



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Case Report HEARING DATE: AUGUST 7, 2013

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*Filing Date:* March 20, 2013  
*Case No.:* 2013.0317A  
*Project Address:* 901 Battery Street  
*Historic Landmark:* Northeast Waterfront Landmark District  
*Zoning:* C-2 (Community Business)  
65-X Height and Bulk District  
*Block/Lot:* 0135 / 003  
*Applicant:* Charles Chase  
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### PROPERTY DESCRIPTION

**901 BATTERY STREET**, west side at the intersection of Battery and Vallejo Streets. Assessor's Block 0135, Lot 003. Commonly known as the Petri Cigar Building, the subject building is a 4-story reinforced concrete office building that was constructed in 1923 for the Petri Cigar Company. The subject property is identified as a contributing/compatible structure within the Northeast Waterfront Landmark District and is located in the C-2 (Community Business) Zoning and 65-X Height and Bulk Districts. The site is also located within the Waterfront Special Use District No. 3.

### PROJECT DESCRIPTION

The proposed project involves the addition of exterior and interior seismic upgrades to the building and the restoration and rehabilitation of the principal Battery Street entrance, including replacement of previously removed architectural features and addition of a new glass entrance canopy. Specifically the project scope includes the following:

#### Seismic Upgrades

- Installation of a new steel-braced frame on a concrete shear wall on the interior side of the building wall along Battery Street;
- Installation of a punched concrete shear wall on the interior side of the building wall along Vallejo Street; and
- Installation of a new concrete shear wall on the exterior wall surface along the rear alley.

Main Entry along Battery Street

- The main entrance along the Battery Street façade would be reconstructed based on physical or photographic evidence. Specifically, the following elements would be brought back to the entrance utilizing glass fiber reinforced concrete (GFRC) material:
  - cornice cap over all three bays of the main entry;
  - stucco relief around bays flanking the central bay with stone base;
  - recessed stucco wall in the bay immediately south of the central bay;
  - rosettes medallions on either side of the main entry; and
- In addition, the following alterations are proposed:
  - New vertical disabled entry actuator on the north side of the entry door;
  - painted steel grillwork above the door immediately north of the entry;
  - new wall sconces within the recessed entryway;
  - replace the non-historic storefront system in the central bay with a new storefront of similar configuration;
  - replace the non-historic paired doors in the bay immediately north of the central bay with new doors of similar configuration;
  - new frameless glass canopy suspended with stainless steel support over the main entrance;
  - new interpretative plaque and tenant directory sign within the bay to the south of the main entry;
  - relocate existing blade sign to adjacent pilaster;
  - replace existing security grill with a new decorative grill with bi-fold door and surround panels on the existing secondary entrance;

Current Entry along Vallejo Street

- Replacement of the non-historic storefront with a new storefront system within the existing opening and provide ADA signage.

Rooftop

- Install new 6' high glass windscreen enclosing 325 square feet area around the elevator and stair penthouses. The windscreen will be setback 15' from the nearest edge of the building (Battery Street).

**OTHER ACTIONS REQUIRED**

Review and issuance of building permit for proposed work.

**COMPLIANCE WITH THE PLANNING CODE PROVISIONS**

The proposed project is in compliance with all other provisions of the Planning Code.

**APPLICABLE PRESERVATION STANDARDS**

**ARTICLE 10**

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a designated Landmark or a structure located in a Landmark district for which a City permit is required. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission should

consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.

The proposed work shall be compatible with the character of the historic district as described in the designating ordinance; and in any exterior change, reasonable efforts shall be made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which are compatible with the character of the historic district.

#### **Article 10 – Appendix D – Northeast Waterfront Historic District**

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Northeast Waterfront Landmark District as described in Appendix D of Article 10 of the Planning Code and the character defining features specifically outlined in the designating ordinance. In pertinent part, Appendix B states:

**Overall Form and Continuity:** Building height is generally within a six-story range, with the higher structures closer to the base of Telegraph Hill and lower buildings near the water. Many of the oldest structures are one or two stories in height.

**Scale and Proportion:** The buildings are of typical warehouse design, large in bulk, often with large arches and openings originally designed for easy vehicular access. There is a regularity of overall form. The earlier brick structures blend easily with the scaled-down Beaux Arts forms of the turn of the century and the plain reinforced-concrete structures characteristic of twentieth century industrial architecture.

**Fenestration:** Minimal glazing is deeply recessed, producing a strong shadow line. The earliest structures have few windows expressing their warehouse function. They are varied in size, rhythmically spaced, and relate in shape and proportion to those in nearby buildings. Larger industrial sash windows began to be incorporated in structures built from the 1920's and onward. Door openings are often massive to facilitate easy access of bulk materials.

**Materials:** Standard brick masonry is predominant for the oldest buildings in the District, with reinforced concrete introduced after the 1906 fire. Some of the brick facades have been stuccoed over. One of the structures still has its metal shutters, which were once typical of the area.

**Color:** Red brick is typical, with some yellow and painted brick. Muted earth tones predominate in shades of red, brown, green, gray, and blue.

**Texture:** Typical facing materials give a rough-textured appearance. The overall texture of the facades is rough-grained.

**Detail:** Arches are common at the ground floor, and are frequently repeated on upper floors. Flattened arches for window treatment are typical. Cornices are simple and generally tend to be abstract versions of the more elaborate cornices found on downtown commercial structures from

the nineteenth century. Most of the surfaces of the later buildings are plain and simple, reflecting their function. Some of the earlier brickwork contains suggestions of pilasters, again highly abstracted. Where detail occurs, it is often found surrounding entryways.

**Age:** All of the buildings in the area were either partially or totally destroyed by the earthquake and fire of 1906. As in the Jackson Square area, many were rebuilt along the lines of the previous design, often using materials salvaged from the construction site.

#### **THE SECRETARY OF THE INTERIOR'S STANDARDS**

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

##### **Standard 1.**

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The project proposes to maintain the building in its historic use as a commercial use with no changes to the defining characteristics of the landmark district where the contributing/conforming building is located.*

##### **Standard 2.**

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The existing structure is a conforming/contributing building within the landmark district. The proposed interior seismic work will not be visible from the public right-of-way and will not affect any character-defining features of the building facade. In addition, all exterior seismic work is limited to a secondary (rear) façade of the building which does not contain any character-defining features. The proposed storefront alteration will also be located on a secondary, previously altered elevation (Vallejo Street) and will not result in the loss of any historic materials or features as it will be limited to fit within the existing opening. Furthermore, the proposed entry rehabilitation will return the building's main entrance to a more historically appropriate appearance. As conditioned, the scope of proposed work does not involve removal of historic materials or alteration of features and spaces that characterize the property or historic district. The project will provide seismic upgrade and rehabilitate the primary street façade and will not impact the overall form and massing of the property, nor any of its features, which contribute to the surrounding historic district. As such, the existing character of the building and landmark district will be retained and preserved.*

##### **Standard 3:**

Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

*The rehabilitation of the building's main entry along Battery Street is based on photographic documentation of the primary elevation. The previously removed features of the building will be replaced with compatible substitute material that accurately duplicates a distinguishing original character of the subject building. In addition, as conditioned, the new glass canopy will be clearly differentiated but compatible with the character of the building and*

*will not create a false sense of historical development. Specifically, the canopy will have a contemporary look featuring a frameless glass and, as conditioned, painted stainless steel support. No conjectural features or elements from other buildings will be added as part of the rehabilitation work or seismic upgrades.*

**Standard 4:**

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*Although building permits were issued for several unsympathetic changes to the building in the past, none of these alterations have acquired historic significance in their own right.*

**Standard 5:**

Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

*The distinctive features such as the entablature, rosette and other ornaments on the Battery Side entryway of the building were previously removed and are proposed to be reconstructed and restored. To ensure that these distinctive features of the property will be accurately recreated, the work will be based on physical or photographic evidence using replacement GFRC materials. The replacement GFRC material is a lightweight material with good molding ability. The GFRC material will match the previously removed features in all visual qualities including size, profile, color, texture and finish consistent with Preservation Brief #16, based on physical evidence.*

**Standard 9:**

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*The new interior and exterior seismic shear walls, new glass canopy along Battery Street and new storefront along Vallejo Street will not destroy historic materials and features of the building. The seismic shear walls and new storefront will not destroy historic materials, features and spatial relationships that characterizes the building in that most of the proposal is either not visible (internal) or located on secondary facades. As conditioned, the external seismic shear wall proposed along the private alley will be painted to match the existing wall finish.*

*The simple suspended glass canopy is designed in a manner to be compatible with the industrial use of the building in that it is comprised of frameless glass with, as conditioned, painted stainless steel support. As such, it will not destroy historic materials, features, and spatial relationship that characterize the building.*

*The rehabilitated main entry will be designed to closely match the historic entry in proportions, profiles and configuration based on photographic evidence. Specifically, the previously removed features will be replaced with a compatible substitute material. The replacement features constructed in substitute GFRC based on physical or photographic evidence to ensure the new work will be compatible with the existing building.*

**Standard 10:**

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposal will rehabilitate the main entry that has been previously removed based on photographic evidence. However, should the proposed work on the main entry be removed in the future, the essential form and integrity of the building and landmark district would still be unimpaired. In addition, the proposed seismic upgrades entail adding a shear wall to the exterior of the existing rear wall which is a reversible method of providing seismic upgrade than removing and replacing the existing wall.*

**PUBLIC/NEIGHBORHOOD INPUT**

To date, the Department has received a telephone call from representative of the Telegraph Hill Dwellers Association inquiring about the scope of work.

**ISSUES & OTHER CONSIDERATIONS**

None.

**STAFF ANALYSIS**

**Seismic Upgrade:** The proposed seismic upgrade of the existing building includes installation of internal seismic upgrades along the primary facades (Battery and Vallejo Streets) and installation of external shear wall along a secondary (rear) façade along a private alley. Although the proposed external shear wall will result in the blockage of the first row of openings along the alley façade, the addition of the seismic upgrades will improve the overall seismic performance of the building by reducing the potential damage to the structure and façades as a result of a seismic event. As proposed, the exterior shear wall at the rear alley will not require any foundation and no subsurface material in the alley will be disturbed. In addition, the proposed shear wall addition to the exterior of the rear wall is a reversible and preferable method of providing seismic upgrade than removing and replacing the existing wall. The rear façade does not possess any significant character-defining features (other than the historic massing), which contribute to the Northeast Waterfront Landmark District. Therefore, alterations to the openings on this façade and the installation of a new rear shear wall will not adversely impact the historic character of the subject property or surrounding historic district.

Therefore, this alteration would comply with the Secretary of the Interior's Standards and the requirements of Article 10 of the San Francisco Planning Code, since the new work would be compatible with the character-defining features. To ensure compatibility with existing rear wall, a condition of approval is added requiring the shear wall be painted to match the paint finish of the building's rear façade.

**Restoration Work:** The proposed rehabilitation and restoration of the building's main entry along Battery Street will be based on photographic and existing physical evidence of original architectural moldings surrounding the central entry. Historic photos of the building from the 1960s is included on pages B7 through B10 the Supplemental Historical Information prepared by Architectural Resources

Group (Attachment G). Since the time of the photos, all of the buildings windows have been changed and most of the building's ground floor bays have been reconfigured.

The previously removed features will be replaced with a compatible substitute GFRC material. The replacement GFRC features will be constructed based on physical and/or photographic evidence to ensure accuracy and close match with the historic features that were removed. The proposed replacement GFRC material is a lightweight material with good molding ability. Regardless, to ensure consistency with Preservation Brief #16, 'The Use of Substitute Materials on Historic Building Exteriors,' and that the GFRC features will match the previously removed features in all visual qualities including size, profile, color, texture and finish, a condition of approval is added requiring a site mock-ups of the GFRC materials be reviewed by Department Staff prior to the production of the GFRC features and the approval of the architectural addendum.

**Alterations and Additions:** The replacement of existing non-historic storefront systems and doors on the primary facades with new storefront system and doors of similar configuration that fit within existing openings will help upgrade the main entry without removal of any historic fabric. The suspended canopy with frameless glass and stainless steel support will help emphasize the main entry to the building. The simple and contemporary design of the canopy will ensure the canopy is differentiated as a new addition. The Department believes the proposed stainless steel support however, should have a painted finish that will match the finish of the window frames existing on the building. In addition, all other stainless steel material proposed on the facades, including the new bi-fold gates and surround, shall be painted to match the existing window frames on the building. Furthermore, attachment details of the proposed canopy and the bi-fold gates shall be submitted for review and approval by Department Preservation Staff prior to approval of the architectural addendum.

**Windscreen:** The new 6' high transparent glass windscreen enclosing a 325 square feet area between the existing stair and elevator penthouses will be setback approximately 15' from the face of the nearest parapet wall (along Battery Street). Due to the 4-story height of the existing building, as well as the substantial setbacks provided from the face of the parapet, the new wind screen will be minimally visible from the public right-of-way. In conformance with the *Secretary of Interior's Standards*, the proposed windscreen will be clearly differentiated but compatible with the scale and character of the building through setbacks, massing, and use of contemporary material. A condition of approval is added that final design, including details and finish material samples of the proposed glass windscreen on the roof shall be reviewed and approved by Department Preservation Staff.

**Signage:** The plans submitted identify locations for business identification signs installation, including above the main entryway (historic location) and at the parapet level of the building, one sign on each elevation. In addition, an interpretative sign with tenant directory information, 5' wide by 3' tall is proposed within the bay to the south of the main entrance. Accessibility signs are also proposed to provide accessibility information and direction. It should be noted that the project site is located within a special sign district (Northeast Waterfront Special Sign District) that limits the size and number of signs on the building. the sign code (Section 608.15(b)(5)) also limits the location of signs to be entirely below the level of the lowest cornice or strong horizontal element located above the ground story of the building but in no event height than 3' above the top of the ceiling level of the ground story. As such, the proposed

parapet level signs are not compliant with the sign code and are permitted. The interpretive and tenant directory as well as accessibility signs appear to be appropriately located. However, to ensure compliance with the Section 608.15 (Northeast Waterfront Special Sign District) of the sign code, additional information including material, lighting (if any) and attachment details for the building sign program shall be submitted for review and approval by Department Preservation staff under a new Administrative Certificate of Appropriateness at a later date.

Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, staff has determined that the proposed work will not substantially alter the contributing/compatible building nor adversely affect the historic district. Specifically, the proposed work will not materially change the appearance of the contributing and compatible building that has existing in the landmark district since 1923. In addition, with the implementation of the conditions of approval, the work will not detract from and will not cause any significant alteration to the historic district. Overall, staff finds that the proposed work will be in conformance with the Secretary of Interior's Standards and with the requirements of Article 10, Appendix D – Northeast Waterfront Landmark District. Specifically, the interior shear walls will not be visible from any public right-of-way; the external shear wall will be located on a secondary façade and as conditioned, will match the finish of the building's rear façade; the storefront alterations will be applied to previously altered, non-historic storefronts and the main entry will be restored using compatible substitute GFRC material, based on historic evidence. As conditioned, the new glass canopy is designed to be compatible with the building by using a painted stainless steel support that would match the finish of existing frames on the building, in keeping with the building's historic industrial use while being easily differentiated as a new addition due to its simple frameless glass design.

## ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

## PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation.

- (1) Revised drawings shall be included as part of the building permit submittal indicating that all stainless steel material proposed on the facades, including the canopy supports and decorative gates, shall be painted to match the existing window frames on the building.
- (2) Revised drawings shall be included as part of the building permit submittal indicating that any attachment to the building (sings, canopy and bi-fold gate with surround) shall be done in manner that minimizes damage to historic fabric. Attachment details for the location where these features are attached to historic fabric shall be included within the plans and are subject to review by Preservation Planning Staff prior to approval of the architectural addendum.



- (3) After issuance of a building permit and prior to the production of the GFRC features and the approval of the architectural addendum, Department Preservation Staff shall review site mock-ups of the GFRC materials.
- (4) Material and finish samples shall be reviewed and approved by Preservation Planning Staff prior to fabrication and prior to the approval of any building permit.
- (5) Revised drawings shall be included as part of the building permit submittal indicating that all storefront systems shall have a painted finish.
- (6) Revised drawings shall be included as part of the building permit submittal including final design, including details and finish material samples of the proposed glass windscreen on the roof shall be reviewed and approved by Department Preservation Staff.
- (7) A building sign program that is compliant with the Northeast Waterfront Special Sign District requirements, including material, lighting (if any) and attachment details shall be submitted for review and approval by Department Preservation staff under a new Administrative Certificate of Appropriateness at a later date.

## ATTACHMENTS

- A. Draft Motion
- B. Parcel Map
- C. Sanborn Map
- D. Aerial Photo
- E. Zoning Map
- F. Site Photos
- G. Submittal Packet by Project Sponsors

LY: G:\Documents\CofA\901 Battery\2013.0317A.docx



**Historic Preservation Commission  
Motion No. XXXX  
Certificate of Appropriateness**

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**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 003 IN ASSESSOR'S BLOCK 0135, WITHIN AN C-2 (COMMUNITY BUSINESS) ZONING DISTRICT AND A 65-X HEIGHT AND BULK DISTRICT.**

**PREAMBLE**

WHEREAS, on March 20, 2013, Charles Chase, ARG ("Applicant") filed an application with the San Francisco Planning Department ("Department") for a Certificate of Appropriateness for a project that involves the addition of exterior and interior seismic upgrades to the building and the restoration and rehabilitation of the principal Battery Street entrance, including replacement of previously removed architectural features and addition of a new glass entrance canopy. The subject building is located on Lot 003 in Assessor's Block 0135, within the Northeast Waterfront Landmark District.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on August 7, 2013, the Commission conducted a duly noticed public hearing on the current project, Case No. 2013.0317A ("Project") for its appropriateness.

WHEREAS, in reviewing the application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, and has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby **APPROVES WITH CONDITIONS** the Certificate of Appropriateness, in conformance with the architectural plans dated February 28, 2013 and labeled Exhibit A on file in the docket for Case No. 2013.0317A based on the following findings:

#### **CONDITIONS OF APPROVAL**

1. Revised drawings shall be included as part of the building permit submittal indicating that all stainless steel material proposed on the facades, including the canopy supports and decorative gates, shall be painted to match the existing window frames on the building.
2. Revised drawings shall be included as part of the building permit submittal indicating that any attachment to the building (sings, canopy and bi-fold gate with surround) shall be done in manner that minimizes damage to historic fabric. Attachment details for the location where these features are attached to historic fabric shall be included within the plans and are subject to review by Preservation Planning Staff prior to approval of the architectural addendum.
3. After issuance of a building permit and prior to the production of the GFRC features and the approval of the architectural addendum, Department Preservation Staff shall review site mock-ups of the GFRC materials.
4. Material and finish samples shall be reviewed and approved by Preservation Planning Staff prior to fabrication and prior to the approval of any building permit.
5. Revised drawings shall be included as part of the building permit submittal indicating that all storefront systems shall have a painted finish.
6. Revised drawings shall be included as part of the building permit submittal including final design, including details and finish material samples of the proposed glass windscreen on the roof shall be reviewed and approved by Department Preservation Staff.
7. A building sign program that is compliant with the Northeast Waterfront Special Sign District requirements, including material, lighting (if any) and attachment details shall be submitted for review and approval by Department Preservation staff under a new Administrative Certificate of Appropriateness at a later date.

## FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Commission has determined that the proposed work is compatible with the exterior character of Northeast Waterfront Historic District as described in the designation report dated August 21, 1986.

- That the proposal respects the character-defining features of the building and the Northeast Waterfront Historic District;
- That the proposed work will not result in the removal of any historic fabric;
- That the essential form and integrity of the historic building and district would be unimpaired if the proposed improvements were removed at a future date;
- That the proposed work is restorative in nature;
- That reconstructed elements on the primary façade would be based upon documentary evidence.
- That the essential form and integrity of the landmark and its environment would be unimpaired if the alterations were removed at a future date.
- The proposed project meets the requirements of Article 10.and
- That the proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

**Standard 1:** property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

**Standard 2:** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

**Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

**Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

**Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

**Standard 9:** New additions, exterior alterations, or related new construction will not destroy historic materials and features that characterize the building. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

POLICY 2.5

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

POLICY 2.7

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness, and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the Northeast Waterfront Historic District.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in

Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will not have an impact on neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the historic district in conformance with the Secretary of the Interior's Standards*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not affect the City's affordable housing supply.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project will not have a direct impact on the displacement of industrial and service sectors.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*All construction will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for parks and open space.*

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation.

## **DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other

written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 003 in Assessor's Block 0135 for proposed work in conformance with the project information dated February 28, 2013, labeled Exhibit A on file in the docket for Case No. 2013.0317A.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Permit to Alter shall be final unless appealed within thirty (30) days after the date of this Motion No. 0195. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission **ADOPTED** the foregoing Motion on August 7, 2013.

Jonas P. Ionin  
Acting Commission Secretary

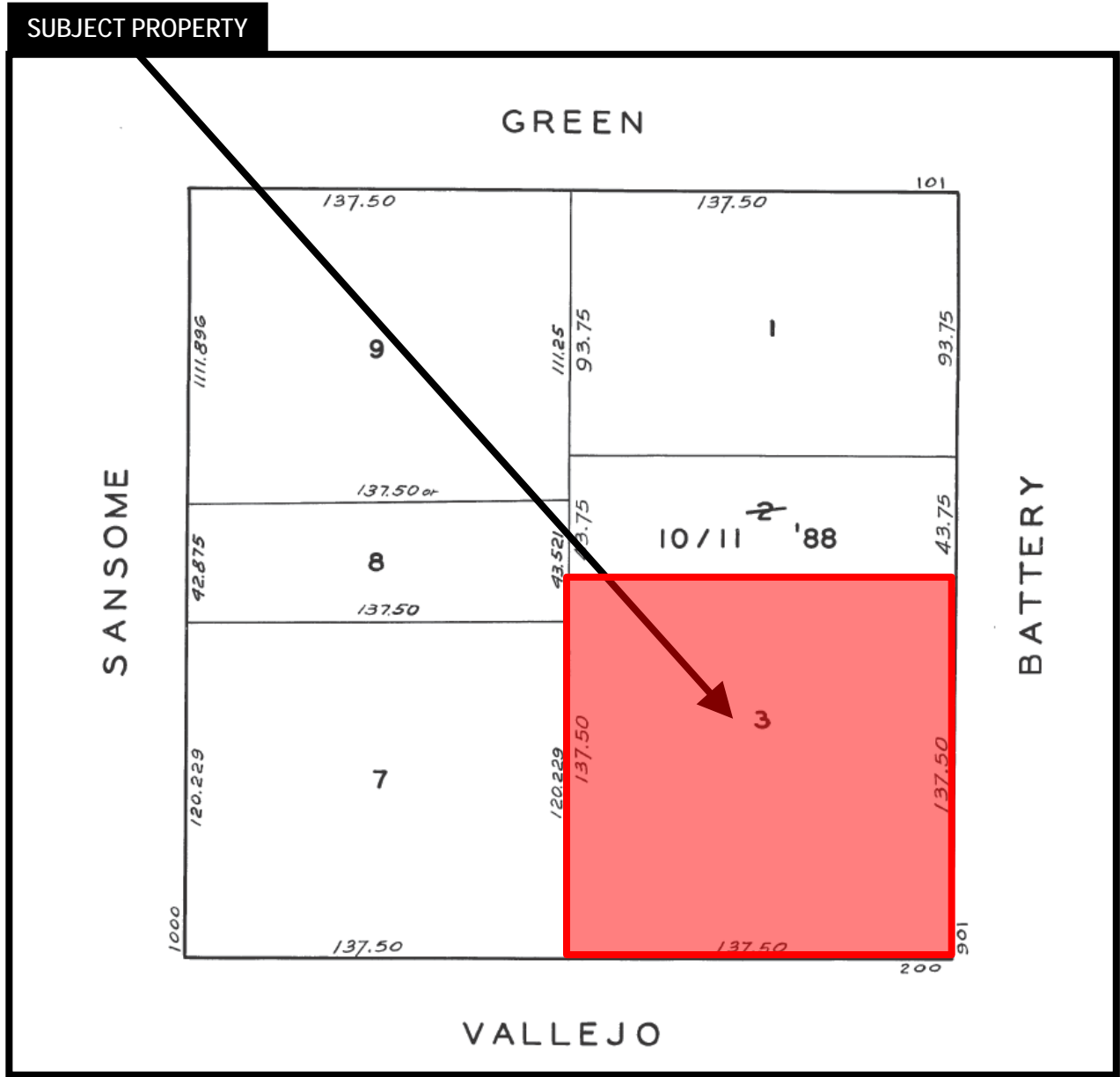
AYES:

NAYS:

ABSENT:

ADOPTED: August 7, 2013

# Parcel Map

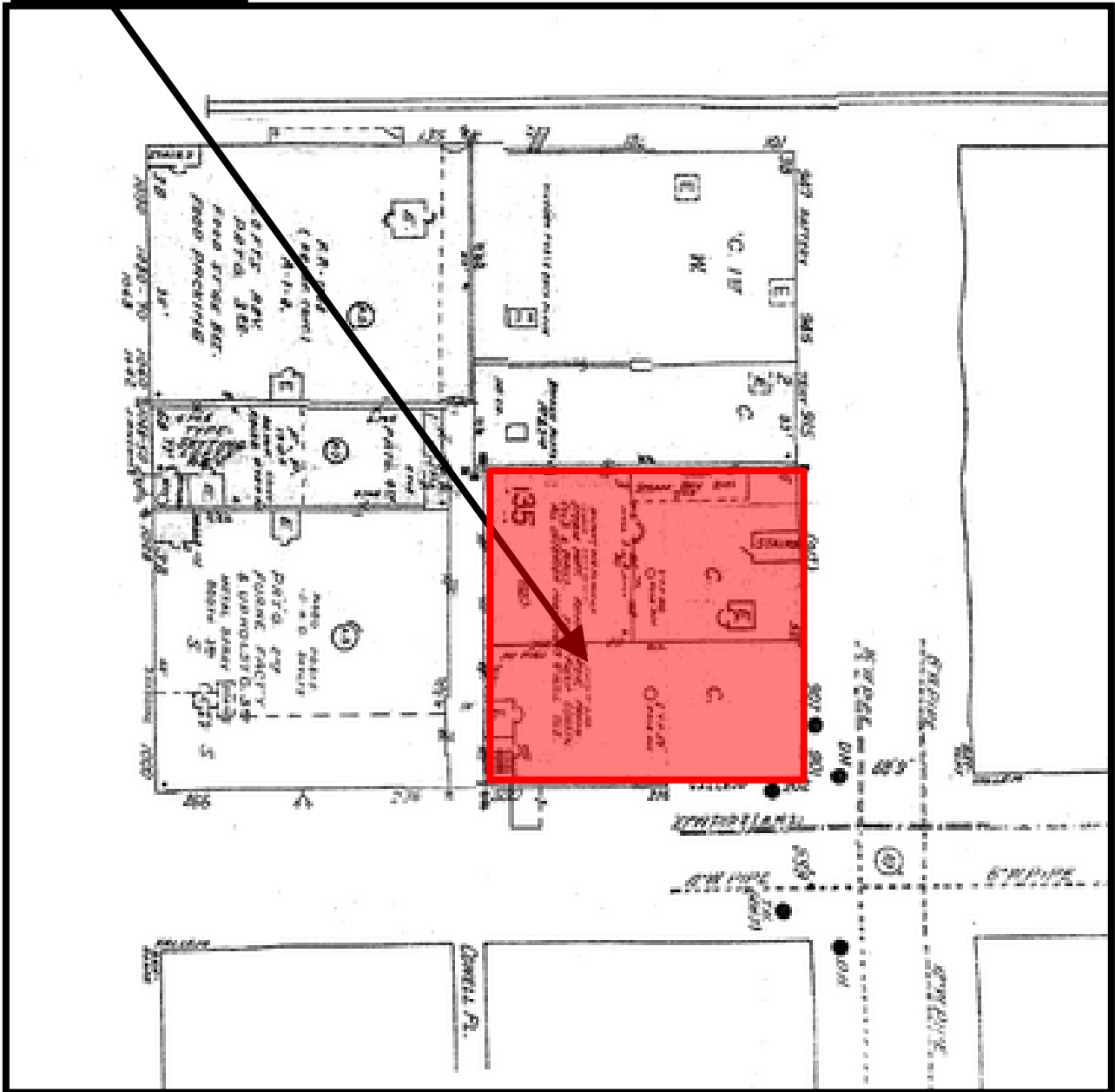


Certificate of Appropriateness Hearing  
Case Number 2013.0317A  
901 Battery Street



# Sanborn Map\*

SUBJECT PROPERTY



\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



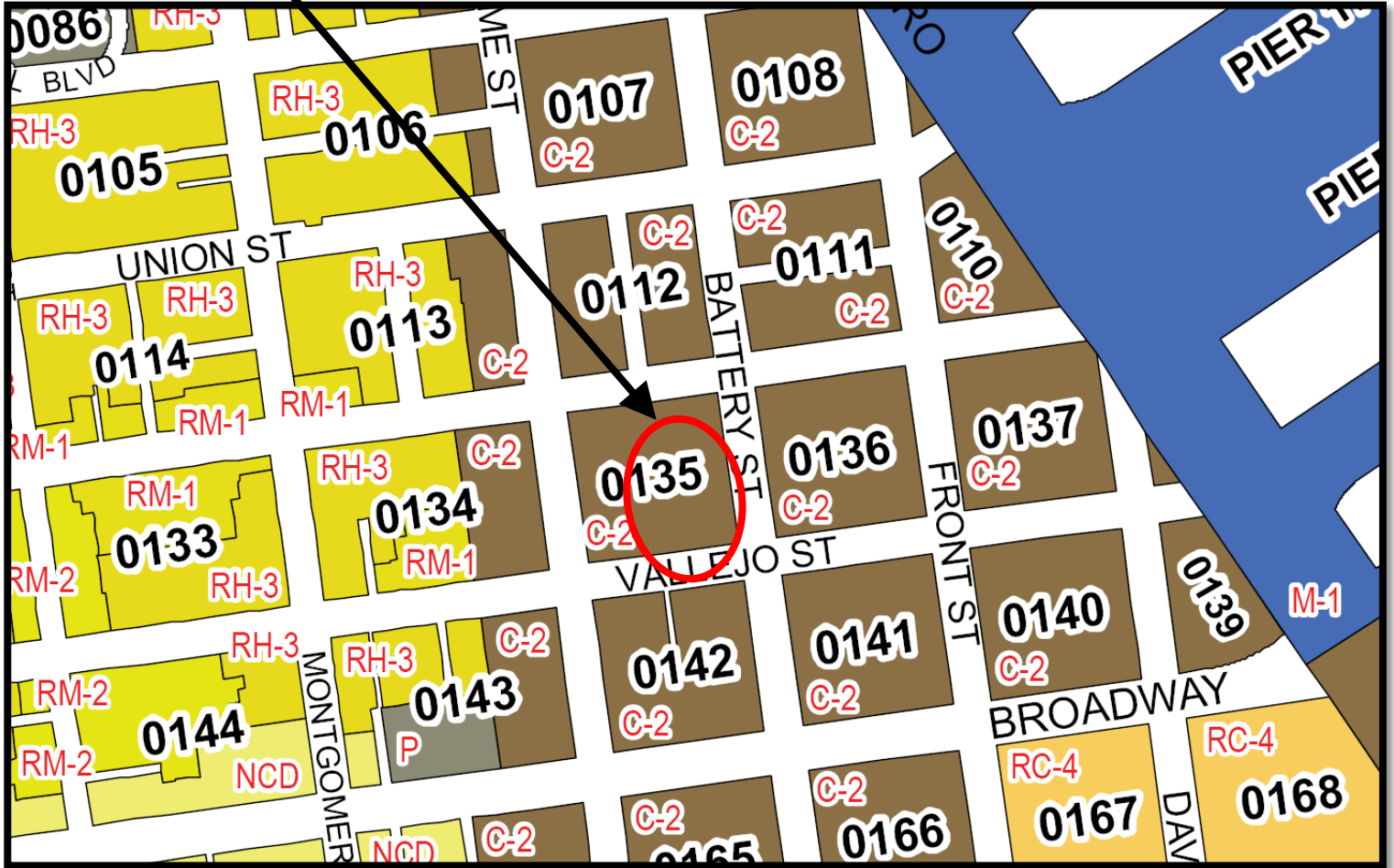
Certificate of Appropriateness Hearing  
Case Number 2013.0317A  
901 Battery Street

# Aerial Photo



# Zoning Map

SUBJECT PROPERTY



Certificate of Appropriateness Hearing  
Case Number 2013.0317A  
901 Battery Street

# Site Photos

SUBJECT PROPERTY



Certificate of Appropriateness Hearing  
Case Number 2013.0317A  
901 Battery Street

# Site Photos

SUBJECT PROPERTY



Certificate of Appropriateness Hearing  
Case Number 2013.0317A  
901 Battery Street

**901 Battery Street**  
**Supplemental Historical Information**  
**San Francisco, California**

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prepared for  
**The Swig Company**

prepared by  
**Architectural Resources Group**  
**San Francisco, California**

February 18, 2013

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**Supplemental Historical Information**  
901 Battery Street

**February 18, 2013**

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## **1. INTRODUCTION AND METHODOLOGY**

The Swig Company has retained Architectural Resources Group, Inc. (ARG) to compile supplemental historical information for the building at 901 Battery Street.

The building at 901 Battery Street is a four-story reinforced concrete office building that was constructed in 1923 for the Petri Cigar Company. The building was occupied by the Petri Cigar Company from the building's construction until approximately 1947, after which it served as the headquarters for Manning's, Inc., which operated restaurants, cafeterias and bakeries throughout the American West. The building is a contributor to the Northeast Waterfront Historic District, a local landmark historic district designated in Article 10 of the San Francisco Planning Code.

As a contributor to a local landmark district, the property at 901 Battery Street is a Category A identified historical resource. Even so, decision was made to compile additional historical information for the property because the documentation supporting the Northeast Waterfront Historic District contains only minimal property-specific information for district contributors and does not include detailed occupancy or construction information. In addition, because it was designated 30 years ago, the property at 901 Battery warrants a re-evaluation to confirm that it continues to retain sufficient integrity to convey its historic significance.

To compile this supplemental historical information for 901 Battery Street, ARG Preservation Planner Matthew Davis (1) conducted a site visit to examine and photograph the building and its surroundings on January 27, 2013; (2) reviewed existing historic evaluations of 901 Battery Street and the Northeast Waterfront Historic District; and (3) conducted additional archival research as necessary to supplement the existing record, including research at San Francisco Architectural Heritage, the San Francisco Public Library, the San Francisco Department of Building Inspection, and the Preservation Library of the San Francisco Planning Department.

## **2. SUMMARY OF FINDINGS**

As a contributor to the Northeast Waterfront Historic District, a local historic district identified in Article 10 of the San Francisco Planning Code, the property at 901 Battery Street is an identified historical resource. ARG examined the building to confirm that it retains sufficient integrity to convey its historic significance and concurs that 901 Battery Street should continue to be considered a contributor to the Northeast Waterfront Historic District. In addition, ARG concluded that the property at 901 Battery Street does not appear eligible for listing as an individually significant resource. While the building's two primary past tenants – the Petri Cigar Company and Manning's, Inc – are historically significant, that significance appears to be more directly associated with other intact buildings in San Francisco.

## **3. PRIOR HISTORIC EVALUATIONS**

### **3.1 San Francisco City Landmarks (“Article 10” Resources)**

The property at 901 Battery Street is a contributor to the Northeast Waterfront Historic District, a historic district designated in Article 10 of the San Francisco Planning Code. As a result, the Planning Department Historic Resource Status of the building is “A – Known Historic Resource.” Article 10 of San Francisco's Planning Code enables the City and County to identify and designate landmarks, historic districts and structures of merit. San Francisco City Landmarks are buildings, properties, structures, sites, districts and objects of “special character or special historical, architectural or aesthetic interest or value



and are an important part of the City's historical and architectural heritage."<sup>1</sup> Since Article 10 was adopted in 1967, 262 landmarks, 11 historic districts, and 9 structures of merit have been designated.

The property at 901 Battery Street does not appear to have been evaluated previously for eligibility for the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR) as an individual resource. The property is not listed in the California Office of Historic Preservation's "Directory of Properties in the Historic Property Data File for San Francisco County."<sup>2</sup> The property has, however, been surveyed by San Francisco Architectural Heritage.

### 3.2 San Francisco Architectural Heritage

San Francisco Architectural Heritage (Heritage) is the city's oldest nonprofit organization dedicated to increasing awareness and preservation of San Francisco's unique architectural heritage. Heritage has completed several major architectural surveys of San Francisco, the most important of which was the 1977-1978 Downtown Survey. This survey, published in the 1979 book *Splendid Survivors*, laid the groundwork for San Francisco's Downtown Area Plan, which was adopted in 1985 as article 11 of the Planning Code. Heritage ratings, which range from "A" (highest importance) to "D" (minor or no importance) are analogous to Categories I through V of Article 11, although the Planning Department used their own methodology to reach their own findings. In 1984, the original survey was expanded from the downtown area to include the South of Market Area in a survey called "Splendid Extended."

The property at 901 Battery Street received a "C\*\*" Heritage rating, indicating the property is a resource of "Contextual Importance." As explained in *Splendid Survivors*, category C buildings "are distinguished by their scale, materials, compositional treatment, cornice, and other features." Such buildings typically "provide the setting for more important buildings and...add visual richness and character."<sup>3</sup> The asterisks in 901 Battery Street's "C\*\*" rating indicate that the building was considered potentially eligible for consideration as a resource of "Major Importance" (Heritage rating "B"), subject to conditions. Though not specified on a property-by-property basis, these conditions are generally considered to be of two varieties: the property may be eligible for the higher rating if (1) non-historic, reversible alterations are remedied or (2) if more information regarding the property's architectural or historical importance is identified. As explained in *Splendid Survivors*, category B buildings "are of individual importance by virtue of architectural, historical, and environmental criteria." Such buildings typically "stand out for their overall quality rather than for any particular outstanding characteristics" and appear eligible for the National Register.<sup>4</sup>

The property at 901 Battery Street was not included in the 1976 Department of City Planning Architectural Quality Survey.

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<sup>1</sup> San Francisco Planning Department, *Preservation Bulletin No. 9: Landmarks*, January 2003, 1.

<sup>2</sup> Nor does the Northeast Waterfront Historic District appear in the California Office of Historic Preservation's "Directory of Properties in the Historic Property Data File for San Francisco County."

<sup>3</sup> Corbett, Michael R. *Splendid Survivors: San Francisco's Downtown Architectural Heritage*, San Francisco, CA: California Living Books, 1979, 13.

<sup>4</sup> Corbett, Michael R. *Splendid Survivors: San Francisco's Downtown Architectural Heritage*, San Francisco, CA: California Living Books, 1979, 12-13.

## 4. PROPERTY DESCRIPTION AND HISTORICAL BACKGROUND

### 4.1 Property Description

The building at 901 Battery Street is a four-story reinforced concrete office building located at the northwest corner of Battery and Vallejo Streets near San Francisco's northeast waterfront. Photographs of the property are included below in Appendix A. The building is roughly square in plan, with seven bays along Battery Street and seven bays along Vallejo Street. A private alley extends along the building's western wall.

The central bay along Battery Street is occupied by an entrance and consisting of a recessed, non-historic storefront assembly with paired glass doors. (Historically, the building's primary entrance was at this location.) The wall surrounding the entry protrudes slightly from the rest of the façade. This entry is flanked by non-historic light fixtures and a second set of fully glazed doors to the north. A third non-historic entry occupies the ground floor of the northernmost bay along Battery Street.

Primary fenestration consists of 3x5 and 3x6 arrays of industrial metal sash. The arrays include both fixed and awning windows. Alternatively, three bays (two along Battery Street and one along Vallejo Street) are occupied by columns of paired 3x3 arrays of industrial metal sash.

A curvilinear sidewalk with mature trees and plantings occupies the building's frontage along Vallejo Street. This side of the building includes two entries. The building's current primary entrance – at 222 Vallejo Street near the rear of the building – is a non-historic storefront assembly consisting of a fully glazed door with sidelights and transom. The central bay of the Vallejo Street elevation includes a secondary entrance (200 Vallejo Street), which consists of a non-historic storefront assembly framed by pilasters and a simple entablature.

Apart from this entablature, ornamentation on the building is limited to the outer bays of the Battery Street and Vallejo Street elevations, which feature a triangular parapet and simple rectangular relief set between pilasters that extend above the roofline and have pyramidal caps. Each of the two triangular portions of the parapet along Battery Street features an applied ornament consisting of a heraldic eagle set on a shield. Apart from these embellished areas, the building's cornice consists of a flat parapet with simple coping.

### 4.2 Northeast Waterfront Historic District

The property at 901 Battery Street is a contributing building to the Northeast Waterfront Historic District, a local historic district identified in Appendix D to Article 10 of the San Francisco Planning Code. The district was designated in 1983 and is generally bound by Sansome Street on the west (including the parcels along the west side of Sansome), Union Street on the north, Broadway on the south, and the Embarcadero on the east. The following brief summary of the district is excerpted from the state of significance for the district that is included in Section 5 of Appendix D:

**History of the Area.** The Northeast Waterfront District contains commercial warehouse buildings from nearly every decade of San Francisco's history. The area reflects the waterfront storage and maritime activities which, until recently, were an important aspect of San Francisco business history. These buildings range in age from the early clipper ship warehouses of Scotsman Daniel Gibb in the 1850s to the properties owned by the General Engineering and Drydock Co., a company crucial to the shipbuilding effort that made San Francisco Bay the major Pacific maritime support facility during World War II.

The original shoreline of Yerba Buena swept in a curve from Montgomery Street to roughly Jackson Street and on to the deeper waters slightly east of Battery. This point was known as Punta del Embarcadero. The cove itself fronting on the settlement was shallow and could be navigated only by small craft of shallow draft. The historic district boundary begins at what was the site of the first deep water landing in San Francisco at Clark's Point. The first vessel to moor at a wharf tied up at this site and discharged cargo in 1848. The first Pacific Mail steamer to arrive in San Francisco disembarked passengers in this area in 1848 and the unique clipper ships built expressly for San Francisco's Gold Rush trade docked in this area in large numbers.

During the Gold Rush era, the boundaries of the area were extended eastward by landfill into the Bay in order to create new warehousing space. Large sections of Telegraph Hill were excavated for the fill. In the late 1880s a sea wall was built which settled the eastern boundaries of the area. The clipper ships of the Gold Rush era and paddlewheel steamers of the delta and river trade docked alongside its wharves discharging a multitude of cargo, much of which passed through local warehouses. In the 1880s and 1890s large numbers of iron-hulled square riggers were involved in hauling grain from California's Central Valley to European markets. The new transcontinental trains were loaded on barges from the other side of the Bay and were docked and discharged in this area. A number of ships are presumed to have been buried beneath the fill used to extend the district. A ship buried in 1851 as an extension of Frederick Griffing's wharf was recently unearthed during the excavation for Levi's Plaza on the northern boundary of the district.

Many distinguished San Francisco names and firms have been associated with the warehouses in the area: William T. Coleman head of the Vigilante Committee; George Howes, operator of clipper ships; Daniel Gibb, builder of the earliest warehouses in the area which were bought in 1861 by John Sanborn; Charles Minturn, steamboat tycoon; Isaac Friedman, the "Wheat King"; and Samuel Haslett, founder of a leading warehouse firm in the Bay Area. Pioneer firms such as American Biscuit Co., Cowell's Lime and Cement Co., W.P. Fuller Co., *the Petri Italian-American Cigar Co.*, and the California Fruit Packing Co., have major extant structures in the area.<sup>5</sup> After 1906 firms such as Bemis Bag Co., National Ice and Cold Storage, Cudahy Meat Packing, Armour and Co., Ciocca-Lombardi Wine Co., and the Italian-American Canning Co. located in the area. In the 1920s and 1930s the Sunset Press, Security Lithograph, and various typography and lithography operations were set up in the district, reflecting the increasing importance of this industry in San Francisco's economic development. In 1940 General Engineering and Drydock marshalled a number of buildings for ship repair and maintenance during World War II....

**Architectural Character.** Common architectural features tie the area together and provide visual distinction. Two major building materials were used in the area; brick since the Gold Rush era and reinforced concrete after the 1906 fire.

Common architectural elements are repeated throughout the District. Of particular note are the large bulk and minimal fenestration of the earlier warehouse structures. Other common features are scale and proportion, materials, color, texture, and the minimal use of decorative elements. Visual distinction is due in some cases to the original construction plus the carefully

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<sup>5</sup> Emphasis added. As described in Section 4.3, the Petri Italian-American Cigar Company was renamed the Petri Cigar Company, Inc. in conjunction with the firm's relocation to 901 Battery Street in 1923.

designed addition of upper stories as evidenced in the original two-story Cudahy Meat Packing building by Henry Gielfus (1907) with a two-story addition by Ward and Blohme (1918).

#### 4.3 Occupant History

The following occupant history for 901 Battery Street was compiled from San Francisco City Directories and Telephone Directories, supplemented as noted where additional sources were available.

##### ***Petri Cigar Company, Inc. (1923-1947)***

The four-story building at 901 Battery Street was constructed in 1923 for the Petri Cigar Company, Inc. at an approximate cost of \$300,000.<sup>6</sup> At the time of its relocation to 901 Battery Street, the Petri Cigar Company's president was Amadeo Petri, who resided at 1465 Grant Avenue with his wife Caterina. The company's vice president and general manager was Amadeo's nephew, Angelo Petri, who resided in Oakland. This company was composed of two businesses – the Petri Cigar Company and the Petri Wine Company – that initially operated together under the Petri Cigar Company, Inc. name.<sup>7</sup>

Members of the Petri family first came to San Francisco from their native Tuscany in the 1880s. Mrs. Cherubina Petri, “manufacturer of cigars and cigarettes,” first appears in the 1881 city directory, at which time she lived and worked at 1407 Dupont Street, as Grant Avenue was previously named. By the end of the decade, her brother Raffaello Petri joined her in San Francisco, where he helped manage several hotels before going into the wine business. By 1892, their brother Amadeo Petri arrived and joined Cherubina in the cigar manufacturing operation, which remained in the 1400 block of Grant Avenue as “A. Petri & Co.” until 1911. Raffaello's son, Angelo Petri (1883-1961), emigrated from Italy in the late 1890s, and was involved in both the family cigar and wine businesses.

In 1912, Amadeo and Angelo renamed their company the Petri Italian-American Cigar Co. and moved the operation to the Old Ghirardelli Building at 409-417 Jackson Street (soon renumbered as 415-431 Jackson Street). The Petri Italian-American Cigar Co. was sufficiently prominent during this period to be one of the official exhibitors in the “Division of Food Products” at the 1915 Panama-Pacific International Exposition. The Petri Italian-American Cigar Co. remained in the Old Ghirardelli Building, which is a contributor to the National Register Jackson Square Historic District, through 1922. Following his uncle's death, Angelo succeeded Amadeo as president of the Petri Cigar Company in 1927.

The Petri Cigar Company business grew considerably during the 1920s.<sup>8</sup> Angelo's son Louis, who became president of Petri Cigar Company in 1944, recalls employing about 400 people to make cigars in the building at 901 Battery Street.<sup>9</sup> The Petri Cigar Company manufactured dry Toscani type cigars, eventually becoming the third largest producer of this type of cigar in the United States.<sup>10</sup>

The R. Petri Wine Company went out of business with the onset of Prohibition. In 1933, Angelo re-established the family's involvement in the wine industry, and the Petri Wine Company operated in 901

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<sup>6</sup> “San Francisco Completes Most Active Building Year in History,” *San Francisco Chronicle*, December 2, 1922, 9.

<sup>7</sup> Around 1950, by which time the wine business had significantly outgrown the cigar business, this practice was switched, and both businesses subsequently operated under the Petri Wine Company name (Petri and Teiser, *The Petri Family in the Wine Industry*, 9).

<sup>8</sup> Petri and Teiser, 10.

<sup>9</sup> Petri and Teiser, 13.

<sup>10</sup> Petri and Teiser, 56.

Battery Street alongside the Petri Cigar Company.<sup>11</sup> Specifically, half the building's first floor and a majority of the basement were transformed into a winery with approximately 300,000 gallons of storage tanks.<sup>12</sup> During its first five years, the Petri Wine Company sold all of its wine in bulk, before entering into contract with Safeway Stores Inc. in 1938 to bottle wine for them under Safeway's "Fidelis" label. Following termination of the Safeway contract in 1942, the Petri Wine Company began marketing nationwide under the Petri label.<sup>13</sup>

Angelo became Chairman of the Board in 1944, at which time Angelo's son Louis Petri became President. The Petri Wine Company and Petri Cigar Company remained at 901 Battery Street until 1947, around which time cigar production was moved to Clarksville, Tennessee.<sup>14</sup> By 1948, the Petri Cigar Company, Inc. (including the Petri Wine Company) had moved to 655 4th Street. By 1954, the company, by then renamed the Petri Wine Company, had moved next door to 601 4th Street.

Under Louis Petri's leadership, the Petri Wine Company was instrumental in founding the Allied Grape Growers (a cooperative formed to stabilize grape prices) in 1951.<sup>15</sup> Petri also acquired several other California wineries, ultimately consolidating them under the name United Vintners in 1952.<sup>16</sup> With acquisition of the Italian Swiss Colony Wine Company in 1953, Petri became the largest vintner in the United States, with a capacity of 46 million gallons.<sup>17</sup> The Petri Wine Company remained at 601 4th Street until 1974, after which the company no longer appears in San Francisco city directories.

### ***Manning's Inc. (1948-1977)***

From 1948 through 1977, 901 Battery Street served as the headquarters for Manning's, Inc., which operated restaurants, cafeterias and bakeries throughout the American West. The following summary history of Manning's was compiled from a series of posts on the San Francisco Genealogy website.<sup>18</sup>

William Wayland Manning and his brother Edward, migrants from the Boston area, established the Manning's business in 1908 when they started selling fresh roasted coffee out of a stall in Seattle's Pike Place Market. They expanded this stall into a coffee shop. William and Edward alternated in the role of company president until William's death in 1938. In 1923, the Manning brothers moved to San Francisco and set up operations at 1175 Market Street. By 1927, according to the city directory, they had moved the headquarters to 268 Market Street, with "branches" at 747 and 1175 Market Street. By 1930, the company headquarters (identified as the "Pacific Coast Head Office" in telephone directories) had moved to 361-365 Brannan Street and Manning's operations had expanded to include stores at 63 Powell Street, 743, 747, 945, 1175 Market Street and 2584 Mission Street.<sup>19</sup> Company headquarters

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<sup>11</sup> Petri and Teiser, 55.

<sup>12</sup> Petri and Teiser, 13.

<sup>13</sup> Petri and Teiser, 55.

<sup>14</sup> Petri and Teiser, 56. The cigar business remained in operation until 1959 (Petri and Teiser, 9).

<sup>15</sup> Allied Grape Growers, "Allied Grape Growers: Past and Present," 2011. Available at: <http://www.alliedgrapegrowers.org/history.html> (accessed January 22, 2013).

<sup>16</sup> James Conaway, *Napa: The Story of an American Eden*, Boston: Houghton Mifflin, 1990, 78-79.

<sup>17</sup> Petri and Teiser, 62; "Corporations: Biggest on the Vine," *Time Magazine*, Vol. 61, April 27, 1953.

<sup>18</sup> See, for example, <http://www.sfgenealogy.com/boards/sfhistory/messages/659.html>; <http://www.sfgenealogy.com/boards/sfhistory/messages/711.html>; <http://www.sfgenealogy.com/boards/sfhistory/messages/1377.html>; <http://www.sfgenealogy.com/boards/sfhistory/messages/1468.html>; and <http://www.sfgenealogy.com/boards/sfhistory/messages/1541.html> (accessed January 21, 2013).

<sup>19</sup> With a few exceptions, San Francisco city directories do not differentiate between Manning's restaurants, cafeterias and bakeries.

remained at 361-365 Brannan Street until the 1948 relocation to 901 Battery Street. (A Manning's restaurant remained at 363 Brannan into the mid-1960s.) In addition to serving as the Pacific Coast Head Office, 901 Battery Street housed the coffee roasting plant and the vacuum-packed coffee division. Although the specific addresses would sometimes change, Manning's operated between five to ten stores in San Francisco through the 1960s. At its height, Manning's, Inc. operated 40 cafeterias and restaurants in 9 western states. Manning's also ran food service operations in several hospitals, schools and businesses. Manning's Inc. cafeteria/restaurant locations in San Francisco during the 1960s included 363 Brannan Street, 1 Bush Street, 100 California Street, 601 California Street, 347 Geary Street, 658 Market Street, 761 Market Street, 891 Market Street, and 272 Sutter Street.

Following Edward's passing in 1960, the company was led by Edward's sons Robert and Edward, Jr. In 1970, the company was sold to LaBatt of Canada, who subsequently sold it to DelMonte. Following acquisition by LaBatt, the Manning's cafes were closed over the course of the 1970s and early 1980s. By 1972, only three Manning's cafeterias remained in San Francisco, at 601 California Street, 347 Geary Street, and 891 Market Street. The company's last remaining cafeteria, at 347 Geary Street, closed in 1984, after which the Manning's interest was sold to Marriott Corporation. The headquarters of Manning's Inc. was located at 901 Battery Street until 1977, after which it was moved to 650 California Street, where it remained until 1984. Beginning in 1985, Manning's Inc. no longer appears in San Francisco telephone directories.

#### **Since 1977**

According to city directories, the property at 901 Battery Street was also occupied by Sal B. Mizrak beginning in 1966. Mizrak remained in the building following the 1977 departure of Manning's Inc. During much of this time, Mizrak resided nearby at 550 Battery Street. Permits from the late 1970s list the owner of 901 Battery Street as "901 Battery Street Associates, c/o James Wagenheim, 233 Sansome Street." The Gordon Group at 400 Montgomery Street acquired 901 Battery Street by 1980, and sold the building (having since become the Gordon-Chamberlain Group) to The Swig Company in January 2013.

#### **4.4 Construction History**

The building permit application (#109402) for 901 Battery Street was approved on August 16, 1922. The application was for construction, at a cost of \$100,000, of a 3-story and basement reinforced concrete building for use as a factory. A December 2, 1922 article in the *San Francisco Chronicle* noting the building's imminent completion cited the approximate cost of the building at \$300,000, and included a rendering showing the building's current four-story configuration.<sup>20</sup> According to the building permit application, the building was built by contractors John DeFavero and Sisto Rasori, members of the Builder's Exchange at 180 Jessie Street. The building was designed by the Exchange's Engineering Department.

Major alterations since the building's construction include (1) reconfiguration of the building's main entrance on Battery Street; (2) replacement of the building's steel sash windows; and (3) reconfiguration of the former loading dock area along Vallejo Street. Through consultation of historic photographs and historic building permits, ARG has endeavored to ascertain when these, and other related changes, were made.

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<sup>20</sup> "San Francisco Completes Most Active Building Year in History," *San Francisco Chronicle*, December 2, 1922, 9.

Appendix B below includes high-resolution photographs of 901 Battery Street that date from the 1960s. Since that time, all of the building's windows have been changed and most of the building's ground floor bays have been reconfigured. Specific changes include:

- Single door at southernmost bay along Battery has been removed, and window opening has been reshaped to match others.
- Main entrance (central 3 bays along Battery Street):
  - entablature has been removed
  - door, transom, and windows to south have been filled in
  - two non-historic entries added
  - former entry to north consisting of paired, glazed doors with transom replaced with solid door set amidst otherwise in-filled opening
  - rosette ornaments and Manning's sign removed
  - addition of brick at entry and sidewalk
  - addition of stucco finishing
  - addition of metal fixtures with globe lights
- Former window at northernmost bay along Battery Street has been replaced with current entry.
- Former entry in second bay from the north along Battery Street has been converted to a window assembly configured to match rest of building.
- Along Vallejo Street, a loading dock accessible by rail formerly extended southward from the westernmost bay; this loading dock has been removed and the former rail access way is now occupied by a curvilinear sidewalk and assorted mature trees and plantings.
- The window assembly at the ground floor of the central bay along Vallejo Street has been replaced with a non-historic storefront assembly.

The building's main entrance had already undergone some alteration at the time of the 1961 photograph. In particular, the entablature at the main entrance appears to have been partially cut through to accommodate a service entry larger than the original main entrance.

Permit review conducted at the Department of Building Inspection identified permits pertaining to the following significant changes to the building:

- Loading dock area converted to new building lobby (permit application 435973, 6/19/1974)
- Brick pavers installed at sidewalk in front of building (permit application 454676, 12/17/1975)
- Mini-park and plaza constructed along Vallejo Street side of building (permit application 7711661, 11/3/1977)

- New storefront at entrance (permit application 7809621, 10/25/1978)  
General contractor: Complete Builders, Inc., 210 Clara Street, San Francisco  
Architect/engineer: Kaplan McLaughlin, 901 Battery Street, San Francisco  
Owner: Wagenheim Associates, 233 Sansome Street, San Francisco<sup>21</sup>
- Re-roofing (permit applications 9421269 (12/28/1994) and 9004335 (6/15/1990))
- Rooftop mechanical equipment replaced (permit applications 200608149379 (9/28/2006) and 200609283588 (8/14/2006))

In addition to these changes, the interior of the building has undergone dozens of permitted tenant improvement projects over time.

## 5. EVALUATION OF SIGNIFICANCE AND INTEGRITY

### 5.1 Evaluation of Significance

#### ***District Contributor***

Based on a review of historic photographs and an examination of the building's current condition, the reinforced concrete building at 901 Battery Street, in ARG's professional opinion, retains sufficient integrity to convey its historic significance and should continue to be considered a contributor to the Northeast Waterfront Historic District.

#### ***Individual Resource***

ARG also evaluated whether the property at 901 Battery Street can be considered a historical resource of individual significance. ARG conducted this evaluation with respect to the eligibility criteria for the National Register of Historic Places (NRHP) and the California Register of Historical Resources (CRHR). These criteria are included below in Appendix C.

#### ***NRHP/CRHR Criterion A/1***

The property at 901 Battery Street does not appear eligible for listing as an individual resource under NRHP/CRHR Criterion A/1 (Events/Patterns of Events). As detailed above in Section 4.3, the building is associated with long-time tenants the Petri Cigar Company (including the subsidiary Petri Wine Company) and Manning's, Inc. While both these companies are historically significant, that significance appears to be more directly associated with other intact buildings in San Francisco, as described below. Photos of these properties are included in Appendix A.

#### **Petri Cigar Company**

From 1912 to 1922, the Petri Italian-American Cigar Co. was located in the Old Ghirardelli Building at 415-431 Jackson Street. (See Appendix C for a historic photograph of Petri at this location.) This building is a contributor to the National Register Jackson Square Historic District and appears to retain its historic integrity. At the time of its occupancy in the Old Ghirardelli Building, the Petri Italian-American Cigar Co.

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<sup>21</sup> The "Conditions and Stipulations" sheet for this permit notes that 901 Battery is a "Landmark Bldg." but that the proposed work is "not of concern to the LM Board." The permit is stamped "categorically exempt from environmental review."



was sufficiently prominent to be one of the official exhibitors in the “Division of Food Products” at the 1915 Panama-Pacific International Exposition.

#### Petri Wine Company

The Petri Wine Company is significant to the national wine industry for establishing a pioneering cooperative to stabilize grape prices (Allied Grape Growers), for fostering winery consolidation on an unprecedented scale through United Vintners, and for becoming the nation’s largest vintner in the mid-1950s. Each of these achievements, however, occurred after the Petri Cigar Company/Petri Wine Company had left 901 Battery Street, first for the newly-constructed International Style building at 655 4th Street, then soon thereafter for the much larger warehouse next door at 601 4th Street. As a result, the Petri Wine Company’s historical significance is more directly associated with these two 4th Street Buildings, both of which appear to be sufficiently intact to convey their historic significance. The former Heublein Wine Distribution Warehouse at 601 4th Street, which was constructed in 1916 and designed by prominent San Francisco firm Weeks and Day, was determined to be eligible for listing on the National Register of Historic Places in 1997. In addition hosting the Petri Wine Company until 1974, this building housed the main office of United Vintners for several years before and after Heublein, Inc.’s 1969 acquisition of an 82 percent majority stake in United Vintners.<sup>22</sup>

#### Manning’s, Inc.

From c. 1930 to 1947, the company headquarters of Manning’s, Inc. was located at 361-365 Brannan Street. Following the headquarters’ relocation to 901 Battery Street, a Manning’s restaurant continued to occupy the front area and storefront of the Brannan Street building into the mid-1960s. The building at 361-365 Brannan Street, which was built in 1928 and designed by C.W. Zollmer, was recently evaluated as part of the South of Market Area Historic Resource Survey and is a Category A Known Historic Resource. Because this intact building served as the first long-term headquarters of Manning’s, Inc. in San Francisco, and because the building housed a Manning’s restaurant as well as offices, it is more directly associated with that company’s historic significance than is the property at 901 Battery Street.

#### *NRHP/CRHR Criterion B/2*

The property at 901 Battery Street does not appear eligible for listing as an individual resource under NRHP/CRHR Criterion B/2 (Persons). Based on archival research, the building does not appear to be associated with any individuals important to local, California, or national history. (The property’s association with the Petri Cigar Company, the Petri Wine Company, and Manning’s, Inc. is more properly addressed above under NRHP/CRHR Criterion A/1.)

#### *NRHP/CRHR Criterion C/3*

The property at 901 Battery Street does not appear eligible for listing as an individual resource under NRHP/CRHR Criterion C/3 (Architecture). The building can be considered a representative example of a reinforced concrete warehouse from the 1920s, but it does not possess sufficient architectural distinction to be eligible under this criterion. The building is an excellent example of a built resource that adds contextual richness to a district by serving as a backdrop for more individually important buildings. Nor is the building associated with an architect known to be significant to San Francisco, California, or the nation.

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<sup>22</sup> Allied Grape Growers, “Allied Grape Growers: Past and Present,” 2011, 2-3.

#### **NRHP/CRHR Criterion D/4**

Assessing significance under NRHP/CRHR Criterion D/4 (Information Potential) was beyond the scope of this evaluation.

#### **Character-defining Features**

A character-defining feature is any physical feature that comprises an important aspect of the appearance of a historic building. Character-defining elements typically include the overall shape of the building, its materials, craftsmanship, and decorative details, and can also include interior spaces and features, as well as various aspects of its site and environment. Based upon the building's history, present appearance, and status as a contributor to the Northeast Waterfront Historic District, the character-defining features of 901 Battery Street include:

- four-story height
- prominent corner location
- reinforced concrete construction
- symmetric composition of the Battery and Vallejo street façades
- location of main entrance in central bays of Battery Street façade
- location and size of most window openings
- simple coping at cornice
- ornamentation at outer bays of Battery and Vallejo street façades, including triangular parapets, pilasters with pyramidal caps, and heraldic eagle applied appliqué

#### **Period of Significance**

Appendix D to Article 10 of the San Francisco Planning Code does not identify a period of significance for the Northeast Waterfront Historic District, instead noting that the district "contains commercial warehouse buildings from nearly every decade of San Francisco's history." In ARG's professional opinion, 901 Battery Street's period of significance extends from the building's completion in 1923 until the Petri Cigar Company's departure in 1947.

#### **5.2 Evaluation of Integrity**

The building at 901 Battery appears to retain a good level of integrity. The building retains integrity of location, having never been moved. The building's setting is also remarkably intact, with the most notable change consisting of the conversion of several neighboring warehouse buildings (and fellow district contributors) to office uses.

The most significant alterations made to 901 Battery Street are (1) the loss of period detail and partial reconfiguration of the building's main entrance on Battery Street; (2) the replacement of the building's original steel sash windows with new steel sash windows; and (3) the conversion of the former loading dock area along Vallejo Street to a plaza with mature plantings and a curvilinear path. The first two alterations (main entrance and window replacement) affect the building's integrity of design, materials and workmanship. The third alteration (reconfiguration of loading dock area) affects the building's integrity of feeling and association by obscuring its former industrial use.

Despite these alterations, the building at 901 Battery Street retains sufficient integrity of design, materials, workmanship, feeling and association to convey its significance as a contributor to the Northeast Waterfront Historic District. The property retains the character-defining features identified above and is still clearly "legible" as an intact, concrete, industrial/commercial building from the early twentieth century.

**Appendix A. Existing Condition Photographs**



**Figure A1.** View of south and east elevations, looking northwest (Architectural Resources Group, January 2013).



**Figure A2.** View of east elevation (Architectural Resources Group, January 2013).

**Appendix A. Existing Condition Photographs**



**Figure A3.** Detail of southeast corner of parapet, looking west (Architectural Resources Group, January 2013). Note the similarity between the heraldic eagle ornamentation and that shown below in Figure B4.



**Figure A4.** Main entrance, along east elevation (Architectural Resources Group, January 2013).

**Appendix A. Existing Condition Photographs**



**Figure A5.** Detail of main entrance, along east elevation (Architectural Resources Group, January 2013).

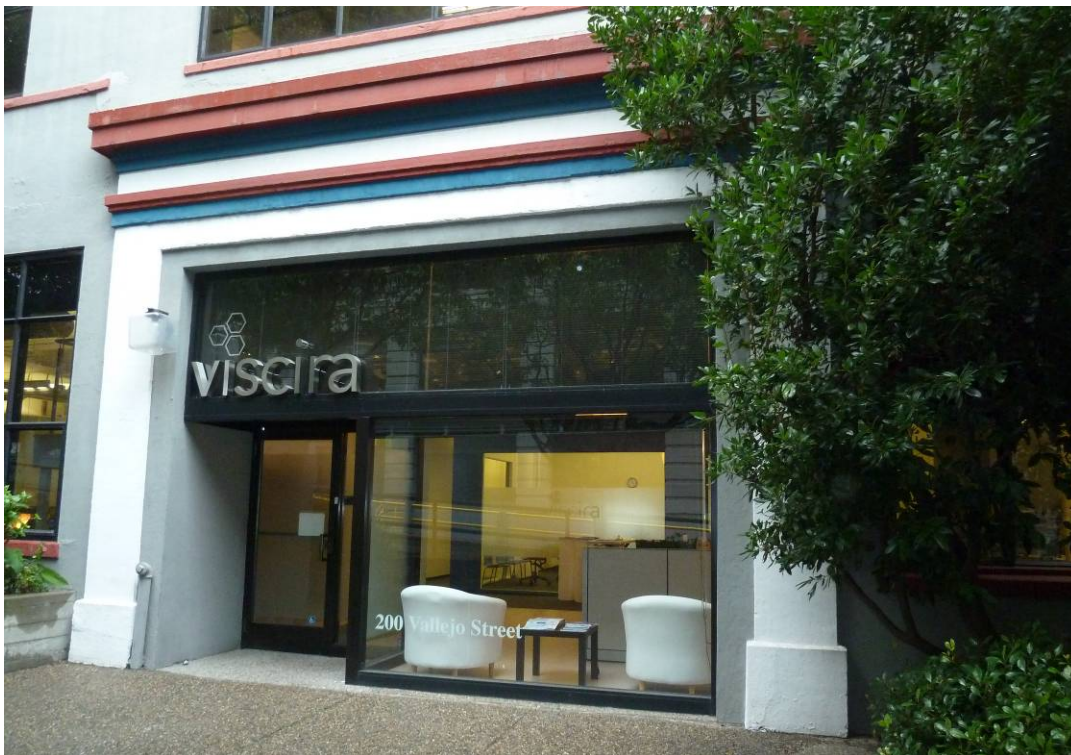


**Figure A6.** View of south elevation, looking east (Architectural Resources Group, January 2013).

**Appendix A. Existing Condition Photographs**



**Figure A7.** View of sidewalk and vegetation along south elevation, looking west (Architectural Resources Group, January 2013).



**Figure A8.** View 200 Vallejo Street entrance, along south elevation (Architectural Resources Group, January 2013).



**Figure A9.** View of 220 Vallejo Street entrance, along south elevation near rear of building (Architectural Resources Group, January 2013). This currently serves as the building's primary entrance.

**Appendix A. Existing Condition Photographs**



**Figure A10.** View of private alley along west elevation (Architectural Resources Group, January 2013).



**Figure A11.** View of west elevation (Architectural Resources Group, January 2013).



**Appendix A. Existing Condition Photographs**



**Figure A12.** 415-431 Jackson Street, home of the Petri Italian-American Cigar Co. from 1912 to 1922 (Architectural Resources Group, February 2013). Compare Figure B1 below.



**Figure A13.** The Heublein Wine Distribution Warehouse at 601 4th Street, home to the Petri Wine Company from the mid-1950s to the mid-1970s (Architectural Resources Group, February 2013).

## Appendix A. Existing Condition Photographs



**Figure A14.** 655 4th Street, home to the Petri Wine Company in the years immediately following the company's departure from 901 Battery Street (Architectural Resources Group, February 2013).



**Figure A15.** 361-365 Brannan Street, which served as the headquarters of Manning's, Inc. from c. 190 to 1947. A Manning's restaurant remained in the building's ground floor into the mid-1960s (Architectural Resources Group, February 2013).

## Appendix B. Historic Photographs and Maps

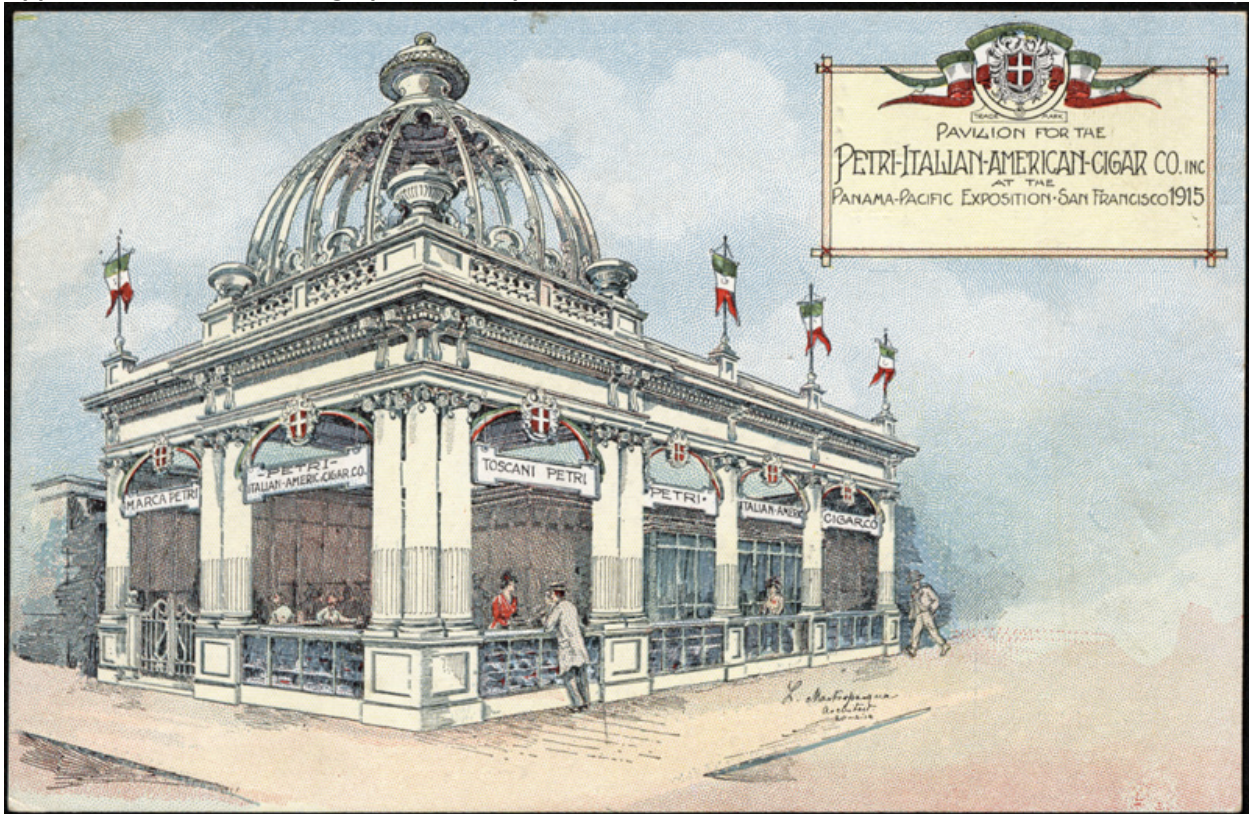


**Figure B1.** Undated photo of staff and management of the Petri Italian American Cigar Company in front of their headquarters at 409-417 (now 415-431) Jackson Street (source: [www.flickr.com](http://www.flickr.com), accessed February 12, 2013). This building today is shown in Figure A12.



**Figure B2.** 1915 postcard showing the Petri Italian-American Cigar Co. booth “in the Food Products Bldg., Avenue A and Fifth St.” at the Panama-Pacific International Exposition (source: [www.flickr.com](http://www.flickr.com), accessed February 12, 2013). The columns at far right correspond to the long wall of the booth shown in the Figures B3 and B4.

**Appendix B. Historic Photographs and Maps**



**Figure B3.** 1915 postcard showing the Petri Italian-American Cigar Co. booth at the Panama-Pacific International Exposition (source: Digital Image Catalog, The Wolfsonian, Florida International University, <http://digital.wolfsonian.org/WOLF012021/00001/2j>, accessed February 12, 2013).

**Appendix B. Historic Photographs and Maps**



**Figure B4.** 1915 advertisement showing the Petri Italian-American Cigar Co. booth at the Panama-Pacific International Exposition (source: [www.ebay.com](http://www.ebay.com), accessed February 12, 2013). Note the heraldic eagle ornaments, which are similar to those found on 901 Battery Street (see Figure A3 above).

Appendix B. Historic Photographs and Maps

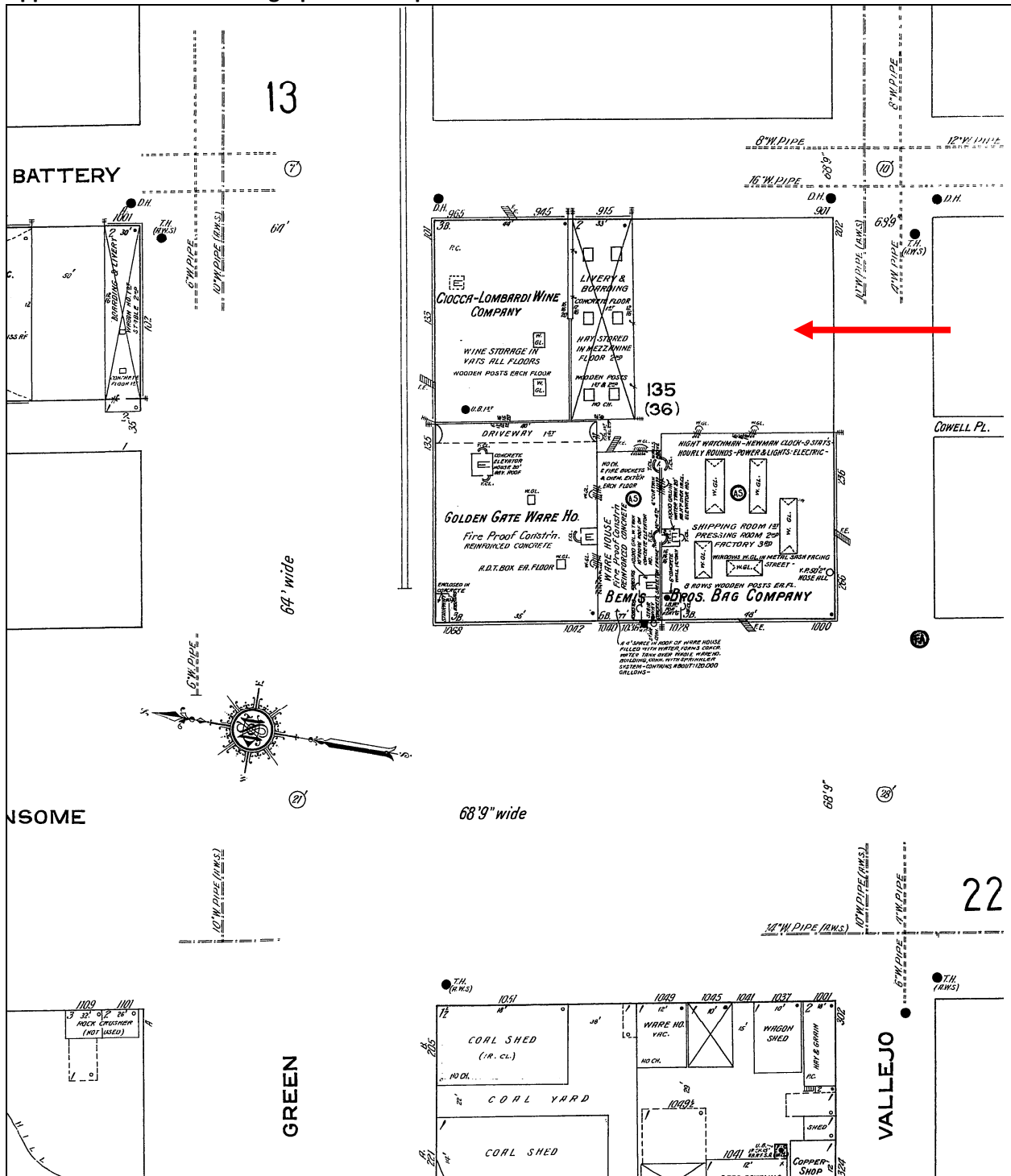


Figure B5. 1915 Sanborn Map showing the future site of the building at 901 Battery Street.

Appendix B. Historic Photographs and Maps

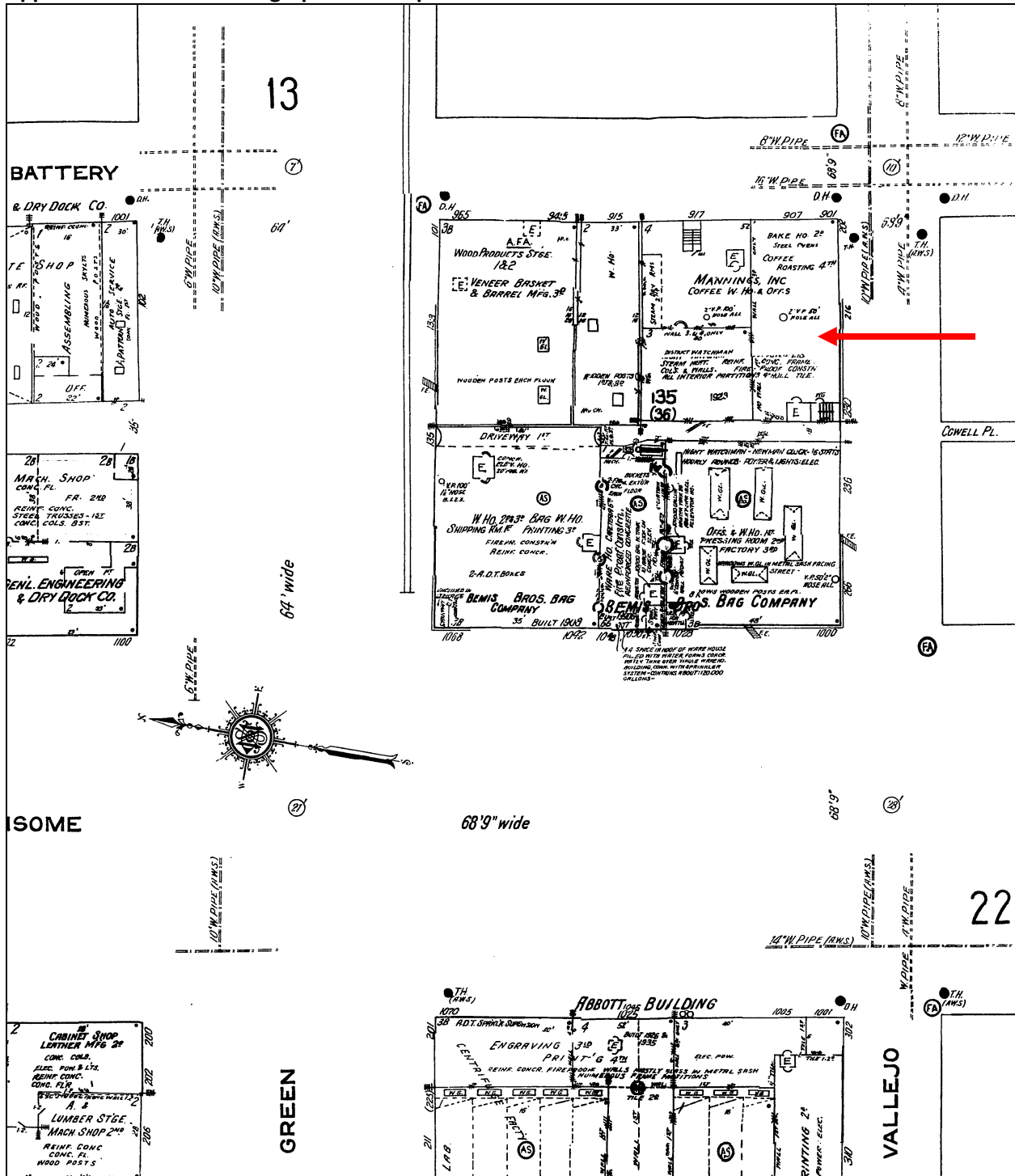


Figure B6. 1949 Sanborn Map showing 901 Battery Street occupied by Manning's, Inc., coffee warehouse and offices.

Appendix B. Historic Photographs and Maps



Figure B7. Rendering of 901 Battery Street, looking northwest, that was included in the December 2, 1922 edition of the *San Francisco Chronicle* ("San Francisco Completes Most Active Building Year in History," *San Francisco Chronicle*, December 2, 1922, 9).



**Appendix B. Historic Photographs and Maps**



**Figure B8.** San Francisco Assessor's photograph (dated August 16, 1961) of 901 Battery Street, looking northwest (San Francisco History Center, San Francisco Public Library).

**Appendix B. Historic Photographs and Maps**



**Figure B9.** Detail of Figure B8 showing the rail line and former loading dock along the Vallejo Street side of the building (San Francisco History Center, San Francisco Public Library).

**Appendix B. Historic Photographs and Maps**



**Figure B10.** Detail of Figure B8 showing the building's main entry along Battery Street (San Francisco History Center, San Francisco Public Library).

**Appendix B. Historic Photographs and Maps**



**Figure B11.** August 16, 1964 photograph of 901 Battery Street, looking northwest (San Francisco History Center, San Francisco Public Library).

## Appendix C. NRHP and CRHR Eligibility Criteria

### National Register of Historic Places

The National Register of Historic Places is the Nation's master inventory of known historic resources and includes listings of buildings, structures, sites, objects and districts that possess historic, architectural, engineering, archaeological or cultural significance at the national, state or local level. As described in National Register Bulletin Number 15, *How to Apply the National Register Criteria for Evaluation*, a property must have both historical significance and integrity to be eligible for listing in the National Register of Historic Places.

To be significant, a property must be “associated with an important historic context.”<sup>1</sup> The National Register identifies four possible context types, of which at least one must be applicable to the property at the national, state, or local level. As listed under Section 8, “Statement of Significance,” of the National Register of Historic Places Registration Form, these are:

- A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B. Property is associated with the lives of persons significant in our past.
- C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D. Property has yielded, or is likely to yield, information important to prehistory or history.<sup>2</sup>

Second, for a property to qualify under the National Register’s Criteria for Evaluation, it must also retain “historic integrity of those features necessary to convey its significance.”<sup>3</sup> While a property’s significance relates to its role within a specific historic context, its integrity refers to a property’s physical features and how they relate to its significance. To determine if a property retains the physical characteristics corresponding to its historic context, the National Register has identified seven aspects of integrity:

- *Location* is the place where the historic property was constructed or the place where the historic event occurred.
- *Setting* is the physical environment of a historic property.
- *Design* is the combination of elements that create the form, plan, space, structure, and style of a property.
- *Materials* are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.
- *Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- *Feeling* is a property’s expression of the aesthetic or historic sense of a particular period of time.
- *Association* is the direct link between an important historic event or person and a historic property.<sup>4</sup>

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<sup>1</sup> National Park Service, *National Register Bulletin: How to Apply the National Register Criteria for Evaluation*, Washington, DC: National Park Service, updated 1997, 3.

<sup>2</sup> National Park Service, *National Register Bulletin: How to Complete the National Register Registration Form*, Washington, DC: National Park Service, updated 1997, 75.

<sup>3</sup> National Park Service, *How to Apply the National Register Criteria for Evaluation*, 3, 44.

<sup>4</sup> *Ibid.*, 44-45.

Since integrity is based on a property's significance within a specific historic context, an evaluation of a property's integrity can only occur after historic significance has been established.<sup>5</sup>

### **California Register of Historical Resources**

The California Register of Historical Resources is the authoritative guide to the State's significant historical and archeological resources. It serves to identify, evaluate, register and protect California's historical resources. The California Register program encourages public recognition and protection of resources of architectural, historical, archeological and cultural significance, identifies historical resources for state and local planning purposes, determines eligibility for historic preservation grant funding and affords certain protections under the California Environmental Quality Act. All resources listed on or formally determined eligible for the National Register are eligible for the California Register. In addition, properties designated under municipal or county ordinances are also eligible for listing in the California Register.

The California Register criteria are modeled on the National Register criteria discussed above. An historical resource must be significant at the local, state, or national level under one or more of the following criteria:

1. It is associated with events or patterns of events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
2. It is associated with the lives of persons important to local, California, or national history.
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, state or the nation.

The California Historic Resource Status Codes (CHRSCs) are a series of ratings created by the California Office of Historic Preservation (SHPO) to quickly and easily identify the historic status of resources listed in the state's historic properties database. These codes were revised in August 2003 to better reflect the many historic status options available to evaluators. The following are the seven major status code headings:

1. Properties listed in the National Register or the California Register.
2. Properties determined eligible for listing in the National Register or the California Register.
3. Appears eligible for National Register or California Register through Survey Evaluation.
4. Appears eligible for National Register or California Register through other evaluation.
5. Properties recognized as historically significant by local government.
6. Not eligible for listing or designation.
7. Not evaluated for National Register or California Register or needs reevaluation.

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<sup>5</sup> Ibid., 45.



## Secretary's Standards Compliance Evaluation

901 Battery Street

February 18, 2013

The Swig Company has retained Architectural Resources Group, Inc. (ARG) to evaluate the proposed seismic reinforcement and entry rehabilitation of 901 Battery Street for consistency with the *Secretary of the Interior's Standards for Rehabilitation*.

The building at 901 Battery Street is a four-story reinforced concrete office building that was constructed in 1923 for the Petri Cigar Company. The building was occupied by the Petri Cigar Company from the building's construction until approximately 1947, after which it served as the headquarters for Manning's, Inc., which operated restaurants, cafeterias and bakeries throughout the American West. The building is a contributor to the Northeast Waterfront Historic District, a local landmark historic district designated in Article 10 of the San Francisco Planning Code.

Based upon the building's history, present appearance, and status as a contributor to the Northeast Waterfront Historic District, the character-defining features of 901 Battery Street include:

- four-story height
- prominent corner location
- reinforced concrete construction
- symmetric composition of the Battery and Vallejo street façades
- location of main entrance in central bays of Battery Street façade
- location and size of most window openings
- simple coping at cornice
- ornamentation at outer bays of Battery and Vallejo street façades, including triangular parapets, pilasters with pyramidal caps, and heraldic eagle applied appliqué

As detailed below, in ARG's professional opinion, the proposed seismic reinforcement and entry rehabilitation has been designed to comply with the Secretary of the Interior's *Standards for Rehabilitation* and would not cause a substantial adverse change in the significance of 901 Battery Street or the Northeast Waterfront Historic District.

### Project Description

The proposed project includes the addition of exterior and interior seismic upgrades to the building, as well as the rehabilitation of the principal Battery Street entrance, including replacement of previously removed architectural features and addition of a new glass entrance canopy.

### **Seismic Upgrades**

The proposed seismic strengthening of 901 Battery Street involves the installation of three structural elements:

- 1) a new steel-braced frame on a concrete shear wall will be placed on the interior side of the building wall along Battery Street;
- 2) a punched concrete shearwall will be installed on the interior side of the building wall along Vallejo Street; and
- 3) a new concrete shearwall will be placed on the exterior wall surface along the rear alley immediately west of the building.

The addition of these elements will improve the overall seismic performance of the building by reducing the torsional behavior of the building, thereby reducing the damage to the existing structure and façade resulting from a seismic event. The exterior shearwall at the rear alley will not require any foundation and no subsurface material in the alley will be disturbed.

### **Entry Rehabilitation**

The proposed rehabilitation of the building's main entry along Battery Street is based upon archival photographs and existing physical evidence of original architectural moldings surrounding the central entry. The entry's current appearance, a 1961 San Francisco Assessor photograph (the earliest available historical photograph of the building), and the resultant concept sketch are shown below in Figures 1-3.

The proposed rehabilitation entails returning to the building features that, though of simple design, historically added definition and depth to the building's main entrance. The features to be added include:

- cornice cap atop all three bays of the main entry
- stucco relief around bays flanking central bay, of simple base-shaft-entablature design
- recessed stucco wall in bay immediately south of central bay
- rosettes flanking the entry
- grillwork above the door immediately north of the entry

In addition, a glass canopy will be suspended over the main entrance. This canopy will sit within the existing opening. The existing, non-historic, fully-glazed storefront assembly in the central bay will be replaced with a fully-glazed storefront assembly of similar configuration. Similarly, the non-historic, fully glazed, paired doors in the bay immediately north of the central bay will be replaced with fully-glazed doors of similar configuration.

### **Other Modifications**

The building's current primary entrance – at 222 Vallejo Street near the rear of the building – is a storefront assembly consisting of a fully glazed door with sidelights and transom. This non-historic assembly would be replaced with a new, fully-glazed assembly that sits within the current opening.

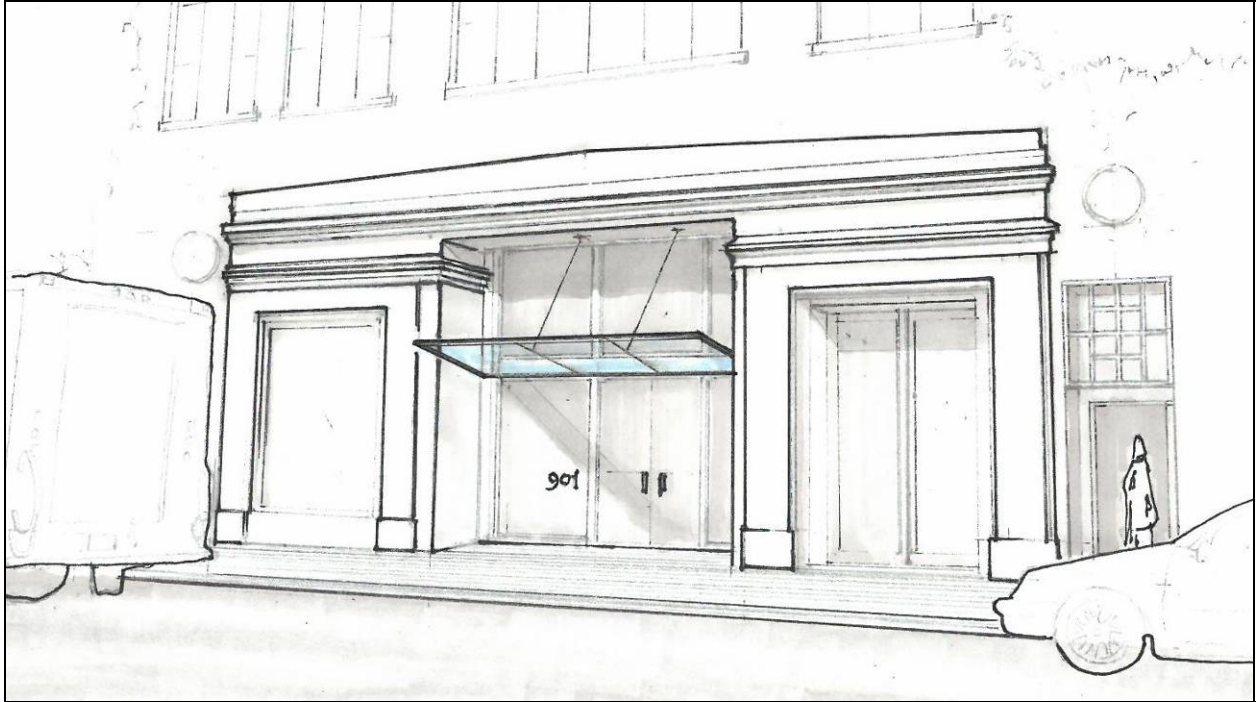




**Figure 1.** Main entrance, along east elevation (Architectural Resources Group, January 2013).



**Figure 2.** Detail of San Francisco Assessor's photograph (dated August 16, 1961) showing the building's main entry along Battery Street (San Francisco History Center, San Francisco Public Library). The building's main entrance had already undergone some alteration at the time this photograph was taken. In particular, the entablature appears to have been partially cut through to accommodate a service entry larger than the original main entrance.



**Figure 3.** Concept sketch of proposed alteration of main entrance along Battery Street (Architectural Resources Group, January 2013).



**Figure 4.** View of west elevation, where new exterior shearwall is proposed (Architectural Resources Group, January 2013).

### **Assessment of Conformance with the Secretary's Standards**

As discussed in detail below, the proposed project appears to be consistent with each of the ten *Secretary's Standards for Rehabilitation*. (See the Appendix for an overview of the *Secretary's Standards*.)

***1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.***

Analysis: No change in use is proposed as part of the project.

***2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.***

Analysis: The proposed project will retain and preserve the various character-defining features identified above. Exterior seismic work is limited to a portion of the building's rear (west) wall, and will not affect any character-defining features. The proposed entry rehabilitation will return the building's main entrance to a more historically appropriate appearance. No historic materials or features will be removed as part of this rehabilitation.

***3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.***

Analysis: The proposed rehabilitation of the building's main entry along Battery Street is based upon archival photographs and existing physical evidence of original architectural features and will not create a false sense of historical development. No conjectural features or elements from other buildings will be added as part of the seismic upgrades.

***4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.***

Analysis: The proposed seismic upgrades do not entail the loss of any non-original features that may have acquired historic significance in their own right.

The building's main entry has undergone several changes over the past few decades, as evidenced in Figures 1 and 2 above. These modifications include:

- entablature has been removed
- door, transom, and windows to south have been filled in
- two non-historic entries added
- former entry to north consisting of paired, glazed doors with transom replaced with solid door set amidst otherwise in-filled opening
- rosette ornaments and Manning's sign removed
- addition of brick at entry and sidewalk
- addition of stucco finishing
- addition of metal fixtures with globe lights

According to building permits, many of these changes may date from the late 1970s. Regardless, none of these alterations has acquired historic significance in their own right. Indeed, these changes are generally unsympathetic to the building's original design and have reduced the building's integrity.

***5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.***

Analysis: No historically significant materials, features, finishes or construction techniques will be removed or otherwise compromised as a result of the proposed project.

***6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.***

Analysis: The proposed project does not include the replacement of any existing historic features.

***7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.***

Analysis: No chemical or physical treatments of existing historic materials are included in the proposed project.

***8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.***

Analysis: The proposed project does not entail any ground disturbance and thus is not anticipated to disturb any archeological resources.

***9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.***

Analysis: The proposed glass canopy will be of a contemporary design that is easily distinguishable from the building's historic features. At the same time, the simple design of the suspended canopy is in keeping with the building's historic industrial use. Other proposed changes at the main entry are based on historic photographs and directly reference historic features.

The proposed exterior shear wall will not destroy or obscure any of the building's historic features.

***10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.***

Analysis: Since few historic features remain at the building's main entry (other than its overall shape and scale), the proposed changes to the entry could be removed in the future without impacting the

building's essential form and integrity. In particular, the suspended glass canopy will sit within the existing central opening and could be removed without affecting the entry adversely.

The proposed seismic upgrades entail adding a shearwall to a portion of the existing rear wall, which is inherently more reversible than removing and replacing a portion of the existing rear wall. In addition, the shearwall's location at the rear of the building enables it to be removed in the future without impacting the building's historic features.

## **Appendix. The Secretary of the Interior's Standards for Rehabilitation**

The Secretary of the Interior is responsible for establishing standards for all programs under Departmental authority and for advising Federal agencies on the preservation of historic properties listed in or eligible for listing in the National Register of Historic Places. The *Standards for Rehabilitation* (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

Initially developed by the Secretary of the Interior to determine the appropriateness of proposed project work on registered properties within the Historic Preservation Fund grant-in-aid program, the *Standards for Rehabilitation* (the *Standards*) have been widely used over the years—particularly to determine if a rehabilitation qualifies as a Certified Rehabilitation for Federal tax purposes. In addition, the *Standards* have guided Federal agencies in carrying out their historic preservation responsibilities for properties in Federal ownership or control; and State and local officials in reviewing both Federal and nonfederal rehabilitation proposals. They have also been adopted by historic district and planning commissions across the country.

The intent of the *Standards* is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The *Standards* pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. They also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified for Federal tax purposes, a rehabilitation project must be determined by the Secretary of the Interior to be consistent with the historic character of the structure(s), and where applicable, the district in which it is located. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

The ten Standards are:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

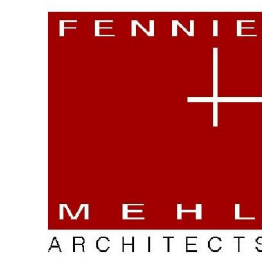
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



# 901 BATTERY STREET ENTRY IMPROVEMENTS, SEISMIC AND MAINTENANCE UPGRADES SAN FRANCISCO, CA



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## PROJECT TEAM

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THE SWIG COMPANY  
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ARCHITECTURAL RESOURCES GROUP, INC.  
PIER 9, THE EMBARCADERO  
SAN FRANCISCO, CA 94111

**ARCHITECT - ADA & INTERIOR IMPROVEMENTS**  
FENNIE + MEHL ARCHITECTS  
300 BRANNAN ST. SUITE 310  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
MURPHY BURR CURRY, INC.  
85 SECOND ST. SUITE 501  
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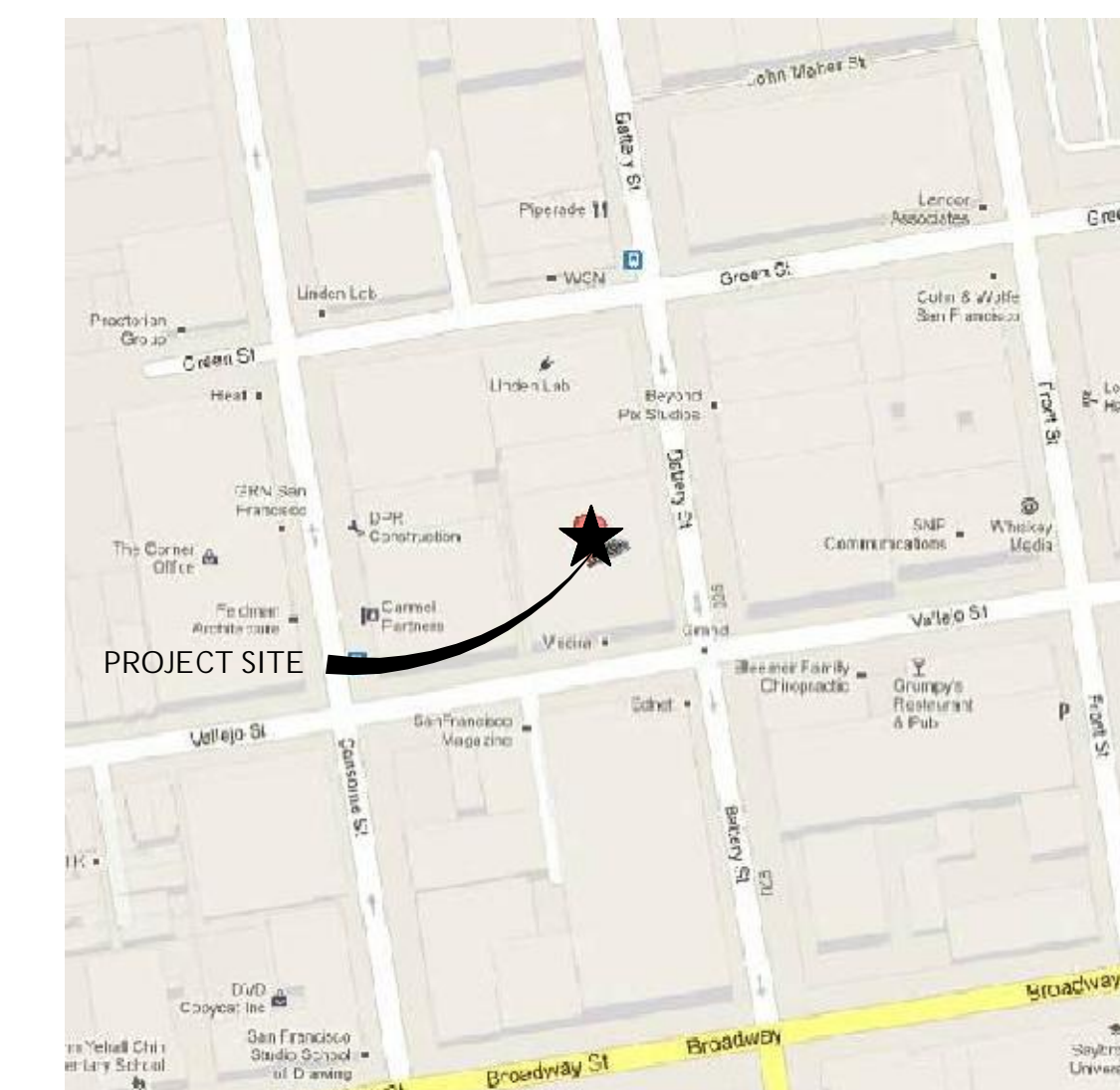
### STRUCTURAL

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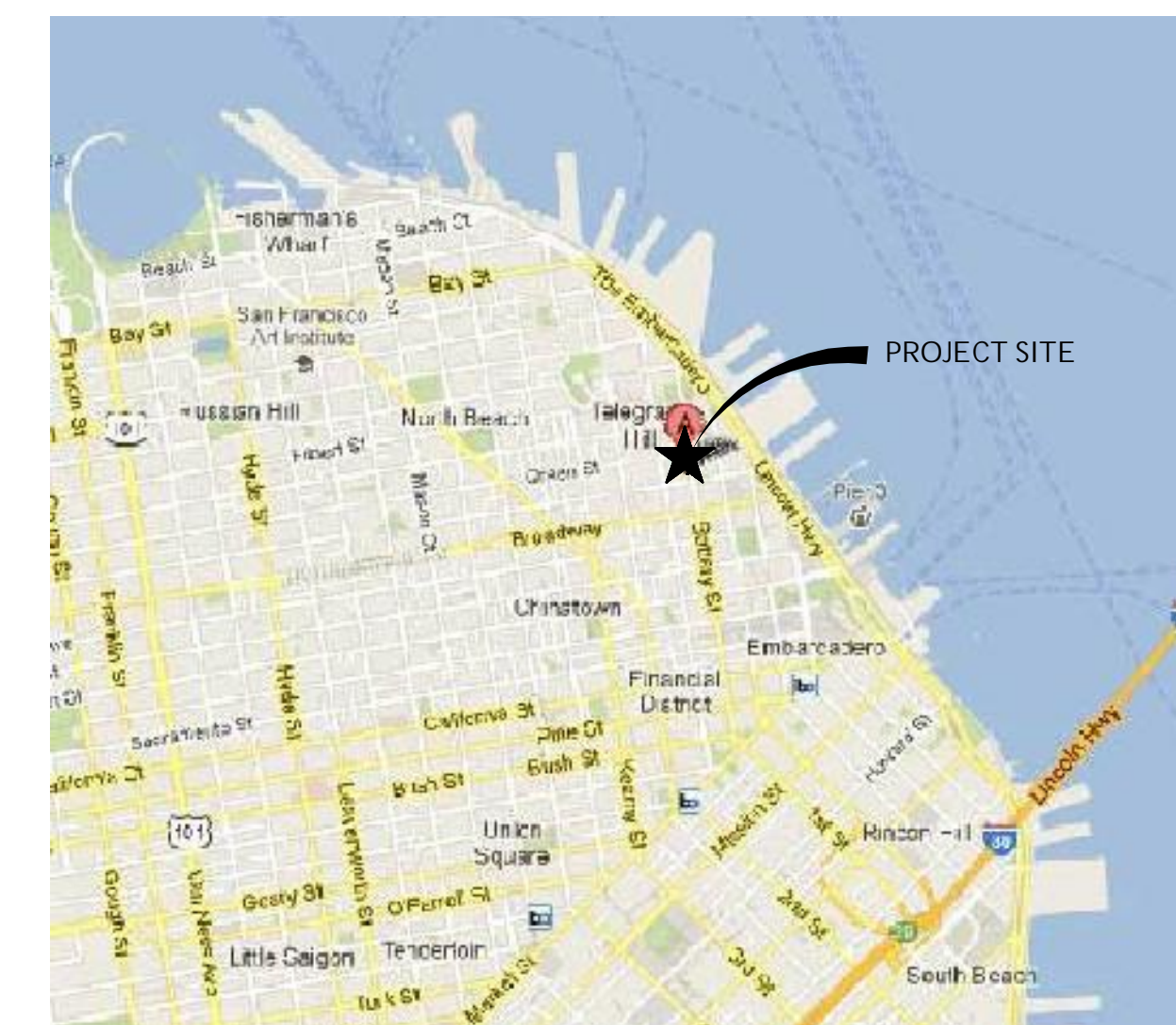
## SCOPE OF WORK

SEISMIC RETROFIT  
ARCHITECTURAL BARRIER REMOVAL AT ENTRIES  
ENTRY IMPROVEMENTS  
MAINTENANCE UPGRADES

## PROJECT LOCATION



## VICINITY MAP



NO.	DESCRIPTION	DATE
REVISIONS		

## 901 BATTERY

ENTRY IMPROVEMENTS,  
SEISMIC AND  
MAINTENANCE UPGRADES

901 BATTERY ST.  
SAN FRANCISCO, CA 94111

SHEET TITLE

COVER SHEET

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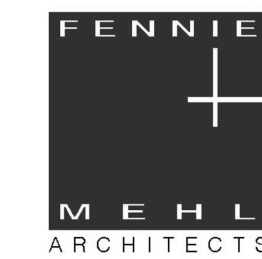
T1.0

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## 901 BATTERY

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SEISMIC AND  
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SHEET TITLE

FIRST FLOOR  
KEY PLAN

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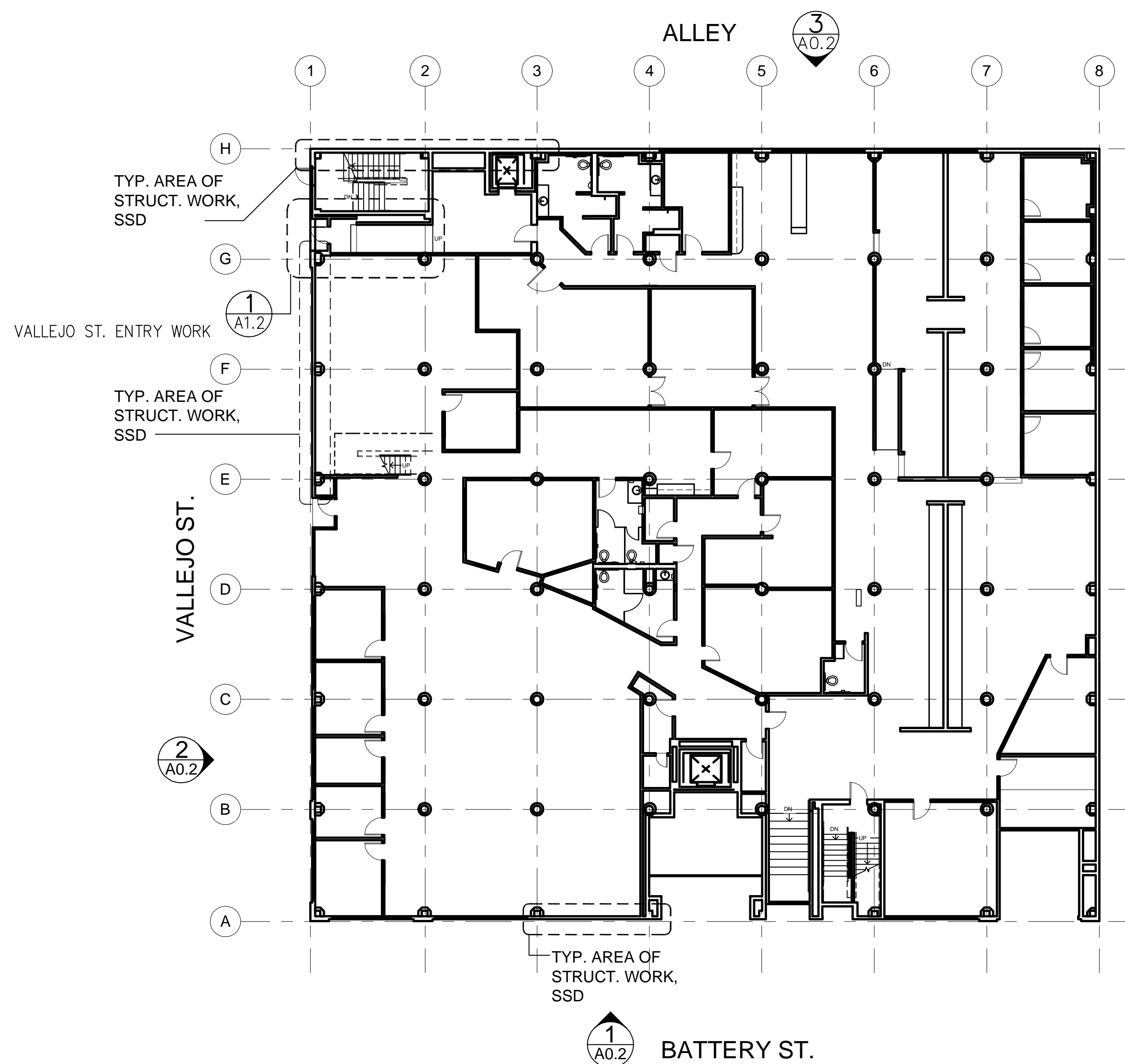
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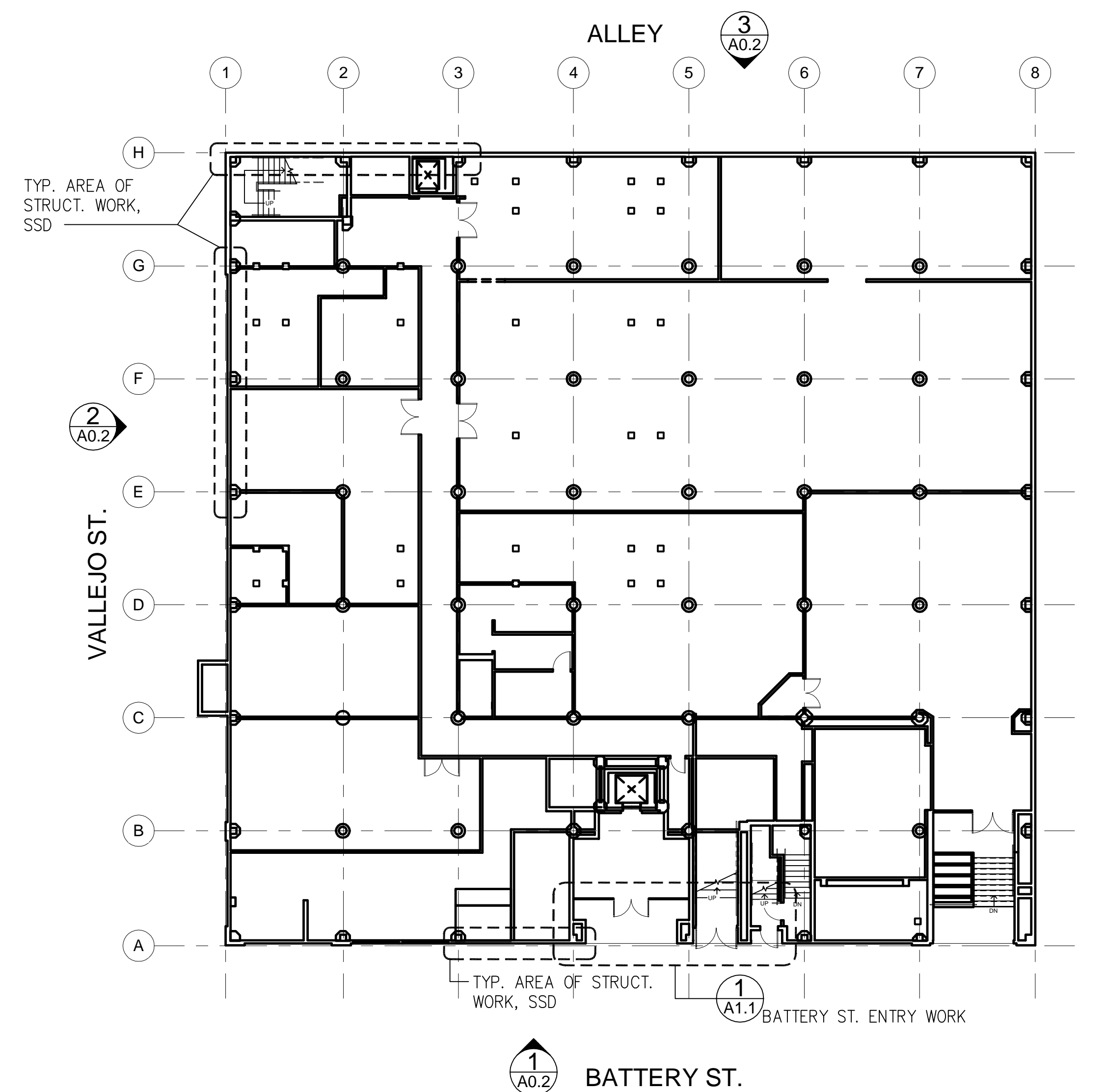
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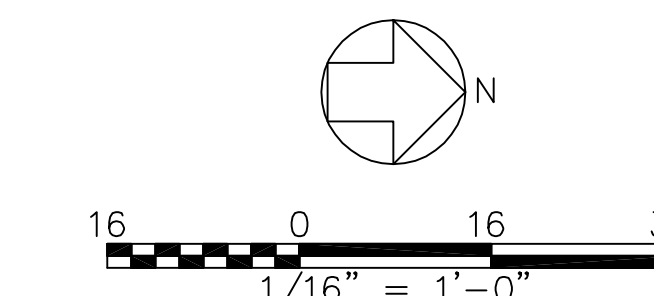
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2 FIRST FLOOR PLAN  
A0.1 SCALE: 1/16" = 1'-0"

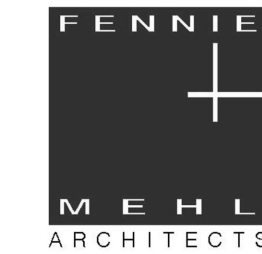


1 BATTERY ST. FLOOR PLAN  
A0.1 SCALE: 1/16" = 1'-0"





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## 901 BATTERY

ENTRY IMPROVEMENTS,  
SEISMIC AND  
MAINTENANCE UPGRADES

901 BATTERY ST.  
SAN FRANCISCO, CA 94111

SHEET TITLE

KEY  
ELEVATIONS

ISSUANCE  
PLANNING SUBMITTAL

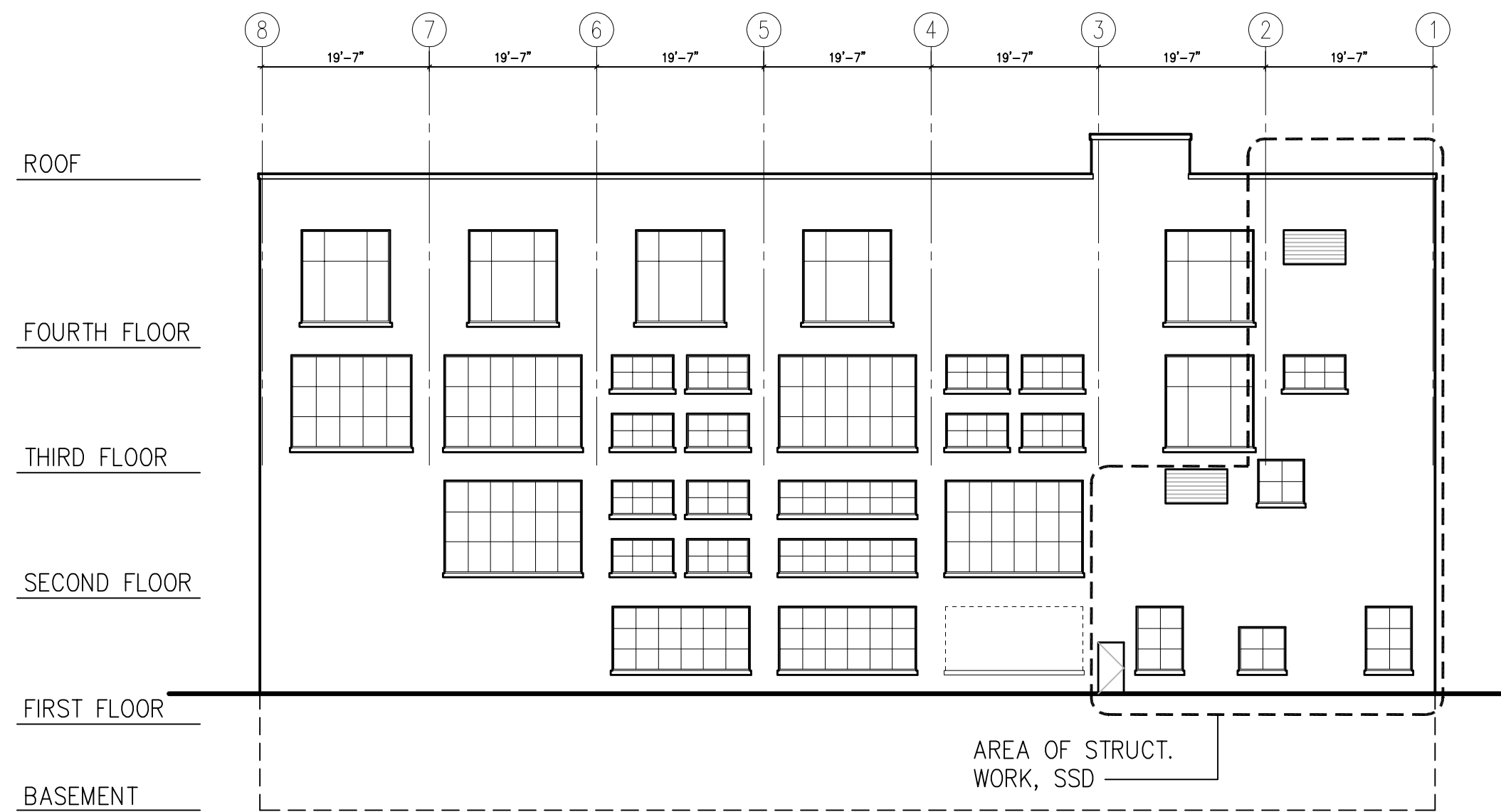
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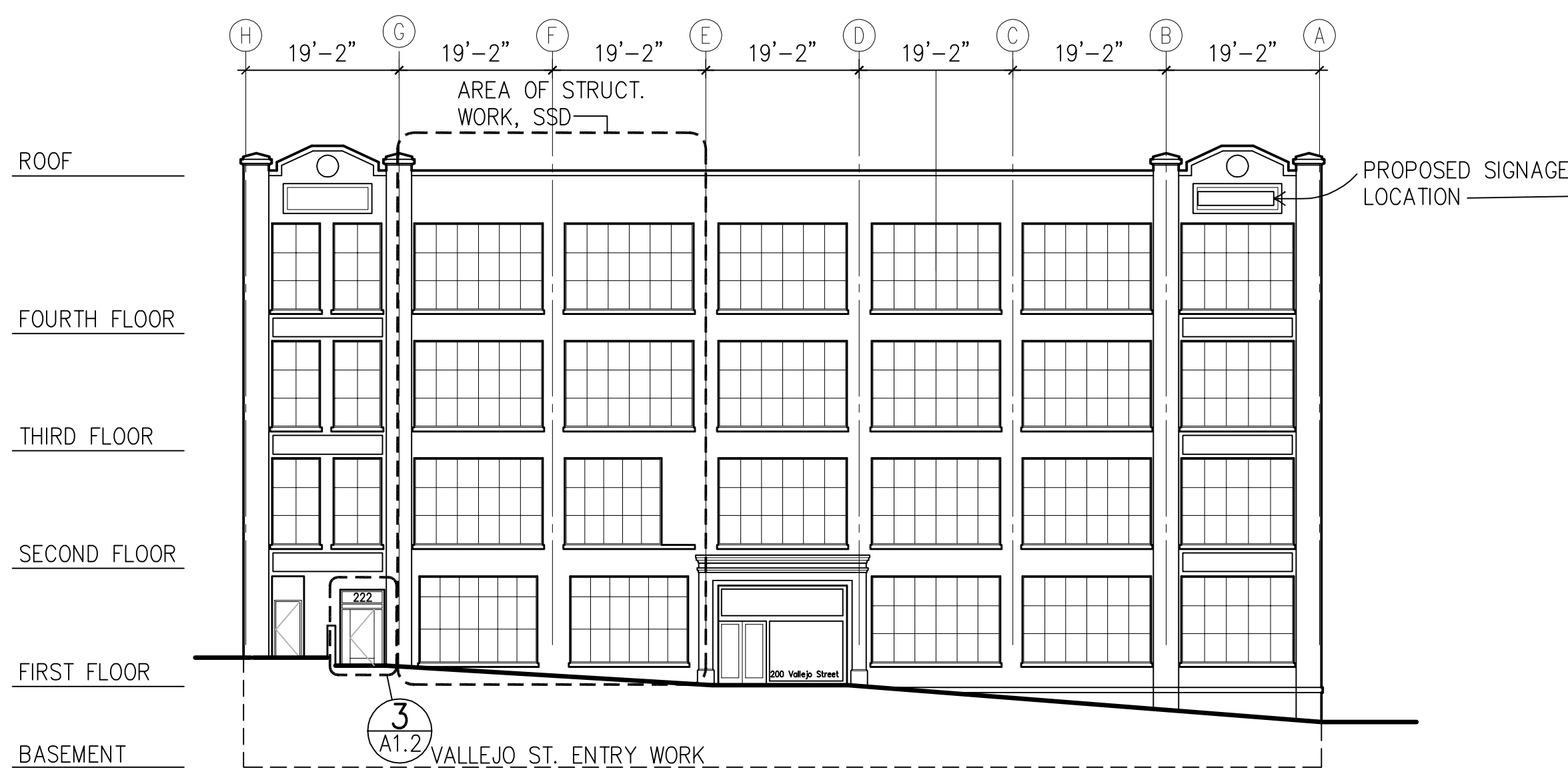
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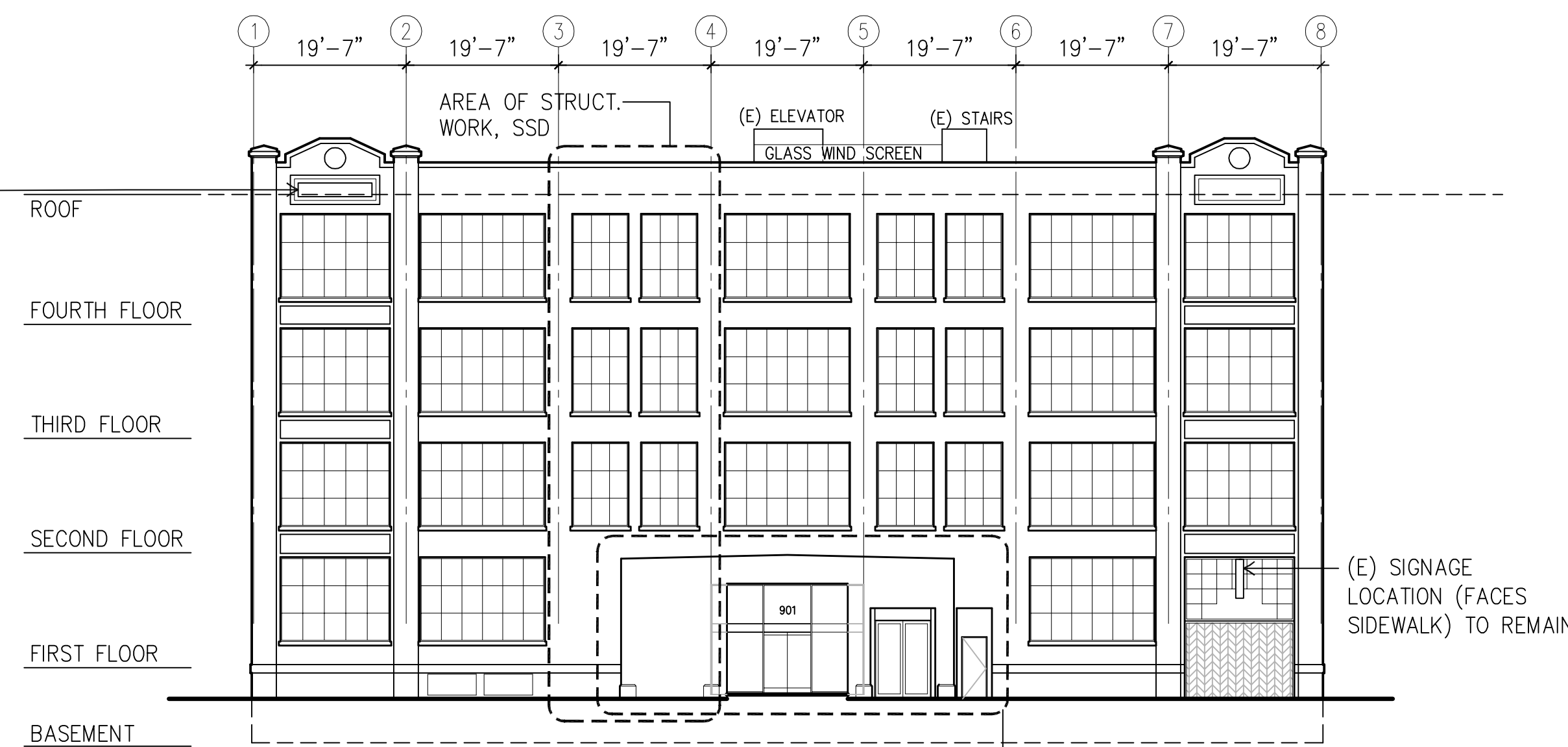
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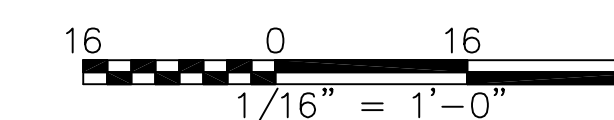
**3** EXISTING ALLEY ELEVATION  
A0.2 SCALE: 1/16" = 1'-0"

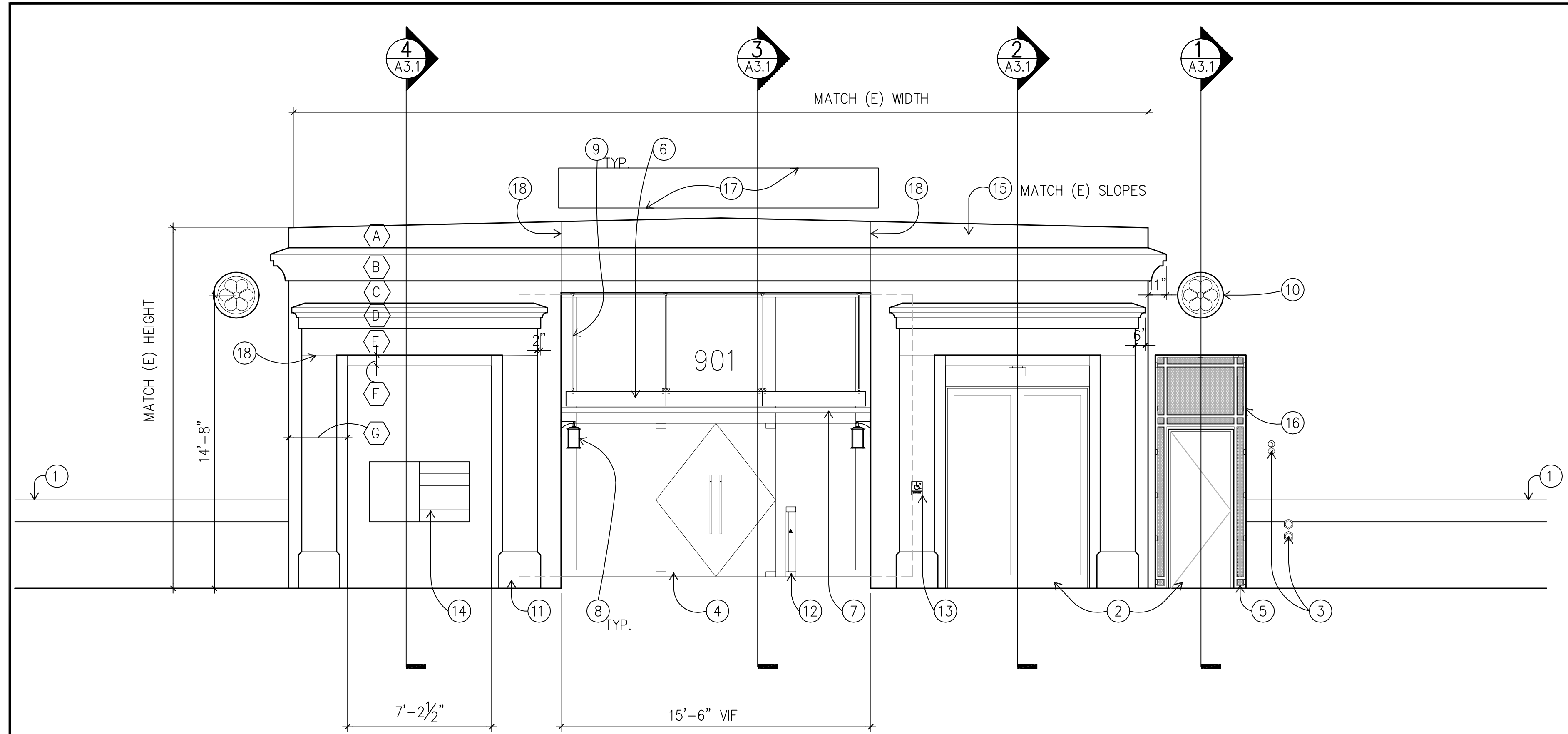


**2** EXISTING VALLEJO ST. ELEVATION  
A0.2 SCALE: 1/16" = 1'-0"



**1** EXISTING BATTERY ST. ELEVATION  
A0.2 SCALE: 1/16" = 1'-0"



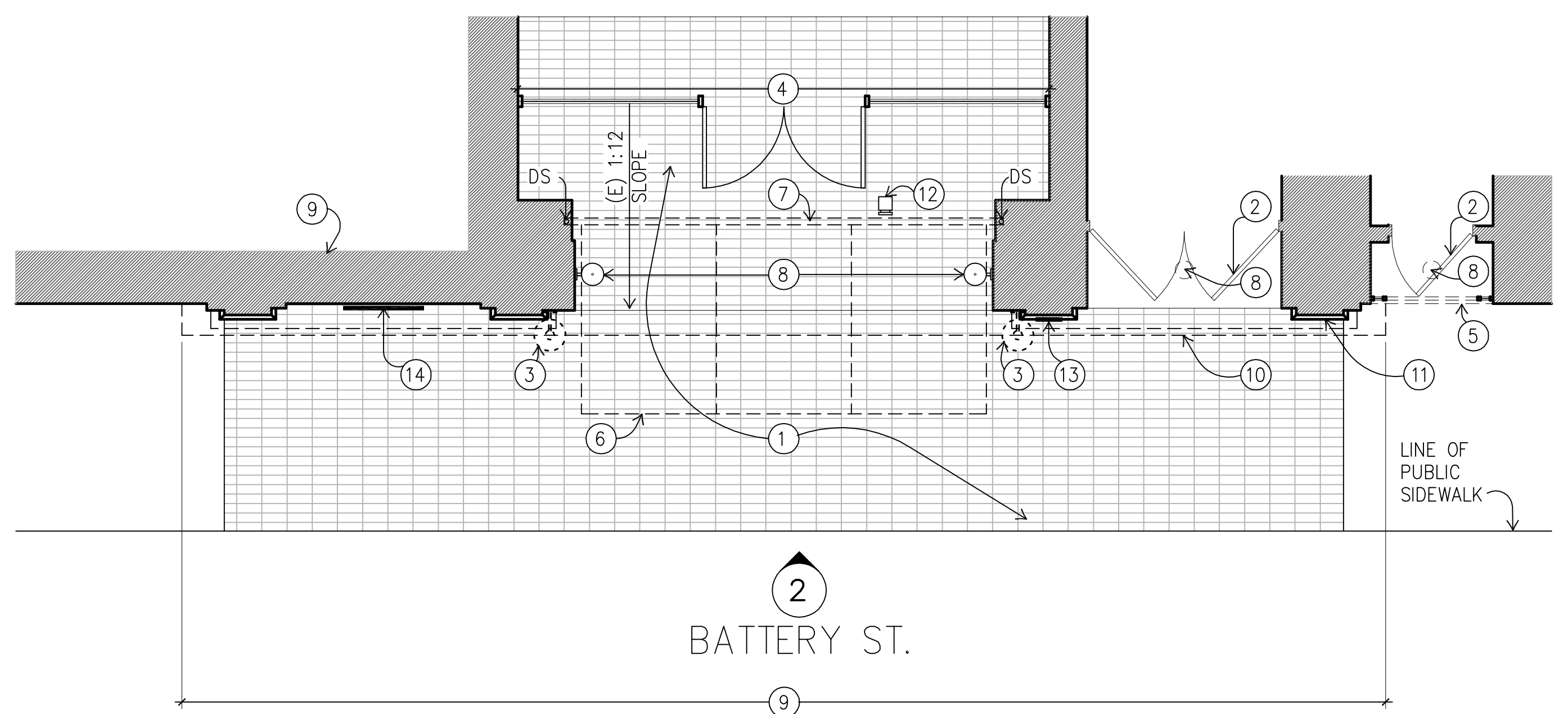


**2 ELEVATION AT ENTRY AREA**  
 A1.1 SCALE: 1/4" = 1'-0"  
 PLAN AND ELEVATION

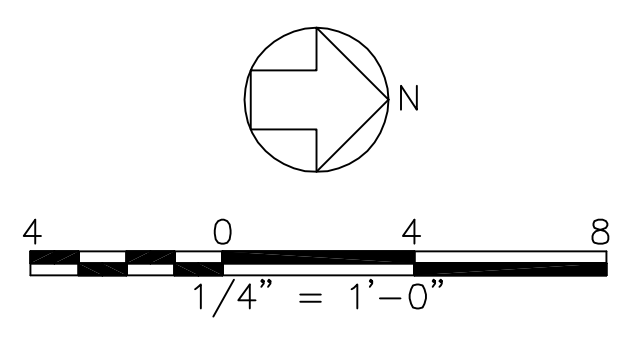
- ELEVATION KEYNOTES**
- ① (E) STUCCO BELT COURSE
  - ② (E) DOOR(S) TO REMAIN BEYOND
  - ③ (E) GAS METER VENTS/ FDC
  - ④ (N) GLASS ENTRY SYSTEM BEYOND
  - ⑤ (E) OPENING W/ (N) METAL FRAME AND SCREENING
  - ⑥ (N) FRAMELESS GLASS CANOPY, SEE WALL SECTIONS FOR ADD'L INFO.
  - ⑦ (N) STAINLESS STEEL GUTTER , SEE WALL SECTIONS FOR ADD'L INFO.
  - ⑧ (N) WALL SCONCE, SEE WALL SECTIONS FOR ADD'L INFO.
  - ⑨ (N) STAINLESS STEEL AWNING FITTINGS
  - ⑩ (N) 28" DIA. GFRC BAS RELIEF MEDALLIONS, SIM. TO ORIGINAL, CENTER OVER OPENING BELOW
  - ⑪ (N) STONE BASE UNIT, TYP. OF 4, SEE 4/A8.2
  - ⑫ PROVIDE VERTICAL ACTUATOR BAR "INGRESSR BY WIKK W/ WIRELESS CONTROL, MOUNT ON BOLLARD, SEE 2/A8.2
  - ⑬ ACCESSIBLE ENTRY SIGNAGE WITH DIRECTIONAL ARROW. SEE SIGNAGE DRAWINGS.
  - ⑭ BUILDING INTERPRETATION AND DIRECTORY SIGNAGE
  - ⑮ REBUILD SURROUND IN GFRC, SEE SHEET A8.1
  - ⑯ ATTACHMENT ANGLES BEYOND
  - ⑰ PROPOSED SIGNAGE LOCATION - HISTORIC LOCATION
  - ⑱ GFRC PANEL JOINT, TYP.

Ⓝ GFRC PANEL TYPE, SEE SHEET A8.1

- FLOOR PLAN KEYNOTES**
- ① (E) FLOOR AND SIDEWALK TILE TO REMAIN.
  - ② (E) DOOR(S) TO REMAIN.
  - ③ REMOVE (E) SCONCE ABOVE
  - ④ (E) GLASS ENTRY TO BE REPLACED WITH (N) IN (E) LOCATION
  - ⑤ (E) OPENING W/ (N) METAL FRAME AND SCREENING, SEE WALL SECTION
  - ⑥ (N) FRAMELESS GLASS CANOPY ABOVE.
  - ⑦ (N) STAINLESS STEEL GUTTER ABOVE
  - ⑧ (N) LIGHTING FIXTURE, SEE WALL SECTIONS
  - ⑨ (N) STRUCTURAL SHEAR WALL, S.S.D.
  - ⑩ RECONSTRUCTED STUCCO SURROUND AND CORNICE ABOVE.
  - ⑪ (N) STONE BASE UNIT, TYP. OF 4.
  - ⑫ PROVIDE VERTICAL ACTUATOR BAR "INGRESSR BY WIKK W/ WIRELESS CONTROL, MOUNT ON BOLLARD, SEE 2/A8.2
  - ⑬ ACCESSIBLE ENTRY SIGNAGE WITH DIRECTIONAL ARROW. SEE SIGNAGE DRAWINGS.
  - ⑭ BUILDING INTERPRETATION AND DIRECTORY SIGNAGE



**1 PLAN AT ENTRY AREA**  
 A1.1 SCALE: 1/4" = 1'-0"  
 PLAN AND ELEVATION



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**901 BATTERY**  
 ENTRY IMPROVEMENTS,  
 SEISMIC AND  
 MAINTENANCE UPGRADES  
  
 901 BATTERY ST.  
 SAN FRANCISCO, CA 94111

SHEET TITLE  
**BATTERY ST. ENTRY  
 PLAN AND  
 ELEVATION**

ISSUANCE  
**PLANNING SUBMITTAL**

DATE  
**FEBRUARY 28, 2013**

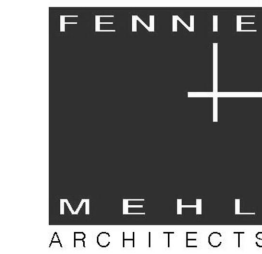
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## 901 BATTERY

ENTRY IMPROVEMENTS,  
SEISMIC AND  
MAINTENANCE UPGRADES

901 BATTERY ST.  
SAN FRANCISCO, CA 94111

SHEET TITLE

VALLEJO ST. ENTRY  
PLAN, SECTION  
& ELEVATION

ISSUANCE  
PLANNING SUBMITTAL

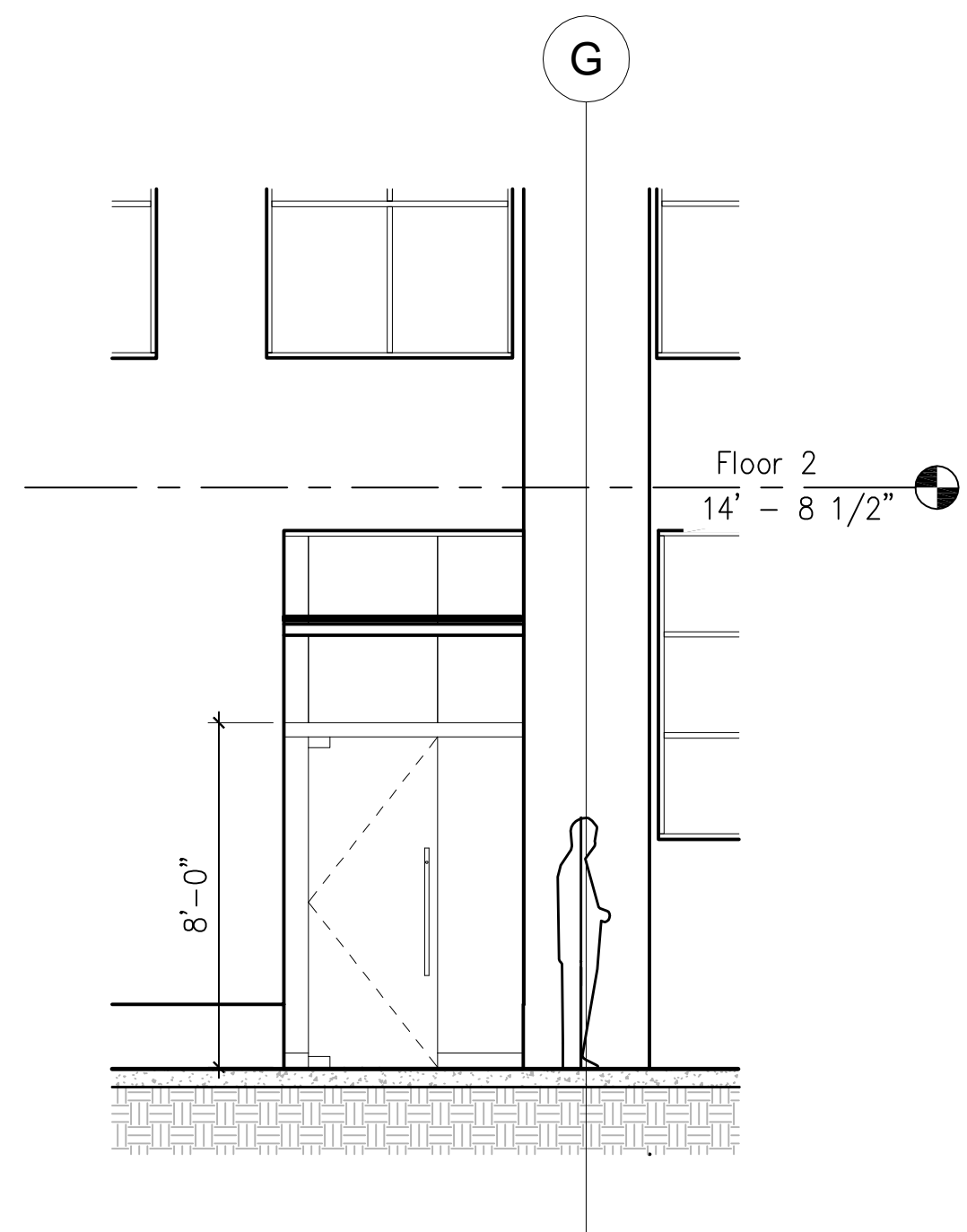
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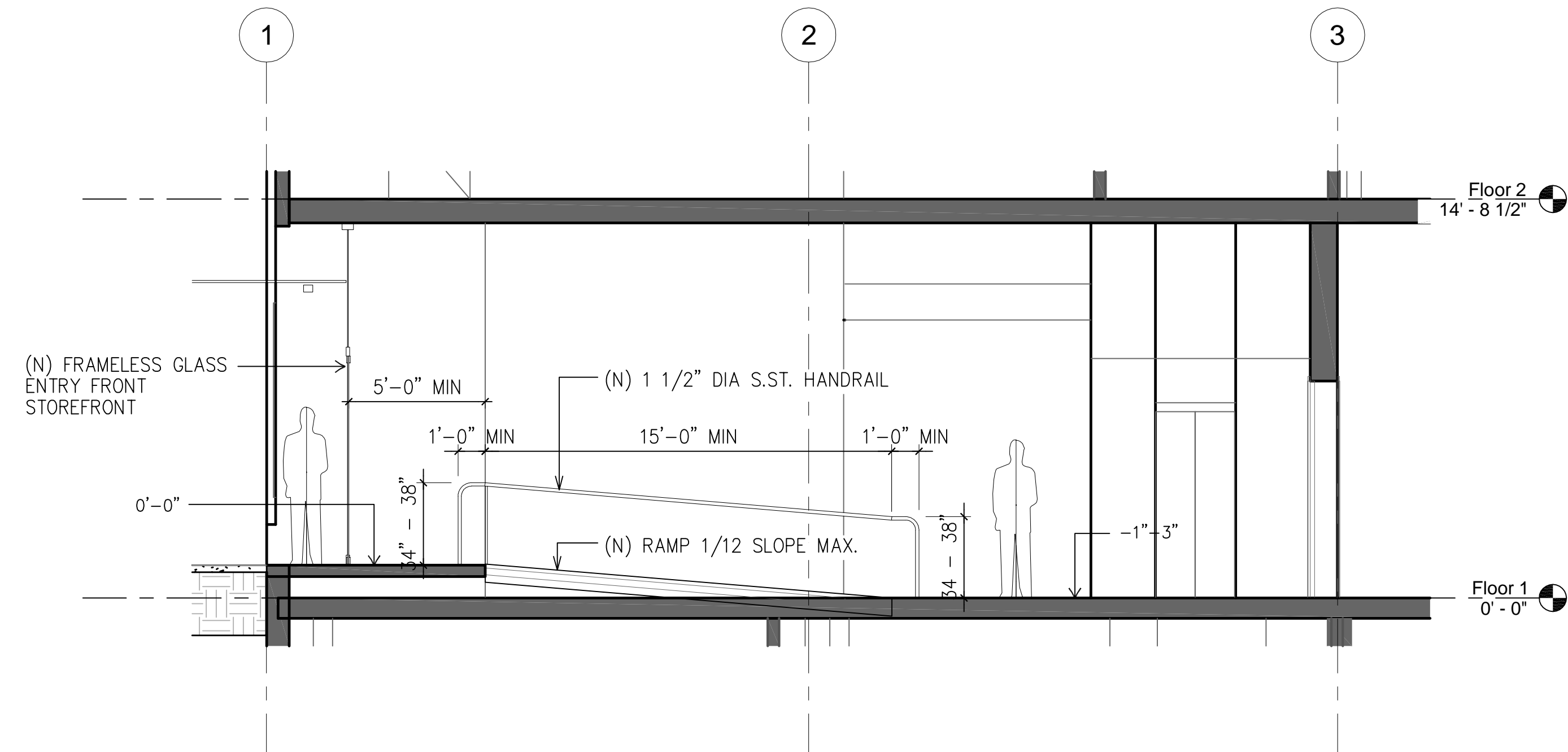
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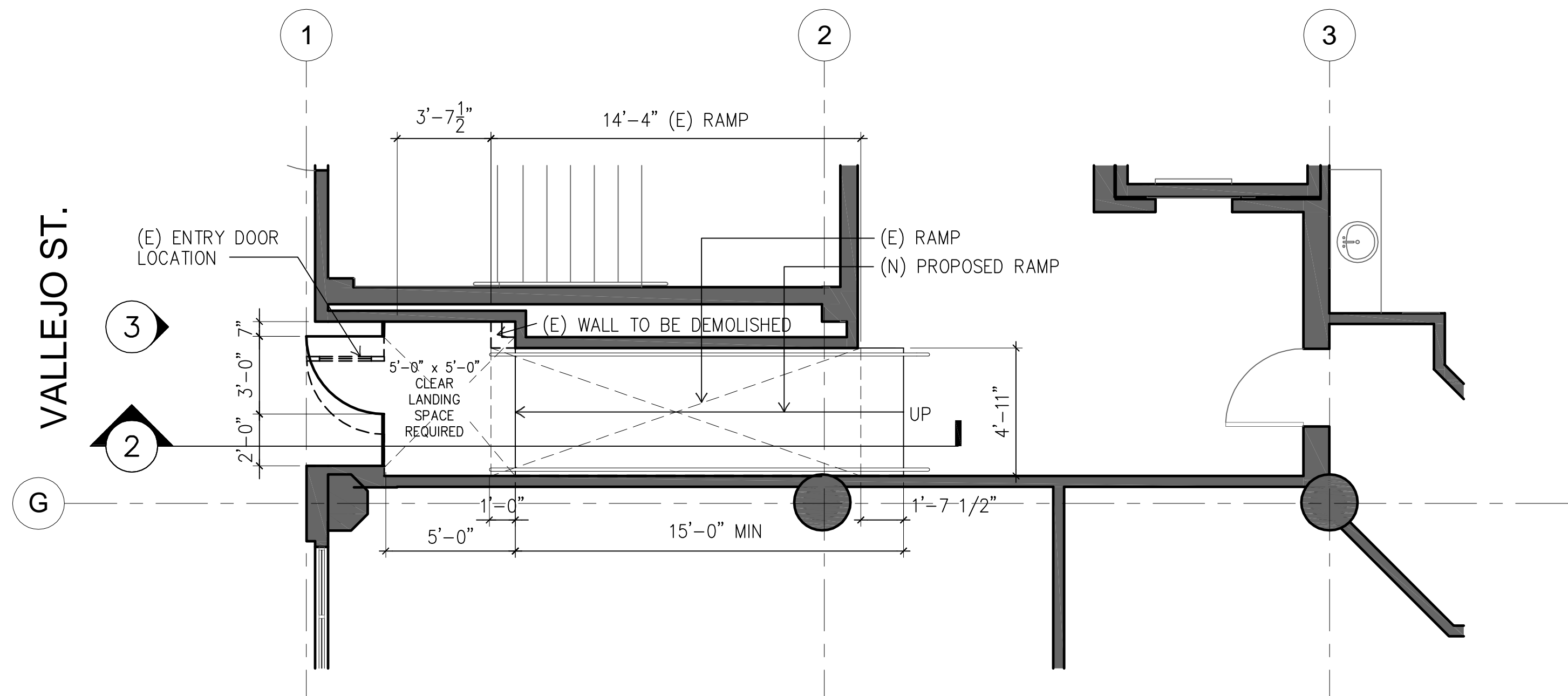
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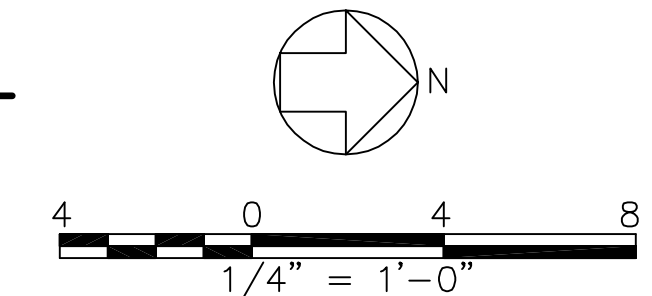
3 SECTION AT VALLEJO ST. ENTRY AREA  
A1.2 SCALE: 1/4" = 1'-0"  
VALLEJO ENTRANCE



2 ELEVATION AT VALLEJO ST. ENTRY AREA - ACCESSIBLE ENTRANCE  
A1.2 SCALE: 1/4" = 1'-0"  
VALLEJO ENTRANCE

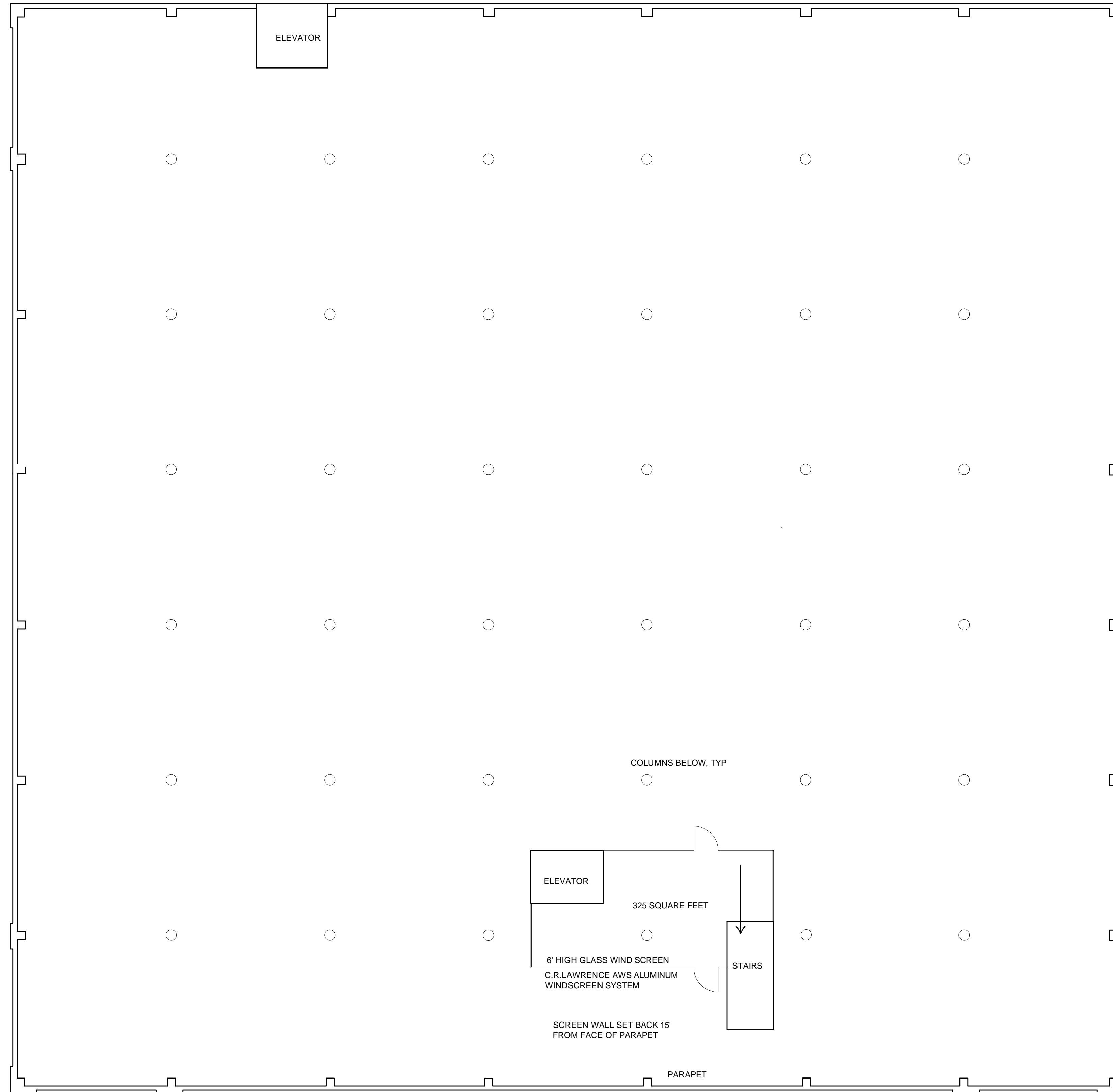


1 PLAN AT VALLEJO ST. ENTRY AREA - ACCESSIBLE ENTRANCE  
A1.2 SCALE: 1/4" = 1'-0"  
VALLEJO ENTRANCE



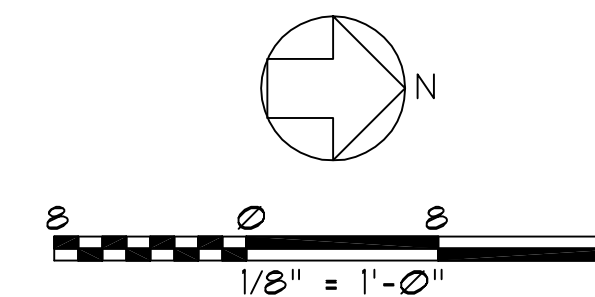
ALLEY

VALLEJO ST.



BATTERY ST.

1 ROOF PLAN  
 A1.3 SCALE: 1/8" = 1'-0"  
 ROOF PLAN



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### 901 BATTERY

ENTRY IMPROVEMENTS,  
 SEISMIC AND  
 MAINTENANCE UPGRADES

901 BATTERY ST.  
 SAN FRANCISCO, CA 94111

SHEET TITLE

ROOF PLAN

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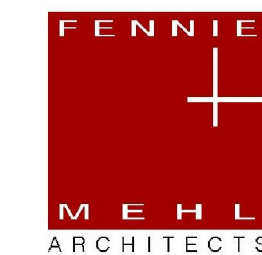
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A1.3

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## 901 BATTERY

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MAINTENANCE UPGRADES

901 BATTERY ST.  
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SHEET TITLE

BATTERY ST.  
NORTH BAY  
ELEVATION

ISSUANCE  
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**A1.4**

SHEET OF 00

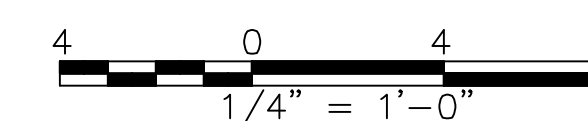
### ELEVATION KEYNOTES

- ① (N) 1-1/2" BY 1-1/2" GALV & PAINTED STEEL TUBE FRAMES
- ② (N) PERFORATED METAL INFILL PANELS
- ③ OPEN AREAS
- ④ (N) BI-FOLD GATES - STEEL TUBING W/ PERF METAL INFILL
- ⑤ (E) BLADE SIGN AT (N) LOCATION

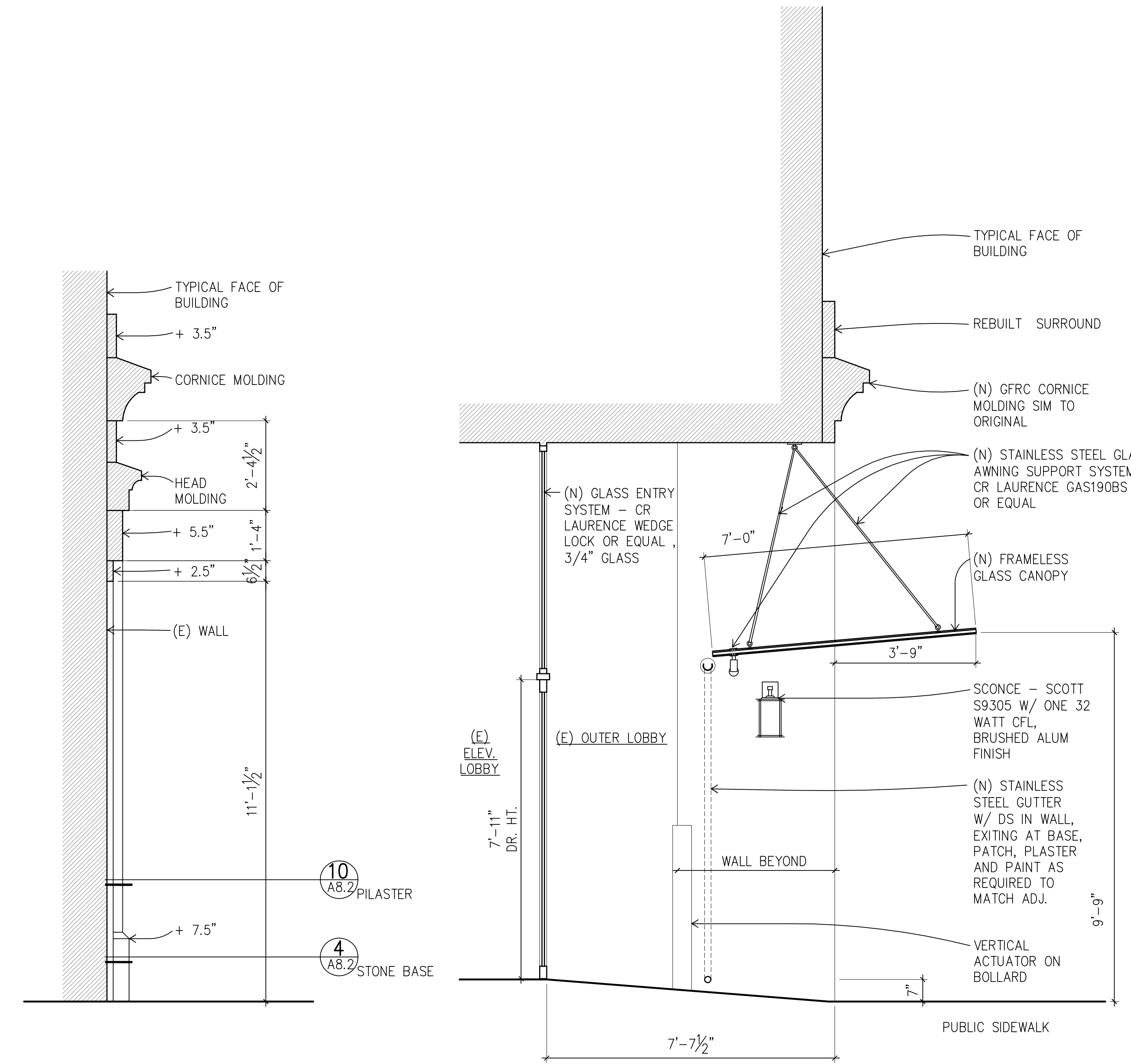


① NEW GATE & SURROUND AT NORTH BAY WITH GATES CLOSED  
A1.4 SCALE: 1/4" = 1'-0"  
ELEVATION

② NEW GATE & SURROUND AT NORTH BAY WITH GATES OPEN  
A1.4 SCALE: 1/4" = 1'-0"  
ELEVATION

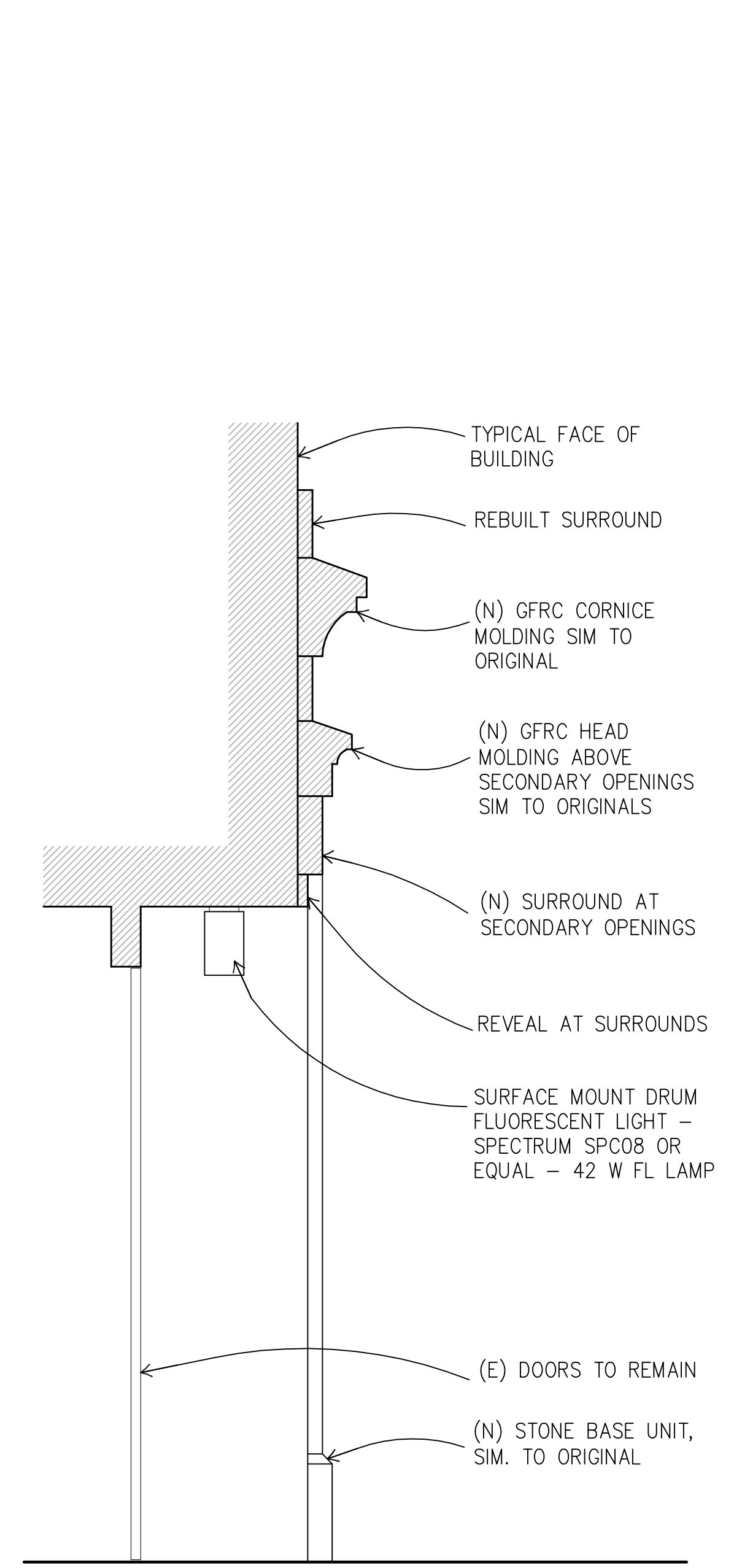


NOTE: SEE SHEET A8.1 FOR REBUILT SURROUND AND GFRC DETAILS

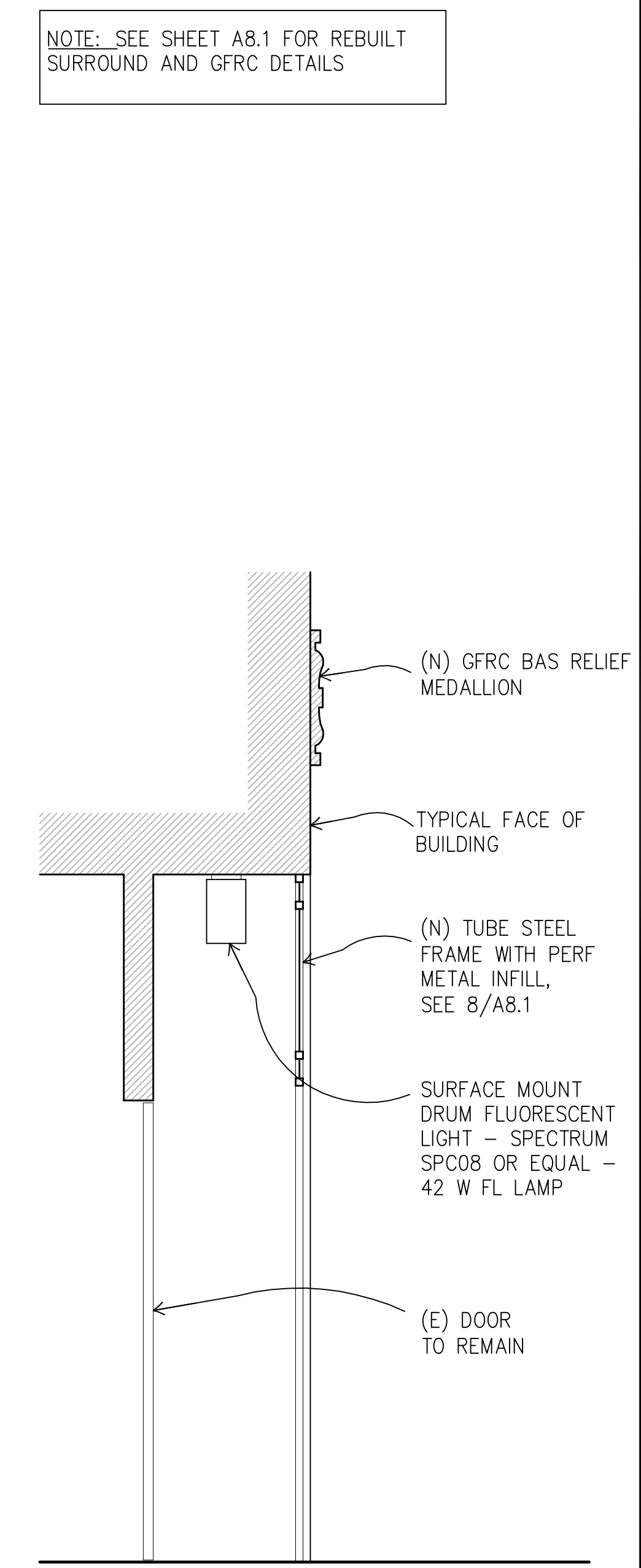


4 WALL SECTION AT RECESSED PANEL  
A3.1 1/2" = 1'-0"

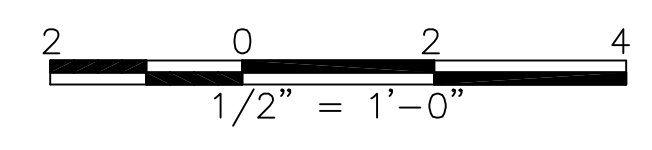
3 WALL SECTION AT MAIN ENTRY LOBBY  
A3.1 1/2" = 1'-0"



2 WALL SECTION AT SECONDARY DOORS  
A3.1 1/2" = 1'-0"



1 WALL SECTION AT SERVICE DOOR  
A3.1 1/2" = 1'-0"



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## 901 BATTERY

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### SHEET TITLE

## BATTERY ST. ENTRY WALL SECTIONS

ISSUANCE  
PLANNING SUBMITTAL

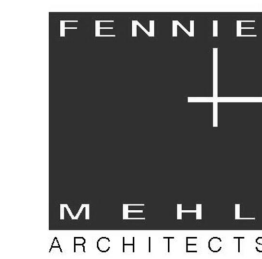
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## 901 BATTERY

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SHEET TITLE

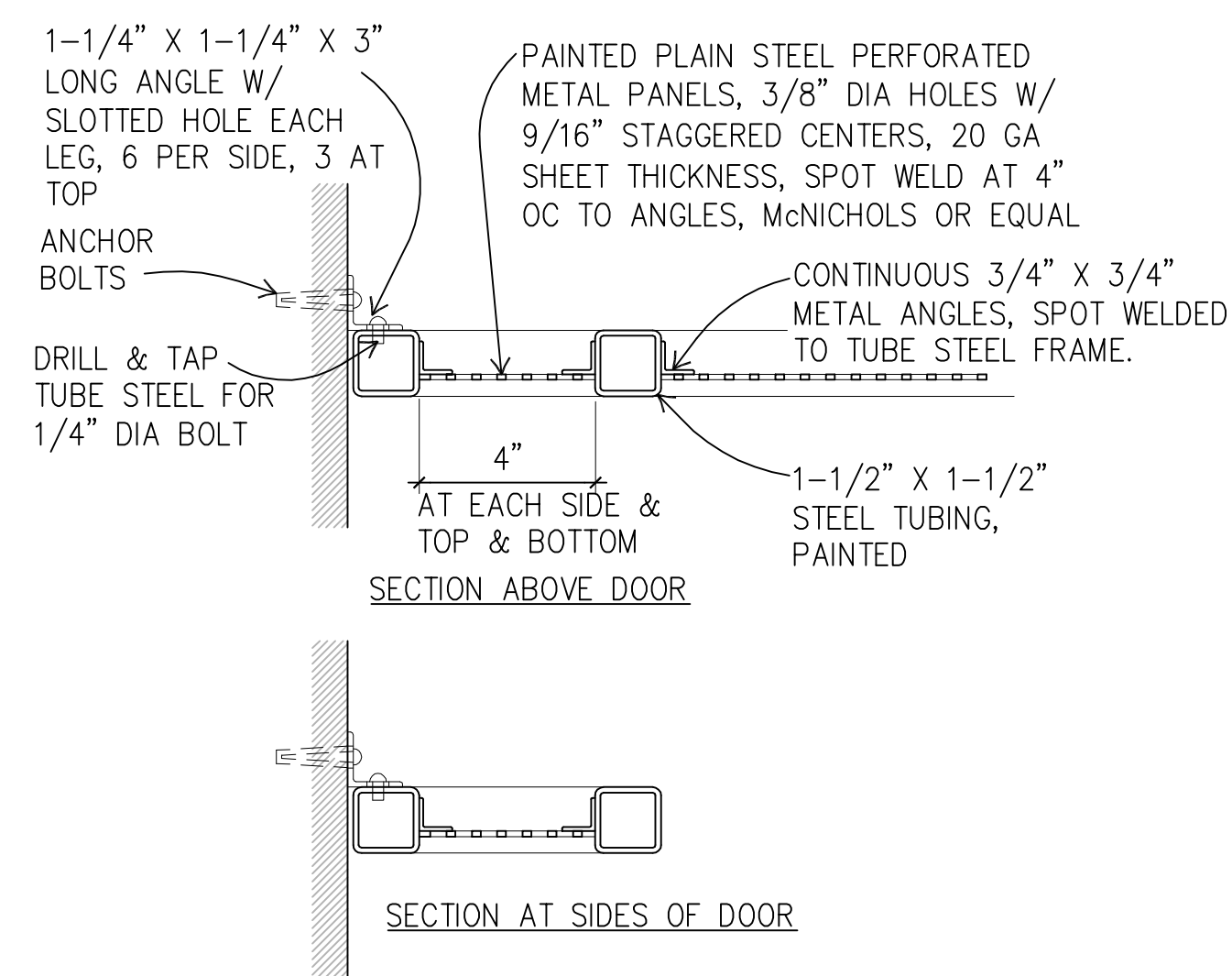
BATTERY ST. ENTRY  
DETAILS

ISSUANCE  
PLANNING SUBMITTAL

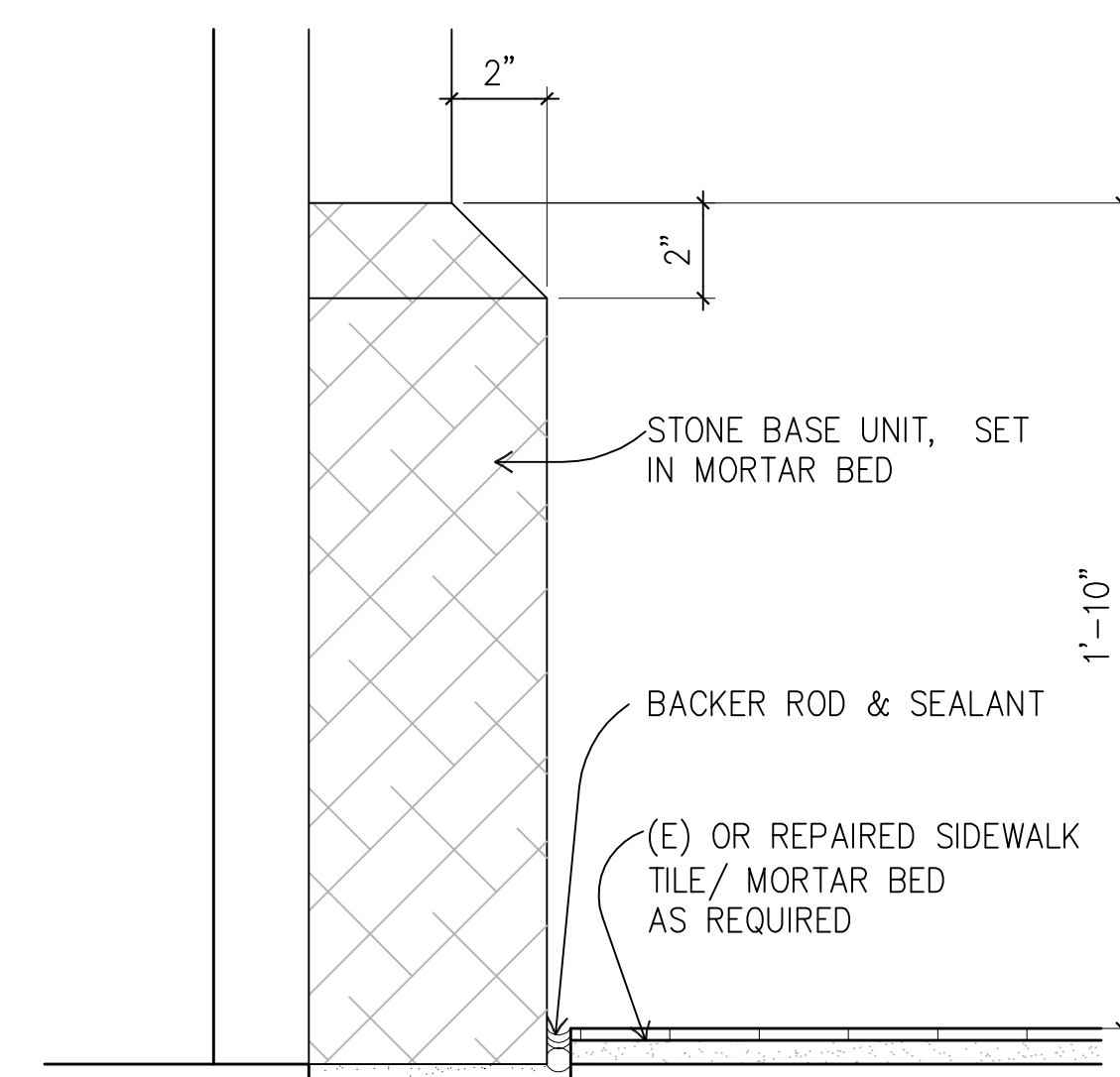
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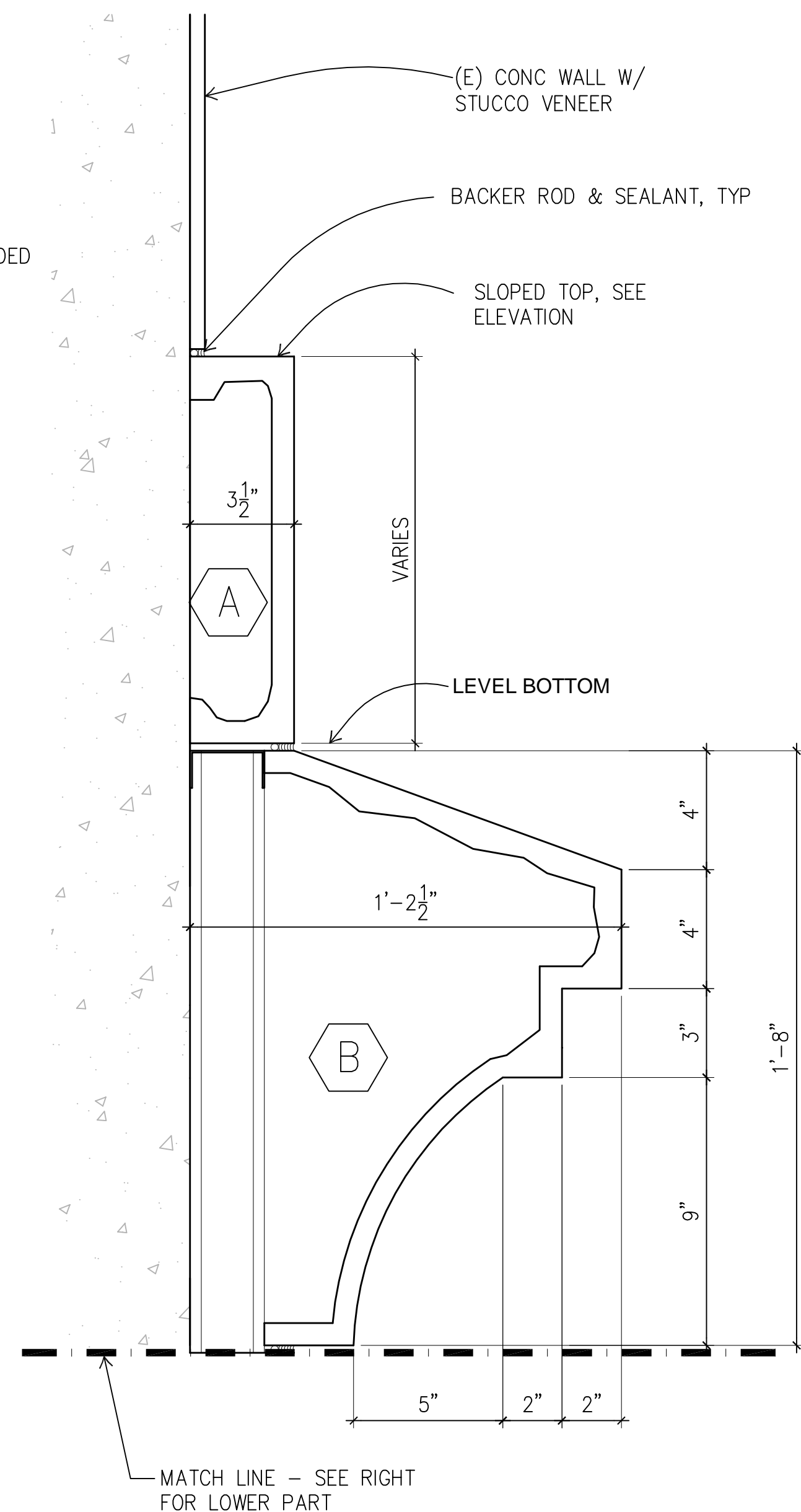
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SHEET OF 00



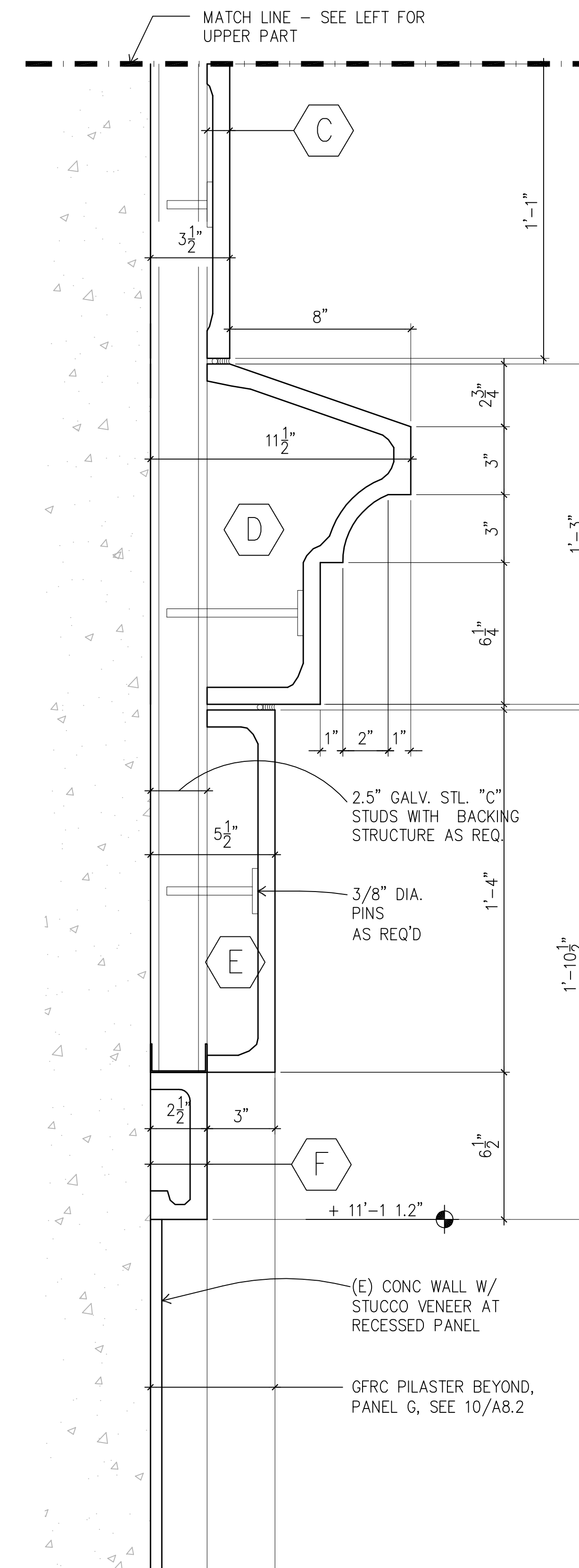
**8 PERFORATED METAL SCREEN AND FRAME**  
A8.1 3" = 1'-0" PLAN SECTIONS, VERTICAL SECTIONS SIMILAR  
DETAILS 04



**7 PLINTH**  
A8.1 3" = 1'-0" DETAILS 04

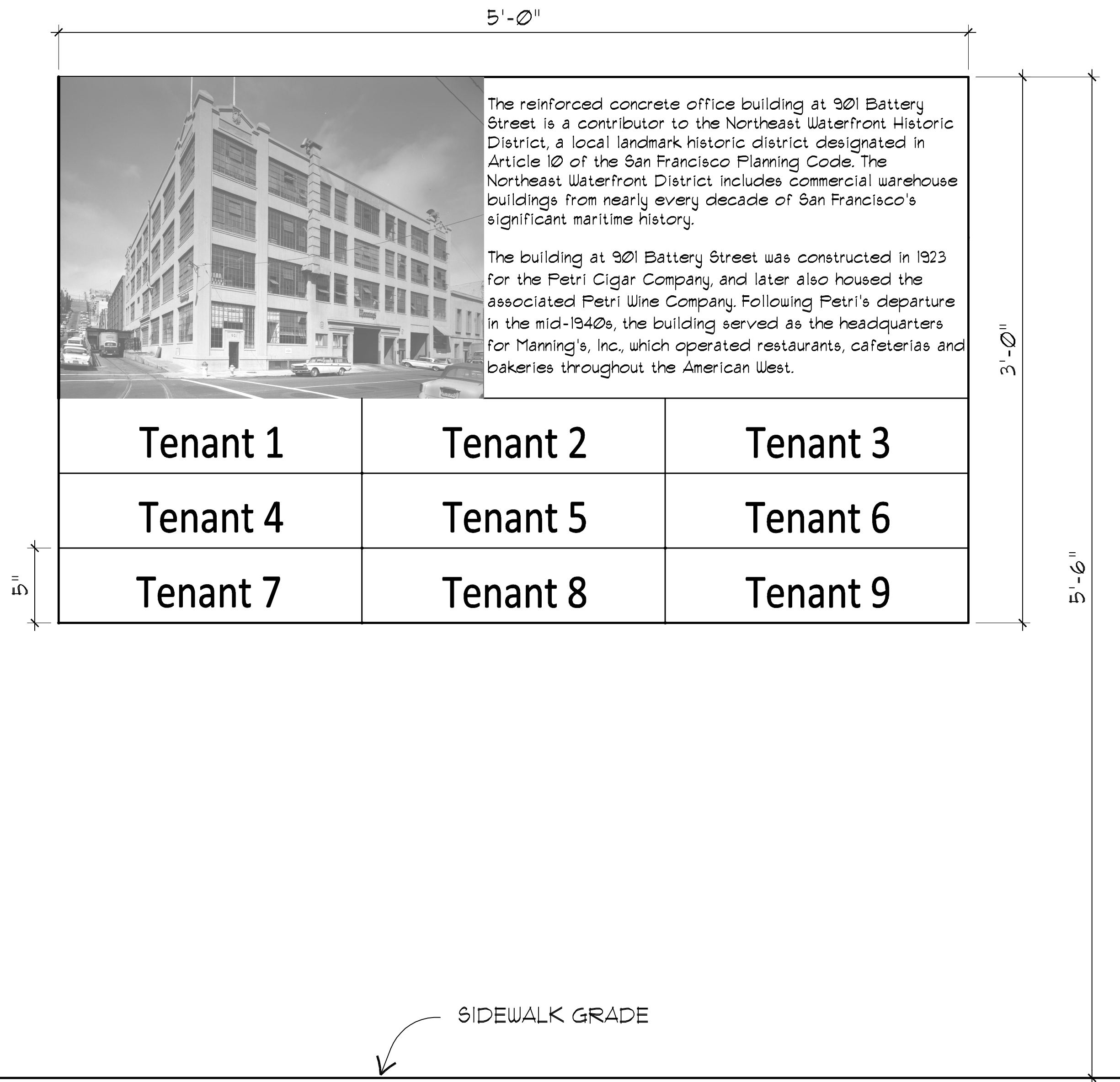


**4 MOLDING PROFILES AT SIDE PORTAL - CONT**  
A8.1 3" = 1'-0" VERTICAL SECTION  
DETAILS 04

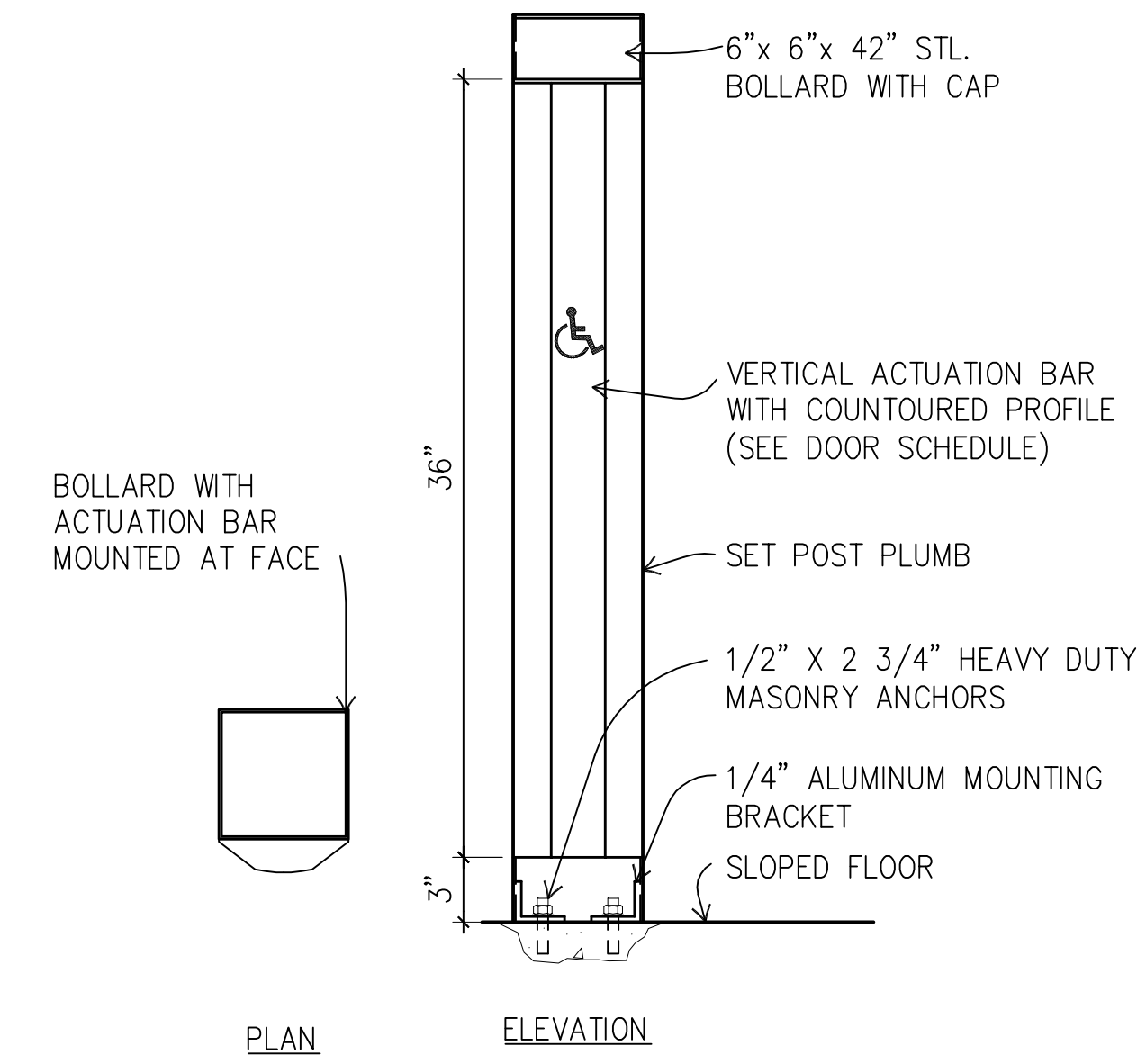


**1 MOLDING PROFILES AT SIDE PORTAL**  
A8.1 3" = 1'-0" VERTICAL SECTION  
DETAILS 04

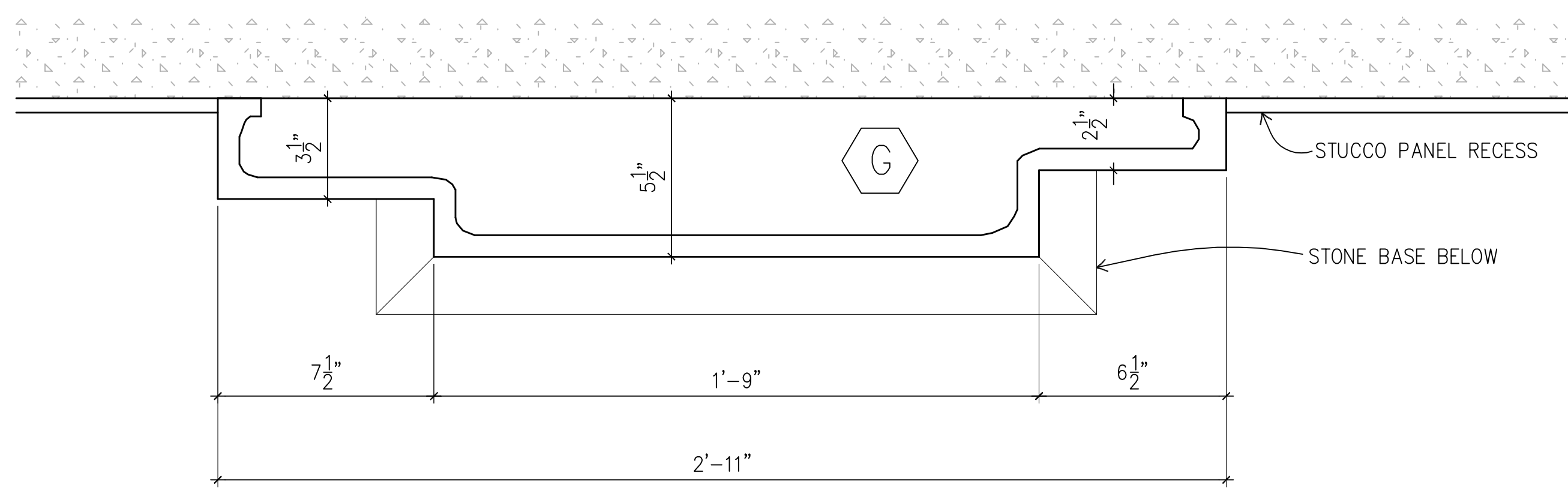




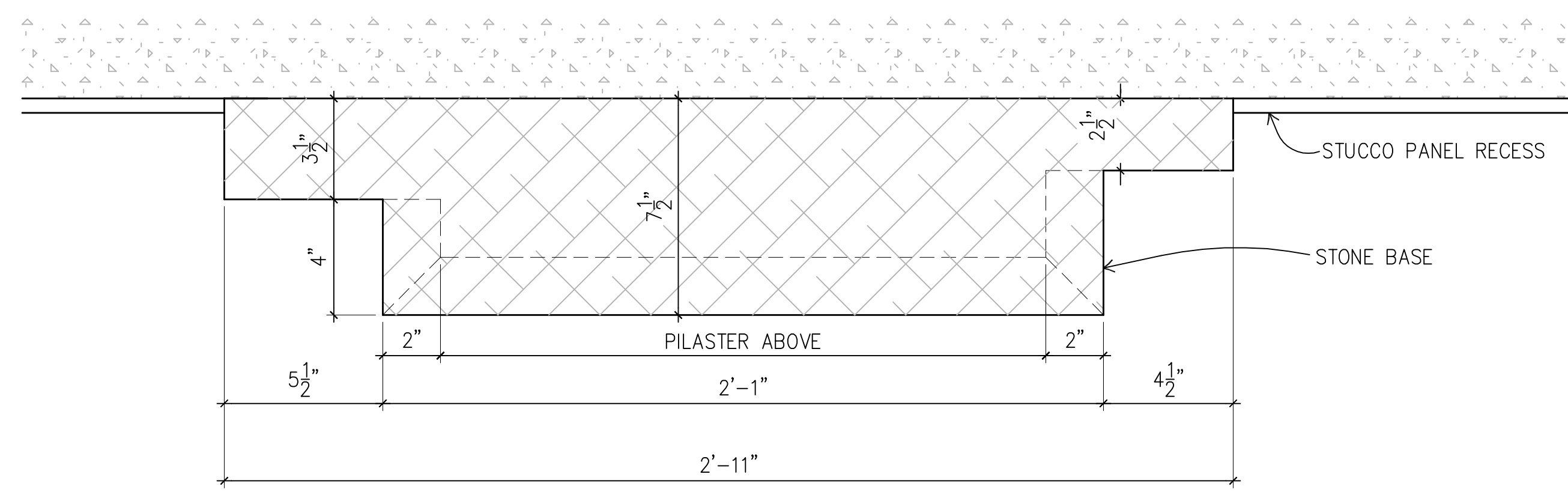
**3** INTERPRETATIVE SIGN W/ TENANT INFORMATION  
 A8.2 N.T.S.  
 TENANT SIGN



**2** VERTICAL ACTUATOR BAR DETAIL  
 A8.2 1 1/2" = 1'-0"  
 DETAILS 04



**10** PILASTER EACH SIDE OF PORTAL  
 A8.2 3" = 1'-0"  
 DETAILS 04



**4** STONE BASE UNIT  
 A8.2 3" = 1'-0"  
 DETAILS 04

ARCHITECTURAL RESOURCES GROUP, Inc.  
 Architectural Planners & Constructors

File 9, The Embarcadero - San Francisco, California  
 415-441-1680 fax 415-441-0127

FENNIE  
 MEHL  
 ARCHITECTS

MURPHY BURR CURRY, INC.  
 STRUCTURAL ENGINEERS  
 San Francisco mbese.com

85 SECOND STREET, SUITE 501  
 SAN FRANCISCO, CA 94105  
 TEL. 415-540-9491  
 FAX. 415-882-7257

NO.	DESCRIPTION	DATE
REVISIONS		

**901 BATTERY**

ENTRY IMPROVEMENTS,  
 SEISMIC AND  
 MAINTENANCE UPGRADES

901 BATTERY ST.  
 SAN FRANCISCO, CA 94111

SHEET TITLE

**BATTERY ST. ENTRY  
 DETAILS**

ISSUANCE  
 PLANNING SUBMITTAL

DATE  
**FEBRUARY 28, 2013**

PROJ. NO. 12208	
DRAWN FR	
CHECKED CC	

DRAWING NO.  
**A8.2**

SHEET OF 00

© ARCHITECTURAL RESOURCES GROUP

Owner

Project Name

Enter address here

Issue	Description	Date

Project Number:	Project Number
Drawn By:	Author
Checked By:	Checker
Date:	Issue Date
Owner Approval:	Approver
Date:	Date

FOR REVIEW ONLY  
- NOT FOR  
CONSTRUCTION

1/8" = 1'-0"

ACCESSIBILITY  
SIGNAGE



**TYPE B**

**TYPE A**



**TYPE C**

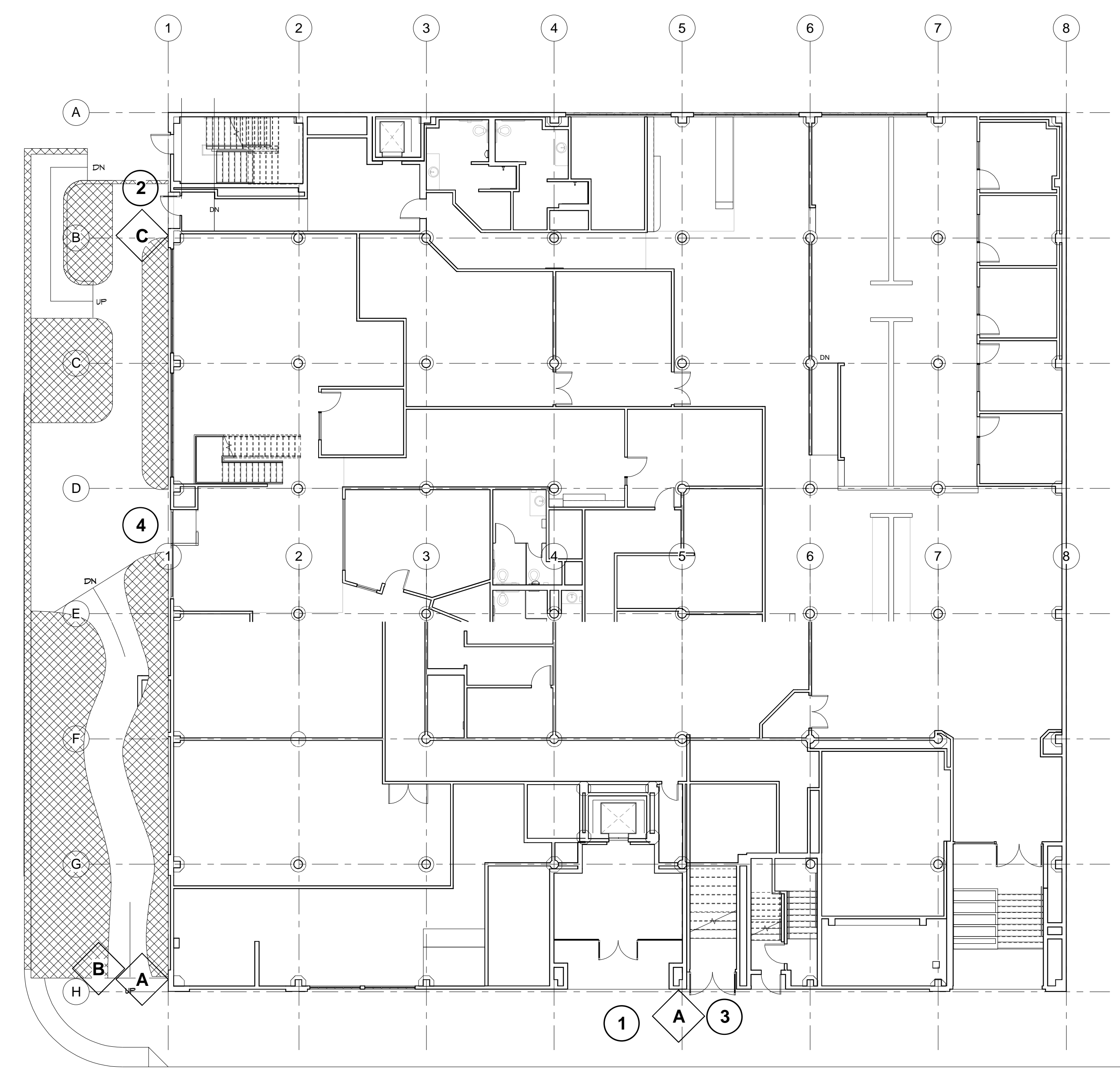


**SAMPLE OF THE SIGN WITH DIRECTORY INFORMATION**

SEE PLAN FOR LOCATION OF EACH TYPE OF SIGN.  
ACCESSIBILITY SIGNS ARE TO COMPLY WITH 2010 CBC 1117B.5.  
REFER TO 2010 CBC 1117B.5.7 FOR MOUNTING LOCATION AND HEIGHT.  
TYPE C MAY INCLUDE ADDITIONAL TEXT ON THE BOTTOM DIRECTING TO NEAREST ACCESSIBLE ENTRANCE /SEE SAMPLE PICTURE/.  
TYPE B IS TO BE MOUNTED ON POST, TYPES A AND BE ON THE WALLS.

- ENTREANCES LEGEND:**
1. 901 BATTERY STREET - NON-ACCESIBLE
  2. 222 VALLEJO STREET - ACCESIBLE BUILDING ENTRANCE.
  3. TENANT ENTRANCE - NON-ACCESIBLE. TENANT SPACE CAN BE ACCESSED FROM ENTRY 2.
  4. TENANT SPACE - ACCESIBLE.

VALLEJO STREET



BATTERY STREET

Owner

Project Name

Enter address here

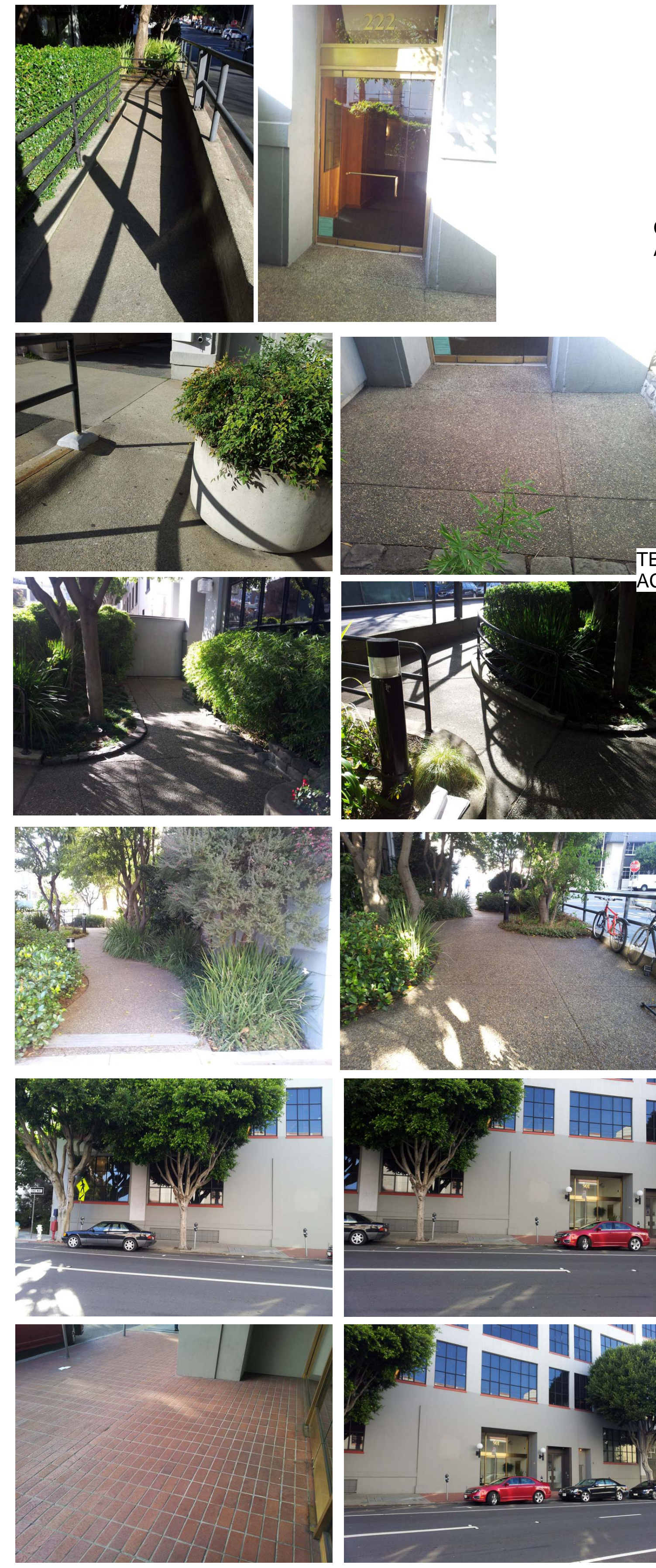
Issue	Description	Date

Project Number	Project Number

FOR REVIEW ONLY  
- NOT FOR  
CONSTRUCTION

As Indicated

EXISTING  
ACCESSIBLE,  
EXTERIOR PATH OF  
TRAVEL



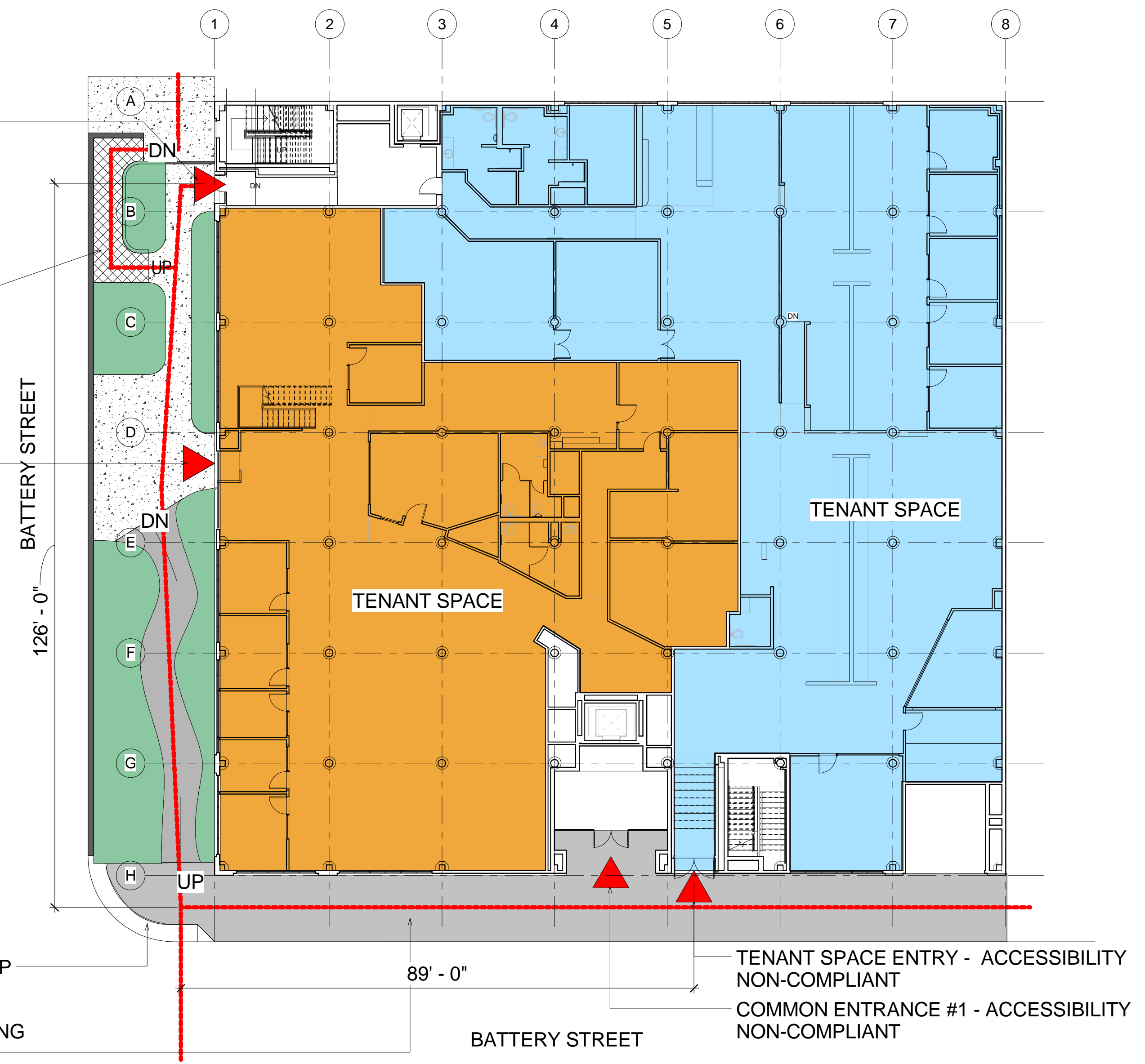
COMMON ENTRANCE #2-  
ACCESSIBILITY COMPLIANT

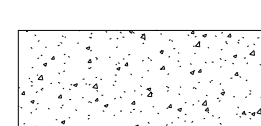

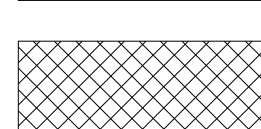
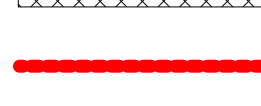
(E) WHEELCHAIR RAMP  
W/ (E) NON-COMPLIANT  
HANRAILS

TENANT SPACE ENTRANCE-  
ACCESSIBILITY COMPLIANT

(E) CURB RAMP

(E) SIDEWALK WITH  
CROSS-SLOPE EXCEEDING  
2%



-  AREAS WITH SLOPE NOT GREATER THAN 2%
-  AREAS WITH SLOPE GREATER THAN 2% BUT LESS THAN 5%
-  AREAS WITH SLOPE GREATER THAN 5%
-  LINE OF PATH OF TRAVEL

Owner

Project Name

Enter address here

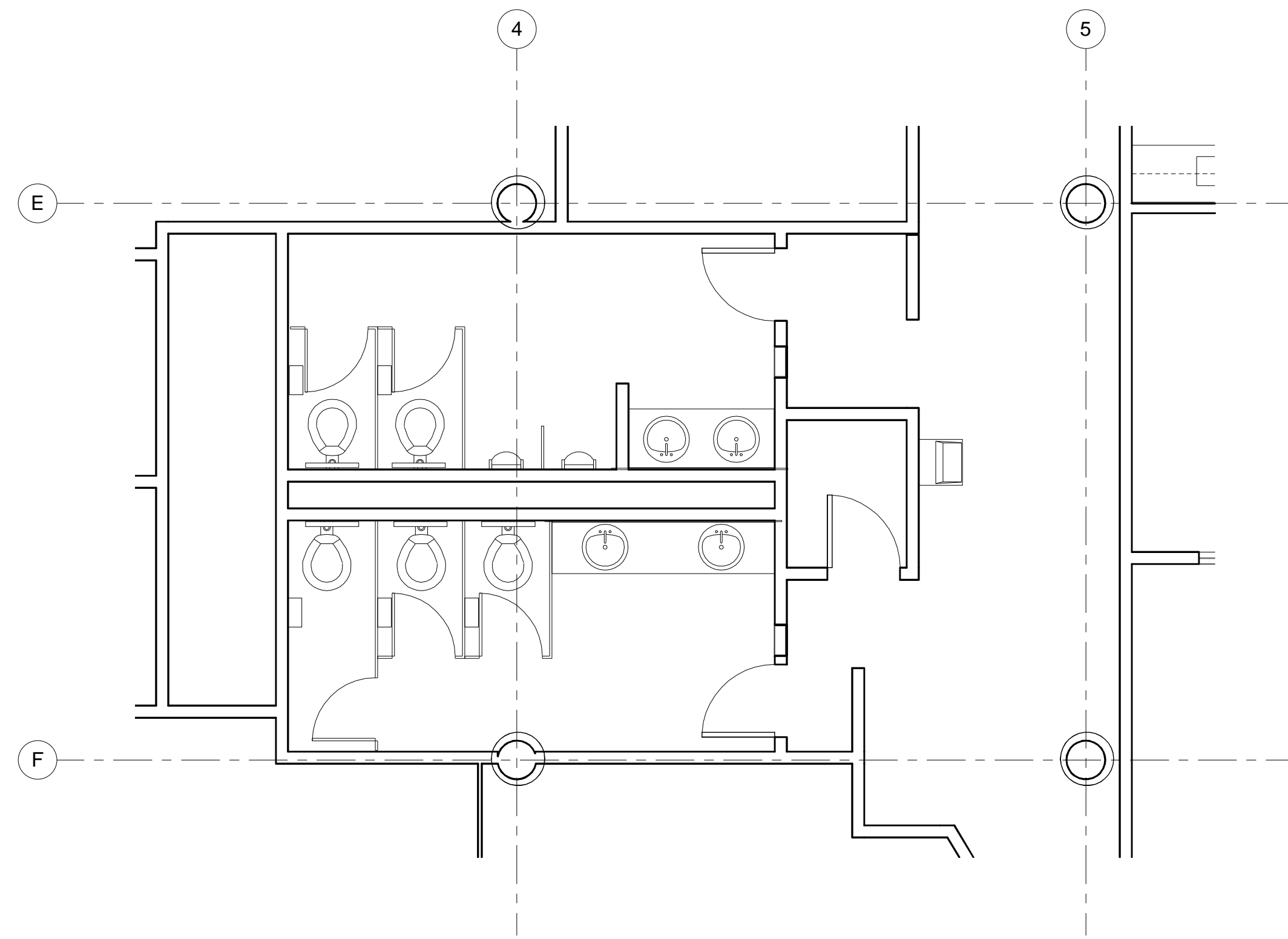
Issue	Description	Date

Project Number	Project Number

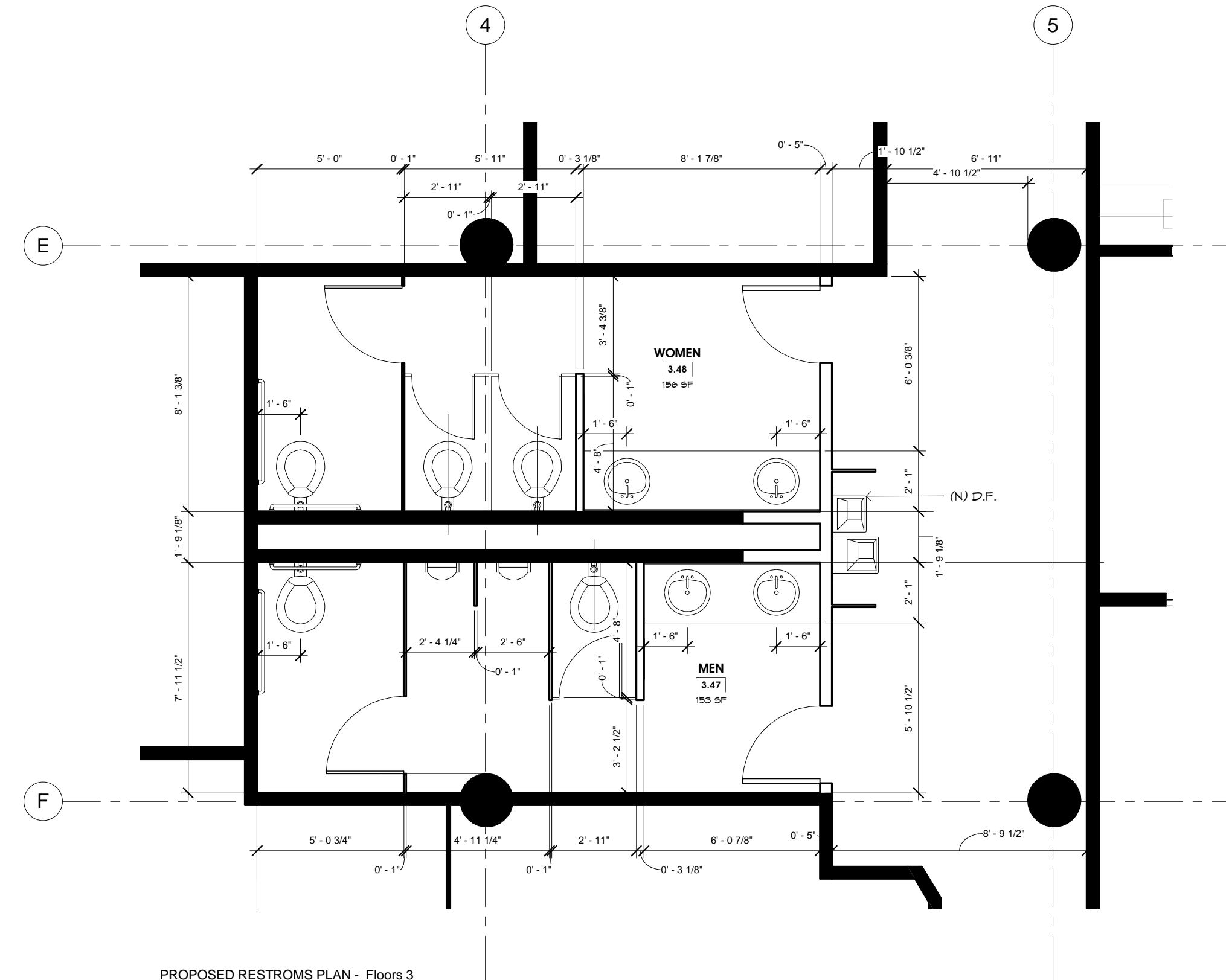
FOR REVIEW ONLY  
- NOT FOR  
CONSTRUCTION

3/8" = 1'-0"

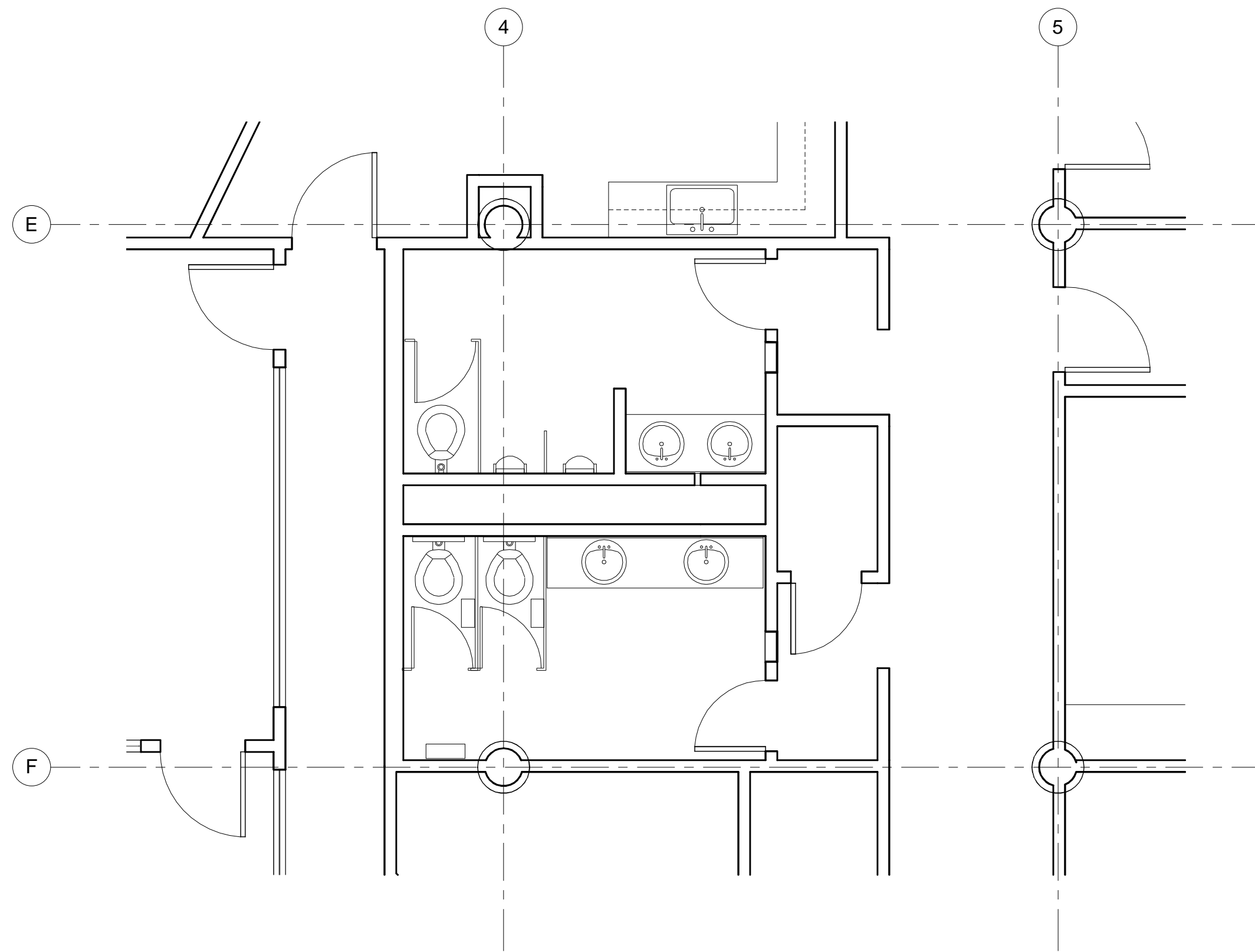
COMMON  
RESTROOM



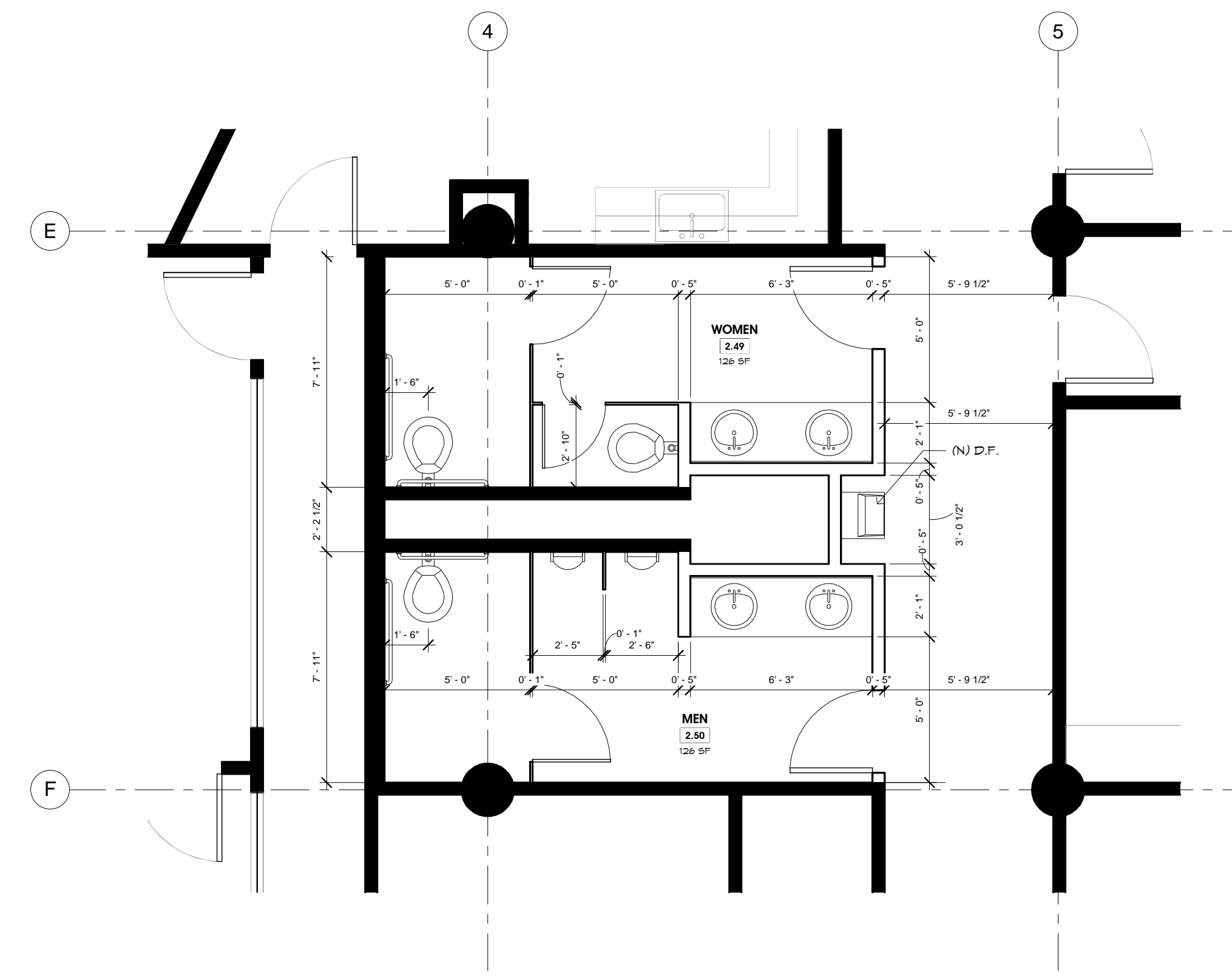
4 EXISTING RESTROOMS - Floors 3 and 4  
3/8" = 1'-0"



PROPOSED RESTROOMS PLAN - Floors 3 and 4  
3/8" = 1'-0"



3 EXISTING RESTROOMS - Floor 2  
3/8" = 1'-0"



PROPOSED RESTROOM PLAN - Floor 2  
3/8" = 1'-0"

Owner

Project Name

Enter address here

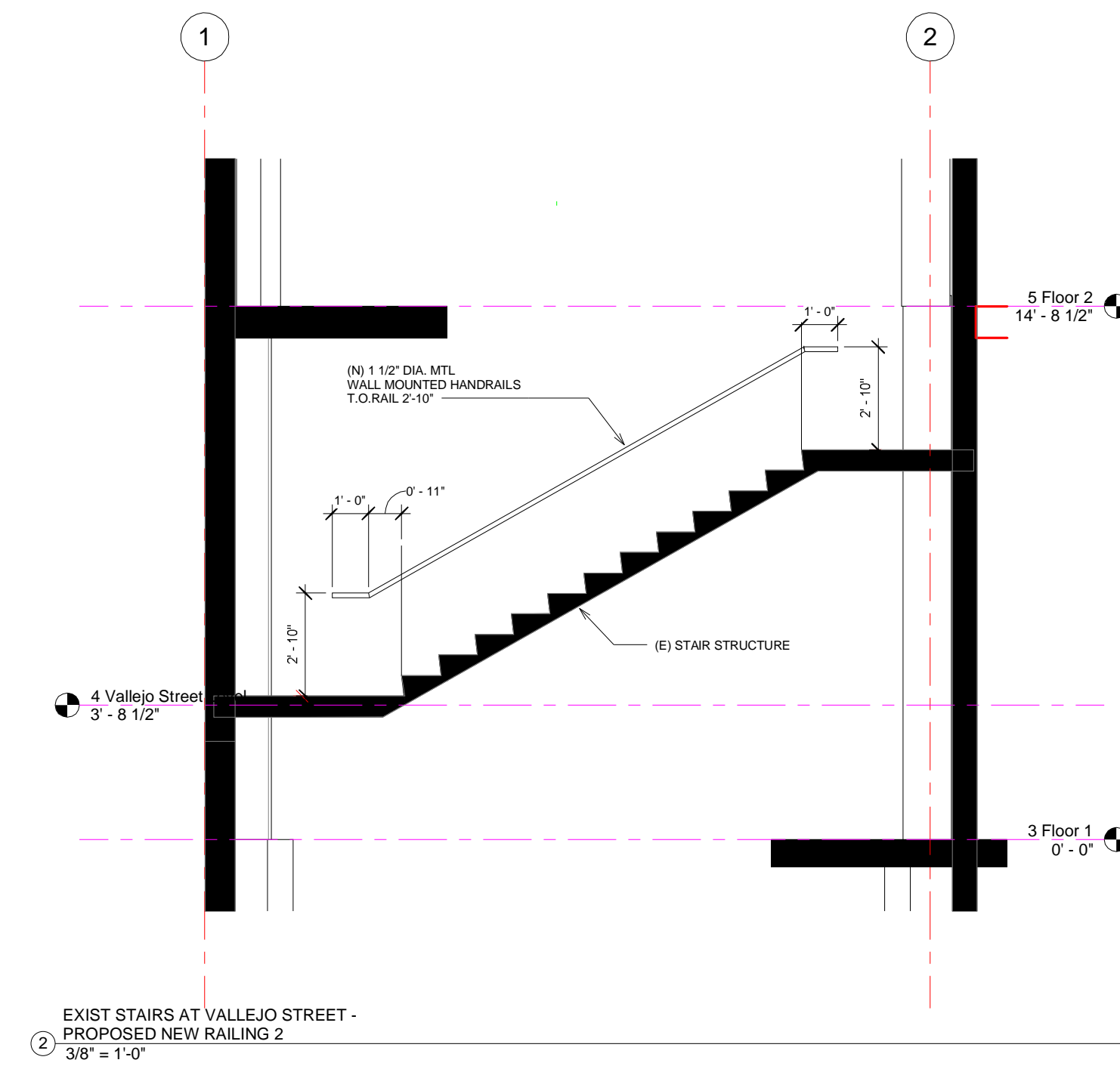
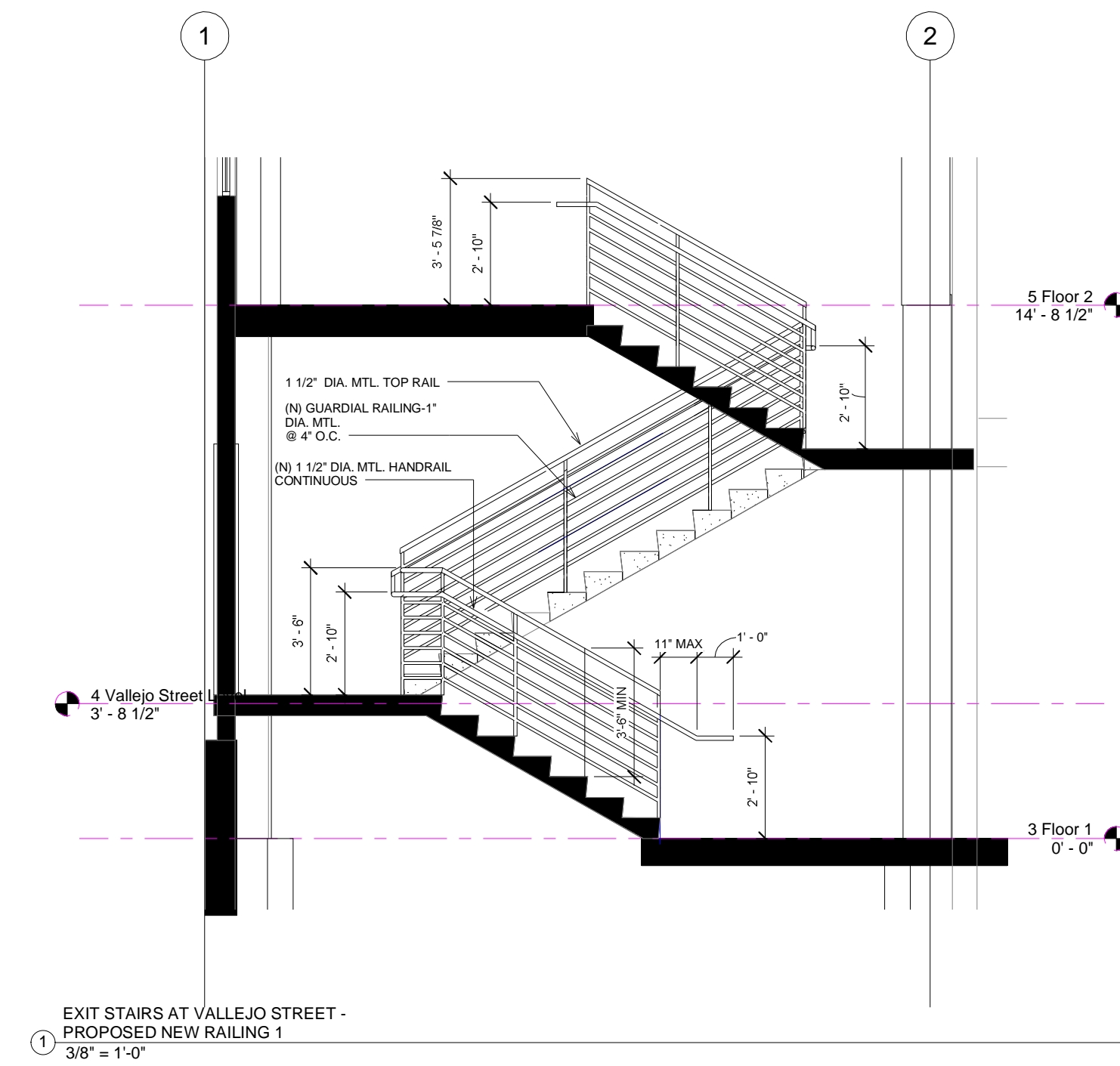
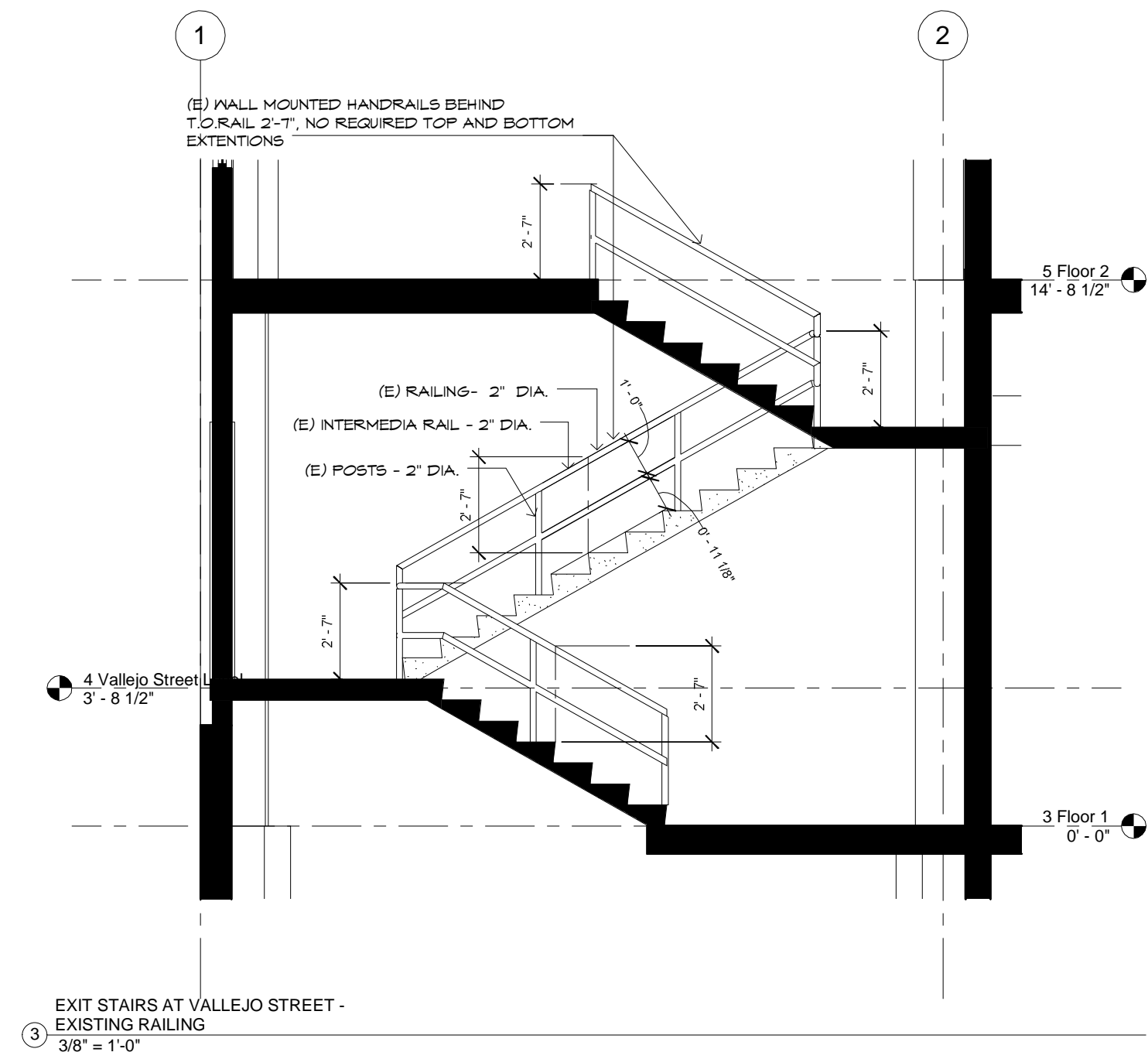
Issue	Description	Date

Project Number	Project Number
Drawn By:	Author
Checked By:	Checker
Date:	Issue Date
Owner Approval:	Approver
Date:	

FOR REVIEW ONLY  
 - NOT FOR  
 CONSTRUCTION

3/8" = 1'-0"

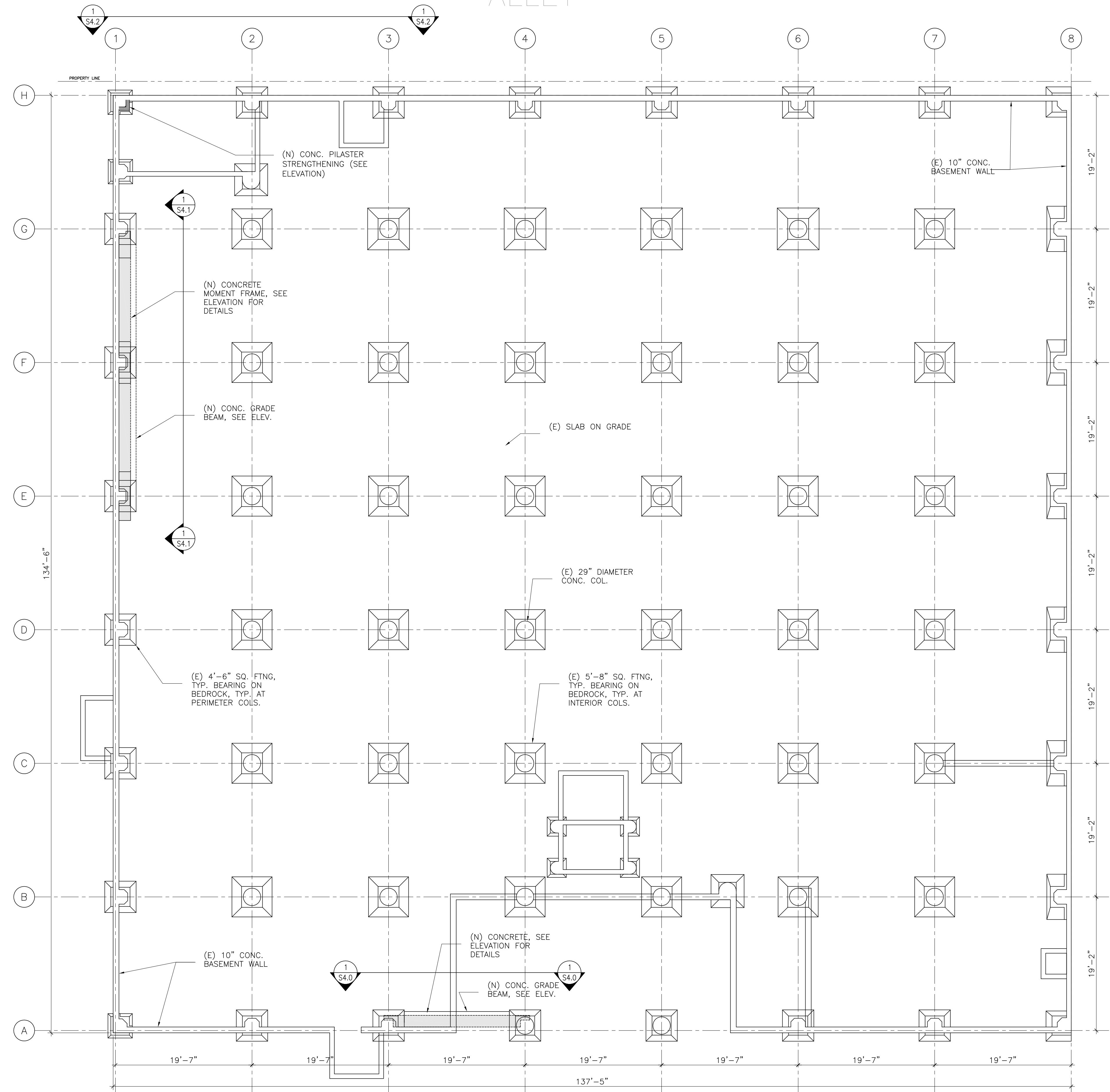
(E) EXIT STAIRS AT  
 VALLEJO STREET -  
 PROPOSED (N)  
 RAILING





ALLEY

VALLEJO STREET

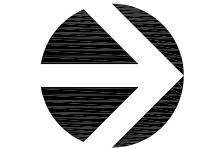


BATTERY STREET

1  
S2.0

**FOUNDATION AND BASEMENT PLAN**

1/8"=1'-0"



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PROJECT TEAM

SEALS/SIGNATURES

APPROVALS

ISSUES / REVISIONS

NO.	DESCRIPTION OF REVISION	DATE
	PERMIT REVIEW SET	2/1/13
	PLANNING SUBMITTAL	2/28/13

PROJECT NAME

**901 BATTERY STREET  
SAN FRANCISCO, CA**

SHEET TITLE  
**FOUNDATION PLAN**

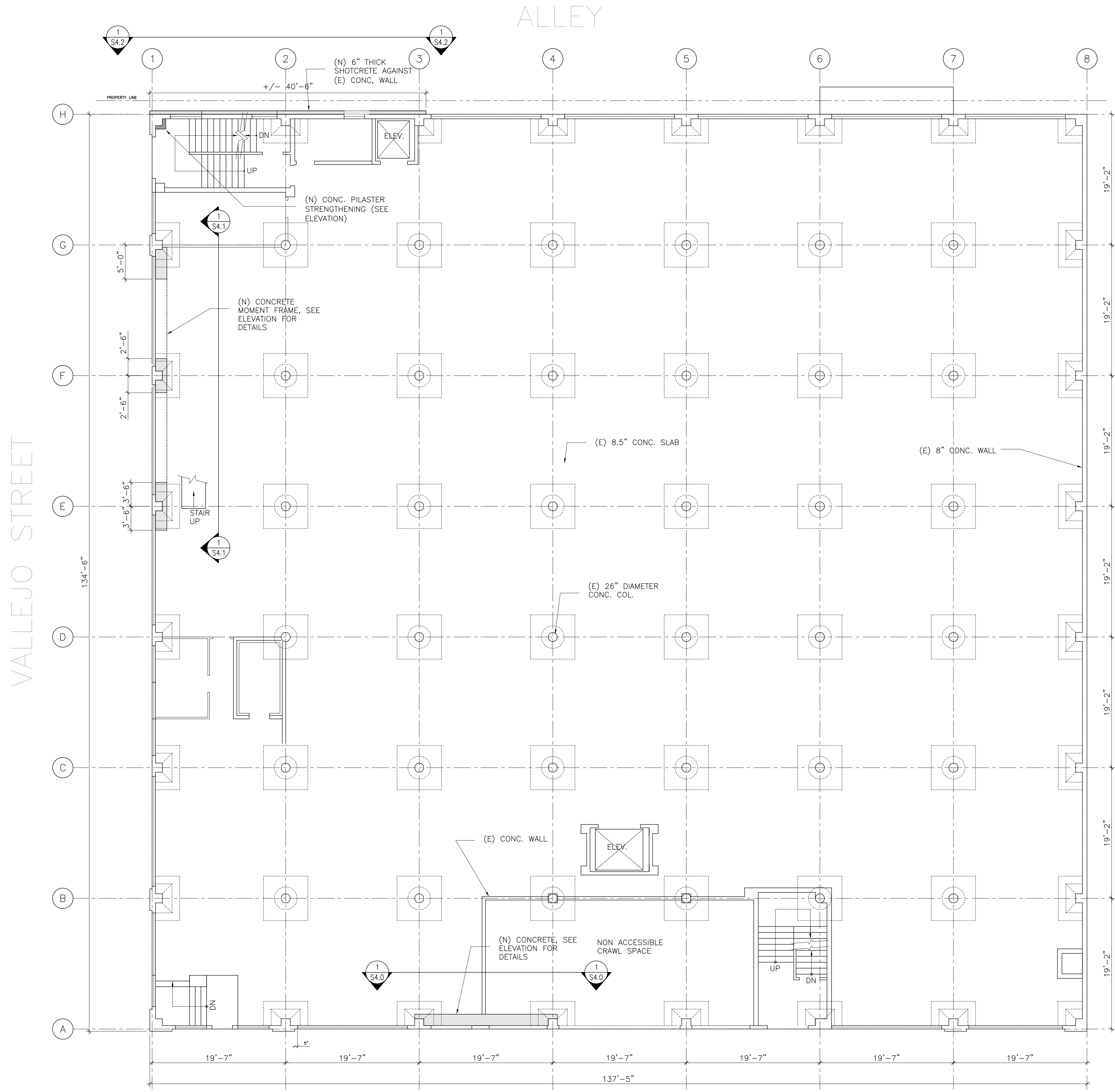
SCALE: AS NOTED    OWNER'S NO. 212-308    JOB NO. 212-308

DRAWN BY: LZ    SHEET NUMBER

CHECKED BY: PKH

DATE: 2-28-13

**S2.0**



PROJECT TEAM

SEALS/SIGNATURES

APPROVALS

ISSUES / REVISIONS

NO.	DESCRIPTION OF REVISION	DATE
1	PERMIT REVIEW SET	2/1/13
2	PLANNING SUBMITTAL	2/28/13

PROJECT NAME

901 BATTERY STREET  
SAN FRANCISCO, CA

SHEET TITLE  
FIRST FLOOR PLAN

SCALE: AS NOTED	OWNER'S NO. 212-308	JOB NO. 212-308
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DRAWN BY: LZ	SHEET NUMBER
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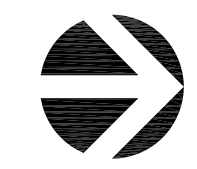
CHECKED BY:  
PKH

DATE  
2-28-13

S2.1

1  
S2.1  
FIRST FLOOR PLAN

1/8"=1'-0"





PROJECT TEAM

SEALS/SIGNATURES

APPROVALS

ISSUES / REVISIONS

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1	PERMIT REVIEW SET	2/1/13
2	PLANNING SUBMITTAL	2/28/13

PROJECT NAME

**901 BATTERY STREET  
SAN FRANCISCO, CA**

SHEET TITLE  
**SECOND FLOOR PLAN**

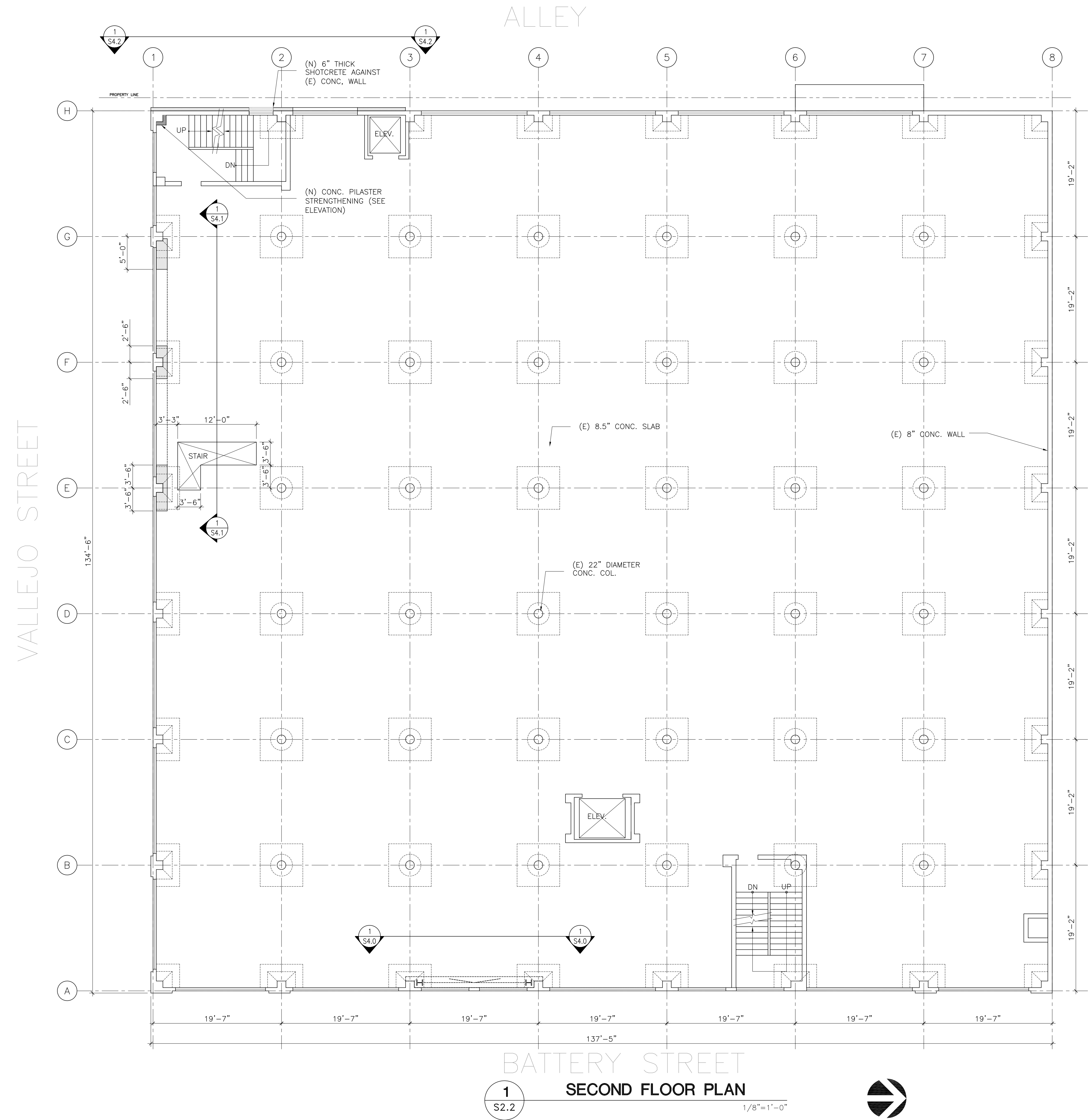
SCALE: AS NOTED    OWNER'S NO. 212-308    JOB NO.

DRAWN BY: LZ    SHEET NUMBER

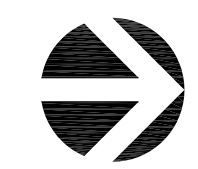
CHECKED BY: PKH

DATE: 2-28-13

**S2.2**



**1**  
**S2.2**  
**SECOND FLOOR PLAN**  
1/8"=1'-0"



PROJECT TEAM

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ISSUES / REVISIONS

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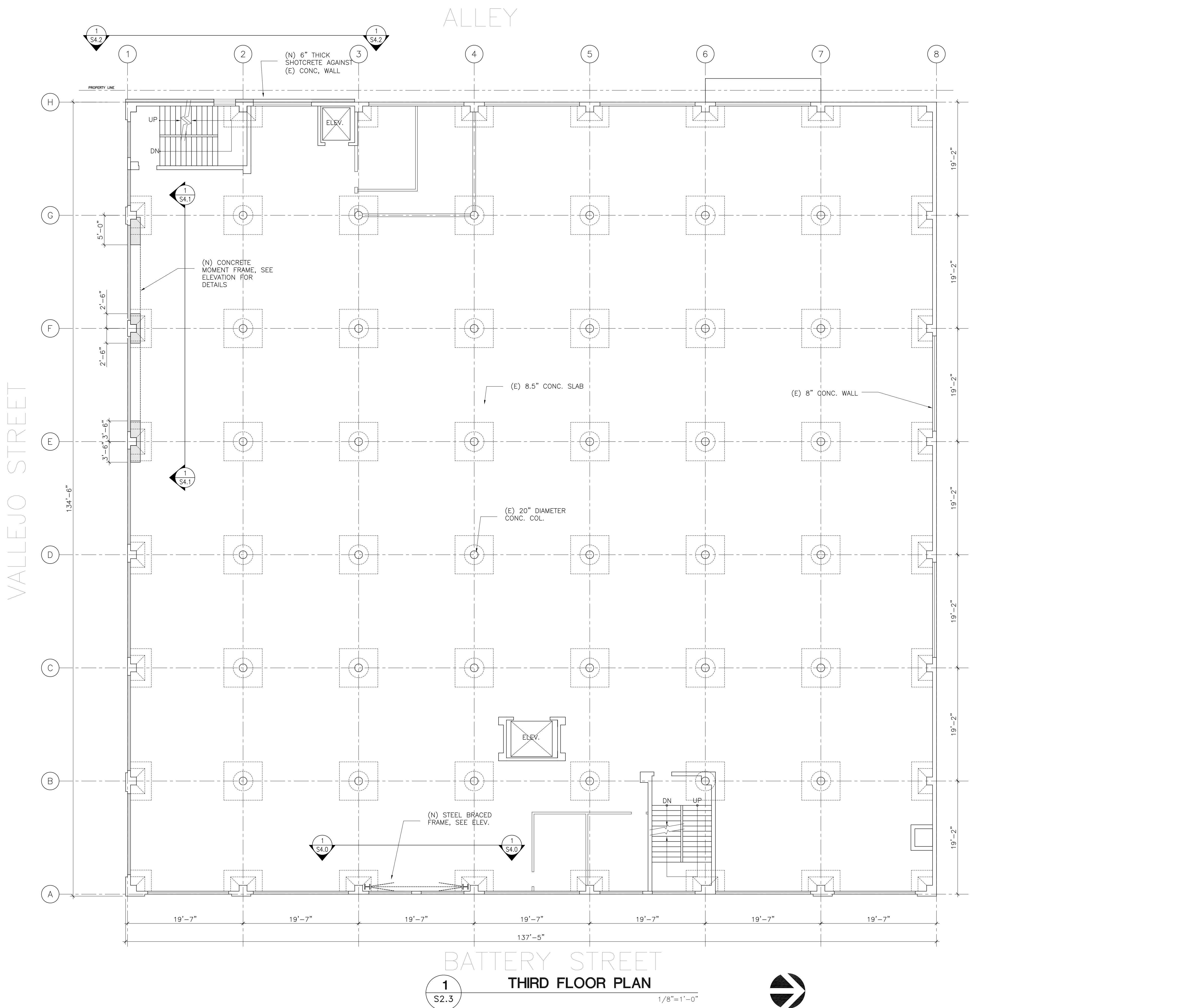
PROJECT NAME

**901 BATTERY STREET  
SAN FRANCISCO, CA**

SHEET TITLE  
**THIRD FLOOR PLAN**

SCALE: AS NOTED    OWNER'S NO. 212-308    JOB NO. 212-308

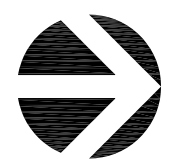
DRAWN BY: LZ    SHEET NUMBER **S2.3**  
CHECKED BY: PKH  
DATE: 2-28-13



**THIRD FLOOR PLAN**

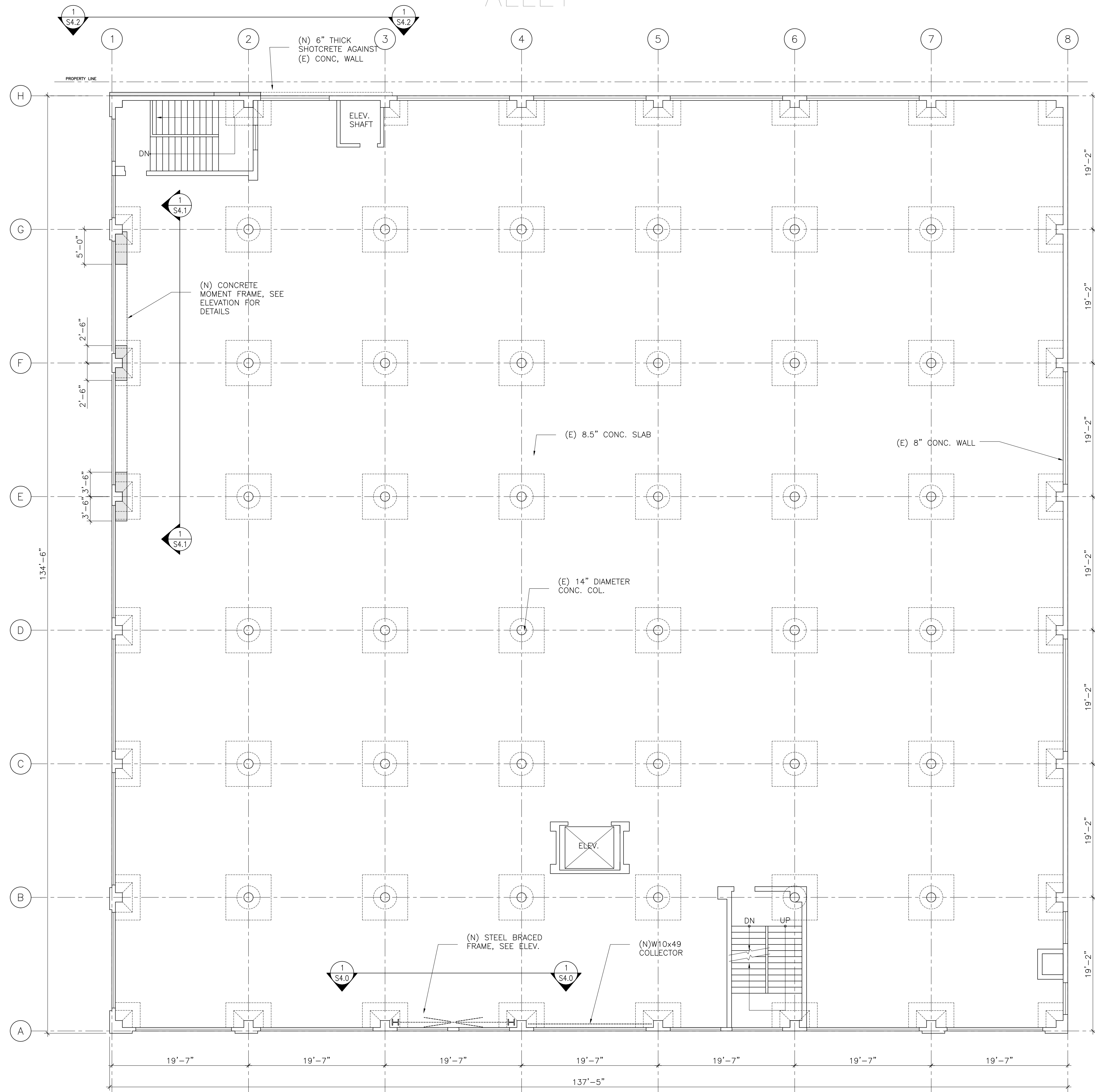
**1 S2.3**

1/8" = 1'-0"



ALLEY

VALLEJO STREET



BATTERY STREET

**FOURTH FLOOR PLAN**

1  
S2.4

1/8" = 1'-0"



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PROJECT TEAM

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APPROVALS

ISSUES / REVISIONS

NO.	DESCRIPTION OF REVISION	DATE
	PERMIT REVIEW SET	2/1/13
	PLANNING SUBMITTAL	2/28/13

PROJECT NAME

**901 BATTERY STREET  
SAN FRANCISCO, CA**

SHEET TITLE  
**FOURTH FLOOR PLAN**

SCALE: AS NOTED    OWNER'S NO. 212-308    JOB NO. 212-308

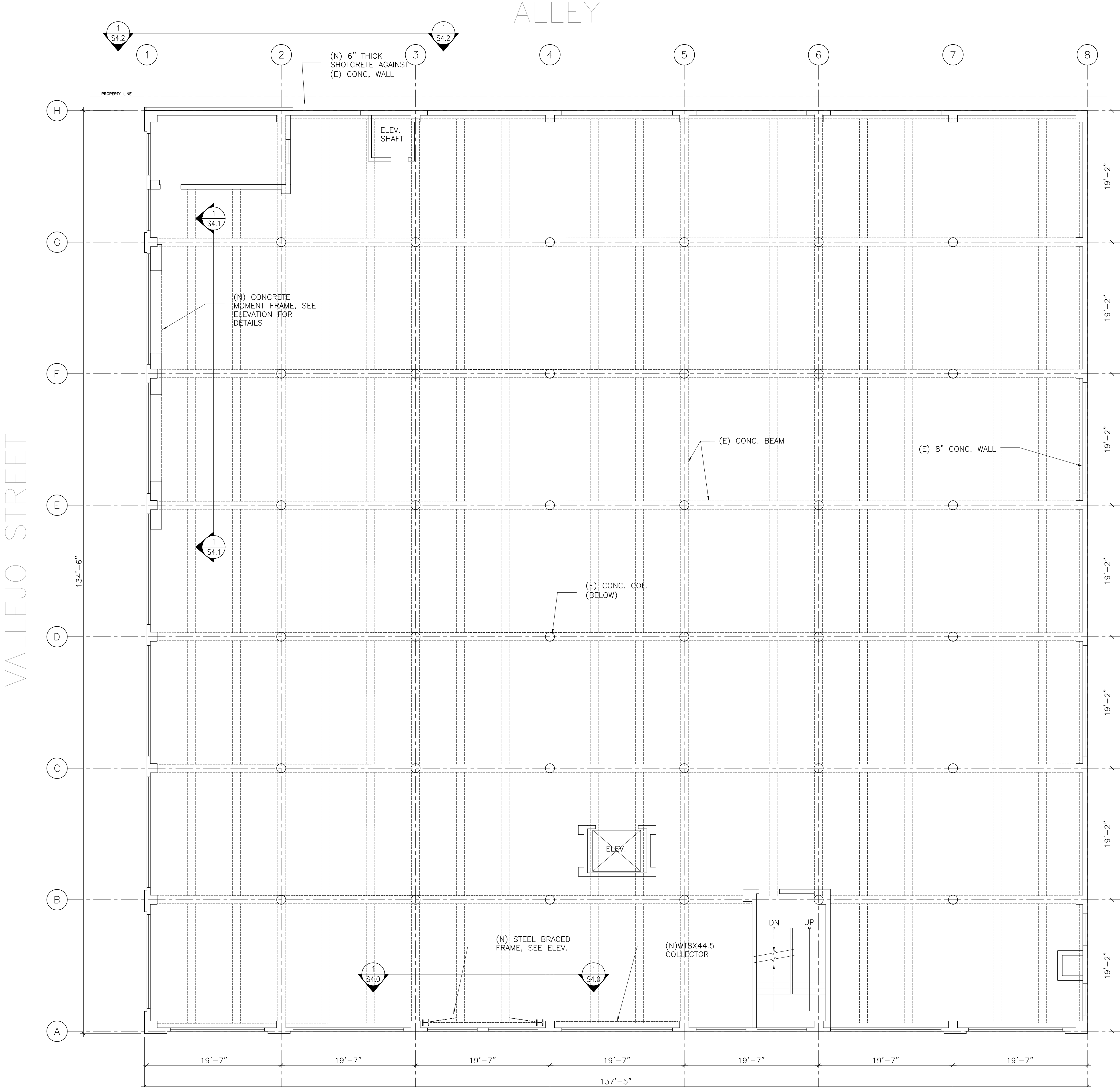
DRAWN BY: LZ    SHEET NUMBER

CHECKED BY: PKH

**S2.4**

DATE: 2-28-13

ALLEY



PROJECT TEAM

SEALS/SIGNATURES

APPROVALS

ISSUES / REVISIONS

NO.	DESCRIPTION OF REVISION	DATE
1	PERMIT REVIEW SET	2/1/13
2	PLANNING SUBMITTAL	2/28/13

PROJECT NAME

901 BATTERY STREET  
SAN FRANCISCO, CA

SHEET TITLE  
ROOF PLAN

SCALE: AS NOTED OWNER'S NO. 212-308 JOB NO.

DRAWN BY: LZ SHEET NUMBER

CHECKED BY: PKH

DATE: 2-28-13



PROJECT TEAM

SEALS/SIGNATURES

APPROVALS

ISSUES / REVISIONS

NO.	DESCRIPTION OF REVISION	DATE
	PERMIT REVIEW SET	2/1/13
	PLANNING SUBMITTAL	2/28/13

PROJECT NAME  
**901 BATTERY STREET  
SAN FRANCISCO, CA**

SHEET TITLE  
**BATTERY STREET  
ELEVATION**

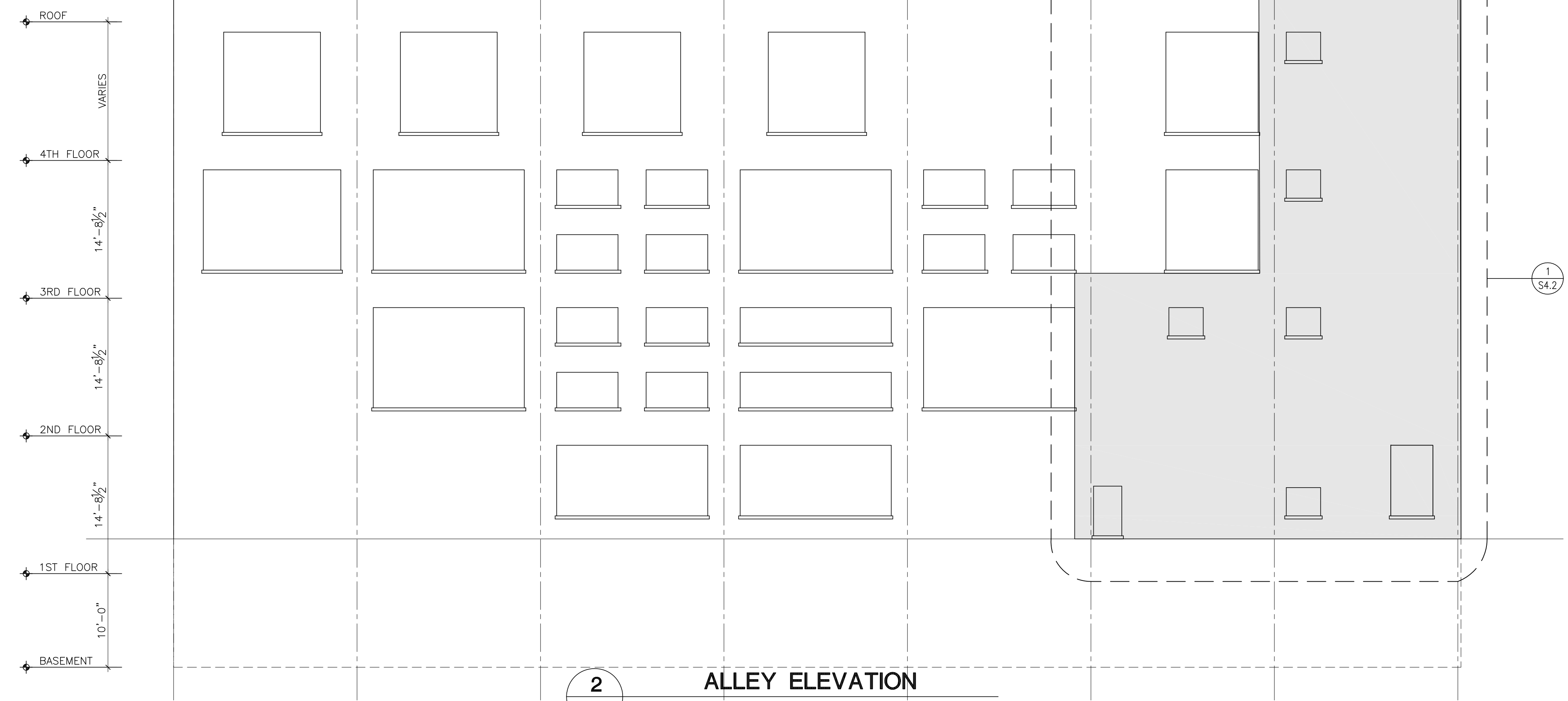
SCALE: AS NOTED    OWNER'S NO. 212-308    JOB NO. 212-308

DRAWN BY: LZ    SHEET NUMBER

CHECKED BY: PKH

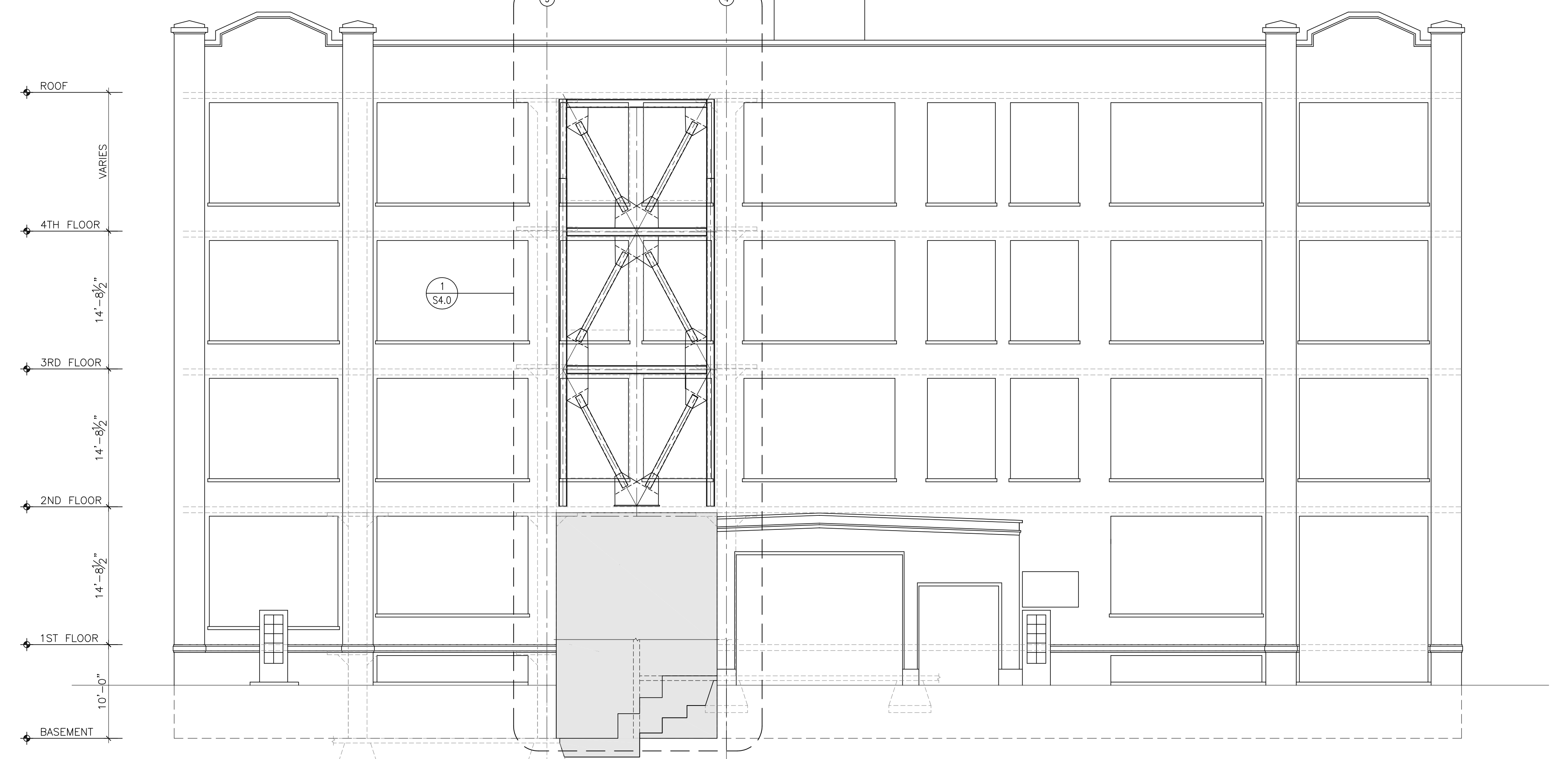
DATE: 2-28-13

**S3.1**



**2 ALLEY ELEVATION**

1/8"=1'-0"



**1 BATTERY STREET ELEVATION**

1/8"=1'-0"

PROJECT TEAM

SEALS/SIGNATURES

APPROVALS

ISSUES / REVISIONS

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	PERMIT REVIEW SET	2/1/13
	PLANNING SUBMITTAL	2/28/13

PROJECT NAME

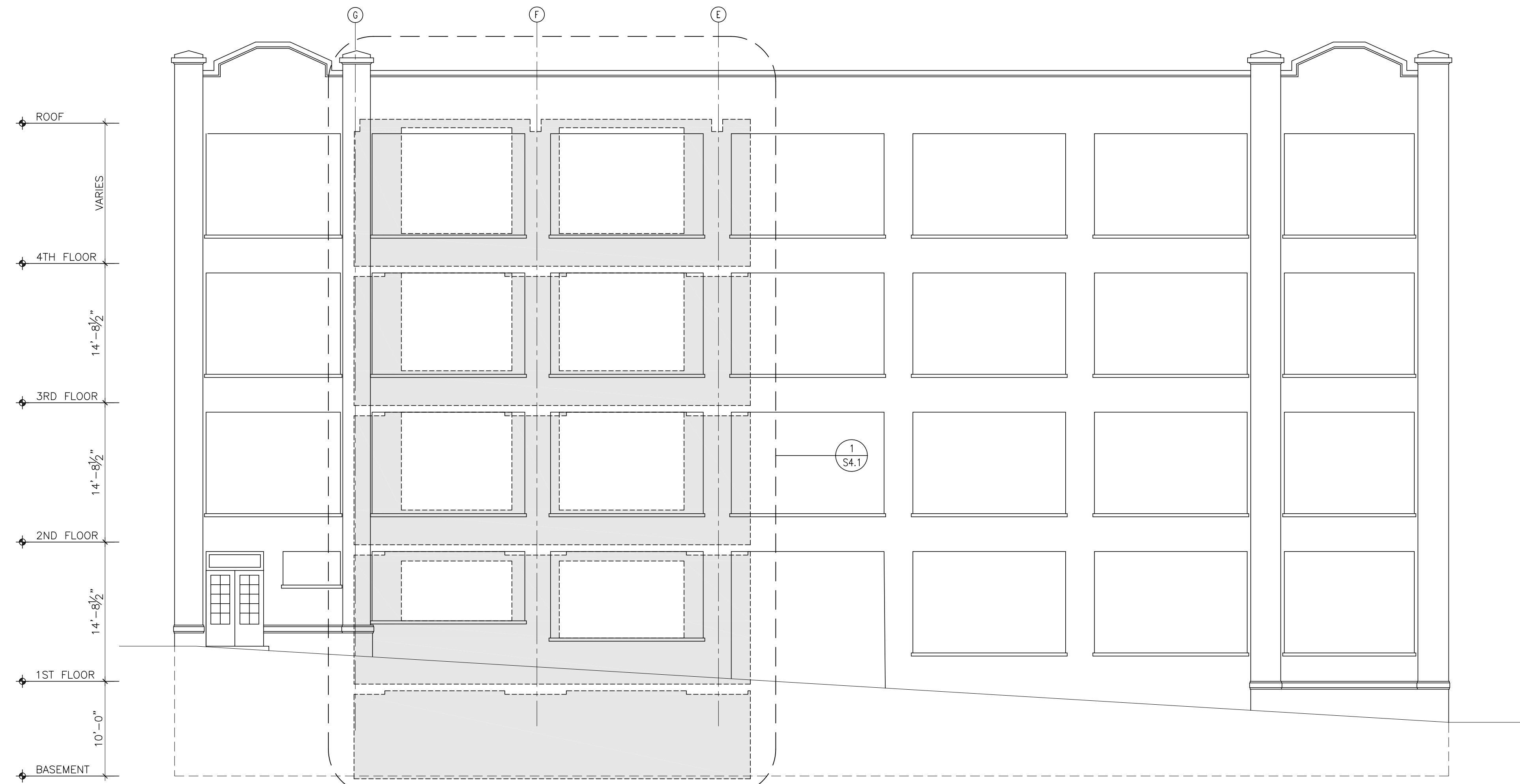
901 BATTERY STREET  
 SAN FRANCISCO, CA

SHEET TITLE  
**VALLEJO STREET  
 ELEVATION**

SCALE: AS NOTED	OWNER'S NO. 212-308	JOB NO. 212-308
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DRAWN BY: LZ	SHEET NUMBER
-----------------	--------------

CHECKED BY: PKH	<b>S3.2</b>
DATE 2-28-13	



**1 VALLEJO STREET ELEVATION**  
 S3.2 1/8"=1'-0"

PROJECT TEAM

SEALS/SIGNATURES

APPROVALS

ISSUES / REVISIONS

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2	PLANNING SUBMITTAL	2/28/13

PROJECT NAME

**901 BATTERY STREET  
SAN FRANCISCO, CA**

SHEET TITLE  
**STEEL BRACED  
FRAME DETAILS**

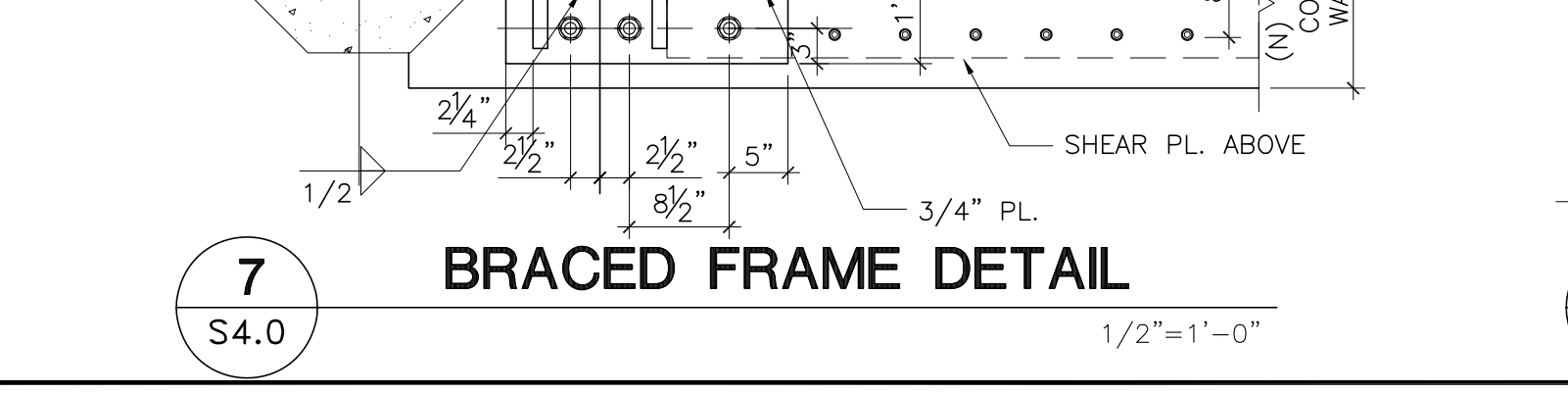
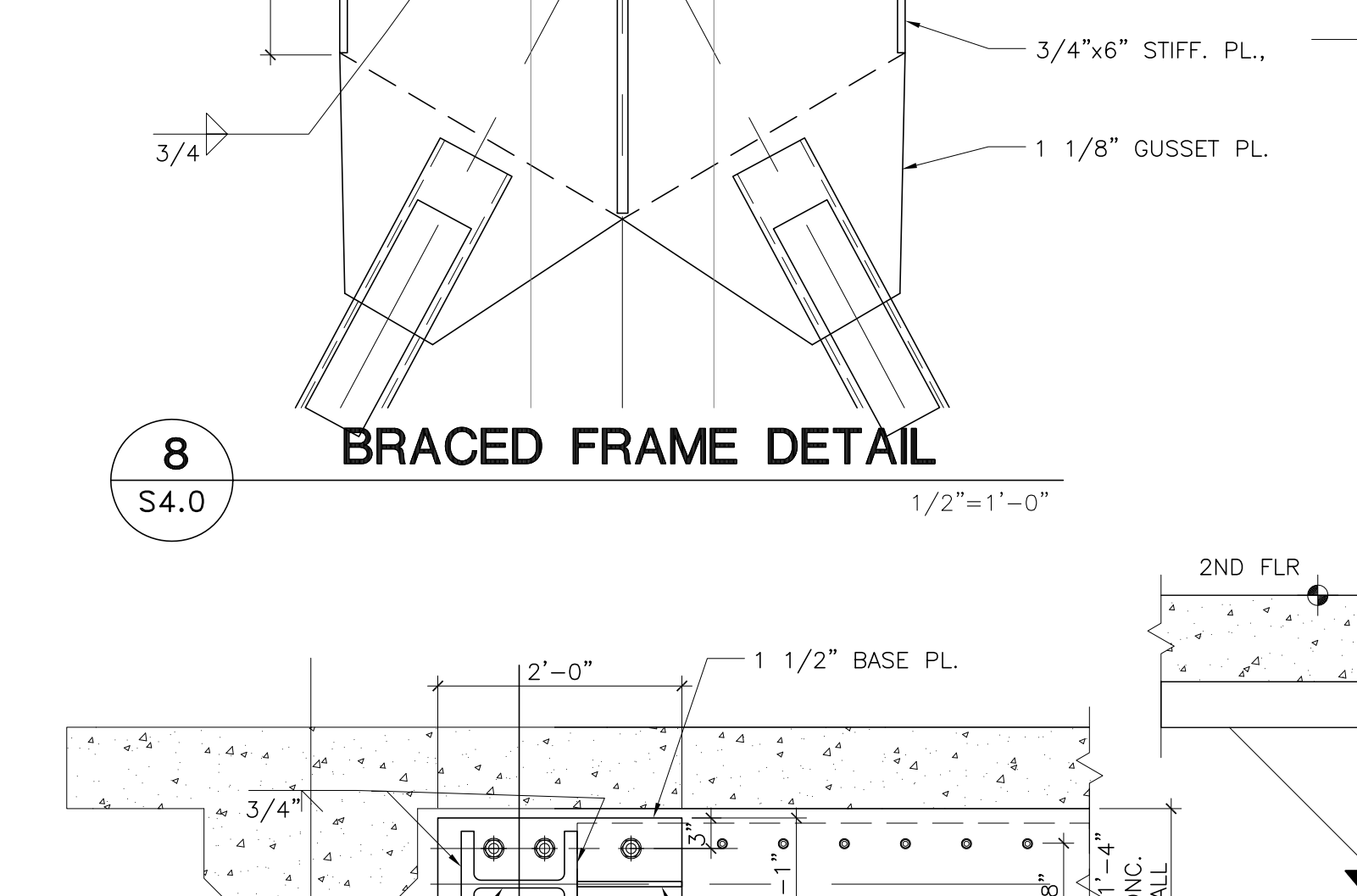
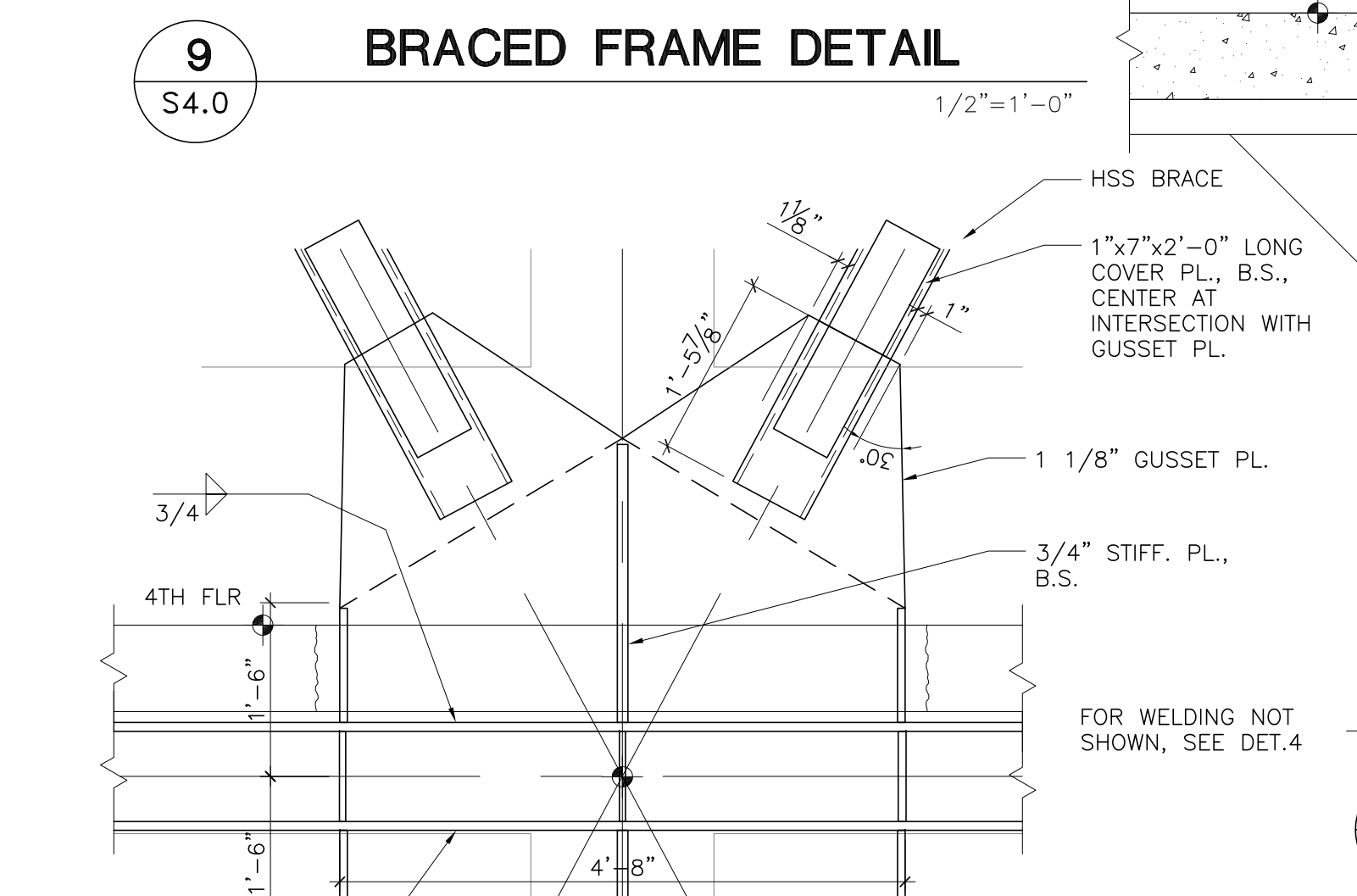
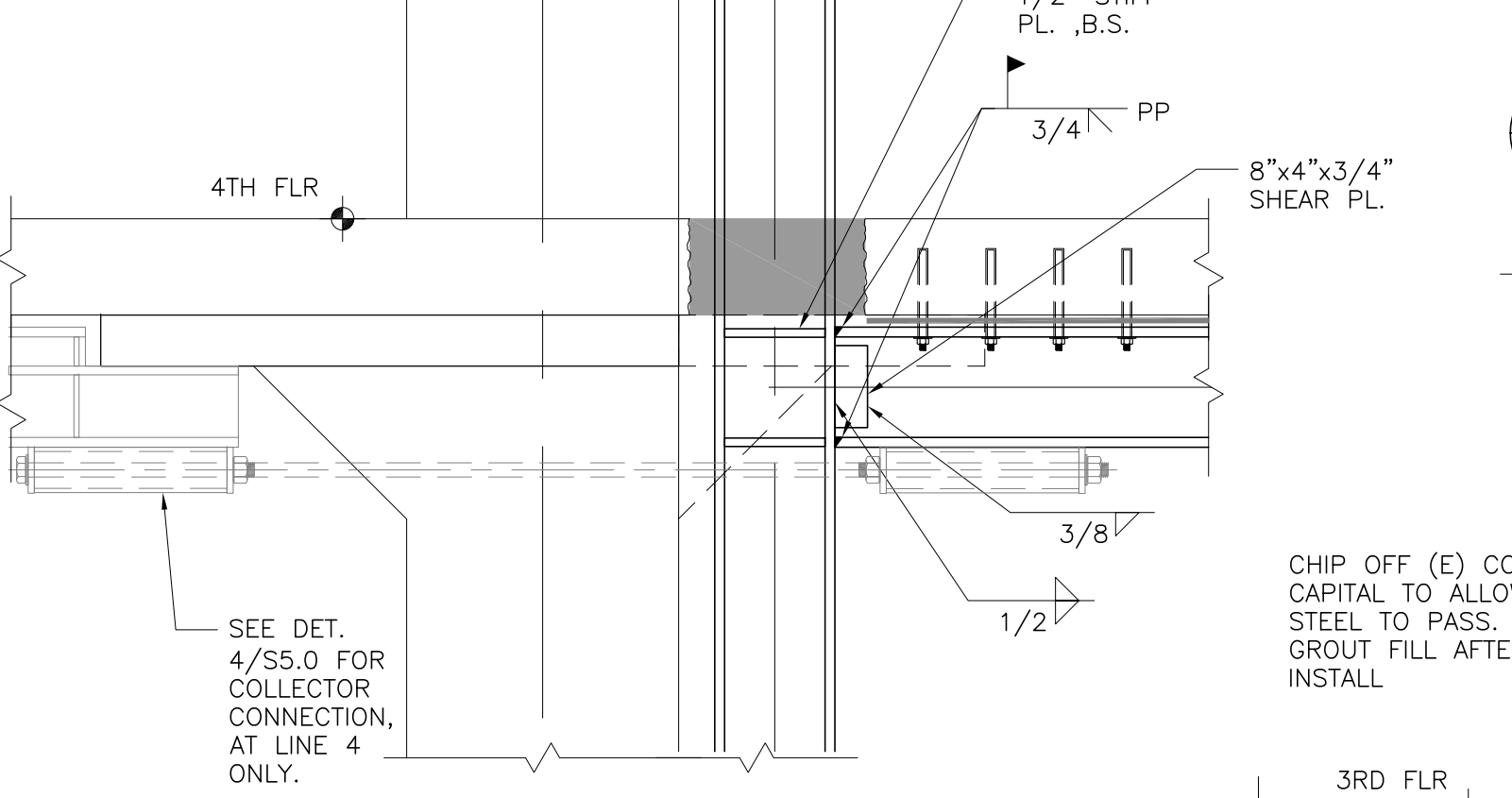
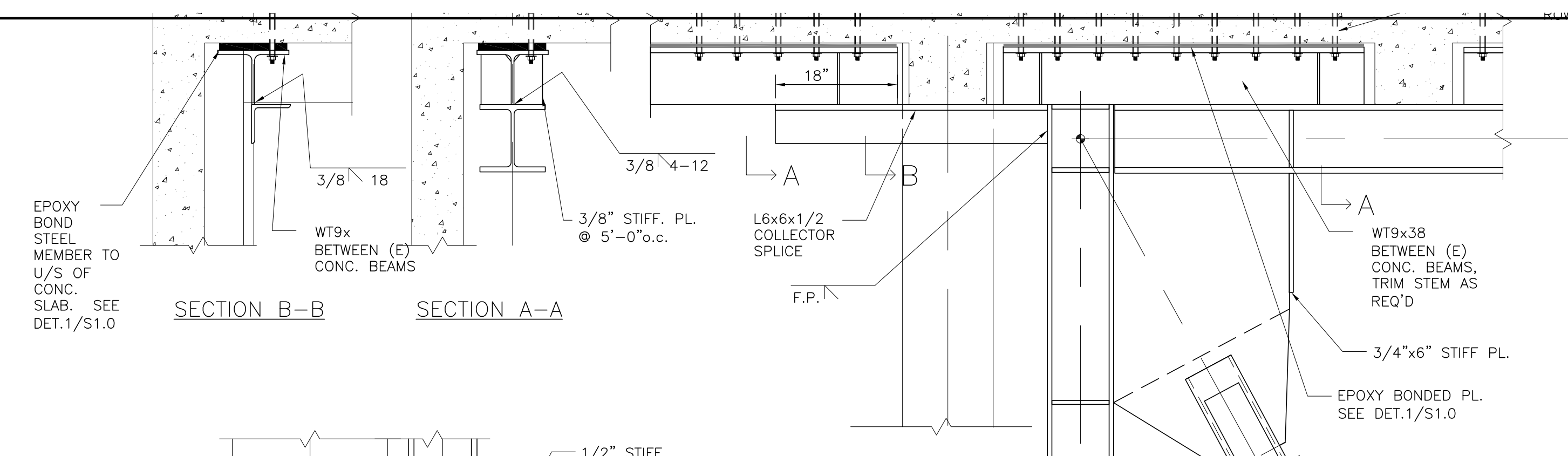
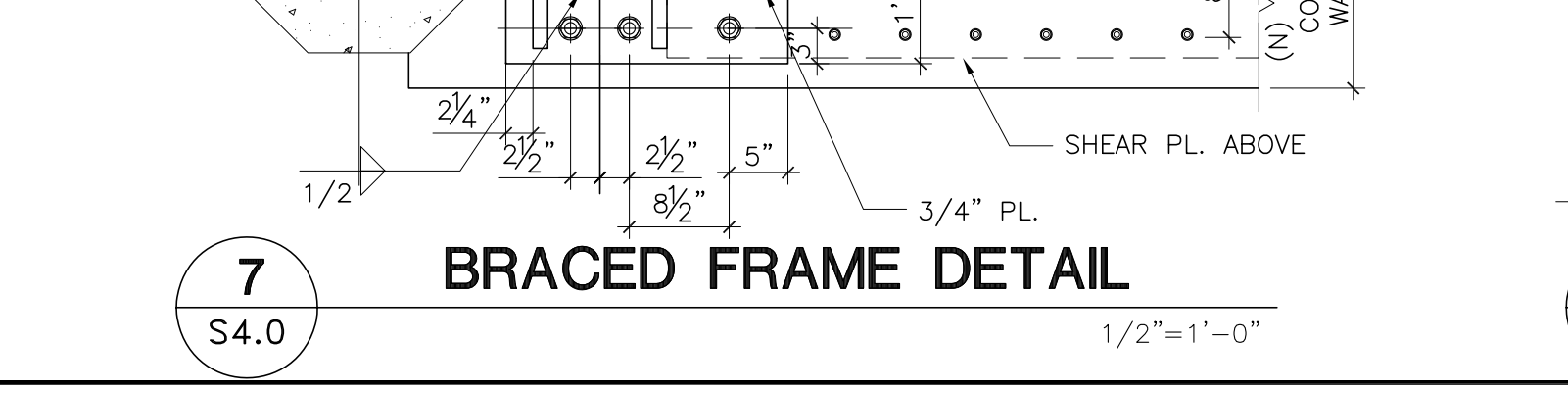
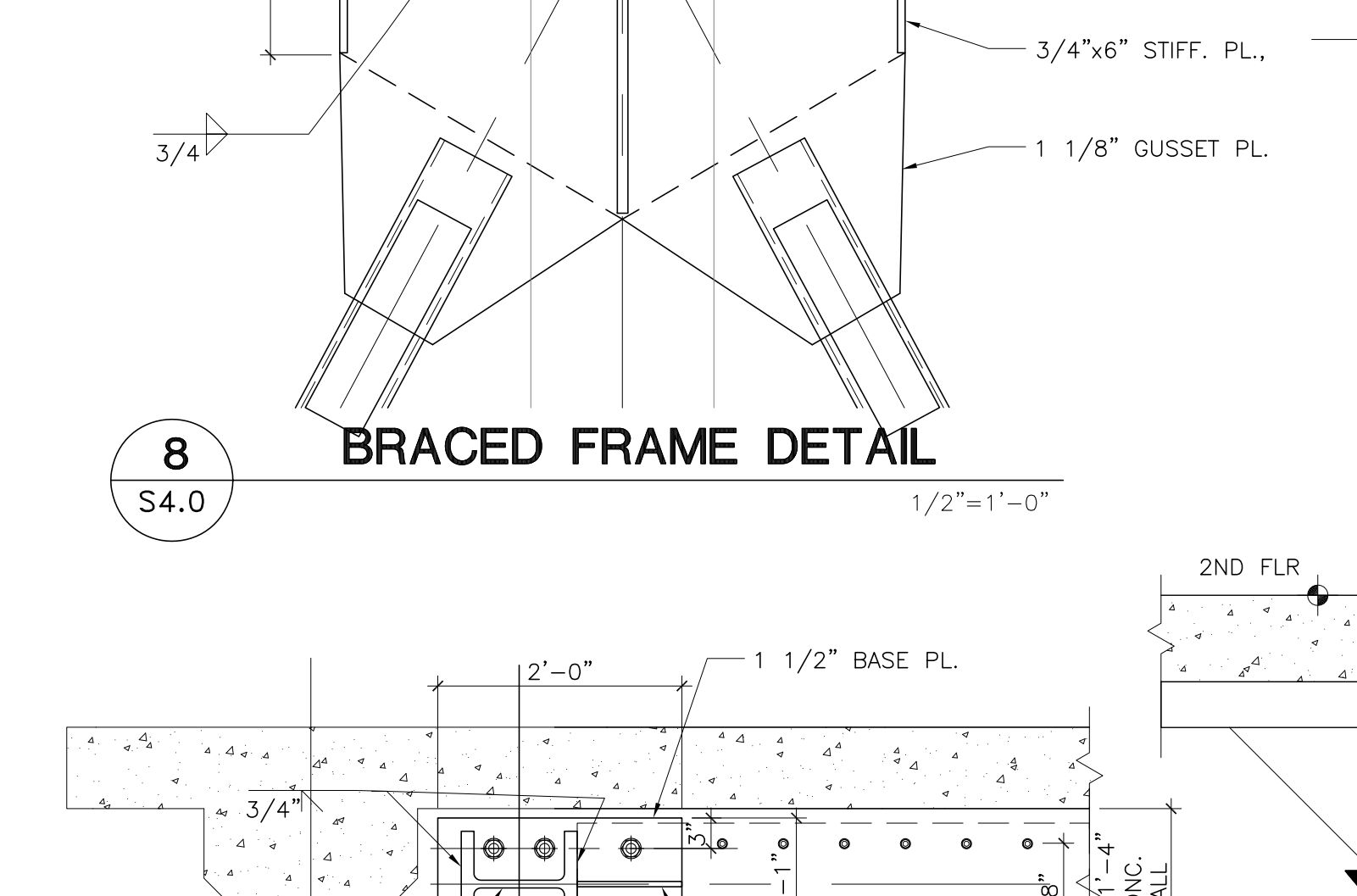
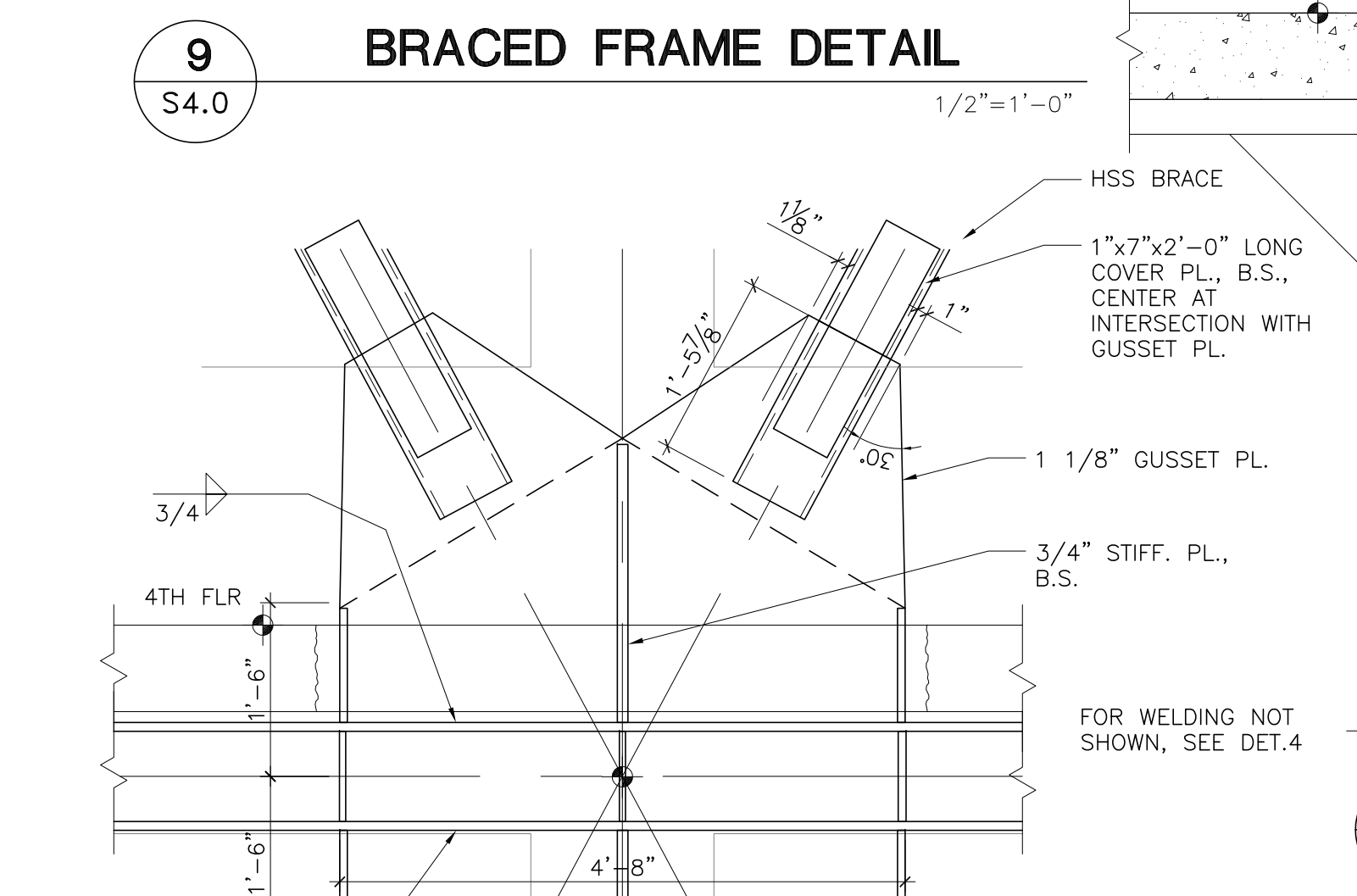
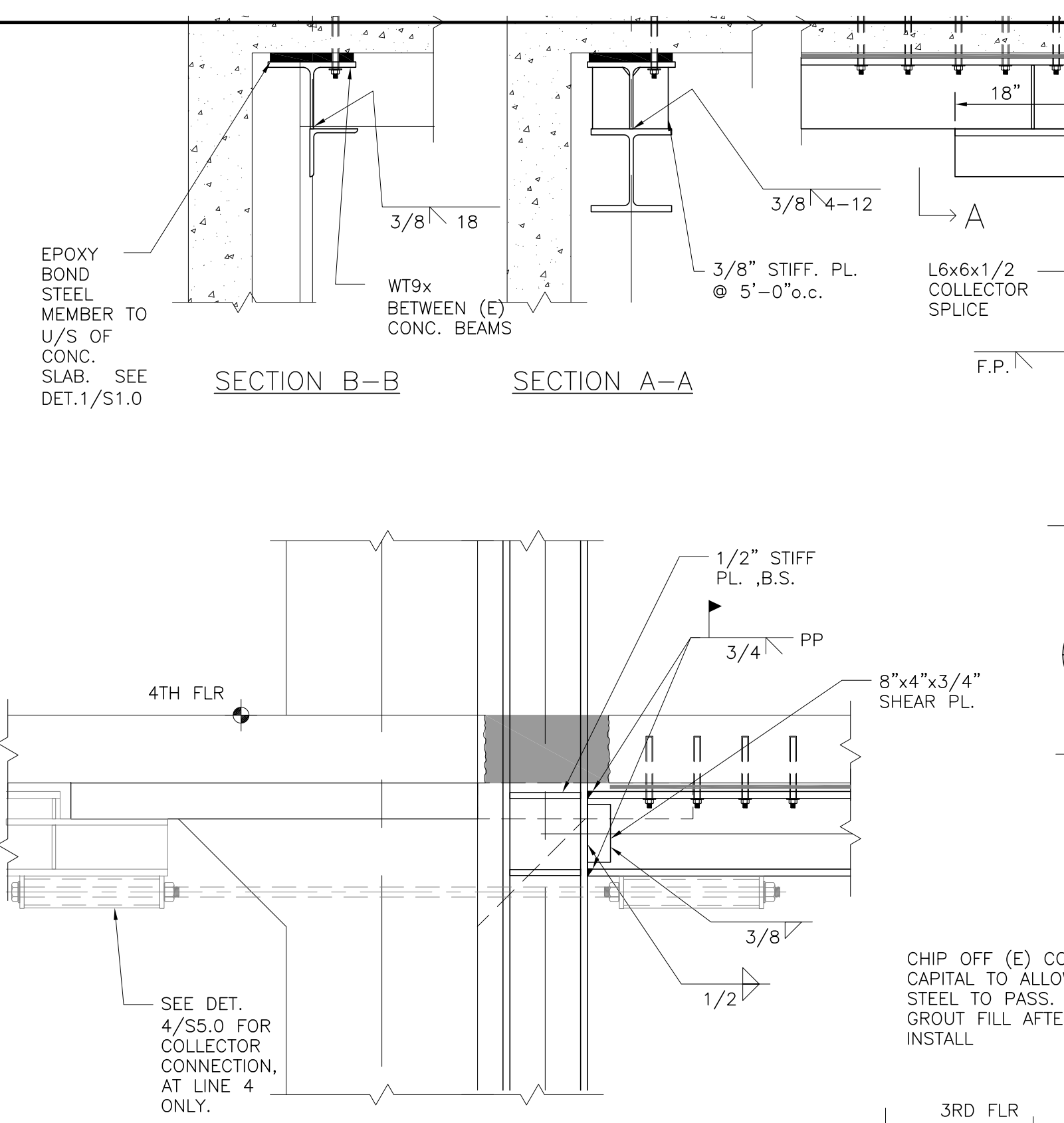
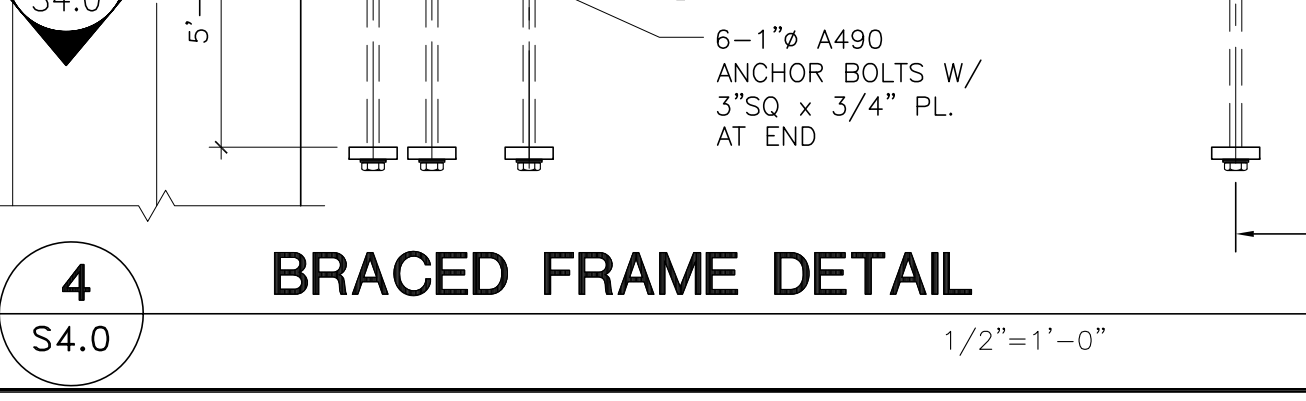
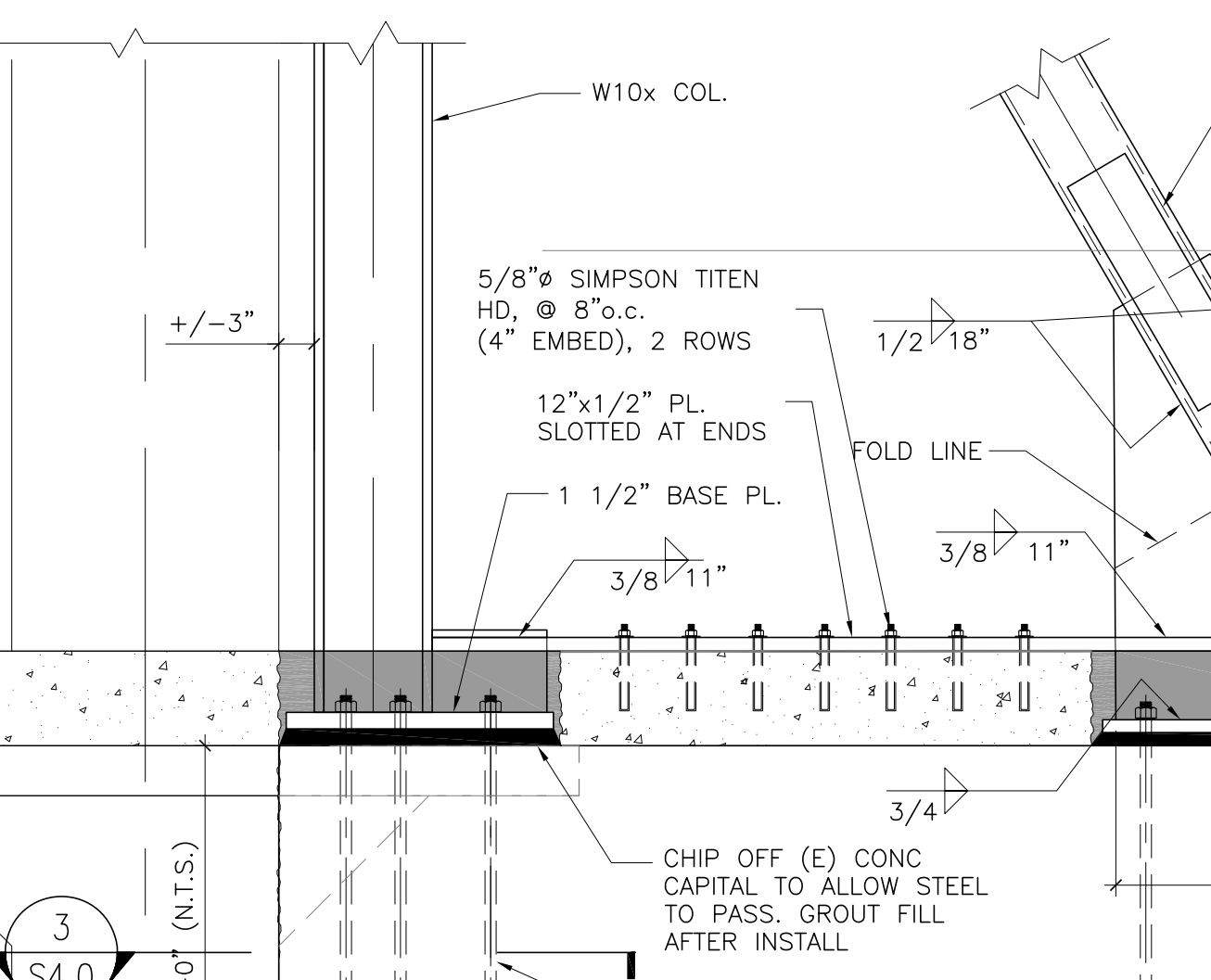
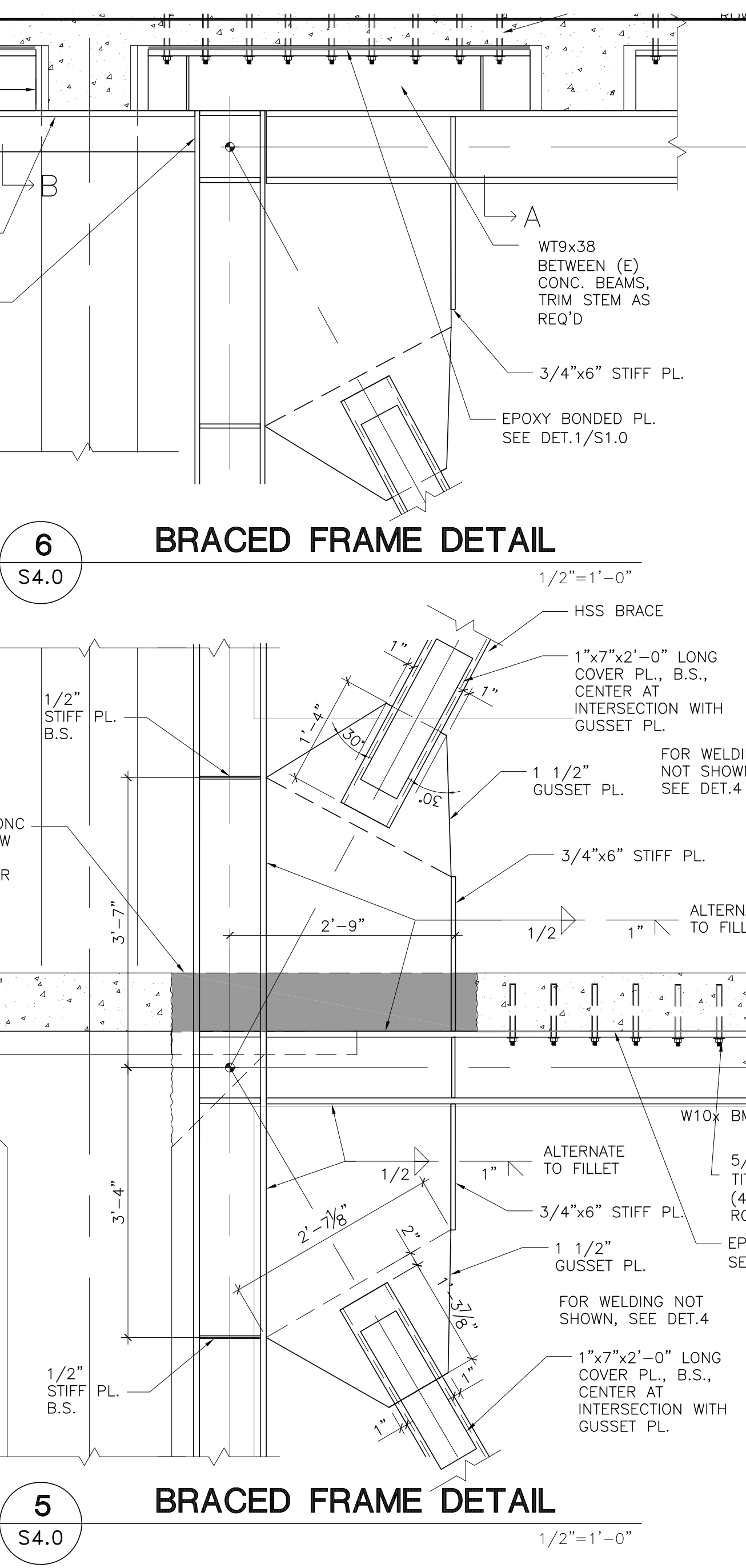
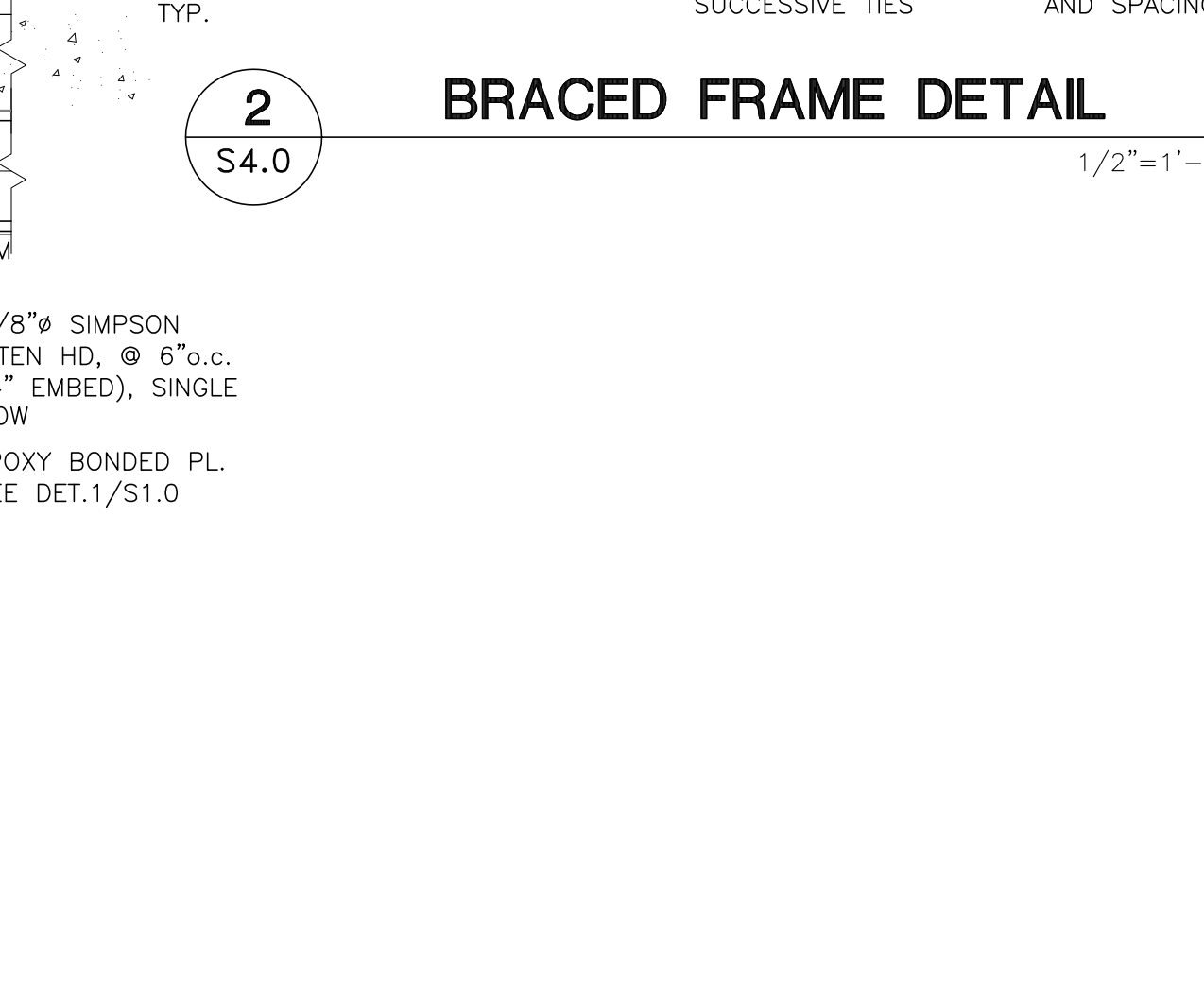
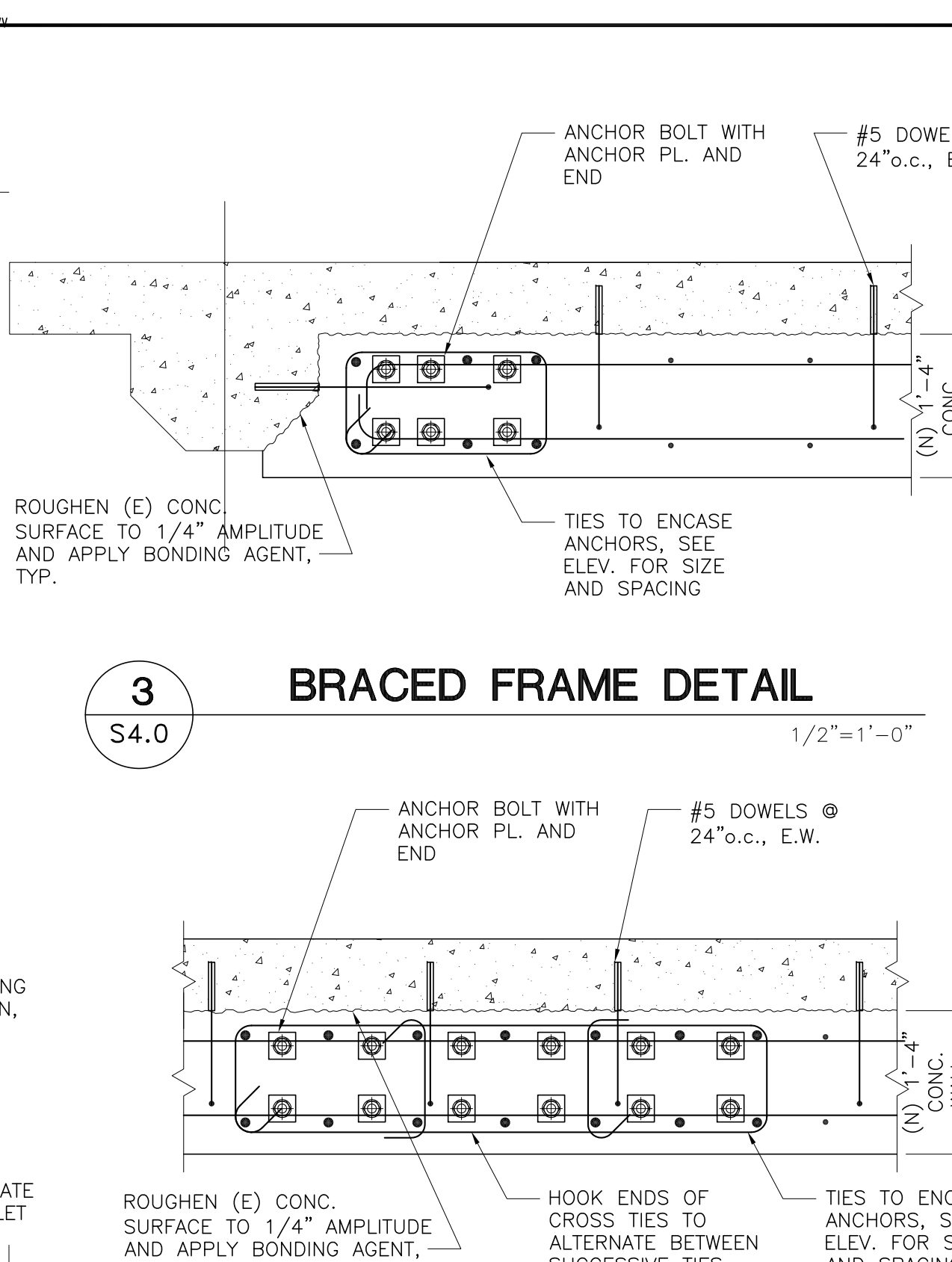
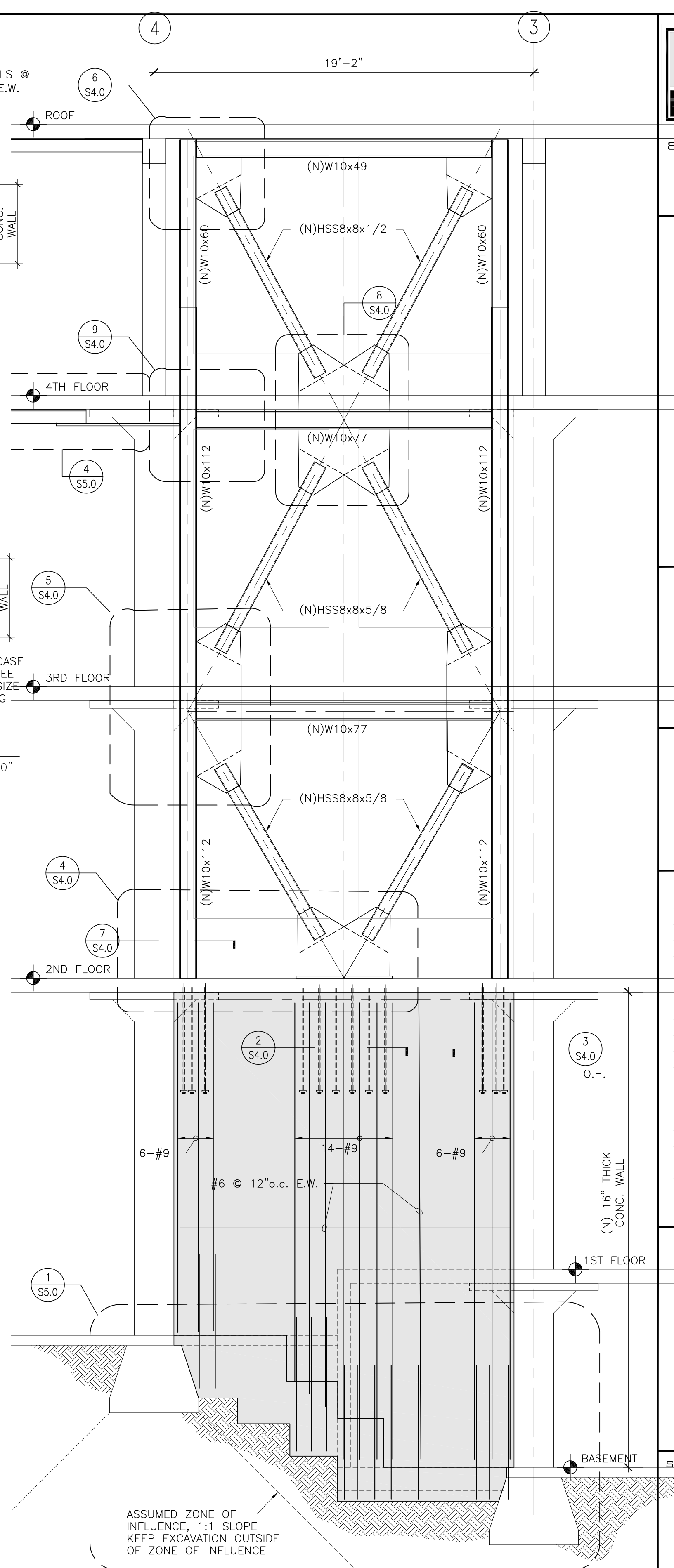
SCALE: AS NOTED OWNER'S NO. JOB NO. 212-308

DRAWN BY: LZ SHEET NUMBER

CHECKED BY: PKH

DATE 2-28-13

**S4.0**



PROJECT TEAM

SEALS/SIGNATURES

APPROVALS

ISSUES / REVISIONS

NO.	DESCRIPTION OF REVISION	DATE
1	PERMIT REVIEW SET	2/1/13
2	PLANNING SUBMITTAL	2/28/13

PROJECT NAME

901 BATTERY STREET  
SAN FRANCISCO, CA

SHEET TITLE  
**CONCRETE SHEAR WALL ELEVATION**

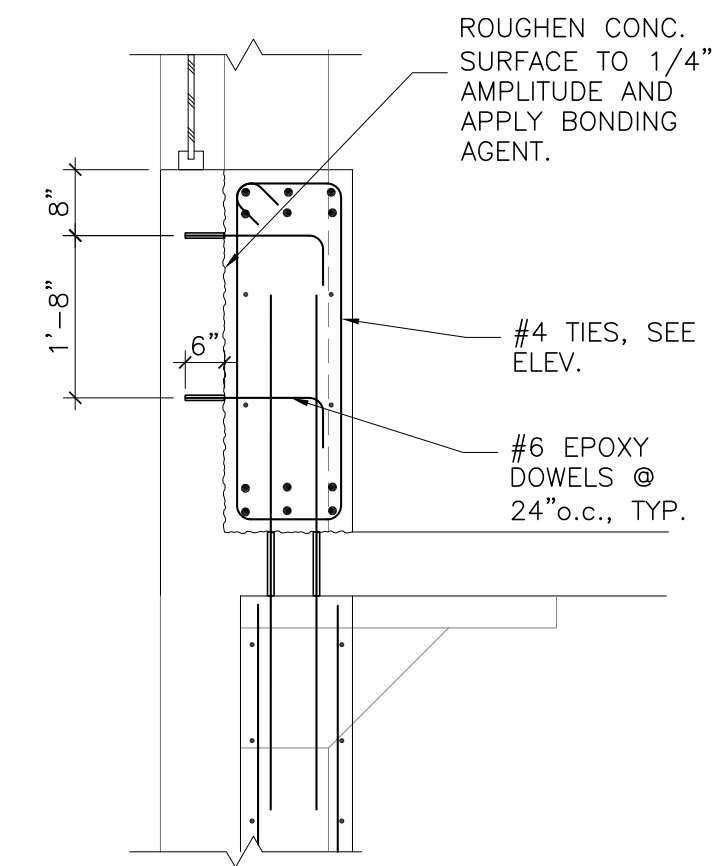
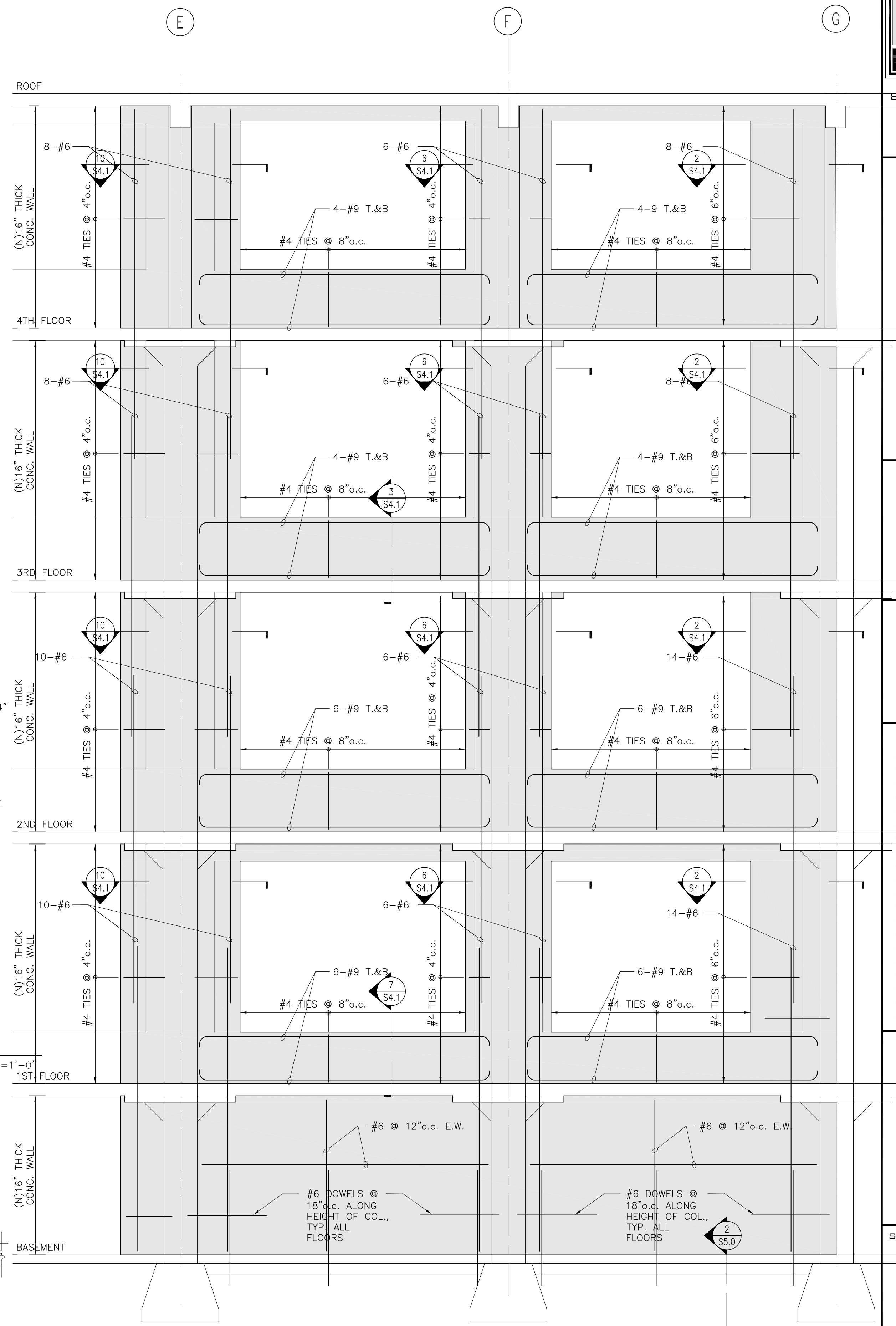
SCALE: AS NOTED OWNER'S NO. JOB NO. 212-308

DRAWN BY: LZ SHEET NUMBER

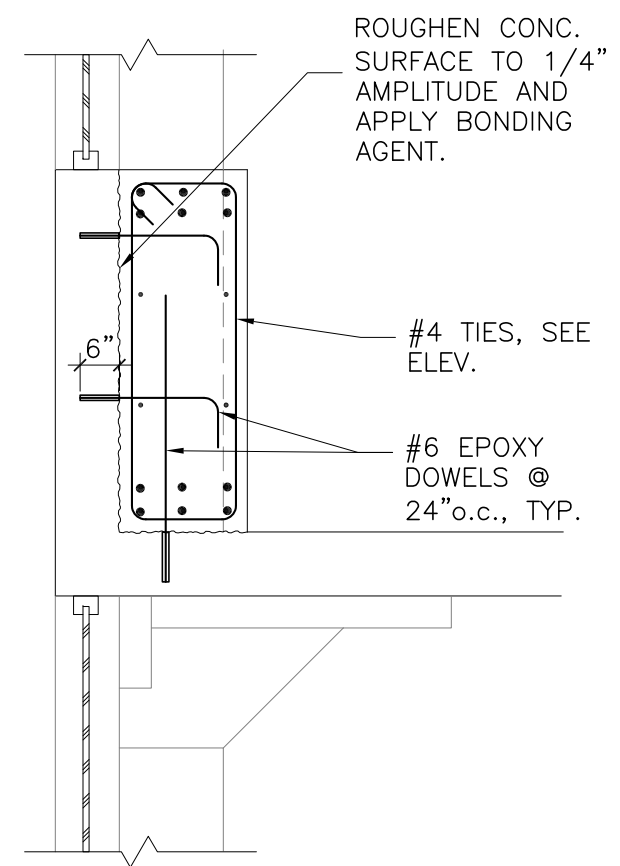
CHECKED BY: PKH

DATE: 2-28-13

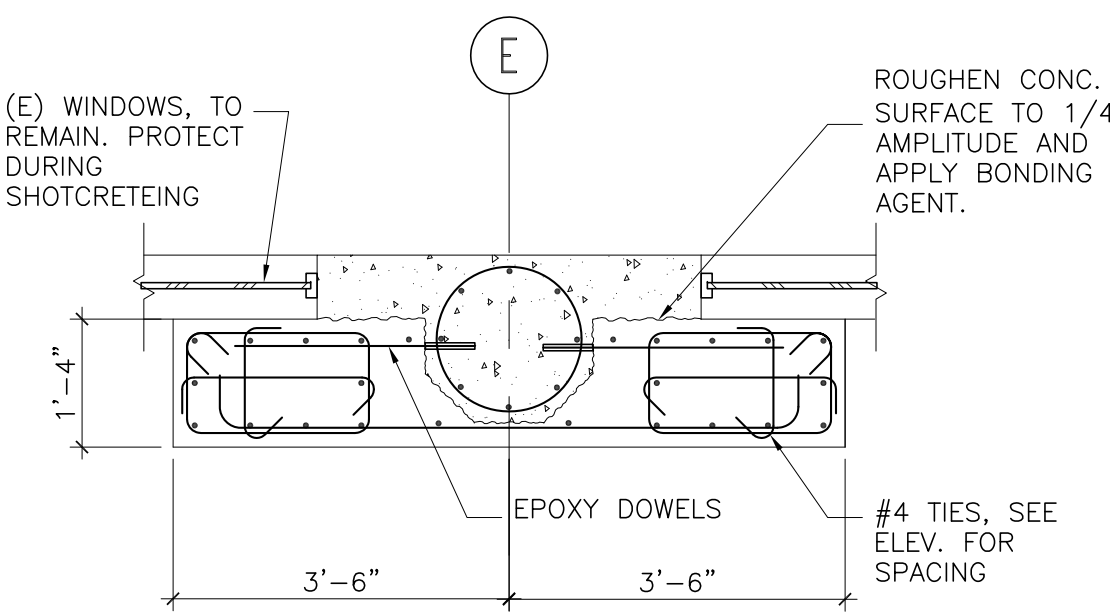
**S4.1**



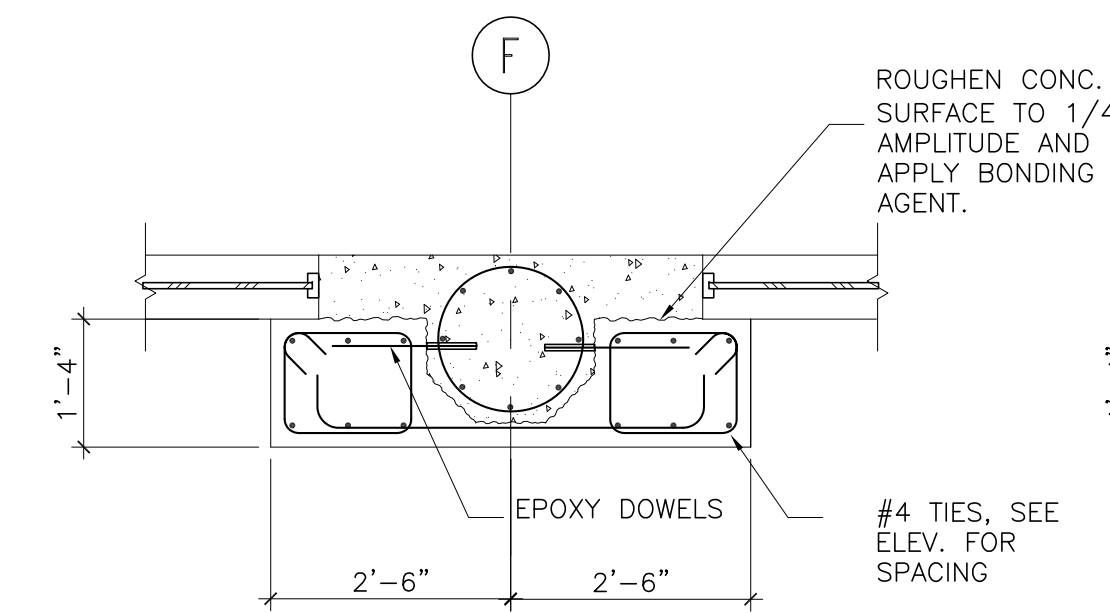
**7**  
S4.1  
**CONCRETE MRF DETAIL**  
1/2"=1'-0"



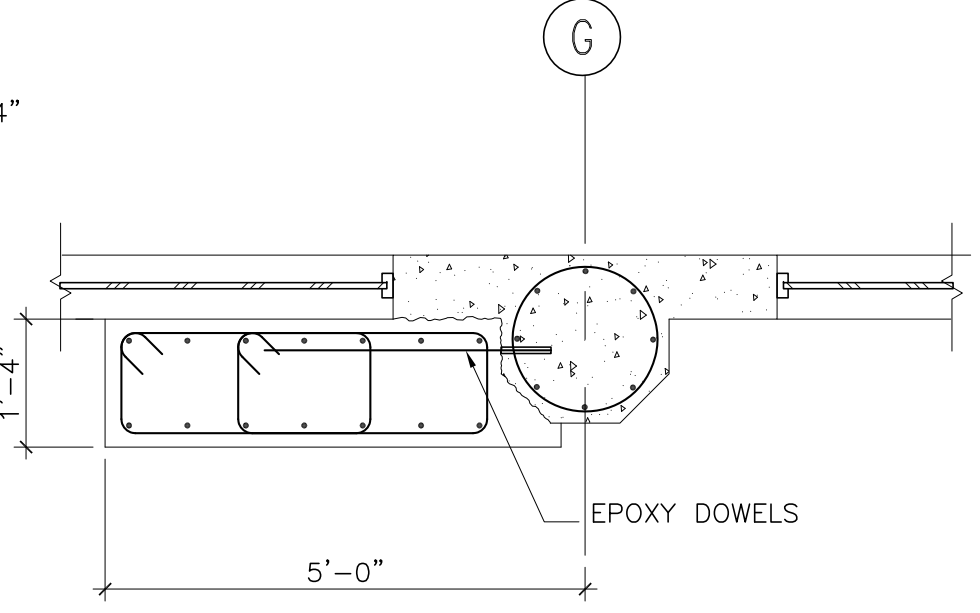
**3**  
S4.1  
**CONCRETE MRF DETAIL**  
1/2"=1'-0"



**10**  
S4.1  
**CONCRETE MRF DETAIL**  
1/2"=1'-0"



**6**  
S4.1  
**CONCRETE MRF DETAIL**  
1/2"=1'-0"



**2**  
S4.1  
**CONCRETE MRF DETAIL**  
1/2"=1'-0"

**CONCRETE SHEAR WALL ELEVATION**  
S4.1  
1/4"=1'-0"

(E) WINDOWS, TO REMAIN, PROTECT DURING SHOTCRETEING

ROUGHEN CONC. SURFACE TO 1/4" AMPLITUDE AND APPLY BONDING AGENT.

ROUGHEN CONC. SURFACE TO 1/4" AMPLITUDE AND APPLY BONDING AGENT.



PROJECT TEAM

SEALS/SIGNATURES

APPROVALS

ISSUES / REVISIONS

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PROJECT NAME

**901 BATTERY STREET  
SAN FRANCISCO, CA**

SHEET TITLE  
**SHEAR WALL AT ALLEY**

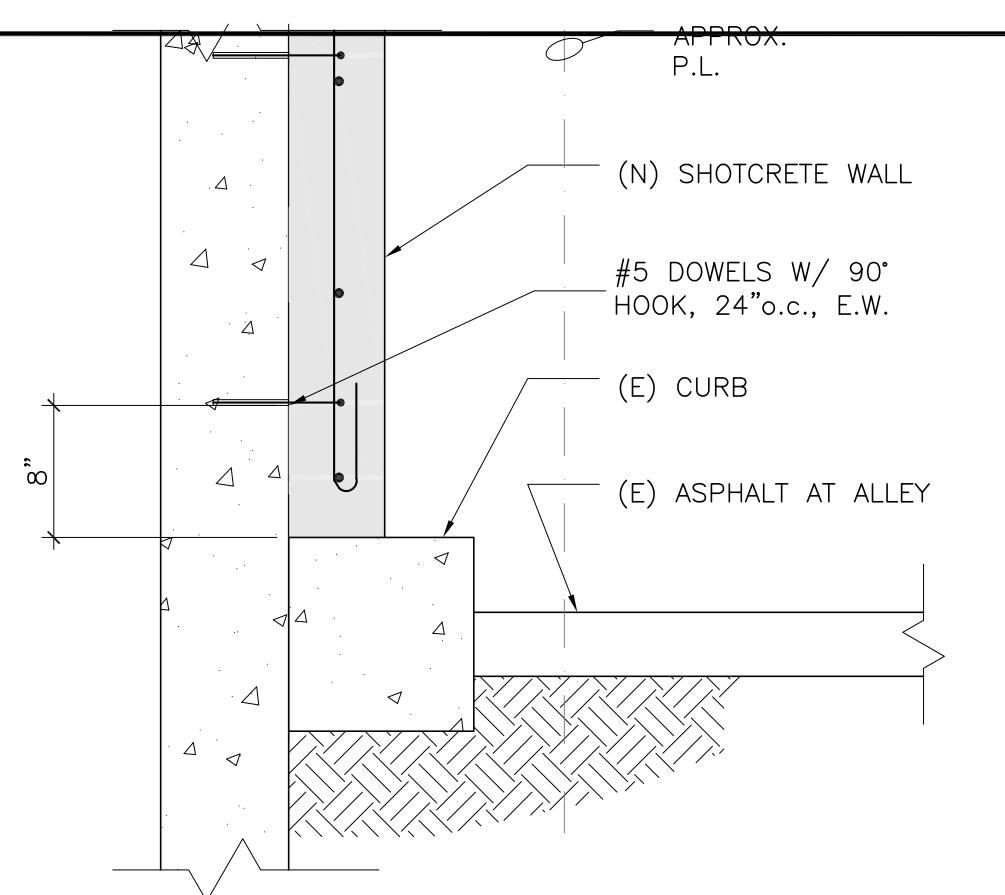
SCALE: AS NOTED    OWNER'S NO.    JOB NO. 212-308

DRAWN BY: LZ    SHEET NUMBER

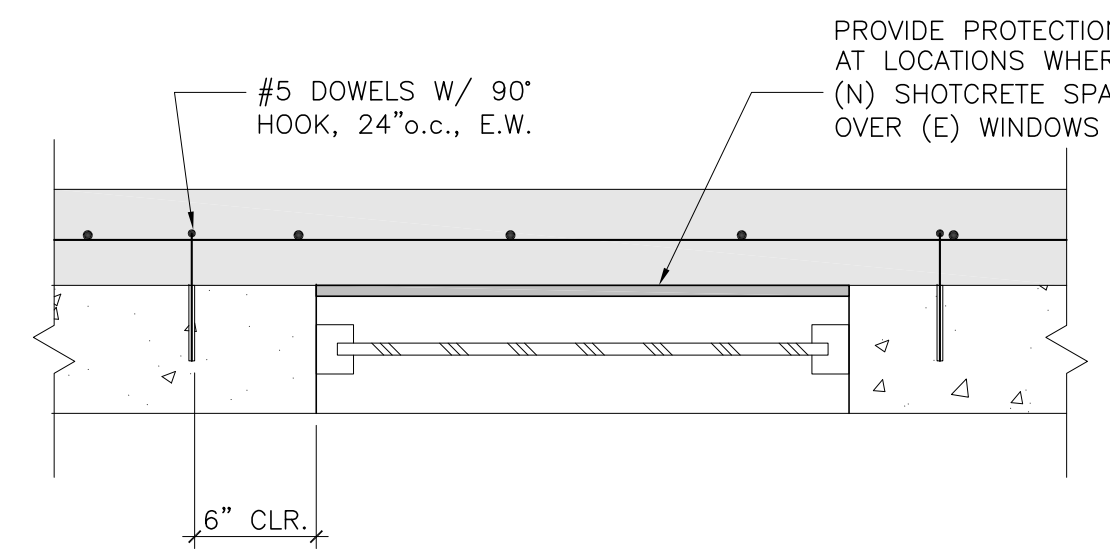
CHECKED BY: PKH

DATE: 2-28-13

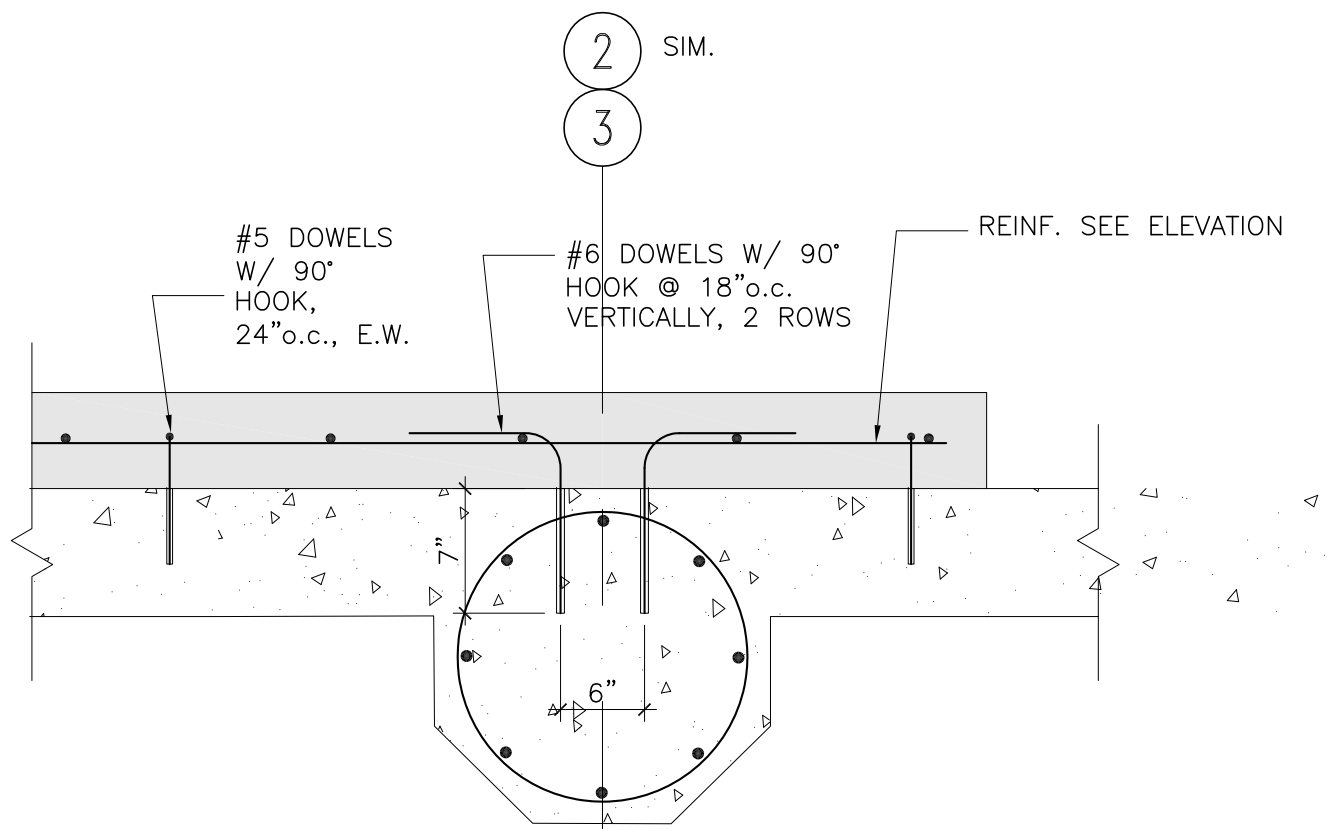
**S4.2**



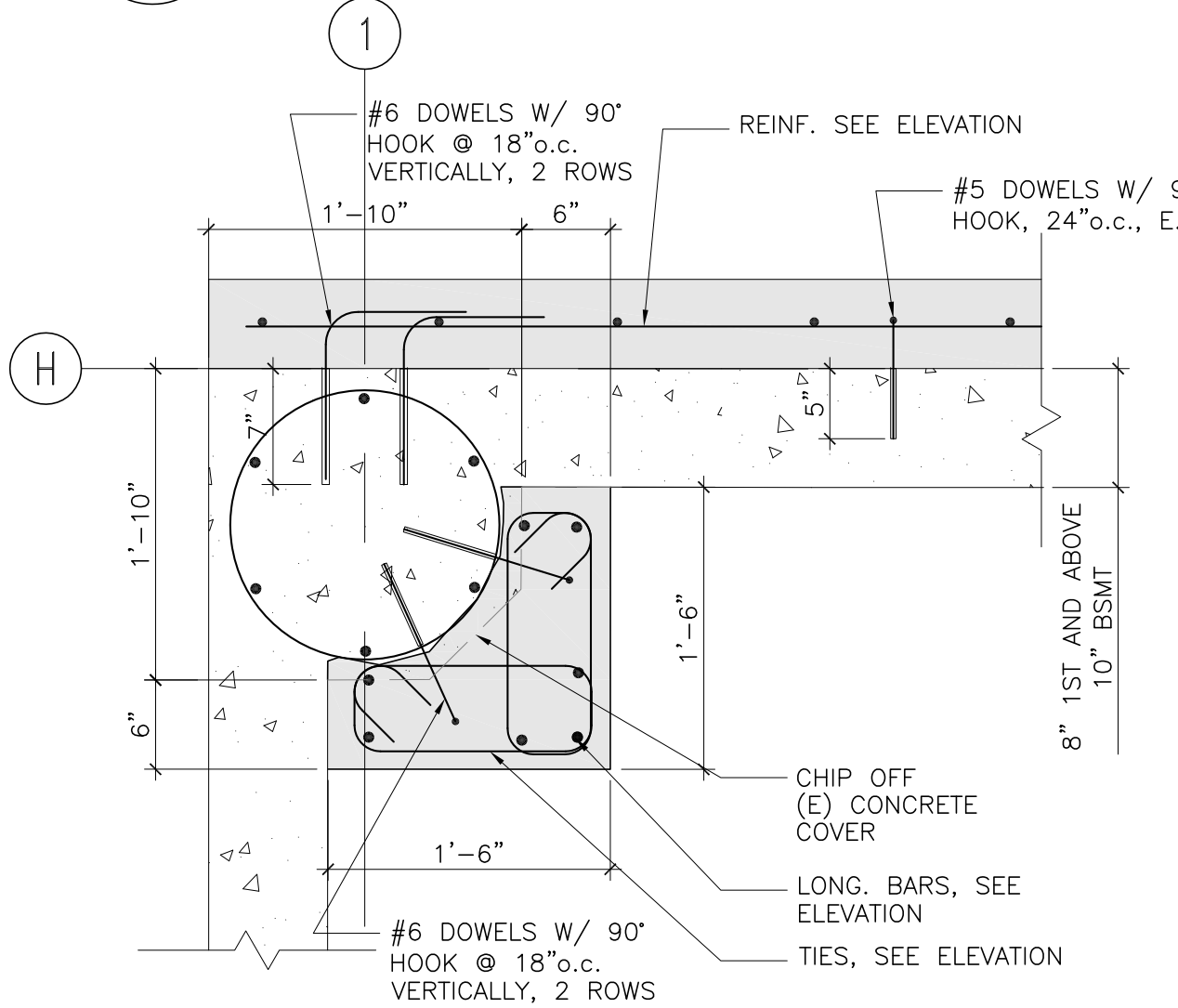
**7**  
S4.2  
**SHEAR WALL DETAIL**  
1"=1'-0"



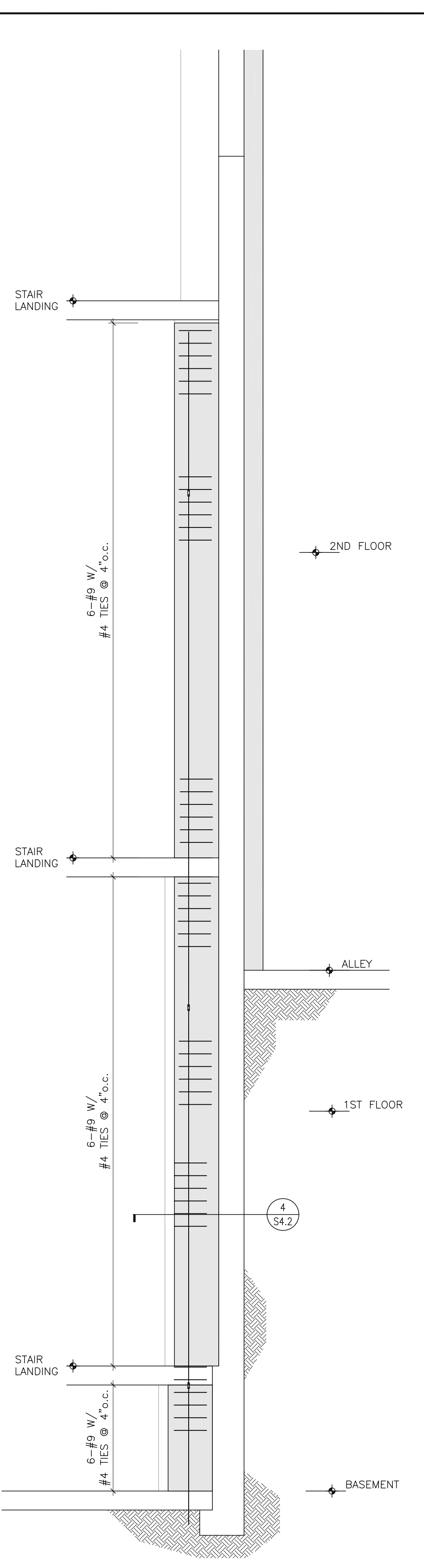
**6**  
S4.2  
**SHEAR WALL DETAIL**  
1"=1'-0"



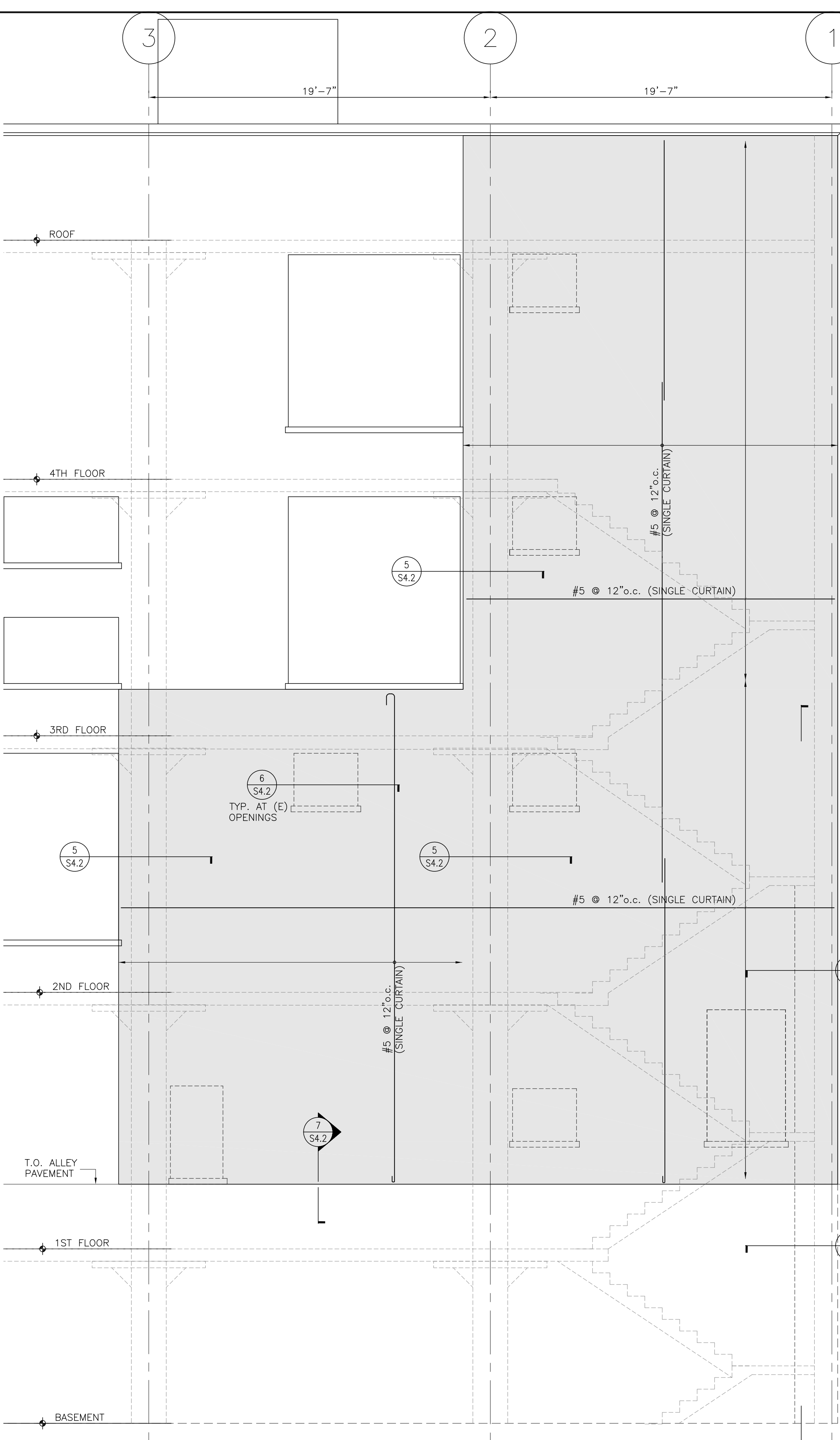
**5**  
S4.2  
**SHEAR WALL DETAIL**  
1"=1'-0"



**4**  
S4.2  
**SHEAR WALL DETAIL**  
1"=1'-0"



**2**  
S4.2  
**SECTION AT SHEAR WALL**  
1/2"=1'-0"



**1**  
S4.2  
**SHEAR WALL AT ALLEY**  
1/4"=1'-0"

PROJECT TEAM

SEALS/SIGNATURES

APPROVALS

ISSUES / REVISIONS

NO.	DESCRIPTION OF REVISION	DATE
1	PERMIT REVIEW SET	2/1/13
2	PLANNING SUBMITTAL	2/28/13

PROJECT NAME

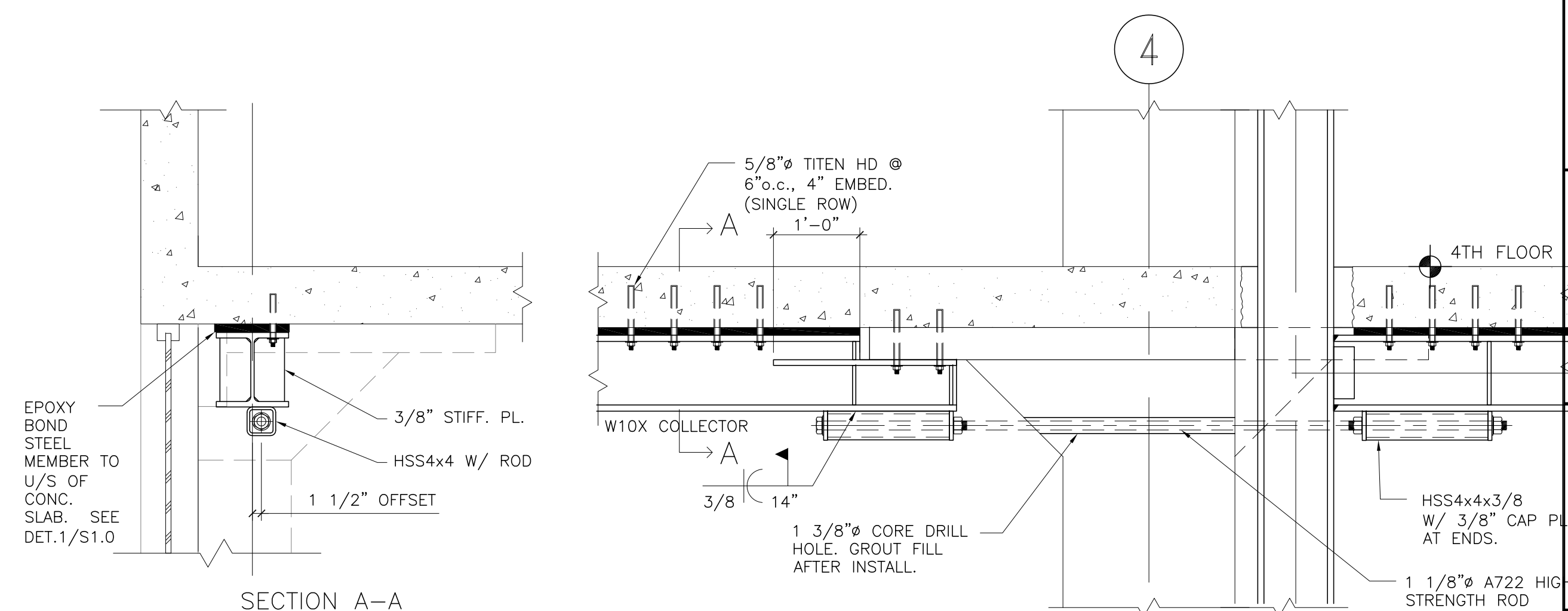
**901 BATTERY STREET  
SAN FRANCISCO, CA**

SHEET TITLE  
**MISCELLANEOUS  
DETAILS**

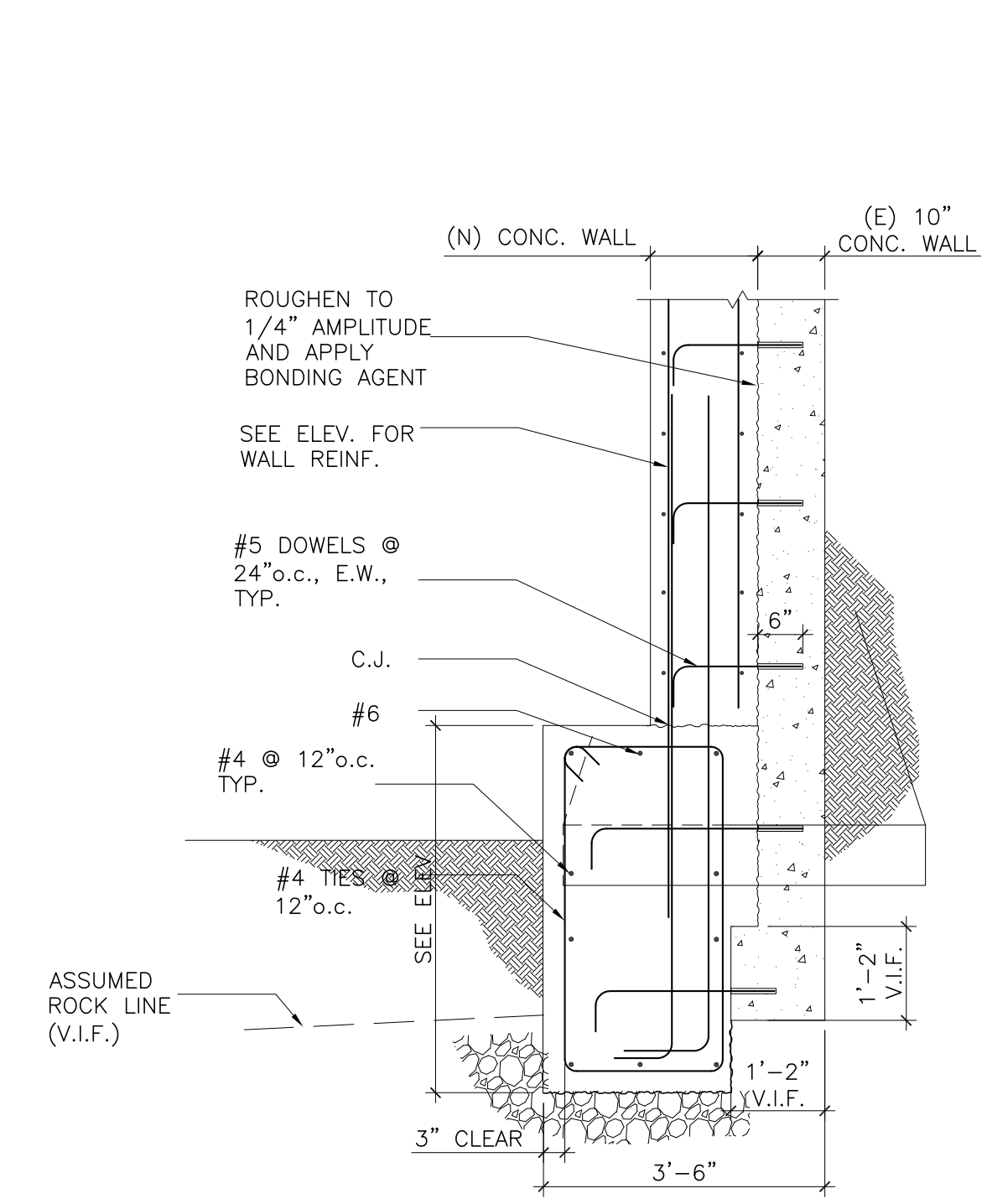
SCALE: AS NOTED    OWNER'S NO.    JOB NO. 212-308

DRAWN BY: LZ    SHEET NUMBER

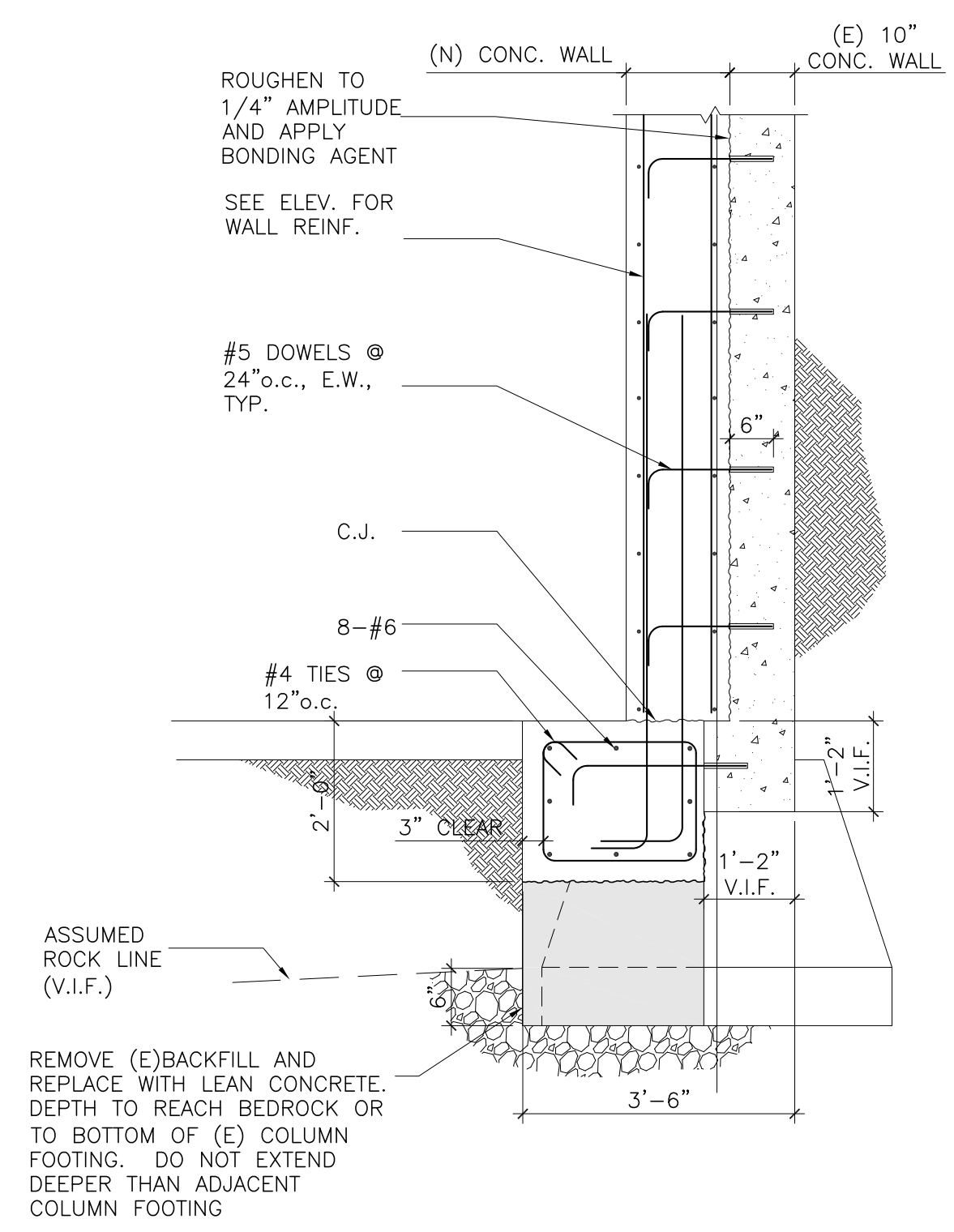
CHECKED BY: PKH    **S5.0**  
DATE: 2-28-13



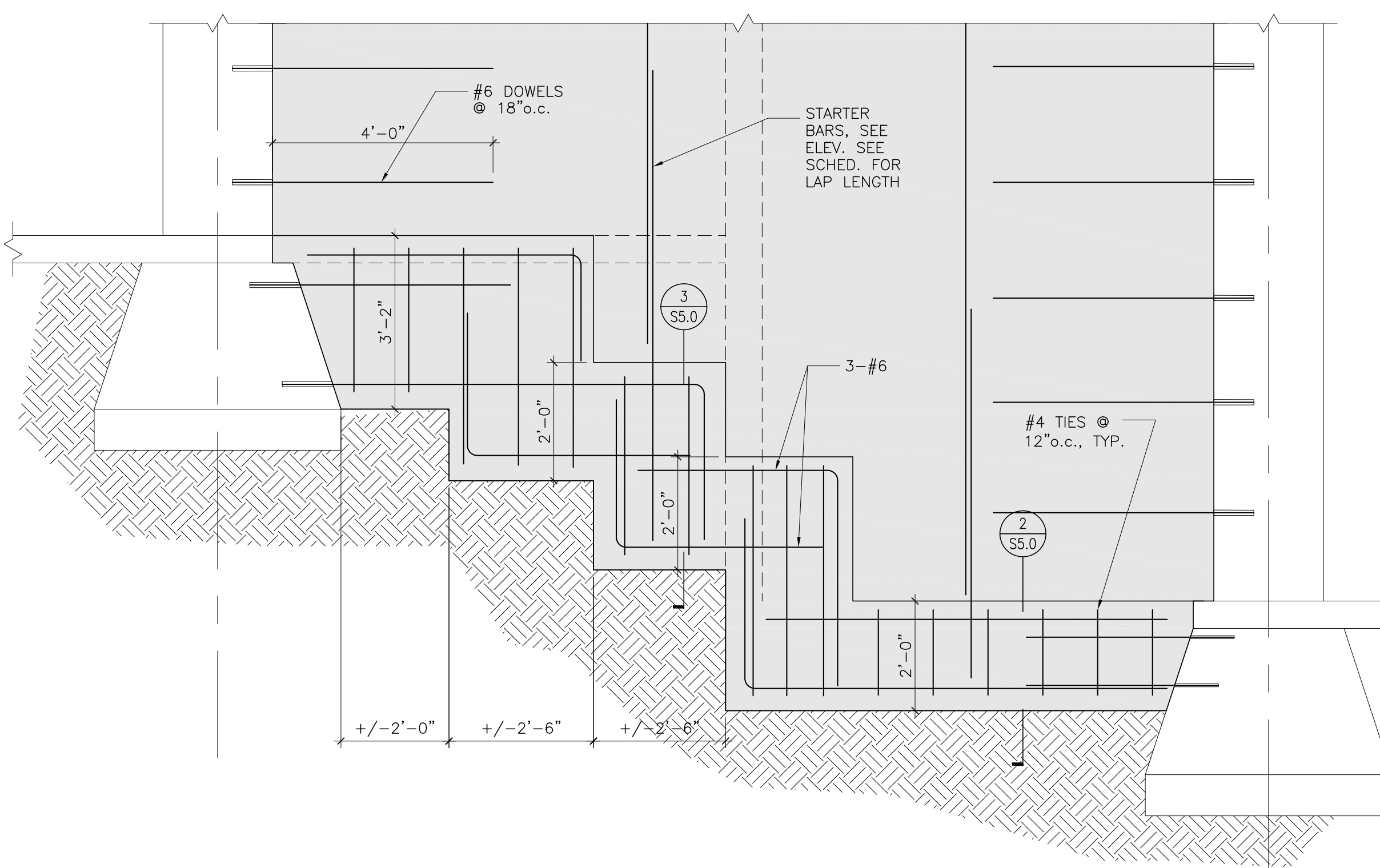
**4**  
S5.0    **COLLECTOR DETAIL FOR BRACED FRAME**    1/2"=1'-0"



**3**  
S5.0    **FOOTING DETAIL**    1/2"=1'-0"



**2**  
S5.0    **FOOTING DETAIL**    1/2"=1'-0"



**1**  
S5.0    **FOOTING DETAIL**    1/2"=1'-0"

ARCHITECTURAL RESOURCES GROUP, INC.  
Architects, Planners & Conservators



*TRANSMITTAL*

*To:* Lily Yegazu  
Preservation Planner, Northeast Quadrant  
1650 Mission Street, Ste. 400  
San Francisco, CA 94103

*Project:* 901 Battery | Seismic & Maintenance Upgrades  
*Project No:* 12208  
*Date:* July 30 2013  
*Phone:* 415-558-6392

*Via:* Messenger

Pier 9, The Embarcadero  
San Francisco  
California  
94111  
415.421.1680  
fax 415.421.0127  
www.argsf.com

*Remarks:*

Enclosed please find:

12 copies of the following documents  
Certificate of Appropriateness Application (March 20, 2013)  
Letter of Agent Authorization (March 21, 31013)  
Entry Improvements, Seismic and Maintenance Upgrades Drawings (February 28, 2013)  
901 Battery Street Supplemental Historical Information (February 18, 2013)  
Secretary of the Interior Standards Compliance Evaluation (February 18, 2013)

*By:* Charles Edwin Chase, AIA  
*E-mail:* c.chase@argsf.com  
*CC:* Jay Sholten, Swig Co., File

ARCHITECTURAL RESOURCES GROUP, INC.  
Architects, Planners & Conservators



March 20, 2013

Janice Shambray, Planner  
Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Re: 901 Battery Street

Dear Ms Shambray,

Re: 901 Battery Street  
Entry Improvements, Seismic and Maintenance Upgrades

Architectural Resources Group on behalf of the Swig Company is pleased to submit the enclosed documents for intake review.

The project sponsor seeks to accomplish the following improvements to the structure located at 901 Battery a contributing building to the Northeast Waterfront Historic District.

The improvements are undertaken as a voluntary seismic upgrade to the structure and to make minor exterior improvements to the building that include the following:

- A. Seismic shear wall at the west wall along alley. All other seismic improvements are internal to the building envelop
- B. ADA improvements to principal entrance at the Vallejo St include new entrance door and signage
- C. Cosmetic entrance improvements to existing entrances along the Battery and Vallejo Street Elevations include the followiing
  1. Battery Street Elevation
    - a. Construct new architectural moldings replacing those removed during a previous remodellelling of the bulding.
    - b. Install new glass entrance canopy
    - c. Install new glass entry door system
    - d. Install new vertical disabled entry actuator
    - e. Relocate and install new entrance light fixtures at either side of entry

*Principals*

---

STEPHEN J. FARNETH, FAIA, LEED AP  
CHARLES EDWIN CHASE, AIA  
TAKASHI FUKUDA  
AARON JON HYLAND, AIA  
NAOMI O. MIROGLIO, AIA  
DAVID P. WESSEL, AIC, FAPT  
  
BRUCE D. JUDD, FAIA, EMERITUS

*Associate Principals*

---

JAMES MCLANE, AIA, LEED AP

*Senior Associates*

---

ANDREW G. BLYHOLDER, AIA, LEED AP  
DEBORAH J. COOPER, AIA, LEED AP  
KATIE E. HORAK  
LISA KUCIK, AIA, LEED AP  
CATHLEEN MALMSTROM, AIA  
CATHERINE DEJ. VIETH, AIA, LEED AP  
KATHERINE T. PETRIN  
CHRISTOPHER J. SMITH  
JODY R. STOCK

*Offices*

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SAN FRANCISCO  
PASADENA  
PORTLAND

*Northern California Office*

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email [arg@argsf.com](mailto:arg@argsf.com)  
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415.421.1680  
[www.argsf.com](http://www.argsf.com)



Page 2

- f. Install interpretative plaque and tenant directory sign
  - g. Remove metal signage structure over secondary entry to basement
  - h. Relocated existing blade sign to adjacent pilaster
  - i. Install new decorative grill door surround to secondary doorway
2. Vallejo Street Elevation
- a. Install new glass entry door
  - b. Provide ADA signage for building entry

D. Provide glass enclosed screen wall at the roof adjacent to and contiguous with elevator and stair enclosures.

E. Install new signs in the following locations

- 1. Parapet at Southeast corner of Battery & Vallejo: two (2) signs within existing rectangular moldings
- 2. Interpretive and Directory Sign at left of 901 Battery St entry
- 3. Relocation of existing blade sign to adjacent pilaster
- 4. Directory sign at Vallejo St entrance

Based upon your comments we will make any adjustments needed and to supply the needed copies for formal submission.

Should you require additional information, please contact me at 415 421 1680 ext 216 or via email at [c.chase@argsf.com](mailto:c.chase@argsf.com).

Sincerely,

Charles Edwin Chase, AIA  
Principal | Director of Planning

CEC/s

Enclosures: Supplemental Historic Resource Information  
Impact Analysis Memo  
Drawings date 2/28/13

# APPLICATION FOR Certificate of Appropriateness

## 1. Owner/Applicant Information

PROPERTY OWNER'S NAME: The Swig Company	
PROPERTY OWNER'S ADDRESS: 220 Montgomery Street, 20th Fl. San Francisco, CA 94104	TELEPHONE: (415 ) 291-1145 EMAIL: jscholten@swigco.com

APPLICANT'S NAME: Jay Sholten, Vice President <span style="float: right;">Same as Above <input type="checkbox"/></span>	
APPLICANT'S ADDRESS: 220 Montgomery Street, 20th Fl. San Francisco, CA 94104	TELEPHONE: (415 ) 291-1145 EMAIL: jscholten@swigco.com

CONTACT FOR PROJECT INFORMATION: Charles Chase <span style="float: right;">Same as Above <input type="checkbox"/></span>	
CONTACT PERSON'S ADDRESS: Architectural Resources Group Pier 9, Suite 107 San Francisco, CA 94111	TELEPHONE: (415 ) 421-1680 ext 216 EMAIL: c.chase@argsf.com

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 901 Battery Street	ZIP CODE: 94111
CROSS STREETS: Vallejo St.	

ASSESSORS BLOCK/LOT: 0135 / 003	LOT DIMENSIONS:	LOT AREA (SQ FT): 18,906.25	ZONING DISTRICT: C-2	HEIGHT/BULK DISTRICT: 65-X
ARTICLE 10 LANDMARK NUMBER: N/A		HISTORIC DISTRICT: Northeast Waterfront Historic District		

## 3. Project Description

Voluntary seismic upgrade and repair and replacement of both historic and non-historic building features

Building Permit Application No. \_\_\_\_\_

Date Filed: \_\_\_\_\_

#### 4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

GROSS SQUARE FOOTAGE (GSF)	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
Residential	0	0	0	0
Retail	0	0	0	0
Office	92,465	92,465	0	92,465
Industrial / PDR Production, Distribution, & Repair	0	0	0	0
Parking	0	0	0	0
Other (Specify Use)	0	0	0	0
<b>Total GSF</b>	<b>92,465</b>	<b>92,465</b>	<b>0</b>	<b>92,465</b>
PROJECT FEATURES	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
Dwelling Units	0	0	0	0
Hotel Rooms	0	0	0	0
Parking Spaces	0	0	0	0
Loading Spaces	0	0	0	0
Number of Buildings	1	1	0	1
Height of Building(s)	64'9"	64'9"	0	64'9"
Number of Stories	4	4	0	4

Please provide a narrative project description, and describe any additional project features that are not included in this table:

- A. Seismic shear wall at the west wall along alley. All other seismic improvements are internal to the building envelope
- B. ADA improvements to principal entrance at 222 Vallejo St.. include new entrance door and signs
- C. Cosmetic entrance improvements to existing entrances along the Battery and Vallejo Street Elevations
- D. Provide glass enclosed screen wall at the roof
- E. Install new signs

# Findings of Compliance with Preservation Standards

FINDINGS OF COMPLIANCE WITH PRESERVATION STANDARDS		YES	NO	N/A
1	Is the property being used as it was historically?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	Does the new use have minimal impact on distinctive materials, features, spaces, and spatial relationship?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Is the historic character of the property being maintained due to minimal changes of the above listed characteristics?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Are the design changes creating a false sense of history of historical development, possible from features or elements taken from other historical properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Are there elements of the property that were not initially significant but have acquired their own historical significance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Have the elements referenced in Finding 5 been retained and preserved?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7	Have distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize the property been preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Are all deteriorating historic features being repaired per the Secretary of the Interior Standards?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9	Are there historic features that have deteriorated and need to be replaced?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10	Do the replacement features match in design, color, texture, and, where possible, materials?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11	Are any specified chemical or physical treatments being undertaken on historic materials using the gentlest means possible?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12	Are all archeological resources being protected and preserved in place?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13	Do exterior alterations or related new construction preserve historic materials, features, and spatial relationships that are characteristic to the property?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14	Are exterior alterations differentiated from the old, but still compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15	If any alterations are removed one day in the future, will the forms and integrity of the historic property and environment be preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Please summarize how your project meets the Secretary of the Interior's *Standards for the Treatment of Historic Properties*, in particular the *Guidelines for Rehabilitation* and will retain character-defining features of the building and/or district:

Retains existing historic features and finishes. Repairs/replaces in kind deteriorated or missing architectural features from the building's original construction/period of significance.

Added new features are differentiated from historic features by design and materials.



# Findings of Compliance with General Preservation Standards

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;

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No change in use is proposed as part of the project.

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2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided;

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The proposed project will retain and preserve the various character-defining features identified above. Exterior seismic work is limited to a portion of the building's rear (west) wall, and will not affect historic character-defining features. The proposed entry rehabilitation will return the building's main entrance to a more historically appropriate appearance. No historic materials or features will be removed as part of this rehabilitation.

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3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken;

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The proposed rehabilitation of the building's main entry along Battery Street is based upon archival photographs and existing physical evidence of original architectural features and will not create a false sense of historical development. No conjectural features or elements from other buildings will be added as part of the seismic upgrades.

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4. Changes to a property that have acquired historic significance in their own right will be retained and preserved;

The building's main entry has undergone several changes over the past few decades, including removal of architectural details and replacement of windows and doors. Many of the changes date from the late 1970s and none has acquired historic significance in its own right. Indeed, these changes are generally unsympathetic to the building's original design and have reduced the building's integrity. The proposed seismic upgrades do not entail the loss of any non-original features that may have acquired historic significance in their own right.

5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved;

No historically significant materials, features, finishes or construction techniques will be removed or otherwise compromised as a result of the proposed project.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence;

The proposed project does not include the replacement of any existing historic features.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used;

No chemical or physical treatments of existing historic materials are included in the proposed project.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken;

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The proposed project does not entail any ground disturbance and thus is not anticipated to disturb any archeological resources.

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9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment;

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The proposed glass canopy will be of a contemporary design that is easily distinguishable from the building's historic features. At the same time, the simple design of the suspended canopy is in keeping with the building's historic industrial use. Other proposed changes at the main entry are based on historic photographs and directly reference historic features.

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The proposed exterior shear wall will not destroy or obscure any of the building's historic features.

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10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired;

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The proposed changes to the entry could be removed in the future without impacting the building's essential form and integrity. The proposed seismic upgrades entail adding a shear wall to a portion of the existing rear wall, which is inherently more reversible than removing and replacing a portion of the existing rear wall. In addition, the shearwall's location at the rear of the building enables it to be removed in the future without impacting the building's historic features.

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*PLEASE NOTE: For all applications pertaining to buildings located within Historic Districts, the proposed work must comply with all applicable standards and guidelines set forth in the corresponding Appendix which describes the District, in addition to the applicable standards and requirements set forth in Section 1006.6. In the event of any conflict between the standards of Section 1006.6 and the standards contained within the Appendix which describes the District, the more protective shall prevail.*

# Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

Not Applicable - Property includes no existing or proposed retail uses

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2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

Not Applicable - Uses remain the same

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3. That the City's supply of affordable housing be preserved and enhanced;

Not Applicable - Property includes no existing or proposed residential uses

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4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

Not Applicable - No new buildable area is being added to the site. Current tenant area remains the same

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5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

Not Applicable - No displacement of tenants is proposed

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6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The property is undergoing a volunteer seismic upgrade as a part of this project.

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7. That landmarks and historic buildings be preserved; and

The proposed rehabilitation is consistent with the Secretary of the Interior Standards for Rehabilitation.

Damaged exterior architectural features are proposed to be replaced in kind to match existing building features.

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8. That our parks and open space and their access to sunlight and vistas be protected from development.

Not Applicable - No new construction building height or bulk will be developed, thus there will be no increased shadowing of adjacent public space.

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# Estimated Construction Costs

TYPE OF APPLICATION: Certificate of Appropriateness	
OCCUPANCY CLASSIFICATION: Commercial Office	
BUILDING TYPE: Office   Reinforced Concrete Construction	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION:  92,465 SF of Existing Building	BY PROPOSED USES:   
ESTIMATED CONSTRUCTION COST: \$	
ESTIMATE PREPARED BY: Plant Construction	
FEE ESTABLISHED: \$5,947.00	

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature: 

Date: Mar 20, 2013

Print name, and indicate whether owner, or authorized agent:

Authorized Agent

Owner / Authorized Agent (circle one)

# Certificate of Appropriateness Application Submittal Checklist

The intent of this application is to provide Staff and the Historic Preservation Commission with sufficient information to understand and review the proposal. Receipt of the application and the accompanying materials by the Planning Department shall only serve the purpose of establishing a Planning Department file for the proposed project. After the file is established, the Department will review the application to determine whether the application is complete or whether additional information is required for the Certificate of Appropriateness process. Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	CERTIFICATE OF APPROPRIATENESS
Application, with all blanks completed	<input checked="" type="checkbox"/>
Site Plan	<input checked="" type="checkbox"/>
Floor Plan	<input checked="" type="checkbox"/>
Elevations	<input checked="" type="checkbox"/>
Prop. M Findings	<input checked="" type="checkbox"/>
Historic photographs (if possible), and current photographs	<input checked="" type="checkbox"/>
Check payable to Planning Department	<input checked="" type="checkbox"/>
Original Application signed by owner or agent	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

**NOTES:**

- Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- Typically would not apply. Nevertheless, in a specific case, staff may require the item.

**PLEASE NOTE:** *The Historic Preservation Commission will require additional copies each of plans and color photographs in \ reduced sets (11" x 17") for the public hearing packets. If the application is for a demolition, additional materials not listed above may be required. All plans, drawings, photographs, mailing lists, maps and other materials required for the application must be included with the completed application form and cannot be "borrowed" from any related application.*

For Department Use Only  
Application received by Planning Department:

By: \_\_\_\_\_ Date: \_\_\_\_\_



**FOR MORE INFORMATION:**  
Call or visit the San Francisco Planning Department

<p><b>Central Reception</b> 1650 Mission Street, Suite 400 San Francisco CA 94103-2479</p> <p>TEL: <b>415.558.6378</b> FAX: <b>415 558-6409</b> WEB: <a href="http://www.sfplanning.org">http://www.sfplanning.org</a></p>	<p><b>Planning Information Center (PIC)</b> 1660 Mission Street, First Floor San Francisco CA 94103-2479</p> <p>TEL: <b>415.558.6377</b></p> <p><i>Planning staff are available by phone and at the PIC counter. No appointment is necessary.</i></p>
--	---