



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: September 26, 2013
TO: Historic Preservation Commission
FROM: Rich Sucre, Historic Preservation Technical Specialist, (415) 575-9108
REVIEWED BY: Tim Frye, Preservation Coordinator, (415) 575-6822
RE: **Review and Comment**
665 3rd Street
Case No. 2013.0226BC

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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Information:
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BACKGROUND

The Planning Department seeks the advice of the Historic Preservation Commission on the proposed project at 665 3rd Street. As described in detail below, the proposed project entails a change in use from PDR to office, pursuant to Planning Code Section 803.9(a), which states:

(a) Preservation of Landmark Buildings, Significant or Contributory Buildings Within the Extended Preservation District and/or Contributory Buildings Within Designated Historic Districts within the South of Market Mixed Use Districts. Within the South of Market Mixed Use District, any use which is permitted as a principal or conditional use within the SSO District, excluding nighttime entertainment use, may be permitted as a conditional use in

(a) a landmark building located outside a designated historic district,

(b) a contributory building which is proposed for conversion to office use of an aggregate gross square footage of 25,000 or more per building and which is located outside the SSO District yet within a designated historic district, or

(c) a building designated as significant or contributory pursuant to Article 11 of this Code and located within the Extended Preservation District.

For all such buildings the following conditions shall apply:

(1) the provisions of Sections 316 through 318 of this Code must be met;

(2) in addition to the conditional use criteria set out in Sections 303(c)(6) and 316 through 316.8, it must be determined that allowing the use will enhance the feasibility of preserving the landmark, significant or contributory building; and

(3) the landmark, significant or contributory building will be made to conform with the San Francisco Building Code standards for seismic loads and forces which are in effect at the time of the application for conversion of use.

A contributory building which is in a designated historic district outside the SSO District may be converted to any use which is a principal use within the SSO District provided that:

- (1) such use does not exceed an aggregate square footage of 25,000 per building; and
- (2) prior to the issuance of any necessary permits the Zoning Administrator
 - (a) determines that allowing the use will enhance the feasibility of preserving the contributory building; and
 - (b) the contributory building will be made to conform with the San Francisco Building Code standards for seismic loads and forces which are in effect at the time of the application for conversion of use.

The proposed project qualifies for use of this Planning Code section, since the subject building at 665 3rd Street is a contributing building located in a designated historic district (South End Landmark District) outside the SSO (Service/Secondary Office) Zoning District. Further, the subject building would seek a change in use of up to approximately 123,700 sq ft of office use; therefore, the subject building would possess an aggregate gross square footage in excess of 25,000.

PROPERTY DESCRIPTION

Constructed in 1916, 665 3rd Street is a five-story reinforced concrete warehouse designed for the M.J. Brandenstein Co. by noted architect, G. Albert Langsburgh, and builder, George Wagner. The building features a concrete foundation, reinforced concrete walls, a stucco exterior, steel-sash industrial windows, and a tabbed parapet and cornice.

PROPOSED PROJECT DESCRIPTION

The proposed project entails a change in use of up to 123,700 sf from PDR (Production, Distribution and Repair) use to office use. The proposed project would retain approximately 3,800 sq ft of PDR use. To further support the preservation of the subject building, the Project Sponsor has also submitted a Historic Building Maintenance Plan, which outlines a maintenance and restoration program for: regular maintenance; repair of the roof, windows, exterior paint, and signage; and, restoration of the ground floor windows.

STAFF ANALYSIS

The Department would like the HPC to consider the following information:

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values.

Based upon a review of the proposed project per the Secretary of the Interior's Standards for Rehabilitation (Rehabilitation Standards), the change in use from PDR to office would be considered a compatible use with the former reinforced concrete warehouse. As noted in Rehabilitation Standard 1, "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment." This new use requires minimal change to the defining characteristics of 665 3rd Street, and the property would maintain its status as a contributor to the South End Historic District. Further, the Historic Building Maintenance Plan (HBMP) proposed by the Project Sponsor appropriately addresses a cyclical maintenance and restoration program for 665 3rd Street, and seeks to proactively correct any material deficiencies with existing windows, exterior stucco and roof. Further, the HBMP would assist in reinforcing the building's contribution to the surrounding district by: 1) providing for a historic paint analysis to better match the building's exterior paint color to the historic paint color; 2) replacing the non-historic ground floor windows with new, more compatible windows; and, 3) introducing an interpretative display, which discusses the history and significance of the subject building as related to the notable MJB Coffee Co. The Project Sponsor has demonstrated through their HBMP their commitment to preserving and restoring the subject property by correcting incompatible alterations to the ground floor, seeking to appropriately restore the building's original color, and interpreting the history of the building and district.

RECOMMENDATIONS

The Department finds the proposed project to be in compliance with the Secretary of the Interior's Standards for Rehabilitation. Further, the Department finds that the proposed project would enhance the feasibility of preserving the building by providing for a compatible new use and a cyclical maintenance and restoration program. This maintenance and restoration plan would improve the viability of preserving the subject building, and would reinforce the building's contribution to the surrounding landmark district. In addition, the building's new use would maintain and not impact the district's historic integrity and historic status.

REQUESTED ACTION

The Department is requesting adoption of a resolution from the Historic Preservation Commission regarding the proposed project and its ability to enhance the feasibility of preserving the historic building, in order to assist the determination by the Planning Commission pursuant to Planning Code Section 803.9(a). In addition, the Department seeks confirmation on the project's compliance with the Secretary of the Interior's Standards for Rehabilitation.

ATTACHMENTS

- Draft Resolution
- Exhibits, including Parcel Map, 1998 Sanborn Fire Insurance Map, Zoning Map, Aerial Photograph, and Site Photos
- Historic Building Maintenance Plan
- Architectural Drawings



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Resolution No. XXXX

HEARING DATE: October 2, 2013

Date: October 2, 2013
Case No.: **2013.0226BC**
Project Address: **665 3rd Street**
Zoning: SLI (Service/Light Industrial) Zoning District
Block/Lot: 3788/041
Project Sponsor: Caroline Guibert, Coblentz, Patch, Duffy and Bass, LLP
Staff Contact: Richard Sucre – (415) 575-9108
richard.sucre@sfgov.org
Reviewed By: Tim Frye, Preservation Coordinator
tim.frye@sfgov.org

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ADOPTING FINDINGS RELATED TO THE FEASIBILITY OF PRESERVING THE SUBJECT PROPERTY FOR THE PROPOSED CHANGE IN USE FROM PDR TO OFFICE USE AT 665 3RD STREET (ASSESSOR'S BLOCK 3788, LOT 041), LOCATED WITHIN SLI (SERVICE/LIGHT INDUSTRIAL) ZONING DISTRICT, SOUTH END LANDMARK DISTRICT, AND 65-X HEIGHT AND BULK DISTRICT.

PREAMBLE

1. WHEREAS, on February 28, 2013, the Project Sponsor (Caroline Guibert, Coblentz, Patch, Duffy and Bass, LLP) filed a Conditional Use Application and Office Development Authorization with the San Francisco Planning Department for 665 3rd Street (Block 3788, Lots 041).
2. WHEREAS, the proposed project intends to utilize Planning Code Section 803.9(a) to allow a change in use of up to approximately 123,700 sf from PDR to office use at 665 3rd Street. Pursuant to Planning Code Section 803.9(a), the following provision is intended to support the economic viability of buildings of historic importance within a South of Market Mixed Use District:
 - (a) Preservation of Landmark Buildings, Significant or Contributory Buildings Within the Extended Preservation District and/or Contributory Buildings Within Designated Historic Districts within the South of Market Mixed Use Districts. Within the South of Market Mixed Use District, any use which is permitted as a principal or conditional use within the SSO District, excluding nighttime entertainment use, may be permitted as a conditional use in
 - (a) a landmark building located outside a designated historic district,
 - (b) a contributory building which is proposed for conversion to office use of an aggregate gross square footage of 25,000 or more per building and which is located outside the SSO District yet within a designated historic district, or

(c) a building designated as significant or contributory pursuant to [Article 11](#) of this Code and located within the Extended Preservation District.

For all such buildings the following conditions shall apply:

- (1) the provisions of Sections [316](#) through [318](#) of this Code must be met;
- (2) in addition to the conditional use criteria set out in Sections [303\(c\)\(6\)](#) and [316](#) through [316.8](#), it must be determined that allowing the use will enhance the feasibility of preserving the landmark, significant or contributory building; and
- (3) the landmark, significant or contributory building will be made to conform with the San Francisco Building Code standards for seismic loads and forces which are in effect at the time of the application for conversion of use.

A contributory building which is in a designated historic district outside the SSO District may be converted to any use which is a principal use within the SSO District provided that:

- (1) such use does not exceed an aggregate square footage of 25,000 per building; and
 - (2) prior to the issuance of any necessary permits the Zoning Administrator
 - (a) determines that allowing the use will enhance the feasibility of preserving the contributory building; and
 - (b) the contributory building will be made to conform with the San Francisco Building Code standards for seismic loads and forces which are in effect at the time of the application for conversion of use.
3. WHEREAS, City Charter 4.135 established the Historic Preservation Commission. All duties and responsibilities of the Landmarks Preservation Advisory Board (“LPAB”) are under the purview and responsibility of the Historic Preservation Commission.
4. WHEREAS, on October 2, 2013, the Department presented the proposed project to the Historic Preservation Commission. The Commission’s comments on the compliance of the proposed project with the Secretary of the Interior’s Standards for Rehabilitation and the ability of the proposed project to enhance the feasibility of the historic resource through implementation of a Historic Building Maintenance Plan (HBMP) would be forwarded to the Planning Commission for consideration under Planning Code Section 803.9(a).

THEREFORE BE IT RESOLVED that the Historic Preservation Commission has reviewed the proposed project at 665 3rd Street, on Lots 041 in Assessor’s Block 3788, and this Commission has provided the following comments:

- The Historic Building Maintenance Plan appropriately outlines a program for cyclical maintenance, repair and restoration, and proactively seeks to rectify inappropriate alterations to the subject property, thus reinforcing the building’s contribution to the surrounding landmark district.

BE IT FURTHER RESOLVED that the Historic Preservation Commission hereby directs its Recording

Resolution No. XXXX
Hearing Date: October 2, 2013

CASE NO. 2013.0226BC
665 3rd Street

Secretary to transmit this Resolution, and other pertinent materials in the Case File No. 2013.0226BC to the Planning Commission.

I hereby certify that the foregoing Resolution was ADOPTED by the Historic Preservation Commission at its regularly scheduled meeting on October 2, 2013.

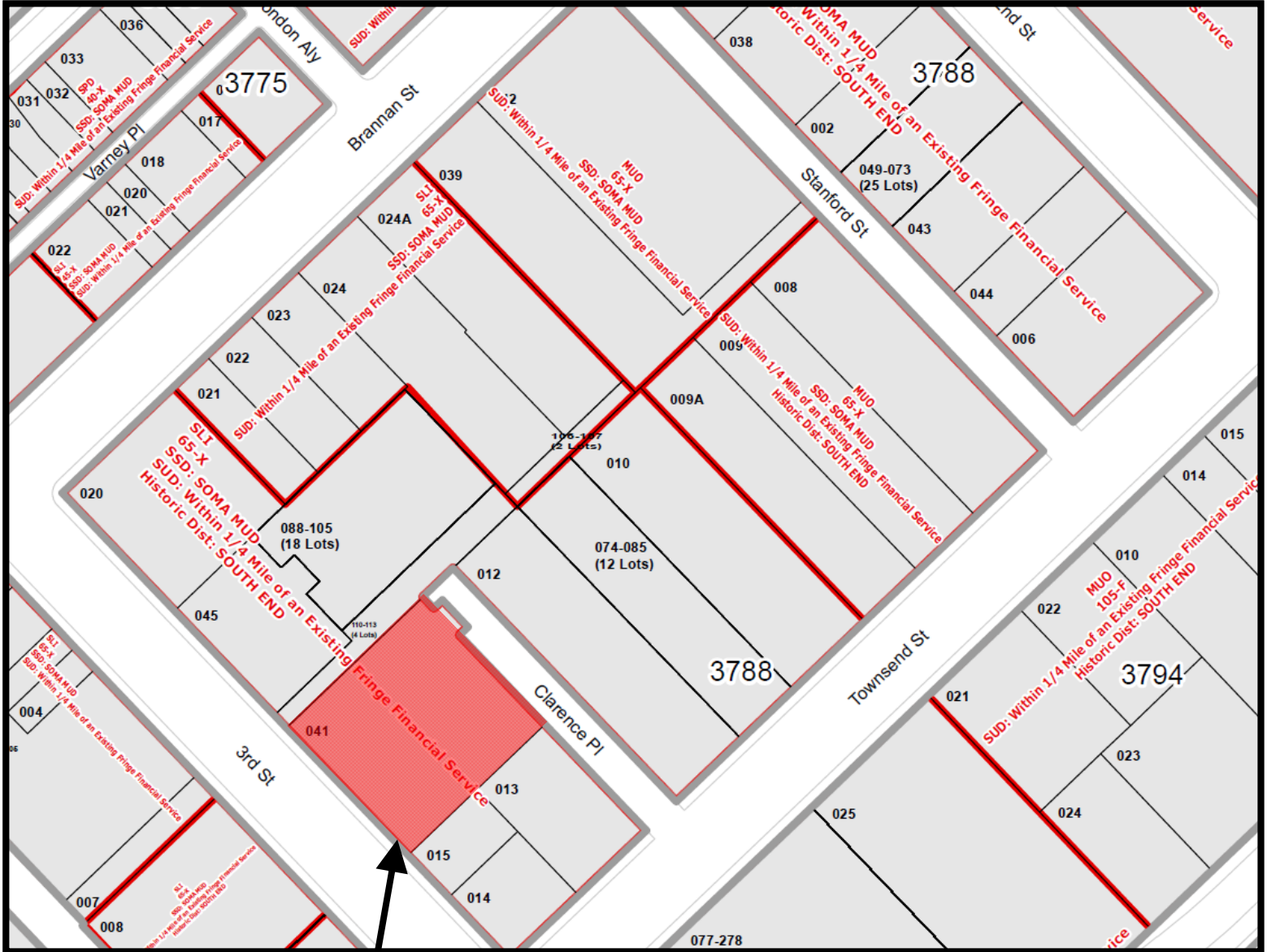
Jonas P. Ionin
Acting Commission Secretary

PRESENT:

ABSENT:

ADOPTED: October 2, 2013

Parcel Map

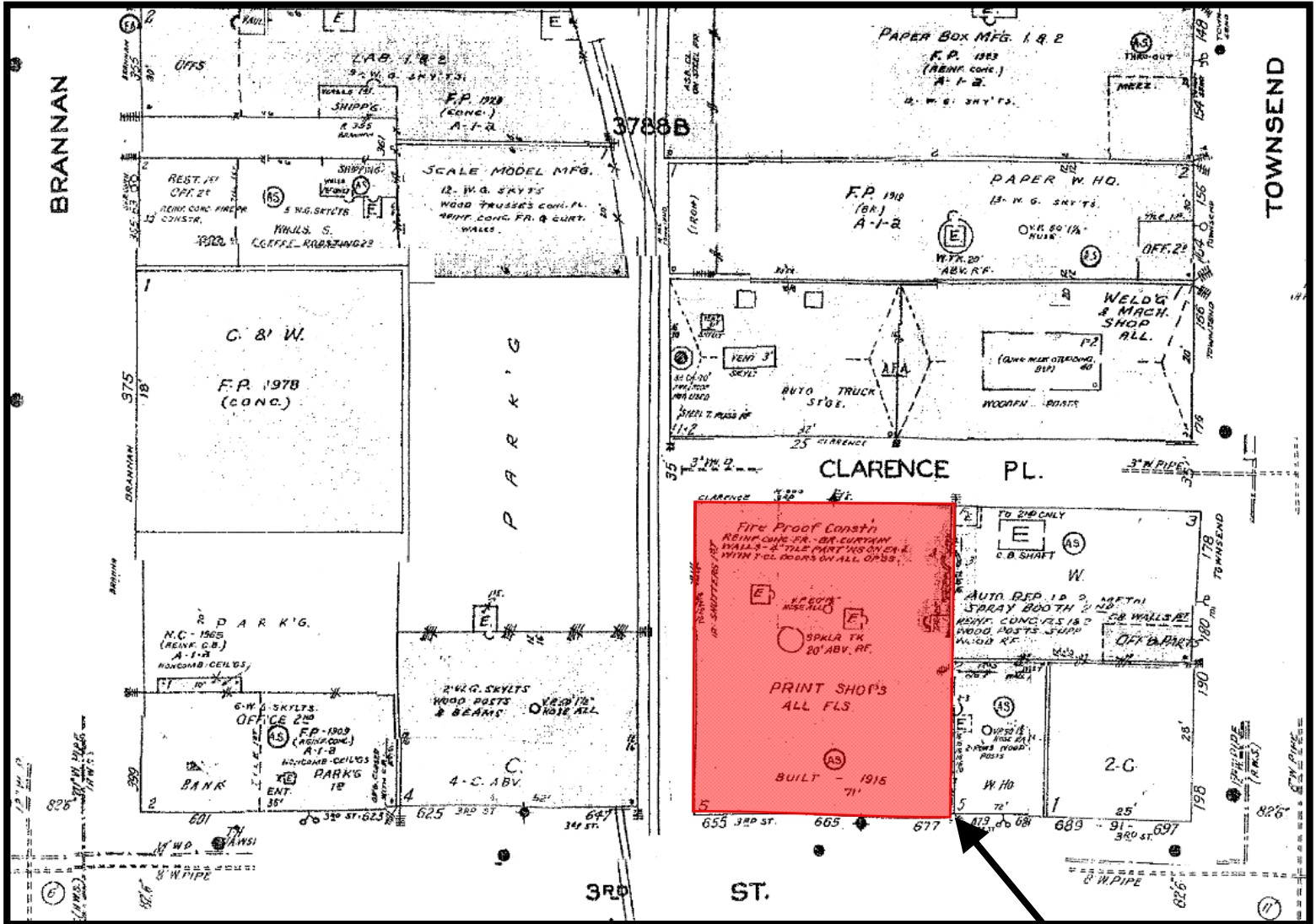


SUBJECT PROPERTY



Review and Comment
Case Number 2013.0226BC
665 3rd Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

SUBJECT PROPERTY



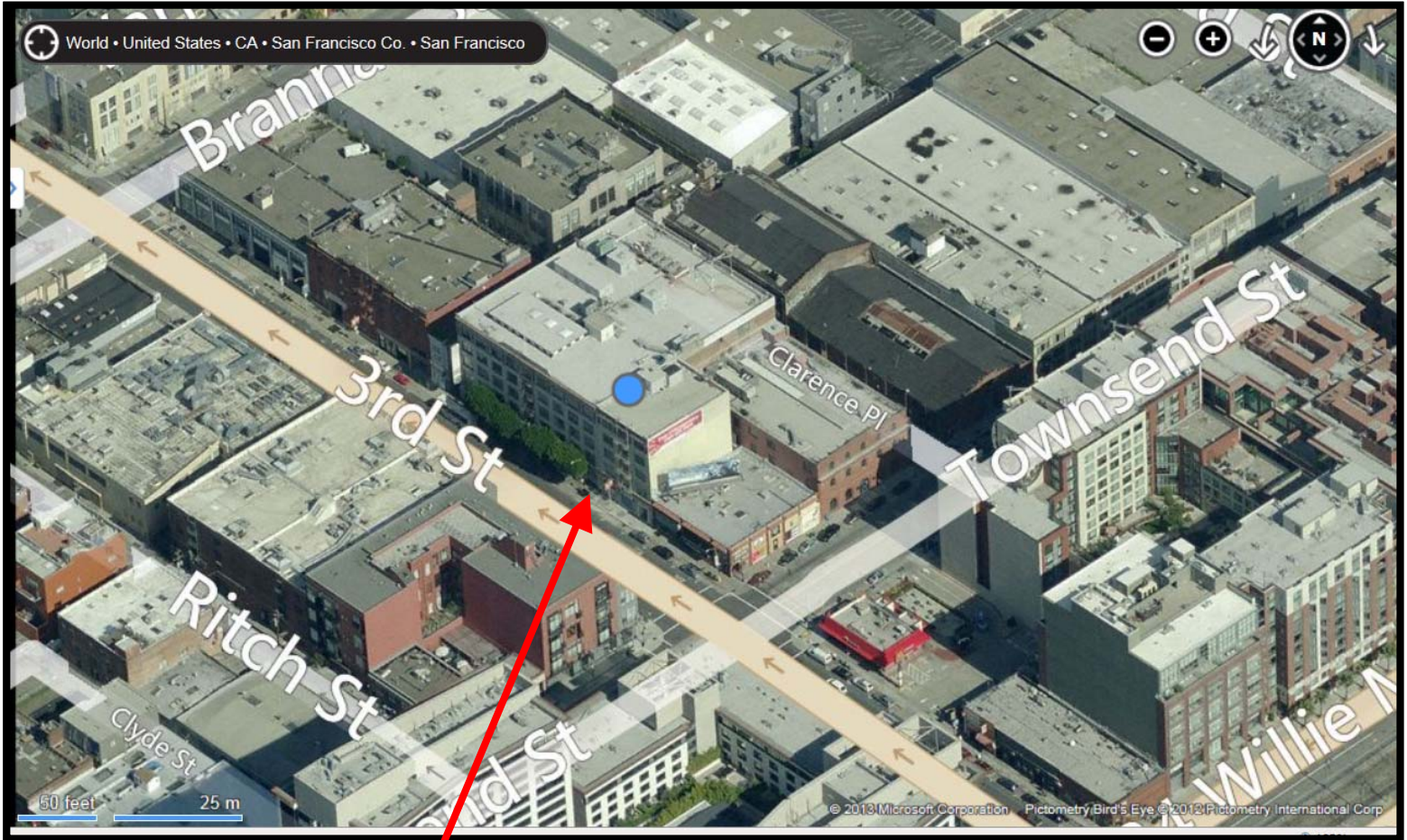
Review and Comment
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 665 3rd Street

Zoning Map



Review and Comment
Case Number 2013.0226BC
665 3rd Street

Aerial Photo



665 3rd Street

Review and Comment
Case Number 2013.0226BC
665 3rd Street



Site Photo



665 3rd Street, View along 3rd Street

Review and Comment
Case Number **2013.0226BC**
665 3rd Street

665 Third Street Historic Building Maintenance Plan

This plan provides a cycle of maintenance to be performed on the historic MJB Coffee building, which is a contributor to Article 10 South End Historic District. Annual inspections are performed to assess the needs for maintenance as well as planning for any larger capital needs. The building underwent a full seismic retrofit in 1987 so no additional seismic work is necessary.

Roof

A new roof was installed in 2004. The roof is inspected and repaired annually to preserve seals and prevent water intrusion. The roof will be replaced every 20 to 25 years, depending on the condition of the roof.

Exterior Paint

There is an annual inspection of the integrity of the paint and concrete plaster on the exterior of the building. The building was most recently painted in July and August of this year. The building will be repainted and caulked every 7 to 10 years using the historical color scheme, which will reinforce the building's relationship to the surrounding historic district. A historic paint analysis, which will include information about the building's historic color, will be performed within two years to determine the historical color scheme. Planning Department Preservation Staff will be consulted on the historical color scheme before the building is repainted next.

Exterior Signage

With the exception of the blade sign, there is no exterior signage on the building. The blade sign was installed prior to 1978, at which time it was moved from the south end of the building to the north end of the building with Planning Department approval. The blade sign, which pre-dates the South End Historic District controls, was repainted this year at a cost of approximately \$20,000. If repairs are required in the future, the project sponsor will consider removing rather than repairing the blade sign, depending on which option would be most compatible with the historic building, as determined by the Planning Department. Depending on the extent of the work, a Certificate of Appropriateness may be required should the sign be removed in the future.

No new exterior signage is proposed. The project sponsor has a policy of not allowing tenant signage on the exterior of the building.

Ground Level Exterior

Graffiti on the ground floor level is removed as necessary. A sealer is applied to the graffiti before the graffiti is painted over with paint matching the existing color of the building. No historic building materials are damaged in the process.

The contemporary window systems on the ground floor level along Third Street will be replaced within the next two years with new systems that closely match the historic windows in terms of configuration, material, and exterior profiles and dimensions. This work will be based on physical or photographic evidence,

665 Third Street Historic Building Maintenance Plan

consistent with the Secretary of the Interior's Standards. As required under Article 10 of the Planning Code, a Certificate of Appropriateness will be obtained for all exterior changes requiring a city permit.

In addition, the contemporary entry systems on the ground floor level along Third Street will be replaced within the next two years with new systems that closely match the historic entryway/doors in terms of configuration, material, and exterior profiles and dimensions, to the extent that ADA standards will still be met. This work will be based on physical or photographic evidence, consistent with the Secretary of the Interior's Standards. As required under Article 10 of the Planning Code, a Certificate of Appropriateness will be obtained for all exterior changes requiring a city permit.

Windows, Floors 2 through 5

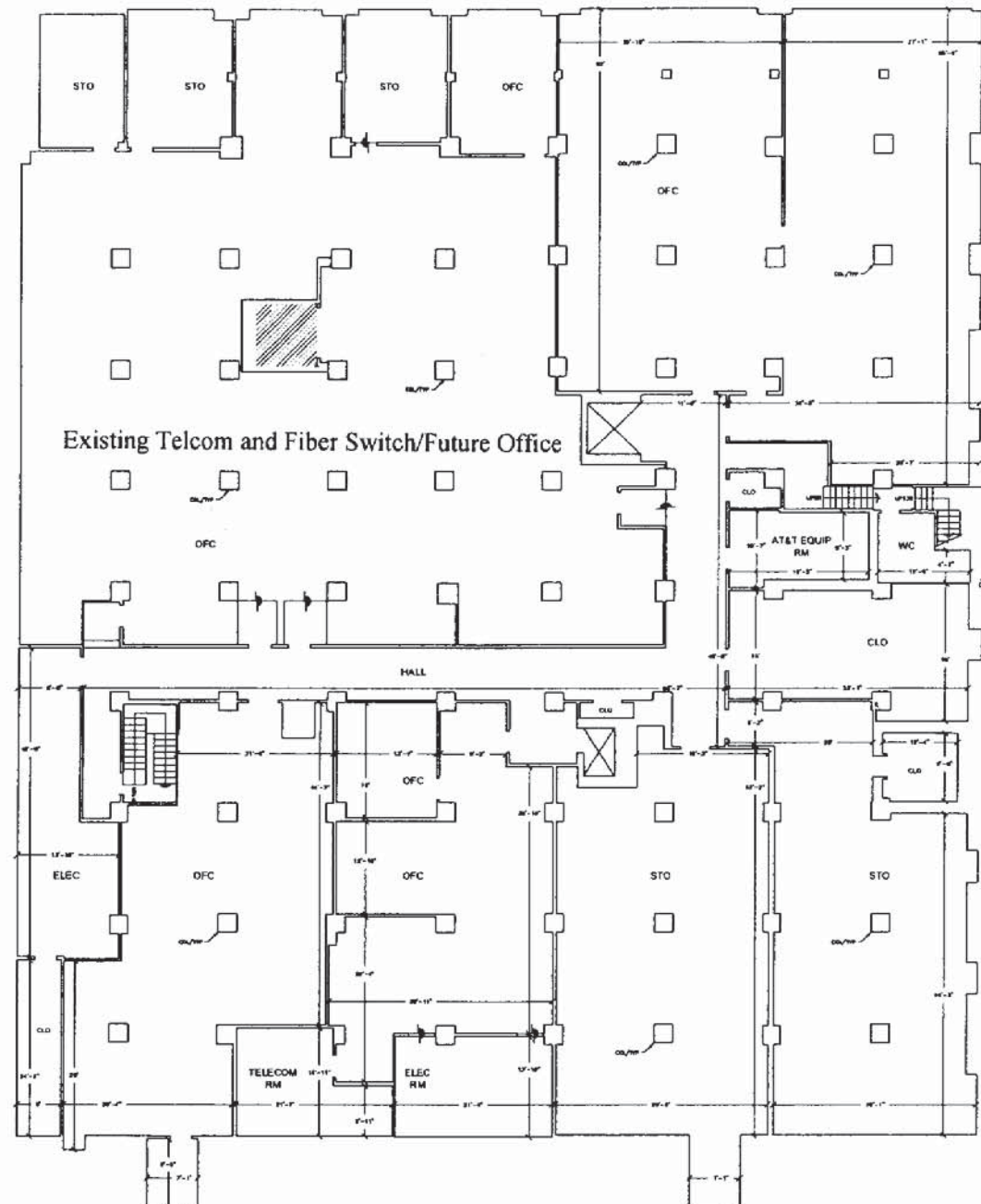
Windows are inspected annually. The annual inspection and repair includes rust abatement, caulking and repair of functional issues. Multi-lite steel sash windows are repaired as necessary to extend the life of the window system as long as possible. If the multi-lite steel sash cannot be repaired and replacement is necessary, new metal sash windows will be installed that match the muntin pattern, sash profile, and divided lite counts on the existing multi-lite steel sash windows. See above regarding contemporary window systems on the ground floor level.

Basement Level

Inspections are done annually at the basement level to look for evidence of water intrusion on the west side of the building along Third Street, on the east side of the building along Clarence Place, and the north side of the building in the alley between Clarence Place and Third Street. In the event of water intrusion the source is located and sealed.

Historic Documentation and Display

Within the next six months, a qualified historian or architectural historian will be retained to assemble historical background information relevant to the building and its setting. The historical background information, including photographs of the historic MJB Coffee building, will be displayed in the building lobby within six months thereafter to assist in educating tenants and visitors about the history of the MJB Coffee building and the South End Historic District.



1 EXISTING BASEMENT LEVEL FLOOR PLAN
ALL DIMENSIONS MEASURED TO EXTERIOR WALL PLANE

THIS IS A BASIC FLOOR PLAN. NUMBER OF SHEETS IS 2.000.
 UNLESS OTHERWISE NOTED.

665 3RD STREET
 SAN FRANCISCO, CA 94107

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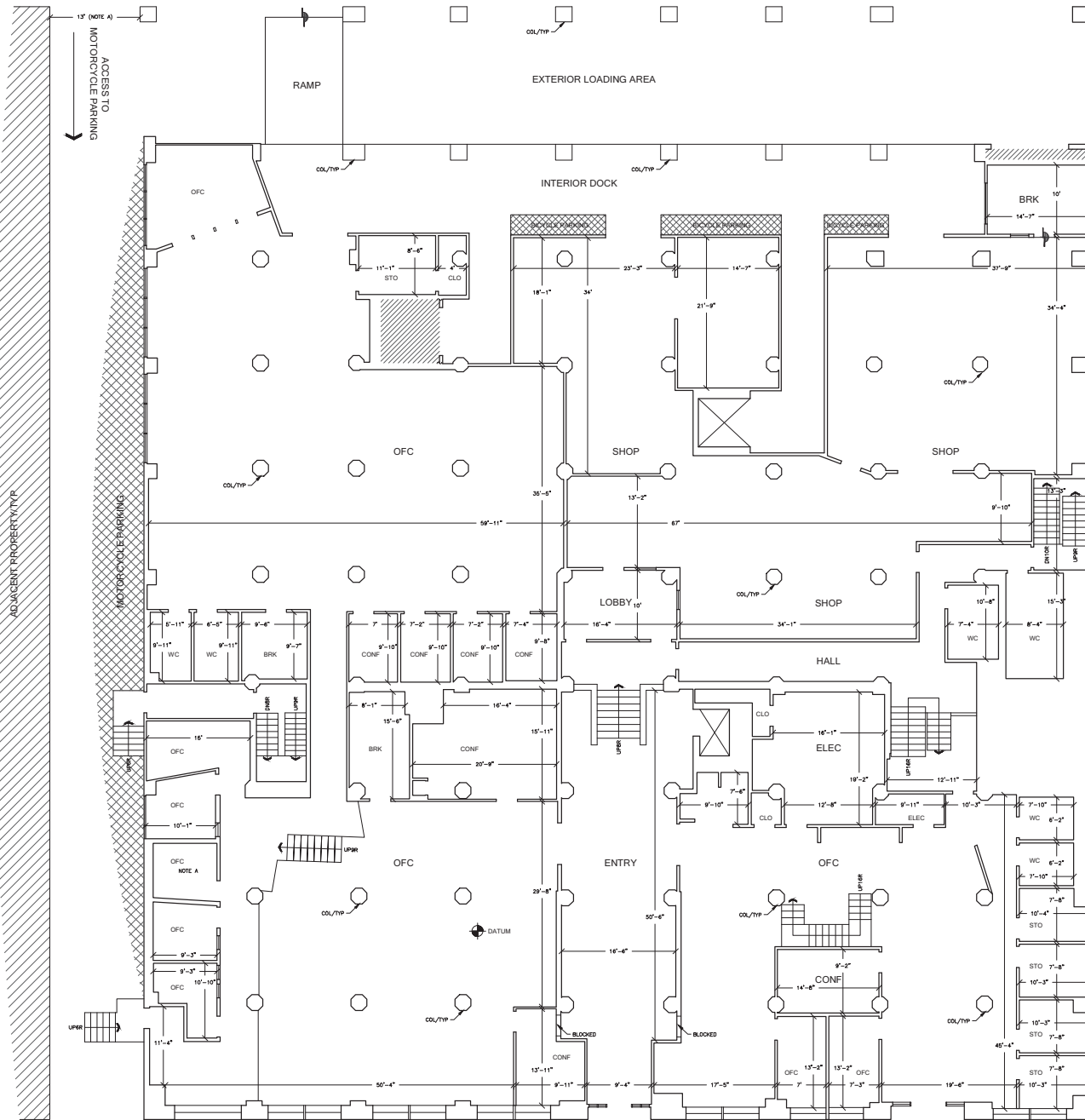
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EXISTING BASEMENT LEVEL FLOOR PLAN

NO. 1	SCALE: 1/8" = 1'-0"	A-101
DESIGNED BY: GM	DRAWN BY: JAV	

1 OF 2

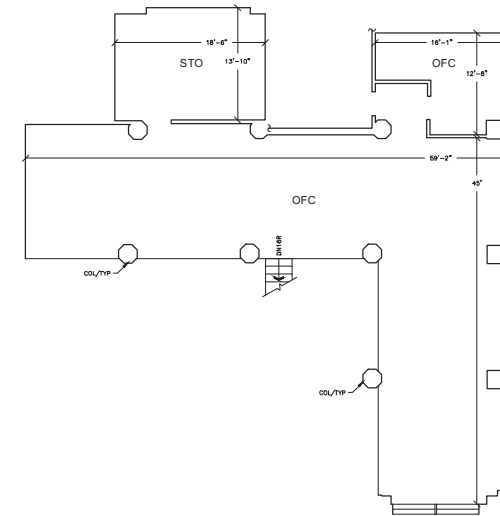
CLARENCE PLACE



1 EXISTING ENTRY LEVEL FLOOR PLAN
17,213 SQFT MEASURED TO EXTERIOR WALL PLANE
4,523 SQFT MEASURED EXTERIOR SURFACES



THIRD STREET



1 EXISTING ENTRY LEVEL LOFT FLOOR PLAN
1,884 SQFT MEASURED TO EXTERIOR WALL PLANE

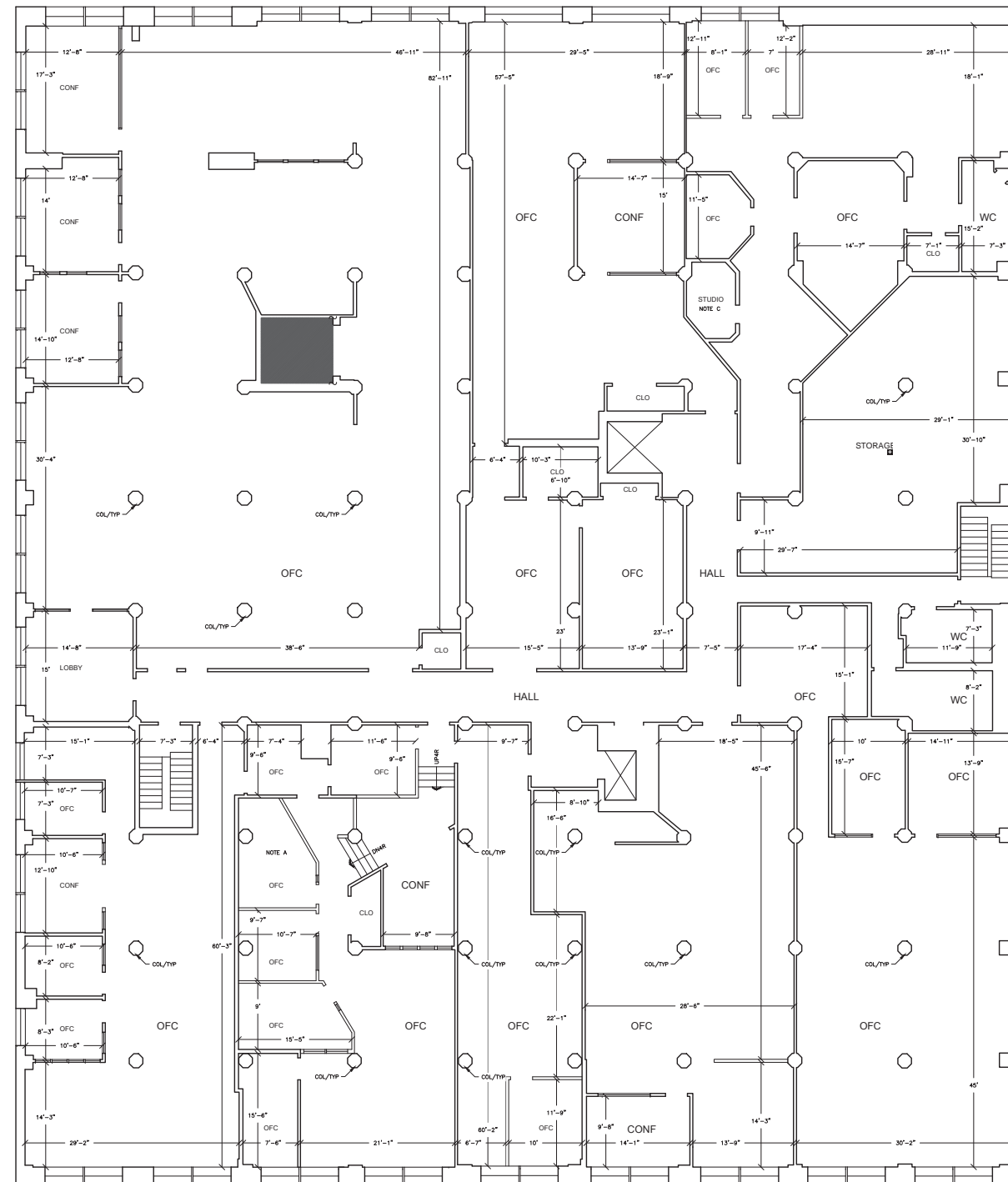


NOTE A: THIS ELEMENT NOT MEASURED. ILLUSTRATORS RENDERING.

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NOTE A: MEASUREMENT TAKEN FROM LS SURVEY. NOT MEASURED OR VERIFIED BY ASBUILT SERVICES.

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<small>FOR THE RECORD SINCE 1998</small> 1-800-318-0099 WWW.ASBUILTSERVICES.COM	
EXISTING ENTRY LEVEL FLOOR PLAN	
REF: 665r_SF REV: 1 DRAWN BY: GN AUDITED BY: GN	SHEET SIZE: 36x42 SCALE: 1/8"=1'-0" FIELD SURVEY 05/21/2013-05/26/2013
A-102 <small>2 OF 6</small>	



1 EXISTING SECOND LEVEL FLOOR PLAN
 22,025 SQFT MEASURED TO EXTERIOR WALL PLANE

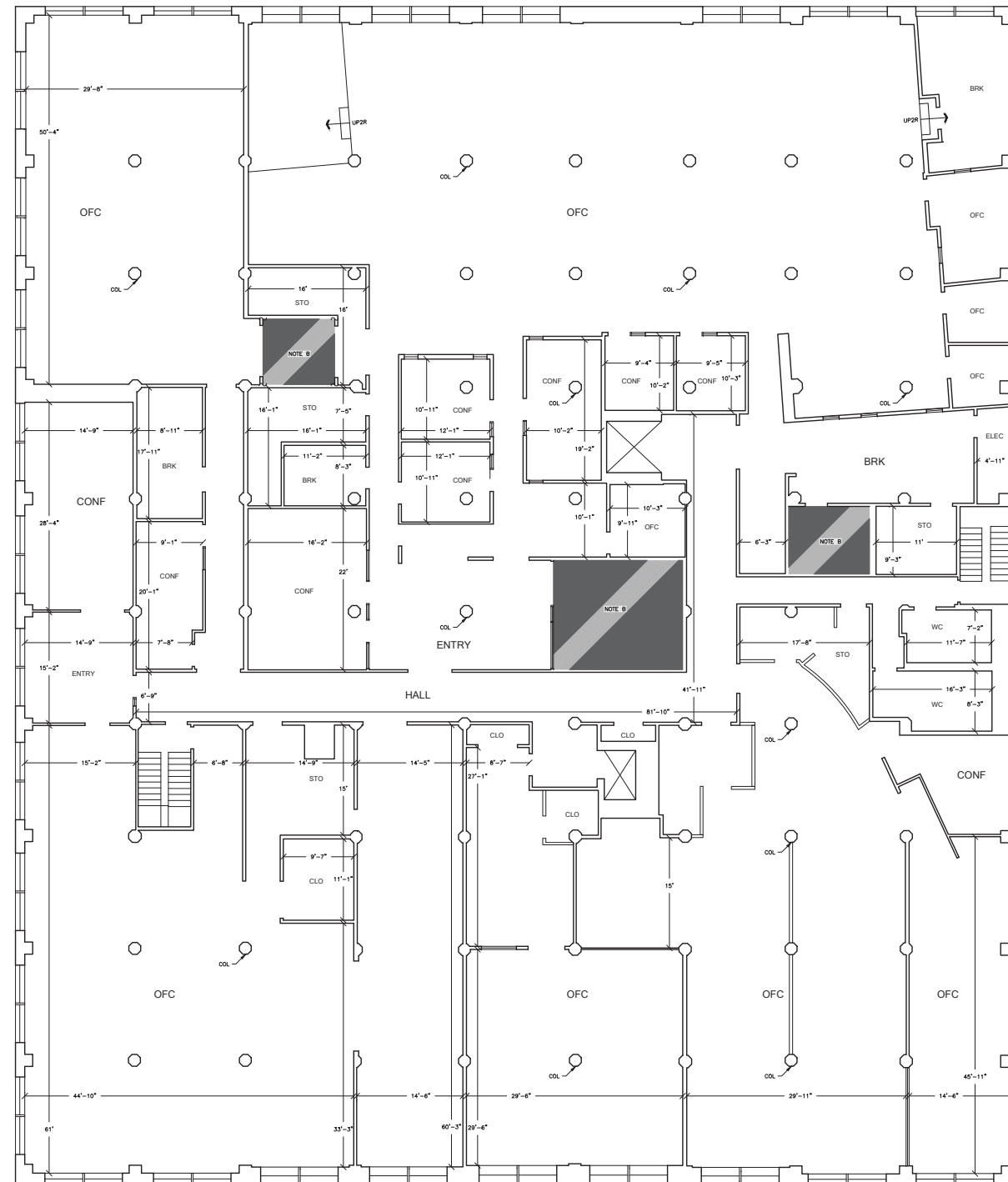
NOTE A
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NOTE C
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 FOR THE RECORD SINCE 1990 1-800-318-0099 WWW.ASBUILTSERVICES.COM	
EXISTING SECOND LEVEL FLOOR PLAN	
<small>REF: 665_SF REV: 0 DRAWN BY: GN AUDITED BY: CB</small>	<small>SHEET SIZE: 30x42 SCALE: 1/8"=1'-0" FIELD SURVEY 12/06/2012-01/04/2012</small>
AX-103	
3 OF 6	

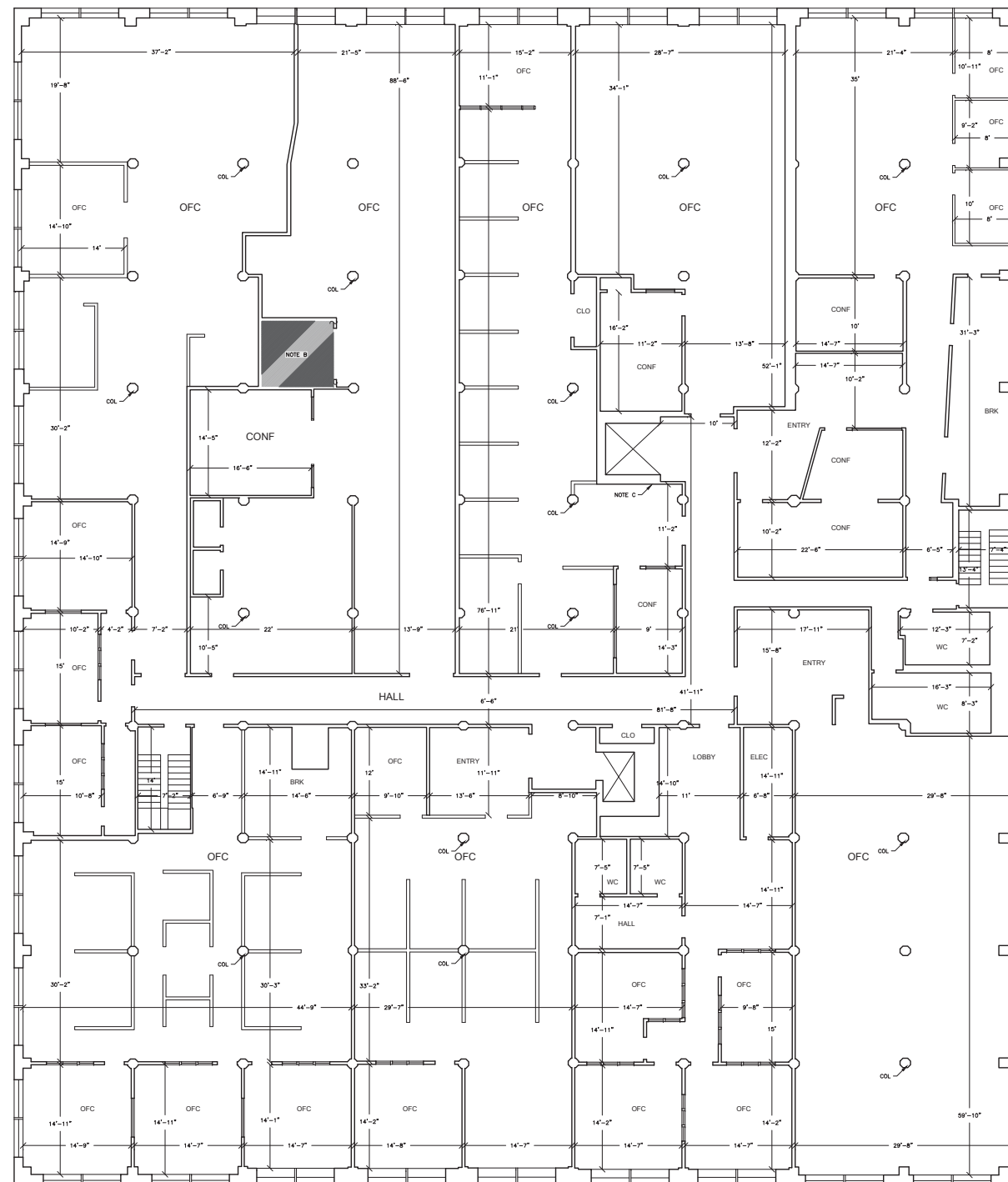


- NOTE A:
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- NOTE B:
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- NOTE C:
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1 EXISTING THIRD LEVEL FLOOR PLAN
22,025 SQFT MEASURED TO EXTERIOR WALL PLANE



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EXISTING THIRD LEVEL FLOOR PLAN	
REF: 665_SF REV: 0 DRAWN BY: GN AUDITED BY: CB	SHEET SIZE: 30x42 SCALE: 1/8"=1'-0" FIELD SURVEY 12/06/2012-01/04/2012
AX-104	
4 OF 6	



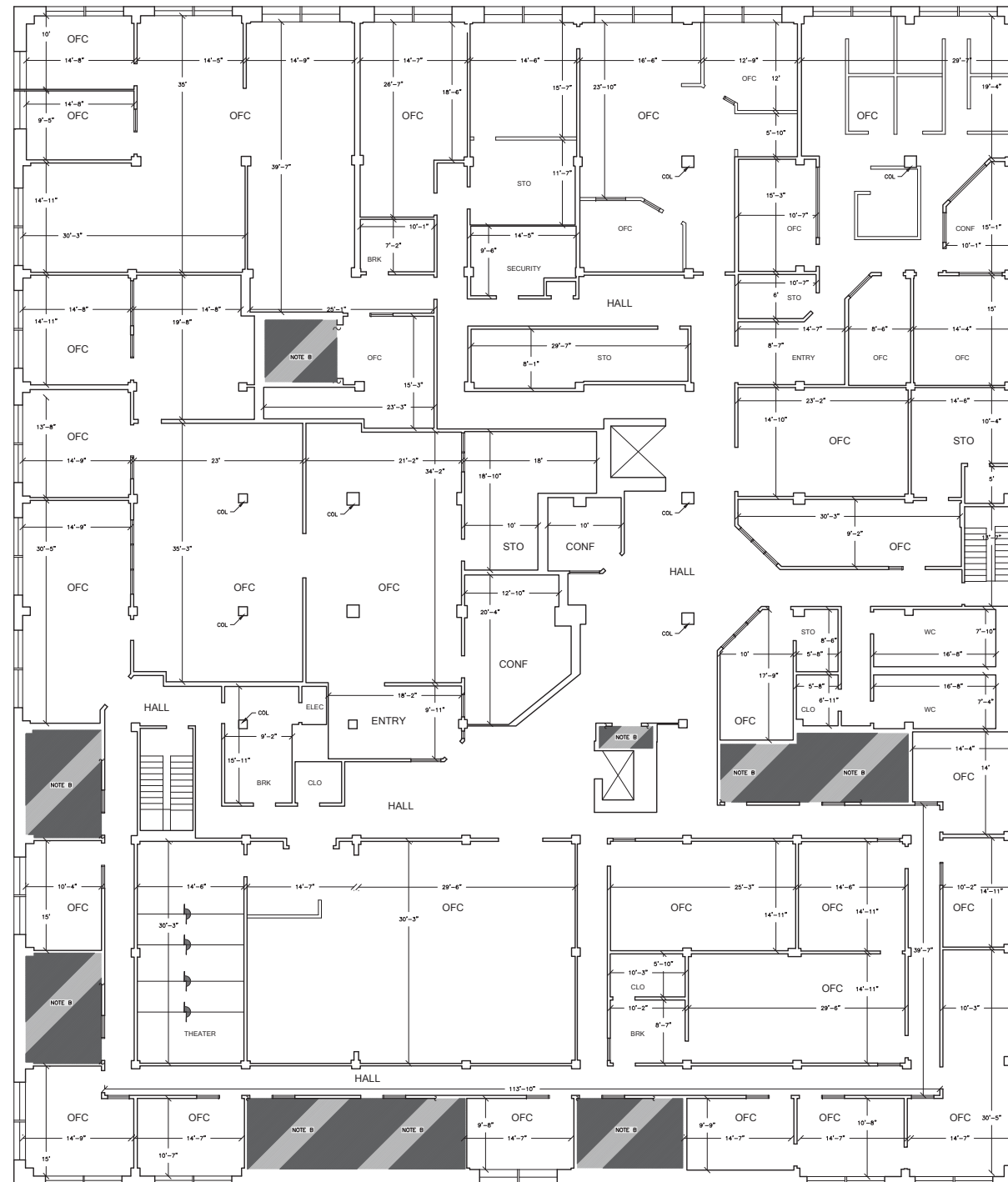
1 EXISTING FOURTH LEVEL FLOOR PLAN
 22,925 SQFT MEASURED TO EXTERIOR WALL PLANE

NOTE B:
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EXISTING FOURTH LEVEL FLOOR PLAN	
<small>REF: 665_SF REV: 0 DRAWN BY: GN AUDITED BY: CB</small>	<small>SHEET SIZE: 30x42 SCALE: 1/8"=1'-0" FIELD SURVEY 12/06/2012-01/04/2012</small>
AX-104 <small>5 OF 6</small>	



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1 EXISTING FIFTH LEVEL FLOOR PLAN
22.025 SOFT MEASURED TO EXTERIOR WALL PLANE

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EXISTING FIFTH LEVEL FLOOR PLAN	
<small>REF: 665_SF REV: 0 DRAWN BY: GN AUDITED BY: CB</small>	<small>SHEET SIZE: 30x42 SCALE: 1/8"=1'-0" FIELD SURVEY 12/06/2012-01/04/2012</small>
AX-104 <small>6 OF 6</small>	

EXTERIOR BUILDING MAINTENANCE PLAN

WINDOWS

Replace glass panes as required - inspect and maintain window sash

BUILDING EXTERIOR

Inspect the concrete plaster annually - paint and caulk every 7 to 10 years

BUILDING - GROUND LEVEL

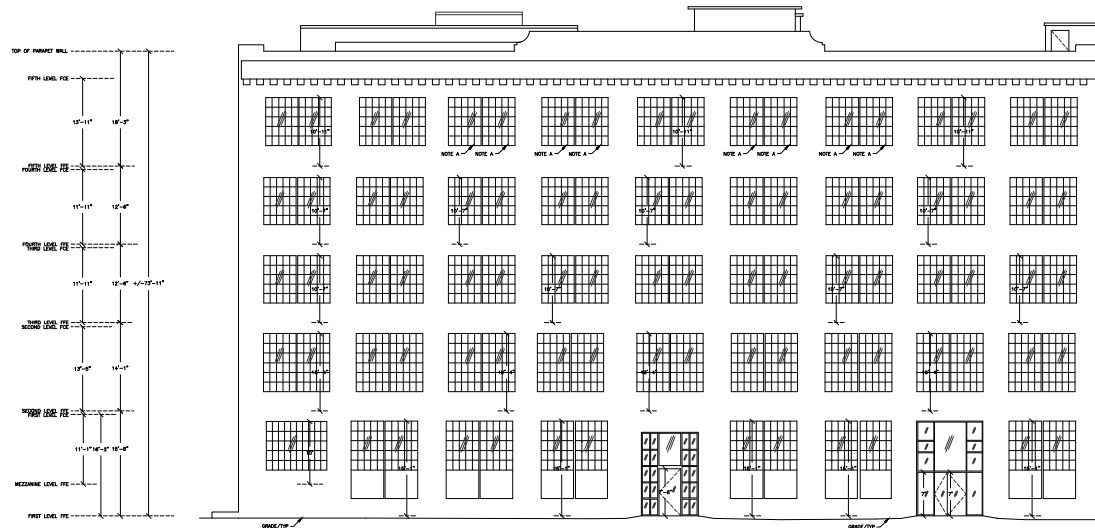
Remove graffiti and repair vandalism as required

EXTERIOR LEDGES

Inspect & repair as required

ROOF

Inspect & Repair annually to preserve seals & prevent water intrusion



1 EXISTING EAST ELEVATION

THESE ARE BASIC ELEVATIONS.
NO BUILDING ORNAMENTATION SHOWN.

NOTE A:
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665 3RD STREET
SAN FRANCISCO, CA 94107

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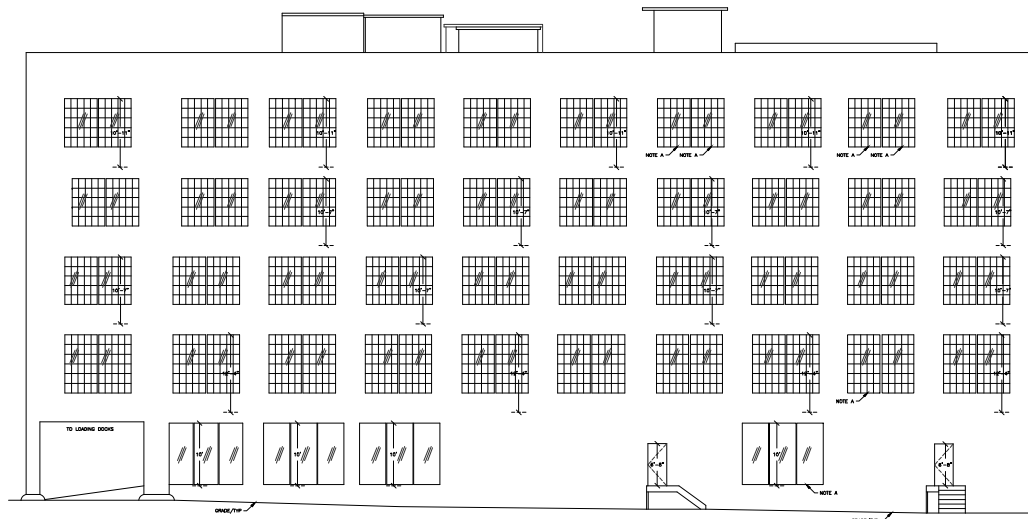


EXISTING EAST ELEVATION

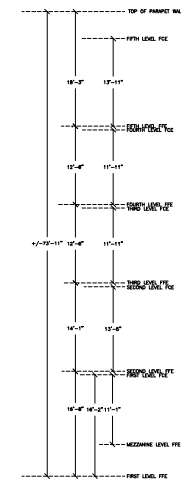
REF: 609L_SF
REV: 1
DRAWN BY: GN
CHECKED BY: GN

SHEET SIZE: 30x42
SCALE: 1/8"=1'-0"
FIELD SURVEY
DATE: 07/15/2023

A-201
TOP



1 EXISTING SOUTH ELEVATION



THESE ARE BASIC ELEVATIONS.
NO BUILDING ORNAMENTATION SHOWN.

NOTE A
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EXISTING SOUTH ELEVATION	
<small>REF: 609_SF REV: 1 DRAWN BY: GN CHECKED BY: GN</small>	<small>SHEET SIZE: 30x42 SCALE: 1/8"=1'-0" FIELD SURVEY 2023-07-13/20230813</small>
A-202 <small>1 OF 2</small>	

