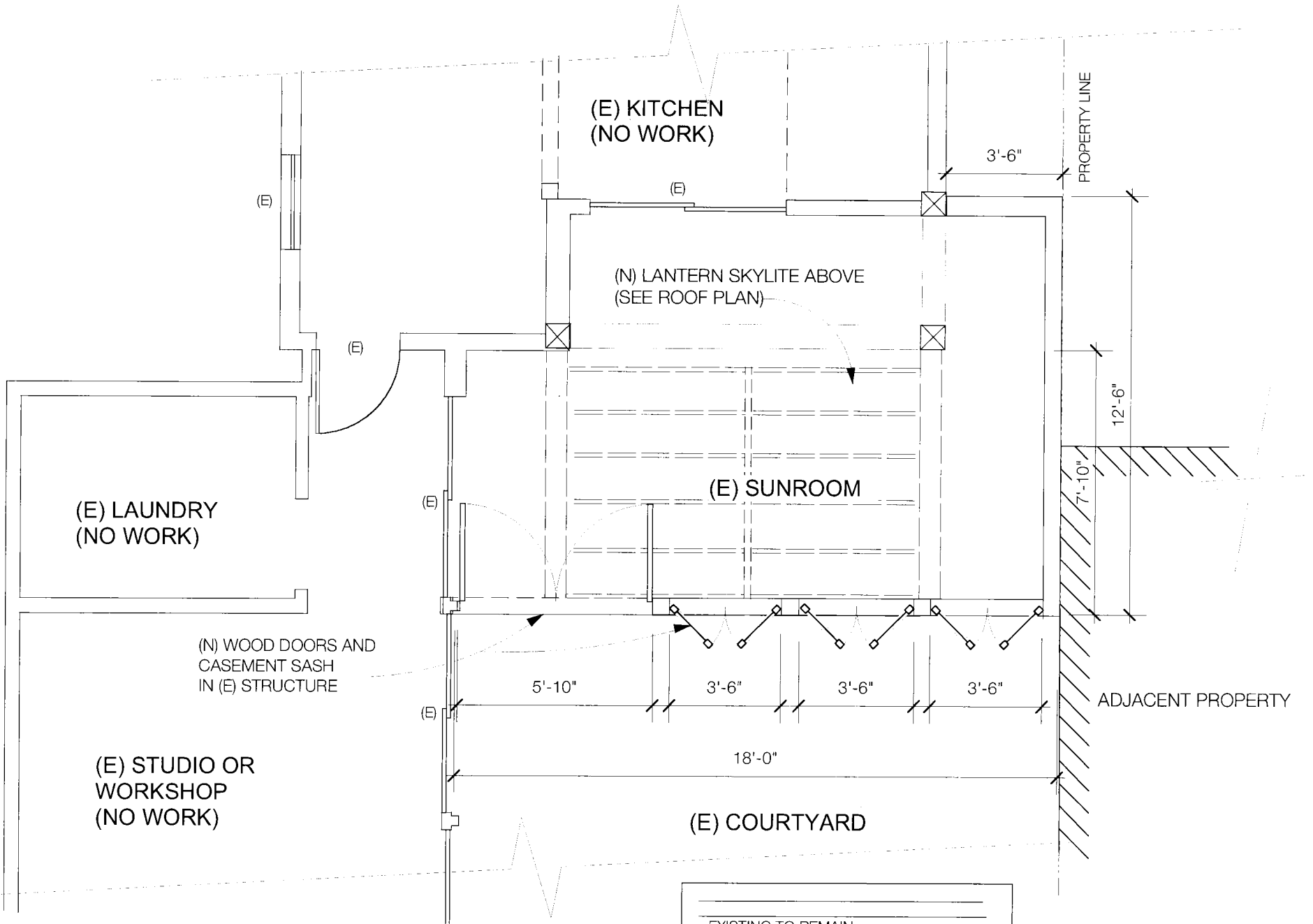
2 **SUNROOM -- PROPOSED SECTION (WEST)**



1 **SUNROOM -- PROPOSED ROOF PLAN**

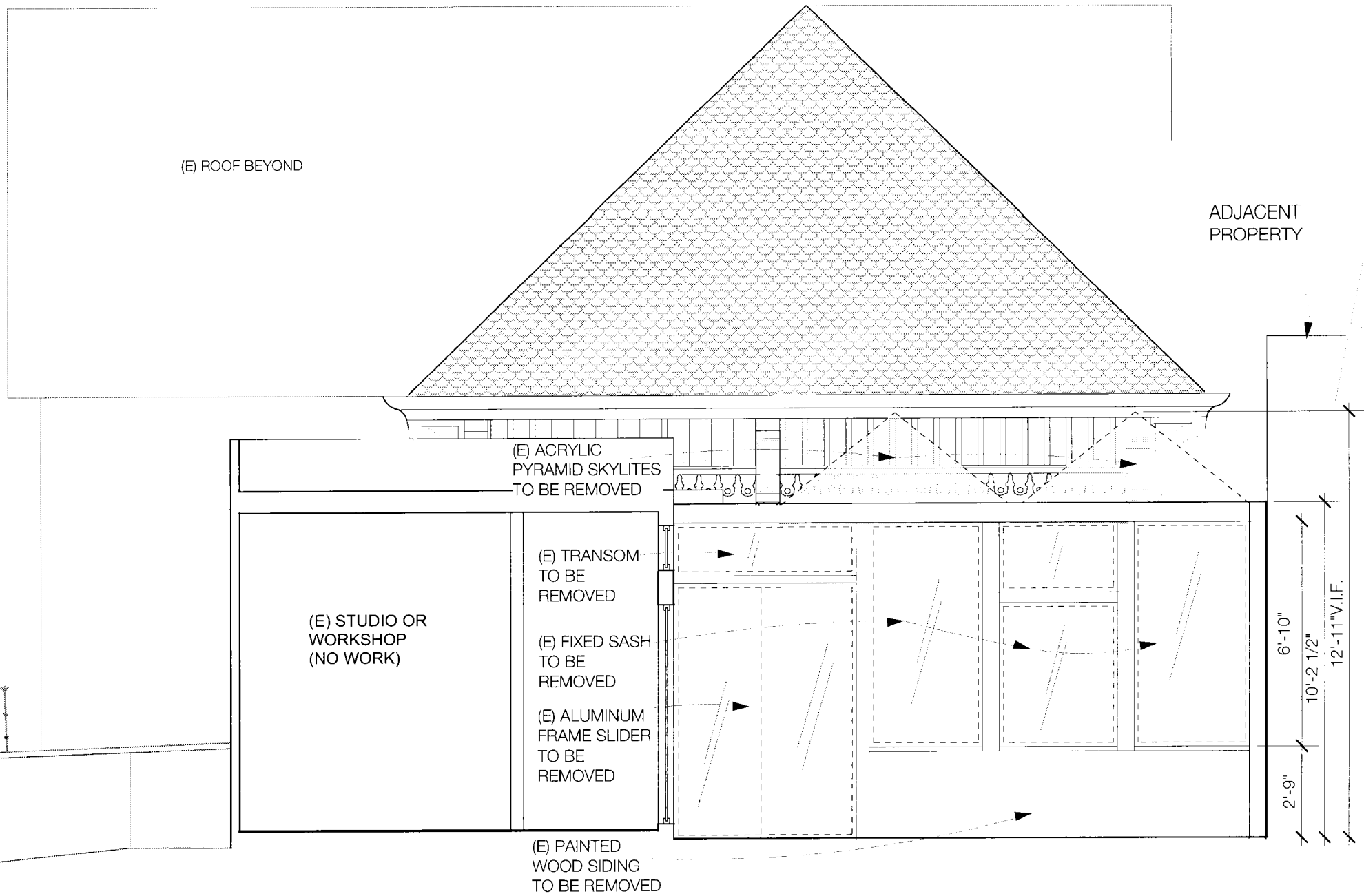


1 **SUNROOM -- EXISTING / DEMO PLAN**

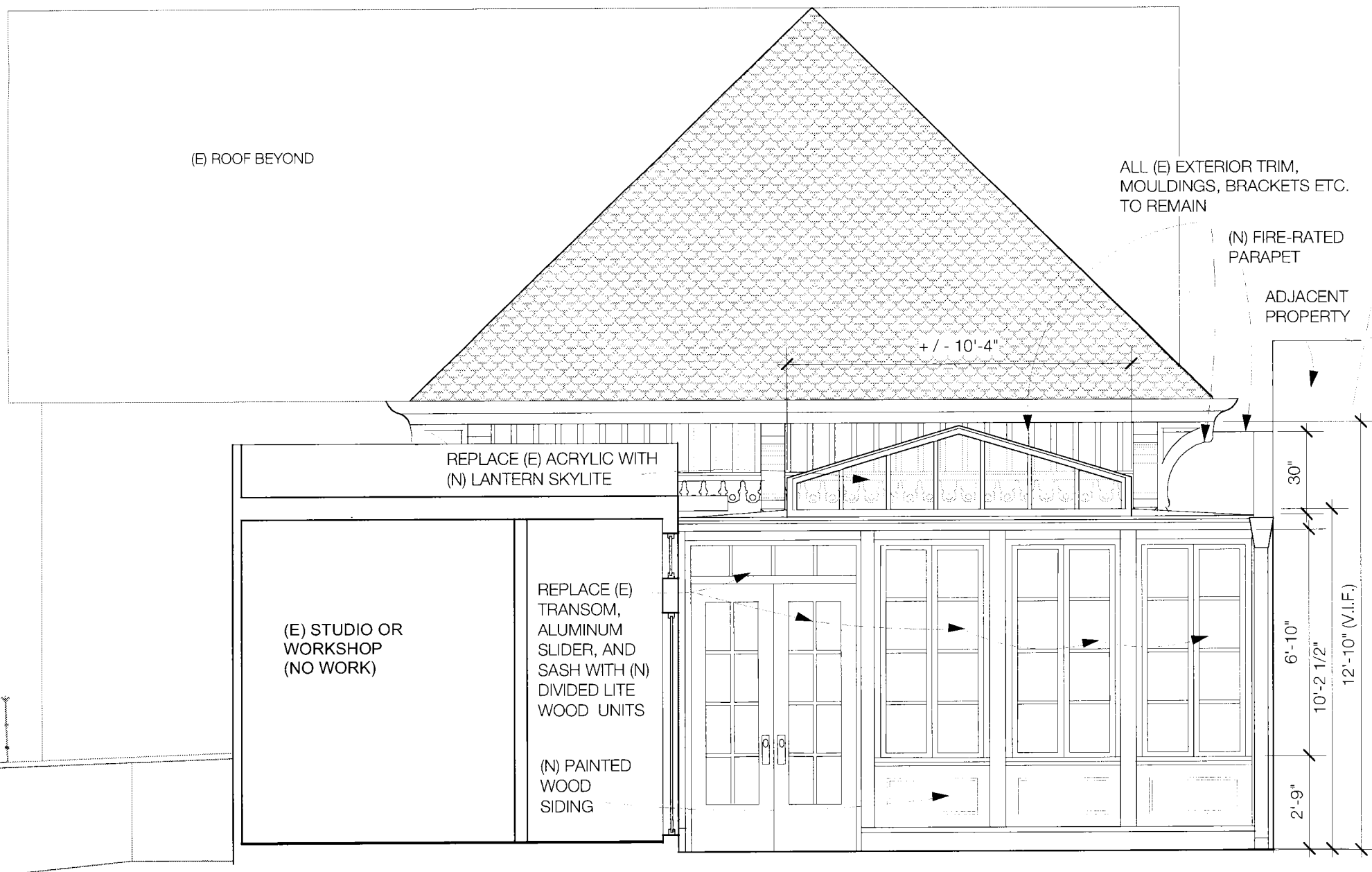


2 **SUNROOM -- PROPOSED PLAN**

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING OVERHEAD FEATURE TO REMAIN



1 **SUNROOM -- EXISTING EXTERIOR ELEVATION (SOUTH)**



2 **SUNROOM -- PROPOSED EXTERIOR ELEVATION (SOUTH)**