



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: JUNE 5, 2013

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Reception:
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Filing Date: April 26, 2013
Case No.: **2013.0489A**
Project Address: **1100 California Street**
Historic Landmark: No. 170 – Grace Cathedral
Zoning: RM-4 (Residential – Mixed, High Density)
65-A Height and Bulk District
Block/Lot: 0246/001
Applicant: Bill Edmunds, Grace Cathedral Corporation
1100 California Street
San Francisco, CA 94108
Staff Contact Kelly H. Wong - (415) 575-9100
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Reviewed By Tim Frye - (415) 558-6822
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PROPERTY DESCRIPTION

1100 CALIFORNIA STREET is City Landmark No. 170 designated in 1983 and located on the south side between Jones and Taylor Streets (Assessor's Block 0246; Lot 001). The 247 feet tall steel-frame and reinforced concrete Gothic Revival Cathedral was designed by Lewis P. Hobart. Construction began in 1914 with the Founders Crypt (underground level) and the above-ground construction began in 1928 and was completed in 1964. Other parts of the complex date from 1877 to 1995. The subject property is one of the last major Gothic revival structures ever built, and the third largest Episcopal cathedral in the U.S. It is located within the RM-4 (Residential – Mixed, High Density) Zoning District with a 65-A Height and Bulk District.

Grace Cathedral – the subject property – is an individual landmark designated in Article 10 of the Planning Code. Existing stone boundary walls, fences and gate around the landmark building are the remains of the Charles Crocker mansion carriage gateway and date from 1877. The Great East Entrance and Portal, the current entrance to the Cathedral and the granite stone steps (also known as the Great Steps) was constructed in 1964. In 1995, after the demolition of Gibbs Memorial Hall east of the Cathedral, the current concrete plaza was constructed.

The subject building is located along the west side of the Collis P. Huntington Park in Nob Hill and is surrounded by large hotels, a public auditorium, as well as both mid- and high-rise residential structures.

While the Cathedral has remained unaltered and intact, the non-historic concrete plaza has been reconstructed several times over the past few decades and the granite steps repaired repeatedly to address water intrusion issues.

PROJECT DESCRIPTION

The proposed project involves the in-kind replacement of the existing plaza constructed in 1994 to address waterproofing and life-safety issues and improvement of site lighting and signage, as well as accessibility upgrades. Specifically, the proposal includes:

- **Replacement of Concrete Steps and Handrails.** In-kind replacement of existing concrete steps to match original configuration, design, color and texture with improved joint pattern to allow for thermal movement and to permit water to drain below into an internally designed drainage system. New simple 1-1/2" diameter bronze handrails with proper code-compliant returns and posts will be installed at new concrete steps and attached to existing concrete planter beds. At the plaza perimeter, a limited section of existing stone caps will be removed, salvaged and reinstalled along Taylor and California Streets. Additionally, a portion of the Taylor Street entrance below the Labyrinth will be replaced in-kind. Refer to details 14 & 16 on Sheet A5.03 and detail 3 on Sheet A5.04 of the attached drawing set dated 5/22/2013;
- **Replacement of Stone Steps and Handrails.** In-kind replacement of existing granite stone steps to match original configuration, design and all visual qualities with improved joint patterns to allow for thermal movement and prevent formation of cracks. New 1-1/2" diameter bronze handrails with ornamental escutcheons and fittings and proper code-compliant returns will be installed at new granite steps and attached to existing concrete planter beds. In some areas, handrails will be attached to the side of existing Cathedral walls. Refer to details 14, 16 & 18 on Sheet A5.03 and details 1 & 2 on Sheet A5.04 of the attached drawing set dated 5/22/2013;
- **Removal and Reinstallation of Plaza Stone Caps.** Existing granite caps at the plaza perimeter along Taylor Street and California Street will be removed, salvaged, and reinstalled in their original locations after the replacement of the concrete steps.
- **Replacement of the Taylor Street Entrance.** A portion of the Taylor Street entrance below the Labyrinth will be replaced in-kind. Refer to details on Sheets D2.01, A2.02 and A2.03 of the attached drawing set dated 5/22/2013;
- **Replacement of Light Posts.** Two existing non-historic light posts at existing concrete planter beds will be replaced with new contemporary light posts that are compatible with the landmark building. Refer to details on Sheets D2.01 and A2.02 of the attached drawing set dated 5/22/2013;
- **Reconstruction of Labyrinth.** Reconstruction of existing terrazzo labyrinth with new polychrome granite stone inlay as originally designed. Refer to details on Sheets D2.01 and A2.02 of the attached drawing set dated 5/22/2013;
- **Repair of Doors.** Repair of existing Ghiberti bronze door pivots and installation of waterproofing. Where pivots are beyond repair, in-kind replacement will occur. Replacement of closers at wood paneled doors and bronze doors. Refer to Ghiberti Door Pivot Repair notes on Sheet G0.00, details on Sheets D2.01 and A2.02 of the attached drawing set dated 5/22/2013;

- **Installation of Signage.** Installation of cast bronze signage for accessibility, wayfinding, and general property information. Signs are case bronze with raised borders and graphics and installed on non-historic substrates. Refer to details on Sheet A8.01 of the attached drawing set dated 5/22/2013; and
- **Installation of Accessible Hardware.** Installation of accessibility auto-opener hardware at existing non-historic door. Installation of push buttons for power operated door openers on adjacent Cathedral walls. Refer to details on Sheet A8.01 of the attached drawing set dated 5/22/2013.

Please see photographs and plans for details.

OTHER ACTIONS REQUIRED

None.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a landmark district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The proposed work does not include a change of use. The subject building was constructed as a Cathedral, and will remain so. The proposed project is limited to the plaza in front of the Cathedral and the doors of the landmark building.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposed scope of work is in-kind replacement of the non-historic plaza. As outlined in the scope of work, architectural elements such as the concrete steps constructed in 1994, granite steps constructed in 1964, and handrails installed in different periods will be replaced in their original configuration and design with either in-kind materials or with similar and compatible materials that meet current codes. For the historic bronze doors, only pivots that are structurally unsound or in an advanced state of repair will be replaced with substitute materials and/or elements.

Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

New elements introduced will be differentiated from the historic in design and finish in order to maintain clarity between what was original and what is a contemporary addition. The plaza and stone steps will be replaced in-kind and with new joint patterns, but the handrails will be modified to meet code and light fixtures will remain contemporary in design.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The distinctive finishes and features of the landmark structure and property will be retained and preserved. Every effort has been made to document existing features in their original form and finish. Historic fabric and finishes will be protected during construction to prevent damage. New features introduced are sensitive and compatible to the historic building. Staff has reviewed the material, texture and finish of the proposed replacement elements, as well as new materials and the methods of installation for new hardware on historic substrates and has confirmed that as outlined in the scope of work, distinctive features and finishes will be preserved.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary physical evidence.

When possible, deteriorated features will be preserved through repair techniques such as cleaning and re-finishing. Only where necessary will materials be replaced in like materials, or with appropriate substitute materials.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

ISSUES & OTHER CONSIDERATIONS

None.

STAFF ANALYSIS

Staff has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities of the landmark structure.

Concrete and Stone Steps & Handrails

New concrete steps will match the existing in configuration, material and finish and have an improved joint pattern to address waterproofing issues. The new waterproofing system below the entire plaza improves on-site drainage and allows for water to properly drain away from the landmark property. Like the concrete steps, the new granite steps will also match the existing in configuration, material and finish and have an improved joint pattern to address waterproofing issues. Existing granite steps are in poor condition and have gone through several campaigns of repairs including drilling and epoxy injections to stop water intrusion below the steps. As a result, granite units are pock marked and water infiltration is still an issue. New handrails similar in design to existing will have code required extensions and intermediate posts to meet accessibility and life-safety standards. New handrails for the concrete steps will be constructed of a 1-1/2" diameter bronze pipe rail with square posts which will patina overtime to match its current appearance. New handrails for the granite steps will be similarly constructed with a 1-1/2" diameter bronze pipe rail with square posts but have decorative escutcheons and fittings to match the more ornamental handrails at these steps. Additionally, to address water intrusion issues, the entire plaza will have an improved joint pattern to provide for drainage below the plaza and prevent cracking at the concrete. Existing granite caps located along the plaza perimeter on Taylor and California Streets will be removed, salvaged, and reinstalled in their original location once the new concrete steps have been constructed. Replacement concrete steps, granite steps, and modified handrails are compatible in design, material, and character with the landmark building and do not damage or destroy the character of the subject property. Existing historic fabric will be protected during construction to prevent damage to the landmark building.

Labyrinth

The non-historic labyrinth will also be reconstructed in its original location to match existing design but with inlaid polychrome granite, as originally intended. The granite colors will match existing granite features on the subject property. The reconstruction of the labyrinth does not change the character of the landmark property.

Lighting

Two existing non-historic light posts located in existing concrete planters will be replaced with new light posts that will be contemporary in design so that it is clear they are not part of the original landmark property. The existing light posts currently light the face of the building. However, the new light posts will provide the required light level distributions at the plaza for life-safety and improve the quality of the plaza. New light posts have not been selected however the intent is to select a fixture that is contemporary in design that it is differentiated and compatible with the landmark property. Staff recommends approval with condition that final selection of light post design be reviewed and approved by Department Preservation Staff.

Doors

Door repairs include repair of pivots for the pair of cast bronze Ghiberti Doors (with gilding) located at the center of the church, as well as in-kind replacement of closers for wood panel and bronze panel doors located on either side of the Ghiberti Doors. Where conditions are beyond repair, components will be replaced in-kind. Ghiberti Doors will be removed, salvaged and protected on site during construction and reinstalled in their original locations.

Accessibility Upgrades

To meet current accessibility standards, the proposed project includes the installation of an auto door opener above the non-historic aluminum pair of doors located on the southernmost Cathedral entrance, installation of two push buttons on the adjacent Cathedral wall (one interior and one exterior), and installation of five signs to signify accessible entrances. Of the signs, four cast bronze with raised borders, letters and graphics will be installed on the face of the Cathedral walls and one is painted aluminum will be attached to the face of a concrete planter.

Signs

Moreover, five additional case bronze signs will be installed throughout the site and imbedded in the new concrete plaza and steps. These are small discrete signs, installed in their original locations and do not alter the character of the plaza.

The project will require minimal disturbance to existing historic fabric. The majority of the work will be limited to the non-historic portion of the landmark property, with the exception of the door repairs. Staff has reviewed the plan for protection of historic fabric during construction and determined that the work will not damage the landmark building.

Staff finds that the historic character of the property will be retained and preserved by the careful protection of the historic elements. Staff has reviewed the specifications for General Historic Preservation Guidelines, Selective Demolition, Salvage and Protection, and Guidelines for Cutting and Patching Historic Work and determined that the proposed method for protecting historic fabric during construction is compatible with the existing landmark.

Staff has reviewed the details for the proposed new waterproofing system and determined that the intervention is compatible with the existing landmark. The new waterproofing system will not be visible from the plaza and will be an improvement of the overall site drainage system.

In order to ensure that details of the replacement units are consistent with the character and visual qualities of landmark building, the Department recommends the following conditions of approval:

- Prior to issuance of the Architectural Addendum, one granite sample with finish to match existing shall require review and approval by Planning Department Preservation Staff. Sample shall be placed next to a cleaned 2 square feet area of an existing granite unit for review.
- Prior to issuance of the Architectural Addendum, one concrete sample with striping shall require review and approval by Planning Department Preservation Staff. Composition of concrete shall be submitted for review and approval by staff.

- Prior to issuance of the Architectural Addendum, a light post selection and one on-site full scale mock-up of one light post shall require review and approval by Planning Department Preservation Staff.
- As part of the Architectural Addendum, technical data sheets shall be submitted for new stone unit replacement, concrete, sealant, new handrails, signs, accessibility hardware, and lamp posts.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation*. Staff recommends the following conditions of approval:

1. Prior to issuance of the Architectural Addendum, one granite sample with finish to match existing shall require review and approval by Planning Department Preservation Staff. Sample shall be placed next to a cleaned 2 square feet area of an existing granite unit for review.
2. Prior to issuance of the Architectural Addendum, one concrete sample with striping shall require review and approval by Planning Department Preservation Staff. Composition of concrete shall be submitted for review and approval by staff.
3. Prior to issuance of the Architectural Addendum, a light post selection and one on-site full scale mock-up of one light post shall require review and approval by Planning Department Preservation Staff.
4. As part of the Architectural Addendum, technical data sheets shall be submitted for new stone unit replacement, concrete, sealant, new handrails, signs, accessibility hardware, and lamp posts.

ATTACHMENTS

Draft Motion

Parcel Map

Sanborn Map

Aerial Photos

Zoning Map

Site Photo

Certificate of Appropriateness Application

Appendix

Plans-Building Permit Application No. 2013.0226.0916 (Great Stairs Waterproofing Repairs)

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Historic Preservation Commission Draft Motion

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 001 IN ASSESSOR'S BLOCK 0246, WITHIN A RM-4 (RESIDENTIAL – MIXED, HIGH DENSITY) ZONING DISTRICT AND A 65-A HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on April 26, 2013, Bill Edmunds of Momsem Corporation Development Inc. (Project Sponsor), on behalf of the Property Owner Grace Cathedral Corporation, filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to remodel the building located on the subject property located on lot 001 in Assessor's Block 0246 for religious use. The work involves the replacement of the non-historic plaza, replacement of light posts, door repairs, installation of signs and accessibility upgrades. Specifically, the work includes:

- Replacement of existing non-historic concrete steps and handrails;
- Replacement of existing non-historic granite steps and handrails;
- Removal and reinstallation of plaza stone caps;
- Replacement of the Taylor Street Entrance;
- Replacement of existing non-historic light posts;

- Reconstruction of the existing non-historic labyrinth;
- Repair of Ghiberti bronze door pivots, replacement of closers at wood paneled doors and bronze doors;
- Installation of signage for accessibility, wayfinding, and general property information; and
- Installation of accessible hardware.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on June 5, 2013, the Commission conducted a duly noticed public hearing on the final phase of the project, Case No. 2013.0489A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby **APPROVES WITH CONDITIONS** the Certificate of Appropriateness, in conformance with the architectural plans dated May 22, 2013 and labeled Exhibit A on file in the docket for Case No. 2013.0489A based on the following findings:

CONDITIONS OF APPROVAL

In conformance with HPC Motion XXXX, the Commission requires:

- Prior to issuance of the Architectural Addendum, one granite sample with finish to match existing shall require review and approval by Planning Department Preservation Staff. Sample shall be placed next to a cleaned 2 square feet area of an existing granite unit for review.
- Prior to issuance of the Architectural Addendum, one concrete sample with striping shall require review and approval by Planning Department Preservation Staff. Composition of concrete shall be submitted for review and approval by staff.
- Prior to issuance of the Architectural Addendum, a light post selection and one on-site full scale mock-up of one light post shall require review and approval by Planning Department Preservation Staff.
- As part of the Architectural Addendum, technical data sheets shall be submitted for new stone unit replacement, concrete, sealant, new handrails, signs, accessibility hardware, and lamp posts.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark.

- That the proposal is compatible with, and respects, the character-defining features of the landmark designation;
- Proposed work will not damage or destroy distinguishing original qualities or character of the landmark designation;
- The proposed project will not remove distinctive materials, nor irreversibly alter features, spaces, or spatial relationships that characterize the landmark designation;
- The alterations are clearly differentiated as contemporary alterations and minimally visible; and
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary physical evidence.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not have any impact on the City's supply of affordable housing.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will eliminate unsafe conditions at the site and all construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 001 in Assessor's Block 0296 for proposed work in conformance with the renderings and architectural sketches dated May 22, 2013 and labeled Exhibit A on file in the docket for Case No. 2013.0489A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on June 5, 2013.

Jonas Ionin
Acting Commission Secretary

AYES: X

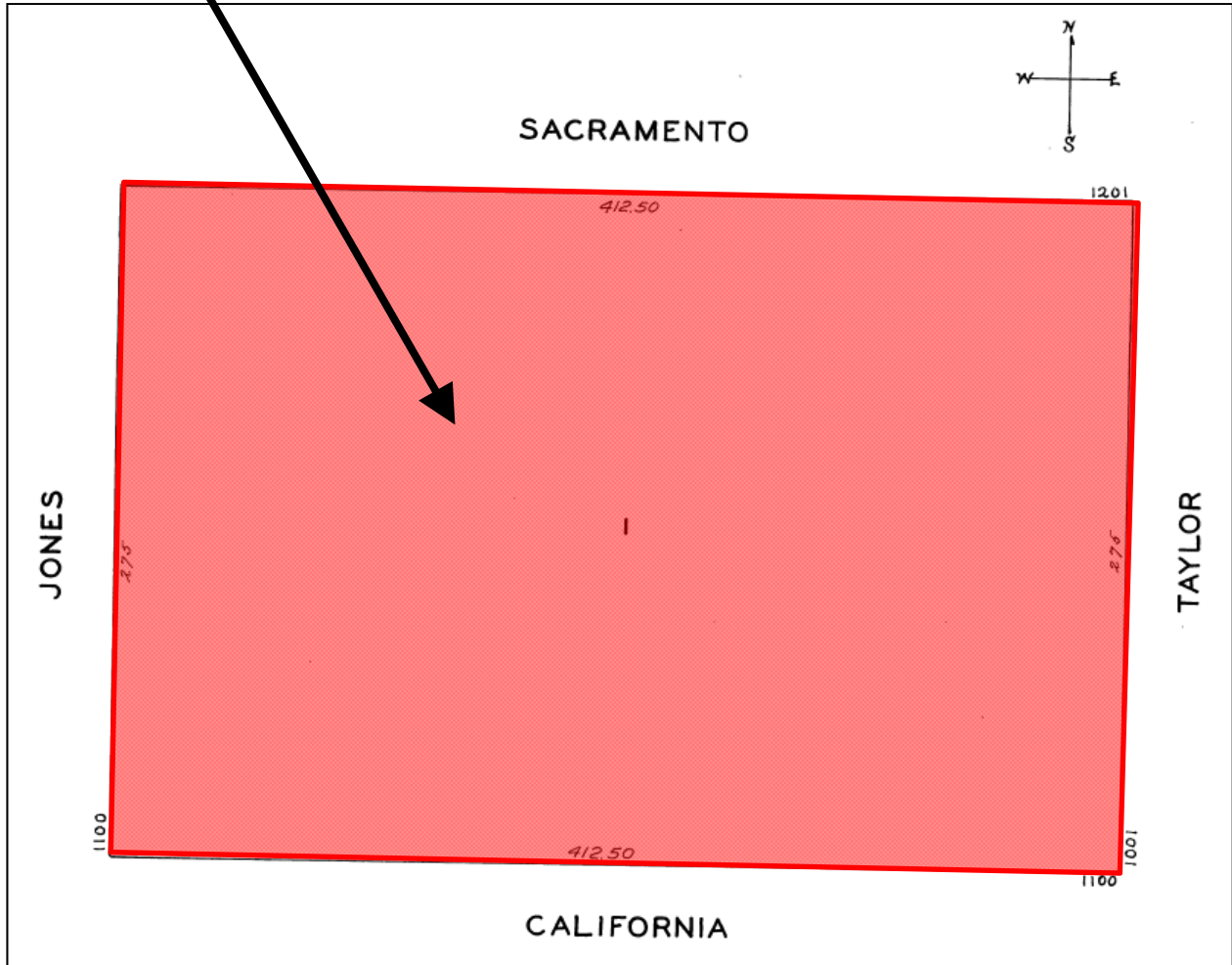
NAYS: X

ABSENT: X

ADOPTED: June 5, 2013

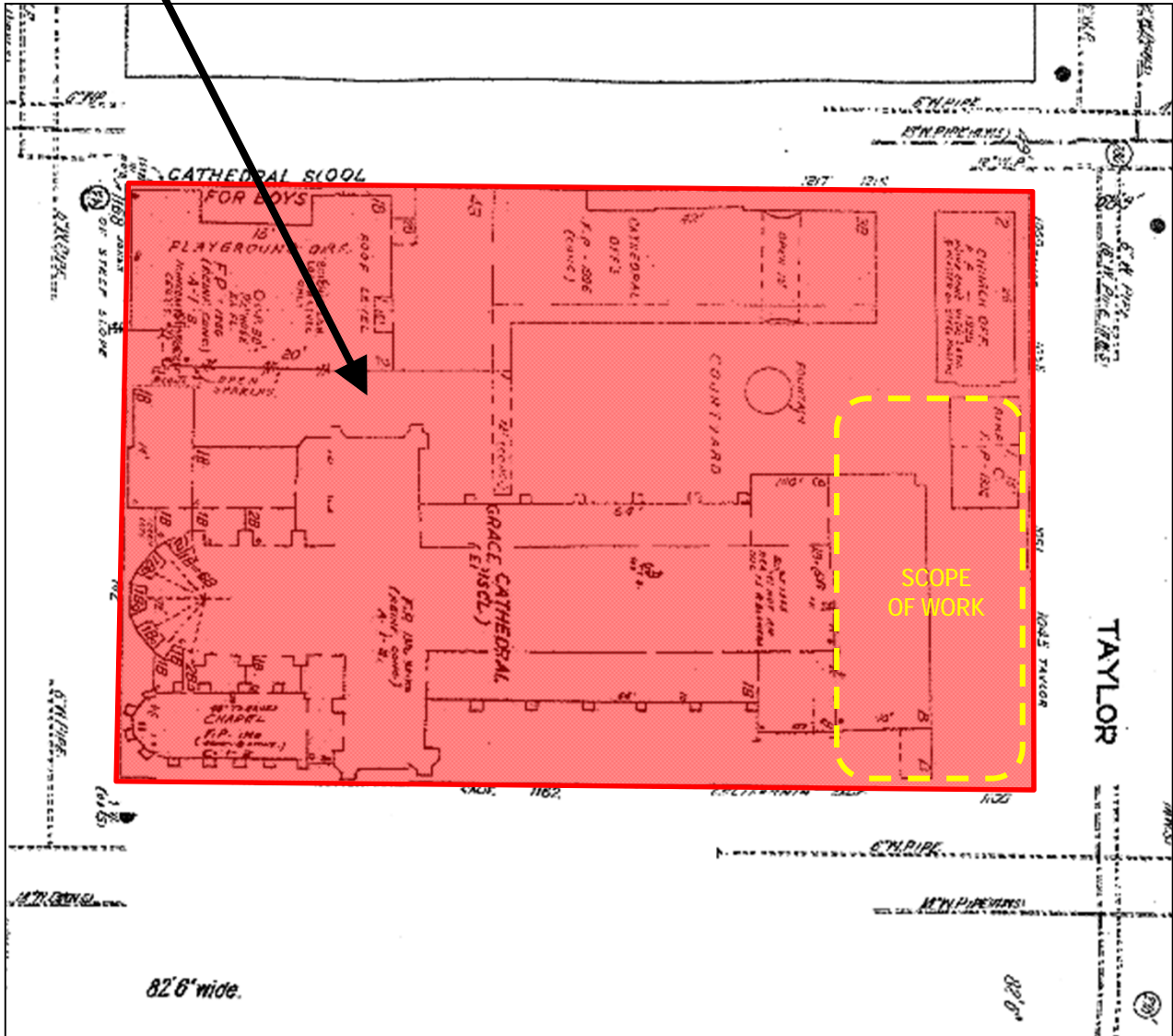
Parcel Map

SUBJECT PROPERTY



Sanborn Map*

SUBJECT PROPERTY



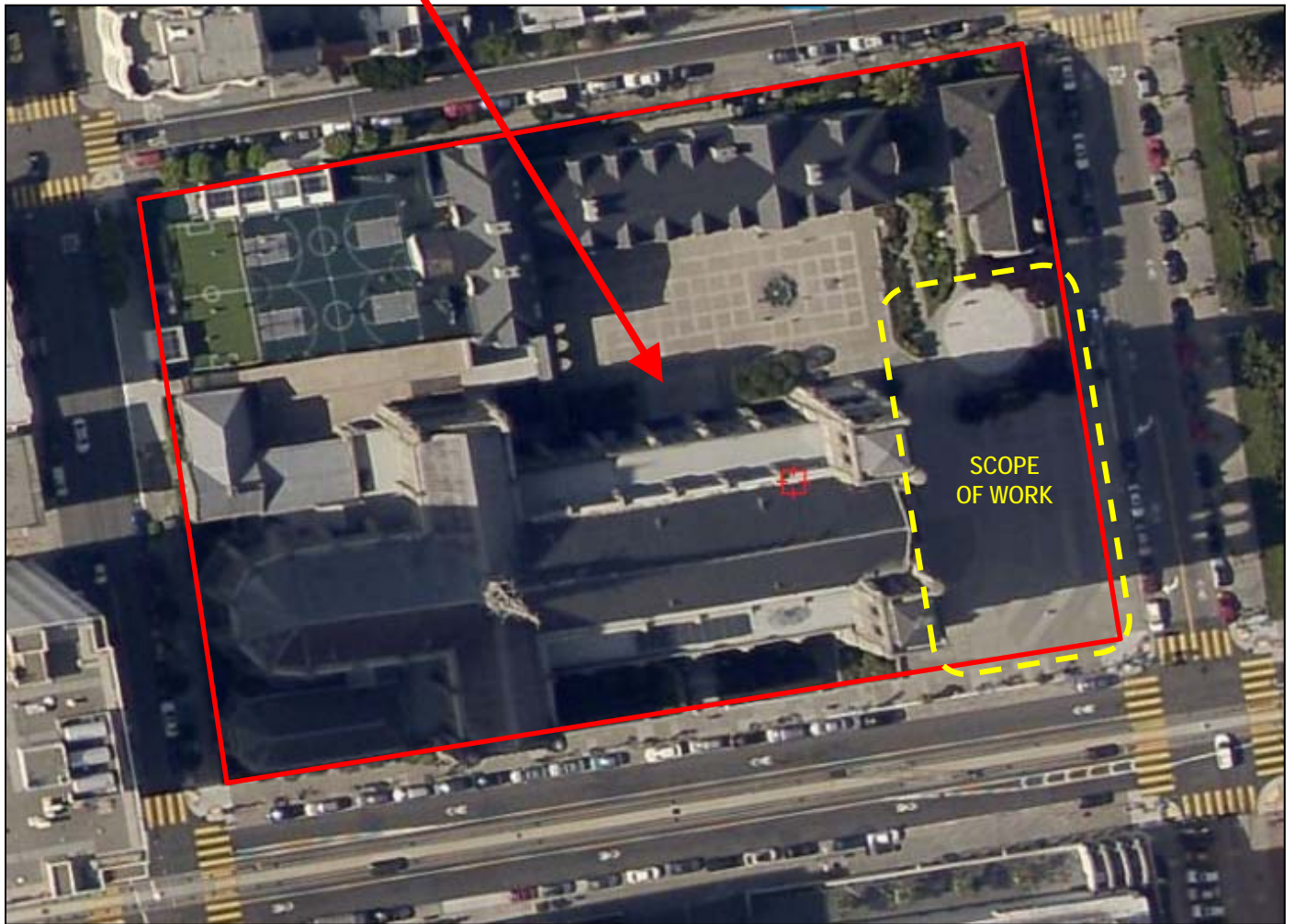
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness Hearing
Case Number 2013.0489A
1100 California Street

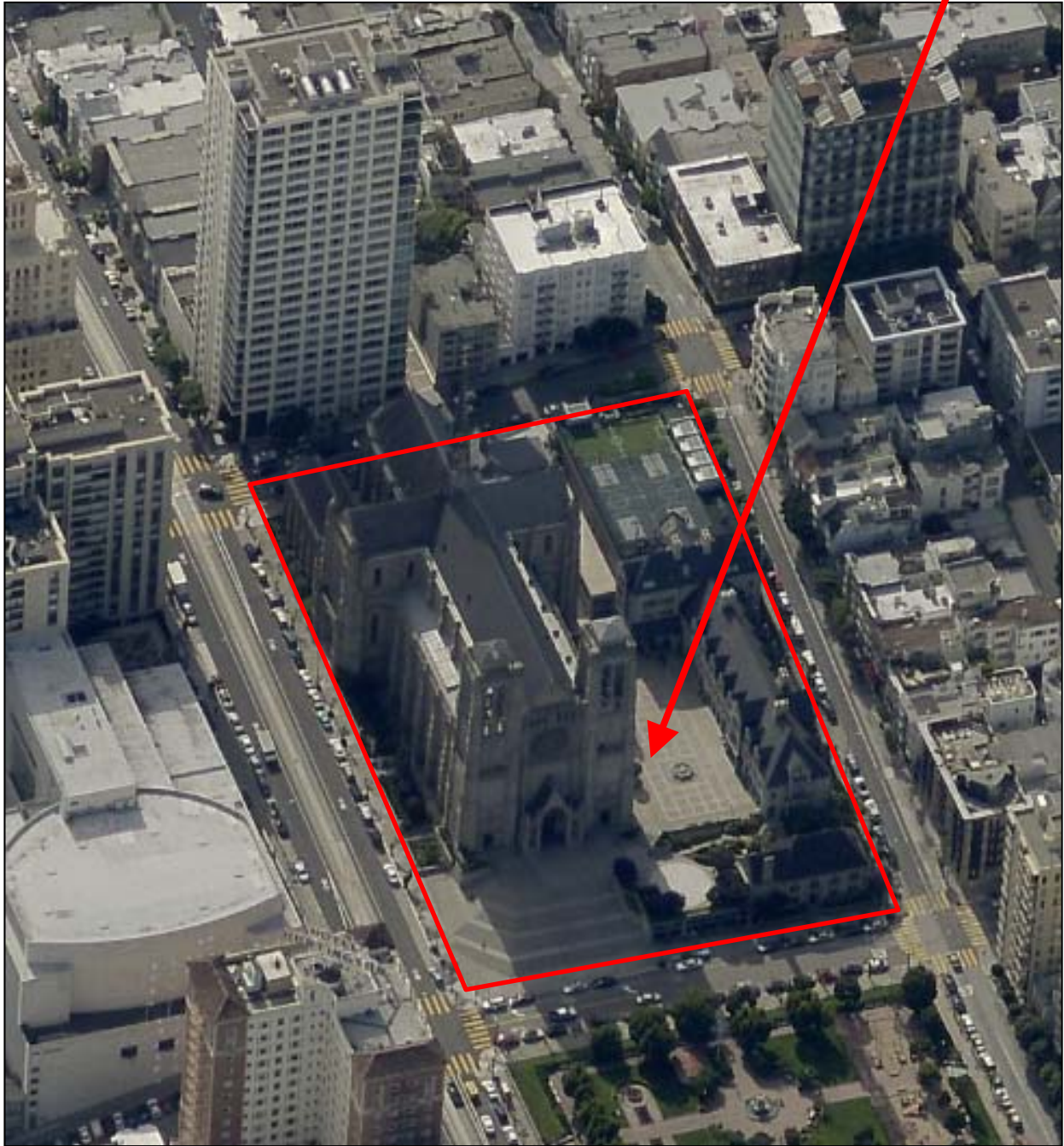
Aerial Photo

SUBJECT PROPERTY



Aerial Photo

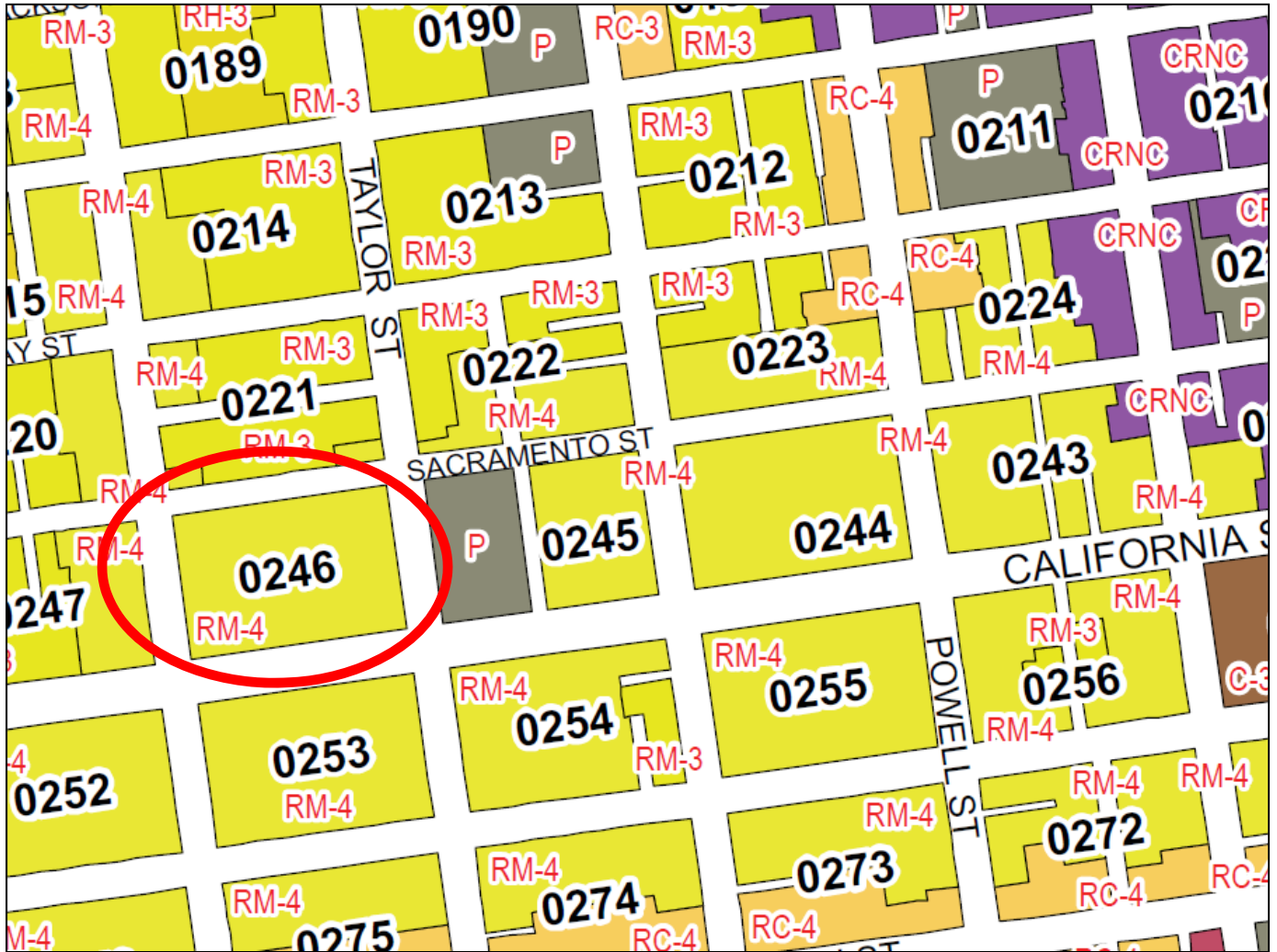
SUBJECT PROPERTY



Certificate of Appropriateness Hearing
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Zoning Map



Certificate of Appropriateness Hearing
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Site Photo



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SAN FRANCISCO
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APPLICATION PACKET FOR Certificate of Appropriateness

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Section 1002(a)(2) states that the Historic Preservation Commission (“HPC”) shall review and decide on applications for construction, alteration, demolition and other applications pertaining to landmark sites and districts regulated under Article 10 of the Planning Code.

The first pages of this packet consist of instructions which should be read carefully before the application form is completed. Planning Department staff are available to advise you in the preparation of this application. Call (415) 558-6377 for further information.

WHAT IS A CERTIFICATE OF APPROPRIATENESS AND WHEN IS IT NECESSARY?

Incorporated into the Planning Code in 1968, Article 10 outlines the process for the review and entitlement of alterations to properties locally designated as City Landmarks. An individual landmark is a stand-alone building, site, or object that is important for its contributions to San Francisco. A landmark district is a group of properties or a portion of a neighborhood that is architecturally, historically, or culturally important. Designated properties that are recognized for their architectural, historic, and cultural value to the City, are subject to the review and entitlement processes outlined in Article 10 of the Planning Code. The Historic Preservation Commission oversees and regulates these properties.

A Certificate of Appropriateness is the entitlement required to alter an individual landmark and any property within a landmark district. A Certificate of Appropriateness is required for any construction, addition, major alteration, relocation, removal, or demolition of a structure, object or feature, on a designated landmark property, in a landmark district, or a designated landmark interior. Depending on the scope of a project, some require a hearing before the Historic Preservation Commission. For those that don't, they're called Administrative Certificates of Appropriateness and are approved by Planning Department Preservation staff.

HOW DOES THE CERTIFICATE OF APPROPRIATENESS PROCESS WORK?

- File the Certificate of Appropriateness application with the Department. Instructions about this process is below. The application will be assigned to a Preservation Planner, who will review the materials for completeness.
- When the Preservation Planner determines that the application is complete, the project will be scheduled for a hearing at the Historic Preservation Commission.
- All Certificates of Appropriateness require public notification prior to the scheduled hearing. Projects must have a 20-day mailed notice and poster erected on the project site.
 - For individual landmarks, notice must be mailed to all owners and occupants of the property and within 150-feet from the property. Interested parties and neighborhood groups must also receive notice.

- For properties located within historic districts, notice must be mailed to all owners within 300-feet of the property and occupants within 150-feet of the property. The radius includes properties that are located outside of the designated historic district, if applicable. Interested parties and neighborhood groups must also receive notice.
- At the public hearing, the Historic Preservation Commission will make a decision on the proposed project and approve, disapprove, or approve with modifications, the Certificate of Appropriateness.
- After the hearing, the Department issues the Certificate of Appropriateness document.
- Department staff will review the associated building permit to make sure that the work conforms to what the Historic Preservation Commission approved. If the proposed work conforms, the permit will be approved and routed to the Department of Building Inspection for final issuance.

WHO MAY APPLY FOR A CERTIFICATE OF APPROPRIATENESS?

A Certificate of Appropriateness is an entitlement that runs with the property; therefore, the property owner or a party designated as the owner's agent may apply for a Certificate of Appropriateness. [A letter of agent authorization from the owner must be attached.]

INSTRUCTIONS:

Gather the information needed and fill out the attached application, which includes a project description, necessary contact information, and two sets of findings that must be answered. The first set of findings is for compliance with preservation standards. The second set of findings are the General Plan Priority Policy Findings, which determine San Francisco General Plan consistency. Please answer all questions fully. If you need assistance, contact the Planning Information Center, 1660 Mission Street, 1st Floor; Telephone No. (415) 558-6377; open Monday through Friday.

Contact the Department to schedule an Application Intake at (415) 558-6378. At your scheduled appointment with a Preservation Planner, please bring the application and related materials. Note that all plans and materials submitted with this application will be retained as a part of the permanent public record for the case.

Please provide the following materials with this application:

- **Authorization:** If the applicant in this case is the authorized agent of the property owner, rather than the owner, a letter signed by the owner and creating or acknowledging that agency must be attached and is included in the application for a Certificate of Appropriateness.
- **Drawings:** The application must be accompanied by plans sufficient for proper determination of the case. One full set of architectural plans showing existing conditions and proposed scope of work. All plans shall include a site plan with the area of work identified, and existing and proposed floor plans, elevations (including those of adjacent properties), and section(s) at either 1/8" or 1/4" scale dependent on the size of the project, and detail drawings at 1/2" scale.
- **Photographs:** The application must include photographs of the subject property, including the primary facade and where the work is proposed. In addition, photographs must be submitted of the adjacent properties and street frontages that accurately depict the existing context. Please submit historic photos of the project, if applicable. All photographs should be large enough to show the nature of the property but not over 11 x 17 inches.
- **Specifications & Material Samples:** Include product specifications if there is any cleaning and/or repair of historic materials. If there is repointing or material replacement, product samples must be submitted.
- **Cut-Sheets:** For replacement windows and other features, product cut sheets must be submitted.
- **Notification Radius Map, Address List, and Labels:** See instructions on the following pages for more details.

Fees:

Please refer to the Planning Department Fee Schedule available at www.sfplanning.org or at the Planning Information Center (PIC) located at 1660 Mission Street, First Floor, San Francisco for the applicable application fees. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. Fees will be determined based on the estimated construction costs. Time and materials charges will be added if staff costs exceed the initial fee.

CEQA Review:

The California Environmental Quality Act (CEQA) and Chapter 31 of the San Francisco Administrative Code implementing that act may require an Environmental Evaluation before the application may be considered. Please consult the Planning Department staff to determine if an Environmental Evaluation application must be submitted with this application. A separate fee is required for environmental review.

Historic Preservation Commission Hearing Material:

This time line includes a deadline for project sponsors to submit material to staff to be included in the Commission packet. If the Project Sponsor does not submit the necessary material by the deadline, the project will be continued to a later hearing date.

- Three weeks prior to hearing: Project Sponsor submits draft project graphics (plans, renderings etc) to project planner.
- Two weeks prior to hearing: Project planner submits Draft staff report (must include draft attachments) to Team Leader for review.
- Ten days prior to hearing (5pm on Monday): Deadline for submittal of all sponsor material and public comment to be included in Commission packets.
- One week prior to hearing: Project planner delivers complete Commission packets to the Commission Secretary.

To file your Certificate of Appropriateness application, please call (415) 558-6378 in advance to schedule an intake appointment. At your scheduled appointment with a staff planner, please bring your completed application with all required materials.

What Applicants Should Know About the Public Hearing Process and Community Outreach

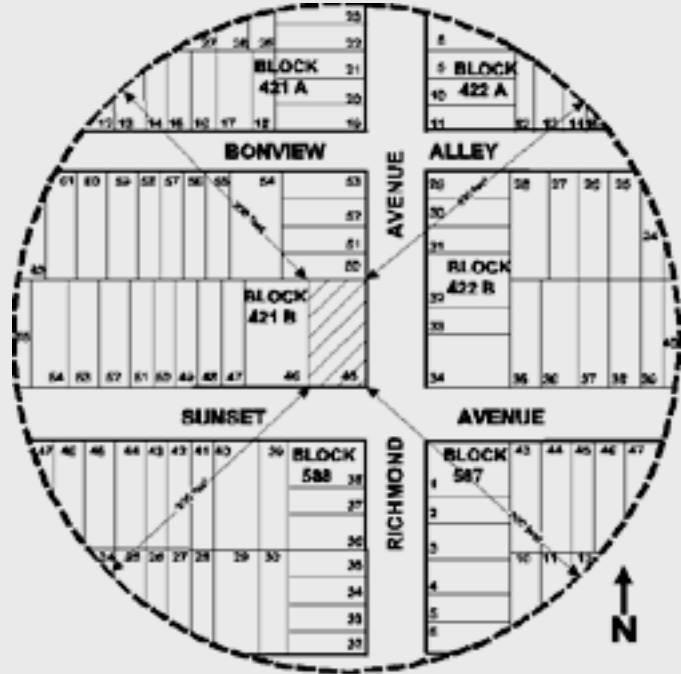
- A. The Historic Preservation Commission encourages applicants to meet with all community groups and parties interested in their application early in the entitlement process. Department staff is available to assist in determining how to contact interested groups. Neighborhood organization lists area available on the Department's website. Notice of the hearing will be sent to groups in or near the neighborhood of the project. The applicant may be contacted by the Planning Department staff with requests for additional information or clarification. An applicant's cooperation will facilitate the timely review of the application.
- B. The Historic Preservation Commission requests that applicants familiarize themselves with the procedure for public hearings, which are excerpted from the Historic Preservation Commission's Rules and Regulations below.
5. In public hearings on Draft Environmental Impact reports, each member of the public may speak for a period not to exceed three (3) minutes.
6. Discussion and vote by the Historic Preservation Commission on the matter before it.
7. The President may impose time limits on appearances by members of the public and may otherwise exercise his or her discretion on procedures for the conduct of public hearings.
- C. **Private Transcription.** The Commission President may authorize any person to transcribe the proceedings of a Regular, Special or Committee Meeting provided that the President may require that a copy of such transcript be provided for the Commission's permanent records.

Hearings. A public hearing may be held on any matter before the Commission at either a Regular or a Special Meeting. The procedure for such public hearings shall be as follows:

1. A description of the project by the Department staff along with the Department's recommendation.
 2. A presentation of the proposal by the project sponsor's team for a period not to exceed 10 minutes.
 3. Public testimony from proponents of the proposal. An individual may speak for a period not to exceed 3 minutes. An organization or group will be given a period not to exceed 5 minutes if the organization or group is represented by one speaker. Members of such groups are not allowed separate three (3) minutes of testimony.
 4. Public testimony from opponents of the proposal would be taken under conditions parallel to those imposed on proposal proponents, 3 minutes for an individual and 5 minutes for a group or organization if the group or organization is represented by one speaker.
- D. **Opportunities for Appeals by Other Bodies:** Historic Preservation Commission actions on Certificates of Appropriateness are final unless appealed to the Board of Appeals, or to the Board of Supervisors when applicable, within **30 days** of Commission action.

Notification Instructions

1. **Radius Map:** The required notification map must show all properties within the 150-foot or 300-foot (whichever is applicable; see page 1-2 for specifics) of the EXTERIOR boundaries of the property; a 150-foot or 300-foot radius map, drawn to a scale of 1 inch to 50 feet, either the original on TRACING paper or a blueprint copy (no photocopy accepted) is required for submittal with Certificate of Appropriateness applications.
2. **Labels:** Submit two lists of the names and addresses, including the block and lot for each one, of all owners of the properties within 150 feet or 300 feet of the subject property and self-adhering labels with the same data. The latest Citywide tax roll is available at the Office of the Treasurer and Tax Collector, City Hall Room 140, 1 Dr. Carlton B. Goodlett Pl., San Francisco, CA 94102, for the preparation of this list. The labels will be used to mail notice of the time and place of the public hearing required.



NOTE: THIS EXAMPLE IS NOT TO REQUIRED SCALE

EXAMPLE OF MAILING LABEL

Block # / Lot #	#9331 / #07
Name	JOHN DOE
Address	123 South Street #2 San Francisco, CA 94100

The following businesses have indicated that they provide professional notification services. This listing does not constitute an endorsement. Other professionals can also perform this work and can be added to this list upon request.

3. If you wish to prepare the materials yourself, block maps may be traced at the office of the Assessor, 81 Dr. Carlton B. Goodlett Place, City Hall, Room 190. The width of the public right-of-way for the streets separating the blocks may be determined at the Department of Public Works, Bureau of Street Use and Mapping, 875 Stevenson Street, Room 460, 554-5810.
4. You may, for a fee that varies by firm, have a private drafting or mailing service prepare these materials.

Build CADD
3515 Santiago Street
San Francisco, CA 94116
(415) 759-8710

Notificationmaps.com
Barry Dunzer
(866) 752-6266
www.notificationmaps.com

Javier Solorzano
3288 - 21st Street #49
San Francisco, CA 94110
(415) 724-5240
Javier131064@yahoo.com

Radius Services
1221 Harrison Street #18
San Francisco, CA 94103
(415) 391-4775
radiusservices@aol.com

Jerry Brown Designs
619 - 27th Street, Apt. A
Oakland, CA 94612
(415) 810-3703
jbdsgn328@gmail.com

Notice This
(650) 814-6750

Ted Madison Drafting
P.O. Box 8102
Santa Rosa, CA 95407
(707) 228-8850
tmadison@pacbell.net

APPLICATION FOR Certificate of Appropriateness

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: Grace Cathedral Corporation	
PROPERTY OWNER'S ADDRESS: 1100 California Street San Francisco, CA	TELEPHONE: (415) 749-6300
	EMAIL: wedmundsiii@yahoo.com

APPLICANT'S NAME: Bill Edmunds Same as Above <input type="checkbox"/>	
APPLICANT'S ADDRESS: 1100 California Street San Francisco, CA	TELEPHONE: (415) 895-3309
	EMAIL:

CONTACT FOR PROJECT INFORMATION: Same as Above <input type="checkbox"/>	
CONTACT PERSON'S ADDRESS: Page & Turnbull 1000 Sansome, Ste. 200 San Francisco, CA 94111	TELEPHONE: (415) 593-3228
	EMAIL: smith@page-turnbull.com

2. Location and Classification

STREET ADDRESS OF PROJECT: 1100 California Street, San Francisco	ZIP CODE: 94108
CROSS STREETS: California & Taylor Streets	

ASSESSORS BLOCK/LOT: 0246 /	LOT DIMENSIONS: 001	LOT AREA (SQ FT): 113,434	ZONING DISTRICT: RM-4	HEIGHT/BULK DISTRICT: 65-A
ARTICLE 10 LANDMARK NUMBER: San Francisco Landmark #170			HISTORIC DISTRICT: None	

3. Project Description

The scope of work includes the removal of the existing concrete/granite steps to repair leaks over the occupied space east of the main Cathedral. The steps will be replaced with materials to match existing.

Scope will replace non-compliant handrails and provide lighting to meet egress lighting requirements.

Building Permit Application No. 2013-02-26-0916

Date Filed: Tue 2/26/2013

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

GROSS SQUARE FOOTAGE (GSF)	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
Residential	0	0	0	0
Retail	0	0	0	0
Office	0	0	0	0
Industrial / PDR Production, Distribution, & Repair	0	0	0	0
Parking	0	0	0	0
Other (Specify Use)	(Exterior Stair) 9600	9600	0	9600
Total GSF	113,434	113,434	113,434	113,434
PROJECT FEATURES	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
Dwelling Units	0	0	0	0
Hotel Rooms	0	0	0	0
Parking Spaces	0	0	0	0
Loading Spaces	0	0	0	0
Number of Buildings	3	3	3	3
Height of Building(s)	274	274	274	274
Number of Stories	9 at tower	9	9	9

Please provide a narrative project description, and describe any additional project features that are not included in this table:

The project will repair leaks in the steps over the occupied space east of the main Cathedral & South of the Diocesan house and make appropriate improvements for current code and safety requirements. Upgrades will address non-compliant handrail extensions, inadequate minimum exterior lighting and the addition of detectable warning on the stone steps.

The horizontal finish materials and handrails from the property lines at California and Taylor street to the front of the face of the cathedral above the Crypt level must be removed for the waterproofing repair and will be replaced in kind with new materials. The stone paving (installed in 1964) in front of cathedral under the porch, and down the steps will be replaced with similar stone with minor changes to the joint pattern.

As part of the proposed project, the original handrails from 1964 and the handrails from 1994 will be removed. The original handrails do not meet current code requirements as they lack the required extension length. New handrails will be installed that are similar to the 1994 handrails and will be compatible with the original in material (bronze). The project currently has 6 original handrails and 26 handrails from 1994. The original handrails are neither distinctive nor an example of craftsmanship. Their removal will not diminish the historic character of grace cathedral.

The concrete hard-scape, including the concrete steps, and the granite at the main landing (built in 1994-95) will be replaced with a more suitable joint pattern. The terrazzo labyrinth (94-95) will be replaced with a compatible stone in the same design. To ensure their protection, the Ghiberti doors will be temporarily removed, properly stored, and reinstalled in the same location in order to complete the waterproofing and to replace the doors' pivots. An exterior door operator at the south bronze door will be added as an accessibility improvement & accessibility, way finding, and property signs will be added. New light posts will be provided in the same location as existing to improve stair illumination.

Findings of Compliance with Preservation Standards

FINDINGS OF COMPLIANCE WITH PRESERVATION STANDARDS		YES	NO	N/A
1	Is the property being used as it was historically?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	Does the new use have minimal impact on distinctive materials, features, spaces, and spatial relationship?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3	Is the historic character of the property being maintained due to minimal changes of the above listed characteristics?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Are the design changes creating a false sense of history of historical development, possible from features or elements taken from other historical properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Are there elements of the property that were not initially significant but have acquired their own historical significance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Have the elements referenced in Finding 5 been retained and preserved?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7	Have distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize the property been preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Are all deteriorating historic features being repaired per the Secretary of the Interior Standards?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9	Are there historic features that have deteriorated and need to be replaced?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10	Do the replacement features match in design, color, texture, and, where possible, materials?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11	Are any specified chemical or physical treatments being undertaken on historic materials using the gentlest means possible?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	Are all archeological resources being protected and preserved in place?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	Do exterior alterations or related new construction preserve historic materials, features, and spatial relationships that are characteristic to the property?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14	Are exterior alterations differentiated from the old, but still compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15	If any alterations are removed one day in the future, will the forms and integrity of the historic property and environment be preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Please summarize how your project meets the Secretary of the Interior's *Standards for the Treatment of Historic Properties*, in particular the *Guidelines for Rehabilitation* and will retain character-defining features of the building and/or district:

The project is essentially a waterproofing repair. The concrete/granite steps and handrails must be removed for the work, but will be replaced with similar materials that are compatible with the existing. The real character defining features of the property - the exterior wall and doors of the cathedral will be protected during the construction and will be left entirely unchanged.

Findings of Compliance with General Preservation Standards

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;

The property will be used as it was historically and consists of repairs to address leaks in the occupied space

under the steps east of the cathedral. The project replaces materials in kind so it does not change the distinctive materials. Additional handrails will be installed in a way that does not change spatial relationships. The property will maintain its distinctive materials, features, spaces and spatial relationships. Therefore, the proposed project will be in compliance with Standard 1.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided;

The proposed project will include the removal and replacement of the exterior concrete steps on the east side of the Cathedral to repair leaks in the occupied space below. Character-defining features of the building such as the exterior walls and bronze and wood doors are not changing and will be protected. The project will not remove any of the resource's distinctive materials nor will it alter any character-defining features. The historic character of Grace Cathedral will be preserved; therefore, the proposed repairs are in compliance with Standard 2.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken;

No changes are proposed that will create a false sense of historical development. The existing concrete/granite steps will be removed and replaced with materials that match existing. Existing non-compliant handrails will be replaced with new and additional handrails will be added to meet code requirements. The existing lights will be replaced with new lamp posts that meet egress lighting requirements. The design of the proposed handrails and lights are compatible with the character of the Cathedral. The project will be in compliance with Standard 3.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved;
There are no changes to the property that have acquired historic significance in their own right. The proposed project will be in compliance with Standard 4.

5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved;
The proposed project is limited to the repair of leaks in the occupied space below the exterior steps of the Cathedral which will require the replacement of the steps with materials that match existing. The existing, non-compliant handrails and light posts are not distinctive features and will be replaced with handrails and lightposts that are compatible and are code compliant. The distinctive features of the Cathedral are not part of the project scope and will be protected during construction. Therefore the project complies with Standard 5.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence;
The exterior steps will be required to be replaced to address leaks to the occupied space below; however, the steps will be replaced with new to match existing in design, color, texture, and material. The project scope does not include the historic features such as the exterior walls or doors of the building. The project complies with Standard 6.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used;
If chemical or physical treatments are necessary, the project sponsor will use the gentlest treatment available. Treatments will be limited to the removal of existing paint and rust and will not include treatments that cause damage to historic materials. The proposed project will be in compliance with Standard 7.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken;

There are no known archeological resources on the project site. The proposed project will not require excavation. Therefore, the proposed project will be in compliance with Standard 8.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment;

Project includes the replacement of the existing concrete/granite steps and labyrinth with new materials that match the existing. The non-compliant handrails will be replaced with new and will be supplemented with additional handrails to meet egress requirements and will be compatible but will have a slightly different design. The existing lights will be replaced with code compliant lights that are compatible with the resource. Historic features will not be destroyed, new work will be compatible but differentiated to comply with Standard 9.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired;

The proposed project includes the replacement of the existing concrete/granite steps to address leaks in the occupied space below the steps. Non-compliant handrails and lighting will also be replaced. If these new features are removed in the future, the essential form and integrity of the Cathedral would not be impaired. The project complies with Standard 10.

PLEASE NOTE: For all applications pertaining to buildings located within Historic Districts, the proposed work must comply with all applicable standards and guidelines set forth in the corresponding Appendix which describes the District, in addition to the applicable standards and requirements set forth in Section 1006.6. In the event of any conflict between the standards of Section 1006.6 and the standards contained within the Appendix which describes the District, the more protective shall prevail.

Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The proposed scope of work is limited to the repair of leaks, ADA and lighting improvements. Existing neighborhood-serving retail uses will not be impacted.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

The proposed scope of work is limited to the repair of leaks, ADA and lighting improvements. The existing neighborhood character will not be impacted.

3. That the City's supply of affordable housing be preserved and enhanced;

This policy does not apply. The proposed scope of work is is limited to repairs and ADA and lighting improvements.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

This policy does not apply. The proposed scope of work is is limited to repairs and ADA and lighting improvements.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

This policy does not apply. The proposed scope of work is limited to repairs and ADA and lighting improvements.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

This policy does not apply. The proposed scope of work is limited to repairs and ADA and lighting improvements.

7. That landmarks and historic buildings be preserved; and

The proposed scope of work is consistent with this policy, Grace Cathedral will be preserved.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

This policy does not apply. The proposed scope of work is limited to repairs and ADA and lighting improvements.

Estimated Construction Costs

TYPE OF APPLICATION:	
Waterproofing Repairs	
OCCUPANCY CLASSIFICATION:	
Assembly Group A-3	
BUILDING TYPE:	
A (Structural Steel, reinforced concrete, sprinkled)	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION:	BY PROPOSED USES:
Waterproofing footprint = 9,600 SF Concrete on grade = 4,100 SF	Concrete/Granite steps over occupied area
ESTIMATED CONSTRUCTION COST:	
\$1,250,000	
ESTIMATE PREPARED BY:	
William J. Edmunds/Momsen Construction	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature: _____

Date: _____

Print name, and indicate whether owner, or authorized agent:

William J. Edmunds III

Owner / Authorized Agent (circle one)

Certificate of Appropriateness Application Submittal Checklist

The intent of this application is to provide Staff and the Historic Preservation Commission with sufficient information to understand and review the proposal. Receipt of the application and the accompanying materials by the Planning Department shall only serve the purpose of establishing a Planning Department file for the proposed project. After the file is established, the Department will review the application to determine whether the application is complete or whether additional information is required for the Certificate of Appropriateness process. Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	CERTIFICATE OF APPROPRIATENESS
Application, with all blanks completed	<input checked="" type="checkbox"/>
Site Plan	<input checked="" type="checkbox"/>
Floor Plan	<input checked="" type="checkbox"/>
Elevations	<input checked="" type="checkbox"/>
Prop. M Findings	<input checked="" type="checkbox"/>
Historic photographs (if possible), and current photographs	<input checked="" type="checkbox"/>
Check payable to Planning Department	<input checked="" type="checkbox"/>
Original Application signed by owner or agent	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

NOTES:

- Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- Typically would not apply. Nevertheless, in a specific case, staff may require the item.

PLEASE NOTE: *The Historic Preservation Commission will require additional copies each of plans and color photographs in \ reduced sets (11" x 17") for the public hearing packets. If the application is for a demolition, additional materials not listed above may be required. All plans, drawings, photographs, mailing lists, maps and other materials required for the application must be included with the completed application form and cannot be "borrowed" from any related application.*

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____



**SAN FRANCISCO
PLANNING
DEPARTMENT**

**FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department**

Central Reception
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**
FAX: **415 558-6409**
WEB: **<http://www.sfplanning.org>**

Planning Information Center (PIC)
1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: **415.558.6377**
*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

APPENDIX B
2013 GRACE CATHEDRAL GREAT STAIRS
WATERPROOFING REPAIRS

1100 CALIFORNIA STREET, SAN FRANCISCO, CA
[11192]

APPENDIX TO:
Application package for Certificate of Appropriateness

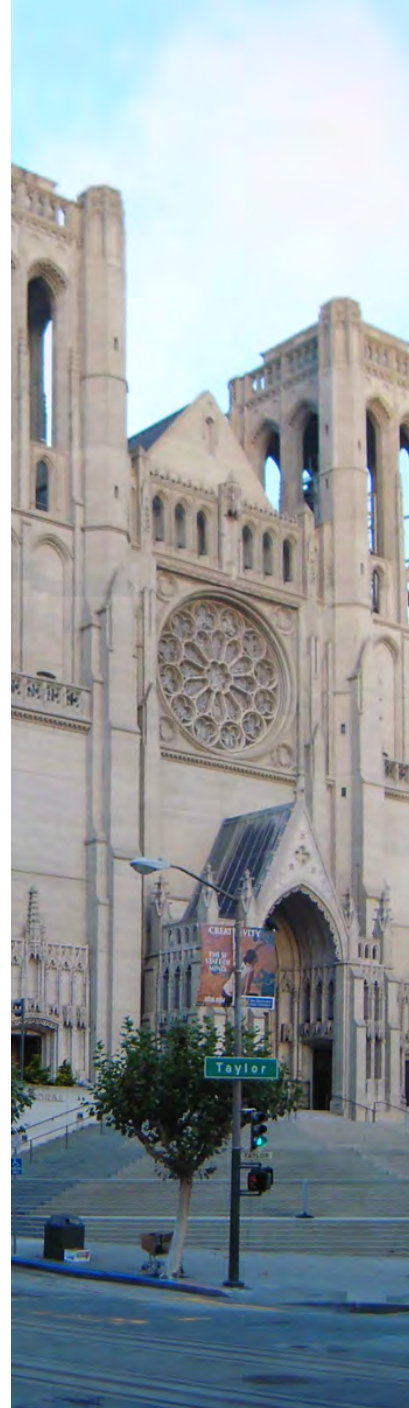


TABLE OF CONTENTS

1. PROJECT SUMMARY
2. CONSTRUCTION CHRONOLOGY
3. HISTORIC IMAGES
4. CONCRETE STEPS
5. STONE STEPS
6. HANDRAILS
7. LABYRINTH
8. LIGHTING
9. DOORS
10. SIGNAGE

PROJECT
SUMMARY

CONSTRUCTION
CHRONOLOGY

HISTORIC
IMAGES

CONCRETE
STEPS

STONE
STEPS

HANDRAILS

LABYRINTH

LIGHTING

DOORS

SIGNAGE

PROJECT SUMMARY



PROJECT DESCRIPTION & SCOPE OF WORK

Grace Cathedral was constructed in various stages between 1910 and 1964. The Cathedral is located on 1100 California Street / 1051 Taylor Street and was designated San Francisco Landmark #170 on July 6, 1984.

The scope of work includes the repair of leaks in the steps over the occupied space east of the main cathedral & south of the diocesan house. As part of this project, the existing stone steps and the concrete Great Stairs will be replaced in kind. The stone steps were built in 1964 but are not a character-defining feature of the building. The concrete Great Stair was built in 1995 after the landmark designation. Both the stone and concrete steps will be replaced in kind in order to address waterproofing issues.

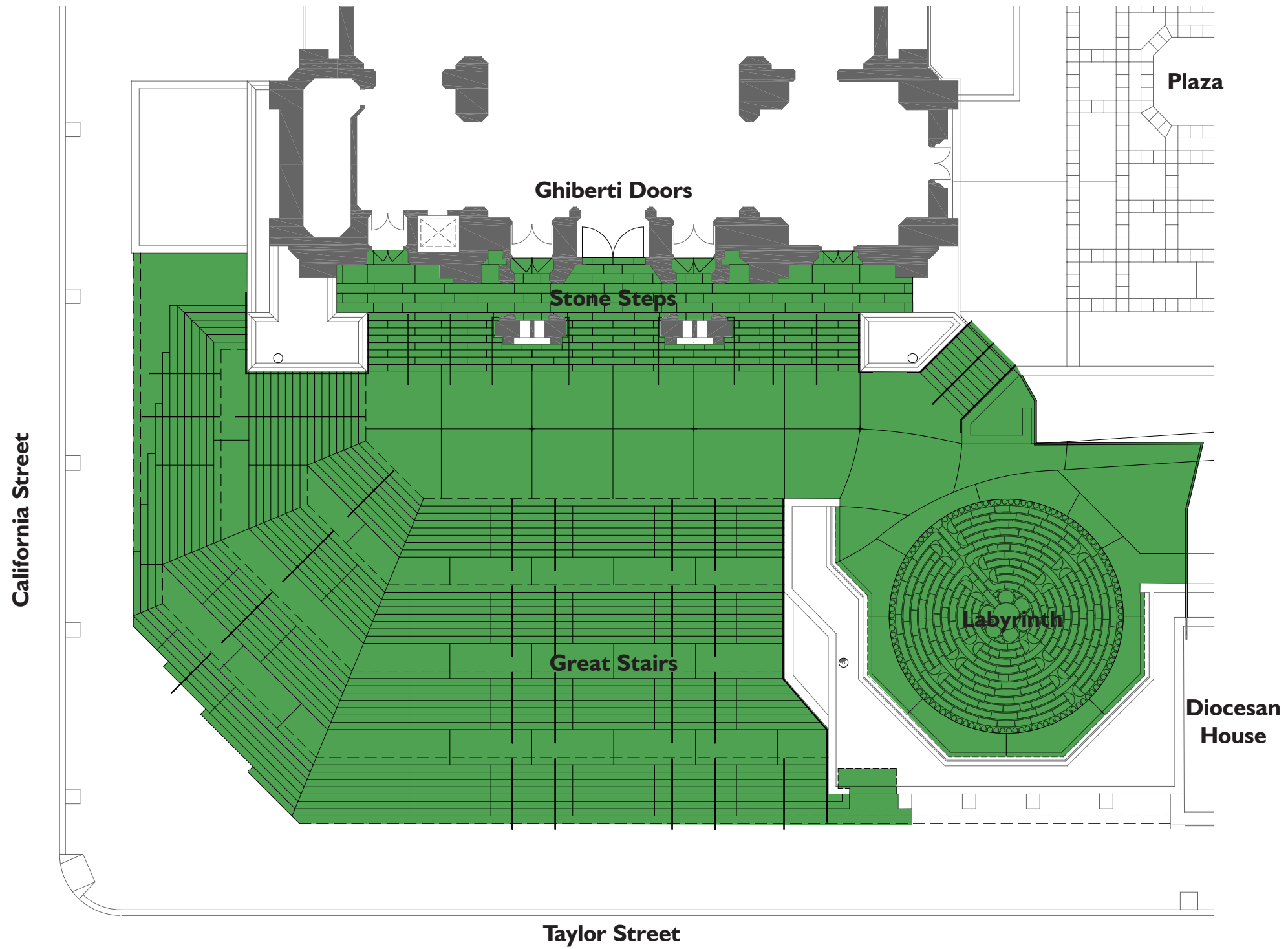
The project will also include the replacement of the non-historic handrails with new, compatible handrails that meet current life-safety code requirements.

The proposed project also includes the replacement of the existing, non-historic labyrinth constructed in 1995. The labyrinth was originally conceived as a stone labyrinth, but was constructed in terrazzo due to cost constraints. The new labyrinth will be replaced using the existing design but will be constructed in stone as originally intended. The stone will be replaced to the threshold of the inner doors of the east façade. These doors will be removed and stored during construction and will be reinstalled. Closers and bearing boxes that require replacement will be repaired prior to reinstalling the doors.

Additionally the project includes accessibility upgrades to a door, and miscellaneous required signage.

The proposed project will comply with the Secretary of the Interior's *Standards for the Rehabilitation of Historic Buildings* in order to preserve the historic integrity of Grace Cathedral.

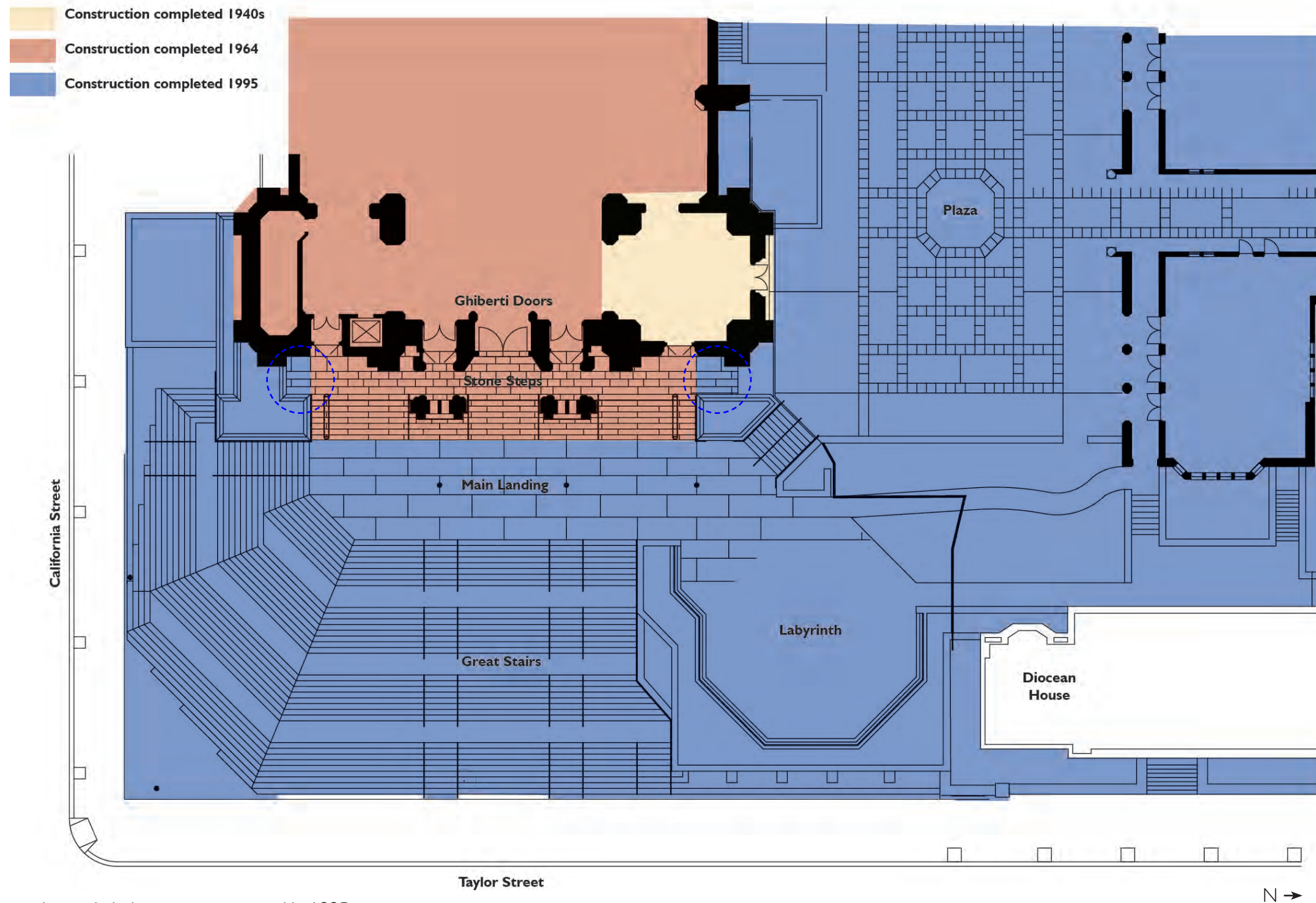
SCOPE OF WORK



Note: green indicates extent of project scope

N →

CONSTRUCTION CHRONOLOGY DIAGRAM



CONSTRUCTION
CHRONOLOGY

Note: stone paving at circled areas reconstructed in 1995

HISTORIC IMAGES
GRAND STAIRS



1. View Northwest of Grace Cathedral shortly before completion, 1949 (SFPL, #AAB-1429)



2. View West of Grace Cathedral in January 1956 (SFPL, #AAB-1311)



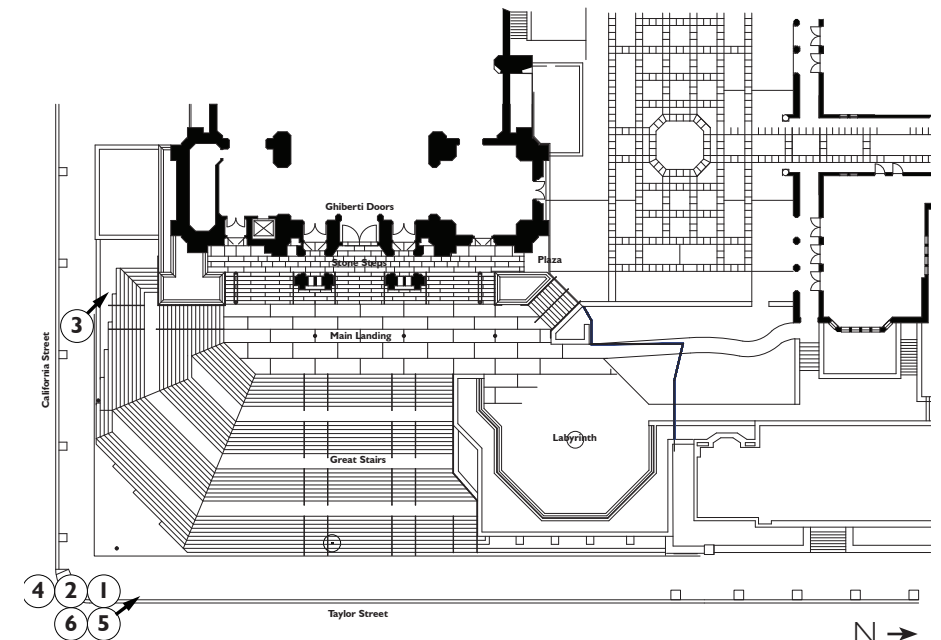
3. View from California St., showing the Great East Entrance of Grace Cathedral, Note: Handrails at porch are missing (Grace Cathedral Archives, #7366) November, 1964



4. Grace Cathedral, 1964. Note configuration of stairs. (Grace Cathedral Scrapbook)



5. Gibbs Memorial hall, Ca. 1993 prior to demolition (Michael Lampen)



Key Map

HISTORIC IMAGES



6. Overall view west showing project during construction, ca. 1994 (Michale Lampen)

HISTORIC IMAGES
GRAND STAIRS CONSTRUCTION



7. Overall View west showing project during construction, ca. 1994
(Michael Lampen)



8. Construction of the new Great Stair. (Michael Lampen)



9. Construction of the new Great Stair. (Michael Lampen)



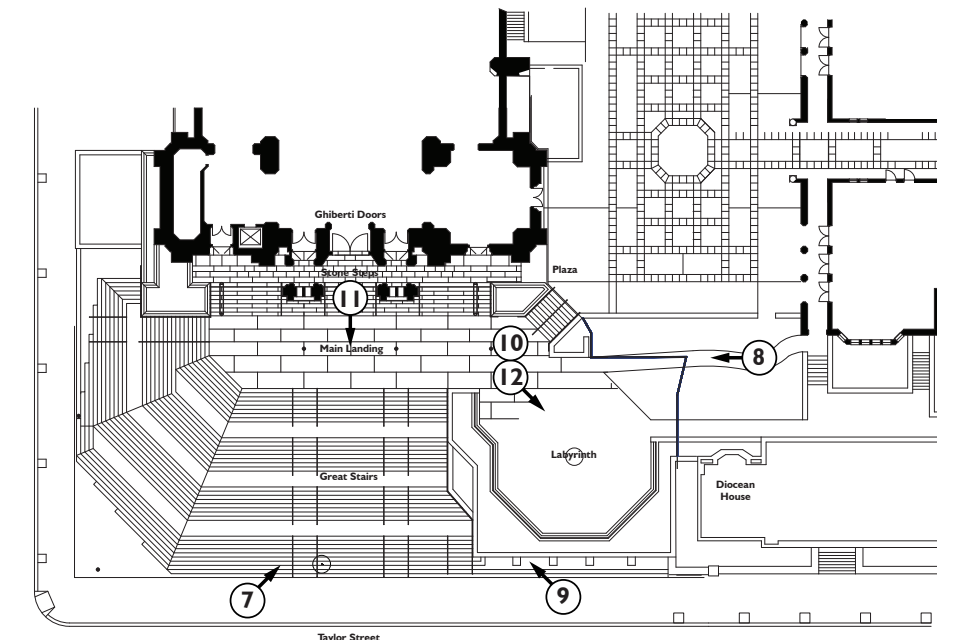
10. View south across new stairs construction, ca. 1994 (Michael Lampen)



11. Overhead view of completed Great Stairs, ca. 1995 (Michael Lampen)



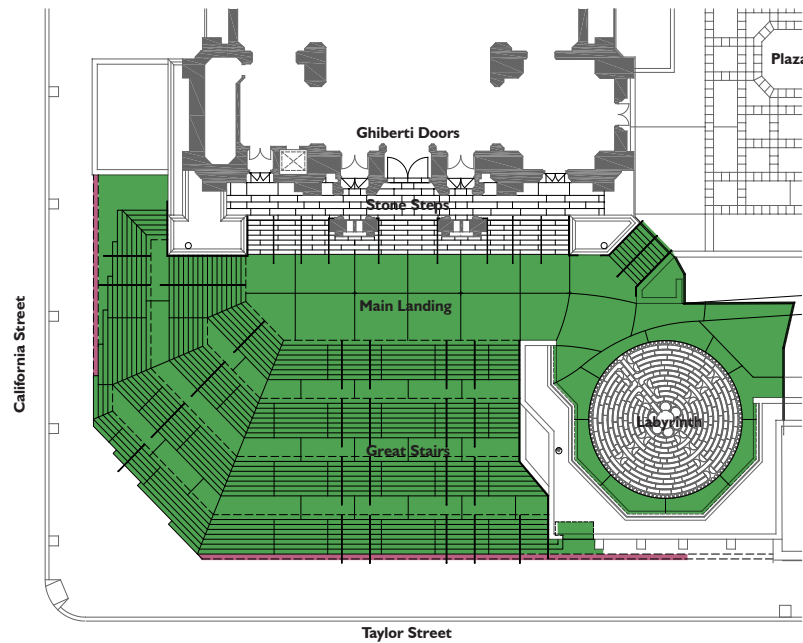
12. View west showing the labyrinth after construction, ca. 1995 (Michael Lampen)



Key Map

N →

CONCRETE LANDINGS AND STEPS



Key Map
Note: red indicates granite cap-drain



Concrete Steps at Great Stair
Note: patched concrete

CONCRETE SCOPE

The concrete steps that make up the lower portion of the great stairs in front of Grace Cathedral were installed in 1995 when Gibbs Memorial Hall was demolished. Though they are now a prominent feature of the property, the steps are neither historic, distinctive nor an example of craftsmanship. The existing condition of the concrete steps in combination with the deteriorated membrane beneath is such that they are a source of water infiltration to the habitable space below. The proposed project includes the removal and replacement of the concrete steps and landings. The new steps and landings will have the same configuration and number of steps. The texture and color of the concrete will match the existing. The caulking, where occurs, will match the concrete. A portion of the existing concrete will be salvaged to be used as reference for both color and texture.

The new concrete steps will be different only in the location of the new joints. The existing concrete has a stack bond pattern which is susceptible to cracking. The joints at the main landing will be improved by installing them in a 4 x 4 squared-off grid pattern. Where the concrete landing converges with the labyrinth, the joint pattern will take on a radial appearance. Other than the joint locations, the visual appearance of the new concrete steps and will remain the same as the existing.

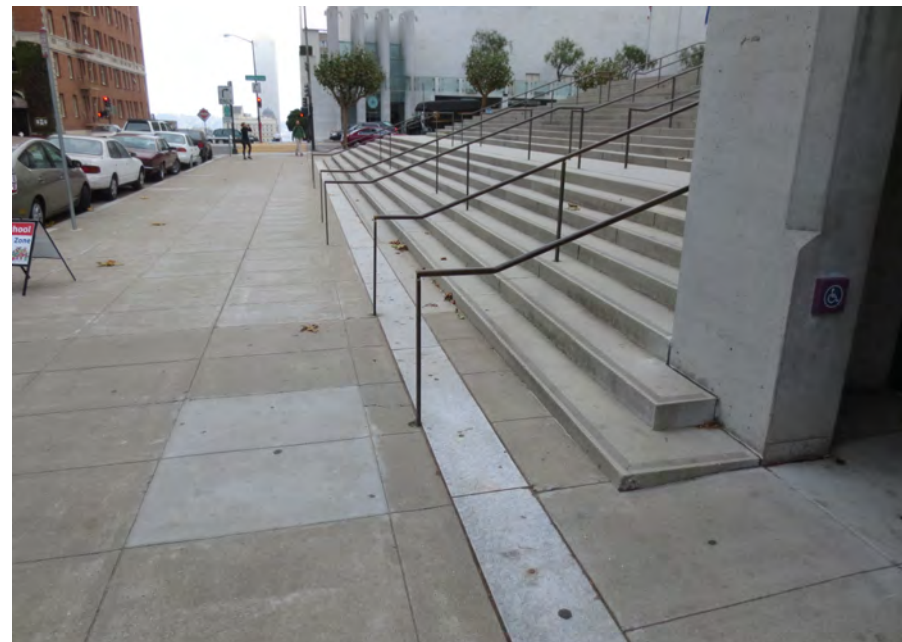
Other improvements include:

1. The landing and stair slope will be improved for better drainage;
2. The handrail posts will be installed to avoid cracking of the concrete;
3. The concrete will be installed so that the texture, color, and overall joint configuration are uniform.

The property has a stone cap drain at its perimeter along Taylor and California streets. The stone will be catalogued, removed, and stored during construction. The stone will be reinstalled as part of the proposed project.

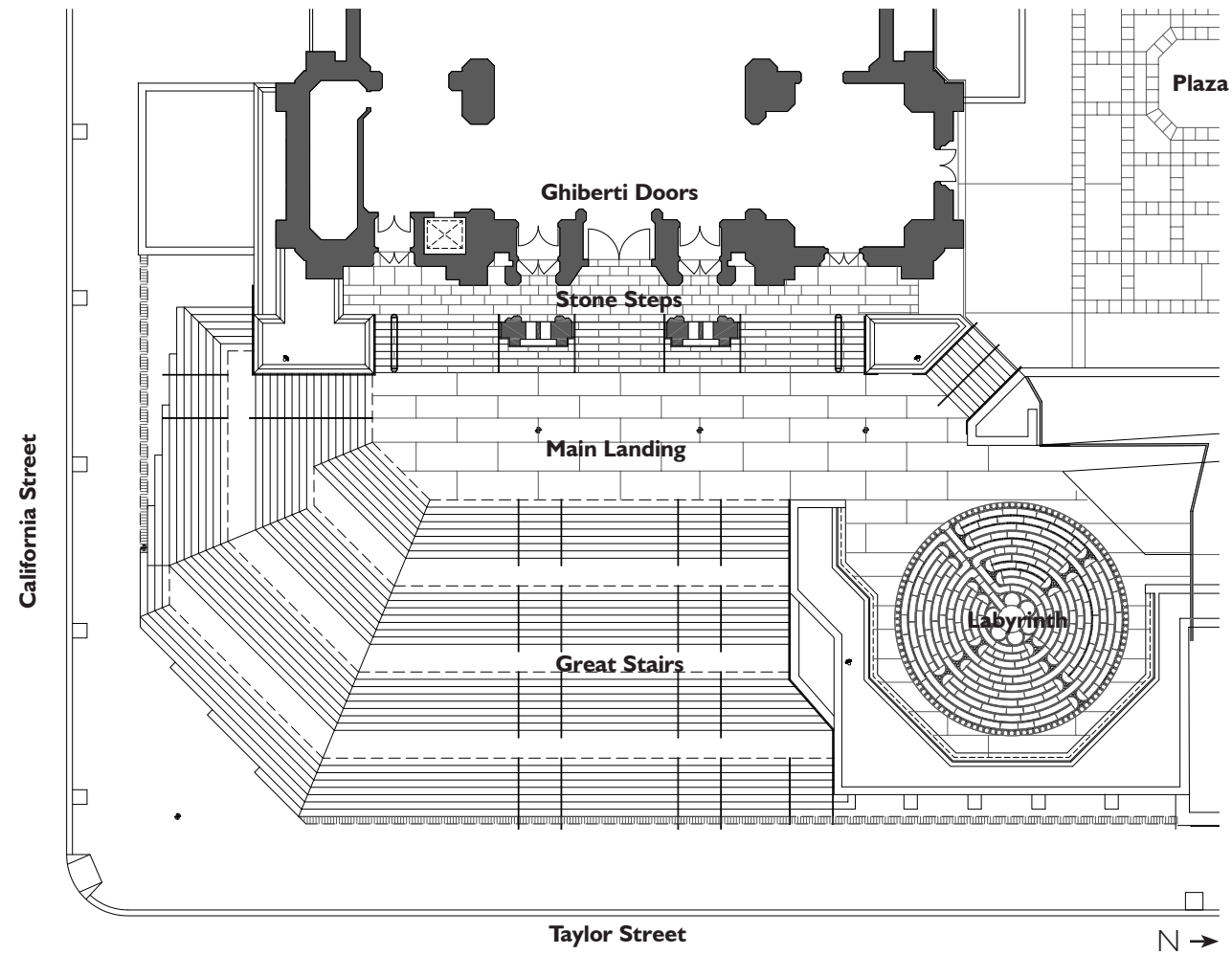


Water intrusion at Crypt Level



Granite drain-cap to be salvaged and reinstalled in its original location

EXISTING

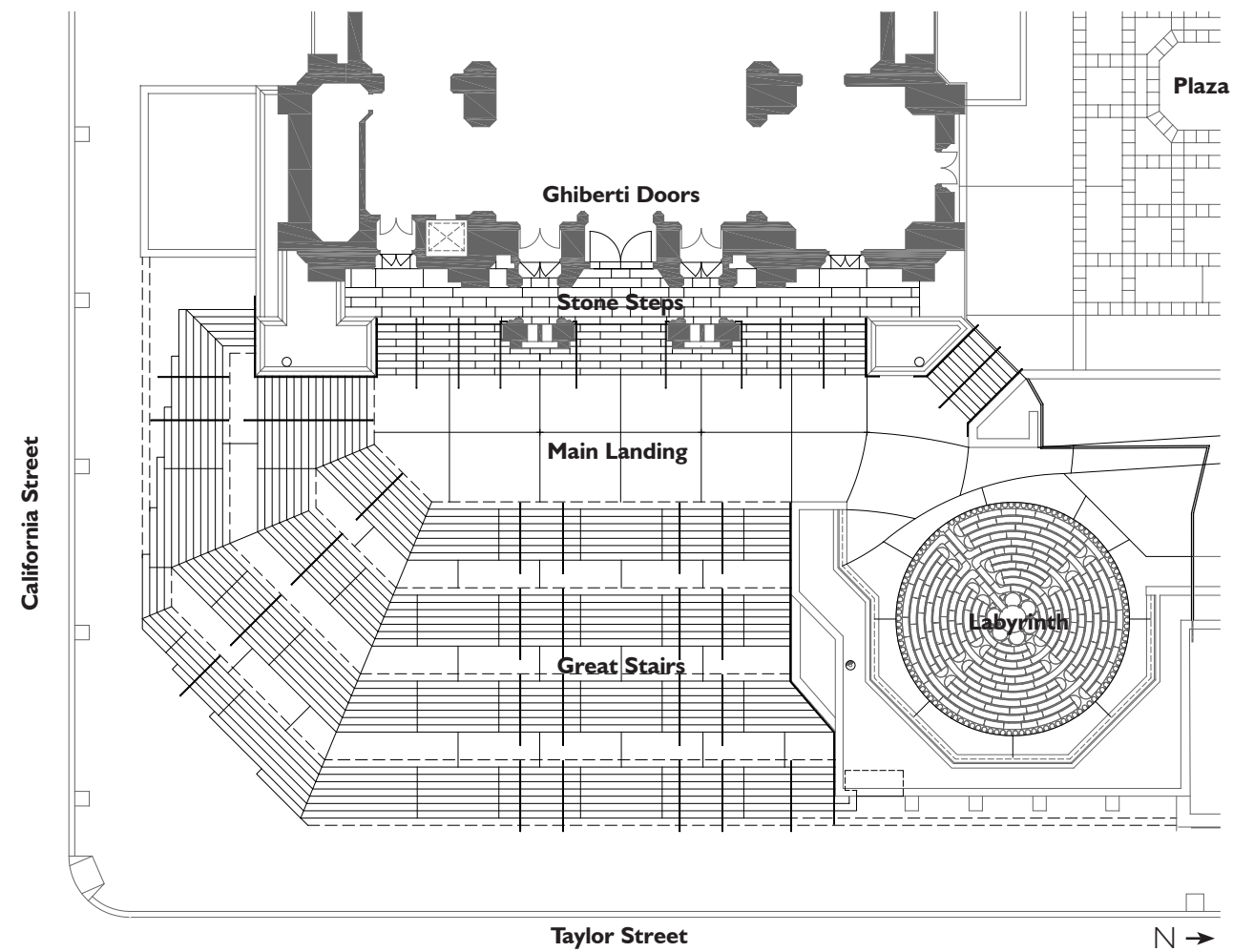


Existing concrete steps at Great Stair
Note: stack bond at Main Landing

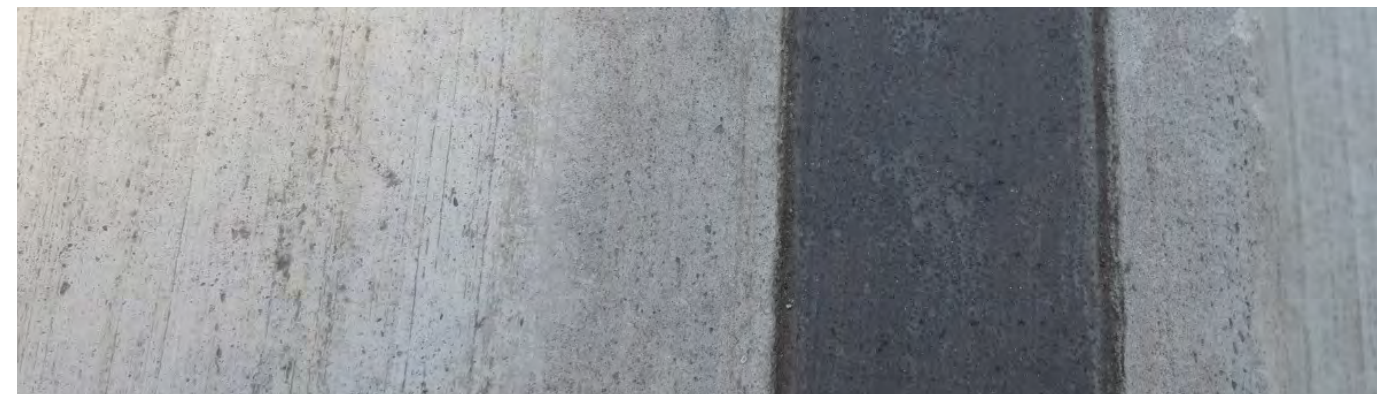


Existing concrete striping with metal insert

PROPOSED



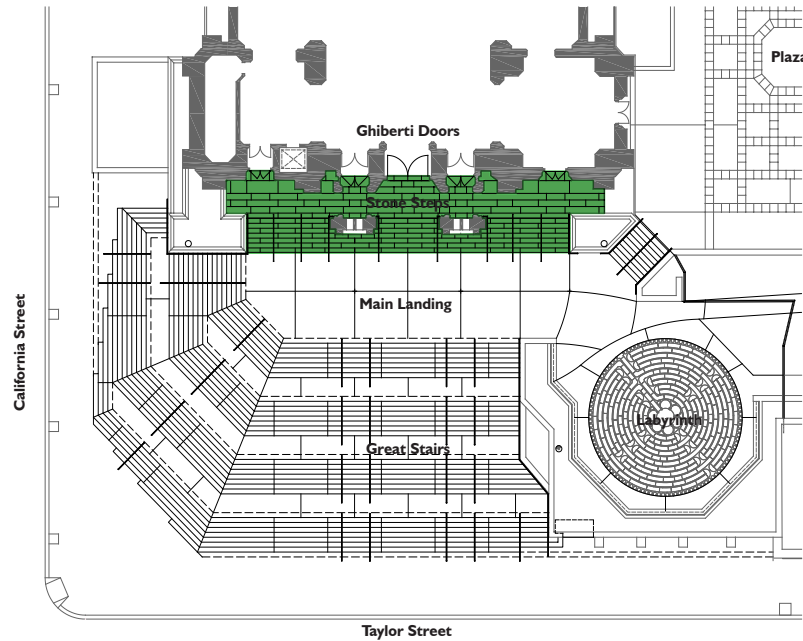
Proposed concrete steps at Great Stair
Note: new joint pattern



Proposed striping
Note: concrete finish to match existing

CONCRETE
STEPS

STONE STEPS



Key Map

N →



Existing Stone Steps

STONE STEPS SCOPE

The west façade of Grace Cathedral is accessed by eight granite steps. Though these were constructed at the same time the west façade was completed, they are not a character-defining feature of the cathedral.

The stone steps will be replaced to address several issues including:

1. Leaks in the habitable space below the steps;
2. Holes in the northern portion of the steps that have been patched with a material that is not compatible;
3. Damaged stone due to previous unsuccessful waterproofing repairs;
4. Adhesive accumulation on the back side of the stone;
5. Cracks related corrosion, movement of the handrail posts;
6. Staining from the existing bronze handrail posts.

The original granite steps were poorly designed and installed. The joint pattern is not uniform and the stone units are inconsistent. A survey of the steps shows that the pattern is centered on the doors at the southern portion of the steps but the installation of varying stone sizes has resulted in damage caused by poorly laid stone, improper installation of handrails on smaller stone units and poorly designed joint pattern.

The proposed project will replace the steps in kind. Prior to removing the existing steps, they will be surveyed to ensure that the replacement steps match the configuration, landing area size, and rise and run of the existing steps.

The original granite is "Sierra White" from Raymond McGilvray Quarry. A replacement granite has been identified from the same quarry that matches the existing in type, texture, and color. The new granite will be laid out with a single pattern using a consistent stone size. The layout will be centered on the doors, similar to the joint pattern on the southern portion of the steps and will be uniform throughout. The joint width will be the same as the existing. The grout between the granite stones will also match the existing in color. The result will be stone steps that complement the symmetrical organization of the main façade and match material of the original steps.

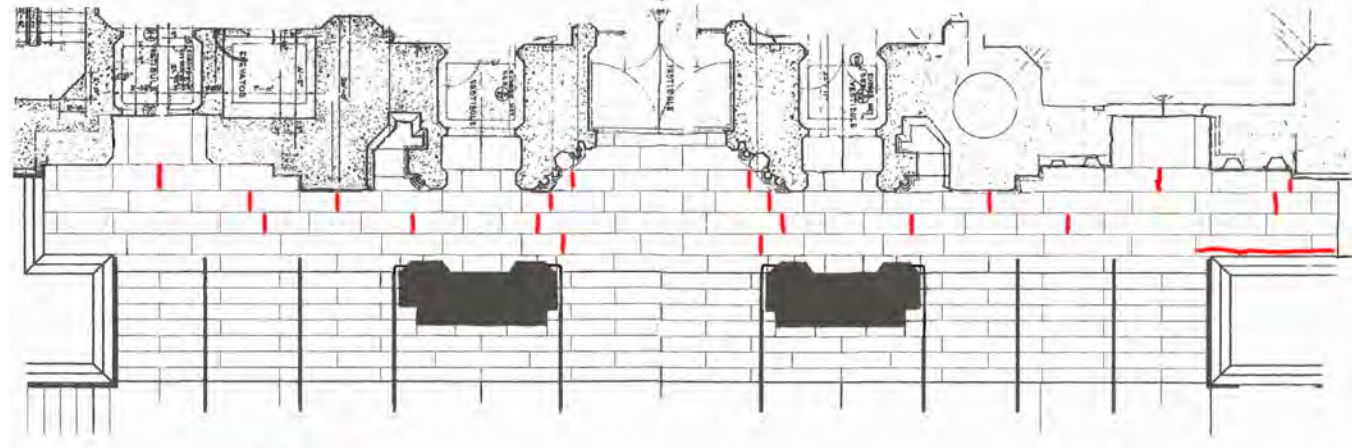


Existing Stone Steps
Note: staining and cracking at handrails



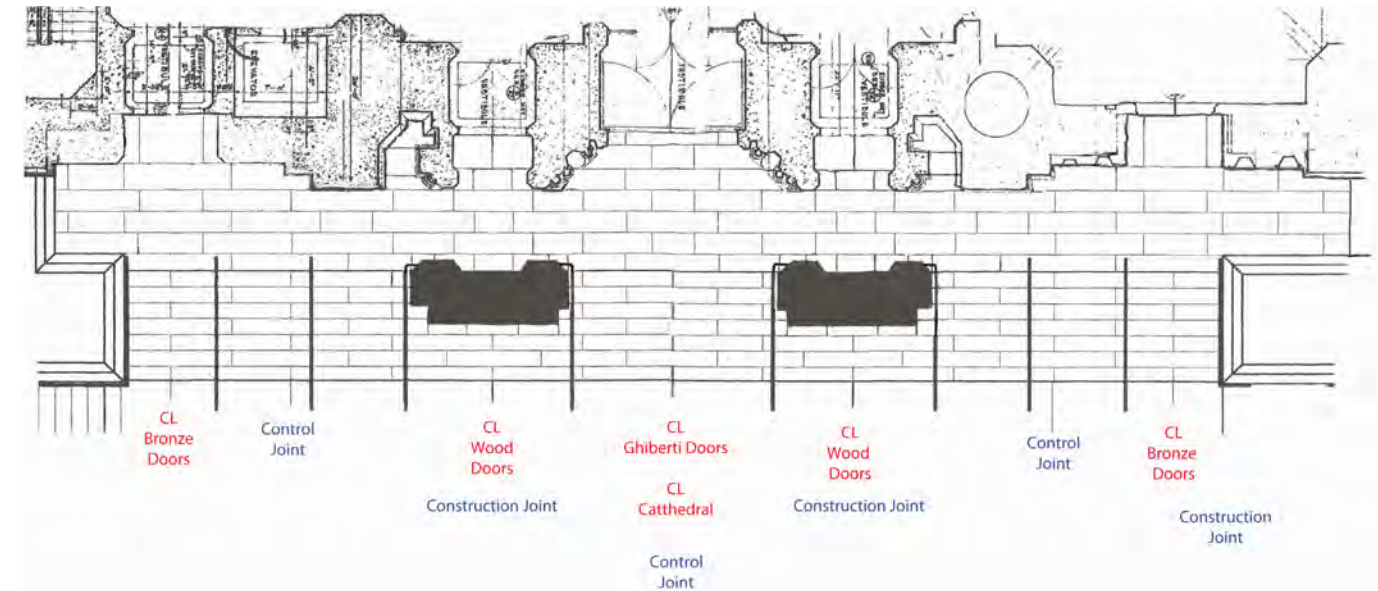
Existing Stone Landing
Note: Epoxy filled holes

EXISTING



Existing Stone Joint Pattern (shown with new handrails)
Note: red indicates where joints are removed.

PROPOSED



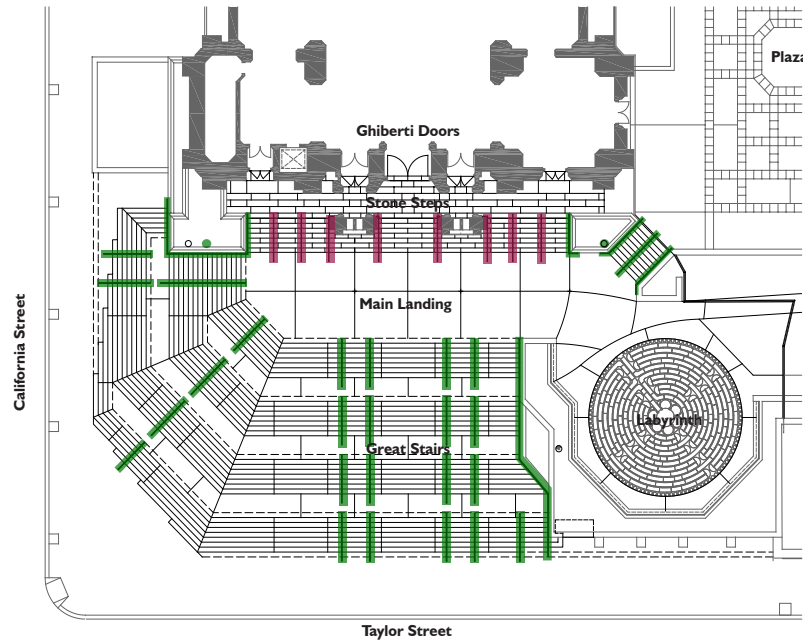
Proposed Stone Joint Pattern



Proposed Sierra White stone on existing granite steps
Note: Granite from same quarry. Original 1964 granite is darker due to clear coating, regular soiling and atmospheric pollution

JUNE 5, 2013

BRONZE HANDRAILS



Key Map

Note: Stone Steps handrails shown in red. Concrete steps handrails in green



Existing Handrails at Stone Steps with concrete steps to plaza beyond.

Note: Handrails are mixture of 1960s and 1990s

BRONZE HANDRAIL SCOPE

The existing handrails at the stone and concrete steps will be removed as part of the exterior improvements to the Grace Cathedral site. The handrails are not a character-defining feature of the landmark nor are they a distinctive example of craftsmanship.

Further, the handrails at these locations do not meet code requirements:

1. The handrails at the stone steps lack adequate exit width required;
2. The handrails do not meet the code height requirements;
3. The handrails lack the required top and bottom extensions.

The handrails are bronze and were installed during two different time periods, 1964 and 1995, with three different design types. The handrails in general have contributed to cracking at the stone and concrete steps due to poor placement.

The 1964 handrails at the stone steps include two design types. One type is a simple design consisting of a round handrail that loops around and is supported by round posts. The posts have a curvilinear “Y” shape at the top to support the railing loop and an escutcheon at the base. The second type is a single round handrail on a round post. Corrosion of the handrails has also caused staining at the stone.

The 1995 handrails are mostly located at the concrete steps. These handrails are even simpler and consist of a round handrail with flat bar posts. The posts taper at the top where they meet the handrails. The 1994 handrails sag because they lack the proper number of posts.

The proposed project will replace all the handrails. The 1964 posts will be replaced with a round, bronze handrail and square posts that will have an escutcheon at the base and fittings at posts below the handrail.. The 1995 posts will be replaced with round bronze handrails and flat bar posts that are similar to the original but with required extensions to meet code requirements. The new posts will be installed and spaced to meet current code.



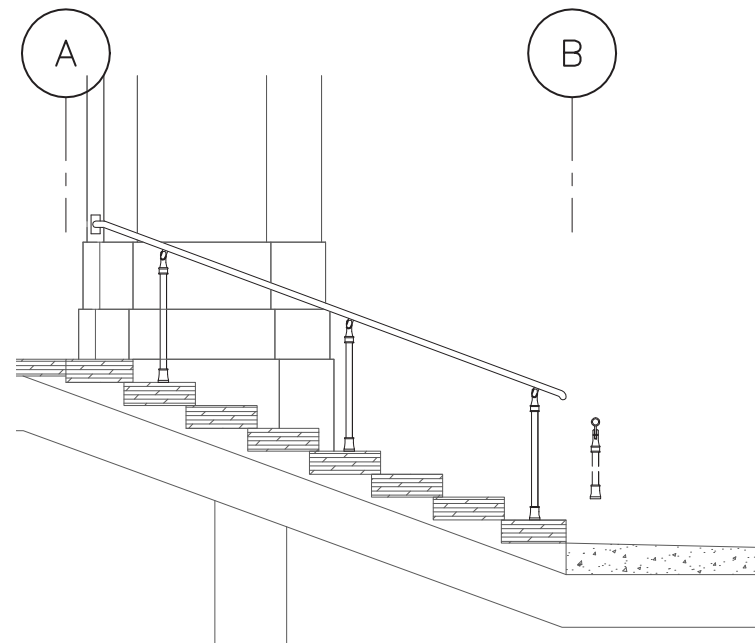
Existing Handrails at the concrete steps from 1995



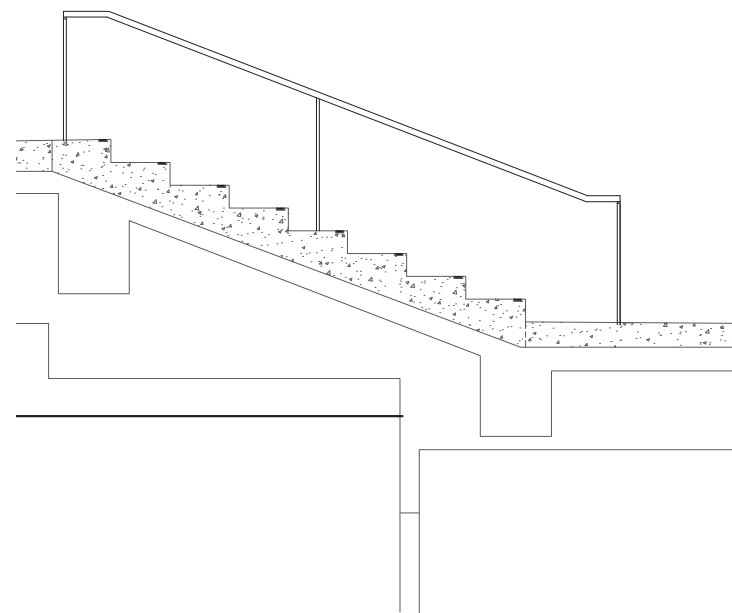
Existing Handrails at Stone Steps with Concrete Steps to plaza beyond.

Note: Handrails are mixture of 1960s and 1990s

EXISTING

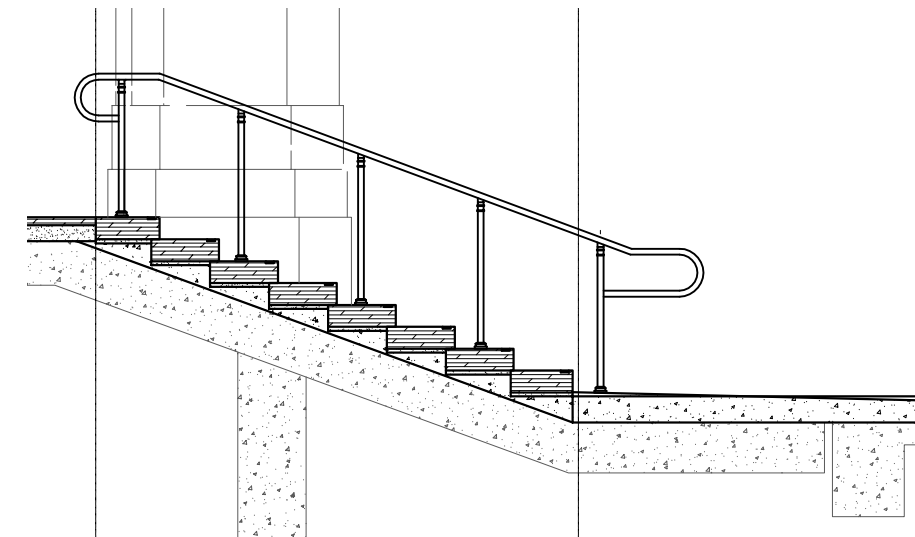


Existing Handrails at Stone Steps

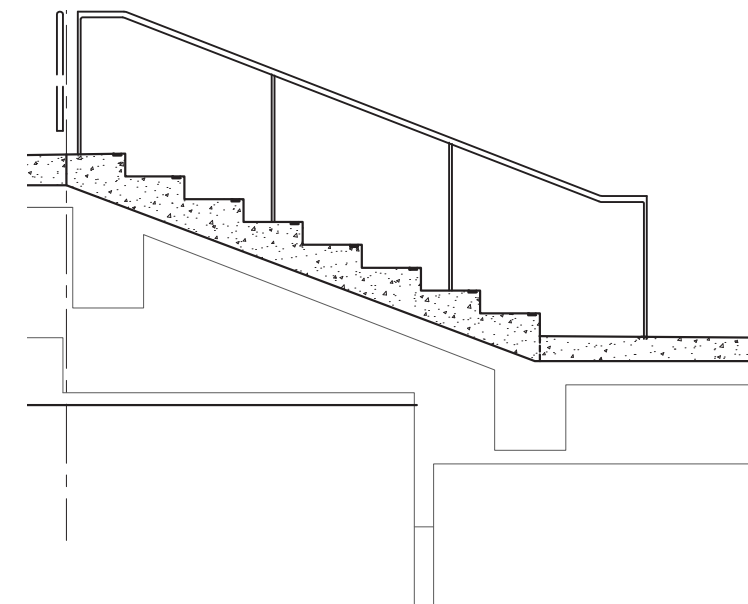


Existing Handrails at Upper Stair Landing

PROPOSED

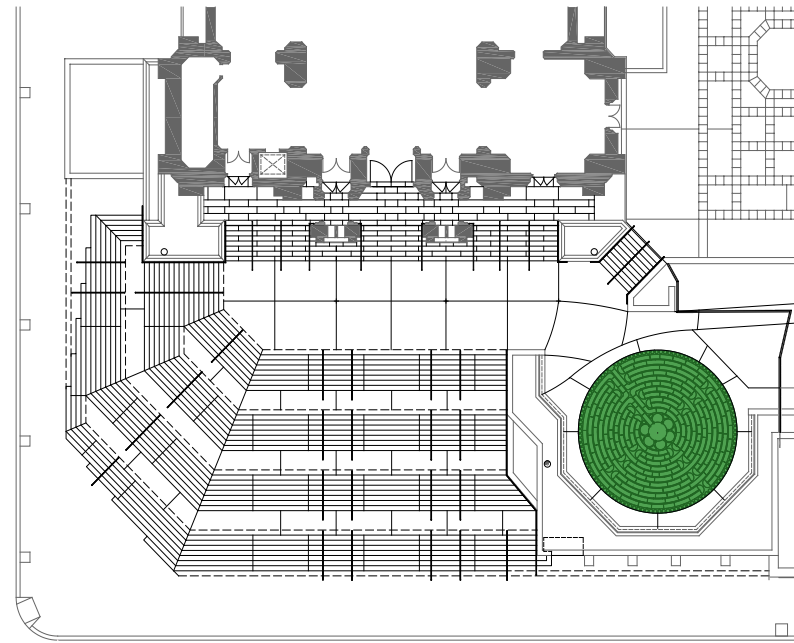


Proposed Handrails at Stone Steps with thicker posts, handrail returning to post and bronze base.



Proposed Handrails at Upper Stair Landing
Note: Additional posts for strength and bottom extensions

LABYRINTH



Key Map

N →



Existing Labyrinth
Note: terrazzo cracking

LABYRINTH SCOPE

The labyrinth was part of the 1995 construction. It is located north of the grand exterior stair and is not readily visible from the street. While the labyrinth contributes to the spiritual life of the church, it is not a contributing architectural feature of the landmark.

The labyrinth was originally planned to be constructed all of stone and is modeled after the labyrinth in Chartres, France. However, during its construction, the stone was replaced with terrazzo as a cost savings measure. The labyrinth exhibits cracking and is a source of leaks to the garage entrance below.

The proposed project will include the reconstruction of the labyrinth. The reconstructed labyrinth will be the same size and have the same design. However, it will be reconstructed in stone instead of terrazzo. The stone selected will be similar to existing stone found elsewhere on the site, including the Sierra White granite at stone steps and the rose granite stone at the plaza fountain. Thus the stone selected will be compatible with other materials that exist within the site.



Basis of design: Stone labyrinth, Chartres, France.

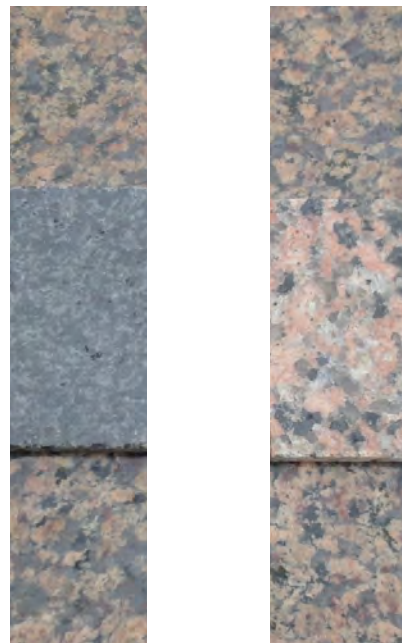


Reference material: existing rose granite at Plaza

EXISTING

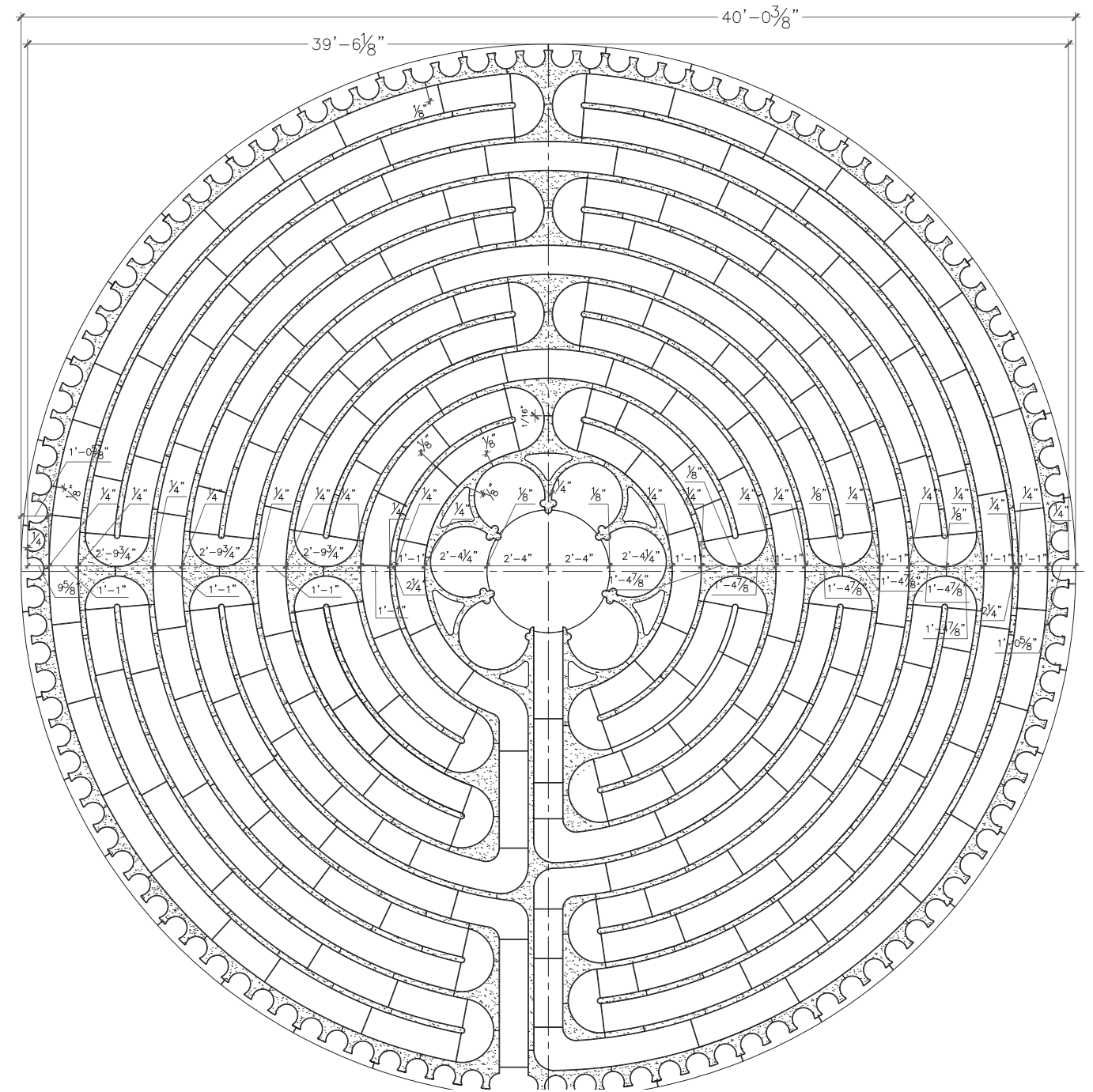


Existing Labyrinth



Academy Black granite (left) and Sunset Red (right) used as field color shown against existing plaza fountain

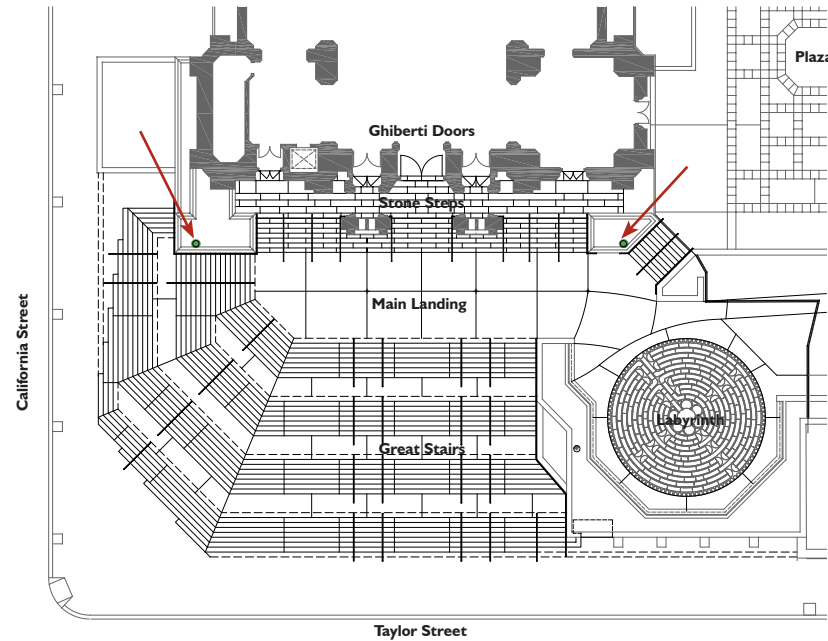
PROPOSED



Labyrinth layout drawing

LABYRINTH

LIGHTING



Key Map
Note: arrows indicate proposed light fixtures

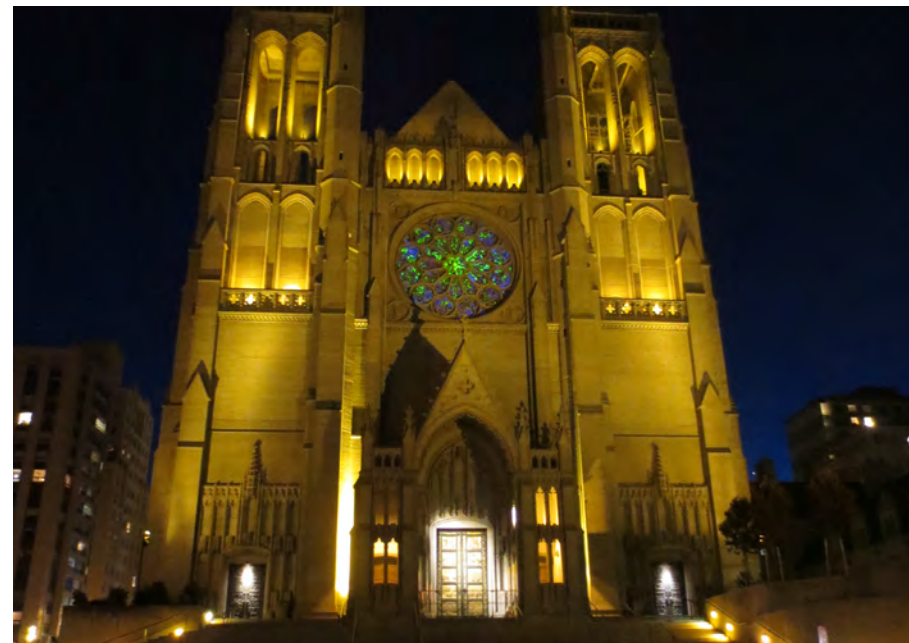


Existing south light fixture

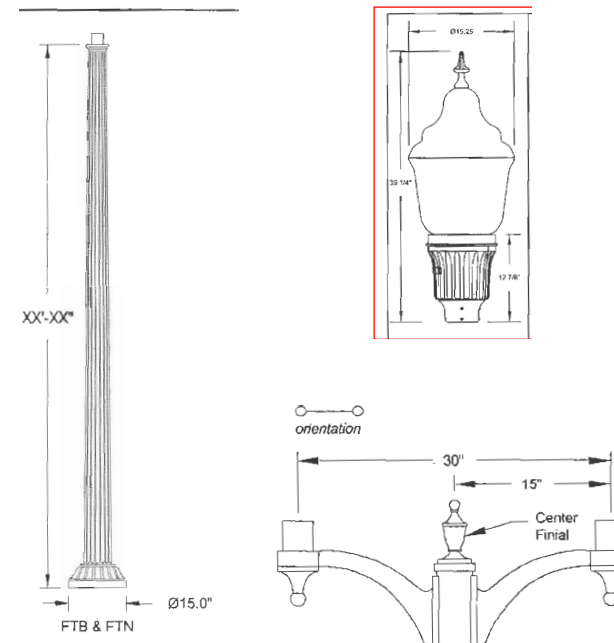
LIGHTING SCOPE

Grace Cathedral has two light posts located at the planters on either side of the front façade that do not provide the necessary lighting. These lights are contemporary in design and function to light the front face of the two towers. The lighting at the steps is deficient and needs to be upgraded to light both the towers and the steps to address life-safety issues.

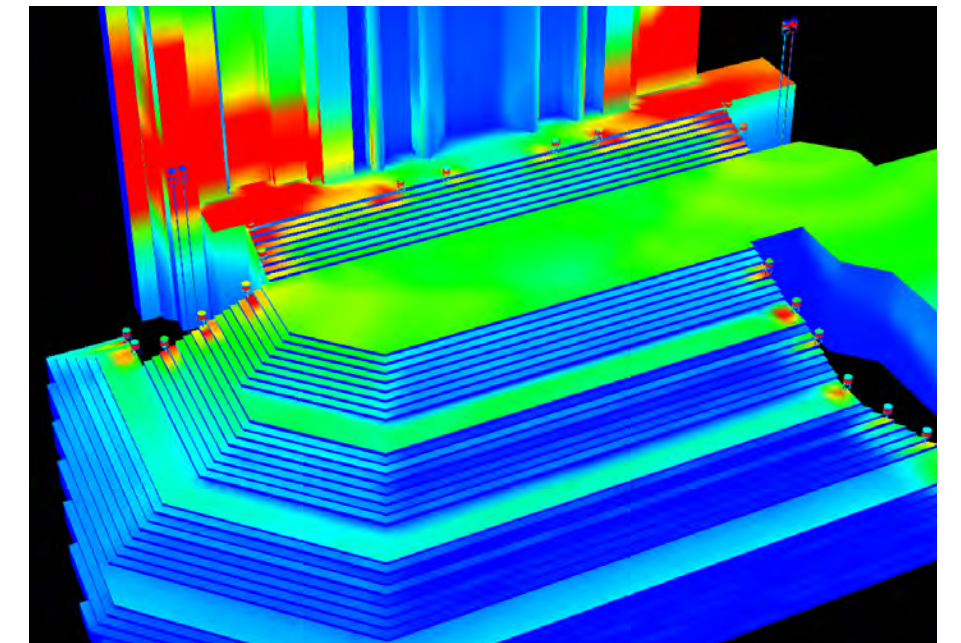
These lights will be replaced with new light posts that improve the lighting at grade while providing similar light levels for the towers. Photometric studies have been conducted to inform the selection of the lights. The light fixture will be contemporary in design but compatible with Grace Cathedral. The lamp post will be reviewed by Planning Staff prior to the final selection.



Grace Cathedral existing night lighting
Note: lack of light at Great Stair



Proposed light fixtures: Holophane



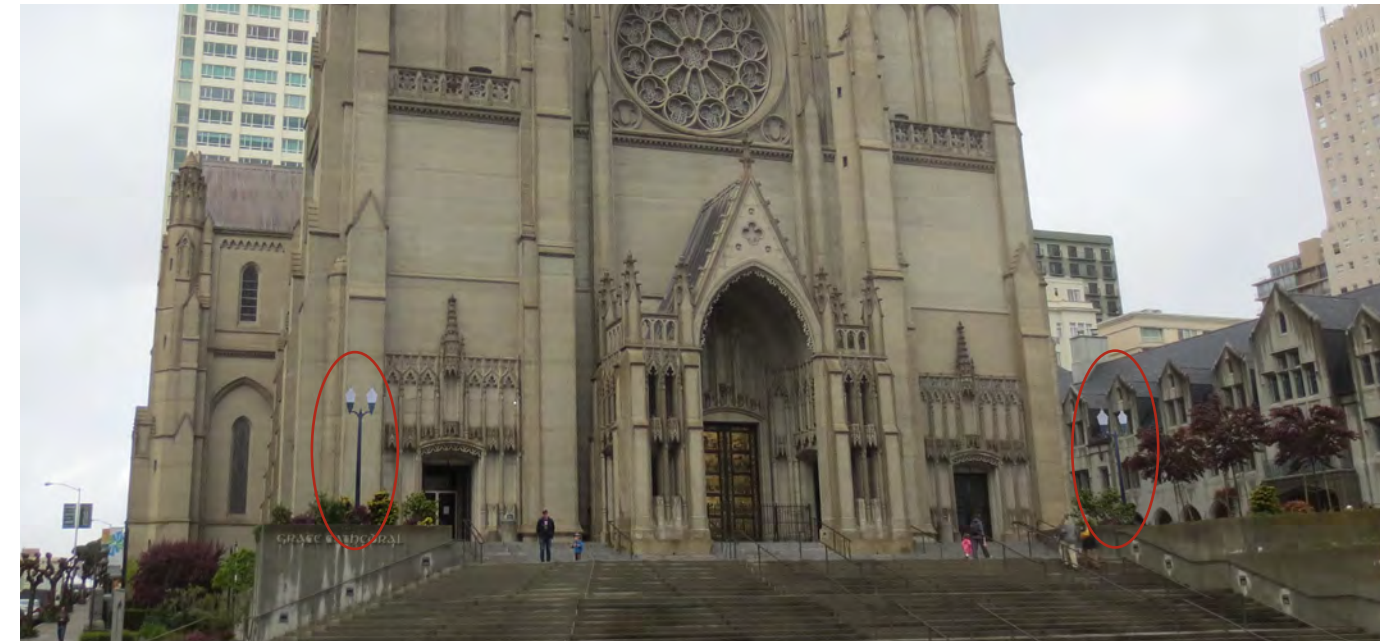
Light fixture photometrics:
Note: Even plaza lighting and even up-lighting

EXISTING

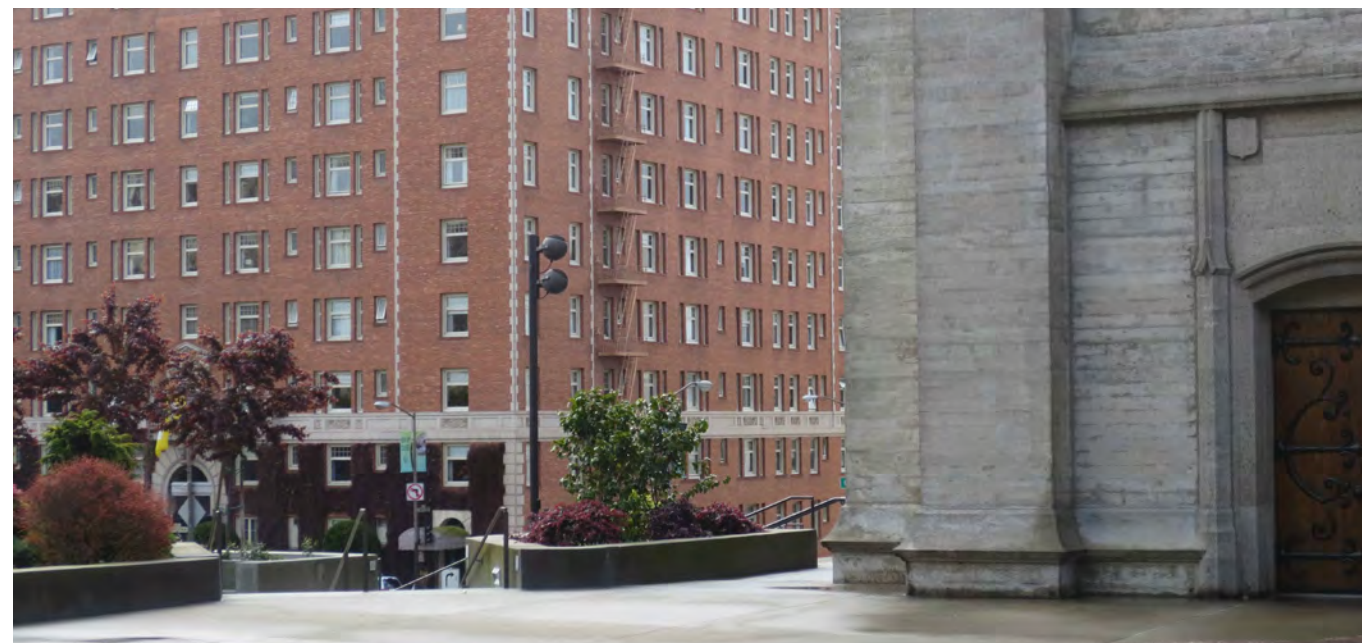


Existing light fixtures

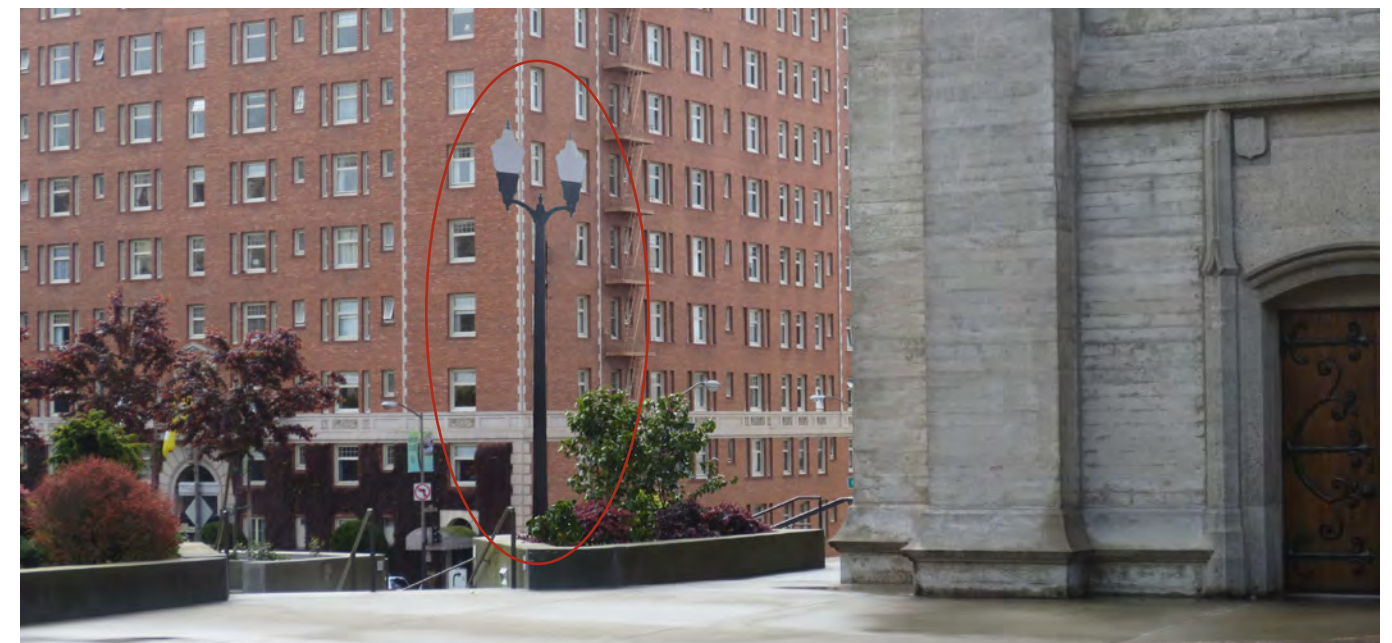
PROPOSED



Mockup of proposed light fixtures (prior to Planning Department Staff review)
Note: color matches existing

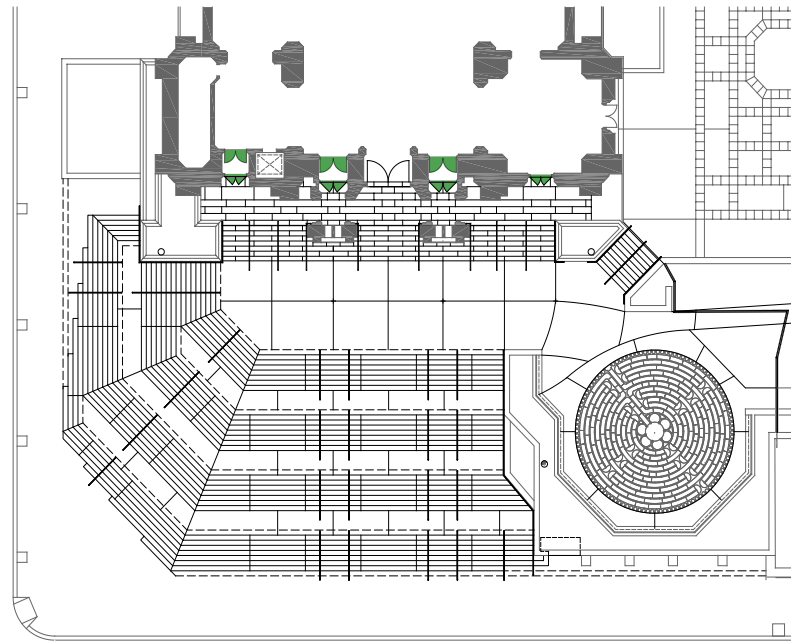


Existing north light fixture



Mock-up of proposed light fixtures (prior to Planning Department Staff review)

DOORS



Key Map



Corroded bronze pivot at Ghiberti Doors

DOOR SCOPE

The proposed waterproofing work will extend under and behind the closers and pivot assemblies of the bronze Ghiberti doors and other historic doors on the eastern façade. The door will be removed and stored in the church during construction and reinstalled after repairs are made.

There are currently four door types at the entrance and include:

1. Ghiberti Doors: These are a pair of bronze doors that were modeled after the doors of the Florence Baptistery by Lorenzo Ghiberti. The Ghiberti doors are the main entrance doors.
2. Wood Doors: There are two pairs of wood panel doors that are located on either side of the Ghiberti Doors.
3. Bronze Doors: There are two pairs of bronze panel doors that flank the wood panel doors.
4. Aluminum Doors: These doors are not historic. They are located at the southern end of the front facade.

Minimal work will be undertaken at these doors. Closers for the two pairs of bronze and wood doors are damaged beyond repair and will be replaced. The closers are under the existing thresholds and are not visible. The thresholds will be removed, the closer will be replaced, and the threshold will be reinstalled. Replacement is required for the function of these doors.

The Ghiberti doors' bearing box assembly is corroded and requires repair. The threshold will be removed to investigate the assembly, appropriate repairs and waterproofing will be made, and the threshold will be reinstalled. Proposed repairs are to features that are not visible and will not affect the visual qualities of the doors.

The aluminum doors do not meet the required width and will be modified with new power door openers. ADA battery powered push buttons will be installed at the interior and exterior of the door to meet accessibility requirements.



Corroded floor closer at Wood Doors



Corroded floor closer at Bronze Doors

ALUMINUM DOORS

WOOD DOORS

BRONZE DOORS

GHIBERTI DOORS



Existing Aluminum Doors
Note: Doors lack accessible width and will be provided with push button operator. The red arrow indicates interior push button location.

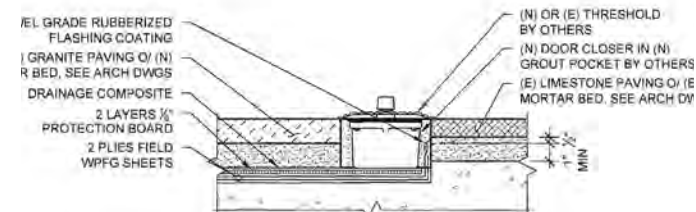
Existing Wood Doors to be salvaged and replaced in same location with new floor closers.
Note: The red arrow indicates exterior push button location.

Existing Bronze Doors: to be salvaged and replaced in same location with new floor closers.

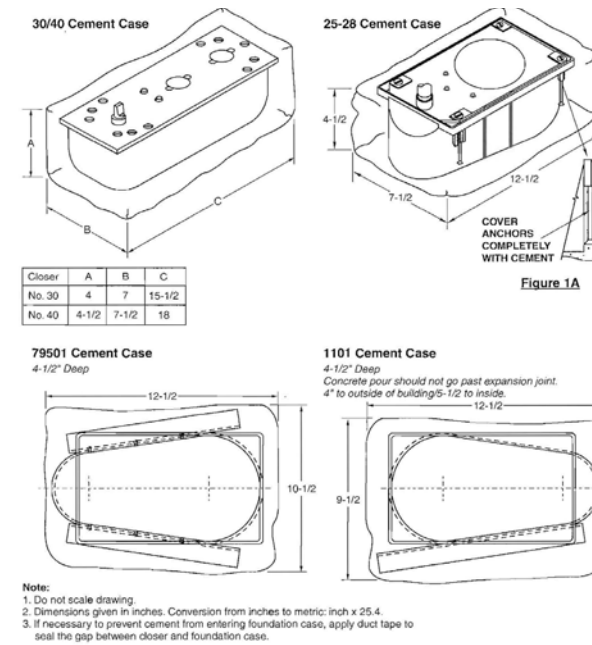
Existing Ghiberti Doors: to be salvaged and replaced in same location with rebuilt door pivot.



Example of door operator proposed



Detail of in-floor door closers
Note: Closers replace existing and are concealed under threshold

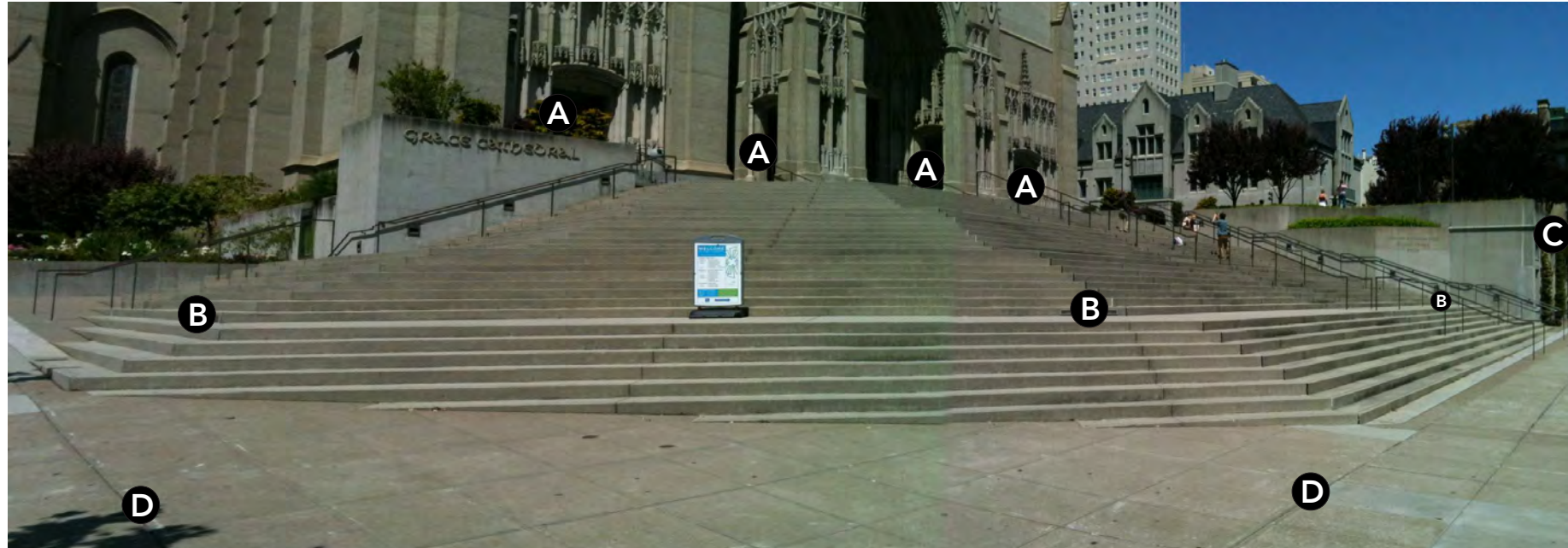


Replacement Rixon closer cut sheet



Ghiberti Door Pivot to be replaced

SIGNAGE



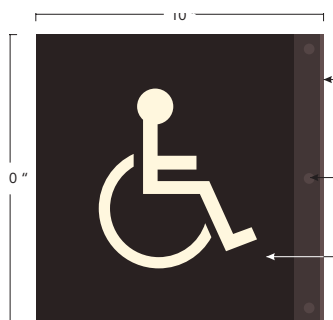
SIGNAGE SCOPE

Signage to convey accessibility, provide way finding, and property signs will be installed. The signs will be simple and unobtrusive. The signs will be made of cast bronze with raised borders and graphics with Duranodic bronze background with leatherette texture and will generally be installed on non-historic fabric. Five signs will be installed on the cathedral façade. These will be installed on walls that are simple and are not ornamental so as not to destroy or remove distinctive features of the building.

Signage Key



A.



C.



B.



D.

Ⓧ ISA directional sign at plaza level

D.A. CHECKLIST & UNREASONABLE HARDSHIP REQUEST

D.A. CHECKLIST (p. 1 of 2):

The address of the project is 1100 CALIFORNIA ST

For ALL tenant improvement projects in commercial use spaces, this checklist is required to be reproduced on the plan set and signed.

- 1. The proposed use of the project is ROOF LEAK REPAIR (e.g. Retail, Office, Restaurant, etc.)
2. Describe the area of remodel, including which floor: EAST OF MAIN CATHEDRAL/SOUTH OF DIOCESAN HOUSE
3. The construction cost of this project excluding disabled access upgrades is \$1,250,000, which is (check one) more than / less than the Accessibility Threshold amount of \$136,060.00 based on the '2011 ENR Construction Cost Index'...

- 5. Read A through G below carefully and check the most applicable box (one box only):
A: All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required.
B: All existing conditions serving the area of remodel that do not fully comply with access requirements will be fully upgraded with this project.
C: Proposed project (check one) is less than the threshold / over the threshold & falls under CBC 134B.2.1 Ex. 2 / Partial upgrades, including Equivalent Facilitation will be provided up to 20% of the project value as itemized on Form C...

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D.A. CHECKLIST (p. 2 of 2):

Check all applicable boxes and specify where on the drawings the details are shown:

Table with columns: Existing Fully Compliant, Upgrades to Full Compliance, Partial Upgrades/Handicap, Equivalent Facilitation/Handicap, None existing & not req'd by Code, Access Appeals Commission, Barrier Removal NOV, Location of detail(s) include detail no. & drawing sheet...

If details are provided from a set of City approved reference drawings, provide its permit application number here.

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GHIBERTI DOOR PIVOT REPAIR

- 1. FIRST THE DOORS WILL BE WRAPPED IN A SOFT PADDING THAT WILL NOT DAMAGE THE SURFACE OF THE DOOR. WE WILL INSTALL BRACKETS ALONGSIDE THE CONCRETE SIDE WALLS OF THE INNER ALCOVE TO RECEIVE A PAIR OF 4 X 6 HORIZONTAL BEAMS, ONE TO BE MOUNTED JUST BELOW THE TOP OF THE DOOR AND ONE TO BE MOUNTED AT ABOUT THREE FEET OFF THE FLOOR. BOTH BEAMS WILL BE MOUNTED ABOUT 12 TO 18 INCHES INSIDE THE DOOR.
2. THE THRESHOLD WILL BE REMOVED AND THE STONE FLOOR WILL BE PROTECTED WITH A PAD AND 1/4" THICK STEEL PLATE THAT WILL SUPPORT THE WHEELS OF THE JOHNSON BARS THE FULL LENGTH OF THEIR TRAVEL.

TITLE 24 NOTES

- RE- ROOFING RELATED TITLE 24 NOTES
• COMBINED THESE ROOFS REPRESENT LESS THAN 10% OF THE CATHEDRAL ROOF STRUCTURES
• AS A CITY LANDMARK THIS SITE IS CATEGORICALLY EXEMPT FROM TITLE 24 REVIEW

SUBCONTRACTOR QUALS.

SUBCONTRACTOR SHALL HAVE A MINIMUM OF FIVE (5) YEARS EXPERIENCE IN HISTORIC DOOR REPAIR. SUBCONTRACTOR SHALL HAVE SATISFACTORILY COMPLETED A MINIMUM OF TWO (2) PROJECT INVOLVING SIMILAR BRONZE DOOR PIVOT REPAIR PROCEDURES IN THE LAST FIVE (5) YEARS. ALL WORK SHALL BE PERFORMED BY SKILLED PERSONNEL WITH NOT LESS THAN FIVE (5) YEARS DOCUMENTED EXPERIENCE IN BRONZE DOOR PIVOT REPAIR. SUBMIT QUALIFICATIONS OF ALL PERSONNEL SCHEDULED TO WORK ON THIS PROJECT. WORK TO BE PERFORMED BY PERSONS WHOSE QUALIFICATIONS HAVE BEEN SUBMITTED TO OWNER.

GOVERNING CODES

- APPLICABLE BUILDING CODES:
1. 2010 CALIFORNIA BUILDING CODE AND SAN FRANCISCO AMMENDMENTS
2. 2010 CALIFORNIA ELECTRICAL CODE AND SAN FRANCISCO AMMENDMENTS
3. 2010 CALIFORNIA MECHANICAL CODE AND SAN FRANCISCO AMMENDMENTS
4. 2010 CALIFORNIA PLUMBING CODE AND SAN FRANCISCO PLUMBING CODE (APPENDIX CHAPTER 29)
5. 2010 CALIFORNIA HISTORICAL BUILDING CODE
6. SAN FRANCISCO CONSTRUCTION AND DEMOLITION DEBRIS RECOVERY PROGRAM PER SFBC SECTION 1302B.
OTHER FEDERAL, STATE AND LOCAL AMMENDMENTS TO THESE CODES

CERTIFICATE OF APPROPRIATENESS

THIS SET OF DRAWINGS IS A PART OF THE SUPPORTING DOCUMENTATION FOR AN APPLICATION FOR ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS WHICH ALSO INCLUDES:
• AN APPLICATION FOR C OF A.
• APPENDIX B: GRAPHICS PACKAGE: 06.05.13

PROJECT SUMMARY

THE PROJECT WILL REPAIR LEAKS IN THE STEPS OVER THE OCCUPIED SPACE EAST OF THE MAIN CATHEDRAL & SOUTH OF THE DIOCESAN HOUSE AND MAKE APPROPRIATE IMPROVEMENTS FOR CURRENT CODE AND SAFETY REQUIREMENTS. PROPOSED IMPROVEMENTS ARE CONSISTENT WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR TREATMENT OF HISTORIC PROPERTIES.

UPGRADES WILL ADDRESS NON-COMPLIANT HANDRAIL EXTENSIONS, INADEQUATE MINIMUM EXTERIOR LIGHTING, THE ADDITION OF DETECTIBLE WARNING ON THE STONE STEPS AND ACCESSIBLE SIGNS.

THE FINISH MATERIALS AND HANDRAILS FROM THE PROPERTY LINES AT CALIFORNIA AND TAYLOR STREET TO THE FRONT OF THE FACE OF THE CATHEDRAL (AS SHOWN BY THE LIMIT OF WORK LINE) ABOVE THE CRYPT LEVEL MUST BE REMOVED FOR THE WATERPROOFING REPAIR AND WILL BE REPLACED IN KIND WITH NEW MATERIALS.

THE STONE IN FRONT OF CATHEDRAL UNDER THE PORCH, AND DOWN THE STEPS WILL BE REPLACED WITH SIMILAR STONE WITH MINOR CHANGES TO THE JOINT PATTERNS BECAUSE MUCH OF THE STONE IS DAMAGED AND SOME STONE WILL BE BROKEN AS A RESULT OF THE REMOVAL PROCESS. ONE EXPECTS TO LOSE AS MUCH AS 10% OF THE LARGER STEP STONE AND AS MUCH AS 30% OF THE LANDING SLAB EITHER FROM EXISTING DEFECTS OR AS A RESULT OF THE REMOVAL PROCESS. THE STONE AT THE NORTH END OF THE INSTALLATION HAS HAD HOLED DRILLED THROUGH THE STONE AND A TWO PART URETHANE ADHESIVE INJECTED IN AN ATTEMPT TO SEAL LEAKS. ADDITIONALLY THERE ARE STONES AT THE HANDRAIL POSTS THAT ARE CRACKED AND OR STAINED FROM BRONZE OR STEEL OXIDATION OVER THE YEARS.

ALL OF THE CONCRETE WALKING SURFACES INCLUDING THE CONCRETE STEPS, AND THE GRANITE AT THE MAIN LANDING WILL BE REPLACED WITH AN IMPROVED JOINT PATTERN. THE TERRAZZO LABYRINTH WILL BE REPLACED WITH A COMPATIBLE STONE SURFACE IN THE SAME DESIGN.

THE STONE CAP OF THE DRAIN AT THE BOTTOM OF THE STAIRS WILL BE SALVAGED AND REPLACED IN THE SAME LOCATION.

AS PART OF THE PROPOSED PROJECT, THE EXISTING HANDRAILS WILL BE REMOVED, THE EXISTING HANDRAILS DO NOT MEET CURRENT CODE REQUIREMENTS AS THEY LACK THE REQUIRED EXTENSION LENGTH. NEW BRONZE HANDRAILS WILL BE INSTALLED. THE PROJECT CURRENTLY HAS 6 HANDRAILS AT THE STONE STEPS AND 26 HANDRAILS AT ON THE CONCRETE STEPS. 2 MORE HANDRAILS WILL BE ADDED AT THE STONE STEPS TO MEET EXISTING REQUIREMENTS AND A NEW HANDRAIL AT THE DIAGONAL WILL BE ADDED FOR SAFETY.

THE GHIERTI DOORS (SEE GHIERTI DOOR PIVOT REPAIR, THIS SHEET) WILL BE TEMPORARILY REMOVED, PROPERLY STORED, AND REINSTALLED IN THE SAME LOCATION IN ORDER TO COMPLETE THE WATERPROOFING AND TO REPLACE THE DOORS' PIVOTS.

AN EXTERIOR DOOR OPERATOR AT THE SOUTH BRONZE DOOR WILL BE ADDED AS AN ACCESSIBILITY IMPROVEMENT & ACCESSIBILITY, WAY FINDING, AND PROPERTY SIGNS WILL BE ADDED.

TO MEET CODE REQUIREMENTS FOR MINIMUM ILLUMINATION NEW LIGHT POSTS WILL BE PROVIDED IN THE SAME LOCATION AS EXISTING UPLIGHTS.

THE WATERPROOFING SYSTEM UNDER THE NEW CONCRETE STEPS CONSIST OF FIVE ELEMENTS PER MANUFACTURERS RECOMMENDATIONS.

- 1. MINIMUM OF TWO SHEETS OF LAURENCO COLD APPLIED, REINFORCED, RUBBERIZED ASPHALT SHEET WATERPROOFING SYSTEM
2. TWO LAYERS OF LAURENCO 1/8" PROTECTION BOARD
3. THE LAYERS OF SHEET AND PROTECTION BOARD SHALL BE SET IN LAURENCO ADHESIVE
4. ONE LAYER OF JDRAN 1000 DRAIN MAT
5. MINIMUM 4" OF STONE, MORTAR OR CONCRETE OR 6" OF SOIL

BUILDING INFORMATION

PROJECT NAME/ADDRESS: 1100 CALIFORNIA STREET SAN FRANCISCO, CA 94108

ASSESSOR PARCEL NUMBER: BLOCK 0246 LOT 001

SAN FRANCISCO LANDMARK # 170 ARTICLE 10

PROPERTY USE: CATHEDRAL ZONING DESIGNATION: RM-4 (RESIDENTIAL- MIXED, HIGH DENSITY)

EXISTING: USE AND CLASSIFICATION: ASSEMBLY GROUP A-3 CONSTRUCTION TYPE: SPRINKLERED BUILDING HEIGHT: 274 FT STORIES: 9 STORIES (AT TOWER)

PROPOSED: USE AND CLASSIFICATION: UNCHANGED CONSTRUCTION TYPE: SPRINKLERED BUILDING HEIGHT: STORIES:

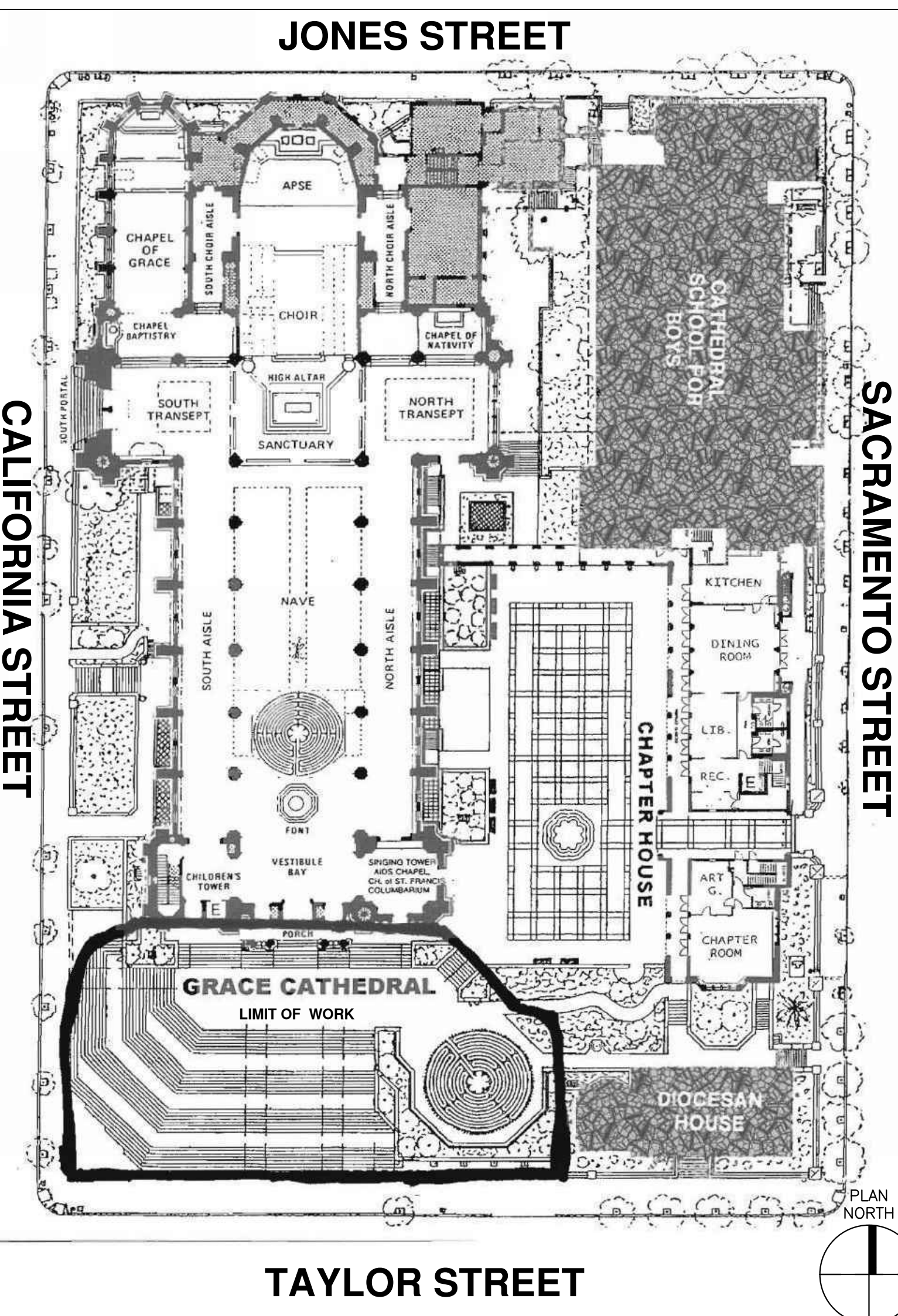
LOT SIZE: 113,434 SF PER PLANNING

DRAWING INDEX

DRAWINGS

Table with columns: NUMBER, TITLE. Includes entries like G0.00 TITLESHEET AND SHEET INDEX, G0.10 ABBREVIATIONS AND ACCESSIBILITY DETAILS, A2.01 EXISTING GREAT STAIR, D2.01 GREAT STAIR DEMOLITION PLAN, A2.02 GREAT STAIRS PLAN, A2.03 CRYPT PLAN, A5.01 STAIR SECTIONS, A5.02 HANDRAIL ELEVATIONS, A5.03 STAIR AND HANDRAIL SECTIONS, A5.04 HANDRAIL DETAILS, A8.01 SIGNAGE, S1.00 GENERAL NOTES, SYMBOLS & ABBREVIATIONS, S2.02 PLAN GREAT STAIR JOINTS, S5.01 STRUCTURAL DETAILS, E0.0 ELECTRICAL LEGEND & ABBREVIATIONS, E0.1 TITLE 24 SCHEDULE, E2.0 CRYPT LEVEL ELECTRICAL LIGHTING AND POWER PLAN, E2.1 GREAT STAIR LEVEL LIGHTING AND POWER PLAN, WP01 TITLE SHEET, WP201 GREAT STAIR REPAIR PLAN, WP501 WATERPROOFING DETAILS

SITE / VICINITY MAP



PROJECT TITLE

2013 GRACE CATHEDRAL GREAT STAIRS WATERPROOFING REPAIRS

1100 California Street, San Francisco, CA

DESIGN BUILDER



7 Lark Creek Lane Lafayette, CA 94549-2660

925-895-3309 cell phone wedmundsil@yahoo.com

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SHEET TITLE

TITLESHEET AND SHEET INDEX

PRINT DATE 5/28/2013

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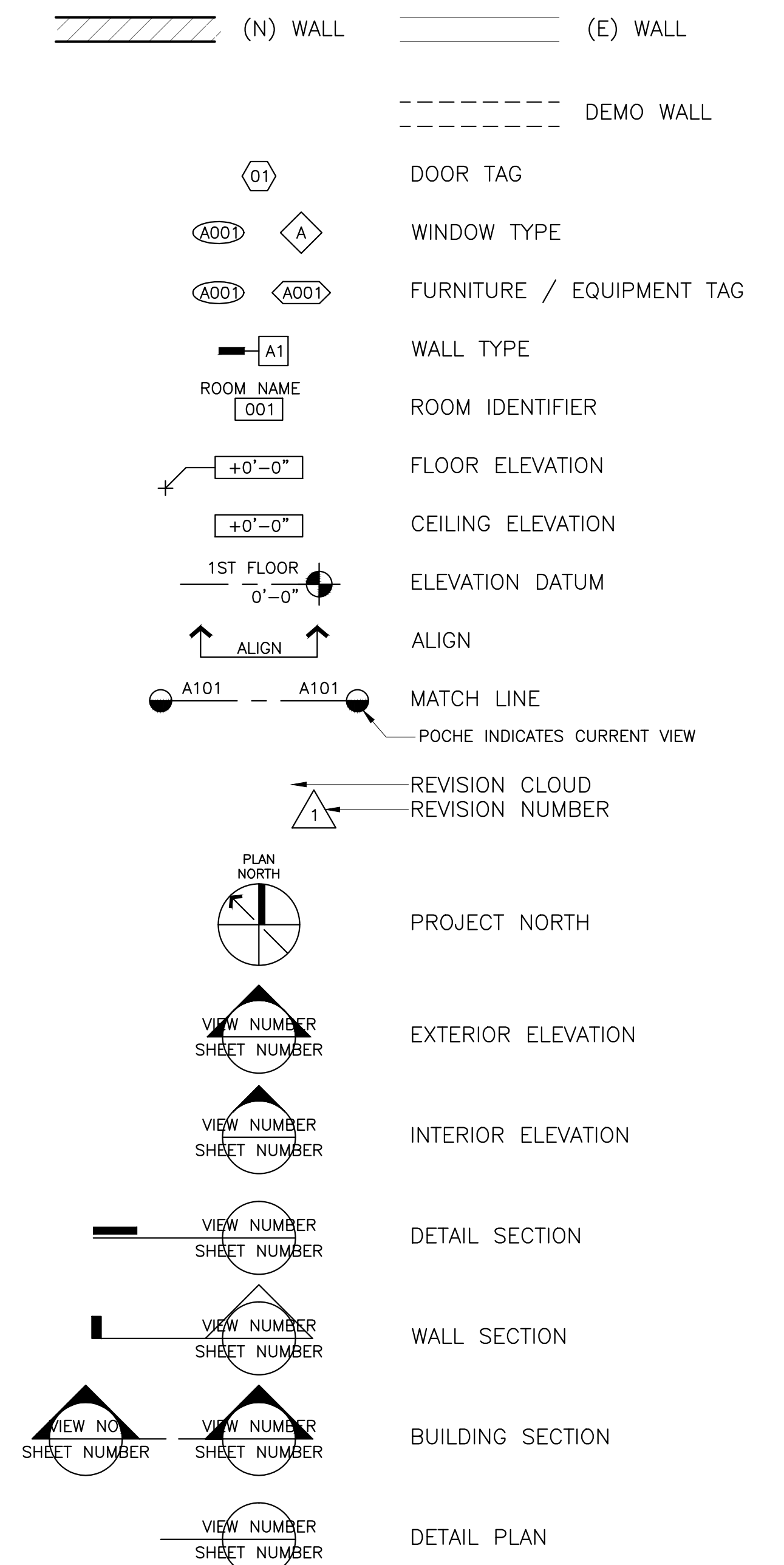
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G0.00

ABBREVIATIONS

SYMBOLS

(E) EXISTING	F.O.C. FACE OF CONCRETE	R.D. ROOF DRAIN
(N) NEW	F.O.F. FACE OF FINISH	R.O. ROUGH OPENING
⊙ AT	F.O.S. FACE OF STUD	R.W.L. RAIN WATER LEADER
A.B. ANCHOR BOLT	F.O.W. FACE OF WALL-(E) BRICK	RAD. RADIUS
A.C. ASPHALTIC CONCRETE	FDN. FOUNDATION	REFR. REFRIGERATOR
A.F.F. ABOVE FINISH FLOOR	FIN. FINISH	REINF. REINFORCED
ACOUS. ACOUSTICAL	FLR. FLOOR	REM. REMOVE(D)
ADJ. ADJACENT	FLR'G FLOORING	REQ'D. REQUIRED
ADJUST. ADJUSTABLE	FLUOR. FLUORESCENT	RET. RETAINING
ALT. ALTERNATE	FP. FIREPLACE	RM. ROOM
ALUM. ALUMINUM	FTG. FOOTING	RWD. REDWOOD
APPROX. APPROXIMATE	FUT. FUTURE	S.C. SOLID CORE
ARCH. ARCHITECTURAL	GA. GAUGE	S.C.D. SEAT COVER DISPENSER
B.O. BOTTOM OF	GALV. GALVANIZED	S.D. SOAP DISPENSER
BD. BOARD	GFRG GLASS FIBER	S.E.D. SEE ELECTRICAL DRWGS.
BITUM. BITUMINOUS	GL. GLASS	S.F. SQUARE FEET
BLDG. BUILDING	GYP. GYPSUM	S.L.D. SEE LIGHTING DRAWINGS
BLKG. BLOCKING	GYP. BD. GYPSUM BOARD	S.M. SHEET METAL
BOT. BOTTOM	H.B. HOSE BIBB	S.M.D. SEE MECHANICAL DRAWINGS
C.B. CATCH BASIN	H.C. HOLLOW CORE	S.N.D. SANITARY NAPKIN DISPENSER
C.I. CAST IRON	HDWR. HARDWARE	S.N.R. SANITARY NAPKIN RECEPTACLE
C.J. COLD JOINT	HORIZ. HORIZONTAL	S.P.D. SEE PLUMBING DRWGS.
C.T. CERAMIC TILE	INSUL. INSULATION	S.S. STAINLESS STEEL
CAB. CABINET	INT. INTERIOR	S.S.D. SEE STRUCTURAL DRWGS.
CEM. CEMENT	JAN. JANITOR	SCHED. SCHEDULE
CER. CERAMIC	JT. JOINT	SECT. SECTION
CL. CENTERLINE	KIT. KITCHEN	SHLV. SHELVES
CLG. CEILING	LAV. LAVATORY	SHT. SHEET
COMP'T. COMPARTMENT	LOC'N. LOCATION	SIM. SIMILAR
CONC. CONCRETE	M.C. MEDICINE CABINET	SPEC. SPECIFICATION
CON'D. CONDITION	MAT. MATERIAL	STD. STANDARD
CONFIG. CONFIGURATION	MAX. MAXIMUM	STL. STEEL
CONSTR. CONSTRUCTION	MECH. MECHANICAL	STO. STORAGE
CONTIN. CONTINUOUS	MEMB. MEMBRANE	STRUCT. STRUCTURAL
CONTR. CONTRACTOR	MFR. MANUFACTURER	SUSP. SUSPENDED
CORR. CORRIDOR	MGR. MANAGER	T&G. TONGUE-AND-GROOVE
CTR. CENTER	MIN. MINIMUM	T.B. TOWEL BAR
CTS.K. COUNTERSUNK	MIR. MIRROR	T.C. TOP OF CURB
D.F. DRINKING FOUNTAIN	MISC. MISCELLANEOUS	T.O. TOP OF
DBL. DOUBLE	MTD. MOUNTED	T.O.C. TOP OF CONCRETE
DEM. DEMOLISH	MTL. METAL	T.P.D. TOILET PAPER DISPENSER
DET. DETAIL	N.I.C. NOT IN CONTRACT	TELE. TELEPHONE
DIM. DIMENSION	N.T.S. NOT TO SCALE	THK. THICK
DISP. DISPENSER	NEC. NECESSARY	TYP. TYPICAL
DN. DOWN	NO. or # NUMBER	U.O.N. UNLESS OTHERWISE NOTED
DR. DOOR	NOM. NOMINAL	UR. URINAL
DRWR. DRAWER	O.C. ON CENTER	W.C. WATER CLOSET
DS. DOWNSPOUT	O.H. OPPOSITE HAND	W/- WITH
DWG. DRAWING	OVER OVER	W/O WITHOUT
E.F. EXHAUST FAN	OBSC. OBSCURE	WD. WOOD
E.J. EXPANSION JOINT	OPENING OPENING	WP. WATERPROOF
EA. EACH	P. LAM. PLASTIC LAMINATE	WSCOT. WAINSCOT
ELEC. ELECTRICAL	P.T. PRESSURE TREATED	WT. WEIGHT
ELEV. ELEVATION	P.T.D. PAPER TOWEL DISPENSER	
EMER. EMERGENCY	P.T.R. PAPER TOWEL RECEPTACLE	
ENCL. ENCLOSURE	PL. PLATE	
EQ. EQUAL	PLAS. PLASTER	
EQPT. EQUIPMENT	PLYWD. PLYWOOD	
EXP. EXPANSION	PNL. PANEL	
EXT. EXTERIOR	PNL'G. PANELING	
F.D. FLOOR DRAIN	PTD. PAINTED	
F.E. FIRE EXTINGUISHER	PTN. PARTITION	
F.E.C. FIRE EXTINGUISHER CABINET		
F.O. FACE OF		



2013 GRACE CATHEDRAL GREAT STAIRS WATERPROOFING REPAIRS

1100 California Street, San Francisco, CA

DESIGN BUILDER

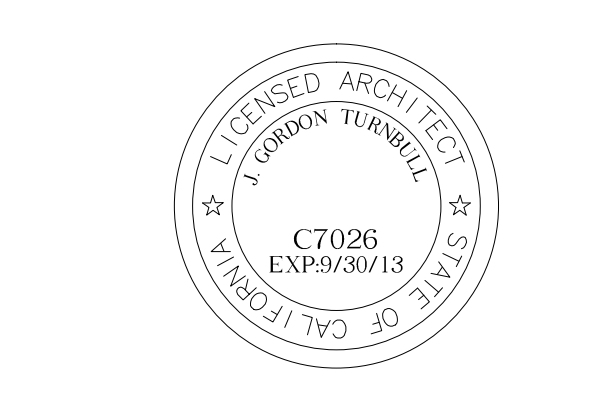


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OCCUPANCY REDUCTIONS DURING CONSTRUCTION

NARRATIVE:
EXITING FROM THE EAST END OF GRACE CATHEDRAL IS PROVIDED THROUGH 5 DOOR EXITS LEADING TO THE GREAT STAIRS AND PLAZA AND A STAIRWAY LEADING TO EXITS ON CALIFORNIA STREET.

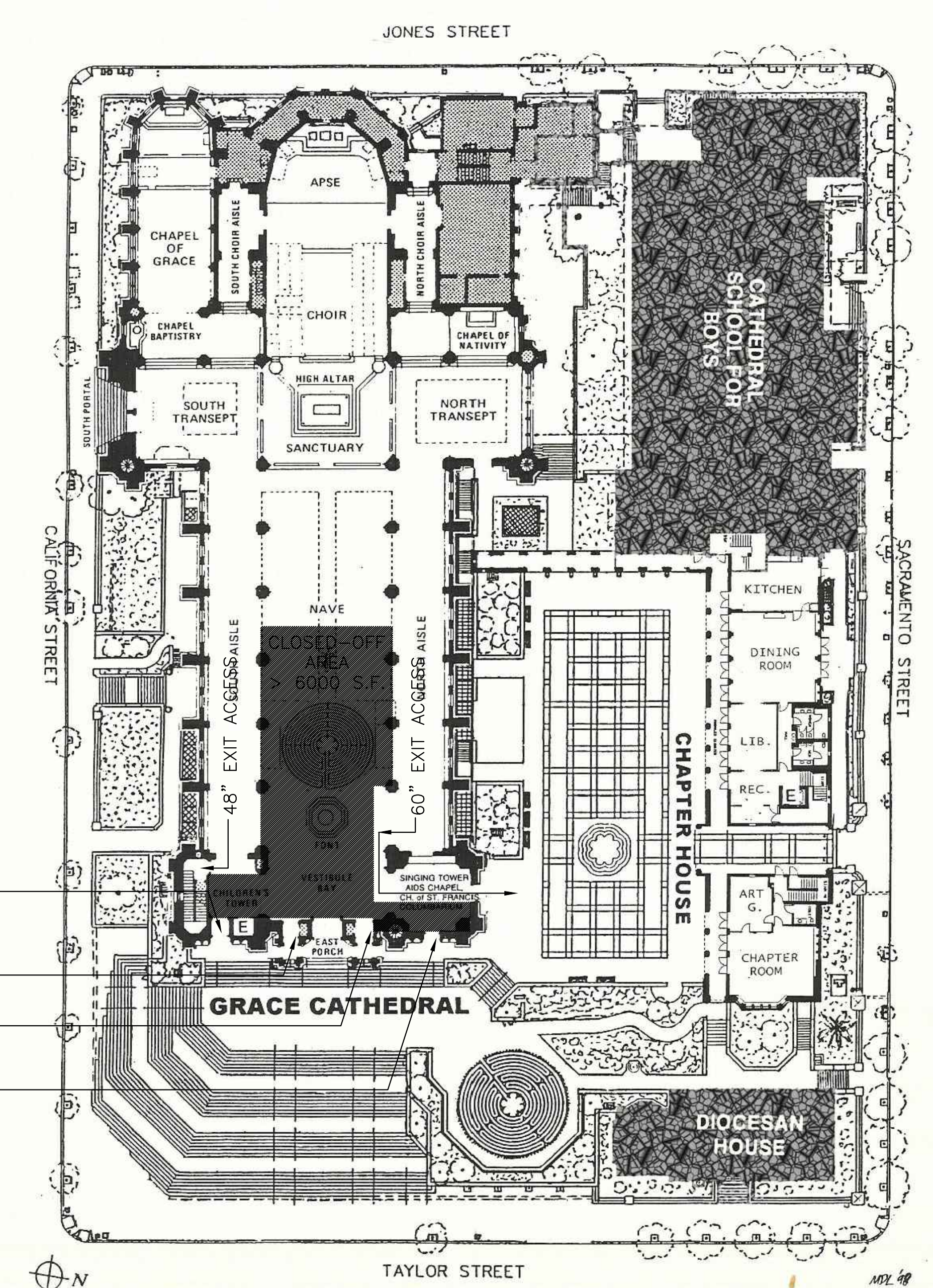
THE REPAIRS REQUIRE 4 DOORS TO BE REMOVED AND WALLED OFF FOR THE DURATION OF CONSTRUCTION.

EXIT CAPACITY IS REDUCED AS FOLLOWS:

DOOR	EXIT WIDTH	REDUCED CAPACITY WIDTH/0.2 OCCUPANTS
01	56	280
02	54	270
03	54	270
04	61.5	323
TOTAL:		1143

TOTAL ASSEMBLY GROUP A2 EXIT CAPACITY WAS RECORDED IN 1995 AS 22154.
TO REDUCE OCCUPANCY BY MORE THAN 1143, 6,000 S.F. WILL BE ROPED OFF IN THE NAIVE OF GRACE CATHEDRAL FOR THE DURATION OF CONSTRUCTION.
6,000 / 5 OCC. S.F. = 1200 OCC. TABLE 1004.1.1

- DOOR CLOSURES:
SOUTH WOOD DOORS 01
SOUTH BRONZE DOORS 02
NORTH BRONZE DOORS 03
NORTH WOOD DOORS 04



DEMOLITION NOTES

- ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING, FINISHES AND BUILDING SYSTEMS.
- FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
- REDIRECT OR REMOVE ALL VENTS, PLUMBING, AND ELECTRICAL LINES WITHIN DEMOLISHED AREAS IF REQUIRED TO ACCOMMODATE ALTERATION PLANS.
- CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS AND SAN FRANCISCO'S SOLID WASTE AND RECYCLING ORDINANCE.
- CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
- REMOVE AND CAP ALL ELECTRICAL FIXTURES, SWITCHES AND OUTLETS ON WALLS TO BE REMOVED.
- REMOVE AND CAP ALL PLUMBING FIXTURES AND LINES ON WALLS TO BE REMOVED.
- CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS IN FIELD. PATCH ALL HOLES CAUSED BY REMOVAL INTERIOR & EXTERIOR.
- TEMPORARY BUILDING SHORING REQUIRED FOR THE REMOVAL OF (E) WALLS FOR (N) CONSTRUCTION IS THE CONTRACTOR'S RESPONSIBILITY.
- PROTECT ALL HISTORIC ELEMENTS DURING DEMOLITION.
- INSTALL PROTECTION IN MANNER THAT DOES NOT DAMAGE ANY EXISTING AND ADJACENT SURFACES OR FINISHES. PROTECTION SHALL BE FREE STANDING AND NOT ATTACHED DIRECTLY TO ANY HISTORIC FABRIC.

CONTRACTOR NOTES

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SERVICES AND TRANSPORTATION FOR THE COMPLETION OF THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS, U.O.N.
- THE CONTRACTOR SHALL REVIEW & VERIFY ALL EXISTING CONDITIONS, STRUCTURE, AND DIMENSIONS FOR ACCURACY THE ADEQUACY TO RECEIVE THE WORK BEFORE COMMENCING.
- CONTRACTOR TO CONTACT ARCHITECT PRIOR TO PROCEEDING IF CONDITIONS DIFFER FROM THOSE SHOWN ON DRAWINGS.
- DISCREPANCIES BETWEEN GENERAL, PLAN, OR SHEET NOTES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION OR RESOLUTION.
- IF DRAWINGS ARE FOUND TO CONFLICT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- DETAILS TAKE PRECEDENCE OVER GENERAL SECTIONS.
- DO NOT SCALE DRAWINGS.
- TYPICAL (TYP) INDICATES A COMMON CONDITION FOUND THROUGHOUT A PARTICULAR DRAWING OR SUITE OF DRAWINGS.
- ALL SYSTEMS ARE MEANT TO BE COMPLETE AND OPERATIVE THOUGH NOT FULLY DESCRIBED.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES & AGENCY REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE ANY & ALL CONSTRUCTION FACILITIES TO ACCOMPLISH THE WORK. THESE FACILITIES SHALL BE REMOVED AS WORK PROGRESSES OR UPON COMPLETION. THESE INCLUDE, BUT ARE NOT LIMITED TO TEMPORARY UTILITIES, BRACING, BARRIERS, ETC.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL PROJECT SAFETY AND SECURITY.
- CONTRACTOR IS RESPONSIBLE FOR STRUCTURAL INTEGRITY OF ALL CONNECTIONS AND ATTACHMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF ALL INDIVIDUAL MEMBERS, ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE STANDARDS, AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDING TO THESE CONDITIONS.
- THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR, THEY DO NOT ILLUSTRATE EVERY SUCH CONDITION OR DETAIL. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATIONS.
- JOINTING SHALL BE CLOSE-FITTING, NEAT, AND WELL-SCRIBED.
- FINISH WORK SHALL NOT HAVE EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS.
- ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING, AND WARPING DUE TO LOCAL TEMPERATURE AND HUMIDITY CONDITIONS.
- FOR STRUCTURAL INFORMATION REFER TO STRUCTURAL.
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL BE REQUIRED TO BE FIELD TESTED AND CERTIFIED AN APPROVED TESTING AGENCY.
- PROTECTION: CONTRACTOR TO PROTECT ALL HISTORIC ELEMENTS DURING CONSTRUCTION AND TO INSTALL PROTECTION IN A MANNER THAT DOES NOT DAMAGE ANY EXISTING AND ADJACENT SURFACES OR FINISHES. PROTECTION SHALL BE FREE STANDING AND NOT ATTACHED DIRECTLY TO ANY HISTORIC FABRIC.
- ALTERNATIVE METHODS AND MATERIALS: PLEASE ADD "IF ALTERNATIVE METHODS AND MATERIALS TO THOSE INDICATED ARE

PROPOSED FOR ANY PHASE OF THE WORK, CONTRACTOR TO PROVIDE A WRITTEN DESCRIPTION INCLUDING EVIDENCE OF SUCCESSFUL USE ON OTHER, COMPARABLE PROJECT, AND PROGRAM OF TESTING TO DEMONSTRATE EFFECTIVENESS FOR USE ON THIS PROJECT TO THE ARCHITECT AND PLANNING DEPARTMENT PRESERVATION STAFF FOR REVIEW AND APPROVAL.
23. CONTRACTOR QUALIFICATIONS: CONTRACTOR SHALL HAVE A MINIMUM OF FIVE (5) YEARS OF EXPERIENCE SPECIALIZING IN CONSTRUCTION PROJECTS OF HISTORIC BUILDINGS THAT FOLLOW THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
24. SUBMITTALS: PRIOR TO DEMOLITION, CONTRACTOR SHALL PROVIDE SAMPLES OF NEW STONE UNIT REPLACEMENT MATERIAL SAMPLE, NEW CONCRETE SAMPLE WITH PROPOSED COLOR AND TEXTURE, AND PROPOSED MORTAR FOR STONE STEPS, SEALANT FOR NEW CONCRETE STEPS, HANDRAIL FINISHES FOR BOTH THE CONCRETE STEPS AND STONE STEPS, AND LIGHT FIXTURE CUT SHEET AND FINISH SAMPLE TO THE ARCHITECT AND PLANNING DEPARTMENT PRESERVATION STAFF FOR REVIEW AND APPROVAL.
25. MOCK UPS: CONTRACTOR SHALL PROVIDE FIELD MOCK-UPS OR SAMPLES OF THE ITEMS LISTED BELOW. IF APPROVED, THE MOCK UPS MAY REMAIN AS PART OF THE FINISHED WORK AND USED AS THE STANDARD FOR JUDGING COMPLETED WORK. REPEAT MOCK-UPS MAY BE REQUIRED UNTIL ACCEPTANCE BY THE ARCHITECT AND PLANNING DEPARTMENT PRESERVATION STAFF.

- STONE SEALANT COLORS.
- CONCRETE COLOR AND TEXTURE SAMPLES ALONG WITH CONCRETE SEALANT COLORS.
- A PLYWOOD MOCK-UP OF THE LIGHT FIXTURE THAT IS AGREED TO BY THE PLANNING DEPARTMENT.
- HANDRAIL FINISH SAMPLES.

**2013
GRACE
CATHEDRAL
GREAT STAIRS
WATERPROOFING
REPAIRS**

1100 California Street,
San Francisco, CA

DESIGN BUILDER



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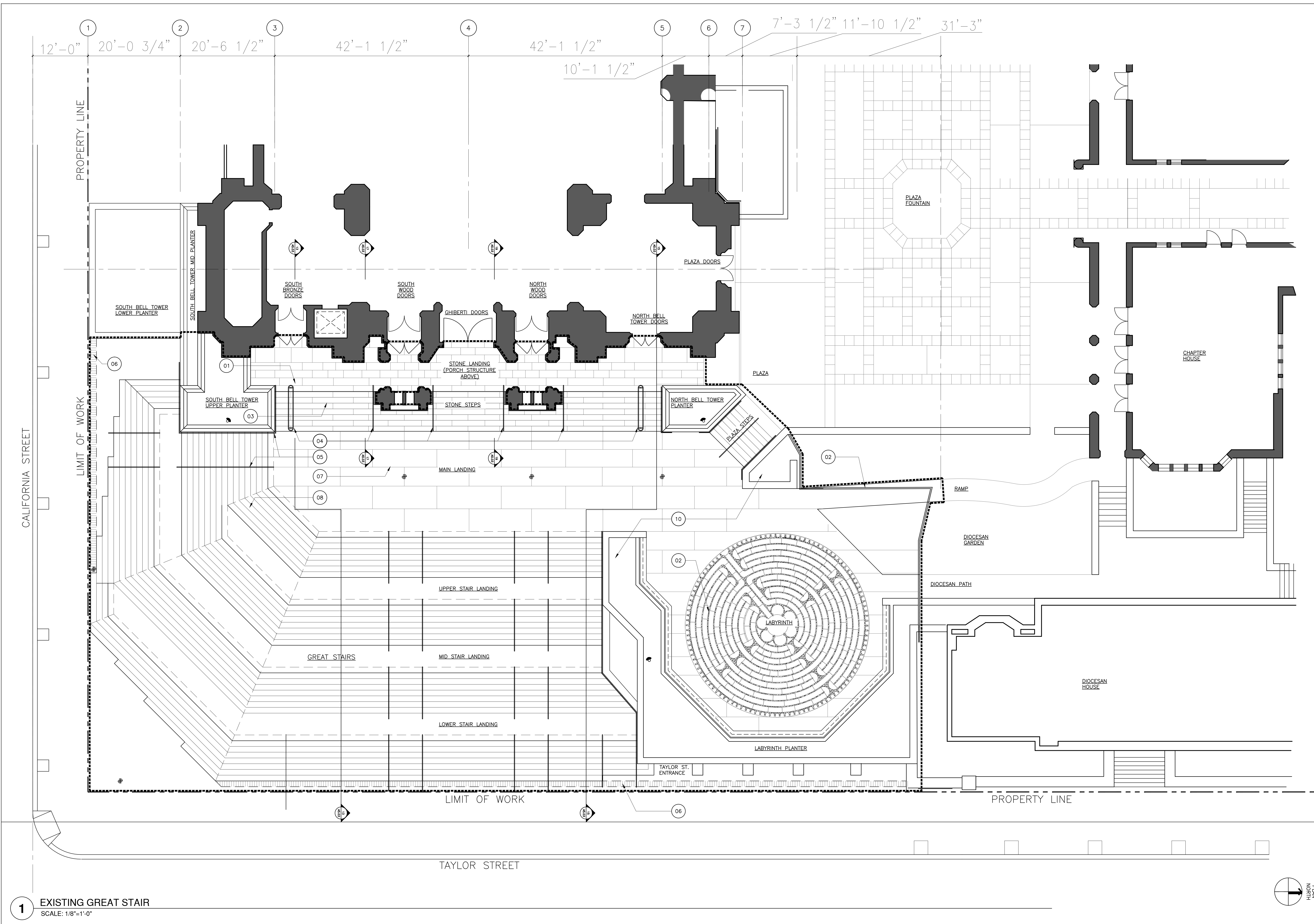
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1 EXISTING GREAT STAIR
SCALE: 1/8"=1'-0"

SHEET NOTES

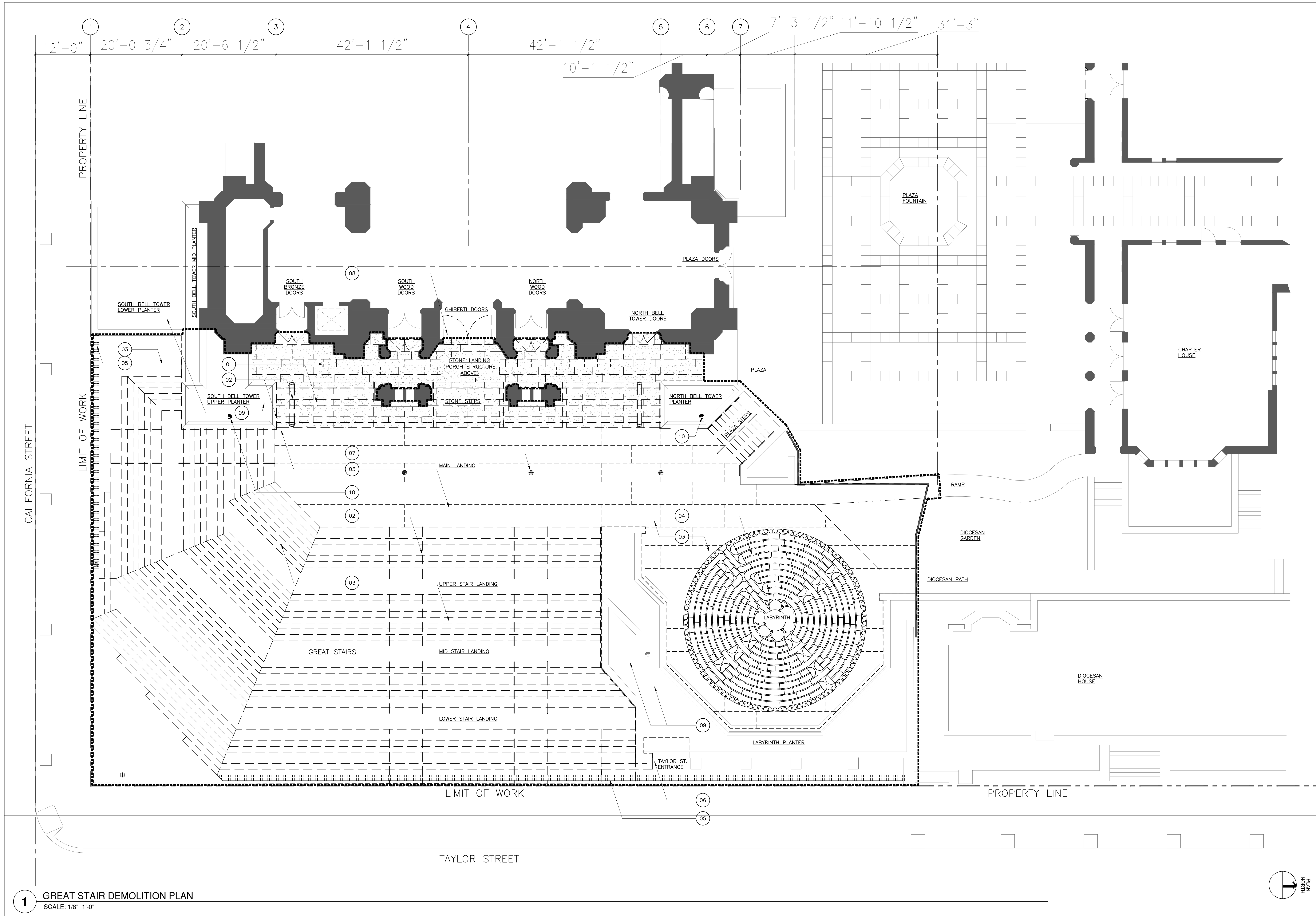
- REFER TO CERTIFICATE OF APPROPRIATENESS APPLICATION AND APPENDICES FOR HISTORIC PHOTOS. REFER TO CONSTRUCTION CHRONOLOGY DIAGRAM, APPENDIX B FOR DETAIL ON CONSTRUCTION HISTORY.

KEY NOTES

- | | |
|-------------------------------------------------|------------------------------|
| 01 STONE PAVING | 06 STONE CAPPED TRENCH DRAIN |
| 02 TERRAZZO LABYRINTH | 07 CONCRETE TOPPING SLAB |
| 03 STONE FINISHED STEPS | 08 CONCRETE STAIR |
| 04 1964 BRONZE HANDRAILS REF. MATERIALS PACKAGE | 09 SEISMIC JOINT |
| 05 1995 BRONZE HANDRAILS, TYP. | 10 CONCRETE PLANTERS, TYP. |

LEGEND

----- LIMIT OF WORK



1 GREAT STAIR DEMOLITION PLAN
SCALE: 1/8"=1'-0"

PROJECT TITLE

2013 GRACE CATHEDRAL GREAT STAIRS WATERPROOFING REPAIRS

1100 California Street, San Francisco, CA

DESIGN BUILDER



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GREAT STAIR DEMOLITION PLAN

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PROTECTION NOTES

- A. PROTECT ALL PARTS OF THE BUILDING FROM DAMAGE NOT REQUIRED BY THE WORK DURING DEMOLITION AND CONSTRUCTION.
- B. ANY ELEMENTS AND MATERIAL THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR THEIR RE-USE.
- C. CATALOG, THROUGH PHOTOGRAPHIC DOCUMENTATION, A LOG OF ORIGINAL, TEMPORARY STORAGE, AND SALVAGED LOCATIONS, WITH PLAN AND ELEVATION DIAGRAMS IF NECESSARY, SO THAT SALVAGED MATERIALS ARE REPLACED IN THE EXACT ORIGINAL LOCATION.
- D. PROTECT ALL (E) MATERIALS AND EXTERIOR AND INTERIOR FINISHES SHOWN TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
- E. WHERE DEMOLITION OCCURS WITHIN 1'-0" OF EXISTING CONCRETE VERTICAL SURFACES, CONTRACTOR TO PROVIDE 1/2" MIN FIRE RETARDANT PLYWOOD TEMPORARY FREE STANDING PROTECTION BOARDS TO A HEIGHT OF 4'-0" FOR THE DURATION OF THAT AREA'S DEMOLITION.
- F. INSTALL AND MOUNT NON DESTRUCTIVELY TEMPORARY PLASTIC SHEETING OVER ALL VERTICAL SURFACES ADJACENT TO THE AREA OF WORK AND LAP ALL PANELS MIN. 1'-0" FOR THE DURATION OF THE NEW CONCRETE WORK.
- G. CONTRACTOR TO PROVIDE ELEVATIONS SHOWING LOCATION OF ALL PROTECTION FOR ARCHITECT AND PLANNING DEPARTMENT REVIEW AND APPROVAL PRIOR TO ANY WORK.

SHEET NOTES

1. REFER TO CERTIFICATE OF APPROPRIATENESS APPLICATION AND APPENDICES HISTORIC PHOTOS, CHRONOLOGY DIAGRAM AND , APPENDIX B FOR DETAIL ON CONSTRUCTION HISTORY.
2. FOR INFORMATION ON THE REMOVAL AND REPLACEMENT OF THE Ghiberti Doors, SEE Ghiberti Door PIVOT REPLACEMENT, G0.01
3. REFER TO WATERPROOFING DRAWINGS FOR EXTENT OF DEMOLITION REQUIRED FOR REPAIR.
4. TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE COST EFFECTIVE TO RETAIN FOR THE NEW CONSTRUCTION, I.E. EXISTING WALLS, ELECTRICAL DEVICES, ETC.

KEY NOTES

- 01 REMOVE STONERWORK FINISH AT STONE STAIRS AND STONE LANDING FOR REPLACEMENT IN KIND
- 02 REMOVE BRONZE HANDRAILS FOR REPLACEMENT, TYP.
- 03 REMOVE CONCRETE CONCRETE TOPPING SLAB AND CONCRETE STAIRS, TYP.
- 04 REMOVE AND DISCARD TERRAZZO FINISH AT LABYRINTH
- 05 REMOVE STONE CAP, ID EACH STONE FOR REPLACEMENT. STORE CAP ON SITE. CLEAN TRENCH DRAIN
- 06 REMOVE LANDING AT TAYLOR STREET ENTRANCE FOR REPLACEMENT.
- 07 REMOVE DRAINS FOR REPLACEMENT, TYP.
- 08 REMOVE AND STORE Ghiberti DOORS, SEE Ghiberti Door PIVOT REPAIR, G0.00
- 09 PLANTERS TO REMAIN, PROTECT PLANTS AND TREES, TYP.
- 10 REMOVE EXISTING LAMPPOST AND FOR REPLACEMENT, S.E.D.

LEGEND

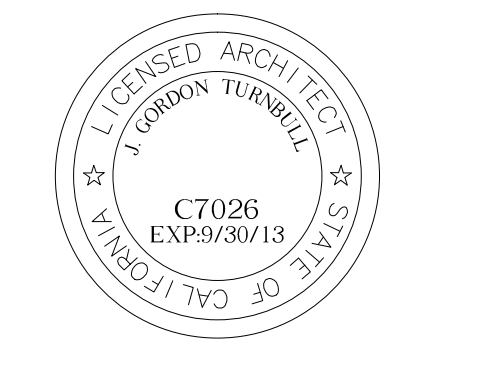
- LIMIT OF WORK
- EXISTING ELEMENT TO REMAIN AND PROTECT
- ELEMENT REMOVED
- STONE, REMOVED

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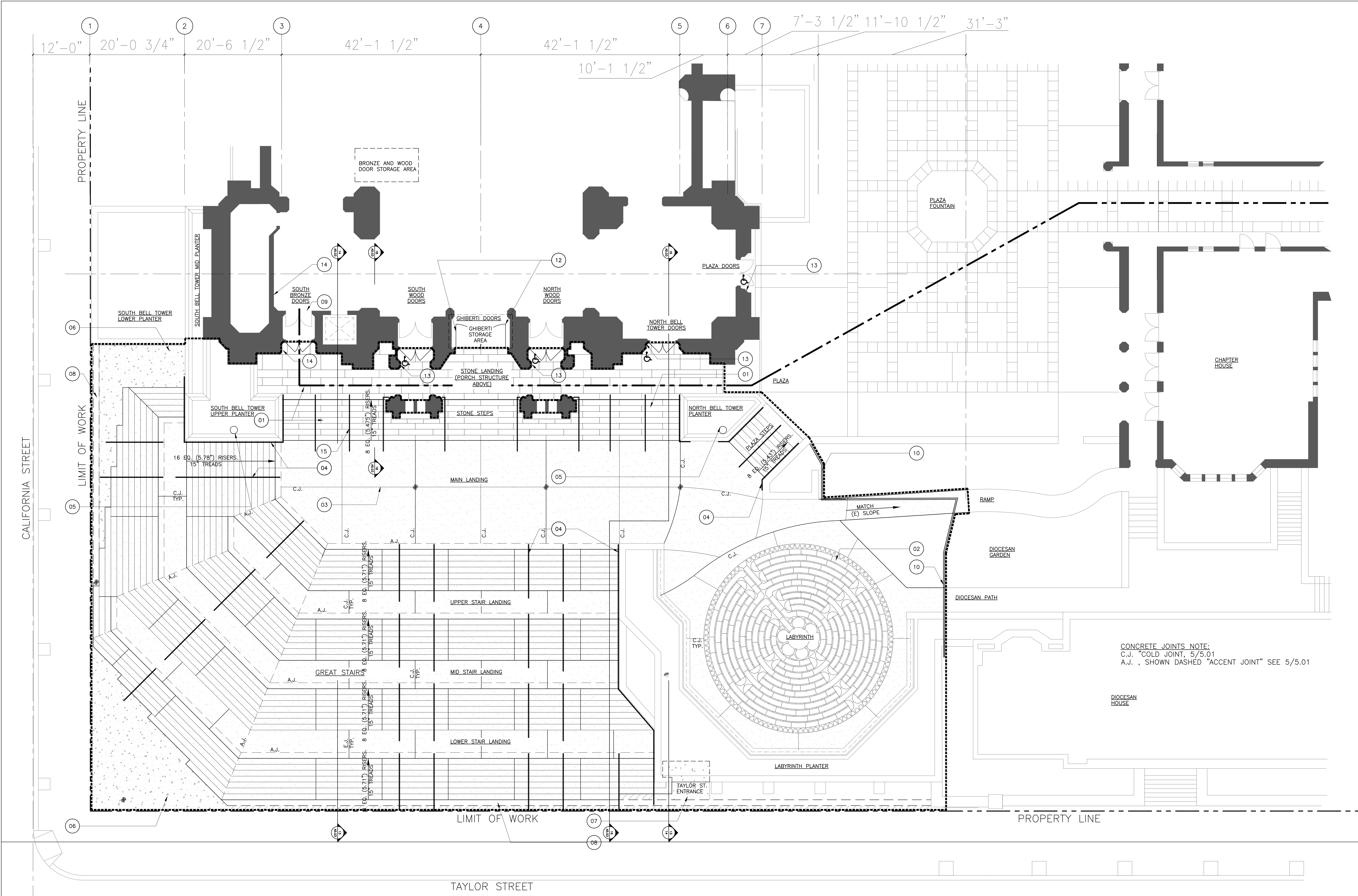


ISSUE

BARRIER REMOVAL PERMIT	06.18.12
BID COORDINATION SET	01.28.13
ISSUE FOR PERMIT	02.20.13
PERMIT REVISIONS	05.22.13

SHEET TITLE
GREAT STAIRS PLAN

PRINT DATE: 5/28/2013
 SCALE: AS NOTED
 DRAWN BY: ---
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 JOB NO.: 11192
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1 GREAT STAIRS PLAN
 SCALE: 1/8"=1'-0"

MATERIAL NOTES

- STONE STEPS:
 - MATCH NEW STONE STEPS WITH CALIFORNIA STREET ENTRANCE STEP GRANITE; SIERRA WHITE OR EQUAL.
- STONE LABYRINTH:
 - PROVIDE GRAY GRANITE SIMILAR STONE STEPS FOR LARGER STONE PATH INTER SPACED WITH RED GRANITE SIMILAR PLAZA.
 - VISIBLE GROUT TO MATCH EXISTING.
- NEW CONCRETE:
 - MATCH (E) PLAZA CONCRETE COLOR AND TEXTURE.
- SEALANT:
 - PROVIDE MEDIUM GRAY SEALANT.
- HANDRAILS:
 - PROVIDE BRONZE HANDRAILS TO MATCH (E) & HANDRAILS AT STONE STEPS THAT ARE MORE DECORATIVE

SHEET NOTES

- FOR C.J. CONCRETE JOINTS SEE 5/A5.01
- PROVIDE ADA SIGNAGE, SEE A8.01
- INTERNATIONAL SYMBOL OF ACCESSIBILITY AND ARROWS AT EACH NON CONFORMING DOOR ON THE MAIN CATHEDRAL LEVEL TOWARDS THE SOUTH BRONZE DOOR
- INTERNATIONAL SYMBOL OF ACCESSIBILITY ON HIGH AND LOW BUTTONS OUTSIDE AND INSIDE AT THE SOUTH BRONZE DOOR FOR THE INNER GLASS DOOR
- INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE TAYLOR STREET ENTRANCE
- PROVIDE "PRIVATE PROPERTY", "NO SKATEBOARDING" AND INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH ARROW IN THE RISERS OF THE LOWER STAIR LANDING

KEY NOTES

01 NEW STONE PAVING TO MATCH EXISTING AT STONE STEPS AND STONE LANDING	06 NEW CONCRETE SIDEWALK TO MATCH EXISTING	12 REPAIR GIBERTI DOOR PIVOT AND REPLACE DOORS. SEE PIVOT REPAIR NOTES/ 00.00
02 NEW LABYRINTH STONE WORK TO REPLACE EXISTING TERRAZZO	07 NEW CONCRETE LEVEL LANDING, SEE A2.03	13 6"x6" ISA DIRECTIONAL SIGN WITH ARROW 5'-0" A.F.F. SEE A8.01
03 NEW CONCRETE PAVING WITH JOINTING AS SHOWN	08 REPLACE STONE CAP, AS PREVIOUSLY LOCATED.	14 MOUNT NEW STAINLESS STEEL WIRELESS DOOR OPERATOR TO EXISTING ALUMINUM DOOR HEAD AND HIGH & LOW BUTTONS WITH ISA SYMBOLS TO EXISTING CONCRETE. SEE A5.01 FOR HEIGHTS, NOTES AND DETAILS
04 NEW HANDRAILS, TYP. SEE STAIR & HANDRAIL SECTIONS, A5.03	09 NEW DOOR OPERATOR	15 NEW HANDRAILS AT STONE STEPS, REF TO STAIR AND HANDRAIL SECTIONS A5.03 & HANDRAIL DETAILS A5.04, TYP.
05 NEW LAMP POST AT EXISTING LOCATION, S.E.D.	10 SEISMIC JOINT, SEE WATERPROOFING DRAWINGS	
	11 NEW LAMP POST, S.E.D.	

LEGEND

-----	LIMIT OF WORK
-----	EXISTING ELEMENT TO REMAIN AND PROTECT
-----	EXTENT OF NEW CONCRETE
-----	NEW SIDEWALK
-----	ACCESSIBLE PATH OF TRAVEL
-----	ACCESSIBLE SIGNAGE
-----	ACCENT JOINT

PROJECT TITLE
**2013
 GRACE
 CATHEDRAL
 GREAT STAIRS
 WATERPROOFING
 REPAIRS**

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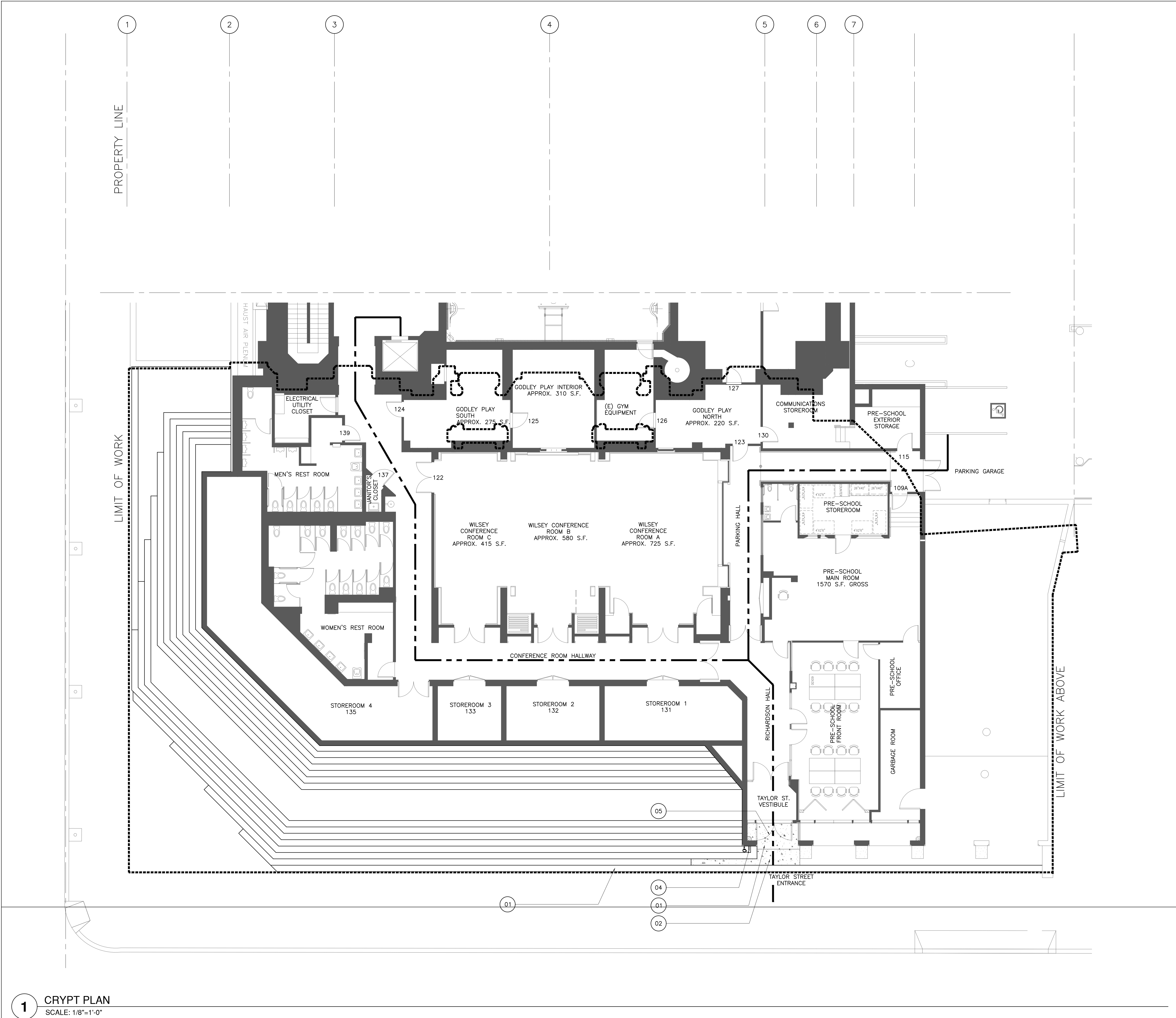
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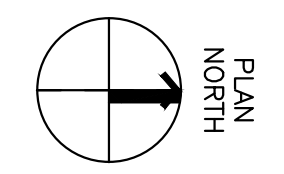


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1 CRYPT PLAN
 SCALE: 1/8"=1'-0"



SHEET NOTES		KEY NOTES	LEGEND	SHEET TITLE
1.	FOR WORK AT GREAT STAIRS SEE A2.02	01	----- LIMIT OF WORK	CRYPT PLAN
2.	FOR STONE CAP REPLACEMENT SCOPE, SEE A2.02	02	----- EXISTING ELEMENT TO REMAIN AND PROTECT	
3.	PROTECT ALL HISTORIC ELEMENTS DURING CONSTRUCTION (INCLUDING DEMOLITION) AND TO INSTALL PROTECTION IN A MANNER THAT DOES NOT DAMAGE ANY EXISTING AND ADJACENT SURFACES OR FINISHES. PROTECTION SHALL BE FREE STANDING AND NOT ATTACHED DIRECTLY TO ANY HISTORIC FABRIC.	03	----- NEW SIDEWALK	PRINT DATE 5/28/2013
		04	----- ACCESSIBLE PATH OF TRAVEL	SCALE AS NOTED
		05	♿ ACCESSIBLE SIGNAGE	DRAWN BY ---
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A2.03

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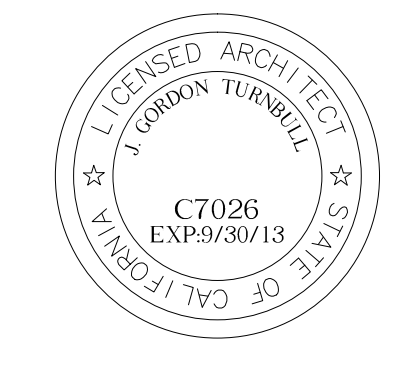
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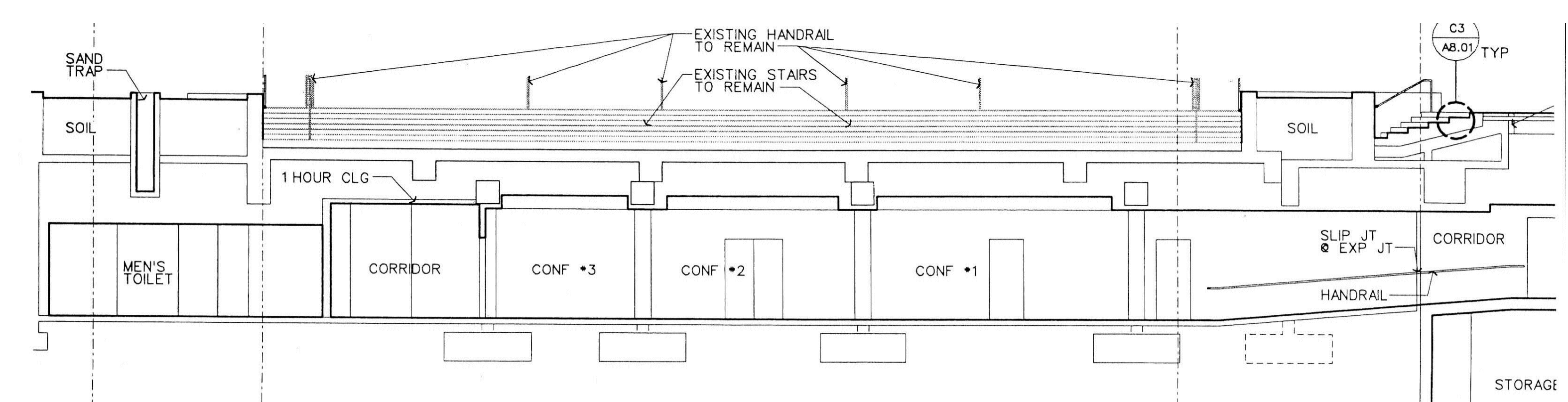
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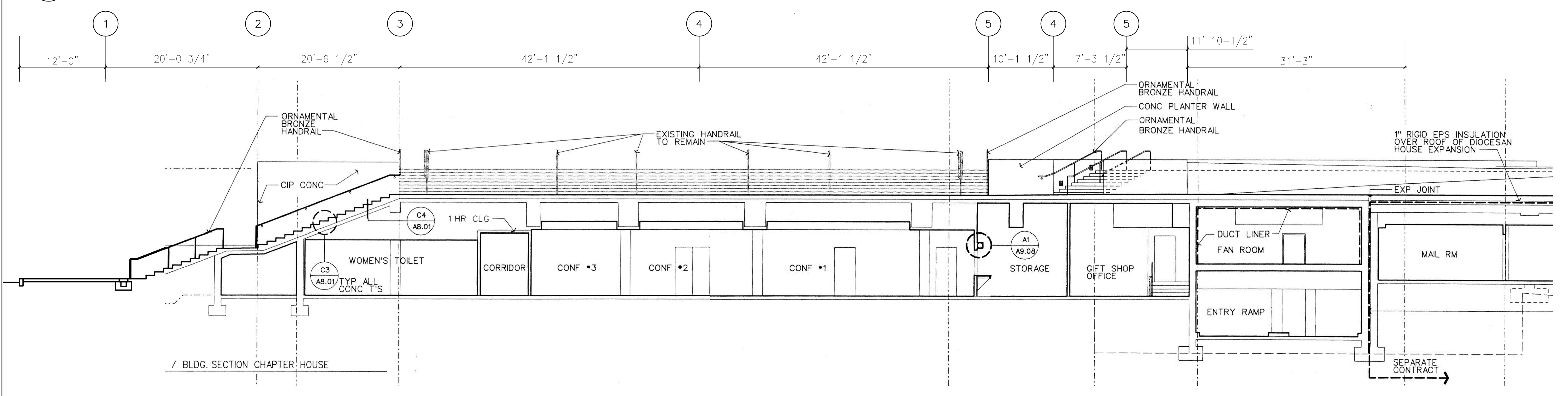


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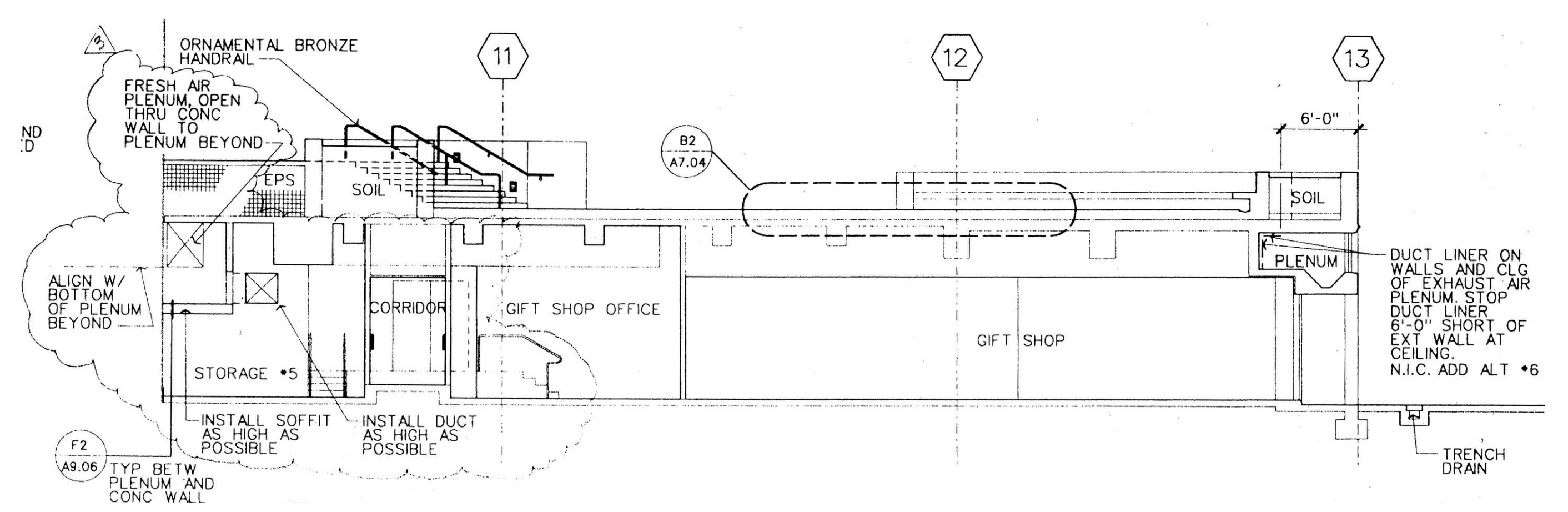
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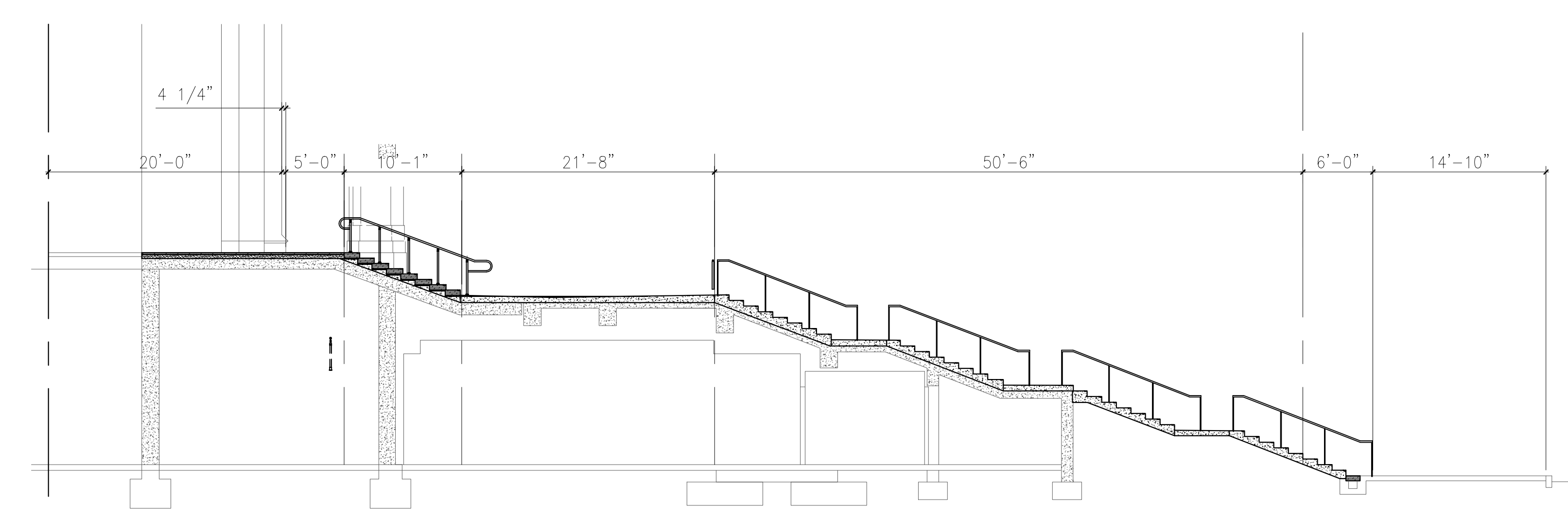
1 STAIR SECTION FROM 1994 FOR REFERENCE ONLY (NOT IN SCOPE)
 SCALE: 1/8"=1'-0"



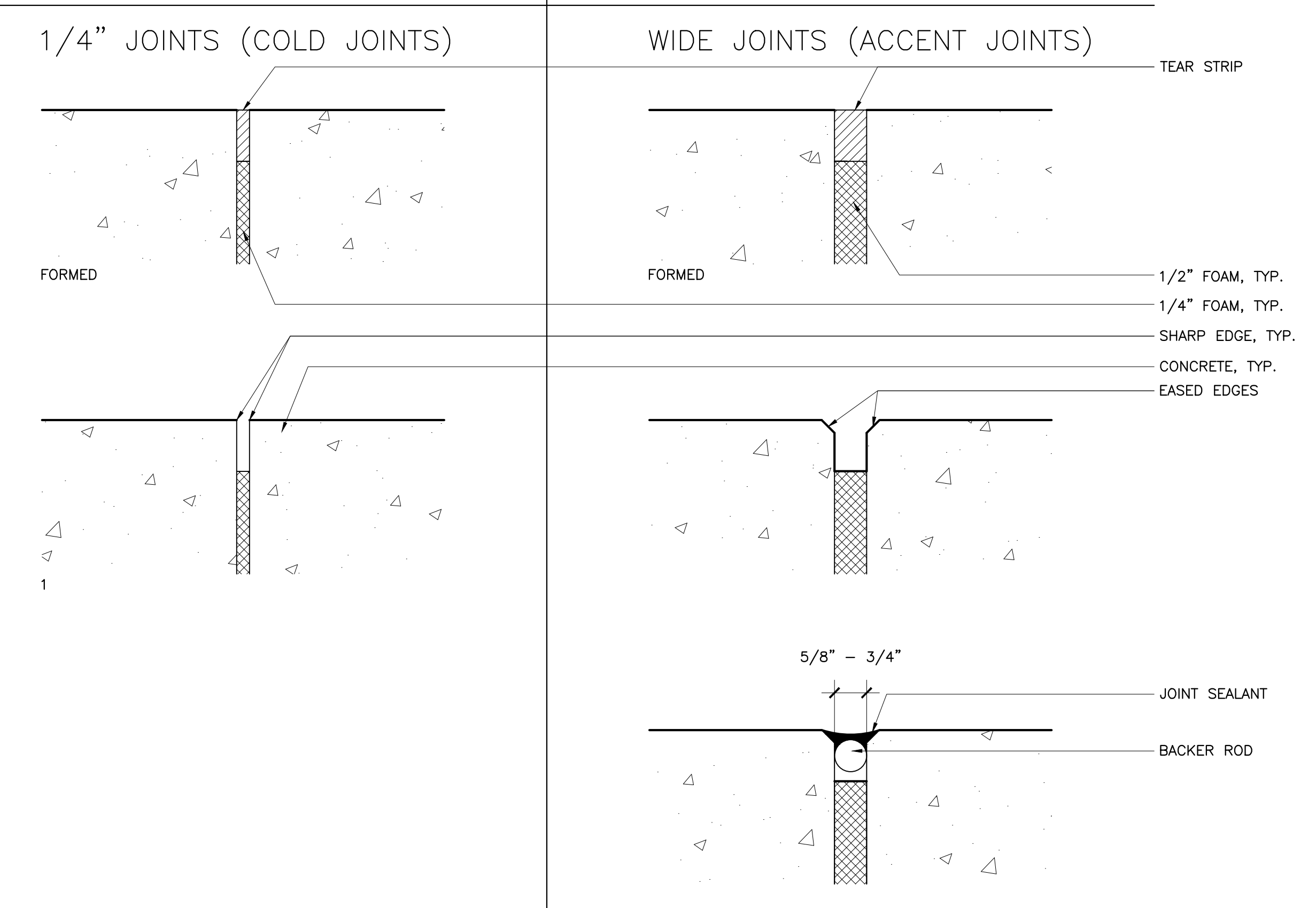
2 STAIR SECTION FROM 1994 FOR REFERENCE ONLY (NOT IN SCOPE)
 SCALE: 1/8"=1'-0"



3 STAIR SECTION FROM 1994 FOR REFERENCE ONLY (NOT IN SCOPE)
 SCALE: 1/8"=1'-0"



4 PROPOSED STAIR SECTION FOR REFERENCE ONLY. SEE A5.03 FOR MORE INFORMATION
 SCALE: 1/8"=1'-0"



5 TYPICAL JOINTS
 SCALE: 6"=1'-0"

SHEET TITLE
STAIR SECTIONS

PRINT DATE
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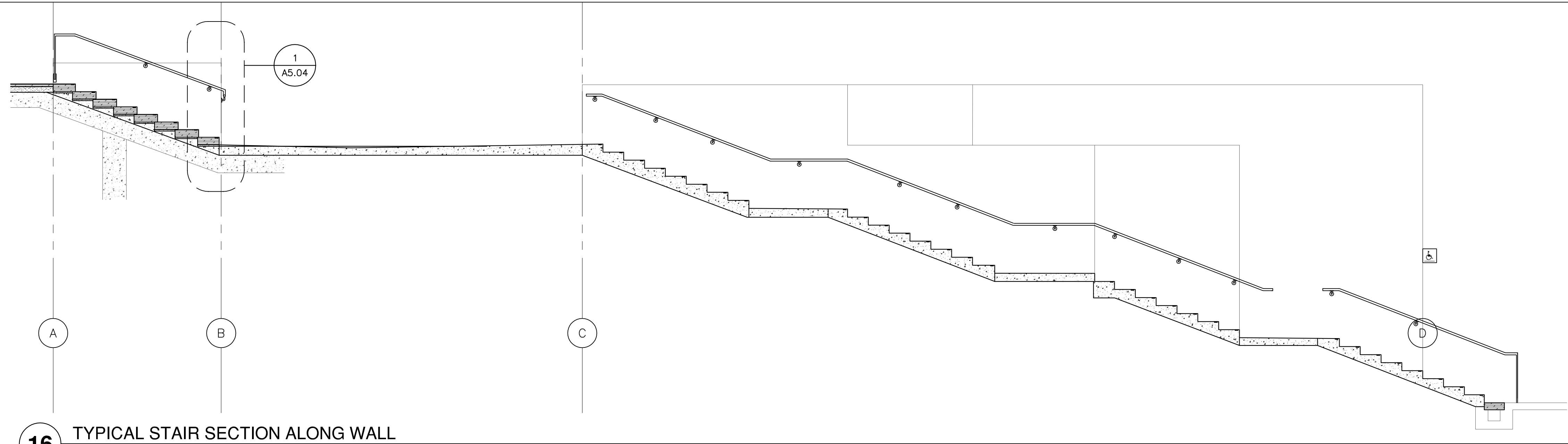
STAIR AND HANDRAIL
SECTIONS

5/29/2013

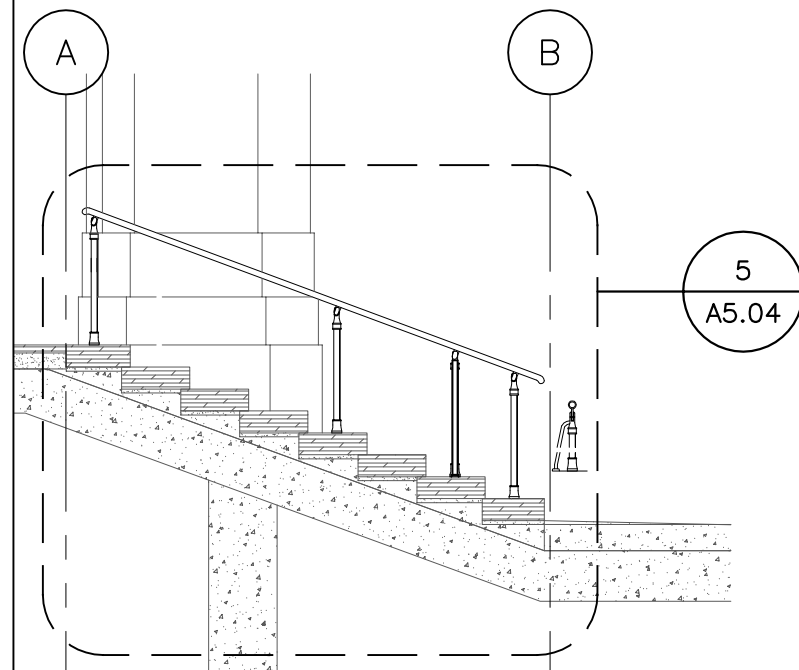
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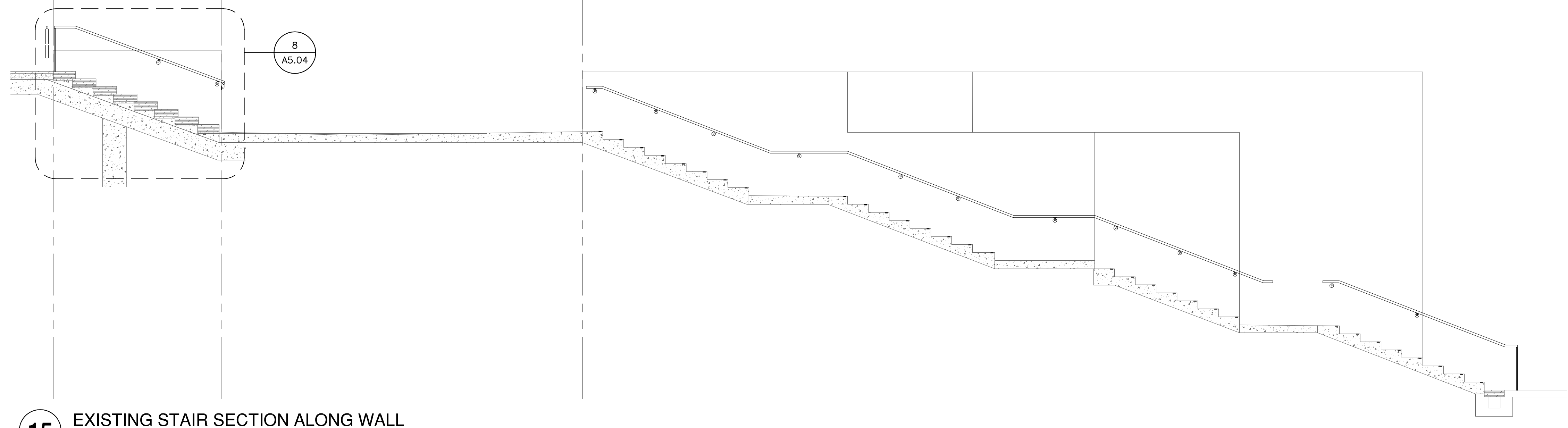
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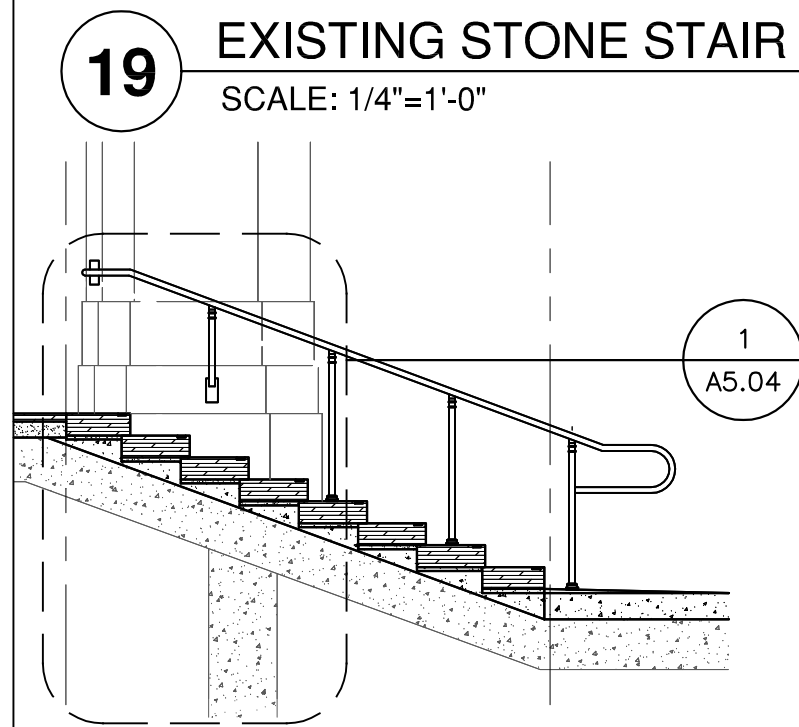
16 TYPICAL STAIR SECTION ALONG WALL
SCALE: 1/4"=1'-0"



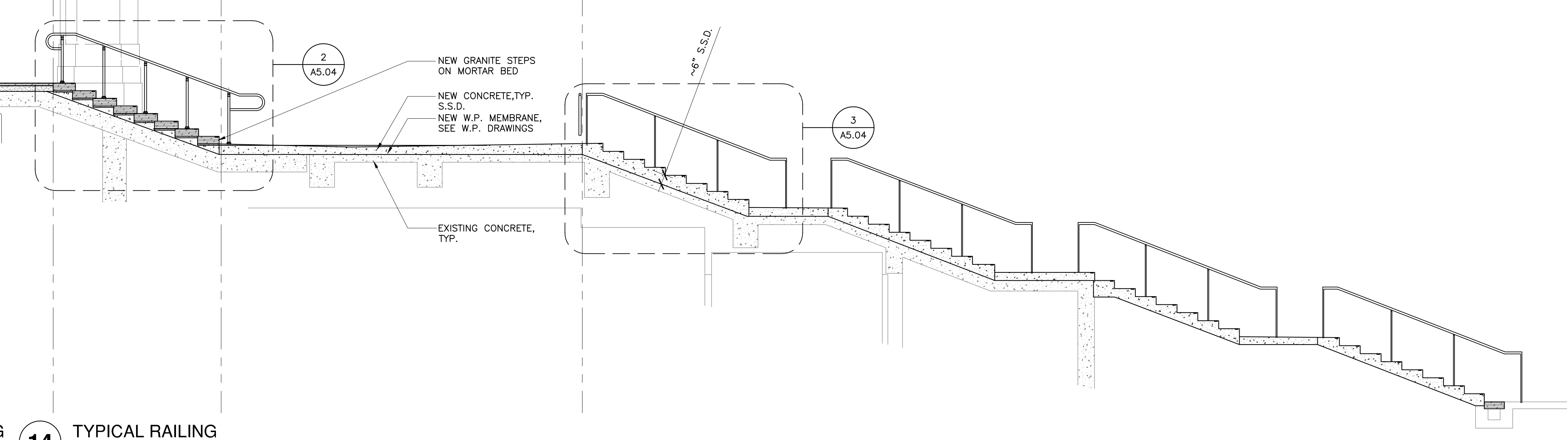
19 EXISTING STONE STAIR
SCALE: 1/4"=1'-0"



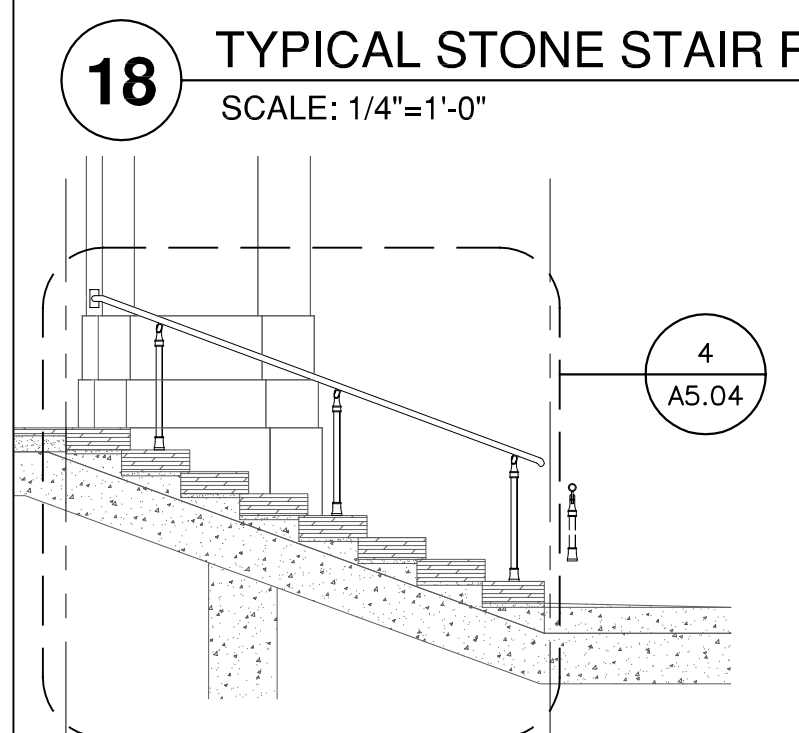
15 EXISTING STAIR SECTION ALONG WALL
SCALE: 1/4"=1'-0"



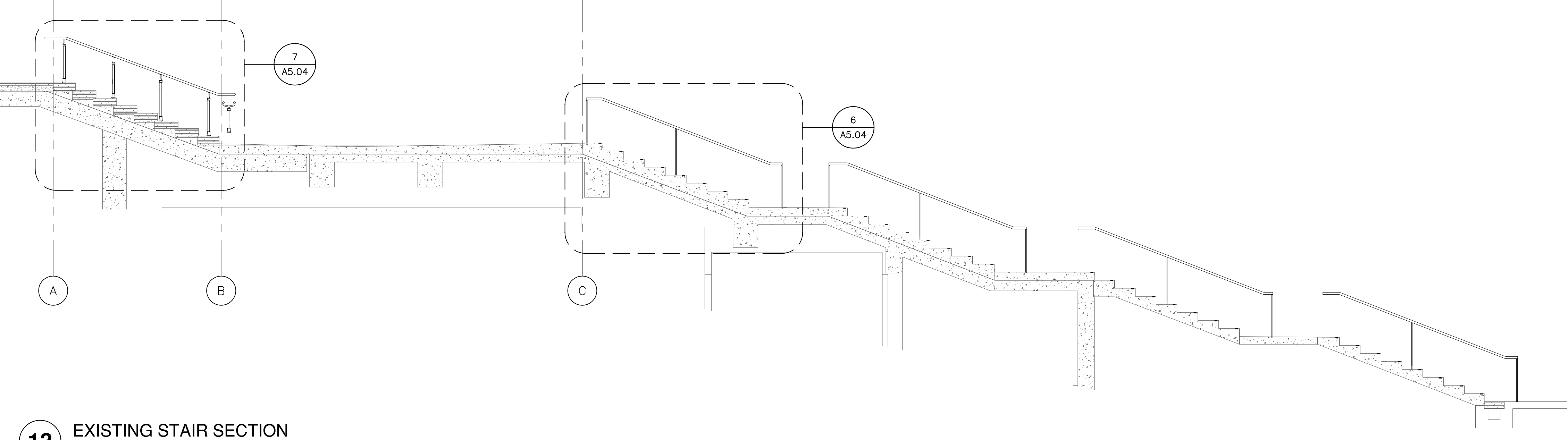
18 TYPICAL STONE STAIR RAILING
SCALE: 1/4"=1'-0"



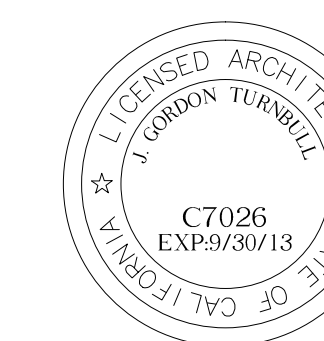
14 TYPICAL RAILING
SCALE: 1/4"=1'-0"



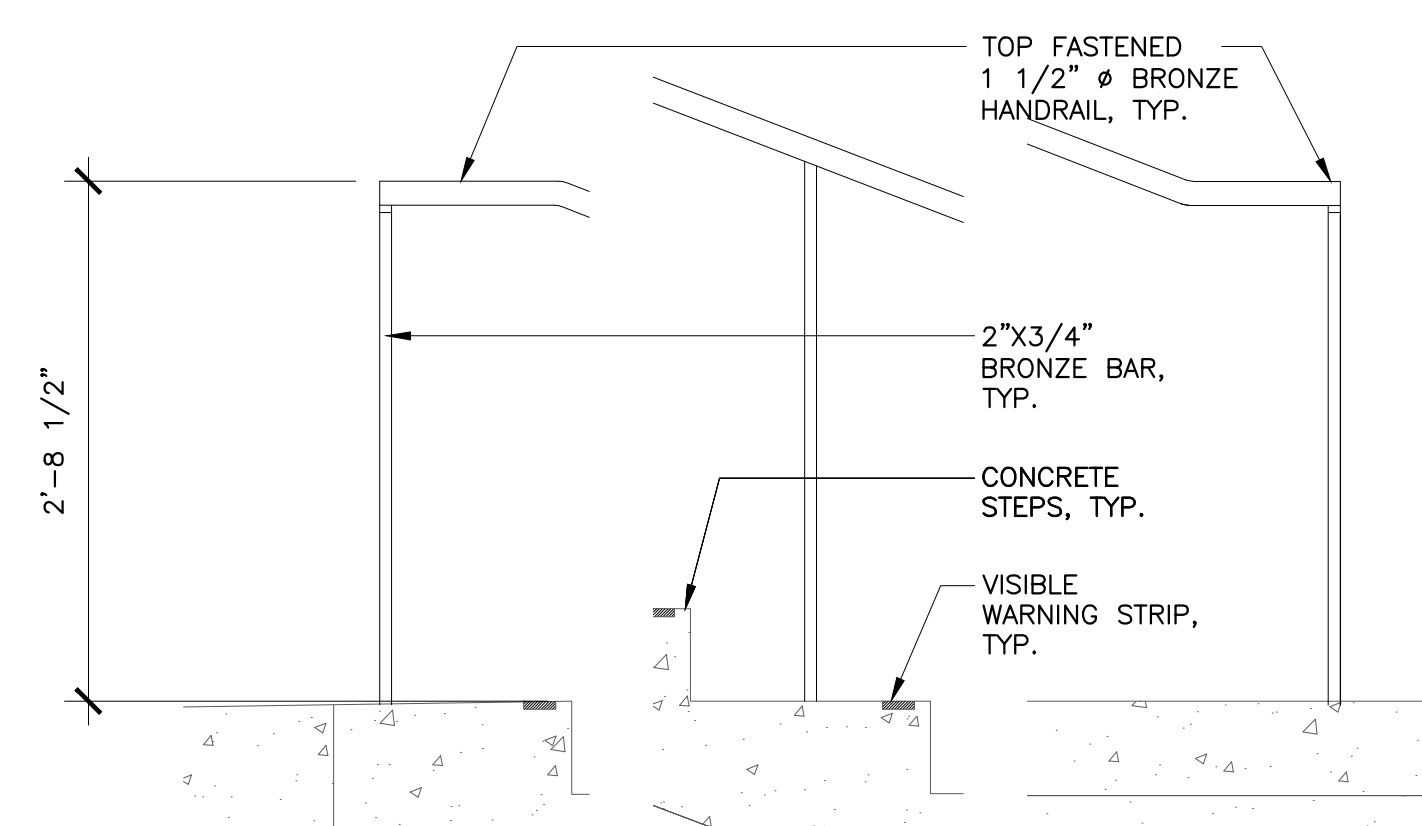
17 EXISTING STONE STAIR
SCALE: 1/4"=1'-0"



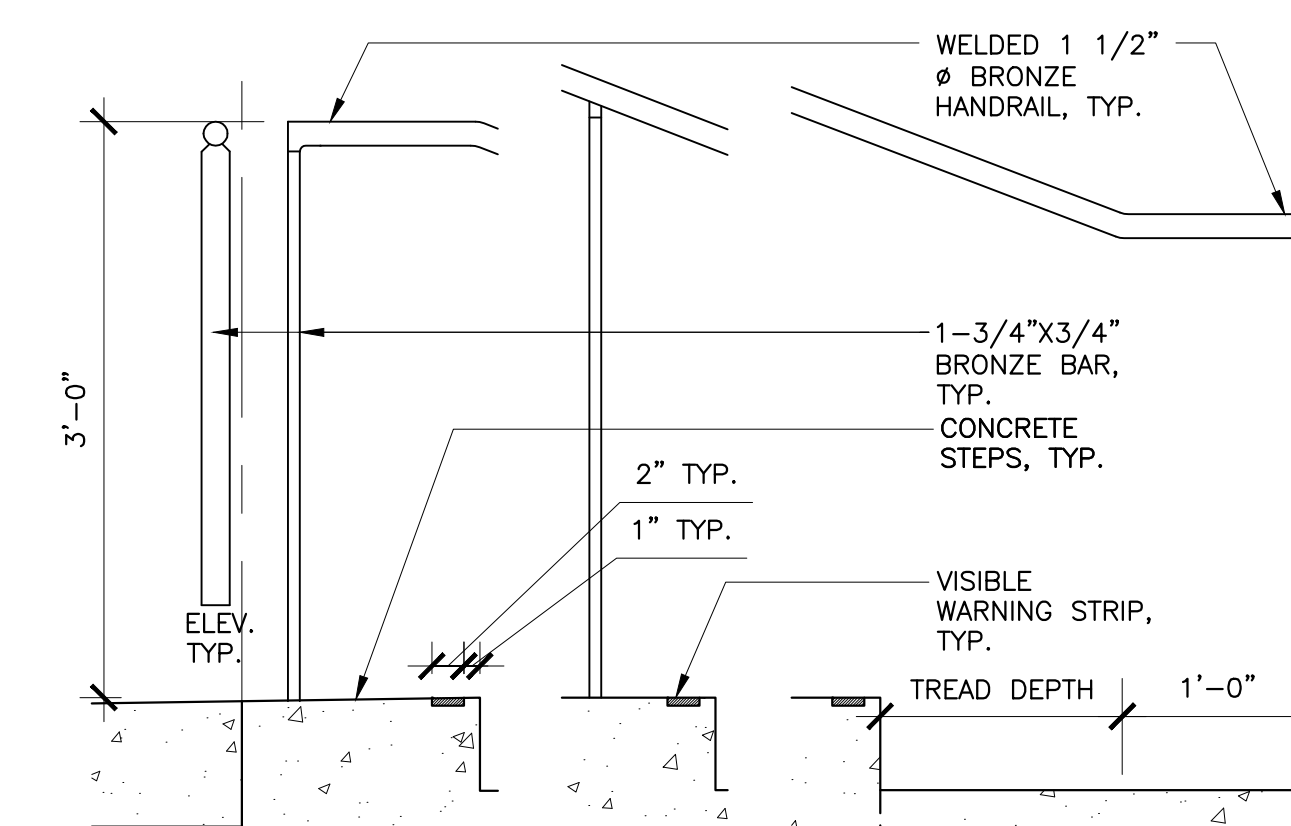
13 EXISTING STAIR SECTION
SCALE: 1/4"=1'-0"



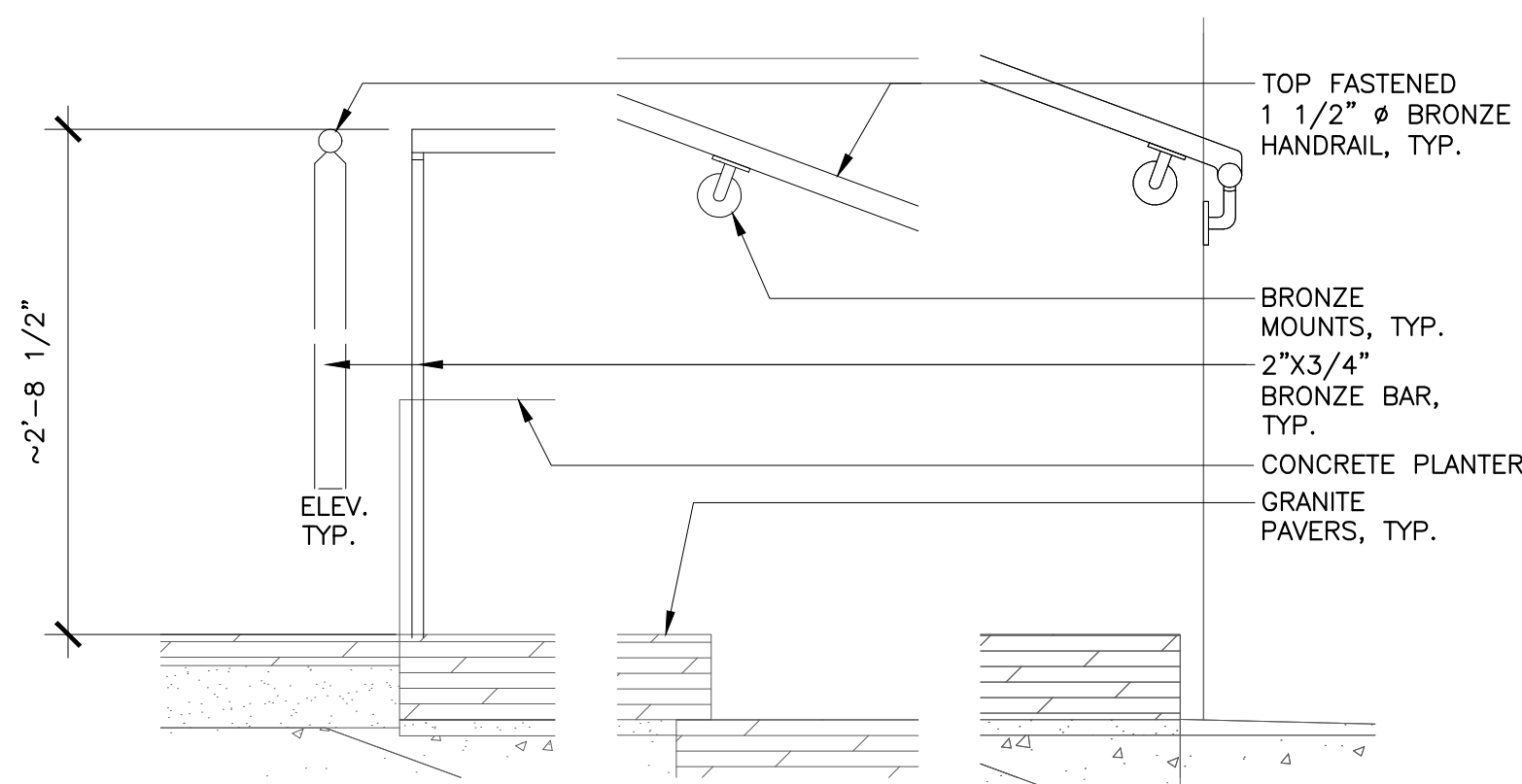
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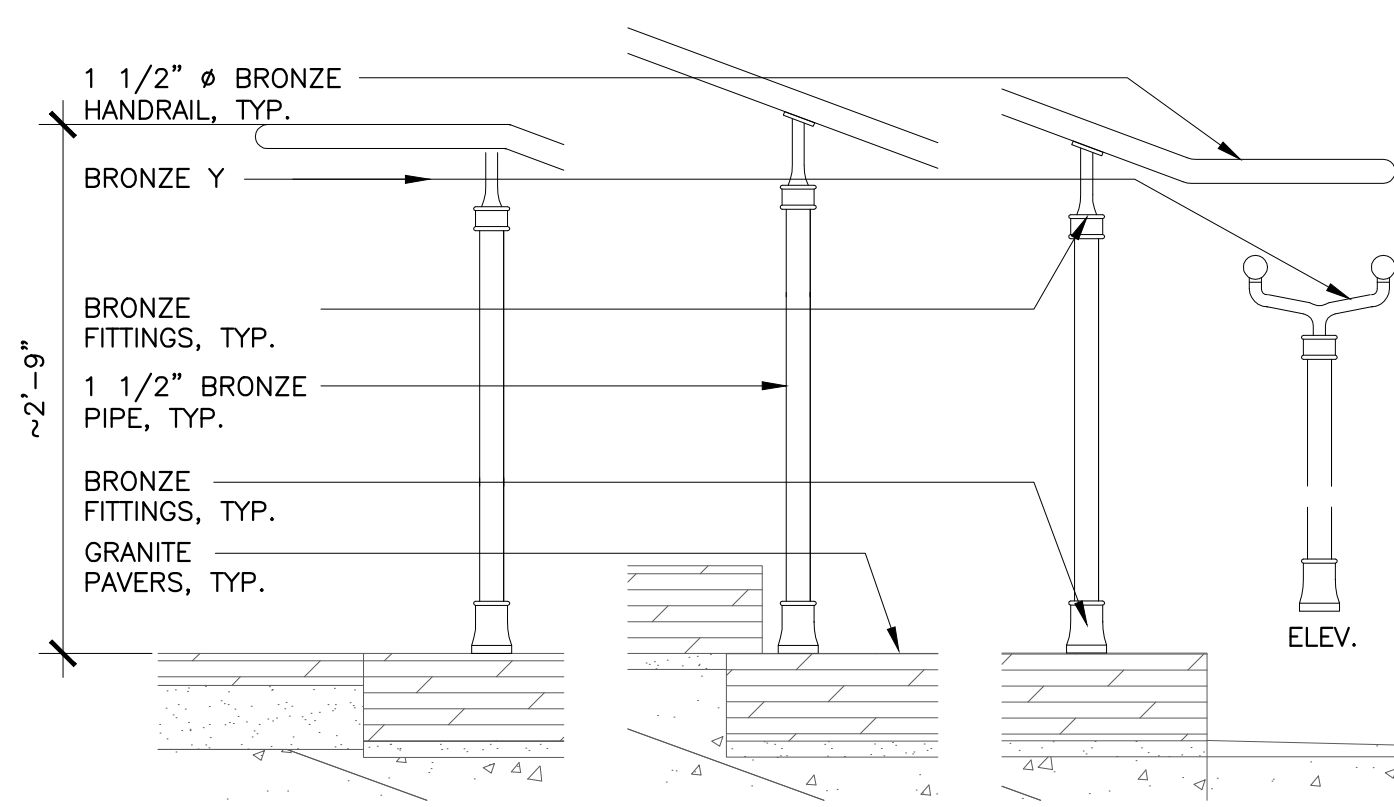
6 EXISTING CONCRETE STAIR DETAIL
SCALE: 1"=1'-0"



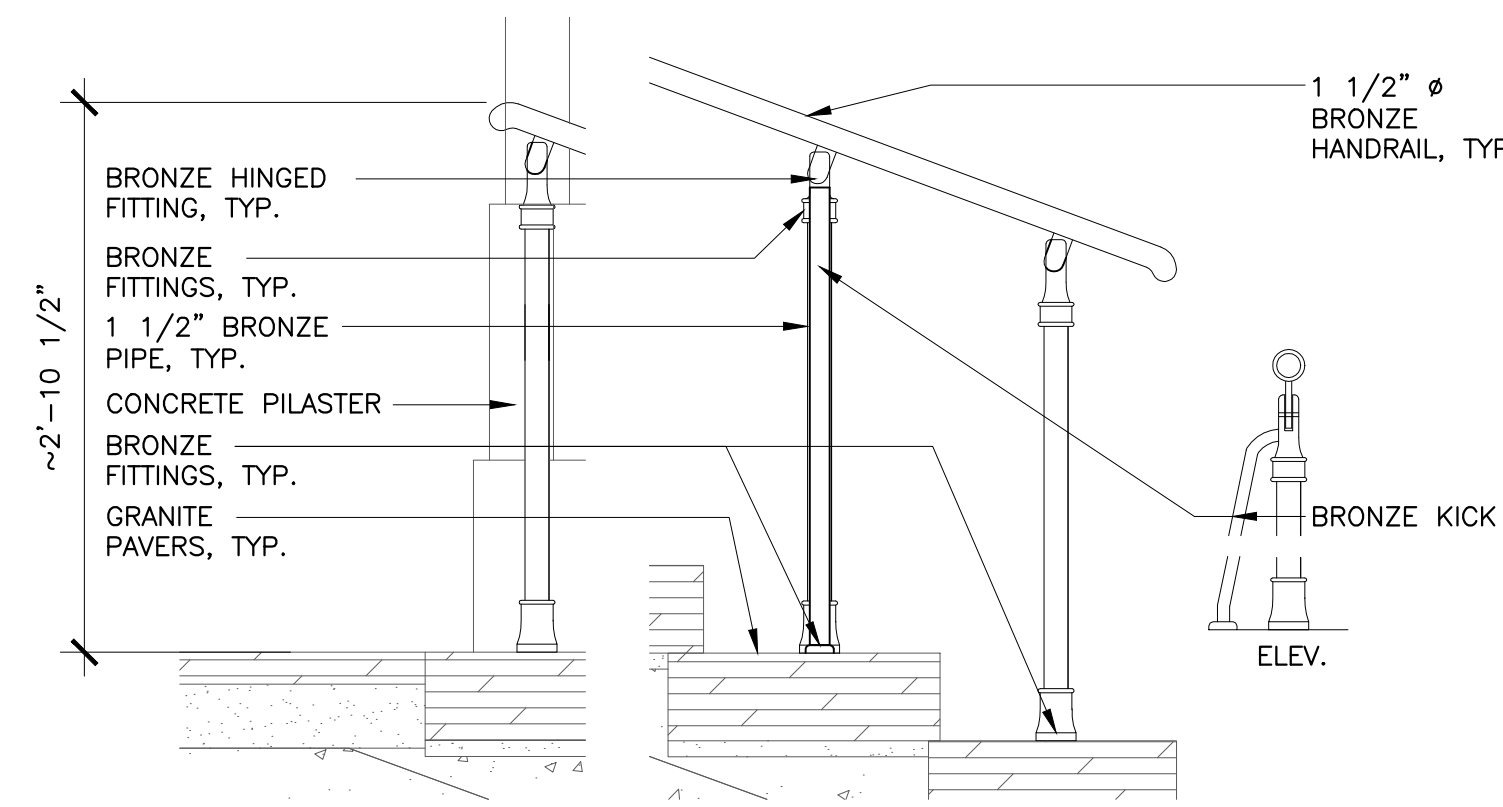
3 TYPICAL CONCRETE STAIR HANDRAIL
SCALE: 1"=1'-0"



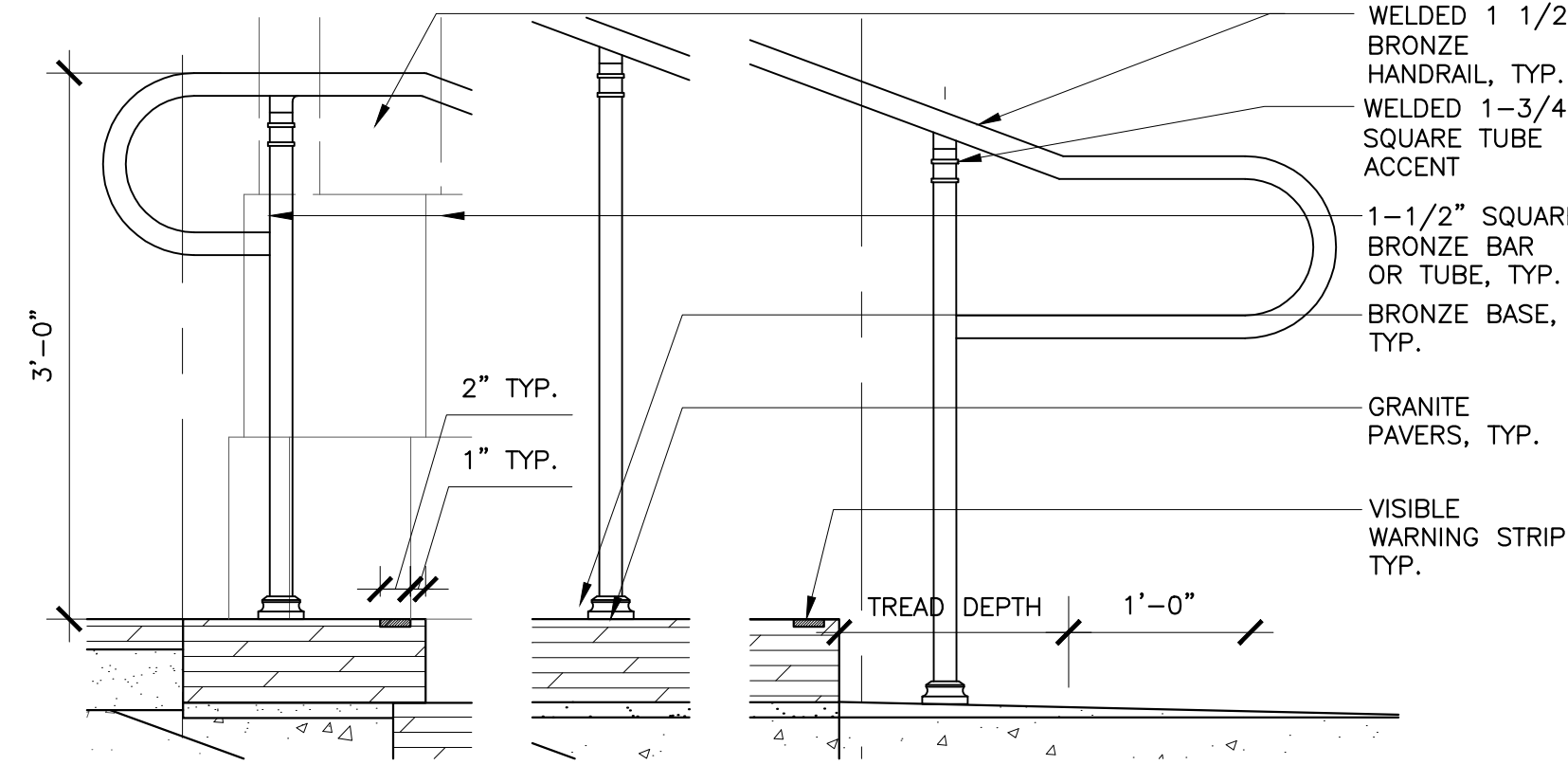
8 EXISTING STONE STAIR DETAIL @ 4.1
SCALE: 1"=1'-0"



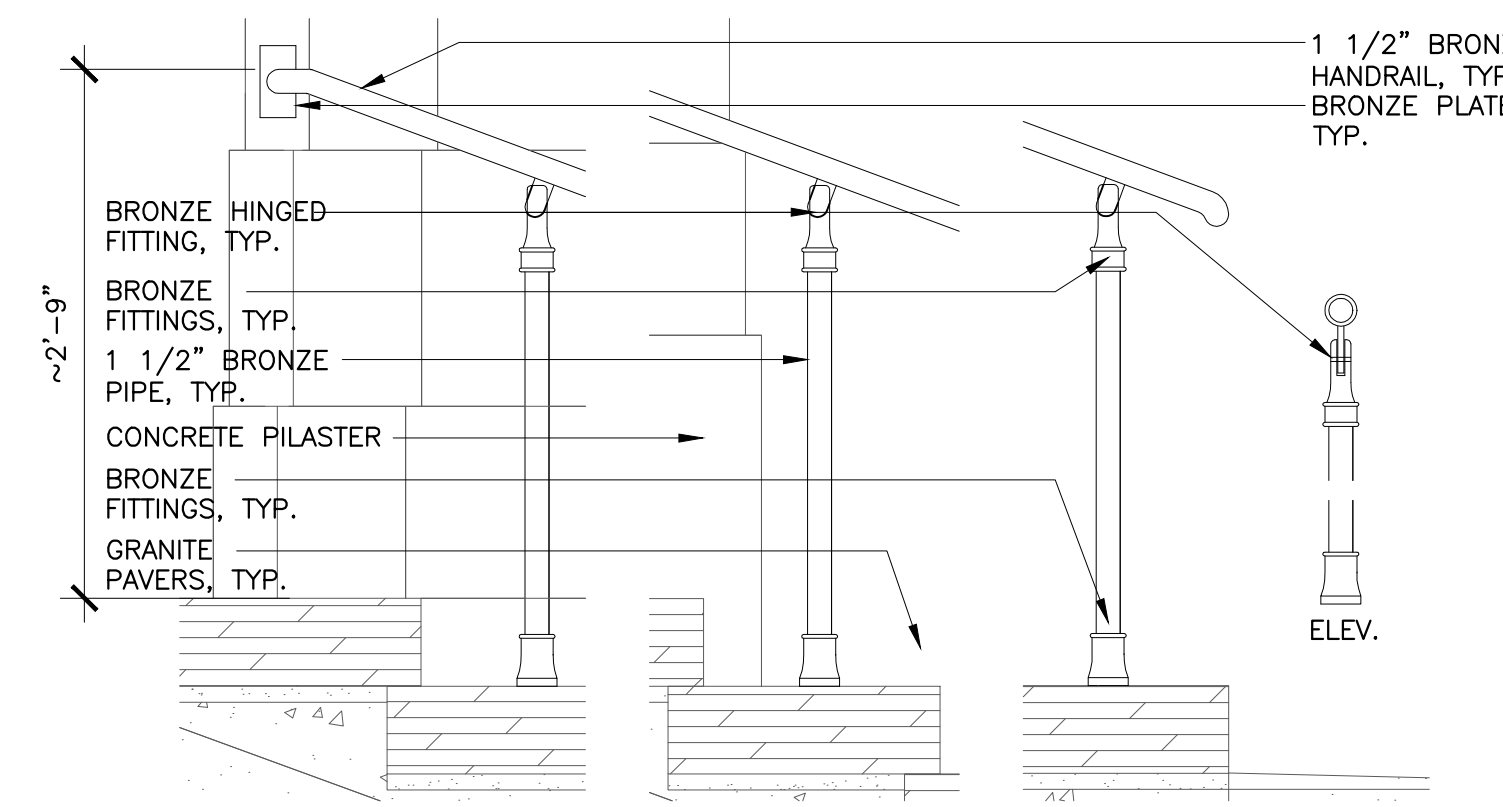
7 EXISTING STONE STAIR DETAIL @ 3.1
SCALE: 1"=1'-0"



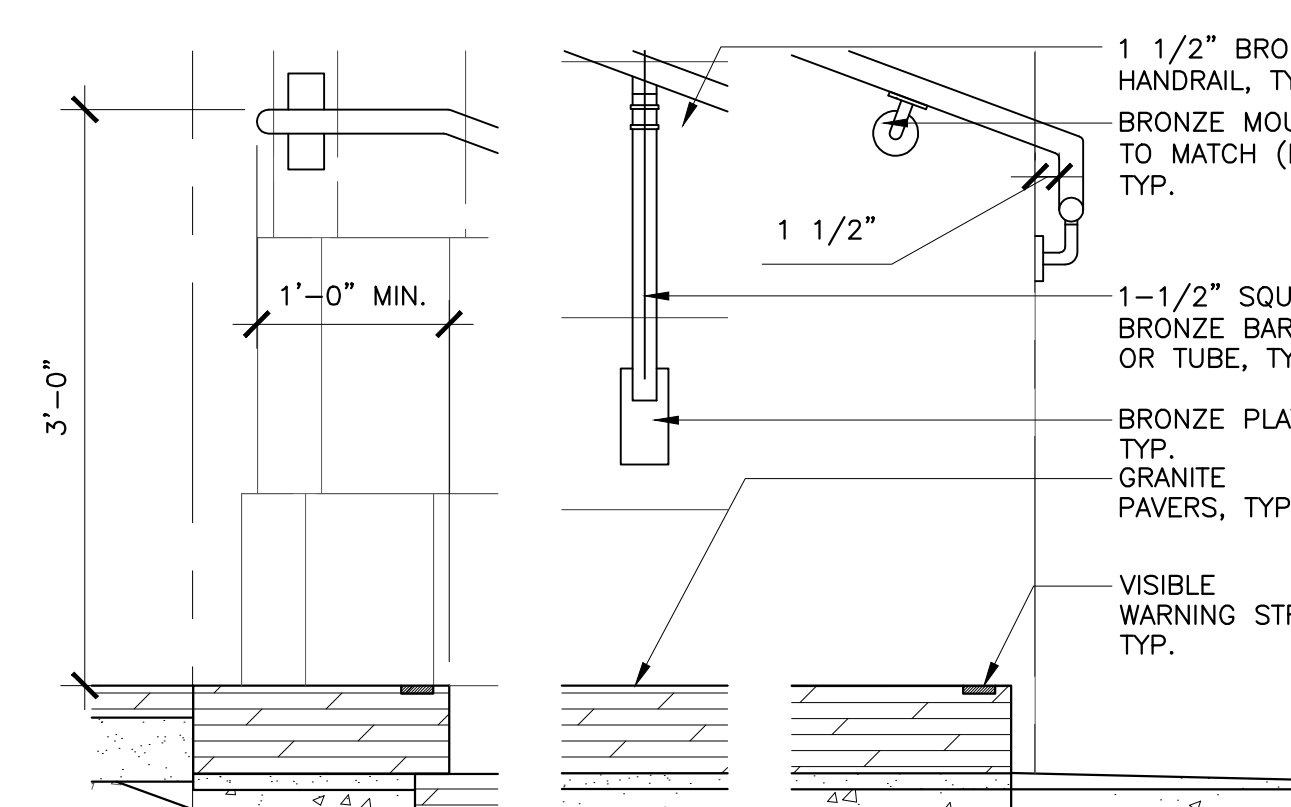
5 EXISTING STONE STAIR DETAIL @ 4.1
SCALE: 1"=1'-0"



2 PROPOSED STONE STEPS HANDRAIL
SCALE: 1"=1'-0"



4 EXISTING STONE STAIR DETAIL @ 3.2
SCALE: 1"=1'-0"



1 PROPOSED STONE STEP HANDRAILS AT WALL
SCALE: 1"=1'-0"



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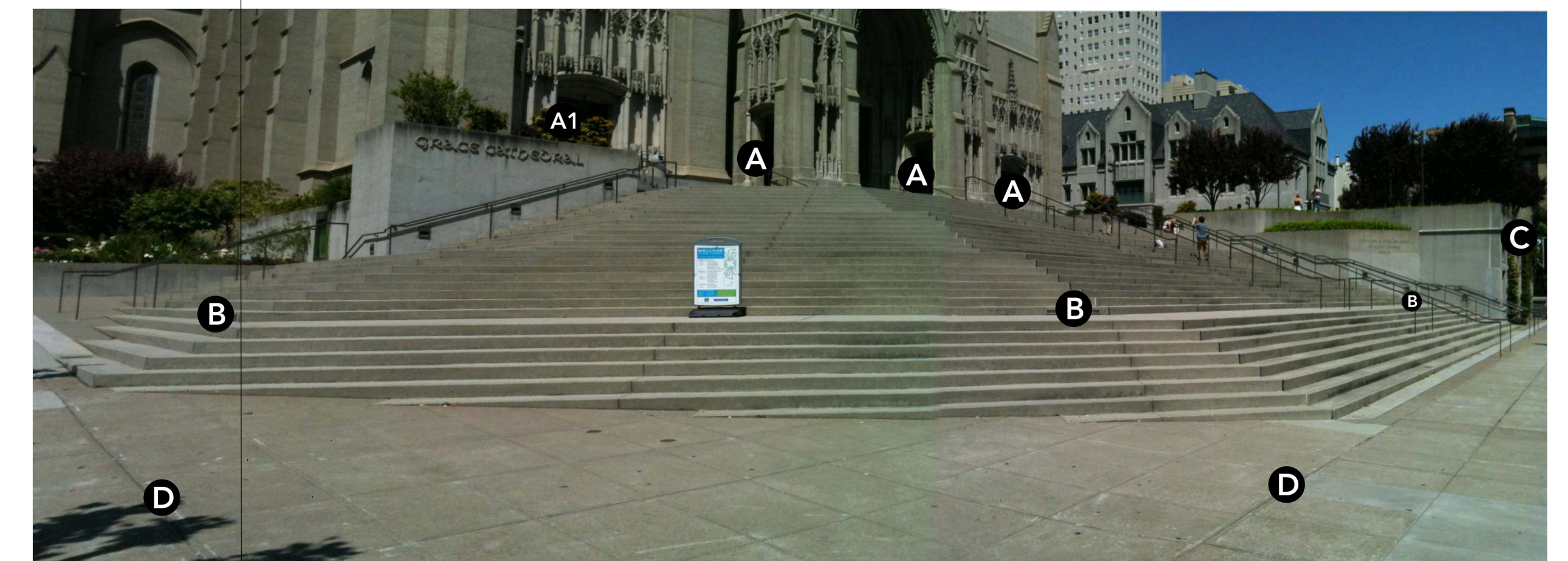
15 May, 2013

Sign Specifications:
Cast Bronze plaques
Powder coated aluminum

TITLE:
ISA directionals

Sign types
A
B
C
D

PG-01



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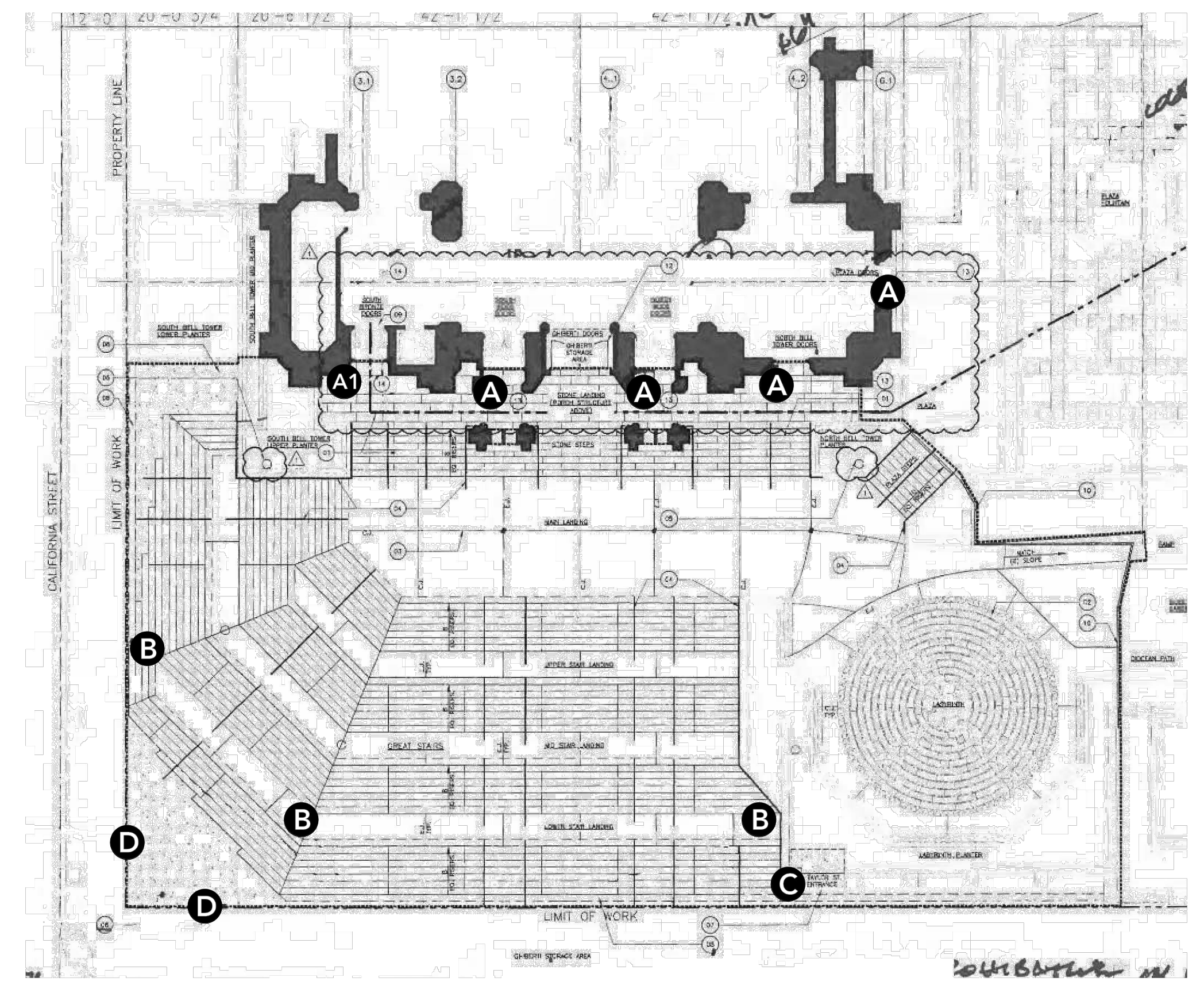
15 May, 2013

Sign Specifications:
Cast Bronze plaques
Powder coated aluminum

TITLE:
Elevations

Sign types
A
B
C
D

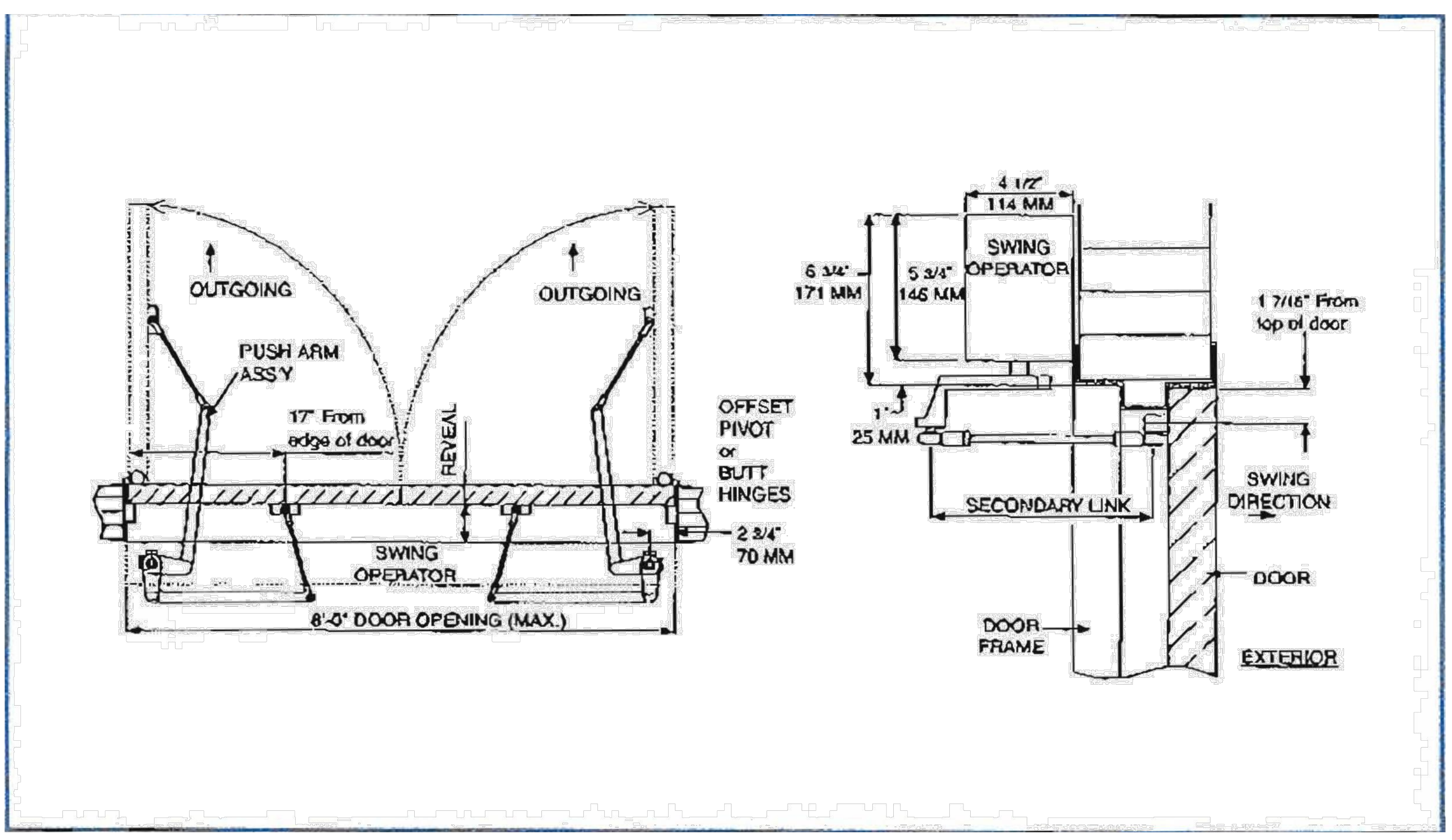
PG-03



- Sign type
- (A) ISA Directional
 - (B) ISA Directional
 - (C) ISA Directional/Skateboard
 - (D) ISA Directional Blade
 - (E) Right to Pass

DOOR OPERATOR NOTES

- A. PROVIDE DOOR OPERATOR FOR DOORS INDICATED IN KEYNOTE 14/A2.02.
- B. MOUNT STAINLESS STEEL FINISH WIRELESS DOOR OPERATOR PUSH BUTTON ASSEMBLIES TO CONCRETE WITH STAINLESS STEEL SCREWS.
- C. MOUNT LOW BUTTON 7" O.C. ABOVE FINISH FLOOR
- D. MOUNT HIGH BUTTON 36" O.C. ABOVE FINISH FLOOR
- E. MOUNT DOOR OPERATOR, SHOWN IN DETAIL 1/A8.01 TO INSIDE OF ALUMINUM STOREFRONT HEAD.



1 TOP JAMB SIMULTANEOUS PAIR PUSH OPERATOR MOUNTING
SCALE: N.T.S.

2013 GRACE CATHEDRAL GREAT STAIRS WATERPROOFING REPAIRS

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15 May, 2013

Sign Specifications:
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Powder coated aluminum

TITLE:
ISA directionals

Sign types
A
B
C
D

PG-02

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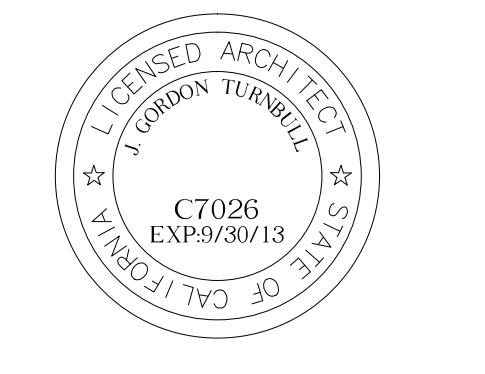
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