



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: JANUARY 15, 2014

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Filing Date: December 4, 2013
Case No.: **2013.1764A**
Project Address: **VETERANS BUILDING, 401 VAN NESS AVENUE
(PART OF THE WAR MEMORIAL COMPLEX)**
Historic Landmark: Landmark No. 84; Civic Center Landmark District
Zoning: P (Public) Zoning District
OS/96-X Height and Bulk District
Block/Lot: 0786A/001
Applicant: Tara Lamont, DPW-Bureau of Architecture
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San Francisco, CA 94102
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PROPERTY DESCRIPTION

401 VAN NESS AVENUE is located on a large rectangular parcel at the southwest corner of McAllister Street and Van Ness Avenue (Assessor's Block 0786A Lot 001). Constructed in 1932, 401 Van Ness Avenue (commonly referred to as the Veterans Building) is a four-story, steel-frame and reinforced concrete civic theater and office building designed in a Beaux-Arts architectural style by architect, Arthur Brown, Jr. (in association with John Bakewell, Jr.). The Veterans Building, along with the nearly identical San Francisco Opera House and the adjacent Memorial Court, constitute the War Memorial Complex. The Veterans Building features a granite base and steps, terra cotta cladding, terra cotta ornamentation, steel-sash windows, and a leaded copper mansard roof. The Veterans Building contains 230,000 sq ft, and possesses a variety of uses, including a theater (Herbst Theater), reception space (Green Room), meeting space and offices for various veterans organizations (American Legion Post, War Memorial Trust beneficiaries, and other veterans groups), meeting space and offices for various city agencies, art galleries, and a law library (fourth floor). The Veterans Building is Landmark No. 84, and is designated as "contributory" to the Civic Center Landmark District, which is listed in Article 10 of the San Francisco Planning Code.

PROJECT DESCRIPTION

The proposed project includes replacement of the upper skylights on the shallow angled roof of the north, south and east facades due to extensive deterioration.

This project is a revision to the previously approved Certificate of Appropriateness reviewed and approved by the Historic Preservation Commission (Commission) at its July 18, 2012 Hearing (Case No.

2011.0420A). Previously, the Commission approved replacement of the steel-sash skylights and leaded-cooper roof with new, aluminum-sash skylights and a zinc or terne-coated copper roof. As part of the previously approved project, the Commission determined that the existing lead-coated copper roof panels could be replaced with either zinc or terne-coated copper panels. This scope of work was determined to be appropriate, since this work assisted in repairing the deteriorated elements of the metal roof. The replacement of the copper roof for a zinc roof is considered an acceptable substitute material, as supported by the National Park Service in *Preservation Brief No. 4 – Roofing for Historic Buildings* and *Preservation Brief No. 16 – The Use of Substitute Materials on Historic Building Exteriors*. As noted by the Project Sponsor, the replacement zinc/terne-coated cooper roof would match the existing historic copper roof in design, form, surface, texture, and color. Within the previously-approved project, the new skylights at this location were to feature a similar detail as the historic skylights, which called for a flush profile between the skylights and metal roof. However, based upon analysis by the project engineers and skylight manufacturers, this flush profile cannot be replicated on the upper skylights due to waterproofing issues. Therefore, Project Sponsor is seeking to revise the project by replacing the upper skylights with one of three options:

1. Option A – Replace existing skylights with new skylights that feature a new curb detail (projecting approximately ½”). This curb would form a new frame around each of the skylight bands on the roof.
2. Option B – Replace existing skylights with a continuous sheet metal roof panel. The new sheet metal panels would be continuous, and would match other portions of the rehabilitated roof.
3. Option C – Replace existing skylights with sheet metal roof panels that feature a flush seam in the shape of the original skylights. These new sheet metal panels would incorporate a seam to denote the location of the original skylights.

The scope of work is focused upon the upper skylights on the upper portion of the mansard roof, which are minimally visible from the public rights-of-way. These skylights contribute to the illumination of the interior lay lights found on the fourth floor, and are not visible from the interior. The interior lay lights would not be severely impacted by the upper skylight replacement, since the lower skylights (on the steep angled portion of the mansard roof) would still provide sufficient illumination.

OTHER ACTIONS REQUIRED

Proposed work requires a Building Permit.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any

applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project would retain the subject property's use as a theater and offices, and would maintain the area's civic character. Therefore, the proposed project complies with Rehabilitation Standard 1.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposed project maintains the historic character of the Veterans Building and the surrounding Civic Center Landmark District, since the new exterior work is limited to replacement of the upper skylights on the shallow angled portion of the roof on the north, south and east facades. From the ground, the upper skylights are minimally visible from public rights-of-way. The exterior work will replace the historic upper skylights with a new, compatible substitute material (either new skylights that will closely match the existing skylights or new sheet metal panels to match the rest of the roof rehabilitation) in design, color, shape, and profile. Ultimately, the proposed project maintains the historic appearance and character of the historic property by retaining the main visual qualities of the historic roof and by using a compatible material.

Therefore, the proposed project complies with Rehabilitation Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The proposed project does not involve conjectural alterations to the subject property. Therefore, the proposed project complies with Rehabilitation Standard 3.

Standard 4: Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The proposed project does not include changes that have acquired historic significance in their own right. Therefore, the proposed project complies with Rehabilitation Standard 4.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

Although the proposed project would replace the historic upper skylights with either new, compatible skylights or sheet metal panels, the proposed project would preserve distinctive materials, features, finishes or construction techniques that characterize the subject property, since the new skylights would match the historic skylights in design and configuration and the new sheet metal panels would match the historic metal roof panels in color, finish and design. Therefore, the proposed project complies with Rehabilitation Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The project would replace the deteriorated historic steel-frame upper skylights with either new aluminum-sash skylights or new sheet metal roof panels. These new skylights will feature a similar sash profile, and will match in design and configuration of the historic skylights. Alternatively, the proposed project may replace the existing skylights with new zinc roof panels, which will closely match the design, color and finish of the historic roof panels, which were leaded copper. The treatment is occurring on the remainder of the roof. Although the details vary among the three skylight replacement options, all three options would maintain the visual qualities and features of the historic skylights and roof. Therefore, the proposed project complies with Rehabilitation Standard 6.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed project does not call for chemical or physical treatments to the existing historic materials on the roof. Therefore, the proposed project complies with Rehabilitation Standard 7.

Standard 8: Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed project does not include excavation or below grade work. Therefore, the proposed project complies with Rehabilitation Standard 8.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project includes exterior alterations to the upper skylights on the north, south and east facades of the Veterans Building. The exterior alterations will not destroy any features or spatial relationships, since the new work features compatible new materials that would match the design of the existing historic features. Option A would maintain the function of the upper skylights, but would introduce a new horizontal profile on the roof, due to the required skylight curb. Option B would introduce continuous sheet metal zinc panels over the location of the former skylights, thus removing a historic feature, but providing for a compatible alteration. Finally, Option C would also introduce sheet metal zinc panels, but would include a flush seam to denote the location of the original skylights, thus providing for a commemoration of their location. All three options would provide for compatibility, yet differentiation, with the historic materials and features. Therefore, the proposed project complies with Rehabilitation Standard 9.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project includes an exterior alteration, which may be removed in the future without impacting the essential form and integrity of the subject property. This alteration would either replace the historic upper skylights with new skylights or with a compatible material. No new additions are planned as part of the proposed project. Therefore, the proposed project complies with Rehabilitation Standard 10.

Summary: The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

PUBLIC/NEIGHBORHOOD INPUT

Department staff completed the Block Book Notification (BBN) associated with the Veterans Building, and received one phone call expressing support for the proposed project.

As of January 8, 2014, the Department has received only one electronic inquiry about the proposed project. This inquiry expressed neither support, nor opposition to the proposed project; rather, this inquiry expressed concern over the attributed architect to the Veterans Building.

ISSUES & OTHER CONSIDERATIONS

None

STAFF ANALYSIS

Included as an exhibit are architectural drawings (plans, sections and details) of the existing building and the proposed project. Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, Department staff has determined the following:

Replacement of Upper Skylights: The proposed project includes replacement of the deteriorated upper skylights on the shallow angled roof of the north, south and east facades. As noted above, the Project Sponsor cannot manufacture the same flush detail between the skylight and roof on this portion of the roof, due to waterproofing issues. Therefore, the Project Sponsor has revised the replacement program for the upper skylights by exploring three options. As noted above, all three options are consistent with the *Secretary of the Interior's Standards for Rehabilitation*, and do not damage or destroy the overall historic character of the landmark property or surrounding landmark district.

As part of the proposed project, the Project Sponsor developed three options for the skylight replacement. As noted above, all three options would correct material deficiencies with existing historic skylights by replacing the lead-coated copper roof panels and the steel-frame skylights with compatible substitute materials. Although all three options meet the general intent of the Secretary's Standards, the finer details of each option represent alterations to the property's overall historic character and features, which are discussed below:

Option A: The proposed project would replace the existing steel-sash upper skylights, which are heavily deteriorated, with new aluminum-sash skylights. These new skylights would match the historic skylights in design, profile, size and scale. Specifically, terne-coated copper custom caps and zinc paneling would be applied over the aluminum skylight frames, in order to maintain the visual appearance of the historic skylights. Currently, the historic skylights are flush with the adjacent leaded-copper roof. Due to waterproofing issues, a new half-inch curb would be introduced around each of the upper skylights, thus adding new horizontal elements to the upper roof.

Staff Analysis: Department staff does not recommend Option A, due to its impact on the overall design of the roof. Although Option A would retain the skylights, the introduction of a new curb would impact the overall design of the roof by introducing new horizontal elements, which would visually compete with the standing seam zinc/terne-coated copper roof. Currently, the historic skylight's flush condition provides for a seamless transition to the leaded-copper roof. Option A would replace this flush condition with an articulated profile that would alter the appearance of this portion of the roof.

Option B: The proposed project would replace the existing steel-sash upper skylights with new, continuous zinc or terne-coated copper panels. These new metal panels would be smooth in finish.

Staff Analysis: Department staff does not recommend Option B, due to its complete removal of a historic feature. Although the continuous metal panels would match other portions of the rehabilitated roof, Option B removes any trace of the former skylights.

Option C: The proposed project would replace the existing steel-sash upper skylights with new zinc or terne-coated copper panels with a seam denoting the location of the former skylights. Option C is identical to Option B, except for the introduction of a flush seam between the metal panels to denote the location of the removed skylights.

Staff Analysis: Department staff recommends Option C, since the project would retain a similar design and profile as the existing roof and would commemorate the former skylight location and also allow for ease in reversibility. Although Option C would remove a historic feature, the upper skylights would be commemorated through the seam between the metal panels. This aspect of the project would preserve and commemorate a visual characteristic of the building and surrounding landmark district.

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. As part of the Building Permit and as conditioned in the previous approval, the Project Sponsor shall provide a mock-up of the skylight replacement for review and approval by Planning Department Preservation Staff. Prior to installation, the Project Sponsor shall provide a detailed mock-up demonstrating the material, finish, and detail of the skylight replacement.

ENVIRONMENTAL REVIEW STATUS

The Project received an exemption from the California Environmental Quality Act ("CEQA") as a Class 1 and 31 Categorical Exemption (CEQA Guideline Section 15301(a) and (d), and Section 15331) because the project involves exterior and interior alterations to the existing building and meets the *Secretary of the Interior's Standards for Rehabilitation*.

PLANNING DEPARTMENT RECOMMENDATION

Department staff recommends approval of Option C for the proposed skylight replacement at the Veterans Building, since this option would introduce an appropriate substitute material, while also commemorating an important design feature characteristic of the Veterans Building.

Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation* and requirements of Article 10.

ATTACHMENTS

- Draft Motion
- Exhibits, including Parcel Map, Sanborn Map, Zoning Map, Aerial Photos, and Site Photos
- Project Sponsor Submittal, including architectural drawings and renderings of proposed skylight options
- Historic Preservation Commission Motion No. 0166

- Categorical Exemption

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SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion

HEARING DATE: JANUARY 15, 2014

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Case No.: **2013.1764A**
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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 001 IN ASSESSOR'S BLOCK 0786A, WITHIN THE P ZONING DISTRICT, CIVIC CENTER LANDMARK DISTRICT, AND OS/96-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on December 4, 2013, Tara Lamont of the City and County of San Francisco Department of Public Works-Bureau of Architecture (Project Sponsor) on behalf of San Francisco War Memorial Board of Trustees (Property Owner) filed an application with the San Francisco Planning Department (Department) for a Certificate of Appropriateness for the replacement of the upper skylights on the subject property located on Lot 001 in Assessor's Block 0786A.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on July 18, 2012, the Commission previously approved exterior alterations to the subject property, as determined in Historic Preservation Commission Motion No. 0166.

WHEREAS, on January 15, 2014, the Commission conducted a duly noticed public hearing on the current project, Case No. 2013.1764A (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants with conditions a Certificate of Appropriateness, in conformance with the project information received on January 2, 2014 and labeled Exhibit A on file in the docket for Case No. 2013.1764A based on the following findings:

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. As part of the Building Permit and as conditioned in the previous approval, the Project Sponsor shall provide a mock-up of the skylight replacement for review and approval by Planning Department Preservation Staff. Prior to installation, the Project Sponsor shall provide a detailed mock-up demonstrating the material, finish, and detail of the skylight replacement.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of Landmark No. 84 and the Civic Center Landmark District as described in Article 10 of the Planning Code.

- That the exterior alterations would replace historic materials, including the leaded-copper roof, with compatible substitute materials.
- That the exterior alterations would appropriately commemorate the location of the former upper skylights.
- That the exterior alterations would preserve, enhance and restore the exterior architectural appearance of the landmark property in a manner that is compatible with the surrounding Civic Center Landmark District.

- That the essential form and integrity of the landmark and its environment would be unimpaired if the alterations were removed at a future date.
 - That the proposal respects the character-defining features of Landmark No. 84.
 - That the proposal respects the character-defining features of the Civic Center Landmark District
 - The proposed project meets the requirements of Article 10.
 - The proposed project meets all ten of the *Secretary of the Interior's Standards for Rehabilitation*.
3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the Landmark No. 84 and the Civic Center Landmark District for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The project will not have any impact on any existing neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of Landmark No. 84 and the Civic Center Landmark District in conformance with the Secretary of the Interior's Standards for Rehabilitation.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will have no impact to housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is unaffected by the proposed work. Any construction or alteration associated with the project will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The project as proposed is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 001 in Assessor's Block 0786A for proposed work in conformance with the project information received on January 2, 2014, labeled Exhibit A on file in the docket for Case No. 2013.1764A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on January 15, 2014.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: January 15, 2014

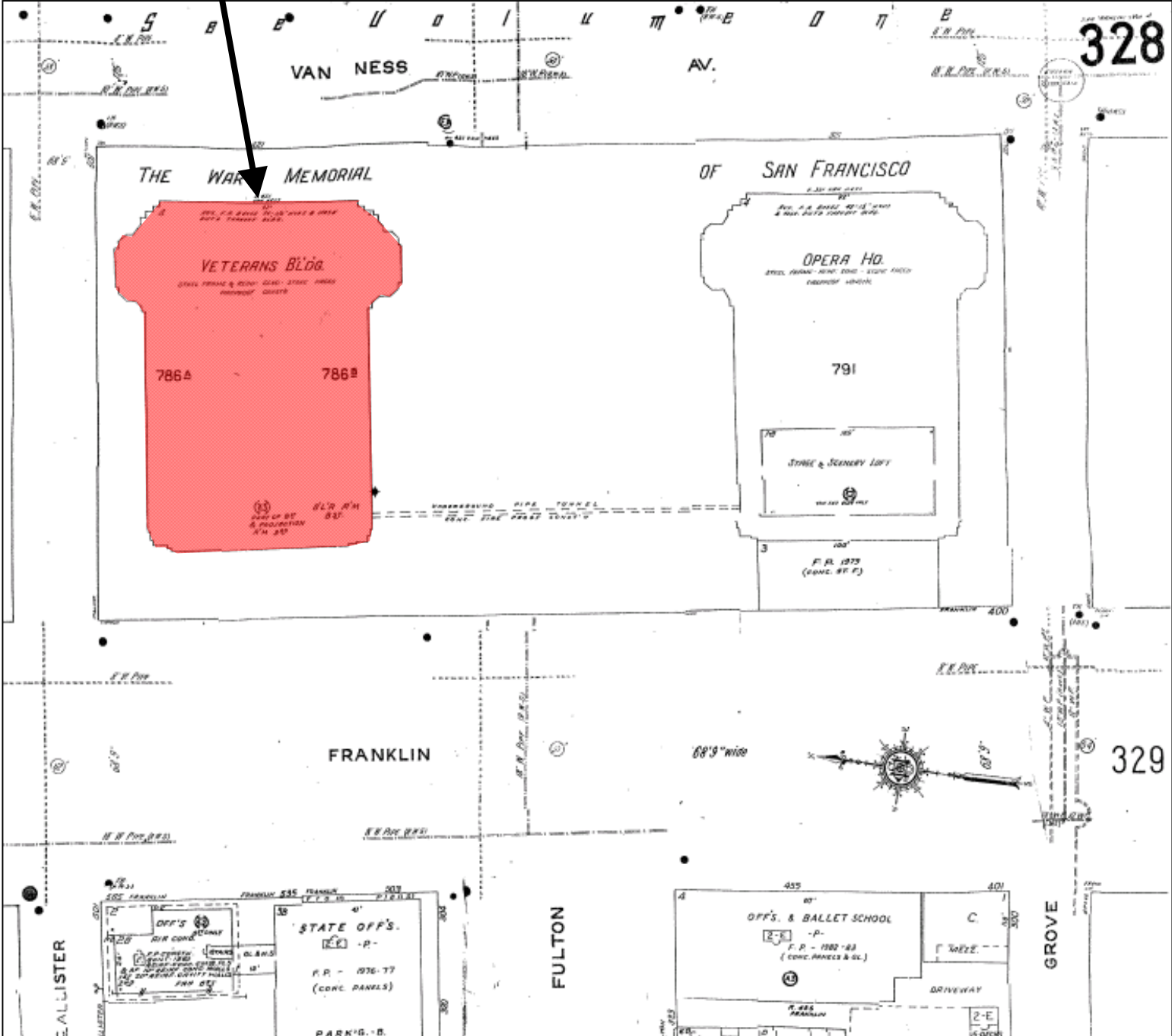
Parcel Map

SUBJECT PROPERTY



Sanborn Map*

SUBJECT PROPERTY

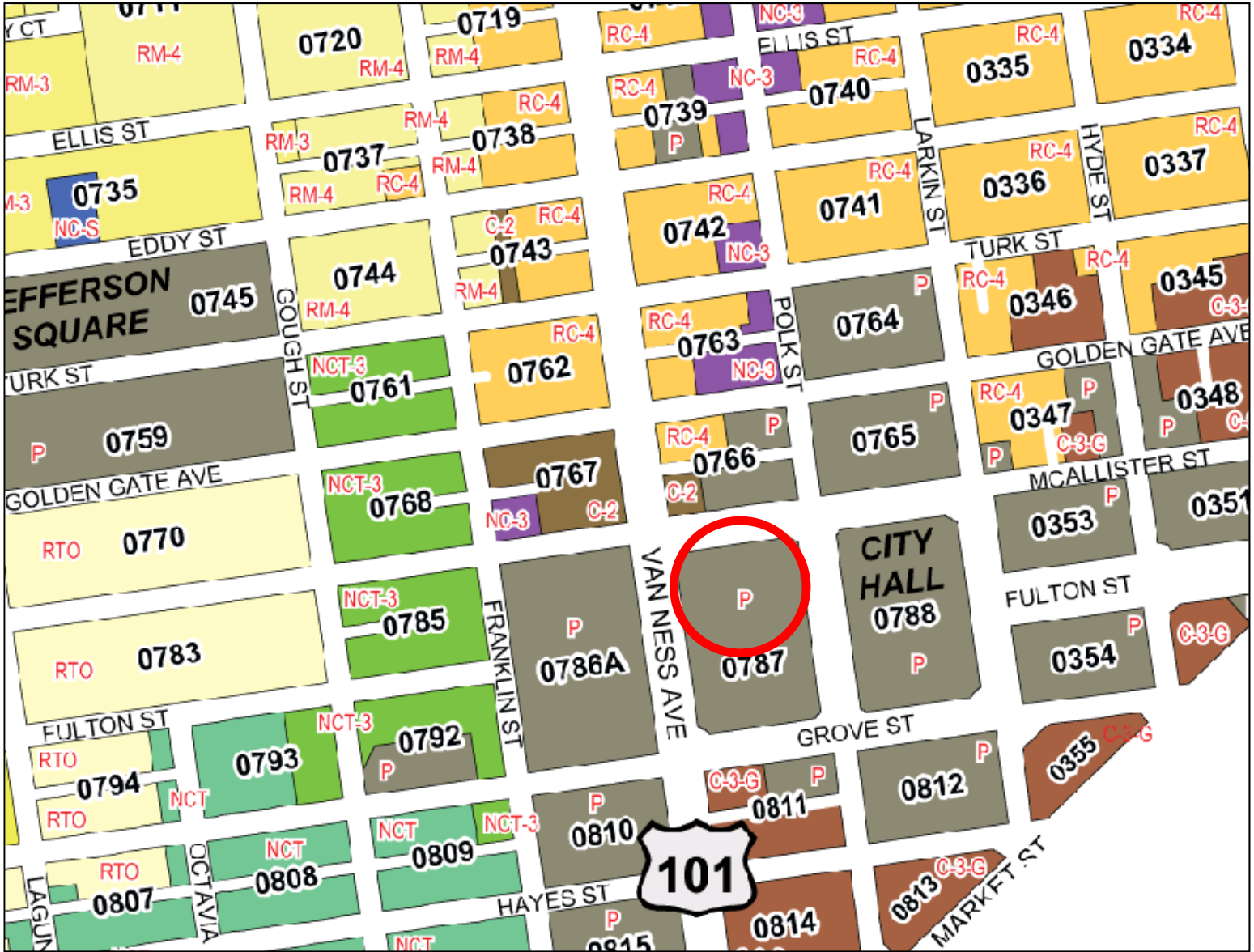


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



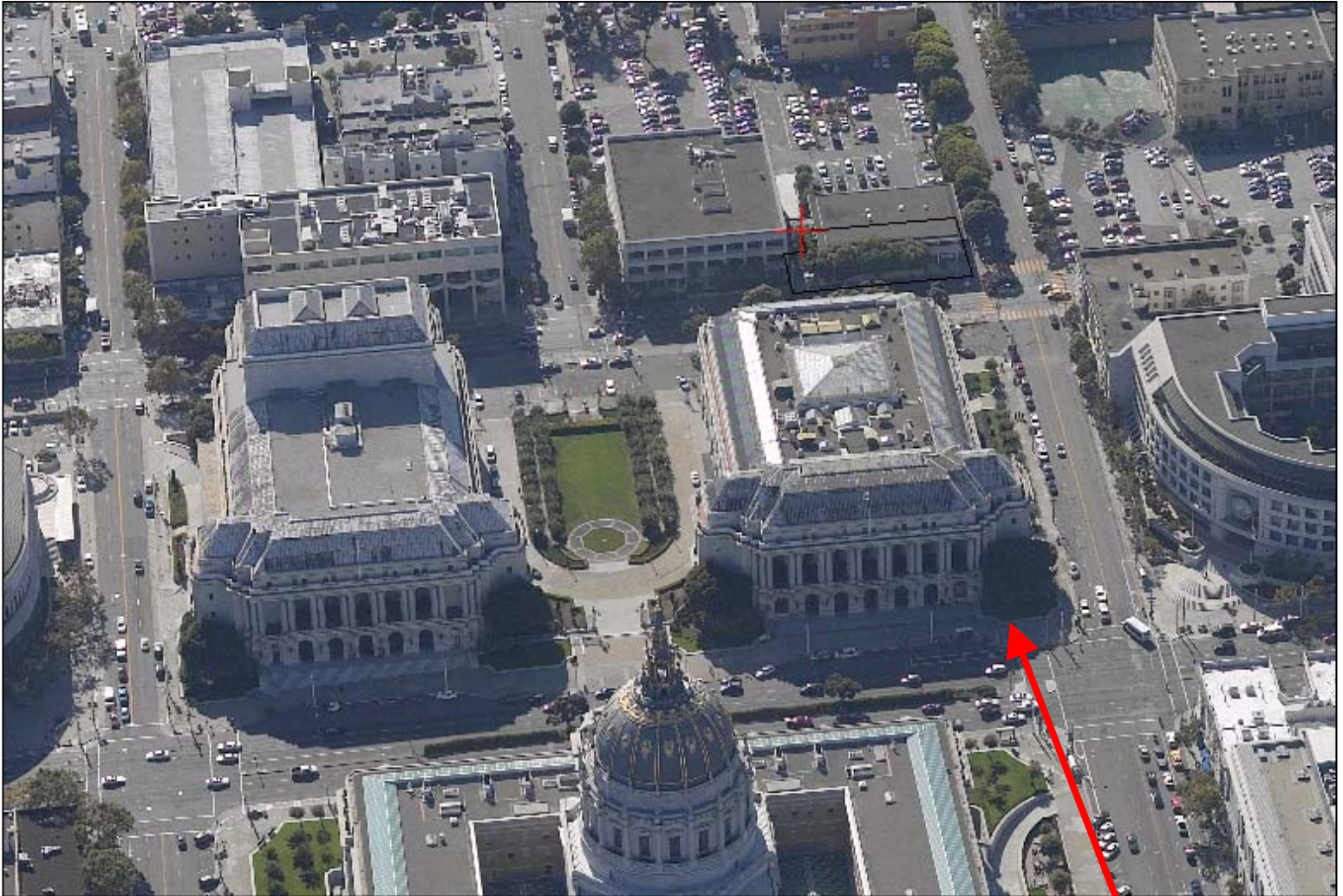
Certificate of Appropriateness Hearing
Case Number 2013.1764A
Veterans Building, 401 Van Ness Avenue

Zoning Map



Certificate of Appropriateness Hearing
Case Number 2013.1764A
Veterans Building, 401 Van Ness Avenue

Aerial Photo



SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2013.1764A
Veterans Building, 401 Van Ness Avenue

Aerial Photo



SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2013.1764A
Veterans Building, 401 Van Ness Avenue

Site Photo



View of Veterans Building along Van Ness Avenue

Certificate of Appropriateness Hearing
Case Number 2013.1764A
Veterans Building, 401 Van Ness Avenue

Site Photo



View of Veterans Building , North and West Facades

Certificate of Appropriateness Hearing
Case Number 2013.1764A
Veterans Building, 401 Van Ness Avenue

Site Photo



View of Veterans Building Roof

Certificate of Appropriateness Hearing
Case Number 2013.1764A
Veterans Building, 401 Van Ness Avenue

Site Photo

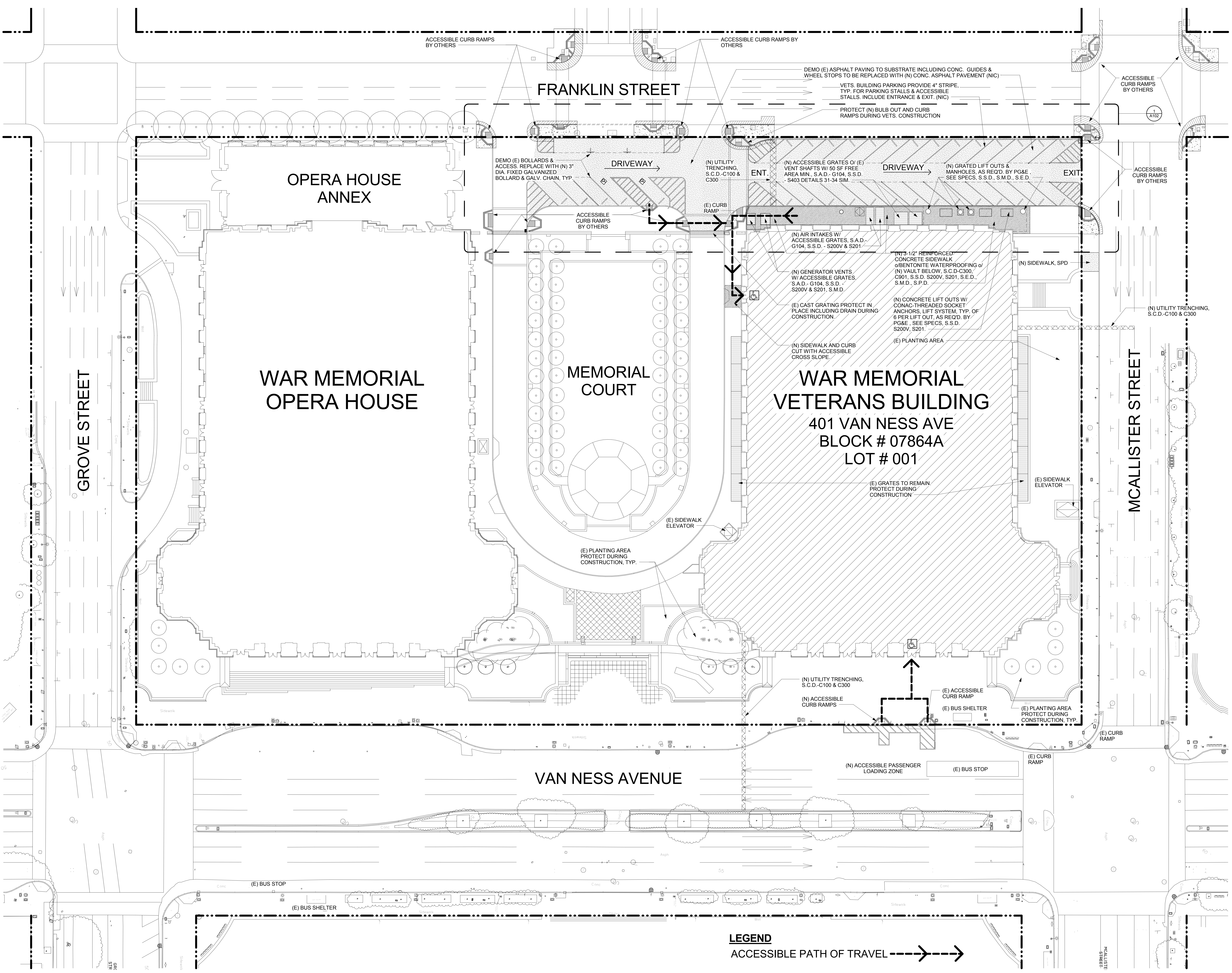
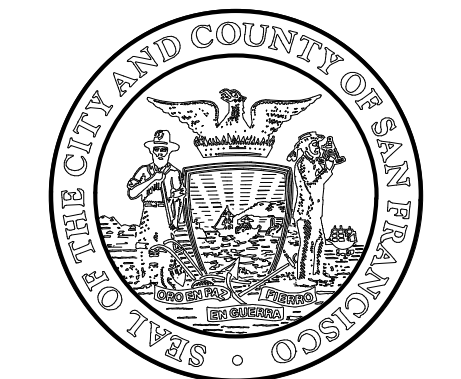


Veterans Building, View of Deteriorated Leaded-Cooper Roof Panels

Certificate of Appropriateness Hearing
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Veterans Building, 401 Van Ness Avenue



WAR MEMORIAL VETERANS BUILDING, 1932



7/22/2013 8:52:23 AM E:\Revit Files\7353A-DPW-Details_modulus5.rvt

1 SITE PLAN
1" = 20'-0"

SHEET NOTES
1. FOR CONSTRUCTION PHASE SITE INFORMATION SEE SHEET A103.

LEGEND
ACCESSIBLE PATH OF TRAVEL →

Issue 7/22/13
100% CONSTRUCTION
DOCUMENTS & BID DOCUMENTS
CONFORMED SET
INCLUDES ADDENDA 1-8

No.	Date	Revisions
8	05/15/13	BID ADDENDUM NO. 5
9	05/16/13	100% CD & BID DOCS - CONFORMED SET
14	06/28/13	PERMIT ADDENDUM 3 - CIVIL ARCH. MER. FP. THEATRICAL
16	07/22/13	100% CD & BID DOCS - CONFORMED SET

Drawn: TEAM
Proj. Arch: ANDY MALONEY
Proj. Mgr: TARA LAMONT
Section Head: WILL KWAN
Phase: BID
Drawing Title: PROJECT ARCHITECT ANDREW JOSEPH MALONEY

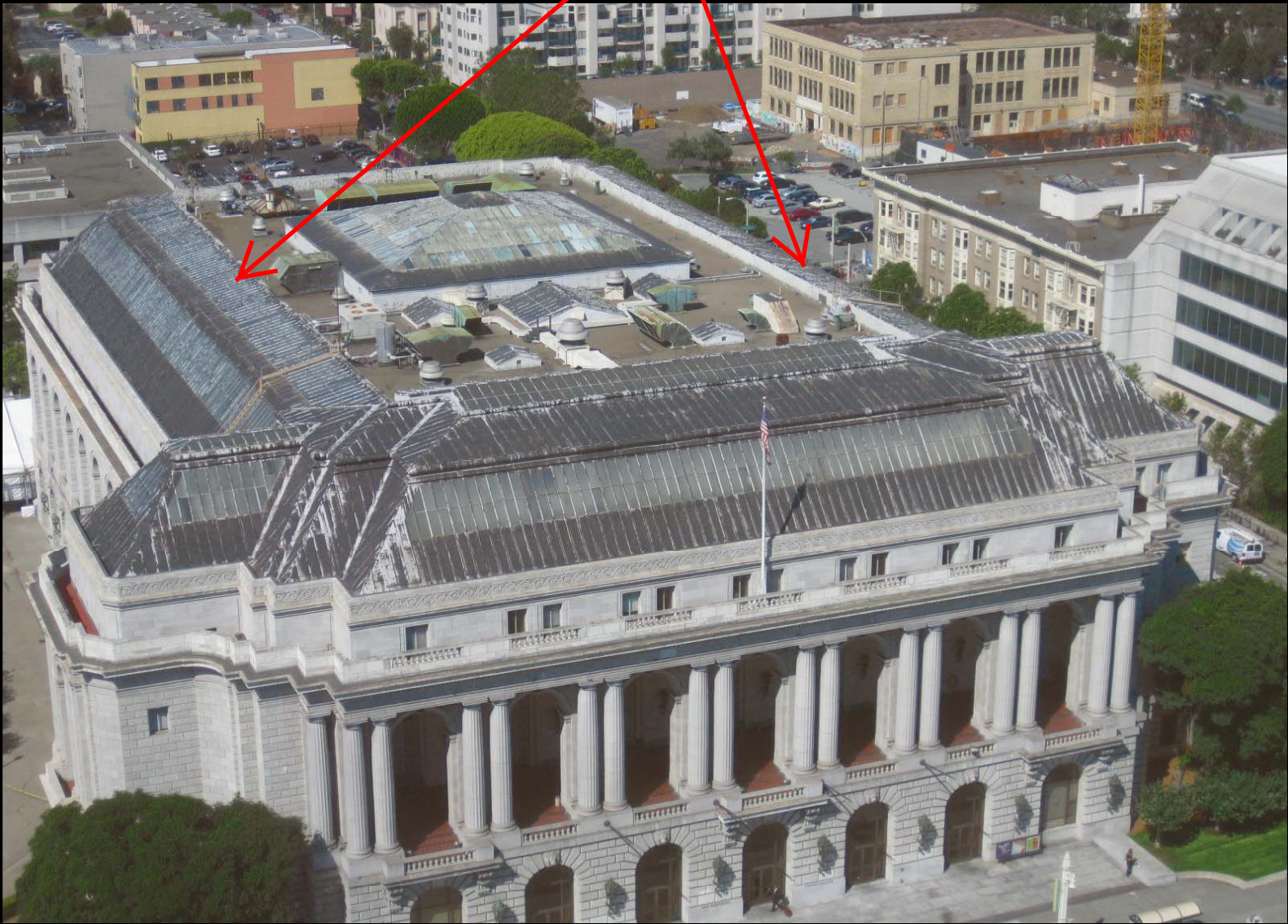
SITE PLAN

Sheet No. A101
VOL. 1
Scale: 1" = 20'-0"
Job No. 7353A

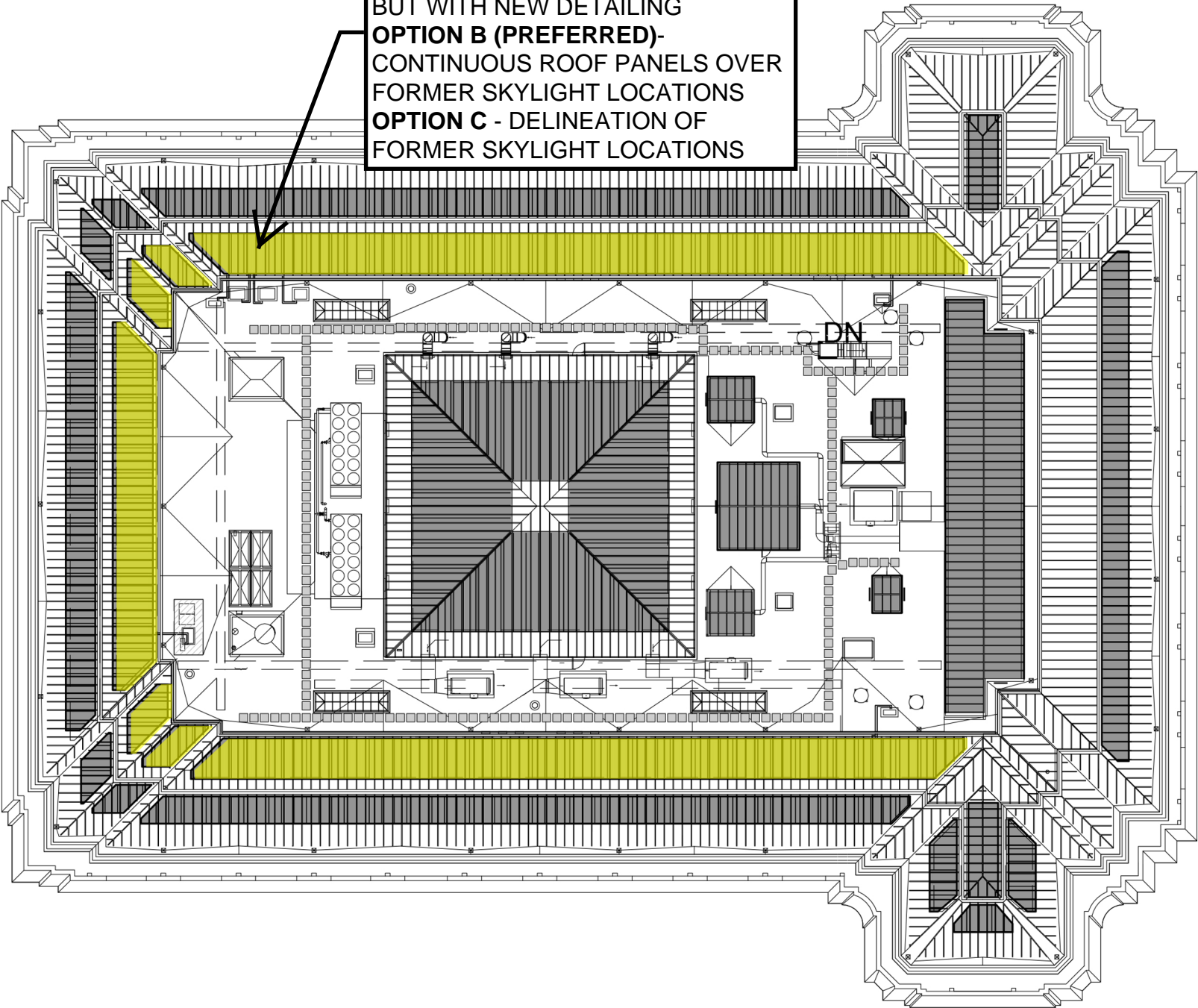


2013

UPPER
SKYLIGHT

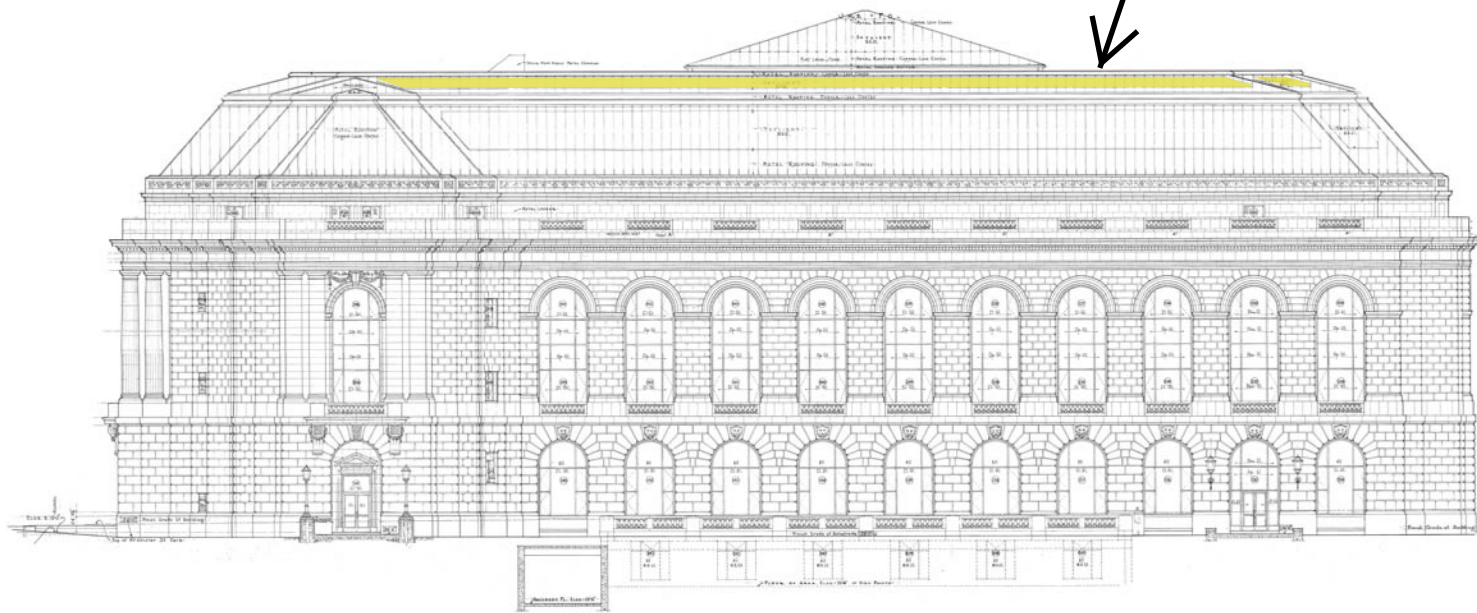


EXISTING UPPER SKYLIGHTS:
OPTION A - RETAIN SKYLIGHTS
BUT WITH NEW DETAILING
OPTION B (PREFERRED)-
CONTINUOUS ROOF PANELS OVER
FORMER SKYLIGHT LOCATIONS
OPTION C - DELINEATION OF
FORMER SKYLIGHT LOCATIONS

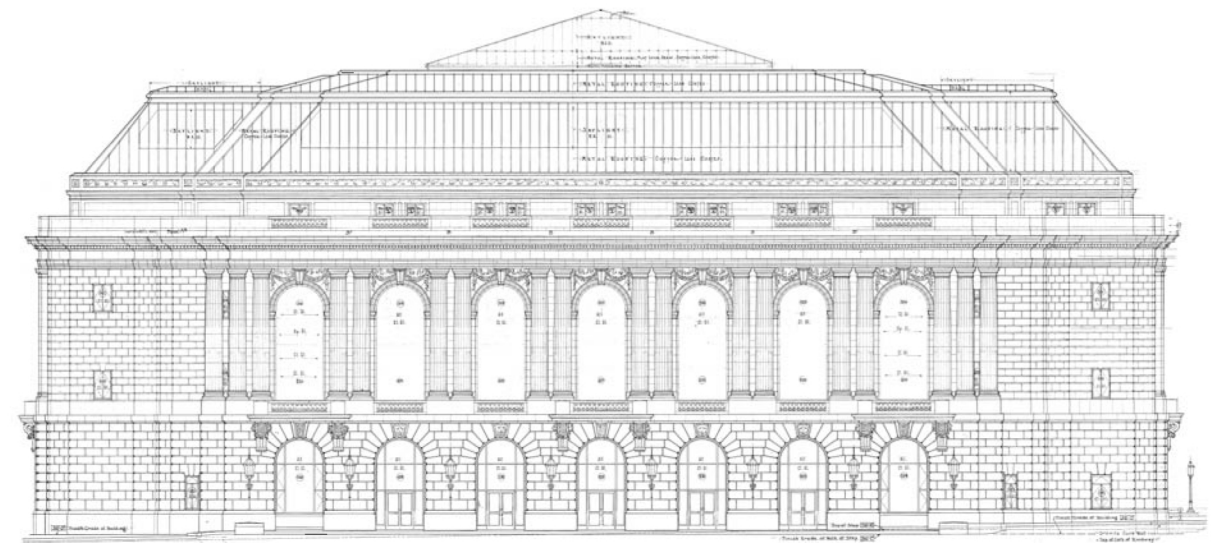


ROOF PLAN

UPPER SKYLIGHTS

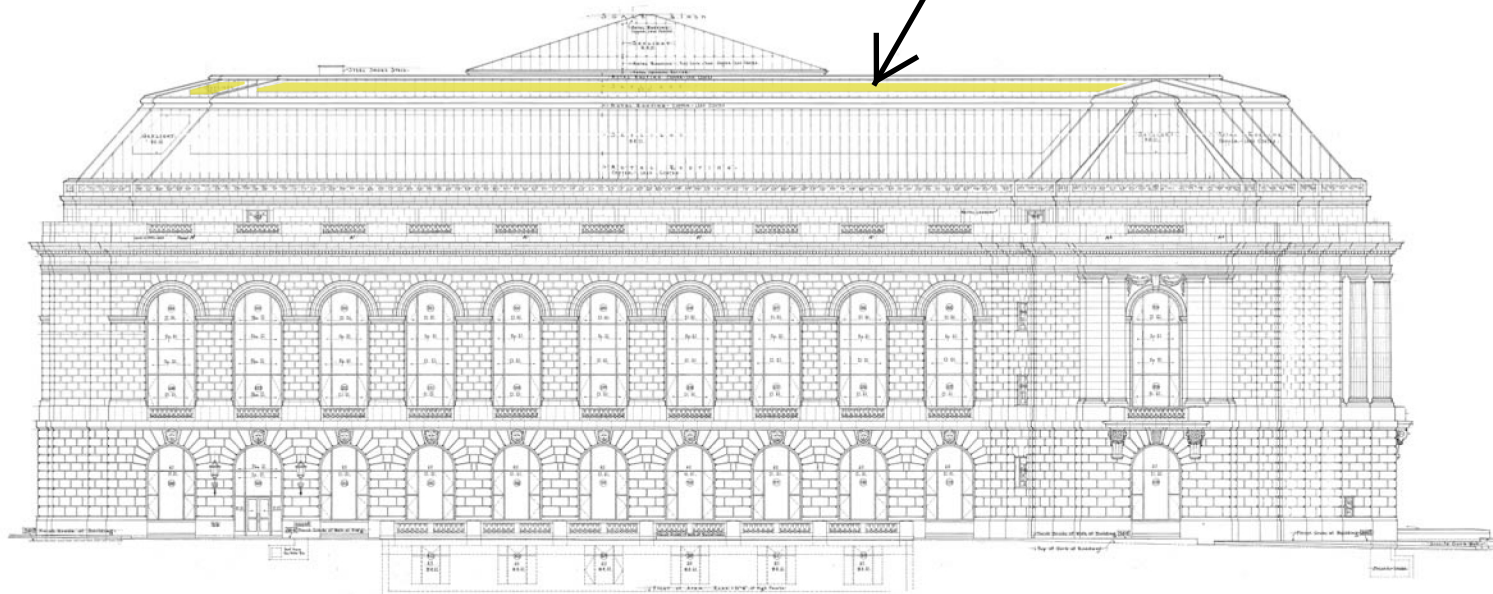


NORTH ELEVATION

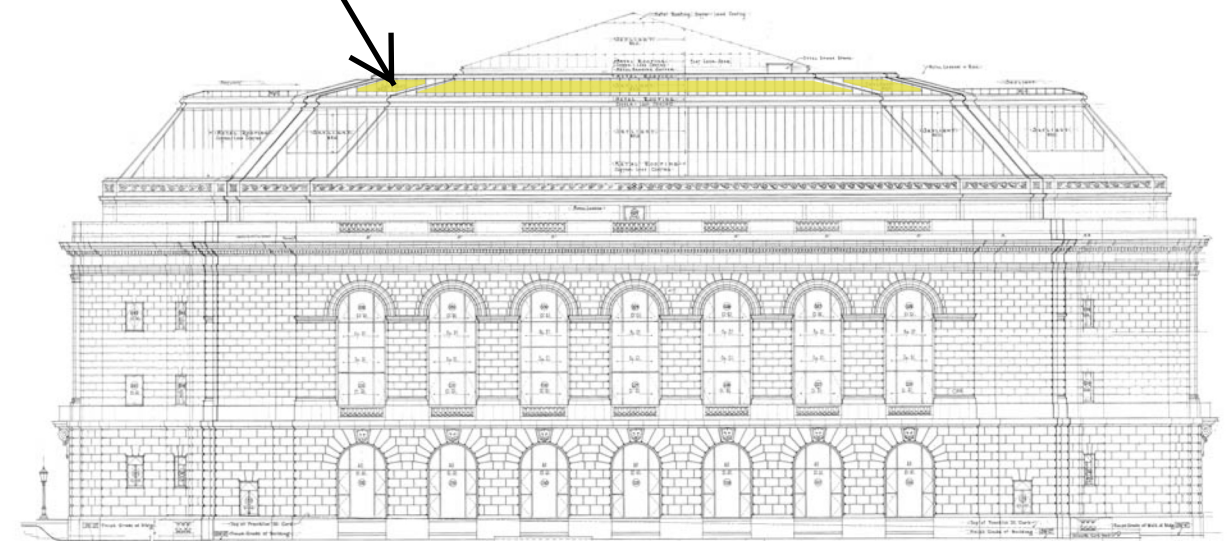


EAST ELEVATION - MAIN ENTRANCE

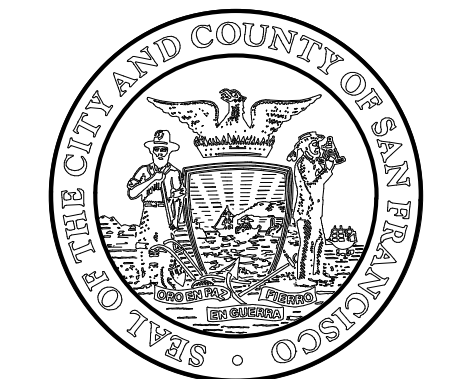
UPPER SKYLIGHTS



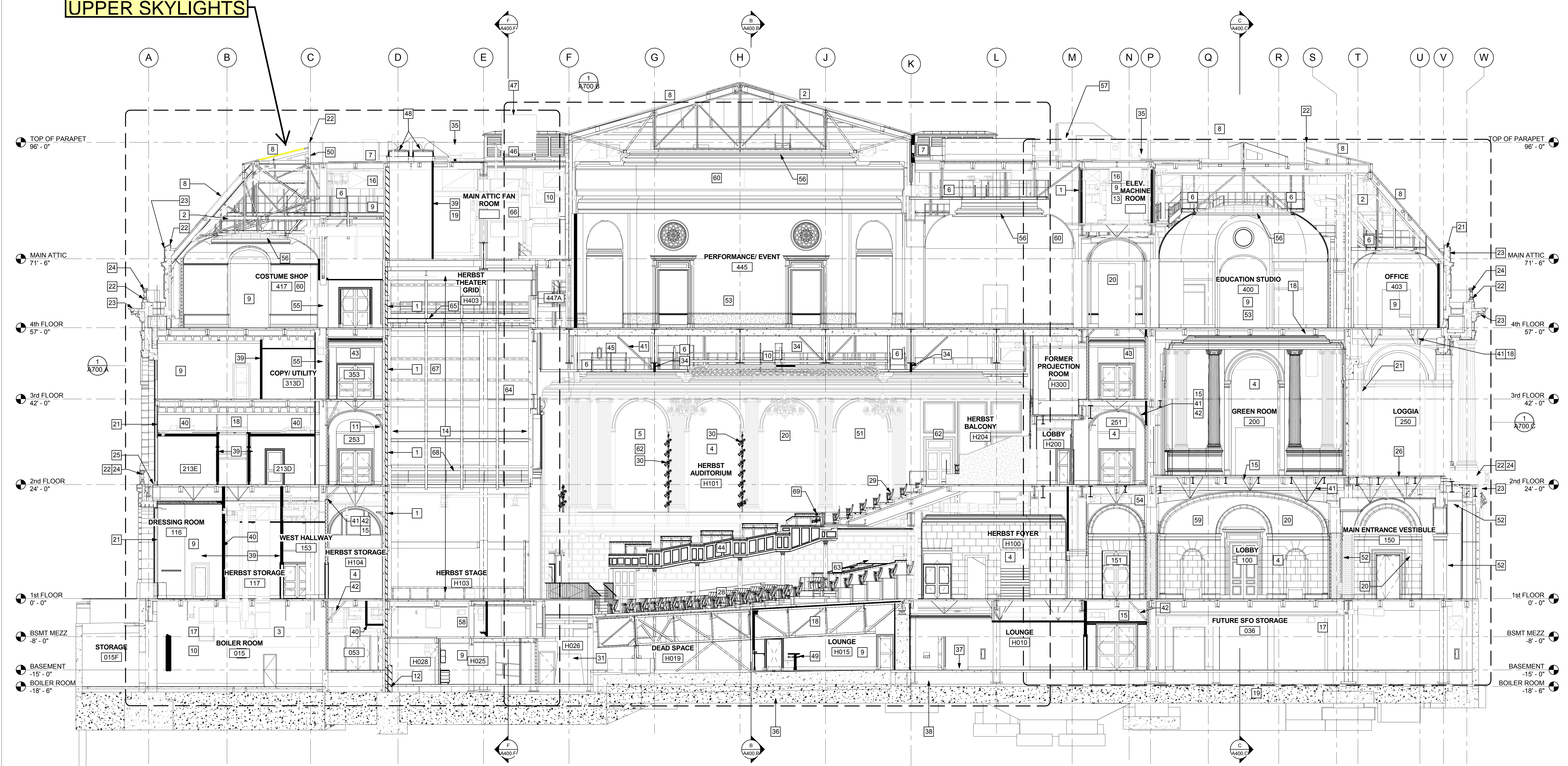
SOUTH ELEVATION



WEST ELEVATION



UPPER SKYLIGHTS



A LONGITUDINAL BUILDING SECTION A - A LOOKING NORTH
1/8" = 1'-0"

LEGEND

- (E) LATH & PLASTER ON BLACK IRON TO REMAIN
- (E) PLASTER ON HOLLOW CLAY TILE TO REMAIN
- (E) CONCRETE TO REMAIN
- (N) NON-STRUCTURAL WALL
- (N) CONCRETE WALL, S.S.D.

SECTION KEYNOTES

#	DESCRIPTION
1	STRUCTURAL CONCRETE SHEAR WALL, S.S.D. & S.A.D.
2	STRUCTURAL STEEL REINFORCING IN ATTIC, S.S.D. & S.A.D.
3	CENTRAL PLANT, S.A.R.D., S.P.D., S.M.D. & S.E.D.
4	PROTECTION FOR WALL AND HISTORIC FINISHES, S.A.D.D. & S.A.D.
5	PROTECTION FOR HISTORIC "BRANGWYN MURALS," S.A.D.D. & S.A.D., COORDINATE WITH THEATRICAL LIGHTING AND ELECTRICAL WORK IN THE AREA.
6	DEMO & REPLACE (E) CATWALKS WITH STEEL CATWALKS, S.A.D.D., S.S.D. & S.A.D.
7	DEMO & REPLACE BUILT-UP ROOFING, S.A.R.D., S.A.D.D. & S.A.D.
8	DEMO & REPLACE METAL ROOF & SKYLIGHT, S.A.R.D., S.A.D.D. & S.A.D.
9	DEMO WALLS, FLOOR FINISHES & CEILINGS PER ARCH-PLANS, S.A.R.D., S.A.A.D. & S.A.D.
10	DEMO (E) MEP, S.A.R.D. & MEPFIT DRAWINGS
11	DEMO, PROTECTION & BUILDBACK PLASTER FINISH WALL & CEILING FINISHES FOR CONCRETE SHEAR WALL, S.A.R.D., S.A.D.D., S.S.D. & S.A.D.
12	DEMO & BUILDBACK BASEMENT SLAB & WALLS FOR CONCRETE SHEAR WALL, S.A.R.D., S.A.D.D., S.S.D. & S.A.D.
13	ELEVATOR REPLACEMENT & UPGRADES, S.A.R.D. & S.A.D.
14	DEMO & REPLACE STAGE THEATRICAL EQUIPMENT, S.A.R.D. & S.T.D.
15	SMEPFIT (STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, INFORMATION TECHNOLOGY) CONCEALED IN CEILING PLENUM & WALL CHASES, TYPICAL, SEE SMEPFIT DRAWINGS
16	SMEPFIT IN ATTIC PLENUM, SEE SMEPFIT DRAWINGS
17	EXPOSED SMEPFIT IN BASEMENT CEILINGS, UNLESS OTHERWISE NOTED, SEE SMEPFIT & S.A.D.
18	AUTO FIRE SPRINKLER SYSTEM, CONCEALED W/ FLUSH HEADS U.O.N., SFPD & S.A.D.
19	MECHANICAL EQUIPMENT & DUCTWORK, S.M.D.
20	HISTORIC LIGHT FIXTURE RESTORATION, S.E.D. & S.A.D.
21	REHABILITATE (E) STEEL SASH WINDOWS, S.A.R.D. & S.A.D.
22	METAL CAP FLASHING, SEE SHEET A317, S.A.D.
23	TERRA COTTA CLADDING REPAIR, S.A.D.
24	DEMO & REPLACE TERRA COTTA BALUSTERS, S.A.D.
25	DEMO & REPLACE SECOND FLOOR BALCONY PAVING, S.A.D.
26	SECOND FLOOR LOGGIA PAVING WATERPROOFING, S.A.D.
27	ORCHESTRA LEVEL SEATING - MODIFY AND RECONFIGURE PER NEW LAYOUT WITH ADA SEATING & AISLE LIGHTS, S.A.D., S.E.D., S.T.D.
28	BASE BID: (E) DRESS CIRCLE & BALCONY SEATS TO REMAIN, INCLUDING END STANDARDS, ALT. #3: REPLACE (E) SEATS WITH (N), SEE TS101.
29	MODIFY (E) THEATRICAL LIGHTS, S.T.D. & S.A.D.
31	BASE BID: LOCK OFF ORCHESTRA LIFT @ STAGE LEVEL POSITION. DISCONNECT FROM ELECTRICAL POWER, ALT. 1: DEMO ORCHESTRA LIFT FOR REPLACEMENT MECHANISM, S.T.D.
34	MECHANICAL PLENUM AT HERBST ATTIC, S.M.D., S.E.D. & S.A.D.
35	ROOF MOUNTED MECHANICAL EQUIPMENT, S.P.D. - P206, S.F.P.D. - FP206, S.M.D. - M206 & S.E.D. - E206

SECTION KEYNOTES

#	DESCRIPTION
36	(E) CONCRETE BALLAST SLAB
37	(E) 6" THICK CONCRETE SLAB
38	(E) ROCK FILL BETWEEN CONCRETE SLABS
39	FRAMED PARTITION, SEE ARCH. 1/4" SCALE FLOOR PLANS & PARTITION TYPE SCHEDULE
40	SUSPENDED CEILING OR SOFFIT, SEE RCP
41	SEISMIC BRACING TO (E) PLASTER CEILINGS, S.S.D.
42	TOP OF HCT WALL SEISMIC BRACING, S.S.D.
43	DEMO THIRD FLOOR CORRIDOR HUNG CEILING AND WALL FURRING, TYP. REBUILD PLASTER CEILING, PATCH WALLS, S.A.R.D., S.A.D.D., S.A.D.
44	(E) BOXES TO REMAIN, REMOVE CARPETING AND HANDRAILS AT STAIRS AND BOXES, REMOVE TRIM AT OUTSIDE FACE OF BOXES, SEE AD003, A770-A772 FOR DETAIL
45	ACOUSTIC REPAIRS TO HERBST THEATER ENCLOSURE - PATCH MISC HOLES & GAPS IN WALLS, S.A.D.
46	INFILL STRUCTURAL SLAB AT ROOF, S.T.D. & S.A.D.
47	ROOF MOUNTED CHILLERS, S.M.D. - M206, S.P.D. - P206, S.S.D. - S206, S.A.D. - A316 & A317
48	STAGE SMOKE VENTS, S.A.D. - 1/881.3 & 2/A881.2, S.A.R.D., S.A.D.D., S.S.D. - S206
49	DEMO & REPLACE BASEMENT BAR LOUNGE, S.A.R.D., S.A.D.D., S.S.D. & S.A.D.
50	METAL LOUVERED OPENINGS IN PARAPET WALL, TYPICAL OF 12, SEE DETAIL 3/A881, S.A.R.D., S.A.D., S.M.D. & S.S.D.
51	STRUCTURAL CONCRETE SHEAR WALL ALONG GRID LINES 6.9 & 14.2 ADJACENT TO THEATER WALLS WITH BRANGWYN MURALS, SEE S.A.R.D., S.A.D.D., S.S.D., S.A.D. FOR SPECIAL DETAILS TO PROTECT MURALS
52	FOAM INJECTION IN WALL CHASE OR PILASTER, S.S.D.
53	FRP (FIBER REINFORCED PLASTIC) LAYERS ON CONCRETE SLAB (STRUCTURAL REINFORCEMENT), S.S.D. & S.A.D.
54	STEEL SPANDREL, S.S.D.
55	WALL CHASE WITH HVAC DUCTS FROM ATTIC FEEDING FLOORS 2 THRU 4, S.A.D. & S.M.D.
56	(E) STEEL SASH FRAMED LAYLIGHTS - DEMO T-BAR GRID & DEMO GLASS LITES, SEE RCP FOR REPLACEMENT MATERIAL, S.A.R.D., S.A.D.D. & S.A.D.
57	ROOF STAIR WALL ENCLOSURE EXTENSION, S.A.R.D., S.A.D.D., S.A.D. - A316 & S.S.D. - S206
58	ELECTRICAL & IT EQUIPMENT, S.E.D., S.I.T.D., S.A.D.
59	CAST STONE CLEANING, S.A.D.
60	CRACK REPAIR IN (E) PLASTER WALLS & CEILINGS, S.A.D.
62	PATCH MISC PLASTER HOLES, BROKEN PLASTER & CRACKED PLASTER ON AUDITORIUM WALLS, S.A.D.
63	DEMO & REPLACE SEATING PARTITIONS AT ORCHESTRA LEVEL SEATING, S.A.D.
64	DEMO & REPLACE PROSCENIUM FIRE CURTAIN, S.T.D.
65	DEMO & REPLACE STAGE GRIDIRON, S.S.D. & S.T.D.
66	STEEL TRUSS ACROSS STAGE, S.S.D.
67	DEMO & REPLACE STAGE RIGGING, S.T.D., S.S.D.
68	STEEL FRAMED FLY GALLERY W/ LOCKING RAIL, S.S.D., S.T.D., S.E.D. & S.A.D. (TR-400 & TR-401)
69	STEEL BALCONY RAIL EXTENSION FOR PERFORMANCE LIGHTING, S.A.D., S.S.D., S.T.D., S.E.D.

Issue 7/22/13

100% CONSTRUCTION DOCUMENTS & BID DOCUMENTS CONFORMED SET

INCLUDES ADDENDA 1-8

No.	Date	Revisions
4	04/05/13	SITE PERMIT 2
8	05/15/13	BID ADDENDUM NO. 5
9	05/16/13	100% CO & BID DOCS - CONFORMED SET
13	06/20/13	BID ADDENDUM NO. 7
14	06/28/13	PERMIT ADDENDUM 3 - CIVIL ARCH, MEP, FP, THEATRICAL
16	07/22/13	100% CO & BID DOCS - CONFORMED SET

Drawn: TEAM
 Prop. Arch: ANDY MALONEY
 Proj. Mgr: TARA LARONT
 Section Head: WILL KWAN
 Phase: BID
 Drawing Title: PROJECT ARCHITECT ANDREW JOSEPH MALONEY

BUILDING SECTION A - A





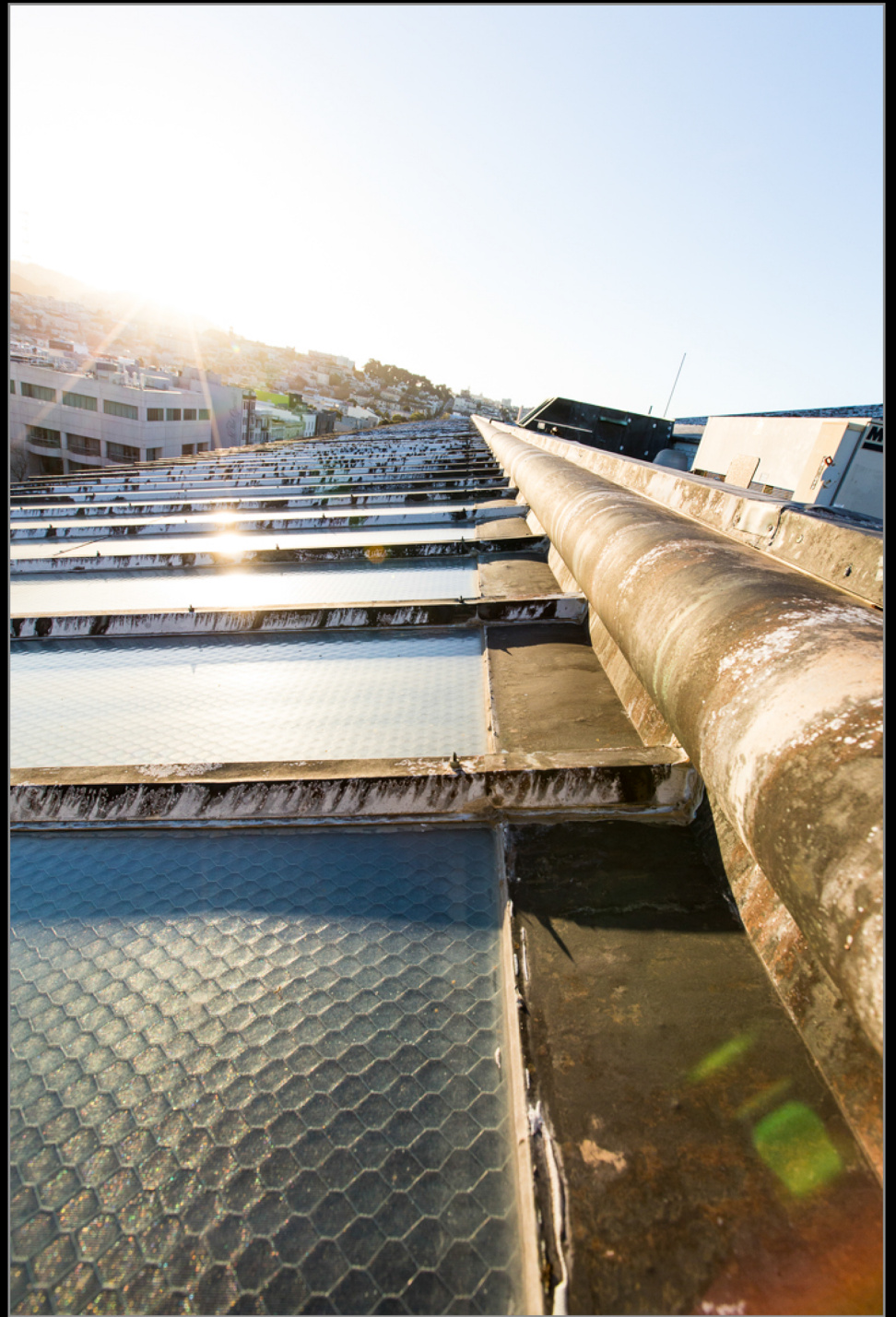




UPPER
SKYLIGHTS



UPPER SKYLIGHTS





UPPER SKYLIGHTS
AT ATTIC INTERIOR

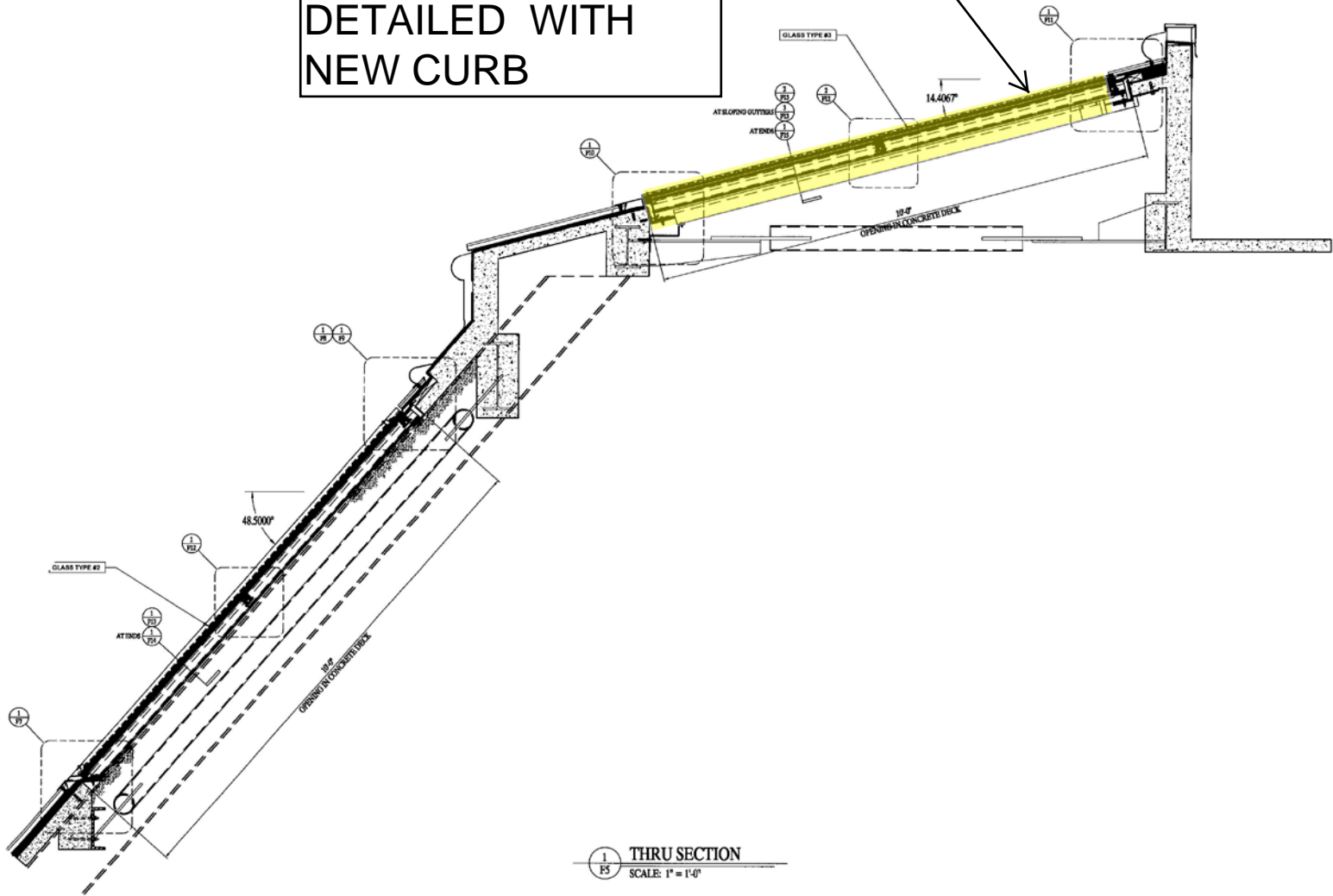


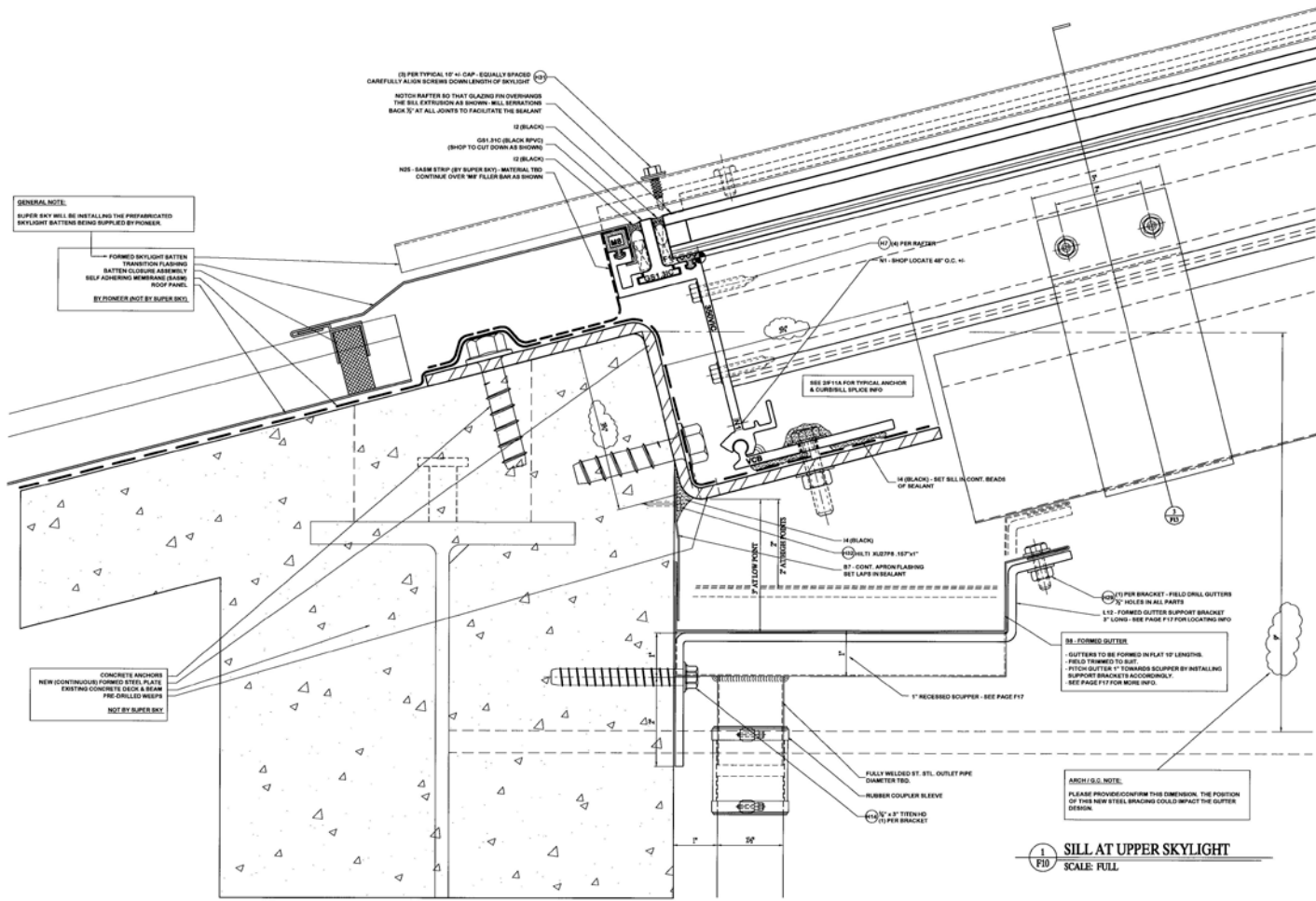


**UPPER
SKYLIGHTS AT
ATTIC INTERIOR**



**OPTION A:
UPPER SKYLIGHT
DETAILED WITH
NEW CURB**





GENERAL NOTE:
SUPER SKY WILL BE INSTALLING THE PREFABRICATED SKYLIGHT BATTEN BEING SUPPLIED BY PIONEER.

FORMED SKYLIGHT BATTEN
TRANSITION FLASHING
BATTEN CLOSURE ASSEMBLY
SELF ADHERING MEMBRANE (DRAIN
ROOF PANEL)
BY PIONEER (NOT BY SUPER SKY)

CONCRETE ANCHORS
NEW (CONTINUOUS) FORMED STEEL PLATE
EXISTING (CONCRETE) BEAM
PRE-DRILLED WEEPS
NOT BY SUPER SKY

(2) PER TYPICAL 12" H CAP, EQUALLY SPACED
CAREFULLY ALIGN SCREWS DOWNLENGTH OF SKYLIGHT
NOTE: RAFTERS SO THAT GLAZING PIN OVERHUNG
THE SILL CUTSECTION AS SHOWN. WILL REBRACE
BACK 'N' AT ALL JOINTS TO FACILITATE THE SEALANT

(2) (BLACK)
(8) (BLACK) (BLACK RP/IC)
(SHOP TO CUT DOWN AS SHOWN)

(2) (BLACK)
NOR DRAIN STRIP (BY SUPER SKY). MINIMUM TWO
CONTINUE OVER WF FLOOR BEAM AS SHOWN

(1) (BLACK) PER BRACKET
(1) (BLACK) SHOP LOCATE 48" O.C. H

SEE SF 114 FOR TYPICAL ANCHOR
& CURB SILL W/FLASH INFO

(1) (BLACK) SET SILL IN CONT. REAR
OF SEALANT

(1) (BLACK)
MULTI FLUTE 1.57"x1"
ST. CONT. APRON FLASHING
SET LAP IN SEALANT

(1) (BLACK) PER BRACKET - FIELD DRILL GUTTERS
3/4" HOLES IN ALL PARTS
L-17 FORMED GUTTER SUPPORT BRACKET
3" LONG - SEE PAGE F17 FOR LOCATING INFO

38 FORMED GUTTER
GUTTERS TO BE FORMED IN PLACE LENGTHS.
FIELD TRIMMED TO SIZE.
PITCH GUTTER 1" TOWARDS SCUPPER BY INSTALLING
SUPPORT BRACKETS ACCORDINGLY.
SEE PAGE F17 FOR MORE INFO.

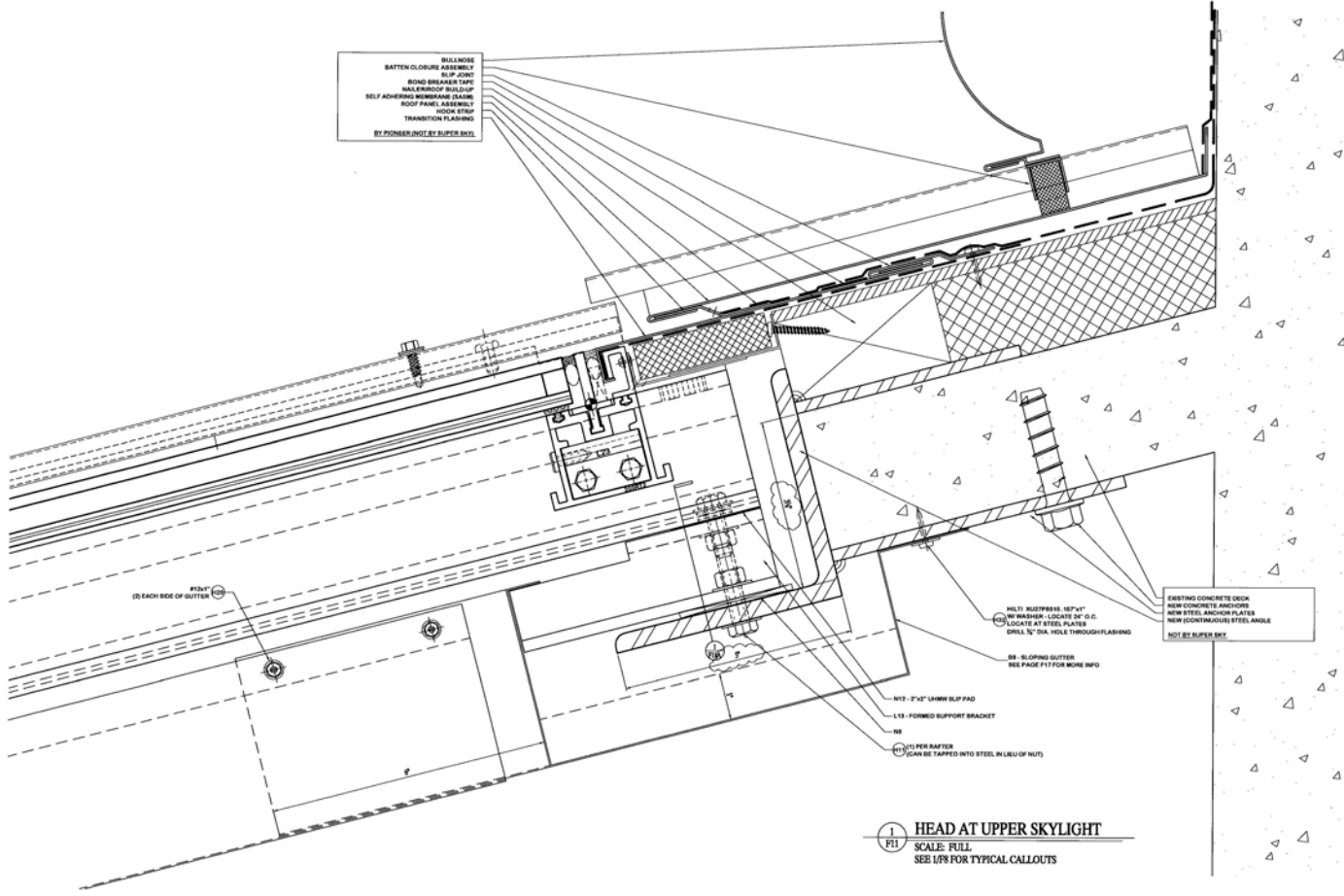
1" RECESSED SCUPPER - SEE PAGE F17

FULLY WELDED ST. STL. OUTLET PIPE
DIAMETER TBD.
RUBBER COUPLER BLEEVE
(1) (BLACK) 4" ST. TRENCH
(1) (BLACK) PER BRACKET

ARCH./S.D. NOTE:
PLEASE PROVIDE CONFORM THIS DIMENSION. THE POSITION
OF THIS NEW STEEL BRACING COULD IMPACT THE GUTTER
DESIGN.

SILL AT UPPER SKYLIGHT
SCALE: FULL

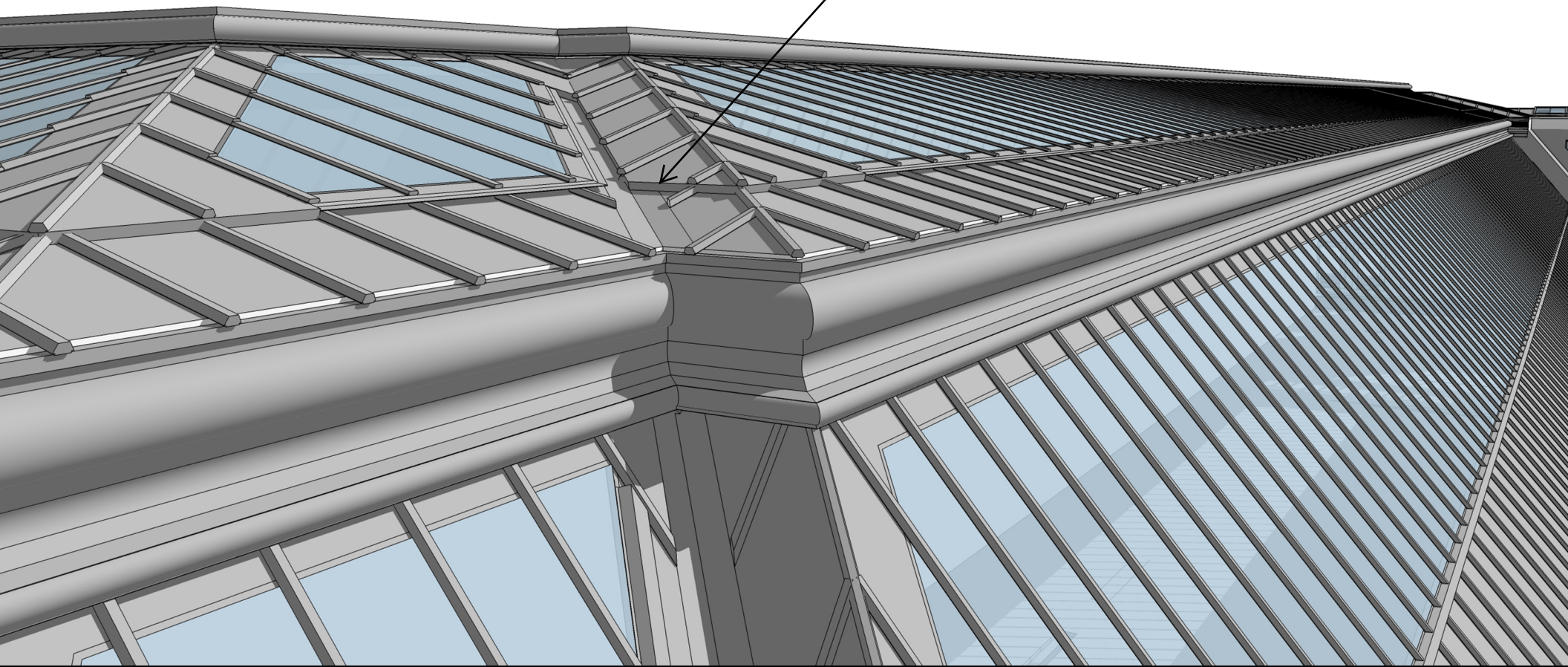
OPTION A SILL AT UPPER SKYLIGHT



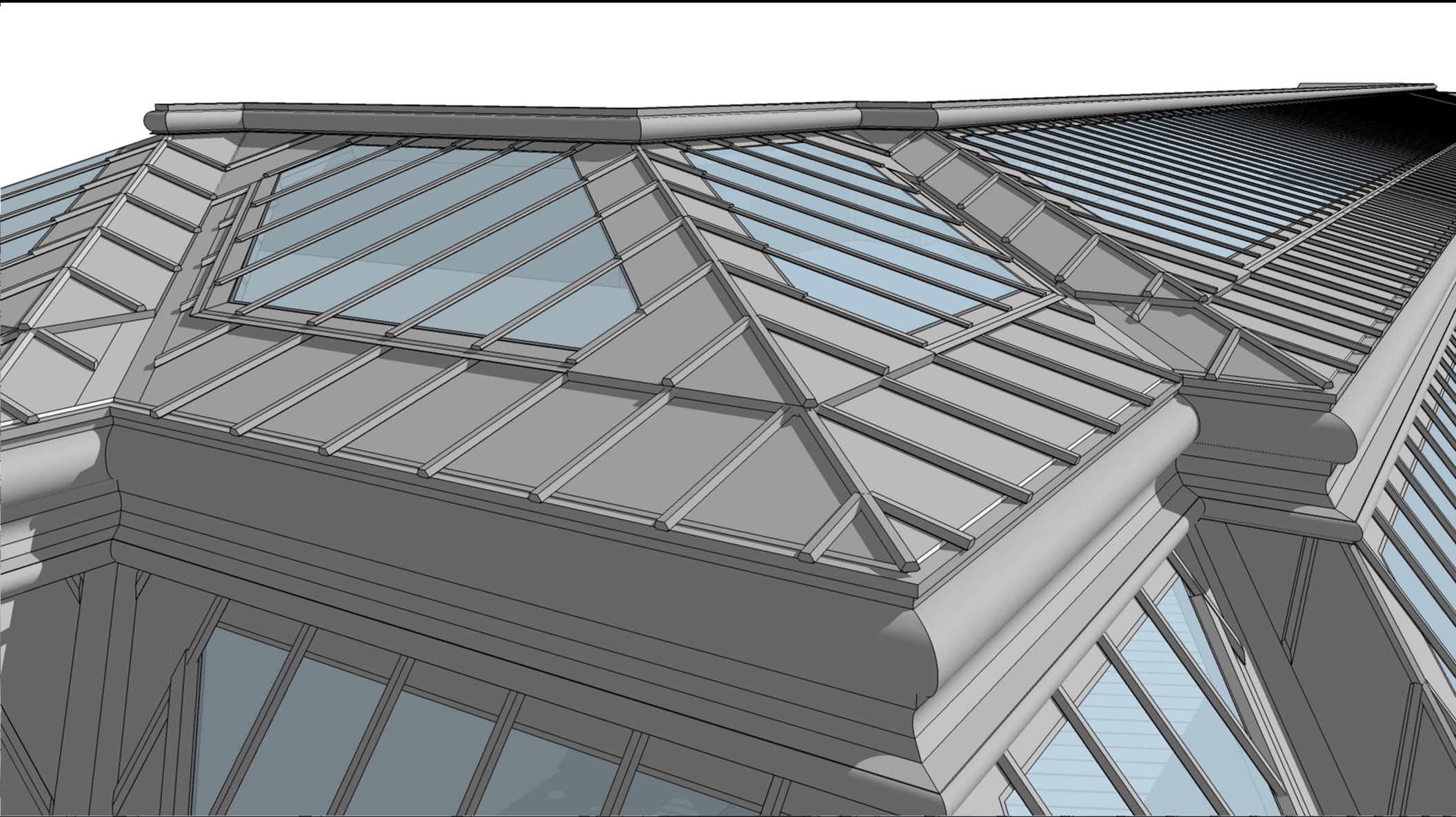
1
F11 HEAD AT UPPER SKYLIGHT
 SCALE: FULL
 SEE LPS FOR TYPICAL CALLOUTS

OPTION A HEAD AT UPPER SKYLIGHT

UPPER SKYLIGHT
DETAILED WITH
NEW CURB

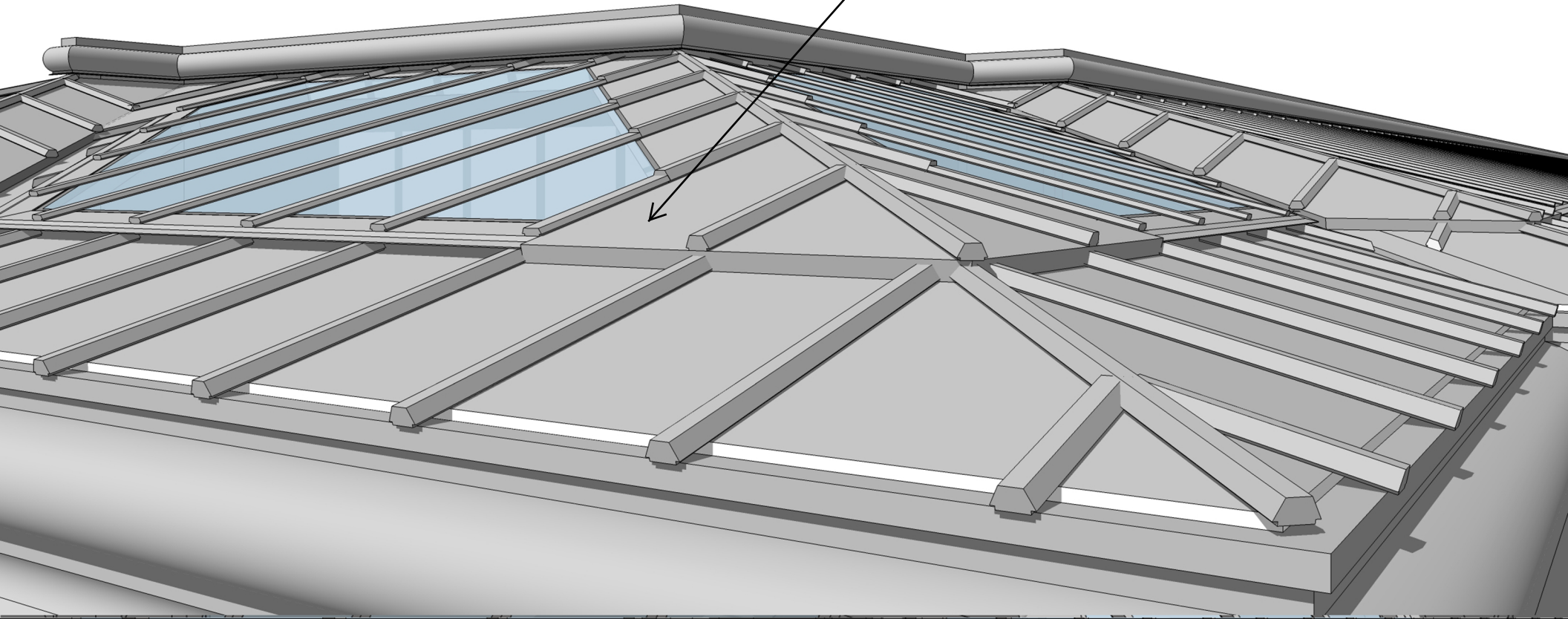


OPTION A



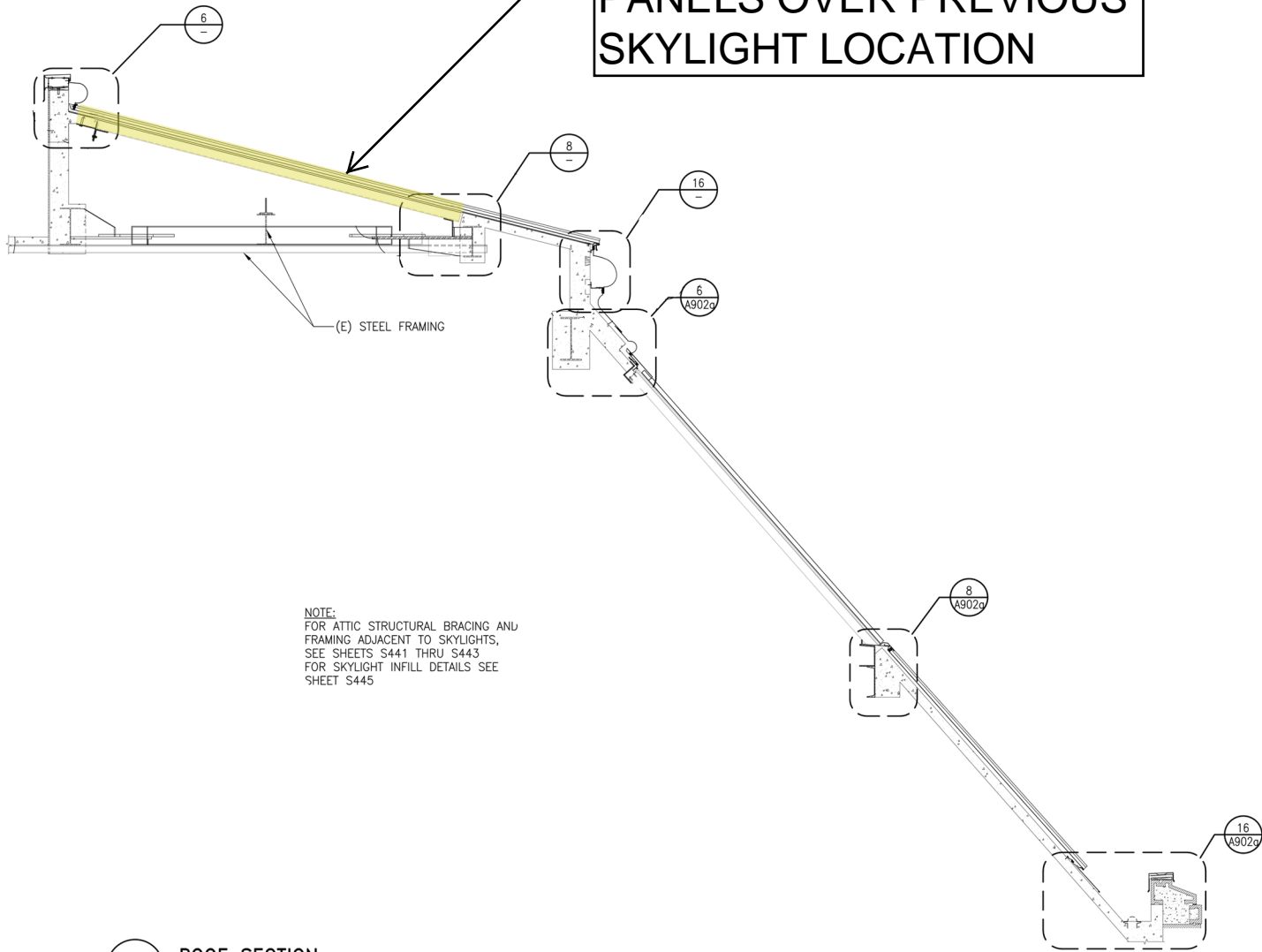
OPTION A

UPPER SKYLIGHT
DETAILED WITH
NEW CURB

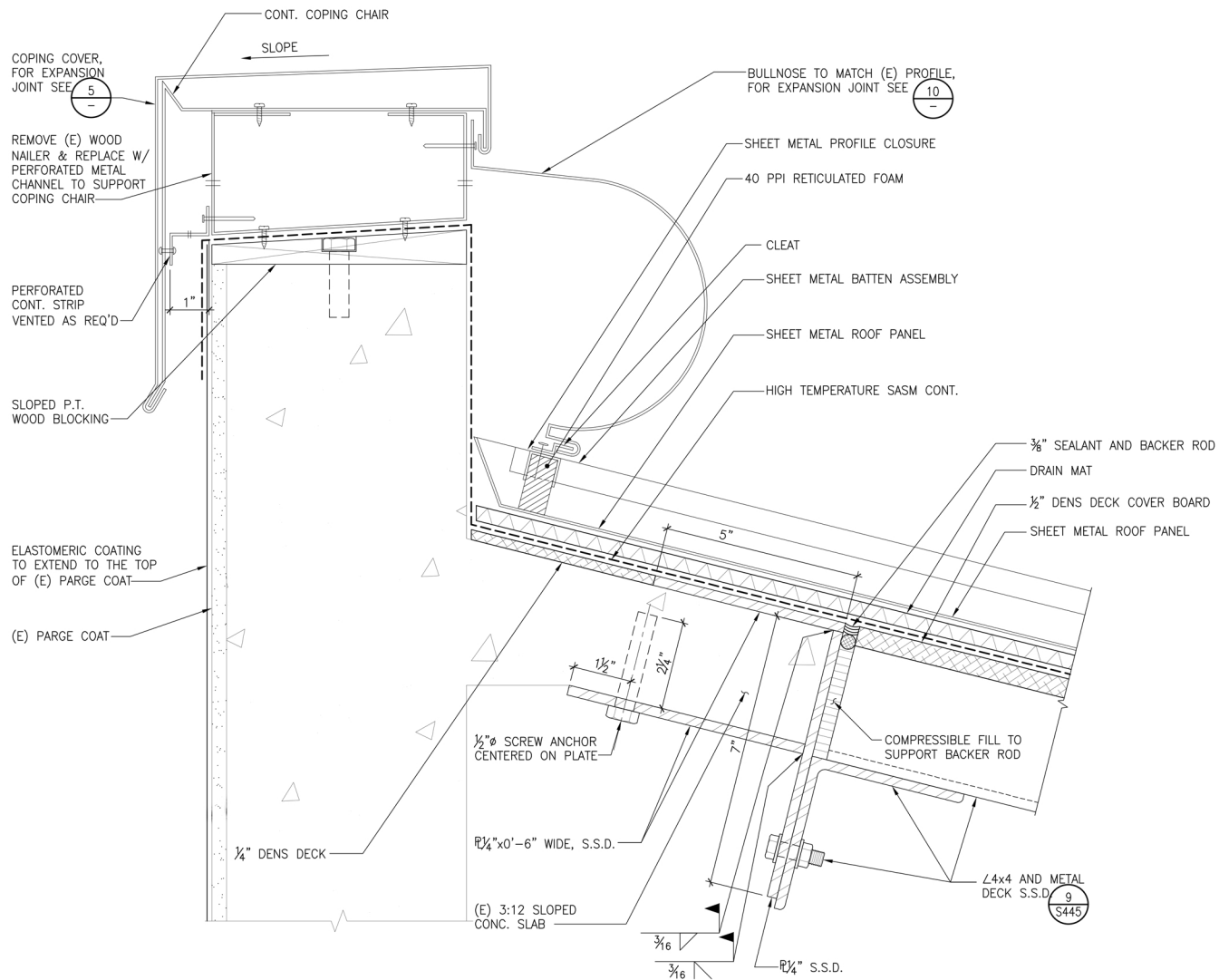


OPTION A

**OPTION B (PREFERRED):
CONTINUOUS ROOF
PANELS OVER PREVIOUS
SKYLIGHT LOCATION**



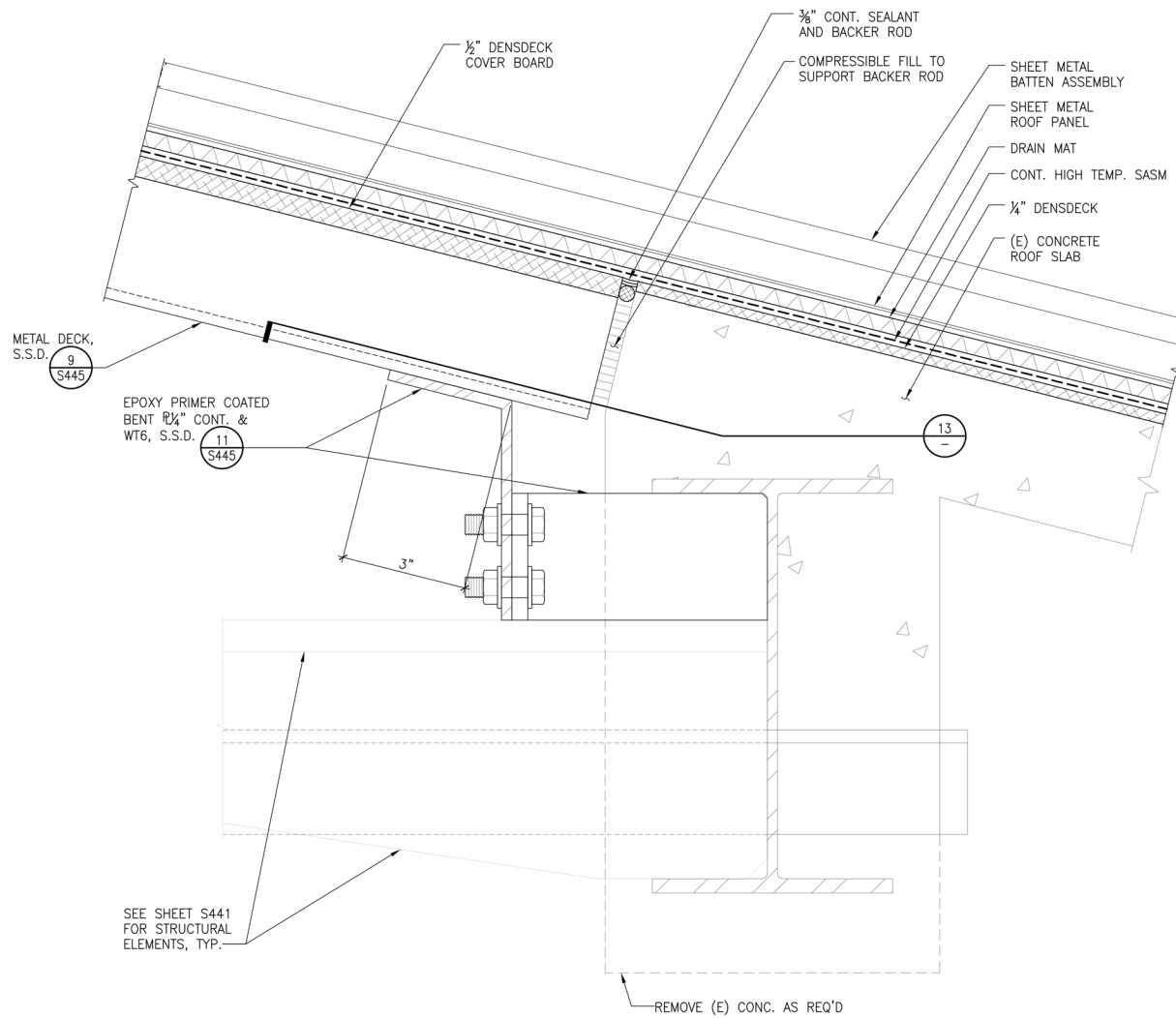
NOTE:
FOR ATTIC STRUCTURAL BRACING AND
FRAMING ADJACENT TO SKYLIGHTS,
SEE SHEETS S441 THRU S443
FOR SKYLIGHT INFILL DETAILS SEE
SHEET S445



6 COPING AND BULLNOSE

**OPTION B
(PREFERRED)**

UPPER PORTION OF CONTINUOUS ROOF PANEL

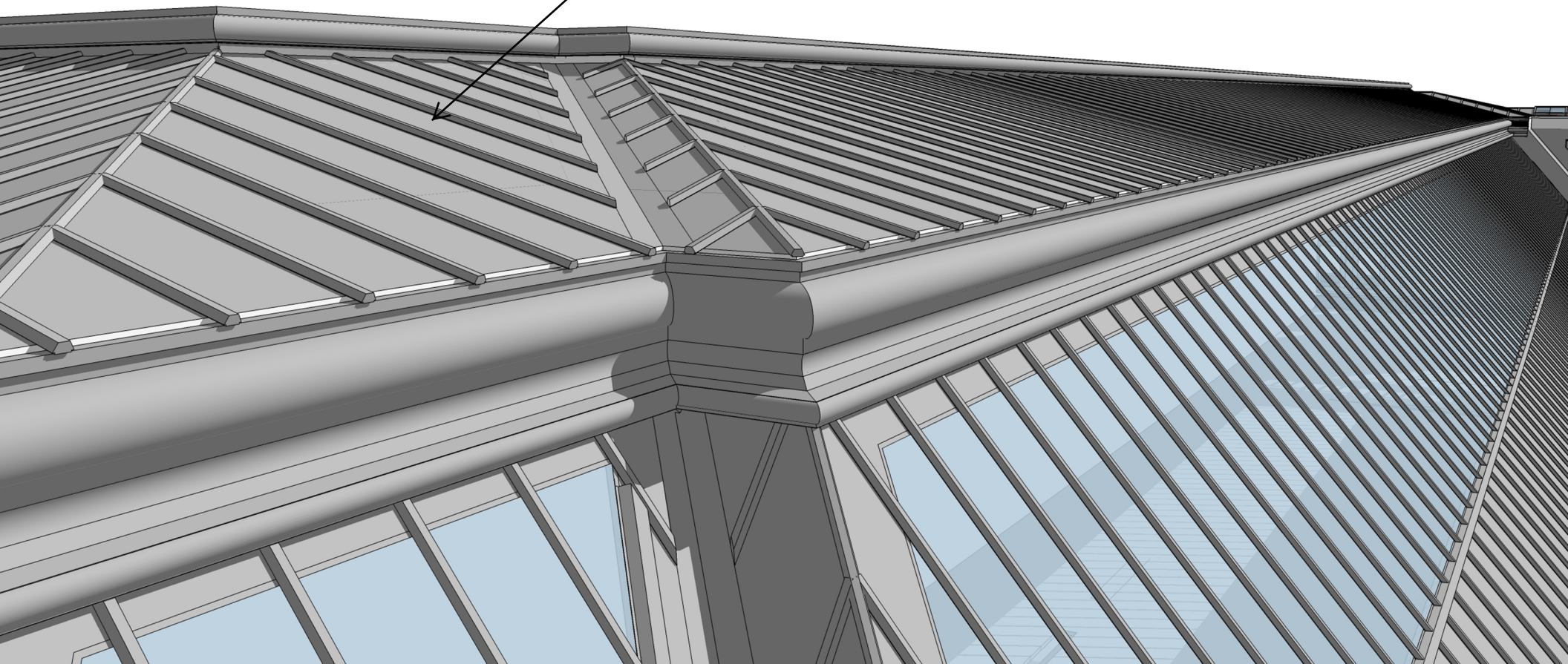


8 METAL DECK SILL (AT PREVIOUS SKYLIGHT)

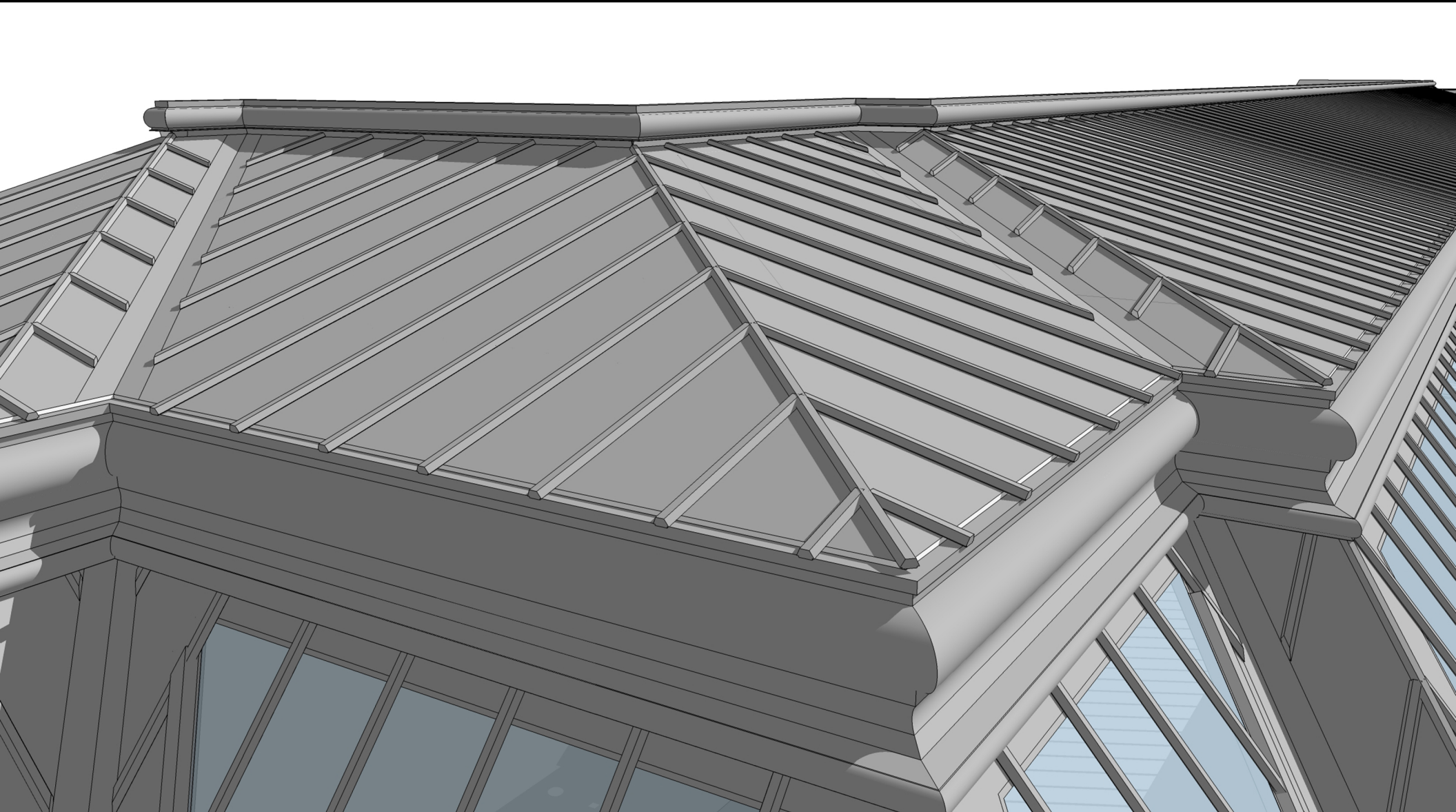
**OPTION B
(PREFERRED)**

LOWER PORTION OF CONTINUOUS ROOF PANEL

CONTINUOUS ROOF
PANELS AT PREVIOUS
SKYLIGHT LOCATION

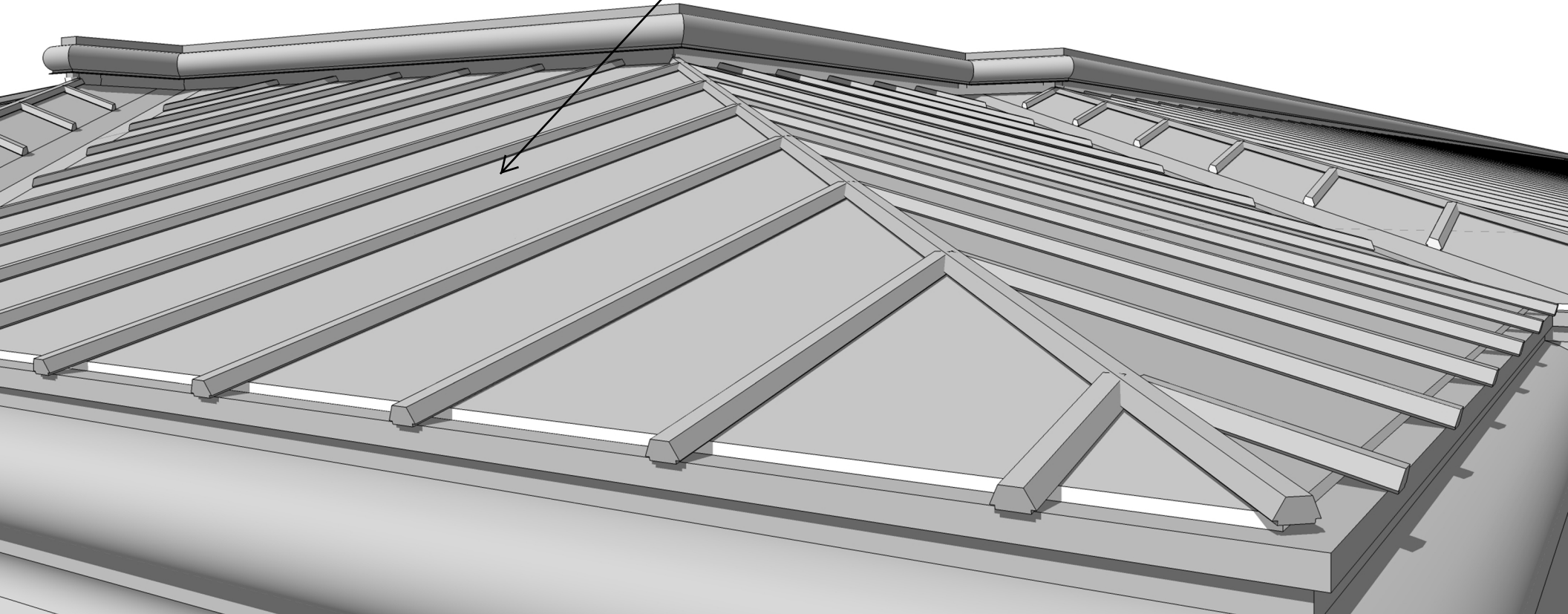


**OPTION B
(PREFERRED)**



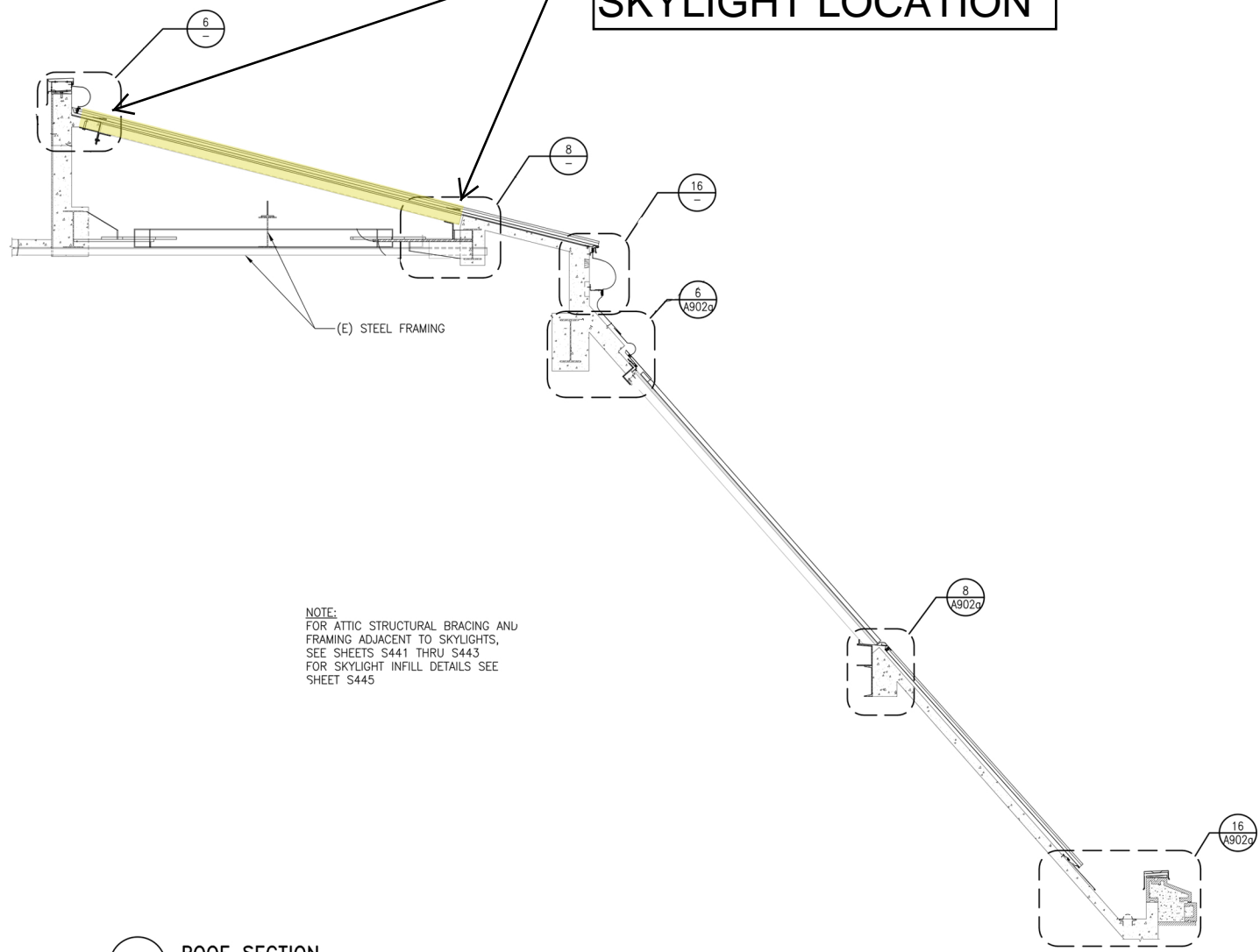
**OPTION B
(PREFERRED)**

CONTINUOUS ROOF
PANELS AT PREVIOUS
SKYLIGHT LOCATION

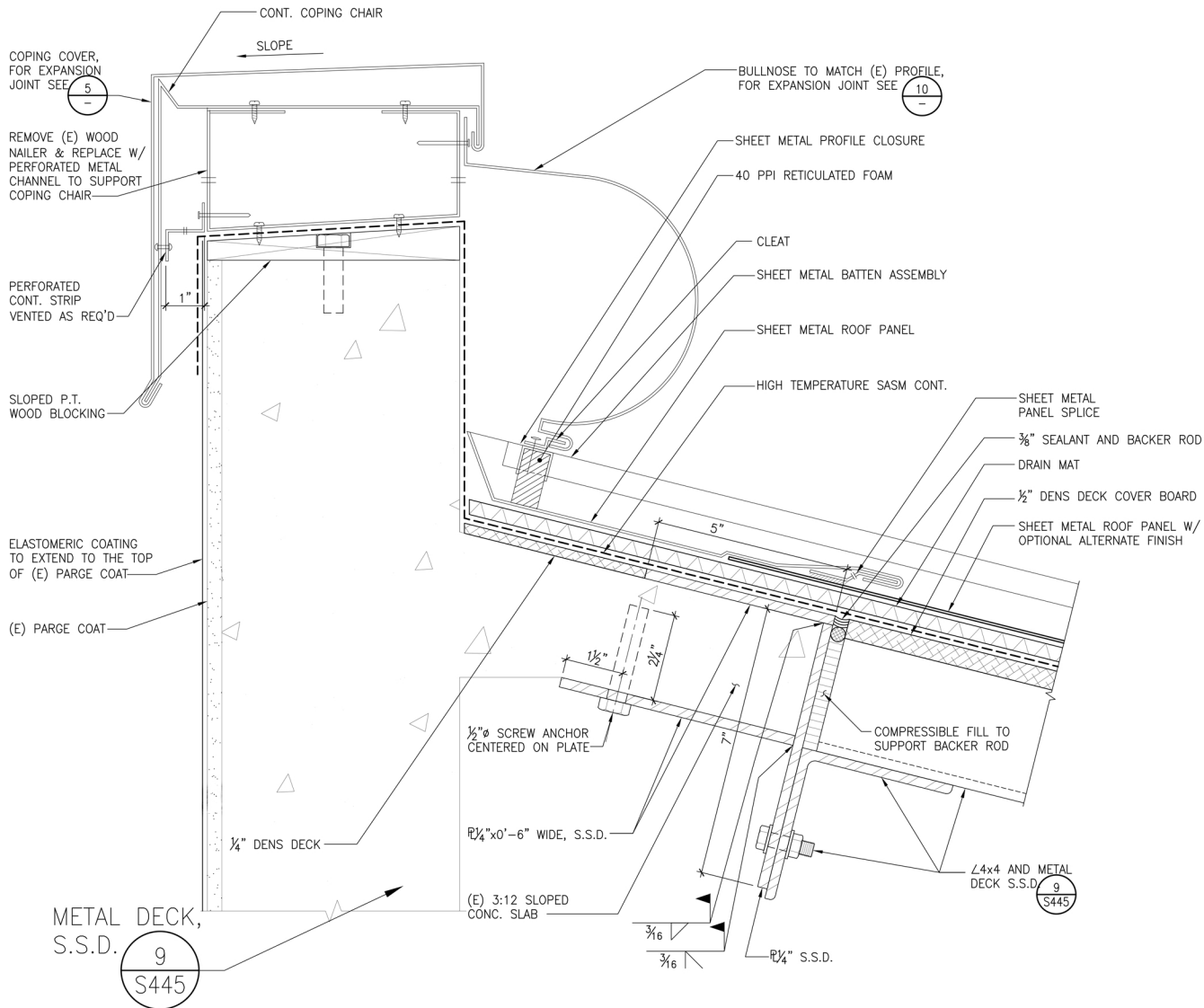


**OPTION B
(PREFERRED)**

**OPTION C:
DELINEATION OF
SKYLIGHT LOCATION**

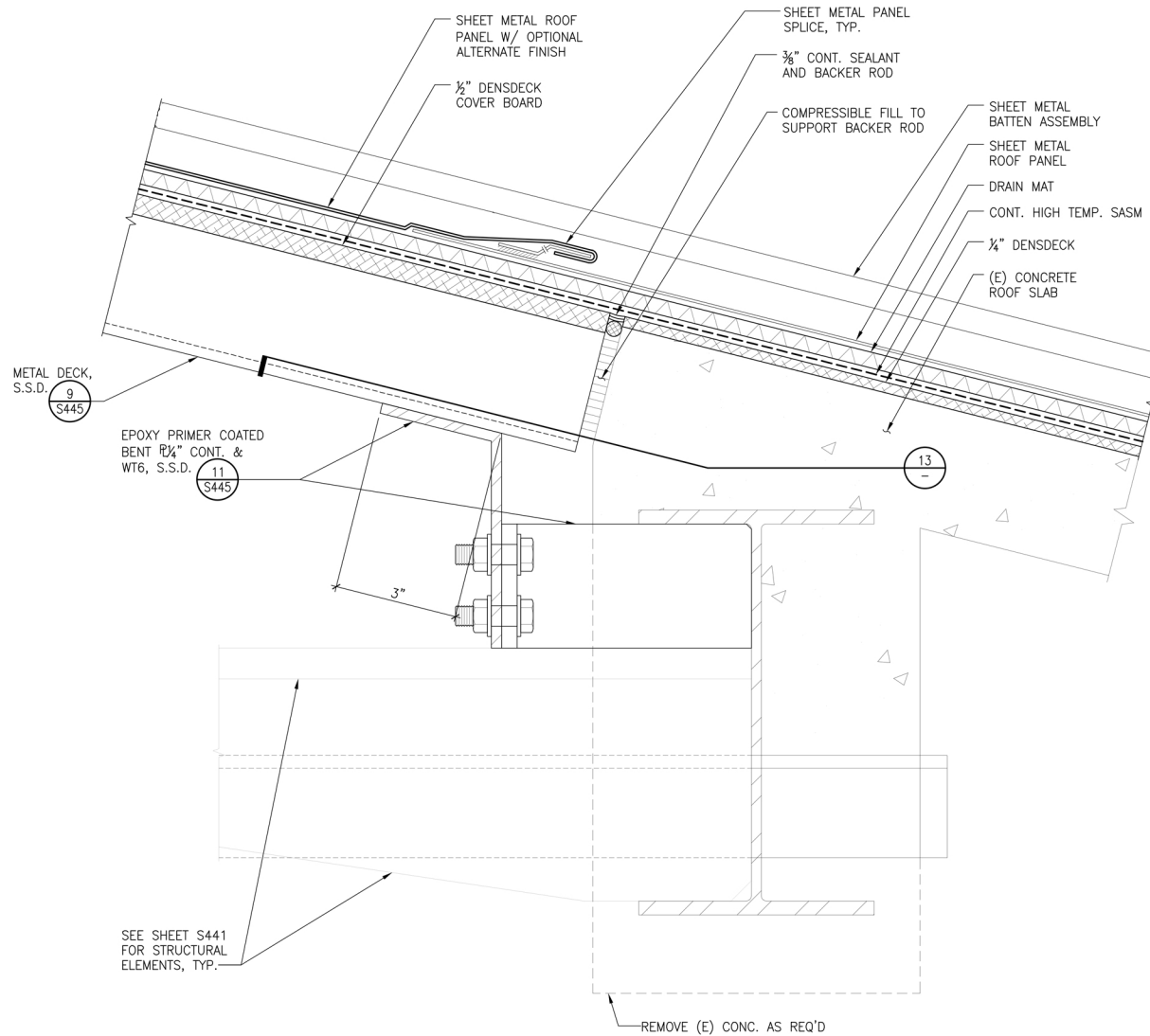


NOTE:
FOR ATTIC STRUCTURAL BRACING AND
FRAMING ADJACENT TO SKYLIGHTS,
SEE SHEETS S441 THRU S443
FOR SKYLIGHT INFILL DETAILS SEE
SHEET S445



6 COPING AND BULLNOSE

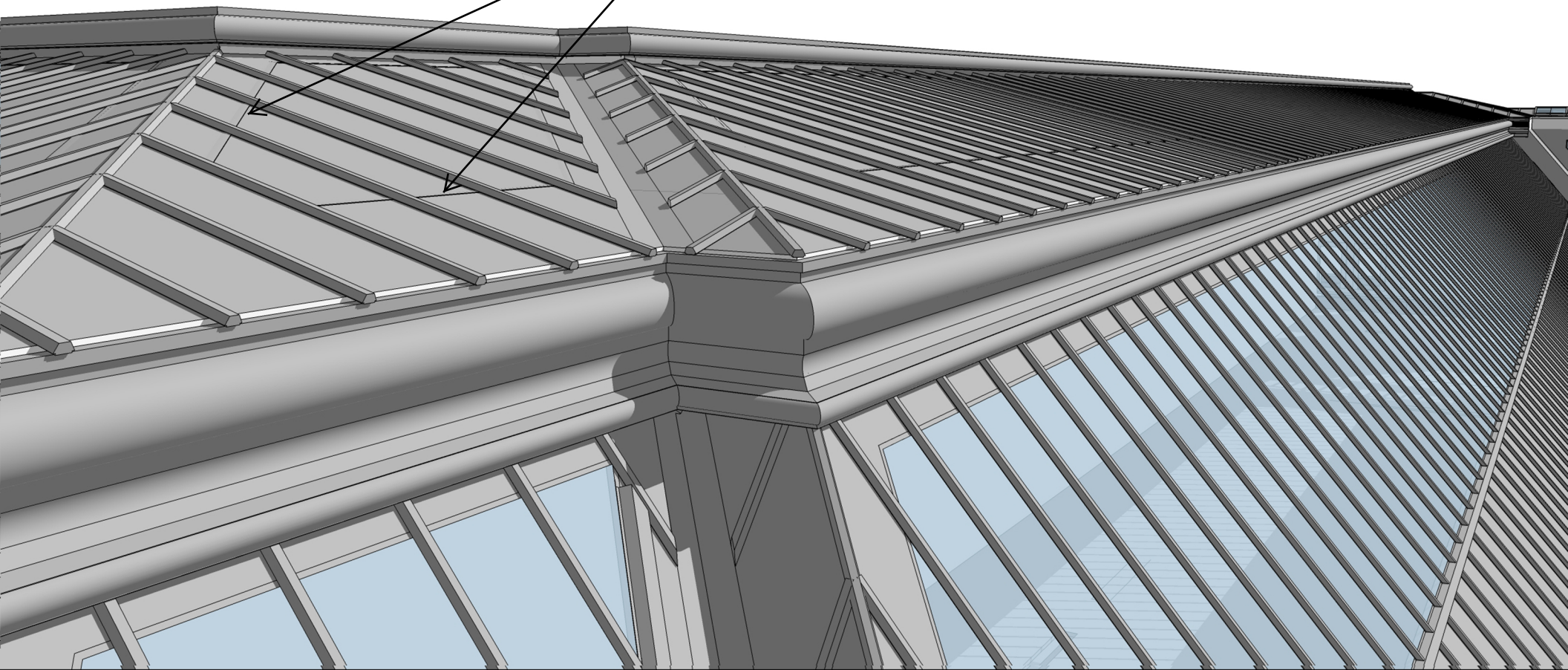
OPTION C HEAD AT DELINEATION OF SKYLIGHT LOCATION



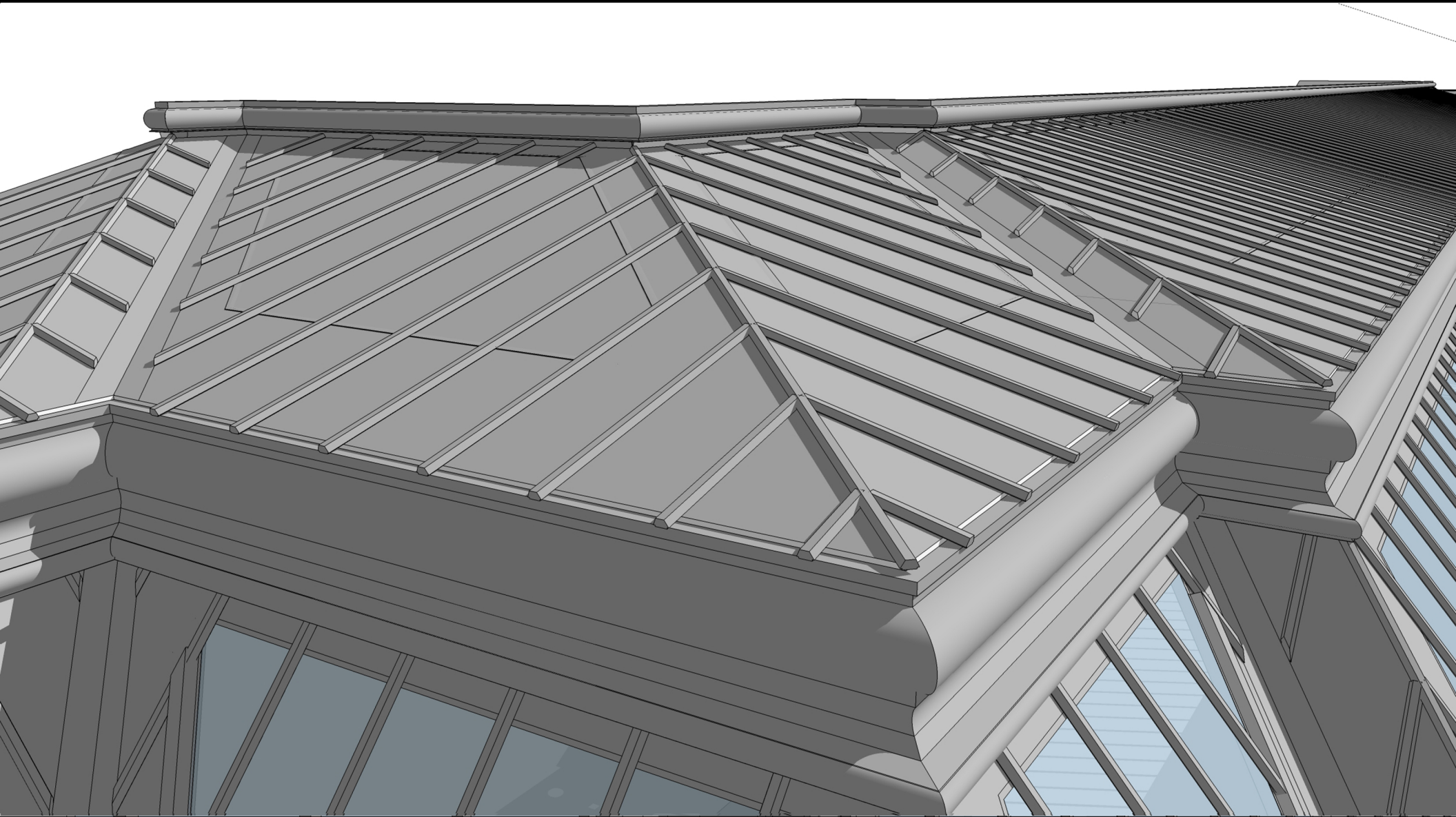
8 METAL DECK SILL (AT PREVIOUS SKYLIGHT)

OPTION C SILL AT DELINEATION OF SKYLIGHT LOCATION

DELINEATION OF
SKYLIGHT LOCATION

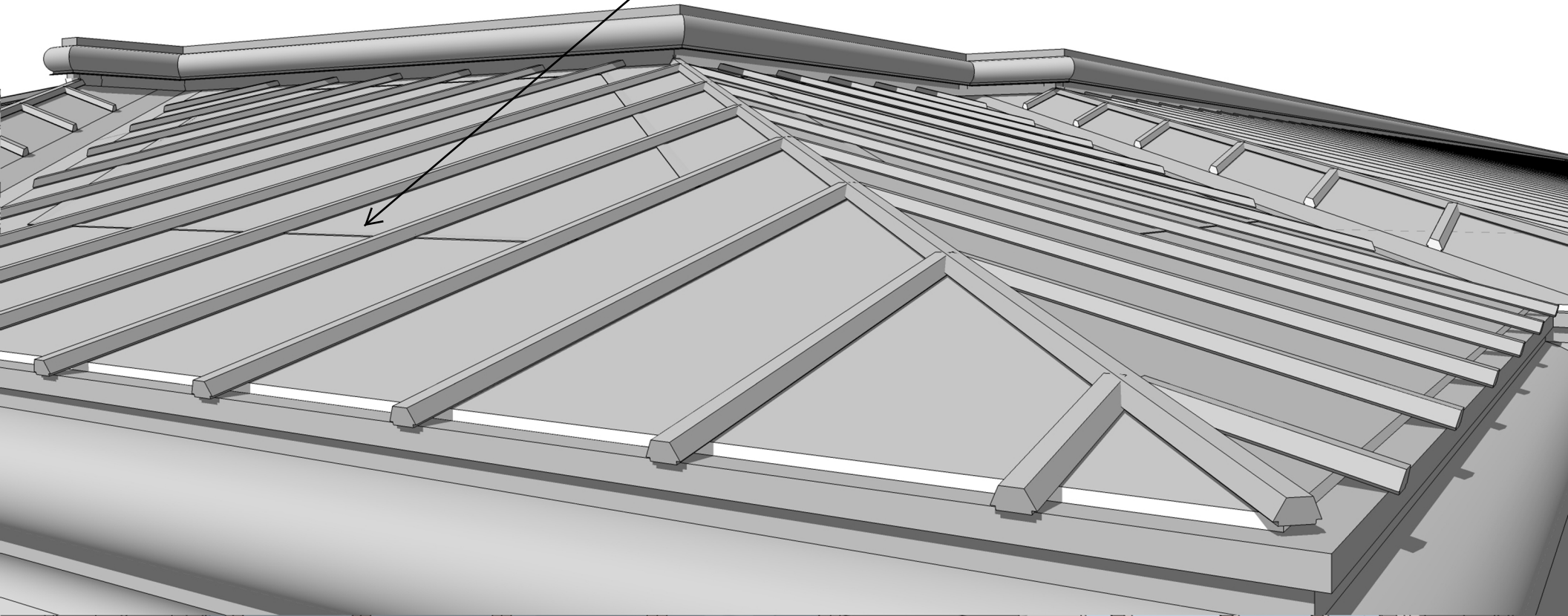


OPTION C

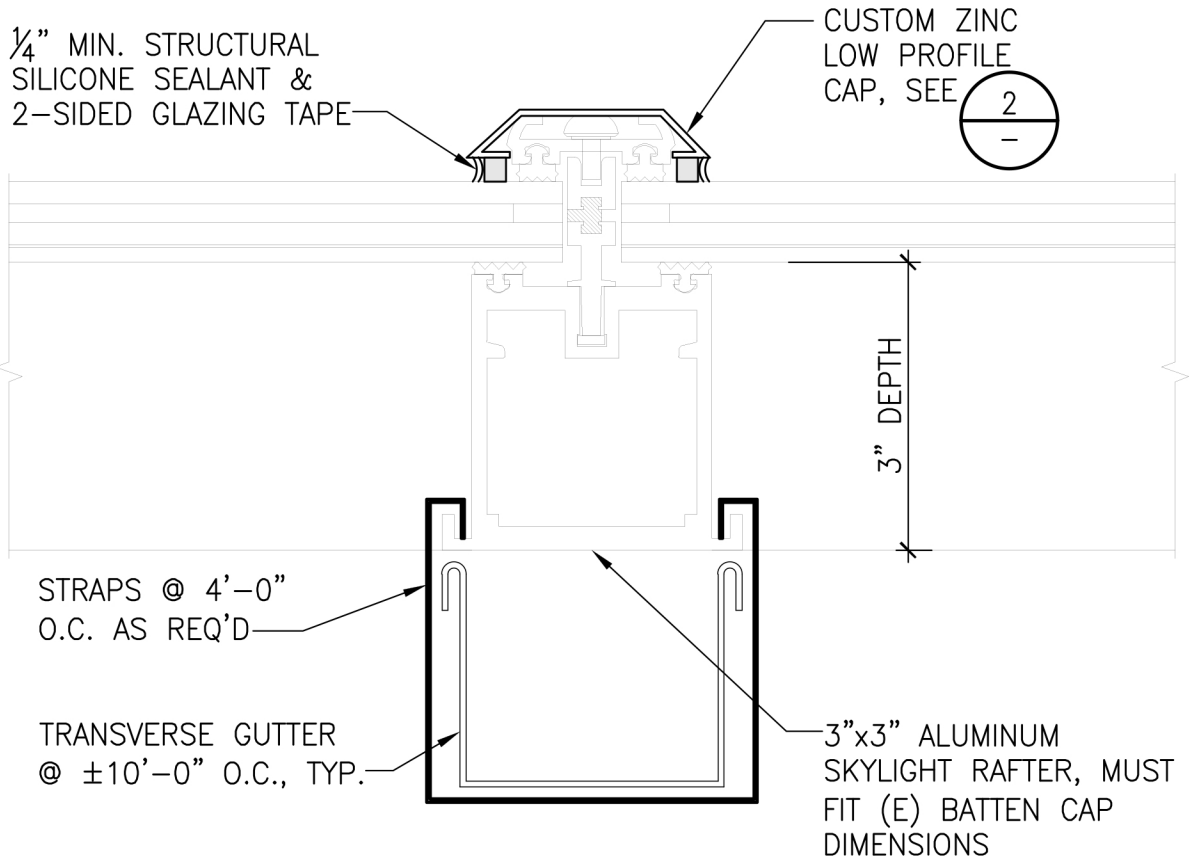


OPTION C

DELINEATION OF
SKYLIGHT LOCATION



OPTION C



SFWW_A902B_D01

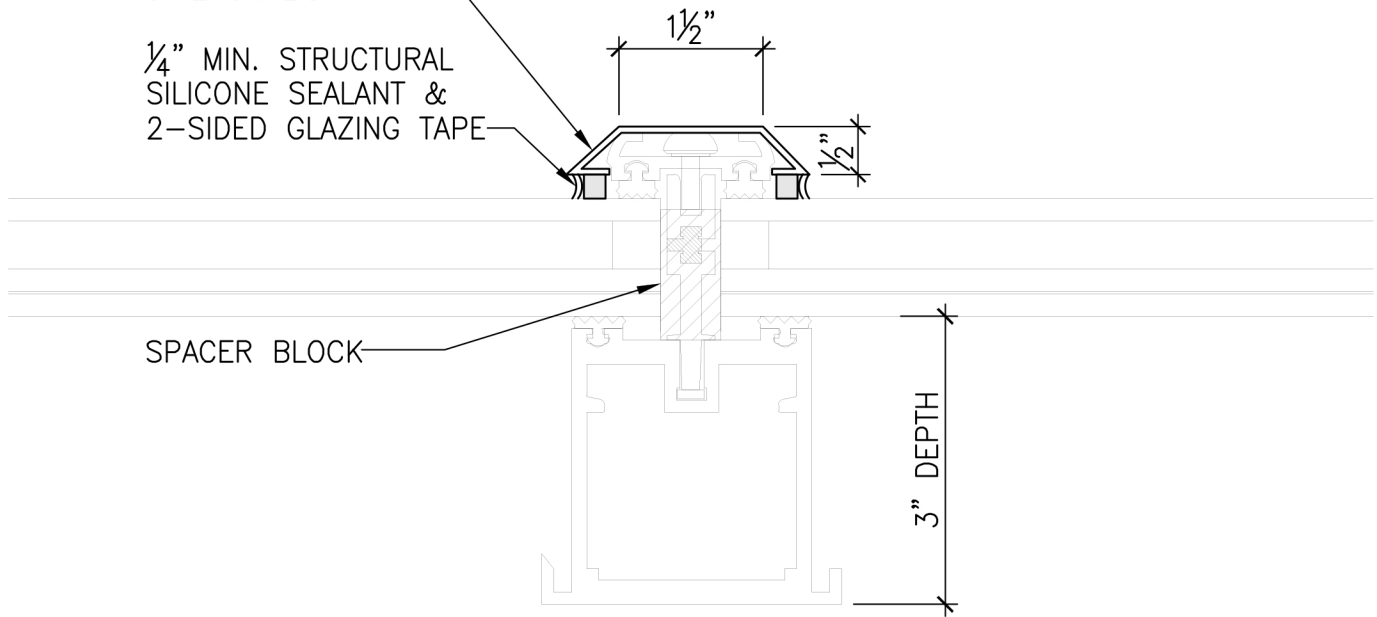
1

TRANSVERSE INTERIOR GUTTER DETAIL

SCALE: 6"=1'-0"

CUSTOM ZINC LOW
PROFILE CAP @
3:12 SKYLIGHT

1/4" MIN. STRUCTURAL
SILICONE SEALANT &
2-SIDED GLAZING TAPE



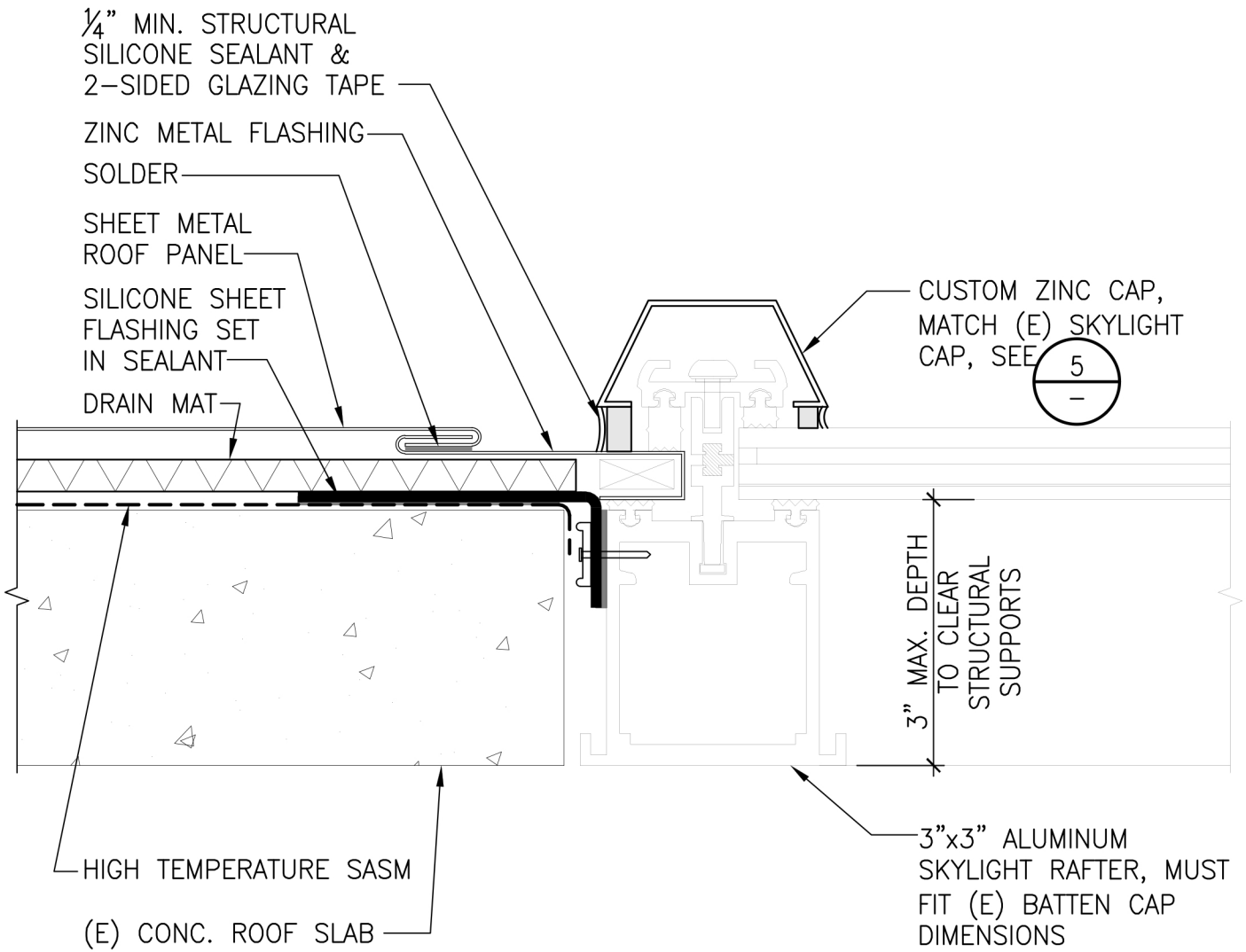
SPACER BLOCK

SFWM_A902B_D02

2

LOW PROFILE SKYLIGHT CAP AT 3:12 ROOF

SCALE: 6"=1'-0"

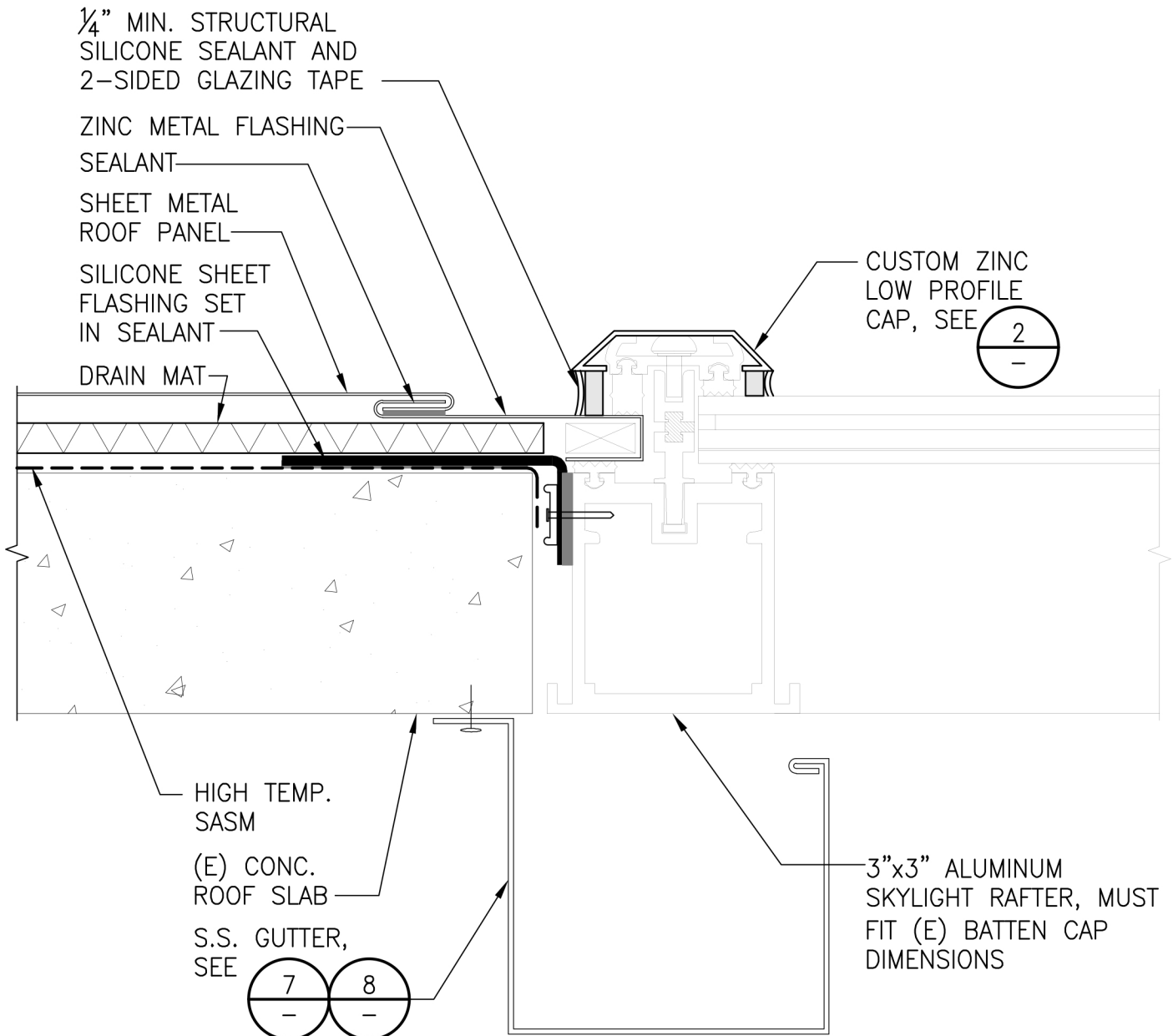


SFWM_A902B_D03

3

SKYLIGHT JAMB DETAIL

SCALE: 6"=1'-0"



SFWM_A902B_D04

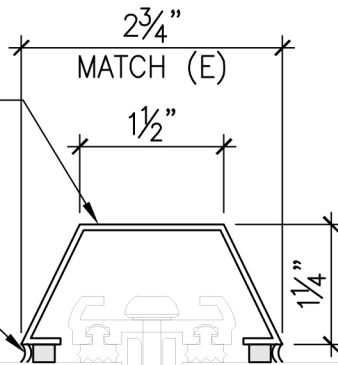
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SKYLIGHT JAMB DETAIL

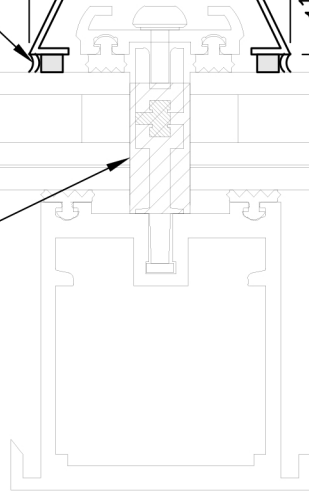
SCALE: 6"=1'-0"

CUSTOM ZINC CAP TO
MATCH (E) SKYLIGHT CAPS

1/4" MIN. STRUCTURAL
SILICONE SEALANT & 2-SIDED
ADHESION GLAZING TAPE



SPACER BLOCK



SFWM_A902B_D05

5

TYPICAL SKYLIGHT CAP

SCALE: 6"=1'-0"



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. 0166

HEARING DATE: JULY 18, 2012
CONTINUED FROM: APRIL 4, 2012 & JUNE 6, 2012

Filing Date: March 13, 2012
Case No.: **2011.0420A**
Project Address: **VETERANS BUILDING, 401 VAN NESS AVENUE**
Historic Landmark: Landmark No. 84; Civic Center Historic District
Zoning: P (Public) Zoning District
OS/96-X Height and Bulk District
Block/Lot: 0786A/001
Applicant: Tara Lamont, DPW-Bureau of Architecture
30 Van Ness Avenue
San Francisco, CA 94102
Staff Contact Richard Sucre - (415) 575-9108
richard.sucre@sfgov.org
Reviewed By Timothy Frye - (415) 575-6822
tim.frye@sfgov.org

1650 Mission St.
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San Francisco,
CA 94103-2479

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415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 001 IN ASSESSOR'S BLOCK 0786A, WITHIN THE P ZONING DISTRICT, CIVIC CENTER HISTORIC DISTRICT, AND OS/96-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on March 13, 2012, Tara Lamont of the City and County of San Francisco Department of Public Works-Bureau of Architecture (Project Sponsor) on behalf of San Francisco War Memorial Board of Trustees (Property Owner) filed an application with the San Francisco Planning Department (Department) for a Certificate of Appropriateness for exterior alterations to the subject property located on Lot 001 in Assessor's Block 0786A.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, the Project was continued from the April 4, 2012 and June 6, 2012 Historic Preservation Commission Hearing.

WHEREAS, on July 18, 2012, the Commission conducted a duly noticed public hearing on the current project, Case No. 2011.0420A (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants with conditions a Certificate of Appropriateness, in conformance with the project information dated February 3, 2012 and labeled Exhibit A on file in the docket for Case No. 2011.0420A based on the following findings:

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. As part of the Building Permit, the Project Sponsor shall provide a mock-up of the window rehabilitation for review and approval by Planning Department Preservation Staff. The Project Sponsor shall provide additional information on the window rehabilitation, including a detailed conditions assessment of each window, a window schedule, and appropriate plan details, as determined by staff.
2. As part of the Building Permit, the Project Sponsor shall provide a mock-up of the terracotta repair and restoration for review and approval by Planning Department Preservation Staff. During or prior to the mock-up, the Project Sponsor shall provide glaze samples, which shall match the existing glaze of the historic terracotta in shade and tone. This sample shall include an accurate range of colors to match the landmark building.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of Landmark No. 84 and the Civic Center Historic District as described in Article 10 of the Planning Code.

- That the exterior alterations would clean, repair and restore the exterior character-defining elements, and would rehabilitate deteriorated features of the landmark property.

- That the exterior alterations would replace historic materials, including the leaded-copper roof and steel-frame skylights, with compatible substitute materials.
 - That the exterior alterations are compatible with the height, massing, fenestration, materials, color, texture, detail, style, scale and proportion of the surrounding Civic Center Historic District.
 - That the exterior alterations would preserve, enhance and restore the exterior architectural appearance of the landmark property in a manner that is compatible with the surrounding Civic Center Historic District.
 - That the treatment of the stone surfaces of the landmark property is appropriate and does not damage any historic masonry surfaces, which contribute to the surrounding Civic Center Historic District.
 - That the essential form and integrity of the landmark and its environment would be unimpaired if the alterations were removed at a future date.
 - That the proposal respects the character-defining features of Landmark No. 84.
 - That the proposal respects the character-defining features of the Civic Center Historic District
 - The proposed project meets the requirements of Article 10.
 - The proposed project meets all ten of the *Secretary of the Interior's Standards for Rehabilitation*.
3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the Landmark No. 84 and the Civic Center Historic District for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The project will not have any impact on any existing neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of Landmark No. 84 and the Civic Center Historic District in conformance with the Secretary of the Interior's Standards for Rehabilitation.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will have no impact to housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is unaffected by the proposed work. Any construction or alteration associated with the project will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The project as proposed is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 001 in Assessor's Block 0786A for proposed work in conformance with the project information dated February 3, 2012, labeled Exhibit A on file in the docket for Case No. 2011.0420A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on July 18, 2012.

Linda D. Avery
Commission Secretary

AYES: Chase, Hasz, Johns, Martinez, Matsuda and Wolfram

NAYS:

ABSENT: Damkroger

ADOPTED: July 18, 2012



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
401 Van Ness Avenue		0786A/001	
Case No.	Permit No.	Plans Dated	
2013.1764A		Received January 2, 2014	
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 50 years old)	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Replacement of the Upper Skylights on the Shallow Portion of Roof			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.; change of use if principally permitted or with a CU.
<input type="checkbox"/>	Class 3 – New Construction. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.
<input checked="" type="checkbox"/>	Class <u>31</u>

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an air pollution hot spot? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Hot Spots)
<input type="checkbox"/>	Hazardous Materials: Any project site that is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve soil disturbance of any amount or a change of use from industrial to commercial/residential? If yes, should the applicant present documentation of a completed Maher Application that has been submitted to the San Francisco Department of Public Health (DPH), this box does not need to be checked, but such documentation must be appended to this form. In all other circumstances, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment and/or file a Maher Application with DPH. (refer to EP_ArcMap > Maher layer.)

<input type="checkbox"/>	Soil Disturbance/Modification: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading –including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	Serpentine Rock: Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Serpentine)
If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional):	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 50 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 50 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	3. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	4. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	5. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	6. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	8. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	9. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building’s historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior’s Standards for Rehabilitation</i> .

<input checked="" type="checkbox"/>	<p>8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):</p> <p>Replacement of Upper Skylights. See Sec'y Standards Analysis in Case Report, Case No. 2013.1764A</p>
<input type="checkbox"/>	<p>9. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator)</p> <p>a. Per HRER dated: _____ (attach HRER)</p> <p>b. Other (specify):</p>
<p>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</p>	
<input type="checkbox"/>	<p>Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.</p>
<input checked="" type="checkbox"/>	<p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.</p>
<p>Comments (optional):</p>	
<p>Preservation Planner Signature: Richard Sucre <small>Digitally signed by Richard Sucre DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Richard Sucre, email=Richard.Sucre@sfgov.org Date: 2014.01.08 10:58:38 -0800</small></p>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p>Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply):</p> <p><input type="checkbox"/> Step 2 – CEQA Impacts</p> <p><input type="checkbox"/> Step 5 – Advanced Historical Review</p> <p>STOP! Must file an <i>Environmental Evaluation Application</i>.</p>	
<input checked="" type="checkbox"/>	<p>No further environmental review is required. The project is categorically exempt under CEQA.</p>	
	<p>Planner Name: Rich Sucre</p>	<p>Signature or Stamp:</p> <p>Richard Sucre <small>Digitally signed by Richard Sucre DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Richard Sucre, email=Richard.Sucre@sfgov.org Date: 2014.01.08 10:58:38 -0800</small></p>
	<p>Project Approval Action: Historic Preservation Commis *If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
2013.1764A		
Plans Dated	Previous Approval Action	New Approval Action
Received January 2, 2014	M0166	
Modified Project Description: Replacement of the upper skylights, which are part of the shallow roof on the north, south, and east facades.		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?

If at least one of the above boxes is checked, further environmental review is required CATEX FORM

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input checked="" type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:
Rich Sucre	