



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report Consent Calendar

HEARING DATE: JANUARY 15, 2014

Filing Date: November 20, 2013
Case No.: **2013.1707A**
Project Address: **900 North Point Street (a.k.a. 851 Beach Street)**
Historic Landmark: No. 30 – Ghirardelli Square
Zoning: C-2 (Community Business)
Northern Waterfront Special Use District No. 2
40-X Height and Bulk District
Block/Lot: 0452/001-058
Applicant: Jaqui Braver
HPSF Holdings VII, LLC
180 Sansome Street, 12th Floor
San Francisco, CA 94104
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Reviewed By Tim Frye - (415) 558-6822
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PROPERTY DESCRIPTION

900 NORTH POINT STREET (A.K.A. 851 BEACH STREET), GHIRARDELLI SQUARE, on block bound by Beach, North Point, Larkin, and Polk Streets, Assessor's Block 0452; Lots 001-058. Ghirardelli Square is designated San Francisco Landmark No. 30 and is listed on the National and California Registers of Historic Places. The site is zoned C-2 (Community Business) District and is in a 40-X Height and Bulk District, and is also within the Northern Waterfront Special Use District No. 2.

The subject property is a Romanesque Revival-style complex consisting of a collection of brick industrial buildings ranging in height from one to five stories. Construction of the existing buildings began in 1864 with the Woolen Mill building design by William A. Mooser. Additions and alterations were made to the site in 1900 (Cocoa Building), 1911 (Chocolate and Mustard Buildings), 1915 (Power House), 1916 (Clock Tower and Apartment Building), 1919 (upper story of Chocolate Building), and 1923 (upper two stories of Cocoa Building) by William A. Mooser, II. The site was converted to retail use in 1962-68 and the rehabilitation was designed by Wurster, Bernardi & Emmons. The landscape architect for the conversion was Lawrence Halprin. All three phases of development and the accompanying structures have been recognized as contributing to the architectural and historical significance of the block.

PROJECT DESCRIPTION

The proposal is to expand an existing non-historic porch landing constructed for Unit #228 of the Clock Tower Building located at the south side of the complex. Specifically, the proposal includes adding a

new section to the west of the existing porch landing to meet private usable open space requirements per Section 135 of the Planning Code. New components will match existing in design, materials, finish and all aesthetics.

Please see photographs and plans for details.

OTHER ACTIONS REQUIRED

None.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a landmark district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The proposed work does not include a change of use.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposed scope of work is limited to the non-historic porch landing and will retain and preserve the historic character of the property. No removal of historic material or alteration of features and spaces that characterize the property is proposed in this project.

Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed scope of work is limited to the expansion of the non-historic porch landing constructed in 2006-2007, which is not within the period of significance of the landmark property. The proposed expansion includes new components to match the existing and does not add any conjectural features or elements and thus, will not create a false sense of historical development.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The distinctive finishes and features of the landmark structure will be retained and preserved. The proposal is limited to the existing non-historic porch landing will not attach to the historic brick walls. New features will match existing non-historic porch in design, material, and finish to distinguish the non-historic with the historic character-defining features of the property.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary physical evidence.

No historic features are proposed for repair or replacement in this project.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed expansion will not destroy material, features, and spatial relationships that characterize the property. The new components will match the existing non-historic porch landing in design, materials, and finish to differentiate it from the landmark property. The non-historic porch design which references the industrial aesthetic of the landmark property and consists of a painted galvanized steel frame, guardrails, and handrails, stucco finished walls with granite tile base, and gray tiles at landing and steps is clearly contemporary, differentiated and compatible with the property. The proposed expansion is minimally visible from the public plaza and compatible with the historic materials, features, size, scale and proportion, and massing of the landmark property and surrounding environment.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project will retain the existing porch and expand outward to the west. No new penetrations are proposed for this project. The portion of the porch landing and stairs will require

attachment to the non-historic tiled floor but attachments will be minimized. New handrails will not attach to existing brick walls and will be attached only to porch landing components.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

ISSUES & OTHER CONSIDERATIONS

None.

STAFF ANALYSIS

Staff has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not adversely affect the landmark structure. The proposal includes the expansion of an existing non-historic porch landing. The existing porch design is referential to the industrial aesthetic of the buildings located on the landmark property and consists of a painted galvanized steel frame, guardrails, and handrails, stucco finished walls with granite tile base, and gray tiles at landing and steps. The expanded portion of the porch landing and steps will match the existing in design, materials, and finishes and are clearly differentiated and compatible with the historic materials, features, size, scale and proportion, and massing of the landmark property. Staff finds that the historic character of the building and landmark district will be retained and preserved and will not result in the removal of historic fabric.

New proposed porch elements will not attach to existing brick walls of the historic building and will be attached only to the porch itself. If removed in the future, the essential form and integrity of the landmark property would not be impaired. Although the existing drain at the landing will be relocated, the existing drain opening at the ground will be reused. No removal of historic material or alteration of features and spaces that characterize the property is proposed in this project.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation*.

ATTACHMENTS

Draft Motion
Parcel Map
Sanborn Map

Aerial Photos

Zoning Map

Site Photo

Landmark Designation Ordinance and Report

Administrative Certificate of Appropriateness Case No. 2011.0670A (ACOA11.006)
issued August 22, 2011

Certificate of Appropriateness Application

Project Sponsor Packet

Plans

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SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion

HEARING DATE: JANUARY 15, 2014

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOTS 001-058 IN ASSESSOR'S BLOCK 0452, WITHIN A C-2 (COMMUNITY BUSINESS) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on November 20, 2013, Jaqui Braver of HPSF Holdings VII, LLC (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to alter a non-historic porch located on the subject property located on lots 001-058 in Assessor's Block 0452. The work involves the expansion of an existing non-historic porch landing constructed for Unit #228 of the Clock Tower Building (Lot 004) located at the south side of the subject property, City Landmark No. 30 – Ghirardelli Square. Specifically, the work includes adding a new section to the west of the existing porch landing to meet private usable open space requirements per Section 135 of the Planning Code. New components will match existing in design, materials, finish and all aesthetics.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on January 15, 2014, the Commission conducted a duly noticed public hearing on the current phase of the project, Case No. 2013.1707A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby **APPROVES** the Certificate of Appropriateness, in conformance with the architectural plans dated November 20, 2013 and labeled Exhibit A on file in the docket for Case No. 2013.1707A based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. All previous conditions have been addressed except for the full documentation (written and graphic) describing where each treatment was performed.
3. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark.

- That the proposed porch landing expansion is in keeping with the scale, proportions, materials, and character of the landmark property;
- That the proposed alteration will not cause the removal or destruction of any significant historic material; and
- That the proposed alteration will be undertaken in such a manner that future removal of the expanded porch would cause no impairment to the significance of the landmark property.
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary physical evidence.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

4. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.

5. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not have any impact on the City's supply of affordable housing.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will eliminate unsafe conditions at the site and all construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

6. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lots 001-058 in Assessor's Block 0452 for proposed work in conformance with the renderings and architectural sketches dated November 19, 2013 and labeled Exhibit A on file in the docket for Case No. 2013.1707A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on January 15, 2014.

Jonas Ionin
Acting Commission Secretary

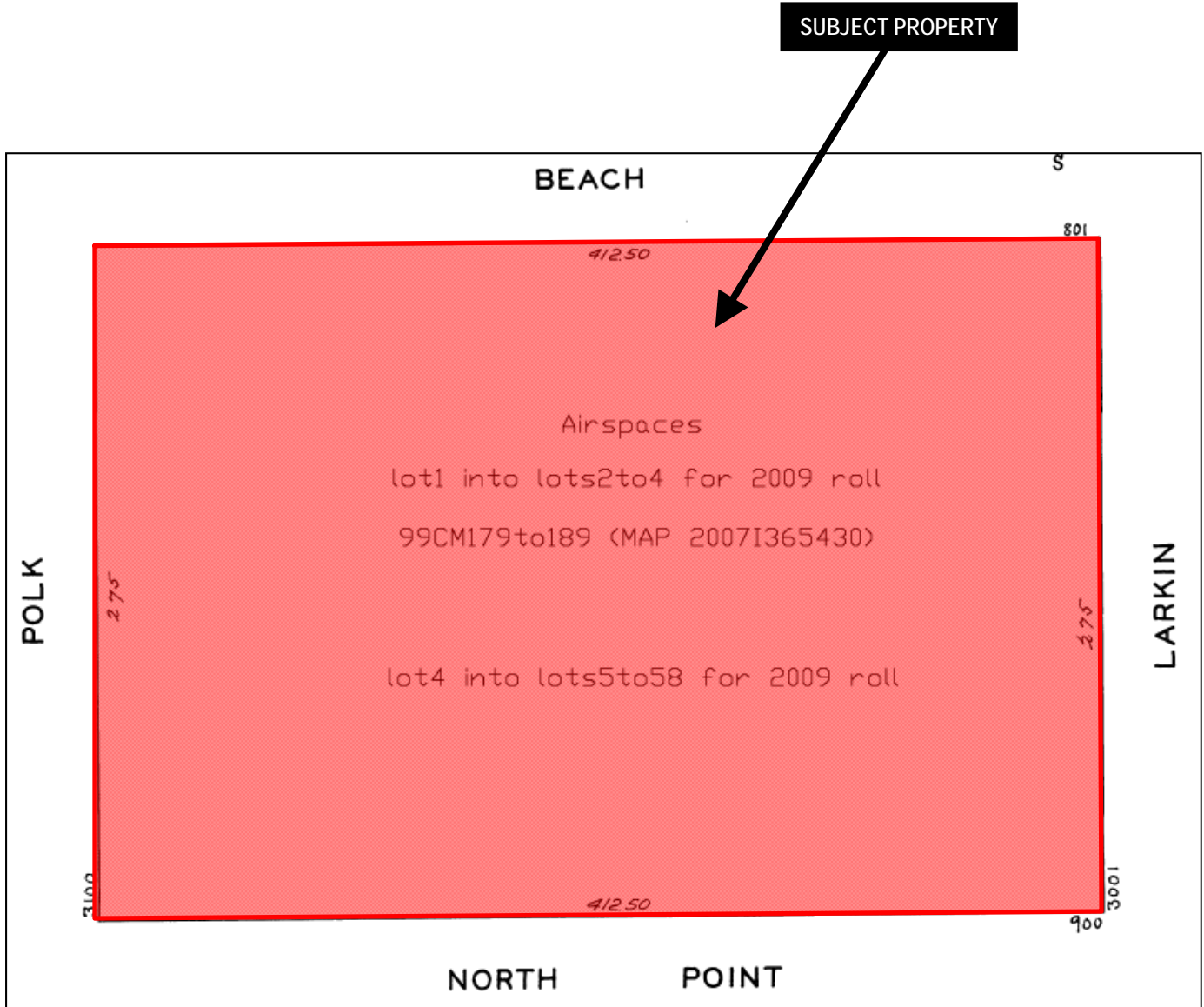
AYES: X

NAYS: X

ABSENT: X

ADOPTED: January 15, 2014

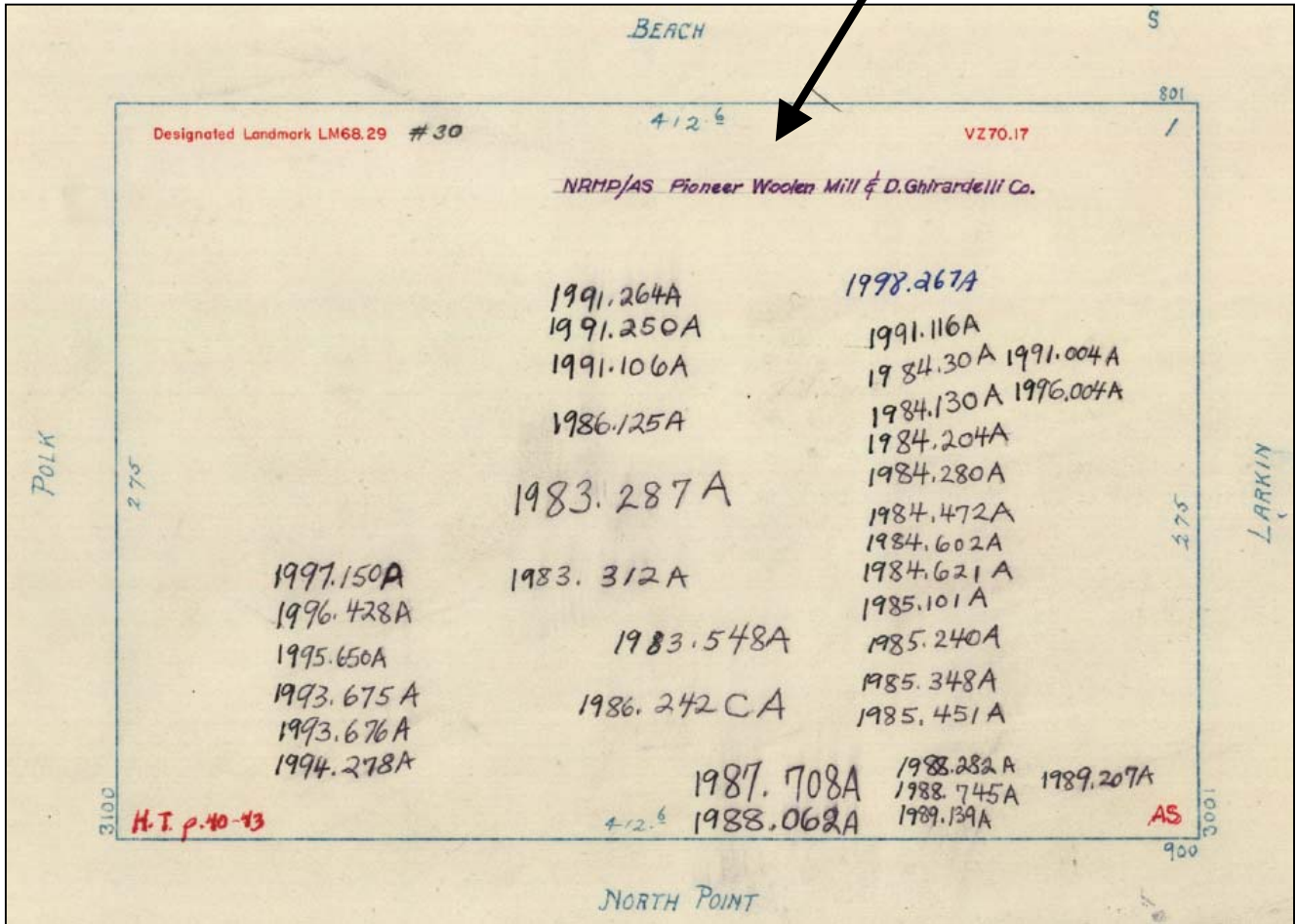
Parcel Map



Certificate of Appropriateness Hearing
Case Number 2013.1707A
900 North Point Street

Sanborn Map*

SUBJECT PROPERTY



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

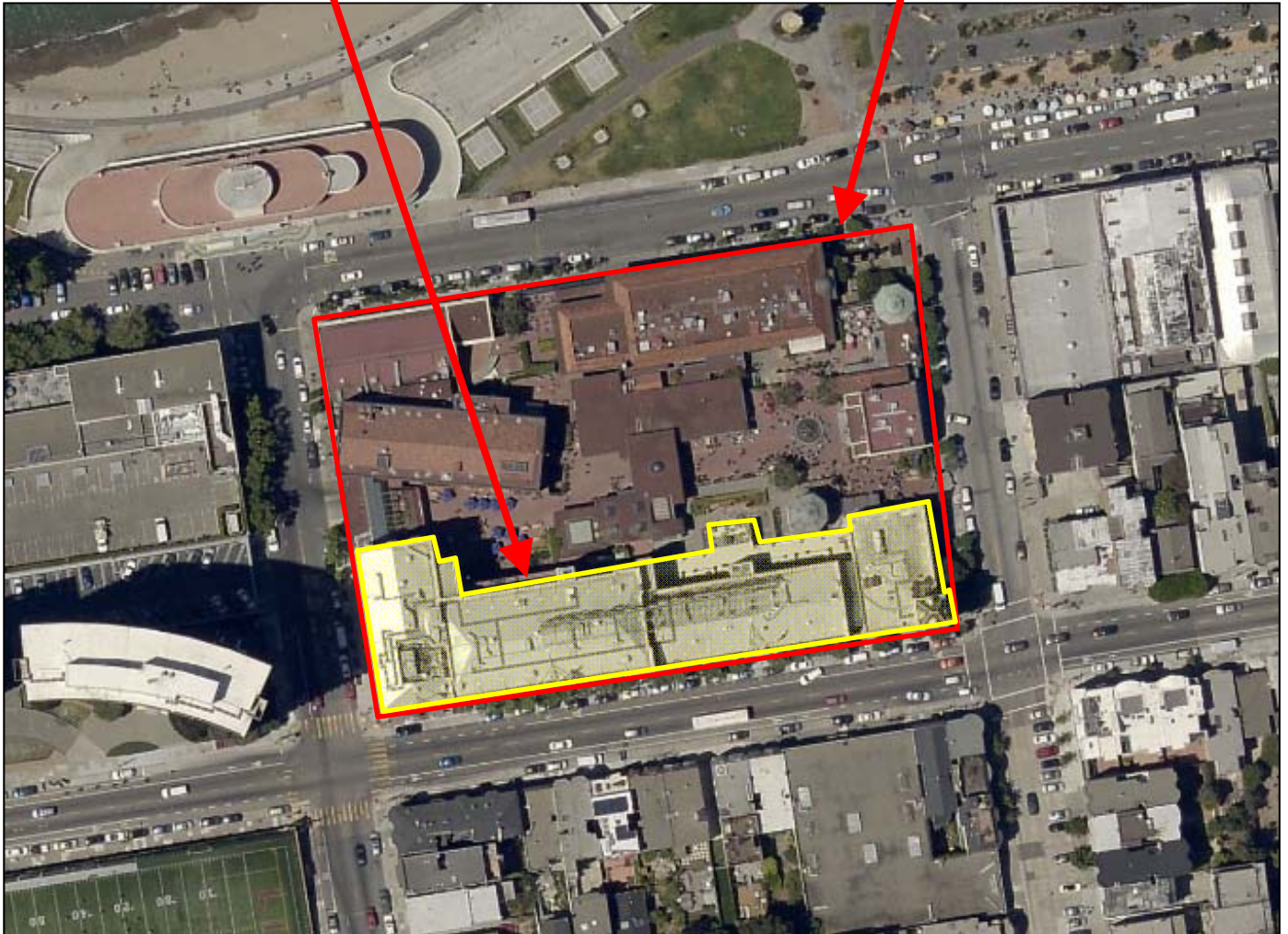


Certificate of Appropriateness Hearing
 Case Number 2013.1707A
 900 North Point Street

Aerial Photo

PROJECT SITE
(CLOCK TOWER BUILDING)

SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2013.1707A
900 North Point Street



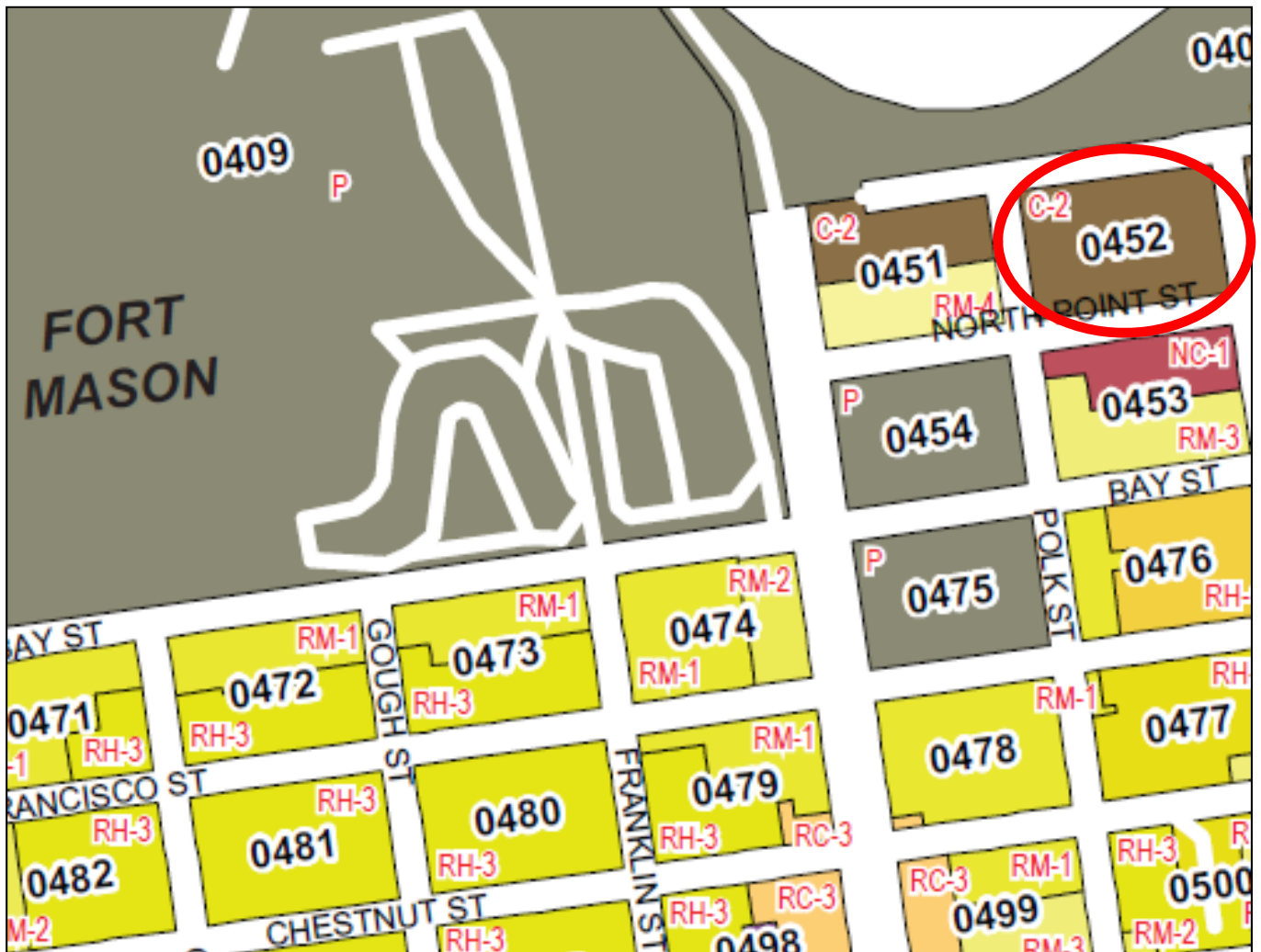
Aerial Photo

PROJECT SITE
(CLOCK TOWER BUILDING)

SUBJECT PROPERTY



Zoning Map



Certificate of Appropriateness Hearing
Case Number 2013.1707A
900 North Point Street

Site Photo



Certificate of Appropriateness Hearing
Case Number 2013.1707A
900 North Point Street

Site Photo



Certificate of Appropriateness Hearing
Case Number 2013.1707A
900 North Point Street

Site Photo



Certificate of Appropriateness Hearing
Case Number 2013.1707A
900 North Point Street

CITY PLANNING COMMISSION

RESOLUTION NO. 5394

WHEREAS, A proposal to designate Ghirardelli Square as a Landmark pursuant to the provisions of Article 10 of the City Planning Code was initiated by the Landmarks Preservation Advisory Board on January 22, 1969, and said Advisory Board, after due consideration, has recommended approval of this proposal;

WHEREAS, The City Planning Commission, after due notice given, held a public hearing on June 26, 1969, to consider the proposed designation and the report of said Advisory Board; and

WHEREAS, The Commission believes that the proposed Landmark has a special character and special historical, architectural and aesthetic interest and value; and that the proposed designation would be in furtherance of and in conformance with the purposes and standards of the said Article 10;

NOW THEREFORE BE IT RESOLVED, First, That the proposal to designate Ghirardelli Square as a Landmark pursuant to Article 10 of the City Planning Code is hereby approved, the location and boundaries of the landmark site being as follows:

The entire block bounded by North Point, Polk, Beach, and Larkin Streets: being Assessor's Block 452.

Second, That the special character and special historical, architectural and aesthetic interest and value of the said Landmark justifying its designation are as follows:

A complex of industrial buildings of brick construction, including a building built in 1862 as part of the Pioneer Woolen Mills, in which blankets and other woolen goods were made for the Union Army. The majority of the buildings on this complete city block were constructed between 1894 and 1922. These buildings housed the Ghirardelli Chocolate Factory from 1894 to 1962, and were designed by William Mooser, Senior and Junior, famous early San Francisco architects.

Since 1962 the total complex of buildings have been renovated and expanded for conversion to shops, restaurants, theater, and other businesses in a manner which has retained the early architectural character. This conversion, designed by Wurster, Bernardi and Emmons, received the Collaborative Achievement in Architecture Award in 1966 from the American Institute of Architects, an award extended only once before.

This complex of buildings is the only example of this period of industrial building along the San Francisco waterfront, and the Clock Tower Building at the southeast corner of the complex serves as a major focal point in this area of the city.

Third, That the said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and as described and depicted in the photographs, case report and other material on file in the Department of City Planning in Docket No. LM68.29; the summary description being as follows:

Complex of buildings, ranging from one to five stories high, constructed of brick, around a central courtyard. Major feature, a clock Tower building at the corner of Larkin and North Point Streets. Gothic architecture influenced by French Renaissance. Red brick structures with contrasting white stone trim. Battlemented parapets on the principal buildings on North Point Street. Tile roofs on the remodelled and new buildings. Windows vary: round-arched and rectangular.

AND BE IT FURTHER RESOLVED, That the Commission hereby directs its Secretary to transmit the proposal for designation, with a copy of this Resolution, to the Board of Supervisors for appropriate action.

I hereby certify that the foregoing Resolution was ADOPTED by the City Planning Commission at its regular meeting of June 26, 1969.

Lynn E. Pio
Secretary

AYES: Commissioners Brinton, Carr, Fleishhacker, Kearney, Mellon, Newman,
Porter
NOES: None
ABSENT: None
PASSED: June 26, 1969

LANDMARKS PRESERVATION ADVISORY BOARD

GHIRARDELLI SQUARE

Final Case Report for

October 9, 1968 Meeting

Revised December 18, 1968

OWNERS

Lurline and William Matson Roth

LOCATION AND
BOUNDARY OF
SITEEntire block bounded by North Point Street, Polk Street,
Larkin Street and Beach Street: being Lot 1 in Assessor's
Block 452.

HISTORY

The buildings in the square have varying dates and origins; they have been constructed over a period of more than a century. The oldest building, located on Polk Street, a little south (uphill) from Beach Street, was built for the Pioneer Woolen Mills, a firm organized in 1859 under the impetus of William Chapman Ralston, incorporated 1862, one of a group of firms organized by Ralston, who was one of the first captains of industry on the Pacific Coast. The building, erected about 1859-1860, housed the manufactory of uniforms for Union troops during the Civil War.

The major buildings on the block were erected after the Ghirardelli Company took over the property in 1894, and most were built between 1900 and 1922. They were designed by William Mooser, senior, whose father had designed the Woolen Mill. They replaced wooden dwellings and stables, along North Point, where the men and horses of the Woolen Mill had been housed. A wooden Box Factory, built on North Point and moved to Beach Street, stood until recently demolished and replaced by the present Wurster Building, 1966. Of the buildings built by the Ghirardellis, the most significant, architecturally, is the Clock Tower, erected in 1915. Others erected in this period were the Cocoa and Chocolate Building, the Mustard Building and the Apartment Building, where workmen and their families lived, continuing the tradition set in the 1860's. There was a Power House also.

In April 1962, when the Ghirardelli firm had been sold to a large food products company, and the property was no longer to be used for the production of chocolate and related products, the historic block and its buildings were saved from probable destruction through the efforts of persons who interested Mrs. Roth and her son, William Matson Roth, in the idea of a shopping area combined with tourist attractions

The design of the Square and its new buildings was done by Wurster, Bernardi and Emmons, and the landscaping on the project was done by Lawrence Halprin.

Today a pleasant open courtyard, with a view of the bay and its maritime trade and pleasure vessels, is surrounded by retail shops, restaurants, theatre and other consumer-oriented businesses. This court, once secluded and private, now is attractively landscaped and inviting to the public: the steps from Beach Street; the gateway from Larkin Street, the tunnel entrance from North Point, between the clock tower and the Mustard Building, all lead into and afford views to and from the courtyard, which add old world charm to a once utilitarian American workplace.

ARCHITECTURE AND
DESIGN

A group of buildings, ranging in age from over a century to a few years old, located on an entire square block, and surrounding an irregular courtyard. The group displays architectural unity, despite varying styles, created by the use of exposed red brick, concrete, and exterior cast iron.

The structures range in height from one to five stories, and in size from around one hundred square feet in ground area to over ten thousand. They range in original use from factory and storage buildings to power house and dwelling; in present use from shop to manager's offices and manufactory, from restaurant to theatre.

The oldest building now standing in the square is the Pioneer Woolen Mill building, designed and built in 1859-1860 by the father of William Mooser senior (later architect for the major buildings in the Square) for the Pioneer Woolen Mills. It is now a four story building with rear on Polk Street, and placed at an acute angle to that street. It is constructed of old red brick, has broad plank floors, supported by or resting upon exposed wood columns: the old floors are now overlaid with hardwood. It is marked by exposed anchor bolts and iron shutter rings around the windows; the windows are rectangular, with flat brick arches and inner wooden lintels; the whole building now faces upon a small courtyard, and in front has an iron stairway with iron railings, with the entrance paved with brick. Brick walls at the ends continue upward as gables; and the roof, originally of corrugated iron, is now tiled.

The major buildings are those facing North Point Street. Here were built, between 1900 and 1922, the principal structures forming the square today. On the extreme left as one faces the square from the south, corner of Polk Street are the Cocos (1900) & Chocolate (1911) Buildings. Four stories high in front, with a lower floor which makes it five stories high on the lower, or courtyard side, it is likewise built of red brick, exposed and weathered. Striking white trim, contrasting sharply with the red brick, is comprised of quoins, the voussoirs of the flat arches, and the sills of the windows. These elements are of moulded concrete painted white. The roof line is battlemented (brick alone is used on Polk Street; but the North Point facade has white simulated stone capstones and sills in the embrasures on the roof). The main entrance of the building, on North Point Street, is framed in the same simulated white stone. Wide flat pilasters support scrolled brackets or consoles, which in turn support a flat pediment or cornice, projecting well beyond the wall. There is a crest, formed by a wreathed medallion, resting on the pediment or cornice; above this, the second story windows are outlined in simulated stone, and a large plaque above these bears the name "D. Chirardelli Co.". There are cornices, increasingly prominent, at second-story, third-story and roof line; all are of poured or moulded concrete, simulating white stone. In the center of the building is a raised portion of the parapet wall, framed by white simulated stone turrets, and enclosing a roundel bearing the date "1919", added when the top floor was built.

ARCHITECTURE AND
DESIGN (continued)

This building, a portion of the Cocoa Building, and also four stories on North Point Street, immediately adjoins and forms one building with a later portion. This later eastern portion is very similar in style to the corner portion, already described, but here the first and second story windows have round arches: the name again appears at second story level, and has the dates of 1852-1900 below. There is, again, a roundel at roof line, bearing date of 1922. There is no major center entrance, as in the other portion, but there are minor entrances in the flanking wings. Small towers, or wings, project slightly beyond the main facade and are outlined by white stone quoins. The lower story windows have very pronounced arches in these wings. Utilitarian iron-balcony fire-escapes detract from the facade of this portion of the Cocoa and Chocolate Building.

The next building to the east, separated from the previously-mentioned structure and from the Clock Tower Building at the Larkin Street corner, is the Mustard Building. Three story, again constructed of red brick, this building is battlemented and has the usual white stone trim. Here the roundel bears the date of 1911.

The Clock Tower Building, at the corner of North Point and Larkin Streets, is the most distinguished of all Ghirardelli Square buildings. A four story tower with Mansard roof dominates the building which is rectangular and has a principal facade facing each street. The tower was designed as a copy of the famed tower at the Chateau de Blois, which was erected 1535-1538, by Mansard for Louis XII, and where for the first time an architect combined stone and brick in one building during the late French Renaissance.

The clock tower itself, like its original in France, is distinguished by certain characteristics of the early work of Mansard: prominent stone trim on basic brick; window mullions are cruciform; extremely ornate cornice at the base of the tower; a steeply pitched roof; elegant dormers; delicate tracery of detail on the stone rail surmounting the cornice: being a combination of late Gothic forms with early Renaissance detail. There are some differences from the original: there is no turret; no chimney; the dormers are less ornate; the quoins are more irregular; the windows are rectangular rather than arched; and the dormers are louvered rather than windowed. The fourth story windows in the original are replaced by the clock faces in the copy.

The Clock Tower Building is not battlemented, as are the other buildings on North Point Street. The entrance doorways, of white simulated stone (concrete) are round-arched; the windows are rectangular; and have the same irregular quoins as the tower itself. There is a delicate cornice at the roof-line, with a high flat parapet wall above. The tower is surmounted by a double finial, joined by an ornate rail.

ARCHITECTURE AND
DESIGN^N (continued)

The Apartment Building, lying on Larkin Street below the Clock Tower and the Main gateway to the Courtyard, is in the same style as the buildings on North Point Street; but like the Clock Tower Building, is not battlemented. With new enlarged glass windows, and doorways, the building now houses a restaurant. The building was built in 1916.

There are newer buildings in the courtyard, and on the north side of the court; these blend harmoniously with the old, using red brick as building material also. However, they are not Gothic or Renaissance but Contemporary or modern styles. The principal of these, designed by his firm, (1964) is the Wurster Building. Tile roof combines with brick walls to provide an appropriate setting for Spanish (Mexican) restaurant and shops. Other more modern structures are small information kiosks, and sales shops. Chiefly of glass and modern materials, they add to the feeling of openness in the yard, with their floor to ceiling glass walls and doors.

The old Pover House, at the corner of Polk and Beach Streets, a one story brick structure with corrugated iron roof, is not one of the older buildings (1915). It lacks the strikingly handsome combination of red brick and white stone which mark the main buildings, but is distinguished in its own right.

The courtyard is characterized by terracing and the use of steps and exterior means of entrance into upper levels of the older buildings; iron galleries and stairways dominate the elevations of the south (uphill) side of the yard; occasional pieces of sculpture adorn the court; a distinguished fountain (round pool, with sculpture) graces the eastern end of the court. The sculpture, designed and executed by Ruth Asawa, includes two mermaids, an infant mermaid, giant tortoises, bearing frogs spouting water, and water lily leaves.

ZONING AND
SURROUNDING
LAND USE

Zoning is C-M(general commercial) formerly industrial. Surrounding land use is mixed: residential, commercial, industrial, and park-recreational.

NOTICE OF FINAL PASSAGE
FILE NO. 90-70-9 ORD. NO. 102-70
DESIGNATING GHIRARDELLI
SQUARE AS A LANDMARK PUR-
SUANT TO ARTICLE 10 OF THE CITY
PLANNING CODE.

I hereby certify that the foregoing ordinance was read for the second time and finally passed by the Board of Supervisors of the City and County of San Francisco at its meeting of March 30, 1970.

ROBERT J. DOLAN, Clerk
Approved: April 2, 1970
JOSEPH L. ALIOTO, Mayor
April 8, 1970—It

FILE NO. 90-70-9 ORD. NO. _____
DESIGNATING GHIRARDELLI
SQUARE AS A LANDMARK PUR-
SUANT TO ARTICLE 10 OF THE CITY
PLANNING CODE.

Be it ordained by the people of the City and County of San Francisco:

Section 1. The Board of Supervisors hereby finds that Ghirardelli Square has a special character and special historical, architectural and aesthetic interest and value and that its designation as a landmark will be in furtherance of and in conformance with the purposes of Article 10 of the City Planning Code and the standards set forth therein.

(a) **Designation.** Pursuant to Section 1004 of the City Planning Code, Chapter II, Part II of the San Francisco Municipal Code, Ghirardelli Square is hereby designated as a Landmark, this designation having been duly approved by resolution of the City Planning Commission.

(b) **Location and Boundaries.** Pursuant to Section 1004 of the City Planning Code, Chapter II, Part II of the San Francisco Municipal Code, a landmark site is hereby designated for the said Landmark, located and bounded as follows:

The entire block bounded by North Point, Poik, Beach, and Larkin Streets, being Assessor's Block 452.

(c) **Justification.** The special character and special historical, architectural and aesthetic interest and value of the said Landmark justifying its designation are as follows:

A complex of industrial buildings of brick construction, including a building built in 1862 as part of the Pioneer Woolen Mills, in which blankets and other woolen goods were made for the Union Army. The majority of the buildings on this complete city block were constructed between 1894 and 1922. These buildings housed the Ghirardelli Chocolate Factory from 1894 to 1962, and were designed by William Mooser, Senior and Junior, famous early San Francisco architects.

Since 1962 the total complex of buildings has been renovated and expanded for conversion to shops, restaurants, theater, and other businesses in a manner which has retained the early architectural character. This conversion, designed by Wurster, Bernardi and Emmons, received the Collaborative Achievement in Architecture Award in 1966 from the American Institute of Architects, an award extended only once before. This complex of buildings is the only example of this period of industrial building along the San Francisco waterfront, and the Clock Tower Building at the southeast corner of the complex serves as a major focal point in this area of the city.

(c) **Features.** The said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and as described and depicted in the photographs, case report and other material on file in the Department of City Planning in Docket No. LM68-29; the summary description being as follows:

Complex of buildings, ranging from one to five stories high, constructed of brick, around a central courtyard. Major feature, a Clock Tower building at the corner of Larkin and North Point Streets. Gothic architecture influenced by French Renaissance. Red brick structures with contrasting white stone trim. Battlemented parapets on the principal buildings on North Point Street. Tile roofs on the remodeled and new buildings. Windows vary: round-arched and rectangular.

I hereby certify that the foregoing ordinance was passed for second reading by the Board of Supervisors of the City and County of San Francisco at its meeting of March 23, 1970.

ROBERT J. DOLAN, Clerk
March 28, 1970—It

APPLICATION FOR Certificate of Appropriateness

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: HPSF Holdings VII, LLC	
PROPERTY OWNER'S ADDRESS: 180 Sansome Street, 12th Floor San Francisco, CA 94104	TELEPHONE: (415) 378-7566 EMAIL: jbraver@jmaventuresllc.com

APPLICANT'S NAME: Jaqui Braver Same as Above <input checked="" type="checkbox"/>	
APPLICANT'S ADDRESS:	TELEPHONE: () EMAIL:

CONTACT FOR PROJECT INFORMATION: Jaqui Braver Same as Above <input checked="" type="checkbox"/>	
CONTACT PERSON'S ADDRESS:	TELEPHONE: () EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT: 900 North Point Street	ZIP CODE: 94109
CROSS STREETS: North Point and Larkin Streets	

ASSESSORS BLOCK/LOT: 0452 / 004	LOT DIMENSIONS:	LOT AREA (SQ FT): 50,153	ZONING DISTRICT: C2	HEIGHT/BULK DISTRICT: 40-X
ARTICLE 10 LANDMARK NUMBER: Landmark #30			HISTORIC DISTRICT:	

3. Project Description

Expansion of Unit 228 balcony/landing's usable open space to comply with Planning Code Section 135A minimum dimensions of 6'x6'.

Building Permit Application No. _____ Date Filed: _____

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

GROSS SQUARE FOOTAGE (GSF)	EXISTING USES	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION AND/OR ADDITION	PROJECT TOTALS
Residential				
Retail				
Office				
Industrial / PDR Production, Distribution, & Repair				
Parking	12,000	12,000		
Other (Specify Use)	101,000 (Hotel)	101,000 (Hotel)		
Total GSF	101,000	101,000		
PROJECT FEATURES	EXISTING USES	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION AND/OR ADDITION	PROJECT TOTALS
Dwelling Units	1	1		
Hotel Rooms	53	53		
Parking Spaces	40	40		
Loading Spaces	1	1		
Number of Buildings	6	6		
Height of Building(s)	18 to 83'	18' to 83'		
Number of Stories	2 to 5	2 to 5		

Please provide a narrative project description, and describe any additional project features that are not included in this table:

Proposed modification is an exterior balcony/landing expansion, originally installed in 2006 with the Fairmont Heritage Place build-out, now being altered to meet Planning Code Section 135's requirements of 6 ft x 6 ft minimum dimension. It's current dimensions are 3'-10" by 8'-10". The future landing size will be a total of 64 sf per the diagram enclosed with this Certificate of Appropriateness application. All materials, textures, colors will match the existing condition. The modification is in size only to comply with Section 135.

Findings of Compliance with Preservation Standards

FINDINGS OF COMPLIANCE WITH PRESERVATION STANDARDS		YES	NO	N/A
1	Is the property being used as it was historically?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	Does the new use have minimal impact on distinctive materials, features, spaces, and spatial relationship?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Is the historic character of the property being maintained due to minimal changes of the above listed characteristics?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Are the design changes creating a false sense of history of historical development, possible from features or elements taken from other historical properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Are there elements of the property that were not initially significant but have acquired their own historical significance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Have the elements referenced in Finding 5 been retained and preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7	Have distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize the property been preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Are all deteriorating historic features being repaired per the Secretary of the Interior Standards?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9	Are there historic features that have deteriorated and need to be replaced?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10	Do the replacement features match in design, color, texture, and, where possible, materials?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11	Are any specified chemical or physical treatments being undertaken on historic materials using the gentlest means possible?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12	Are all archeological resources being protected and preserved in place?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13	Do exterior alterations or related new construction preserve historic materials, features, and spatial relationships that are characteristic to the property?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14	Are exterior alterations differentiated from the old, but still compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15	If any alterations are removed one day in the future, will the forms and integrity of the historic property and environment be preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Please summarize how your project meets the Secretary of the Interior's *Standards for the Treatment of Historic Properties*, in particular the *Guidelines for Rehabilitation* and will retain character-defining features of the building and/or district:

The proposed modification will retain character-defining features of the building. The design of the existing landing was determined to meet the Secretary of Interior's Standards Guidelines for Rehabilitation. The proposed landing expansion will match in finish and materials and because the landing expansion will not make any changes to the building, it will retain the character-defining features of the building and property.

Findings of Compliance with General Preservation Standards

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;

The property will be used as it was historically with no change to its distinctive materials, features, spaces and spatial relationships.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided;

The historic character of the property will be retained and preserved. The proposed modification does neither include removal of historic materials nor features.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken;

Such changes will not be made to the property nor building.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved;
There will be no changes to the property that will affect its historic significance nor that of the building itself.

5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved;

The proposed modification will retain the building's exterior envelope including brickwork and existing opening and will not damage any distinctive building features.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence;

This modification does not address any deterioration and is therefore not applicable. The proposed modification will match the configuration, design, color and materials of the existing balcony/landing.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible.
Treatments that cause damage to historic materials will not be used;

Chemical treatments will not be used in the proposed modification. No damage to historic materials will occur as a result of its construction.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken;

This finding does not apply to the proposed modification.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment;

The proposed modification will be contemporary and minimal in design so as to match and conform with the existing balcony/landing's modern alteration built in 2006. The modification will be compatible with the existing historic features, materials and scale of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired;

The essential form and integrity of the subject buildings would not be impaired by this modification if the improvements were removed at a later date.

PLEASE NOTE: For all applications pertaining to buildings located within Historic Districts, the proposed work must comply with all applicable standards and guidelines set forth in the corresponding Appendix which describes the District, in addition to the applicable standards and requirements set forth in Section 1006.6. In the event of any conflict between the standards of Section 1006.6 and the standards contained within the Appendix which describes the District, the more protective shall prevail.

Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The proposed modification will not affect neighborhood serving retail uses.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

The proposed project will neither affect existing housing and neighborhood character nor appearance.

3. That the City's supply of affordable housing be preserved and enhanced;

The proposed project would cause no change in the City's housing supply.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

The proposed modification will not adversely affect commuter/neighborhood parking, street space or public transit.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

The proposed modification will not displace any industrial or service businesses or jobs and therefore will not adversely affect the City's diverse economic base.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The proposed project will not have an affect on this policy. The alteration will be executed in compliance with all applicable construction and safety measures required by Authorities Having Jurisdiction.

7. That landmarks and historic buildings be preserved; and

The landmark buildings will be preserved. Proposed modification will respect the character-defining features of the subject building and property.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The proposed modification will not affect parks and open space. Access to sunlight and vistas will be protected and enhanced.

Estimated Construction Costs

TYPE OF APPLICATION:	
OCCUPANCY CLASSIFICATION: Hotel R-1	
BUILDING TYPE: type III	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION: 64 GSF Total of New Landing 33.9 GSF Total of Existing Landing	BY PROPOSED USES:
ESTIMATED CONSTRUCTION COST: \$4,000	
ESTIMATE PREPARED BY: JMA Ventures, LLC	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature: _____

Date: 11/19/2013

Print name, and indicate whether owner, or authorized agent:

Jaqui Braver, Development Project Manager

Owner / Authorized Agent (circle one)

Certificate of Appropriateness Application Submittal Checklist

The intent of this application is to provide Staff and the Historic Preservation Commission with sufficient information to understand and review the proposal. Receipt of the application and the accompanying materials by the Planning Department shall only serve the purpose of establishing a Planning Department file for the proposed project. After the file is established, the Department will review the application to determine whether the application is complete or whether additional information is required for the Certificate of Appropriateness process. Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	CERTIFICATE OF APPROPRIATENESS
Application, with all blanks completed	<input type="checkbox"/>
Site Plan	<input type="checkbox"/>
Floor Plan	<input type="checkbox"/>
Elevations	<input type="checkbox"/>
Prop. M Findings	<input type="checkbox"/>
Historic photographs (if possible), and current photographs	<input type="checkbox"/>
Check payable to Planning Department	<input type="checkbox"/>
Original Application signed by owner or agent	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

- Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- Typically would not apply. Nevertheless, in a specific case, staff may require the item.

PLEASE NOTE: *The Historic Preservation Commission will require additional copies each of plans and color photographs in \ reduced sets (11" x 17") for the public hearing packets. If the application is for a demolition, additional materials not listed above may be required. All plans, drawings, photographs, mailing lists, maps and other materials required for the application must be included with the completed application form and cannot be "borrowed" from any related application.*

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____



**SAN FRANCISCO
PLANNING
DEPARTMENT**

FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department

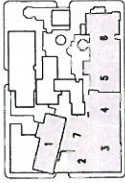
Central Reception
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**
FAX: **415 558-6409**
WEB: <http://www.sfplanning.org>

Planning Information Center (PIC)
1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: **415.558.6377**
*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

Herzberger
 +
 Worstell
 architects & planners
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PROPOSED STAIR RENDERING (A0.65D)



EXISTING STAIR PHOTOGRAPH (A0.65D)

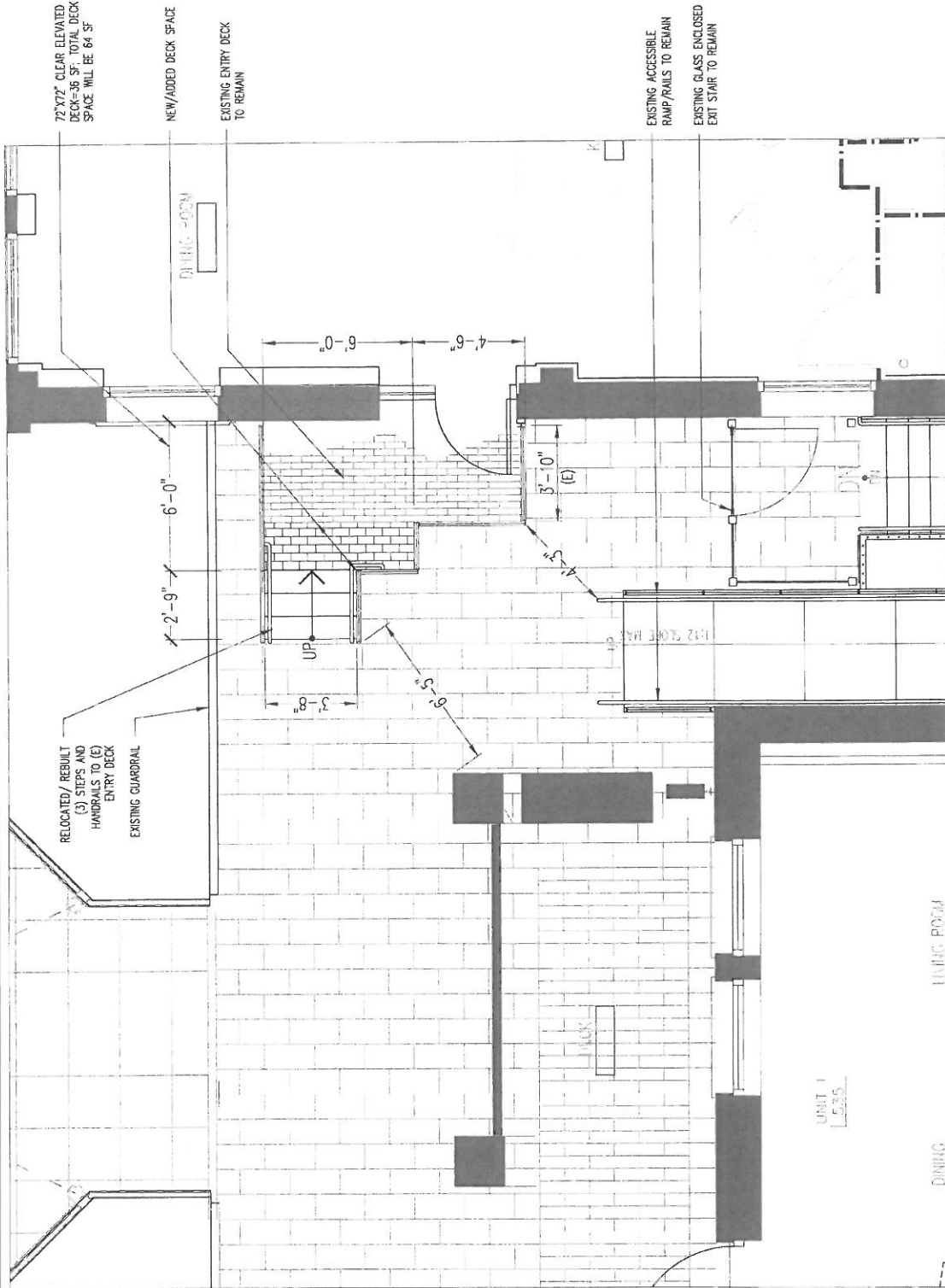
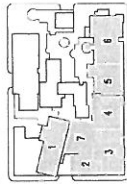
11.19.2013
 Date: 11/19/2013
 Project Number: 1778-110
 Name: Ghirardelli
 Location: San Francisco, CA

All drawings and reports created by JMA are the property of JMA and are not to be used, copied, or reproduced without the written consent of JMA.

**LEVELS 5
 RESIDENTIAL
 COMPLIANCE:
 VIEWS:
 UNIT 228**

A0.65D

Hornberger
+
Worstell
architects & planners
179 Maiden Lane
San Francisco, CA 94108
kelly@www.hornbergerworstell.com 415.445.6949



11. 19. 2013

Scale: 1/4" = 1'-0"

All drawings and specifications are the property of JMA Ventures and shall remain confidential. No reproduction, distribution, or use of any part of these drawings or specifications is permitted without the prior written consent of JMA Ventures.

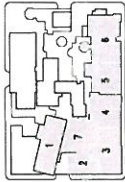
LEVELS 5
RESIDENTIAL
COMPLIANCE
DIAGRAM:
UNIT 228

A0.65C



Heinberger
 architects & planners
 1750 Maiden Lane
 San Francisco, CA 94109

11.19.2013



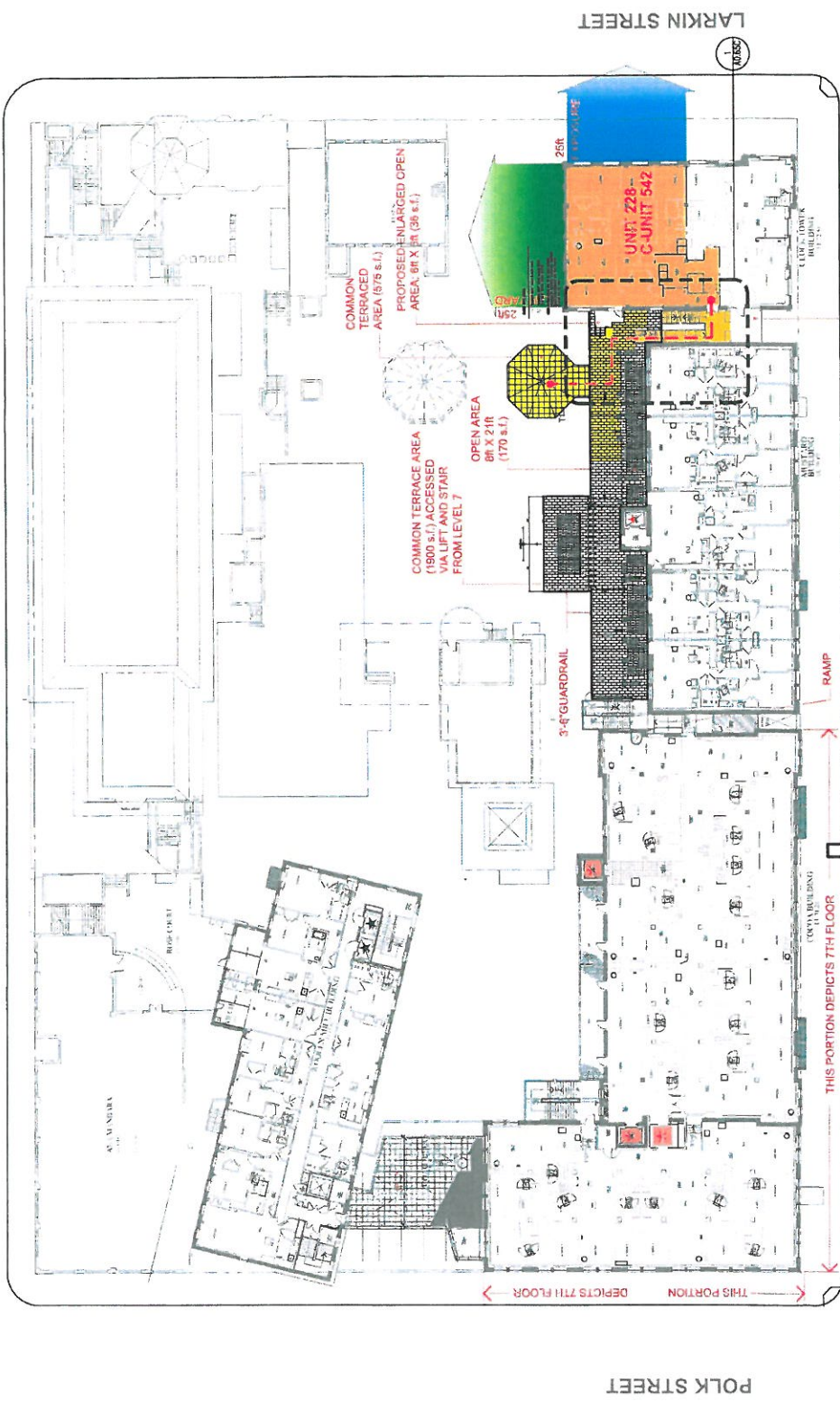
Project Number	11.19.2013
Revision	1
Scale	N.T.S.
Author	WTS
Checked by	WTS
Drawn by	WTS

All drawings and reports are prepared for the project and are not to be used for any other project without the express written consent of the architect.

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LEVEL 5
RESIDENTIAL
COMPLIANCE
DIAGRAM:
UNIT 228

A0.65B



ACCESSIBILITY LEGEND

- STAIRWELL NOMINAL ACCESS ROUTE
- PATH OF ACCESSIBILITY PROVIDED BY THE PROJECT
- PATH OF ACCESSIBILITY ON LEVEL BELOW
- HORIZONTAL OPEN SPACE PATH OF ACCESSIBILITY RELATED TO THIS PROJECT
- ★ ACCESSIBLE ELEVATOR
- ▲ ACCESSIBLE MEN'S RESTROOM
- ACCESSIBLE WOMEN'S RESTROOM
- ACCESSIBLE UNABLE RESTROOM

NOTE: EACH UNIT IS IDENTIFIED WITH HERITAGE PLACE UNIT NUMBER (UNIT #) AND CONSTRUCTION DOCUMENT NUMBER (C-UNIT #)

LEVEL 5
RESIDENTIAL
COMPLIANCE
DIAGRAM:
UNIT 228

A0.65B



900 North Point Street, Unit 228, San Francisco, CA
Certificate of Appropriateness Case #2013.1707A
Draft Sponsor Packet
December 12, 2013

BUILDING HISTORIC STATUS

900 North Point Street, Unit 228 is located in an Article 10 Landmark #30 property, historically known as Ghirardelli Square. The Dwelling Unit 228 itself is located within the Clock Tower Building, which is one of five historic buildings in the Fairmont Heritage Place, Ghirardelli Square Private Residence Club. Ghirardelli Square is also listed on the National and California Registers of Historic Places.

900 North Point Street is a Romanesque Revival-style complex consisting of a collection of brick industrial buildings ranging in height from one to five stories. The Landmark property was constructed between 1859 and 1922 by Architects William Moser (Senior and Junior). The site was converted to retail use in 1962-68 and the rehabilitation was designed by Wurster, Bernardi & Emmons. The landscape architect for the conversion was Lawrence Halperin. The Clock Tower Building was constructed in 1916 and is a four story brick building with late Gothic/early Renaissance ornamentation including cast stone quoins and prominent stone trim.

900 North Point Street, Unit 228, San Francisco, CA
Certificate of Appropriateness Case #2013.1707A
Draft Sponsor Packet
December 12, 2013



PROJECT OVERVIEW

The proposed modification is an exterior, non-historic landing expansion, originally constructed in 2006-2007 with the Fairmont Heritage Place, Ghirardelli Square private residence club renovation. This landing is now being altered to meet Planning Code Section 135's requirements for Private Usable Open Space. In March 2013, Unit 228 was sold as a condominium from a fractional private residence club unit. The dwelling unit must be brought into compliance with Planning Code Section 135 Paragraph (f)(1) Private Usable Open Space Minimum Dimensions. The code states that any area credited to meet this code section must have a minimum horizontal dimension of six feet.

The landing's current dimensions are 3'-11" by 9'-4". The future landing will be expanded to the west of the existing landing resulting in overall dimensions of 6'-2" by 6'-2" plus 3'-11" by 3'-2" and a total of 50.4 square feet. All materials, textures, colors for the landing expansion will match existing conditions. The modification is in size only to comply with Section 135 minimum horizontal dimensions.

There have been no changes to the exterior or interior of the unit nor the building itself since its entitled renovation in 2006-2007. The proposed modification will retain character-defining features of the building. The proposed landing expansion will match existing conditions in finish and materials; and because the landing expansion will not make any changes to the building itself, it will retain the character-defining features of the building and property.

900 North Point Street, Unit 228, San Francisco, CA

Certificate of Appropriateness Case #2013.1707A

Draft Sponsor Packet

December 12, 2013

VICINITY AND EXISTING CONDITIONS

Unit 228's existing landing is shown in this photo and referenced by a red arrow in subsequent slides. Its view looks over Ghirardelli Square and the San Francisco Bay to the North.



900 North Point Street, Unit 228, San Francisco, CA
Certificate of Appropriateness Case #2013.1707A
Draft Sponsor Packet
December 12, 2013

View looking North



Existing landing looking East from private residence club's shared terrace

900 North Point Street, Unit 228, San Francisco, CA
Certificate of Appropriateness Case #2013.1707A
Draft Sponsor Packet
December 12, 2013



Current view of landing from Ghirardelli Square below

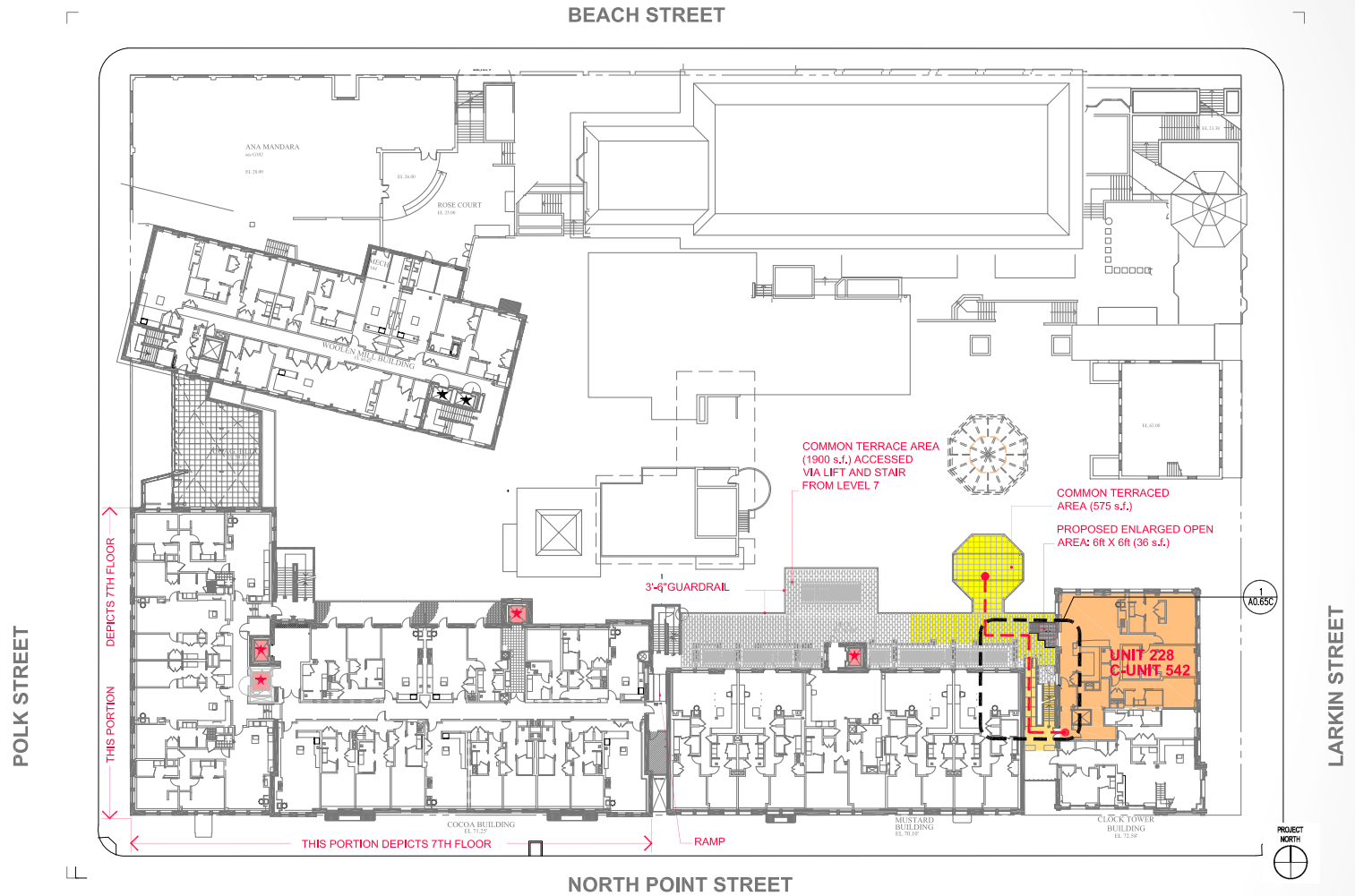
900 North Point Street, Unit 228, San Francisco, CA
Certificate of Appropriateness Case #2013.1707A
Draft Sponsor Packet
December 12, 2013



Current view of landing from Ghirardelli Square below

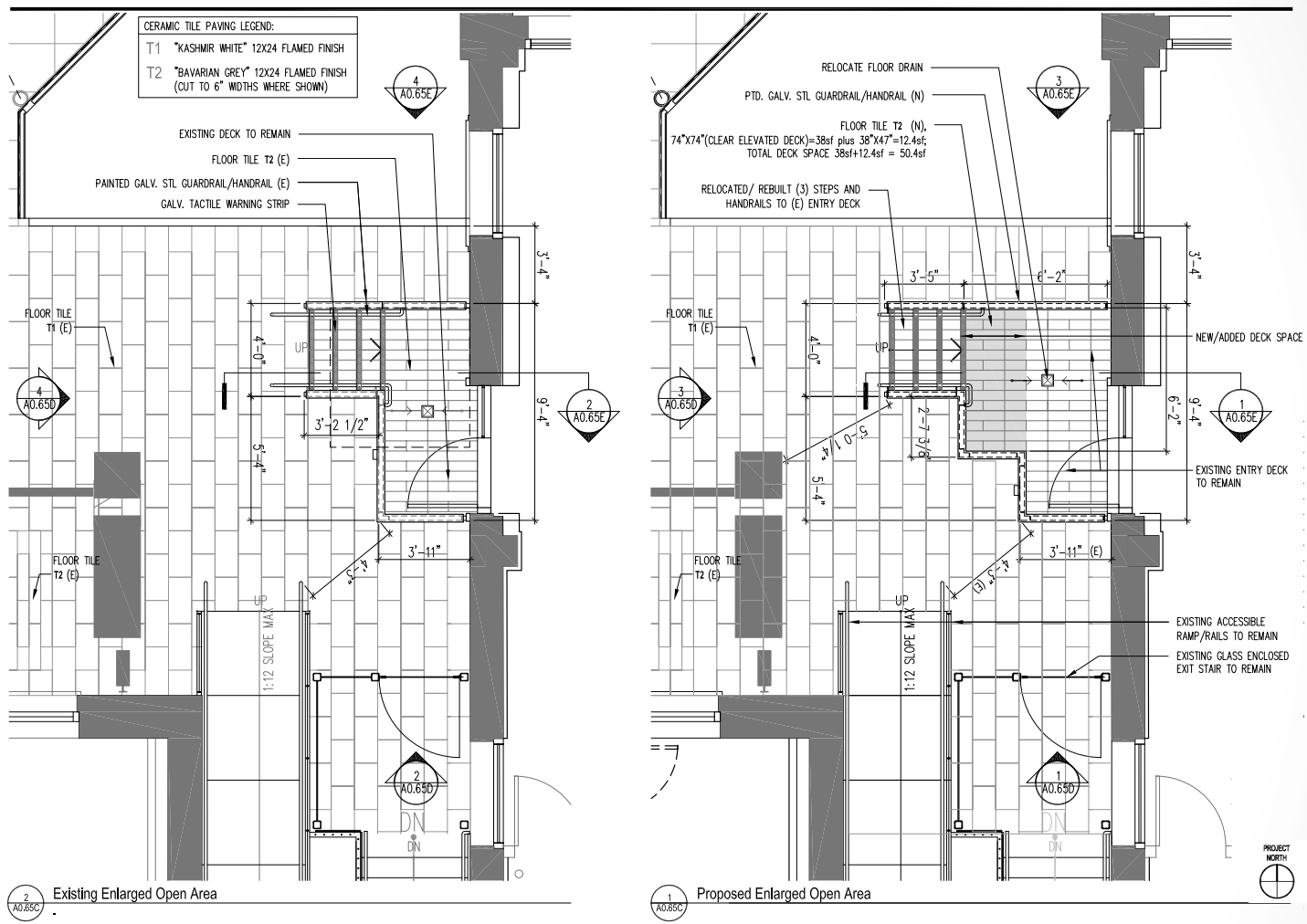
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December 12, 2013

SITE PLAN



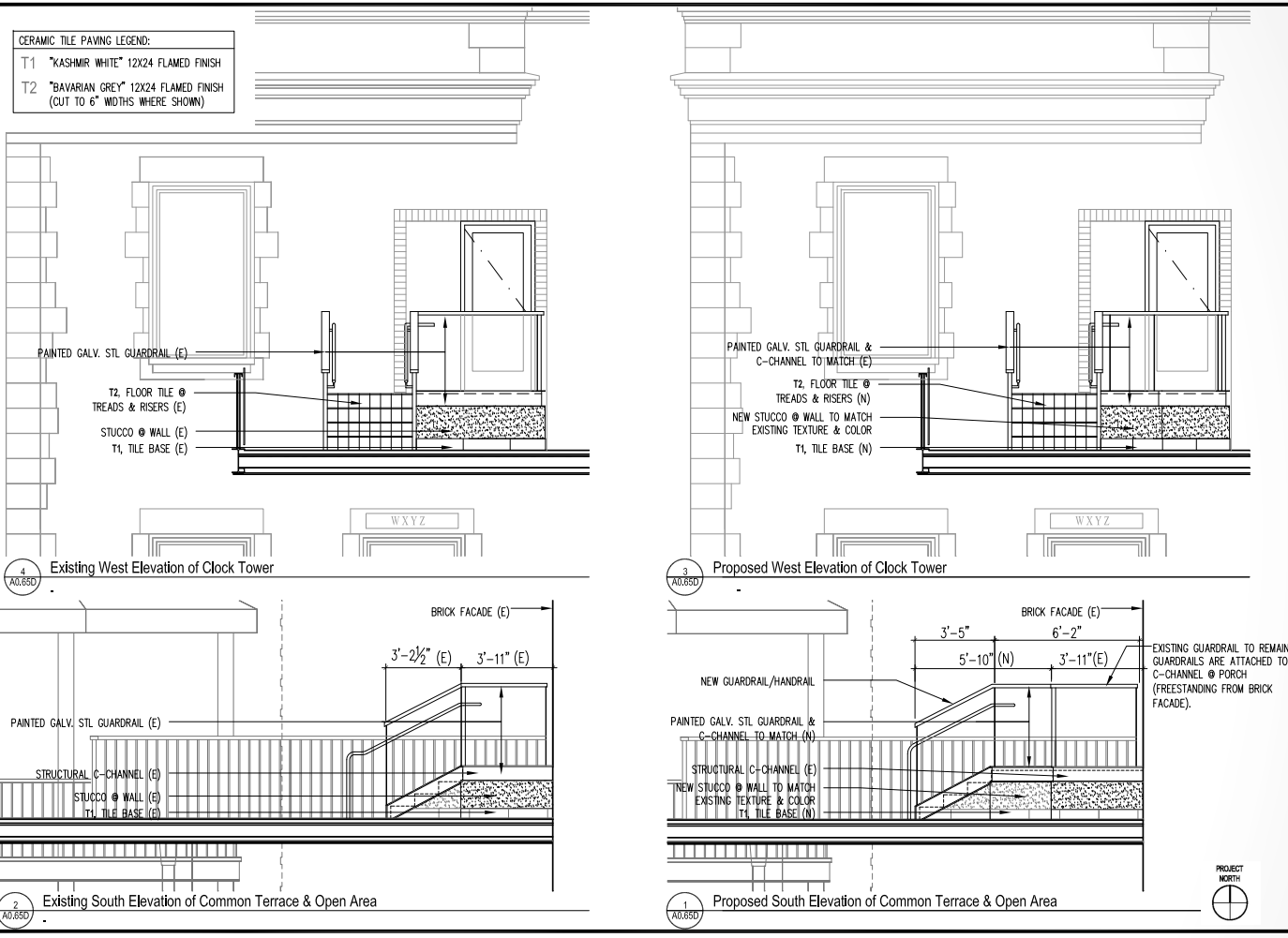
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PROJECT PLAN



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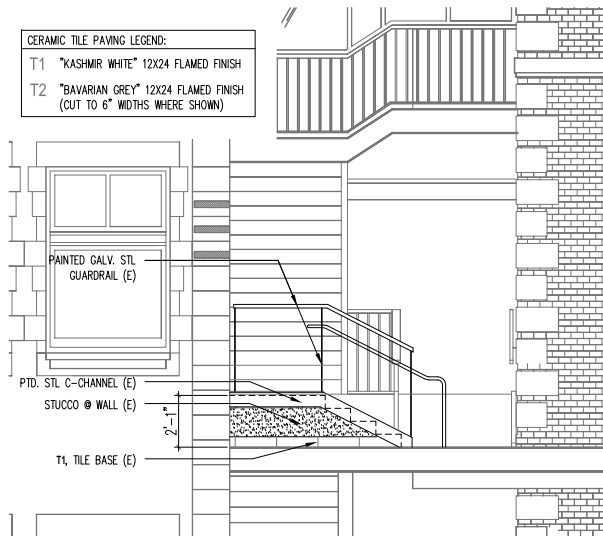
ELEVATIONS AND SECTIONS



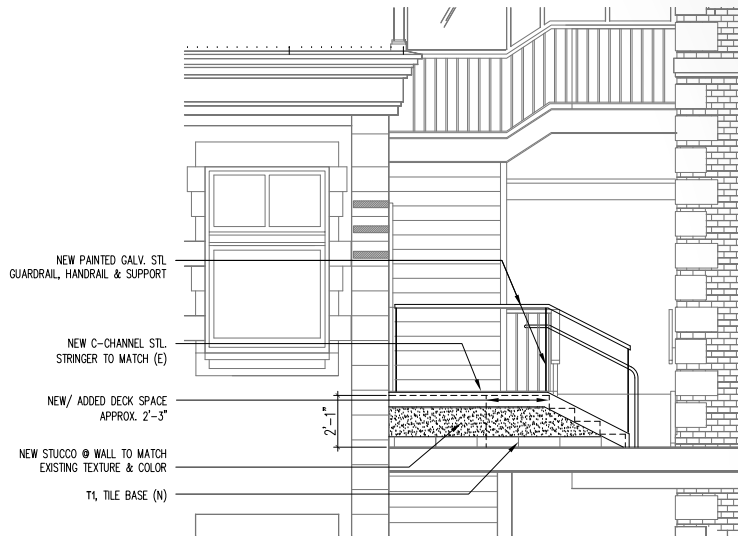
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ELEVATIONS AND SECTIONS

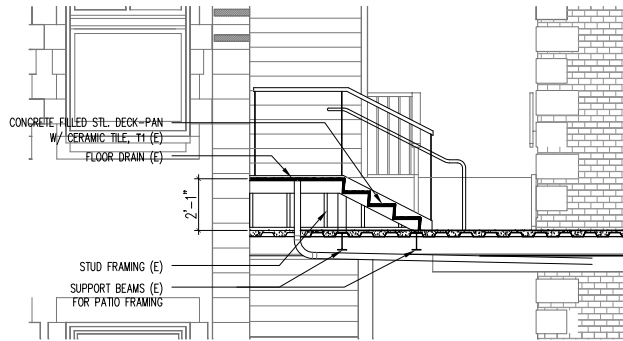
CERAMIC TILE PAVING LEGEND:
 T1 "KASHMIR WHITE" 12X24 FLAMED FINISH
 T2 "BAVARIAN GREY" 12X24 FLAMED FINISH
 (CUT TO 6" WIDTHS WHERE SHOWN)



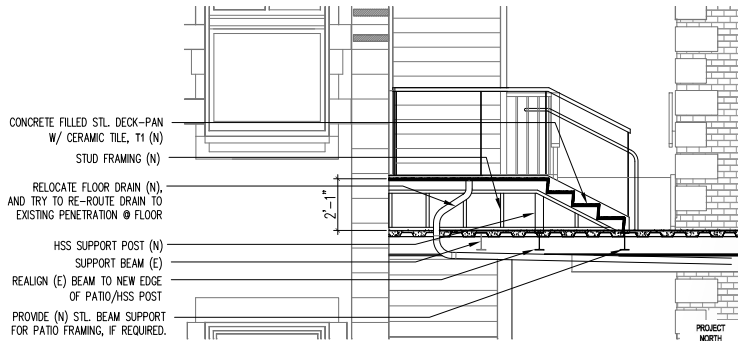
4 Existing North Elevation of Common Terrace & Open Area
 A0.05E



3 Proposed North Elevation of Common Terrace & Open Area
 A0.05E



2 Existing East-West Section through Open Area
 A0.05E



1 Proposed East-West Section through Open Area
 A0.05E

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RENDERING OF PROPOSED MODIFICATION



EXISTING STAIR PHOTOGRAPH



PROPOSED STAIR RENDERING



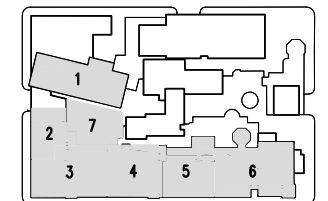
EXISTING STAIR PHOTOGRAPH



PROPOSED STAIR RENDERING



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December 12, 2013



11. 19. 2013

No.	Date	Revision/Issue
Project Number	Scale	NTS
013674		
Drawn by	Checked by	

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**LEVEL 5
 RESIDENTIAL
 COMPLIANCE
 DIAGRAM:
 UNIT 228**



A0.65A

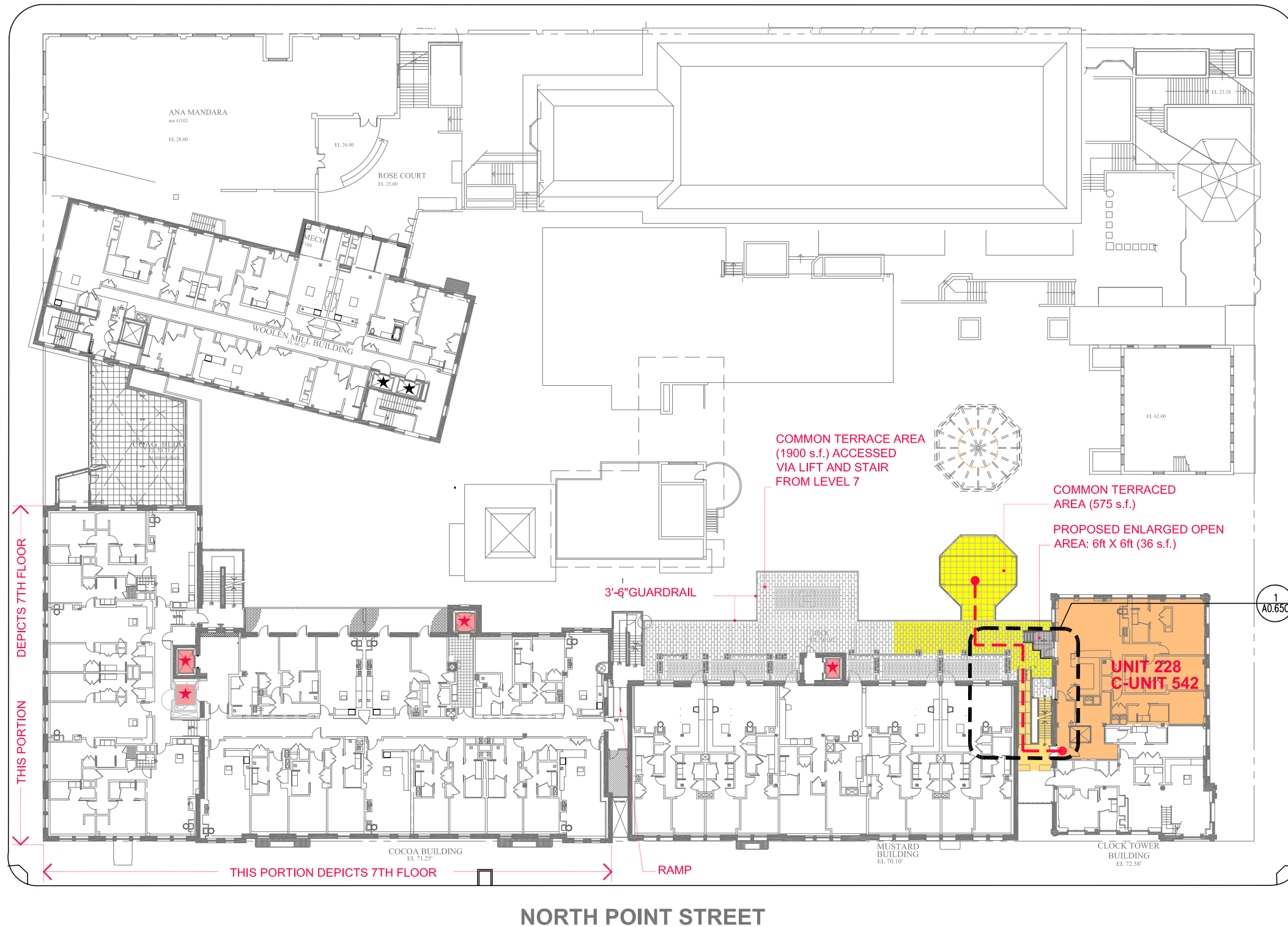
1 Neighborhood Context Photo

L:\proj\13674\Cad\PlotShis\GS-A065A-code.dwg, paper, 12/11/2013 1:26:11 PM, chaur, 1:1

BEACH STREET

POLK STREET

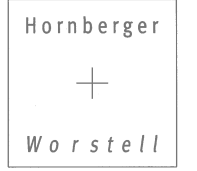
LARKIN STREET



ACCESSIBILITY LEGEND

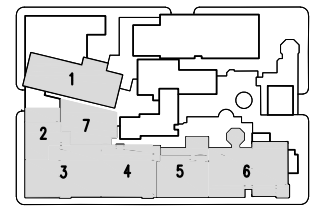
- STANDARD NON-ADA ACCESS ROUTE
- PATH OF ACCESSIBILITY REVISED BY THIS PROJECT
- - - PATH OF ACCESSIBILITY ON LEVEL BELOW
- - - NONPUBLIC EMPLOYEE PATH OF ACCESSIBILITY RELATED TO THIS PROJECT
- ★ ACCESSIBLE ELEVATOR
- ▲ ACCESSIBLE MENS RESTROOM
- ACCESSIBLE WOMENS RESTROOM
- ACCESSIBLE UNISEX RESTROOM

NOTE: EACH UNIT IS IDENTIFIED WITH HERITAGE PLACE UNIT NUMBER (UNIT #) AND CONSTRUCTION DOCUMENT NUMBER (C-UNIT #)



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 San Francisco, CA 94108

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013674		Scale 1" = 40'-0"
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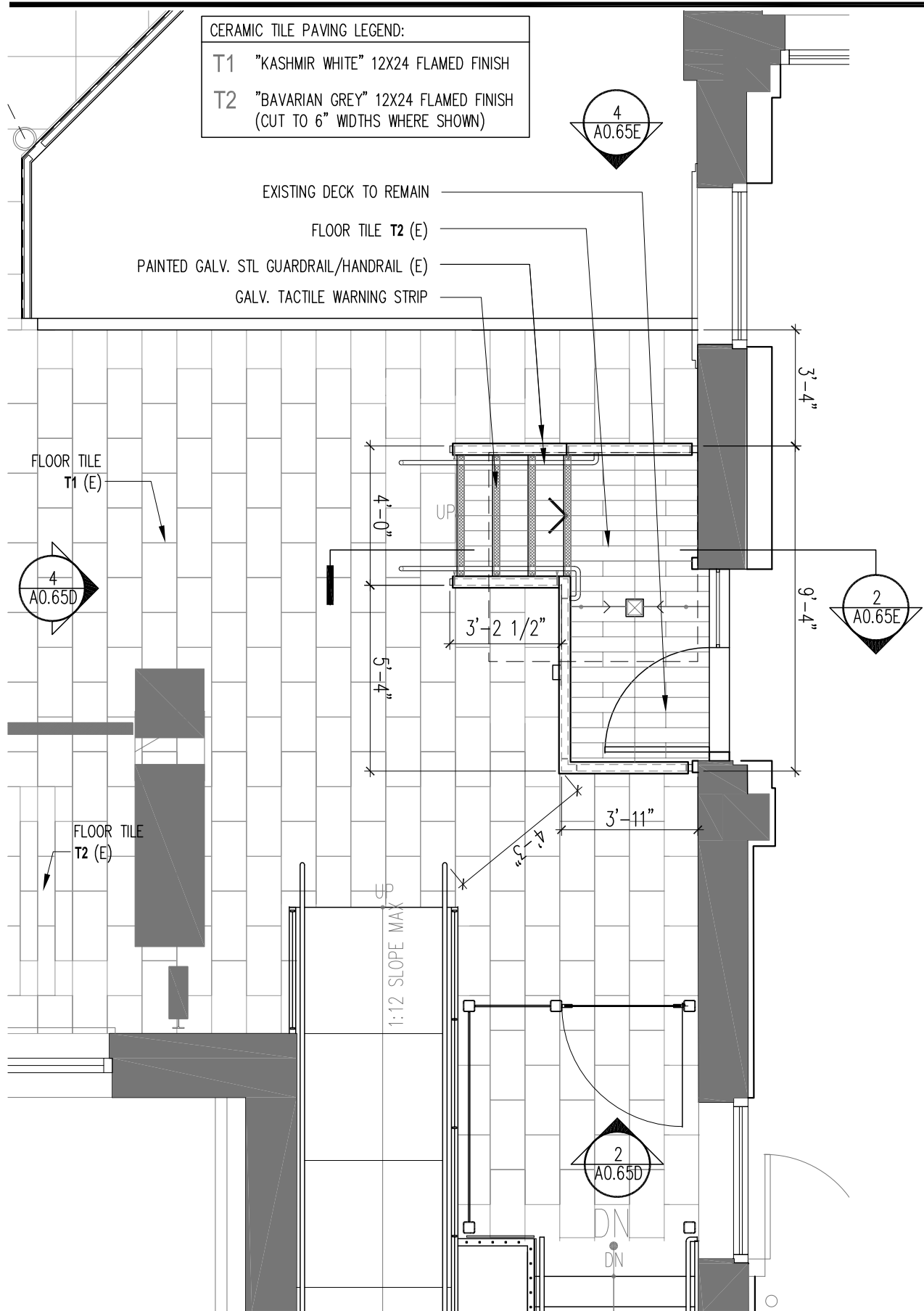
LEVEL 5
 RESIDENTIAL
 COMPLIANCE
 DIAGRAM:
 UNIT 228



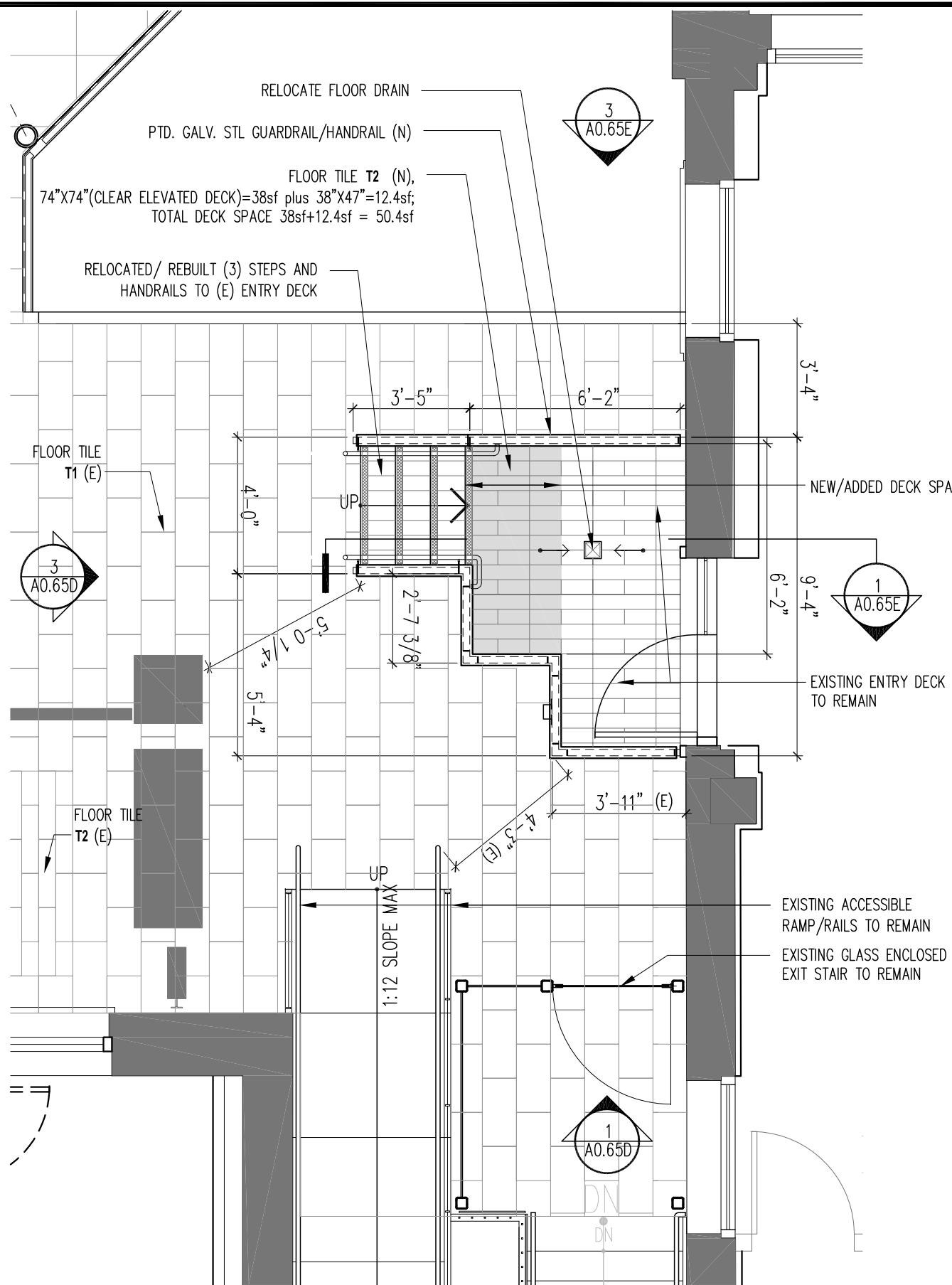
A0.65B

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CERAMIC TILE PAVING LEGEND:
 T1 "KASHMIR WHITE" 12X24 FLAMED FINISH
 T2 "BAVARIAN GREY" 12X24 FLAMED FINISH
 (CUT TO 6" WIDTHS WHERE SHOWN)



2 Existing Enlarged Open Area
 A0.65C



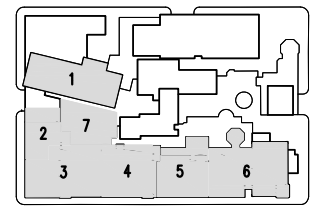
1 Proposed Enlarged Open Area
 A0.65C

JMA VENTURES
 Ghirardelli Square
 Rehabilitation Phase II
 Interior Masonry
 Report Survey

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No	Date	Revision/Issue
Project Number	Scale	1/4" = 1'-0"
013674		
Drawn by	Checked by	

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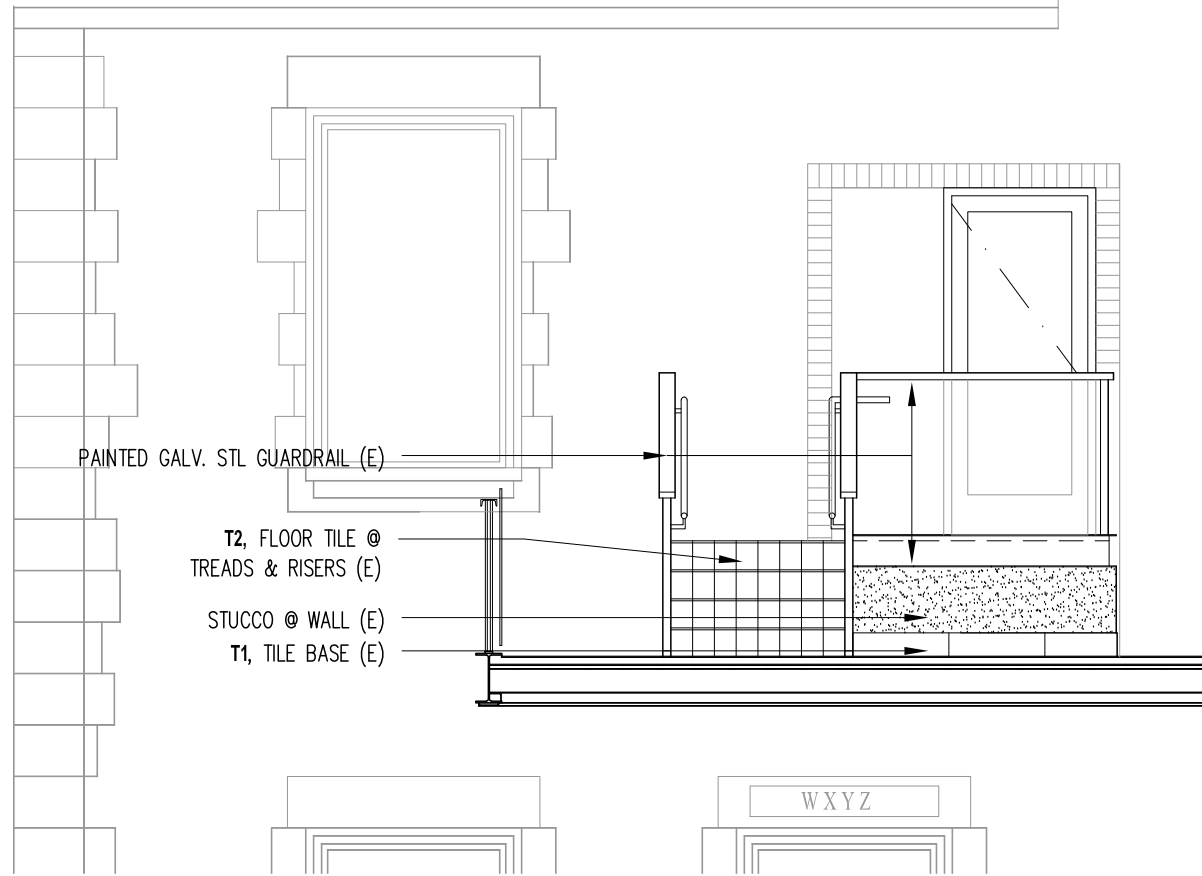
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**LEVELS 5
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 COMPLIANCE
 DIAGRAM:
 UNT 228**

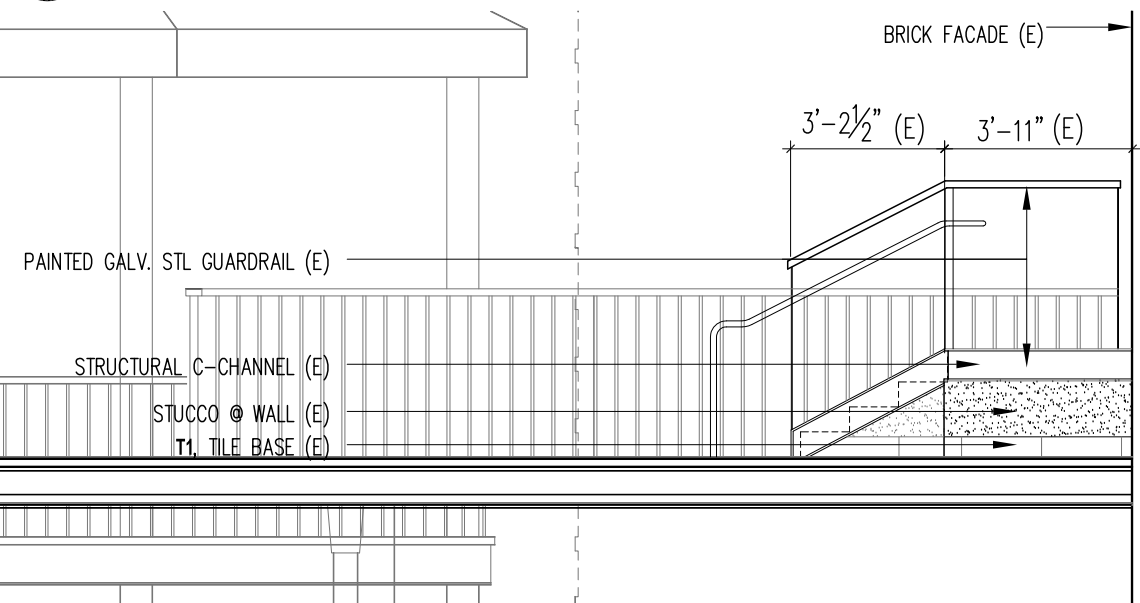


A0.65C

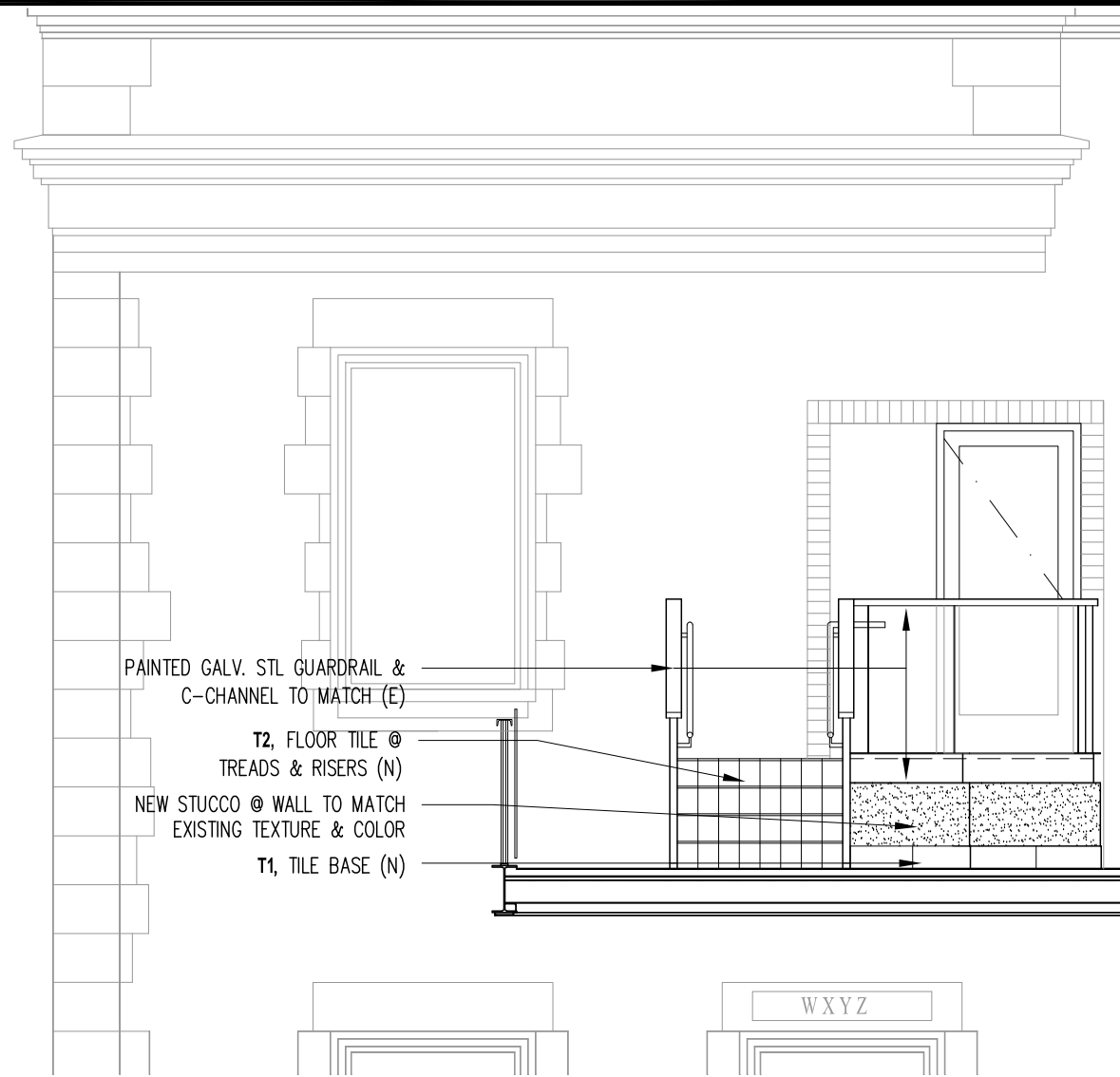
CERAMIC TILE PAVING LEGEND:	
T1	"KASHMIR WHITE" 12X24 FLAMED FINISH
T2	"BAVARIAN GREY" 12X24 FLAMED FINISH (CUT TO 6" WIDTHS WHERE SHOWN)



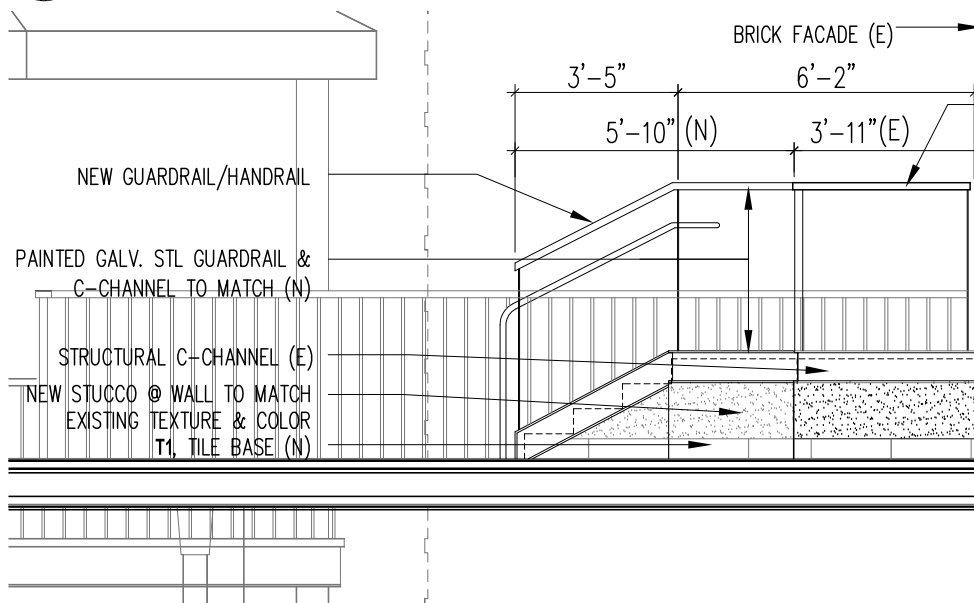
4 Existing West Elevation of Clock Tower
A0.65D



2 Existing South Elevation of Common Terrace & Open Area
A0.65D



3 Proposed West Elevation of Clock Tower
A0.65D



1 Proposed South Elevation of Common Terrace & Open Area
A0.65D



Ghirardelli Square
Rehabilitation Phase II
Interior Masonry
Report Survey

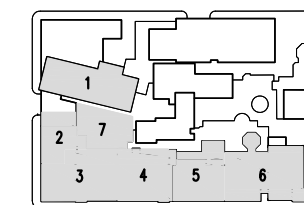
Hornberger



Worstell

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No.	Date	Revision/Issue
Project Number	Scale	1/4" = 1'-0"
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LEVELS 5
RESIDENTIAL
COMPLIANCE
DIAGRAM:
UNT 228

A0.65D

Hornberger



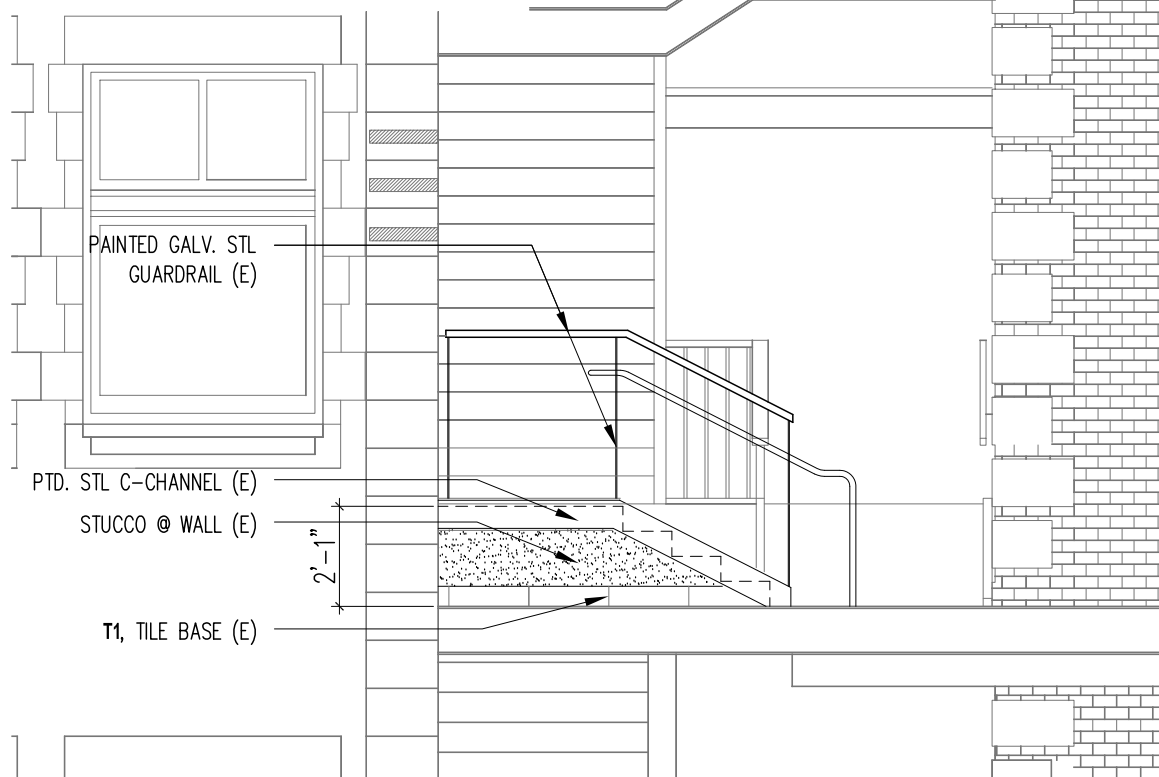
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CERAMIC TILE PAVING LEGEND:
T1 "KASHMIR WHITE" 12X24 FLAMED FINISH
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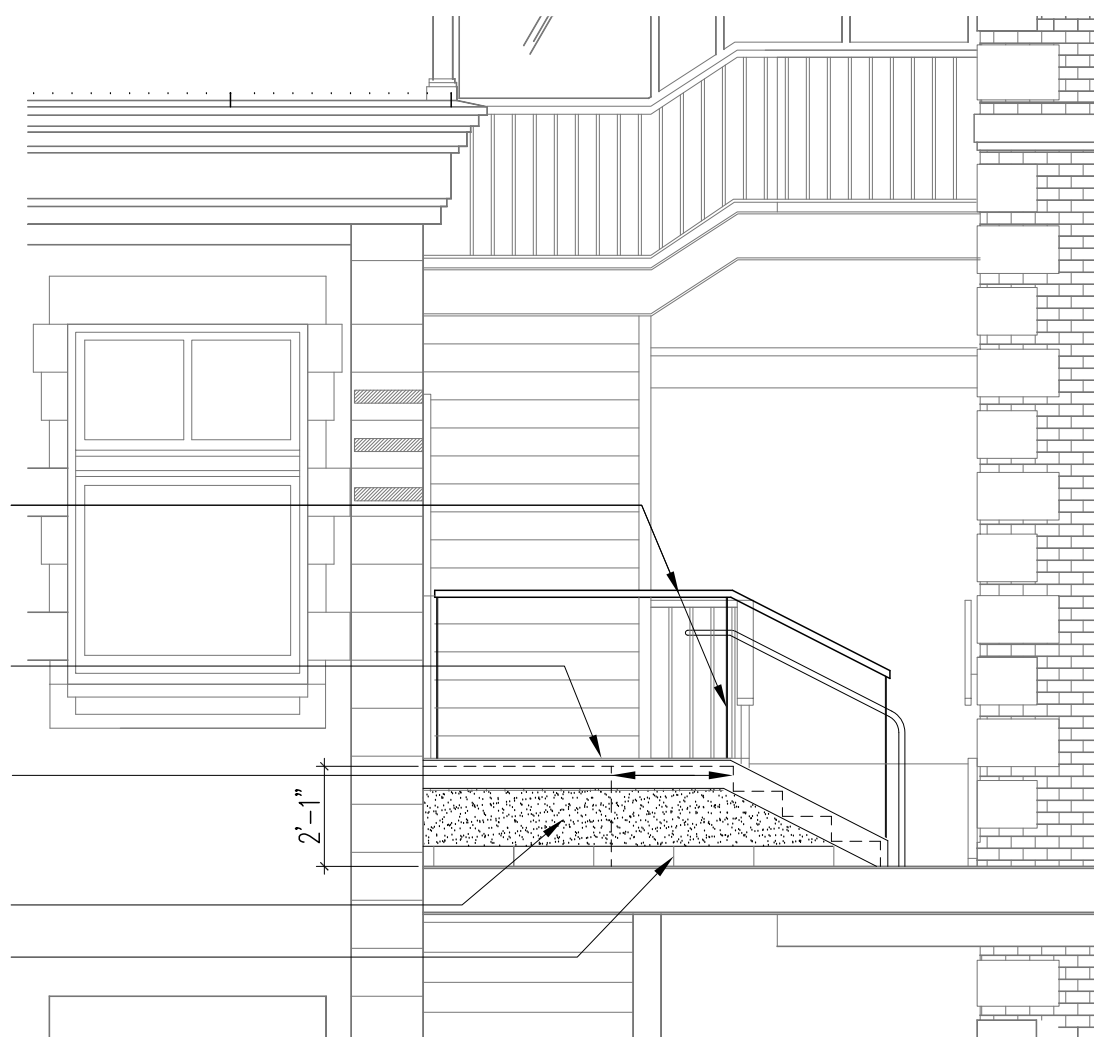
NEW PAINTED GALV. STL
GUARDRAIL, HANDRAIL & SUPPORT

NEW C-CHANNEL STL.
STRINGER TO MATCH (E)

NEW/ ADDED DECK SPACE
APPROX. 2'-3"

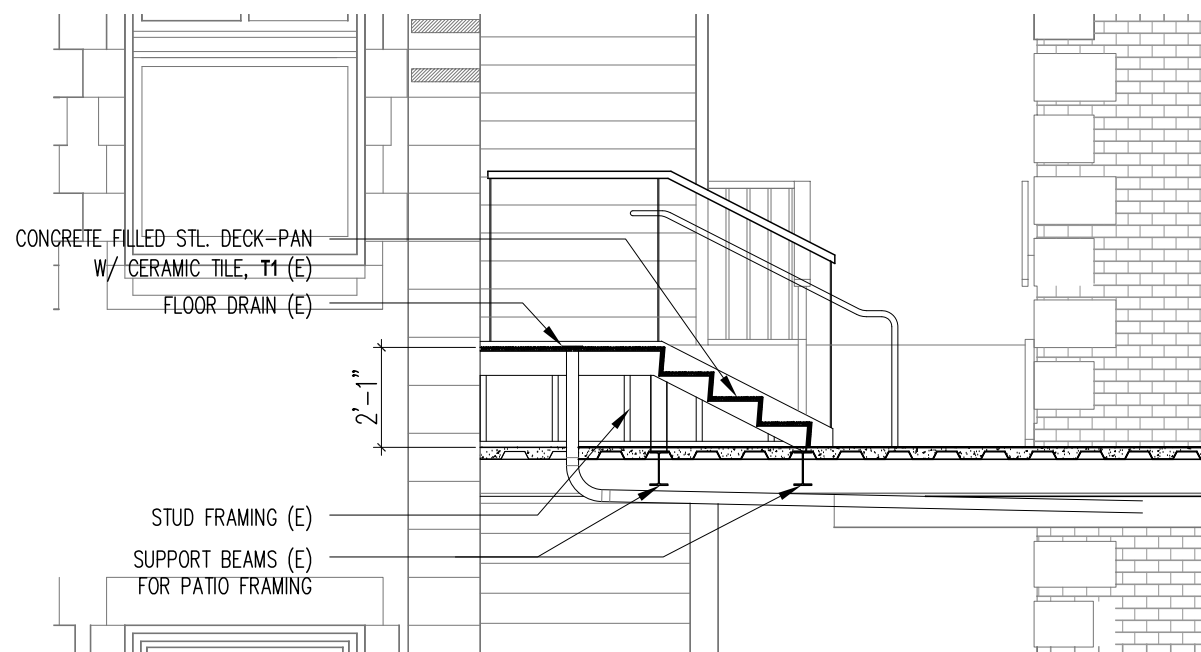
NEW STUCCO @ WALL TO MATCH
EXISTING TEXTURE & COLOR

T1, TILE BASE (N)



4 Existing North Elevation of Common Terrace & Open Area
A0.65E

3 Proposed North Elevation of Common Terrace & Open Area
A0.65E



CONCRETE FILLED STL. DECK-PAN
W/ CERAMIC TILE, T1 (N)

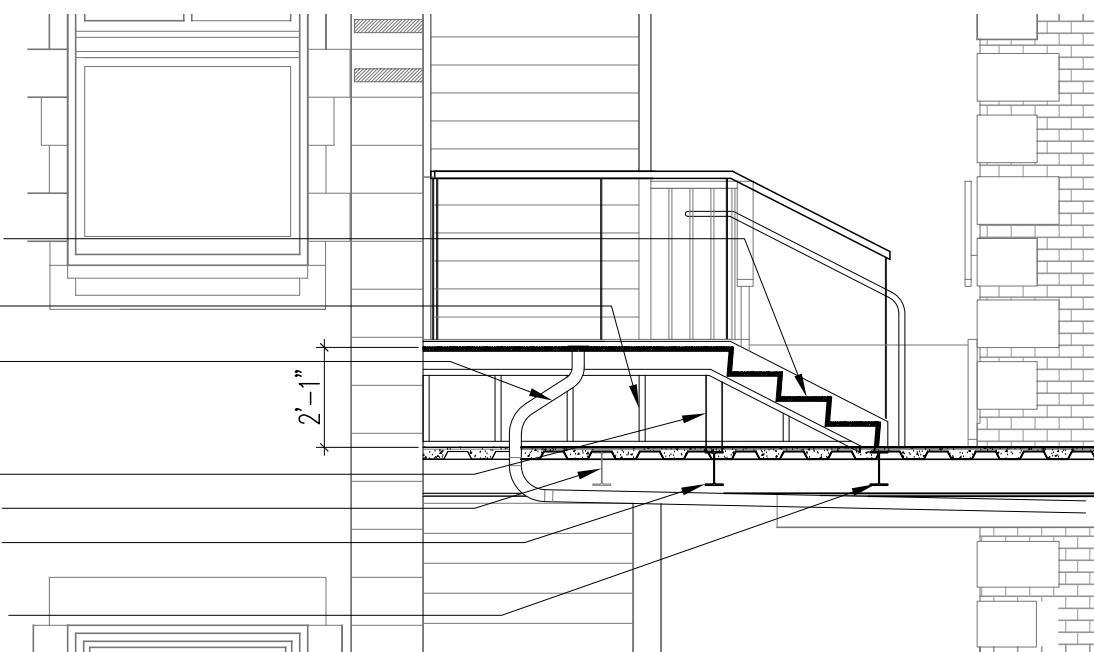
STUD FRAMING (N)

RELOCATE FLOOR DRAIN (N),
AND TRY TO RE-ROUTE DRAIN TO
EXISTING PENETRATION @ FLOOR

HSS SUPPORT POST (N)
SUPPORT BEAM (E)

REALIGN (E) BEAM TO NEW EDGE
OF PATIO/HSS POST

PROVIDE (N) STL. BEAM SUPPORT
FOR PATIO FRAMING, IF REQUIRED.



2 Existing East-West Section through Open Area
A0.65E

1 Proposed East-West Section through Open Area
A0.65E

No	Date	Revision/Issue
Project Number	Scale	1/4" = 1'-0"
013674		
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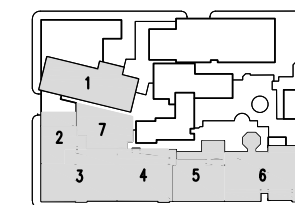
**LEVELS 5
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DIAGRAM:
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A0.65E



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EXISTING STAIR PHOTOGRAPH

4
A0.65D



PROPOSED STAIR RENDERING

3
A0.65D



EXISTING STAIR PHOTOGRAPH

2
A0.65D



PROPOSED STAIR RENDERING

1
A0.65D

11. 19. 2013

No. Date Revision/Issue

Project Number Scale 1/4" = 1'-0"

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VIEWS:
UNIT 228

A0.65F