



# SAN FRANCISCO PLANNING DEPARTMENT

---

## Certificate of Appropriateness Case Report

HEARING DATE: MARCH 6, 2013

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Filing Date:* December 11, 2012  
*Case No.:* **2012.1506A**  
*Project Address:* **710 Steiner Street**  
*Landmark District:* Alamo Square  
*Zoning:* RH-2 (Residential, House, Two-Family)  
40-X Height and Bulk District  
*Block/Lot:* 0803/017  
*Applicant:* Reba Jones, Butler Armsden Architects  
2849 California Street  
San Francisco, CA 94115  
*Staff Contact* Shelley Caltagirone - (415) 558-6625  
shelley.caltagirone@sfgov.org  
*Reviewed By* Tim Frye – (415) 575-6822  
tim.frye@sfgov.org

### PROPERTY DESCRIPTION

**710 STEINER STREET**, east side between Grove and Hayes Streets. Assessor's Block 0803, Lot 017. The subject lot is approximately 23 feet wide and 85 feet deep with a single-family, two-story-over-basement-with-attic residence. The subject property is a "altered contributor" to the Alamo Square Landmark District, designated in 1984. The building at 710 Steiner Street was constructed in 1894 in the Queen Anne style by builder Matthew Kavanagh. The property is zoned RH-2 (Residential, House, Two-Family) District and is in a 40-X Height and Bulk District.

The Alamo Square Landmark District contains buildings in a variety of architectural styles, approximately half of which are Victorian and one-third of which are Edwardian. The typical building height is two to three stories; however, the district contains a number of apartment buildings reaching up to 6 stories in height that are also included as contributing buildings. The Alamo Square Landmark District designation report describes the area as "unified in its residential character, relatively small scale, construction type, materials (principally wood), intense ornamentation (especially at entry and cornice), and use of basements and retaining walls to adjust for hillside sites." Historically, the Alamo Square neighborhood was first established as an enclave for primarily upper-middle class residents, often business men and their families. As a result, the area contains a higher than average percentage of architect-designed homes. Later, from about 1912 to 1934, new construction in the neighborhood consisted primarily of apartment blocks, usually replacing earlier large dwellings. During the latter half of the period of significance, the district increased in density and attracted a growing number of renters. Physical development of the area essentially ended with the Great Depression.

## PROJECT DESCRIPTION

The proposal includes five project components: (1) recreating the missing trellis ornament and porch details at the main entry based upon historic photographs; (2) filling in a lightwell on the north side of the building at all four levels; (3) constructing minor horizontal additions and altering window openings at the rear façade; (4) modifying the attic level rear balcony; and, (5) installing ventilation equipment and replacing a skylight at the roof. The expanded portions of the building will not be visible from the public right-of-way.

## OTHER ACTIONS REQUIRED

A Rear Yard Variance would have to be granted in order to construct the proposed rear horizontal addition as they would extend into the required rear yard setback area.

## COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all provisions of the Planning Code with the exception of Section 134, which controls development in the rear yard setback area as noted above.

## APPLICABLE PRESERVATION STANDARDS

### ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

### ARTICLE 10 – Appendix E – The Alamo Square Historic District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Alamo Square Historic District as described in Appendix E of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

## THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

**Standard 1.** A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

*The project would retain the single-family residential use on the lot while slightly expanding the basement and upper floor levels at the rear of the building to support the contemporary use of the building. The horizontal additions will be attached at the side and rear of the building at a secondary façade that is not visible from the public right-of-way. For these reasons, the project will cause minimal or no change to the distinctive materials, features, spaces, and spatial relationships of the property.*

- Standard 2.** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*All aspects of the historic character of the existing building would be retained and preserved. No distinctive materials, architectural elements, or spaces that characterize the property would be removed. The project would restore the missing trellis ornament and porch details at the main entry based upon historic photographs, recreating a character-defining feature of the building. The portion of the building walls to be removed at the northern lightwell and rear facade are not character-defining features of the district. The ventilation equipment and skylights at the roof would not alter the roof form and would not be visible from the street. The project would not harm the design integrity of the historic building.*

- Standard 3.** Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

*The proposed trellis ornament and porch details at the main entry will be designed based upon historic photographs and any evidence left in the building structure so that they will be accurate depictions of the original forms. Therefore, the work will not create a false sense of historical development.*

- Standard 5.** Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

*No distinctive materials, features, finishes, construction techniques or examples of craftsmanship would be affected by the proposed project. The wall and roofing sections to be removed are composed of common materials and their removal will not affect the character of the building or district.*

- Standard 9.** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*The proposed rear and side additions will not destroy historic materials, features, or spatial relationships that characterized the property. They will only affect materials at the utilitarian and*

*secondary rear façade, which is not viewed from the public right-of-way. The additions will cause the removal of less than 25% of the building's exterior walls (approximately 22.5% removal). Likewise, the ventilation equipment and skylights at the roof would not alter the roof form and would not be visible from the street. For these reasons, the work will retain the integrity of both the historic house and the district.*

**Standard 10.** New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*Both the proposed additions and alterations could be removed in the future without harming the integrity of the historic building.*

## **PUBLIC/NEIGHBORHOOD INPUT**

The Department has received no public input on the project at the date of this report.

## **STAFF ANALYSIS**

Based on the requirements of Article 10 and the Secretary of Interior's Standards, staff has determined that the proposed work is compatible with the character-defining features of the subject building and with the Webster Street Landmark District. The project would retain the historic single-family residential use on the lot while allowing for the contemporary use of the building. The horizontal additions will be attached at the side and rear of the building at a secondary façade that is not visible from the public right-of-way. The additions will cause the removal of less than 25% of the building's exterior walls (approximately 22.5% removal). The project would restore the missing trellis ornament and porch details at the main entry based upon historic photographs, recreating a character-defining feature of the building. The portion of the building walls to be removed at the northern lightwell and rear facade are not character-defining features of the district. The ventilation equipment and skylights at the roof would not alter the roof form and would not be visible from the street. Overall, the project would not harm the design integrity of the historic building.

## **ENVIRONMENTAL REVIEW STATUS**

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One - Minor Alteration of Existing Structure) because the project includes a minor alteration of an existing structure that meets the *Secretary of the Interior's Standards*.

## **PLANNING DEPARTMENT RECOMMENDATION**

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation. Staff recommends the following conditions:

- That the building permit application plan set include detailed shop drawings of the proposed

trellis ornament and porch details to be reviewed and approved by Planning Department preservation staff.

- That, if the Zoning Administrator requires modifications to the proposed building massing in the Variance approval, the revisions may be reviewed and approved by Planning Department preservation staff as long as they do not result in increased size or demolition or incompatible placement of the additions.

## ATTACHMENTS

Draft Motion

Parcel Map

1998 Sanborn Map

Aerial Photograph

Project Sponsor Packet including Photographs and Plans

*SC: G:\DOCUMENTS\Cases\COFA\Case Reports\710 Steiner\_Case Report\_3.6.13.doc*



# SAN FRANCISCO PLANNING DEPARTMENT

---

## Historic Preservation Commission

### Motion No. #####

HEARING DATE: MARCH 6, 2013

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Filing Date:* December 11, 2012  
*Case No.:* **2012.1506A**  
*Project Address:* **710 Steiner Street**  
*Landmark District:* Alamo Square  
*Zoning:* RH-2 (Residential, House, Two-Family)  
40-X Height and Bulk District  
*Block/Lot:* 0803/017  
*Applicant:* Reba Jones, Butler Armsden Architects  
2849 California Street  
San Francisco, CA 94115  
*Staff Contact* Shelley Caltagirone - (415) 558-6625  
shelley.caltagirone@sfgov.org  
*Reviewed By* Tim Frye – (415) 575-6822  
tim.frye@sfgov.org

**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 017 IN ASSESSOR'S BLOCK 0803, WITHIN AN RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

WHEREAS, on October 23, 2012, Butler Armsden Architects, (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness (1) recreating the missing trellis ornament and porch details at the main entry based upon historic photographs; (2) filling in a lightwell on the north side of the building at all four levels; (3) constructing minor horizontal additions and altering window openings at the rear façade; (4) modifying the attic level rear balcony; and, (5) installing ventilation equipment and replacing a skylight at the roof.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on March 6, 2013, the Commission conducted a duly noticed public hearing on the current project, Case No. 2012.1506A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case No. 2012. 1506A based on the following conditions and findings:

### **CONDITIONS OF APPROVAL**

- That the building permit application plan set include detailed shop drawings of the proposed trellis ornament and porch details to be reviewed and approved by Planning Department preservation staff.
- That, if the Zoning Administrator requires modifications to the proposed building massing in the Variance approval, the revisions may be reviewed and approved by Planning Department preservation staff as long as they do not result in increased size or demolition or incompatible placement of the additions.

### **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of 710 Steiner Street and the Alamo Square Landmark District as described in Article 10 of the Planning Code.

- That the project would retain the historic single-family residential use on the lot while allowing for the contemporary use of the building.
- That the horizontal additions will be attached at the side and rear of the building at a secondary façade that is not visible from the public right-of-way.
- That the additions will cause the removal of less than 25% of the building's exterior walls (approximately 22.5% removal).
- That the project would restore the missing trellis ornament and porch details at the main entry based upon historic photographs, recreating a character-defining feature of the building.
- That the portion of the building walls to be removed at the northern lightwell and rear facade are not character-defining features of the district.

- That the ventilation equipment and skylights at the roof would not alter the roof form and would not be visible from the street.
- That, overall, the project would not harm the design integrity of the historic building.
- The proposed project meets the requirements of Article 10, Appendix E of the Planning Code.
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

*Standard 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

*Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

*Standard 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

*Standard 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

*Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

*Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*



OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

POLICY 2.5

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

POLICY 2.7

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.*

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project is for the rehabilitation of a residential property and will not have any impact on neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not reduce the affordable housing supply as the existing unit will be retained.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed will not have any impact on industrial and service sector jobs.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for the parks and open space.*

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 017 in Assessor's Block 0803 for proposed work in conformance with the renderings and architectural plans labeled Exhibit A on file in the docket for Case No. 2012.1506A.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on March 6, 2013.

Jonas P. Ionin  
Acting Commission Secretary

AYES:

NAYS:

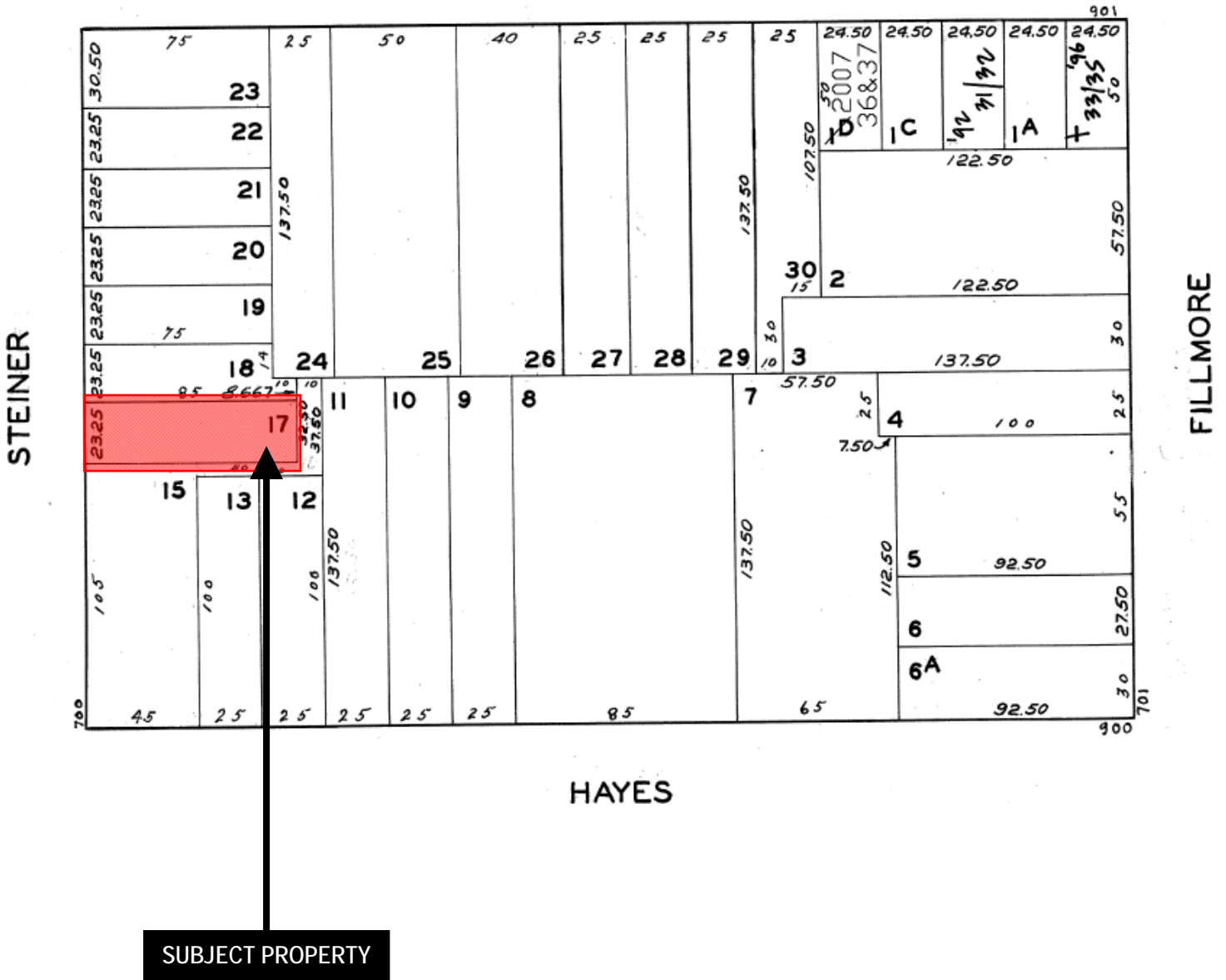
ABSENT:

ADOPTED:

# Parcel Map

GROVE

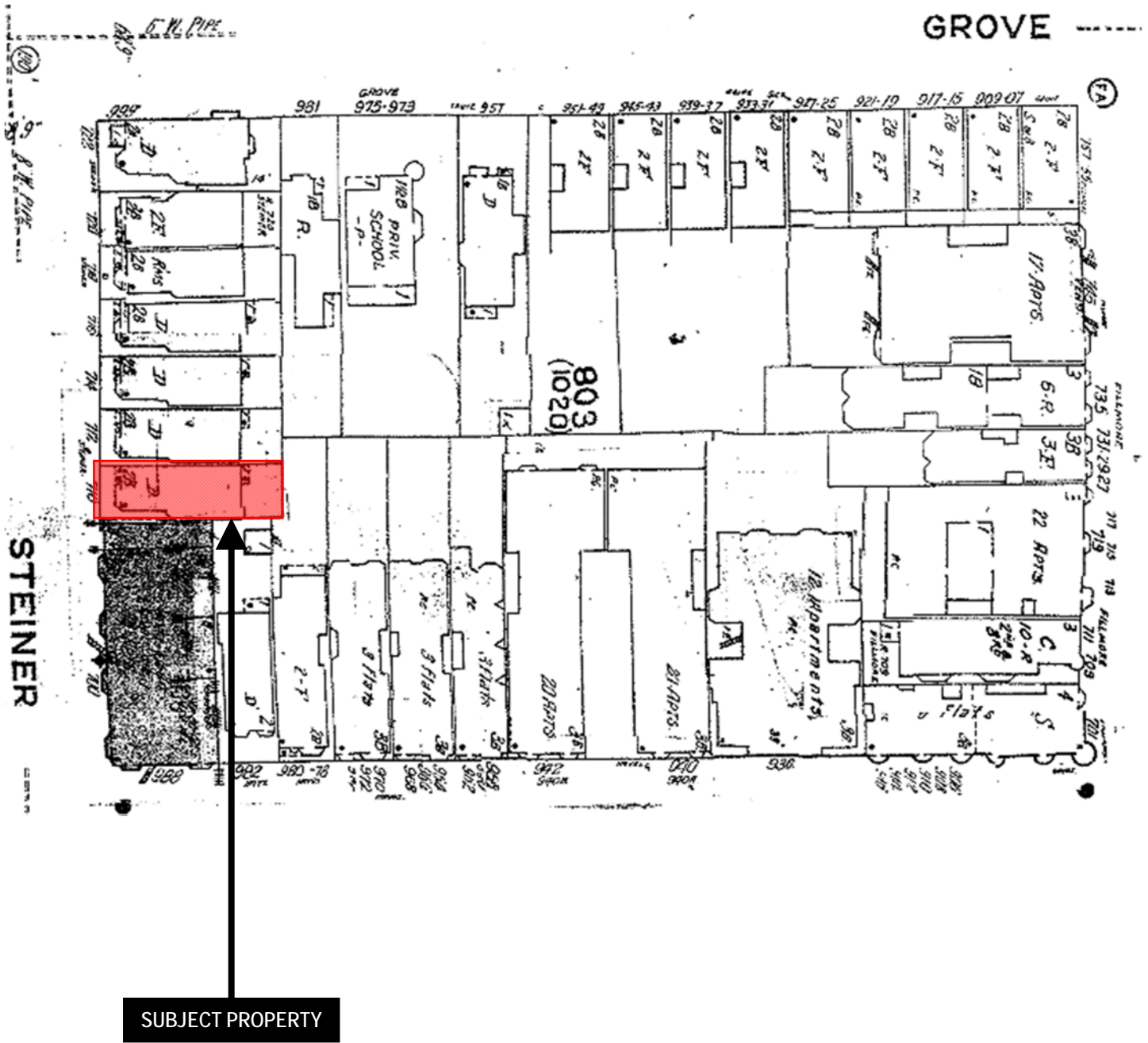
S



Certificate of Appropriateness  
 Case Number 2012.1506A  
 710 Steiner Street  
 Alamo Square Landmark District



# Sanborn Map\*

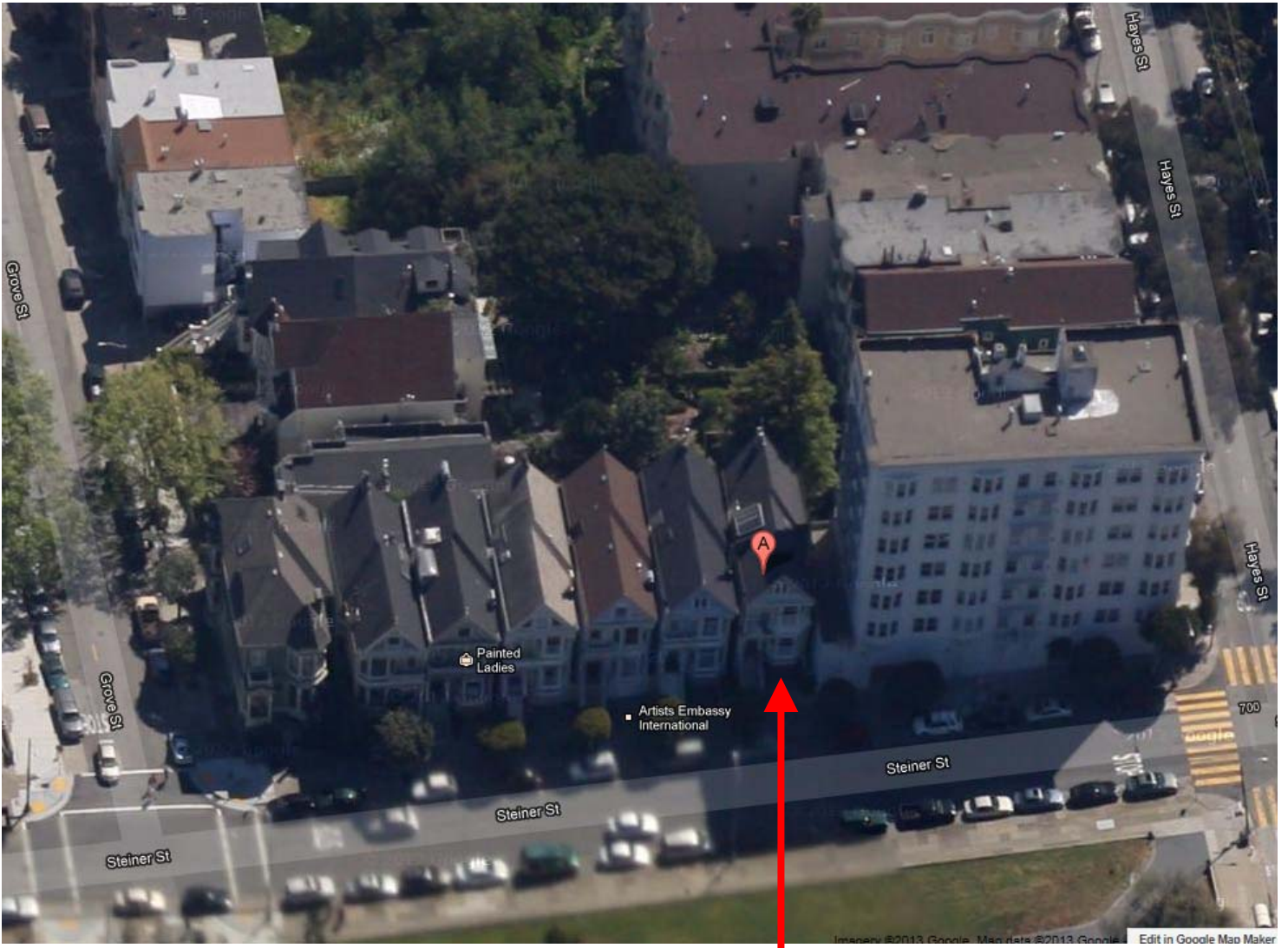


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness  
Case Number 2012.1506A  
710 Steiner Street  
Alamo Square Landmark District

# Aerial Photo



**SUBJECT PROPERTY**



Certificate of Appropriateness  
Case Number 2012.1506A  
710 Steiner Street  
Alamo Square Landmark District



ABBREVIATIONS	
&	AND
∠	ANGLE
@	AT
C	CENTERLINE
∅	DIAMETER
#	NUMBER
(D)	DEMOLISH
(E)	EXISTING
(N)	NEW
(R)	REMOVE
AB	ANCHOR BOLT
ABV	ABOVE
ADJ	ADJACENT
A.F.F.	ABOVE FINISHED FLOOR
AGGR.	AGGREGATE
ALN	ALIGN
APPROX.	APPROXIMATE
ARCH	ARCHITECTURAL
AV	AUDIO VISUAL
BD	BOARD
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
B.O.	BOTTOM OF
BLR	BUILT UP ROOFING
B/W	BETWEEN
CAB	CABINET
CEM	CEMENT
CER	CERAMIC
CLG	CEILING
CLKG	CAULKING
CLR	CLEAR
C.M.U.	CONC. MASONRY UNIT
C.O.	CENTER OF
COL	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
DBL	DOUBLE
DTL	DETAIL
DIA	DIAMETER
DIM.	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DWG.	DRAWING
DWR.	DRAWER
E	EAST
EA	EACH
ELEC	ELECTRICAL
ELEV	ELEVATION
ENCL	ENCLOSURE
EQ	EQUAL
EQUIP.	EQUIPMENT
EXT.	EXTERIOR
FD	FLOOR DRAIN
FF. & E	FURNITURE FIXTURES & EQUIP.
F.F.	FINISH FLOOR
FIN	FINISH
FLR	FLOOR
FLUOR.	FLUORESCENT
FIXT.	FIXTURE
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
FNDN.	FOUNDATION
FT.	FOOT OR FEET
FTG.	FOOTING
FURR	FURRING
GALV.	GALVANIZED
GA	GAGE
G.F.I.C.	GROUND FAULT INTERCEPTOR CIRCUIT
GL	GLASS
GR.	GRADE
GRND.	GROUND
GSM	GALVANIZED SHEET METAL
GYP.	GYPSUM
H.B.	HOSE BIB
H.C.	HOLLOW CORE
HDWD	HARDWOOD
HDWR.	HARDWARE
HT	HEIGHT
HORIZ	HORIZONTAL
HR.	HOUR
INSUL	INSULATION
INT.	INTERIOR
LAM.	LAMINATE
LAV	LAVATORY
LO	LINE OF
LT.	LIGHT
MAX.	MAXIMUM
MED. CAB.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MTL	METAL
MTD.	MOUNTED
MFR	MANUFACTURER
MIN	MINIMUM
MIRR.	MIRROR
MISC.	MISCELLANEOUS
N.	NORTH
N.I.C.	NOT IN CONTRACT
NO	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.	OVER
O.A.	OVERALL
OBS	OBSERVE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPNG	OPENING
OPP.	OPPOSITE
P.G.	PAINT GRADE
PLATE	PLATE
PLAM	PLASTIC LAMINATE
PLYWD.	PLYWOOD
PR	PAIR
PROP.LN	PROPERTY LINE
P.T.	PRESSURE TREATED
R.	RISER
RAD	RADIUS
R.D.	ROOF DRAIN
RDWD	REDWOOD
REF.	REFERENCE
REFR.	REFRIGERATOR
REINF.	REINFORCED
REQ.	REQUIRED
RESIL.	RESILIENT
R.L.	RAIN LEADER
RM	ROOM
R.O.	ROUGH OPENING
S.	SOUTH
S.C.	SOLID CORE
SCHED.	SCHEDULE
SMOKE	SMOKE DETECTOR
SECT.	SECTION
SHR.	SHOWER
SHT.	SHEET
SIM.	SIMILAR
SL	SLOPE
S.L.D.	SEE LANDSCAPE DRAWINGS
SPEC.	SPECIFICATION
SQ	SQUARE
S.S.D.	SEE STRUCTURAL DRAWINGS
S.S.	STAINLESS STEEL
STD.	STANDARD
STL	STEEL
STOR.	STORAGE
STRUC.	STRUCTURAL
SYM.	SYMMETRICAL
T.	TREAD
T.B.	TOWEL BAP
TEL	TELEPHONE
T.&G.	TONGUE AND GROVE
THK	THICK
TMPR.	TEMPERED
T.O.	TOP OF
T.O.P.	TOP OF PAVEMENT
T.O.W.	TOP OF WALL
T.S.	TUBULAR STEEL
T.V.	TELEVISION
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.C.T.	VINYL COMPOSITION TILE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W.	WEST
W/W	WITH WOOD
WD	WOOD
W/O	WITHOUT
W/P	WATERPROOFING
WT.	WEIGHT

SYMBOLS	
(1) A1	DRAWING/DETAIL REFERENCE TAG DRAWING OR DETAIL
(1) A31	SHEET WHERE DRAWING/DETAIL OCCURS
(1) A31	SECTION REFERENCE TAG BUILDING SECTION
(1) A31	SHEET WHERE SECTION OCCURS
(1) A31	INTERIOR ELEVATION REFERENCE TAG INTERIOR ELEVATION
(1) A31	SHEET WHERE INTERIOR ELEVATION OCCURS
—	ALIGN
---	HIDDEN LINE
—	STUD WALL (UNLESS NOTED OTHERWISE)
—	CONCRETE STRUCTURE, S.S.D
—	INSULATION IN SECTION (BATT)
—	INSULATION IN SECTION (RIGID)
—	LATH AND PLASTER IN SECTION
—	GYPSUM BOARD IN SECTION
—	PLYWOOD IN SECTION
—	FINISH WOOD IN SECTION
—	GLASS IN SECTION
X	DOOR TAG
X	WINDOW TAG
X	PLUMBING FIXTURE TAG PLUMBING FITTING TAG
X	APPLIANCE TAG
X	EQUIPMENT TAG
X	REVISION TAG
—	MATCHLINE
—	WORKPOINT OR DATUM
X	WALL TYPE TAG
—	THRESHOLD

- ### GENERAL NOTES
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
  - CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.
  - ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.
  - CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
  - CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
  - CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND GUIDELINES.
  - CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.
  - ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
  - IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES. THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
  - ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF DRAWINGS.
  - THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS.
  - ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
  - WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
  - CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
  - WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.
  - ALL WALL FRAMING SHALL BE 2x4 @ 16" O.C. MINIMUM, U.O.N.
  - ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE 'X', U.O.N.
  - ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
  - STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' BUILDING PAPER.
  - STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

### TEAM

**ARCHITECT:**  
Butler Armsden Architects  
2849 California Street  
San Francisco, CA 94115  
ph 415.674.5554  
Fax 415.674.5558

**STRUCTURAL:**  
Yu-Sronberg  
98 Jack London Alley  
San Francisco, CA 94107  
ph 415.778.8726  
Fax 510.763.0476

**CONTRACTOR:**  
Scott & Warner  
Builders, Inc.  
P.O. Box 96  
Sausalito, CA 94966  
ph 415.331.9100  
Fax 510.331.9182

**GEOTECHNICAL:**  
Murray Engineers, Inc.  
935 Fremont Avenue  
Los Altos, CA 94024  
ph 650.559.9980  
Fax 650.559.9985

**SURVEYOR:**  
True North Surveying, Inc.  
123 Tenth Street  
San Francisco, CA 94103  
ph 415.401.7333  
Fax 415.401.7353

### VICINITY MAP

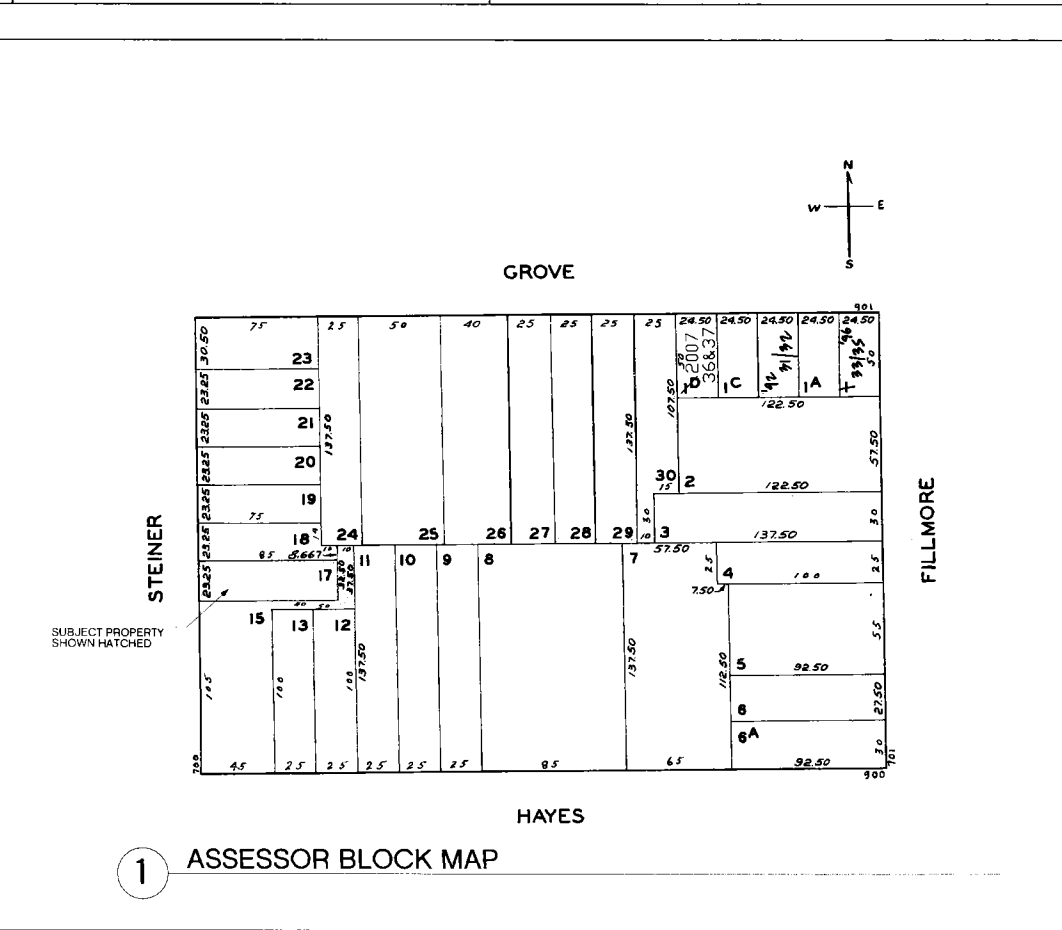
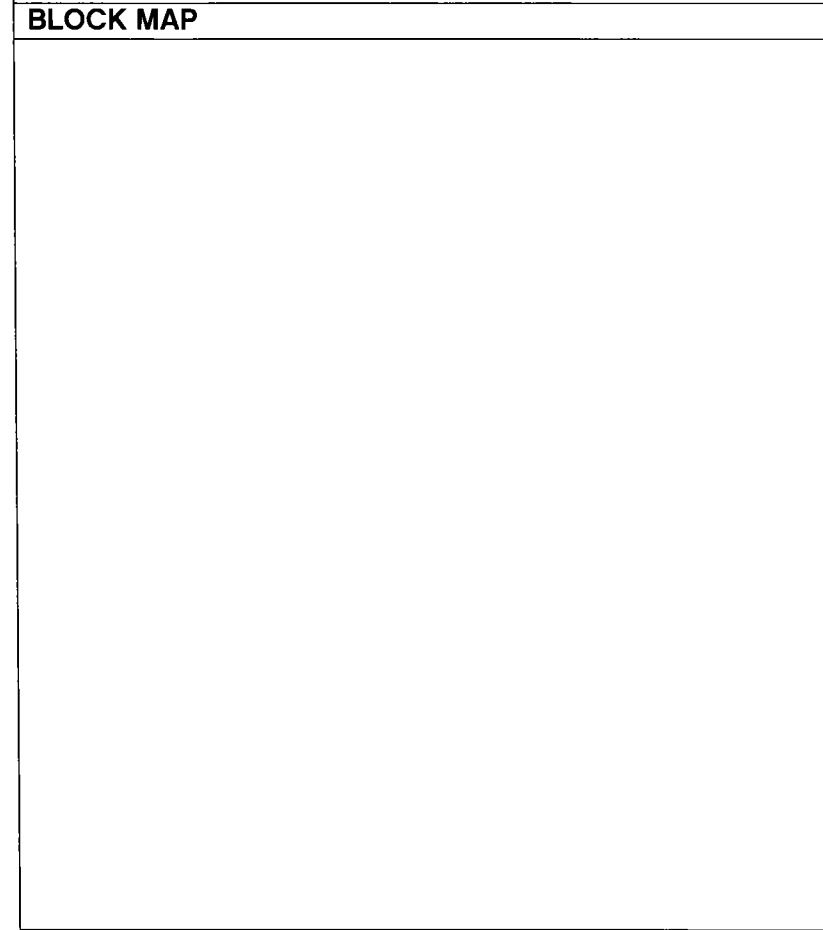
### PROJECT DATA

BLOCK:	0803	ZONED:	RH-2
LOT:	017	HEIGHT LIMIT:	40-X
LOT SIZE:	1976.25	OCCUPANCY:	R-3

	existing	proposed	addition
CONDITIONED SPACE:			
GROUND FLOOR	403 SQ. FT.	722 SQ. FT.	319 SQ. FT.
SECOND FLOOR	1,069 SQ. FT.	1,143 SQ. FT.	74 SQ. FT.
THIRD FLOOR	1,072 SQ. FT.	1,149 SQ. FT.	77 SQ. FT.
FOURTH FLOOR	669 SQ. FT.	669 SQ. FT.	- SQ. FT.
TOTAL:	3,213 SQ. FT.	3,213 SQ. FT.	470 SQ. FT.
UNCONDITIONED SPACE:			
GROUND FLOOR	662 SQ. FT.	476 SQ. FT.	-186 SQ. FT.
SECOND FLOOR	- SQ. FT.	- SQ. FT.	- SQ. FT.
THIRD FLOOR	- SQ. FT.	- SQ. FT.	- SQ. FT.
FOURTH FLOOR	- SQ. FT.	- SQ. FT.	- SQ. FT.
TOTAL:	662 SQ. FT.	476 SQ. FT.	-186 SQ. FT.
DECK SPACE:			
GROUND FLOOR	- SQ. FT.	- SQ. FT.	- SQ. FT.
SECOND FLOOR	317 SQ. FT.	254 SQ. FT.	-63 SQ. FT.
THIRD FLOOR	- SQ. FT.	- SQ. FT.	- SQ. FT.
FOURTH FLOOR	65 SQ. FT.	100 SQ. FT.	35 SQ. FT.
TOTAL:	382 SQ. FT.	382 SQ. FT.	-28 SQ. FT.

Butler Armsden  
2849 California Street  
San Francisco CA 94115  
ph 415.674.5554  
fax 415.674.5558  
e: arch@butlerarmsden.com  
www.butlerarmsden.com

**RESTORATION OF 710 STEINER ST. RESIDENCE**  
710 STEINER, SAN FRANCISCO, CA 94117



### CODES

2010 CA BLDG. CODE  
2010 S.F. BLDG. CODE & AMENDMENTS  
2010 CA ENERGY CODE  
2010 S.F. ELECTRICAL CODE  
2010 S.F. MECHANICAL CODE  
2010 S.F. PLUMBING CODE  
2010 S.F. FIRE CODE

### PROJECT DESCRIPTION

-INFILL LIGHTWELL AGAINST BLANK NEIGHBORING WALL AND NOT VISIBLE FROM OFF-SITE LOCATION  
-HORIZONTAL ADDITION LESS THAN 10' AT REAR FACADE, FIRST FLOOR  
-HORIZONTAL BAY ADDITION LESS THAN 10' AT REAR FACADE, SECOND AND THIRD FLOORS  
-(N) WINDOWS AT REAR FACADE  
-RESTORATION OF ORIGINAL TRELLEIS ORNAMENTATION AT FRONT FACADE  
-PARTIAL INTERIOR REMODEL & RESTORATION INCLUDING KITCHEN & BATHROOMS

### SHEET INDEX

A0.0	TITLE SHEET
A0.1	SITE PLAN / PHOTOGRAPHS
A0.2	PHOTOGRAPHS
A0.3	PHOTOGRAPHS
A0.4	SURVEY
A1.1	EXISTING FLOOR PLANS
A1.2	EXISTING FLOOR PLANS
A1.3	EXISTING FLOOR PLANS
A1.4	EXISTING ELEVATIONS - WEST & EAST
A1.5	EXISTING ELEVATIONS - NORTH
A1.6	EXISTING ELEVATIONS - SOUTH
A2.1	PROPOSED FLOOR PLANS
A2.2	PROPOSED FLOOR PLANS
A2.3	PROPOSED FLOOR PLANS / DOOR SCHED.
A3.1	PROPOSED ELEVATIONS - WEST & EAST
A3.2	PROPOSED ELEVATIONS - NORTH
A3.3	PROPOSED ELEVATIONS - SOUTH
A3.4	PROPOSED SECTIONS - LONGITUDINAL / CROSS
A8.1	DETAILS

### PERMIT

revisions	by:

job#: 1213  
date: NOV. 28, 2012  
drawn: LW  
checked: RJ  
scale: AS NOTED

TITLE SHEET

A0.0



6 LOOKING SOUTH TOWARDS SIDEWALK



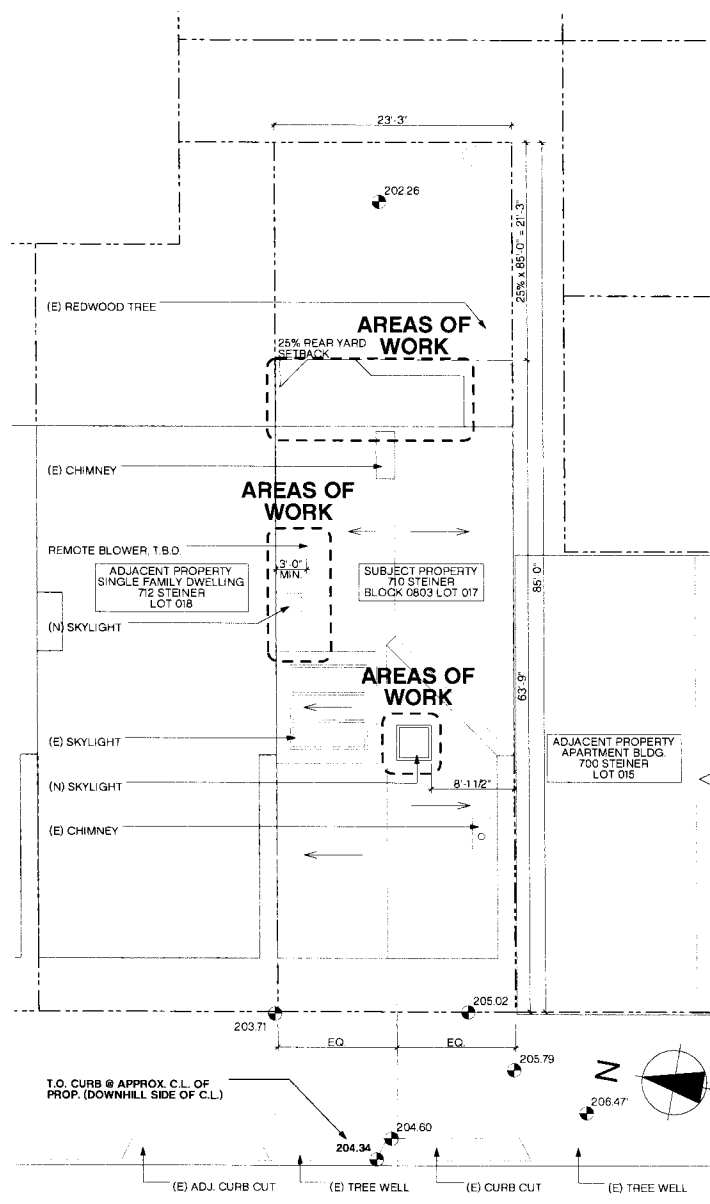
5 LOOKING NORTH TOWARDS SIDEWALK



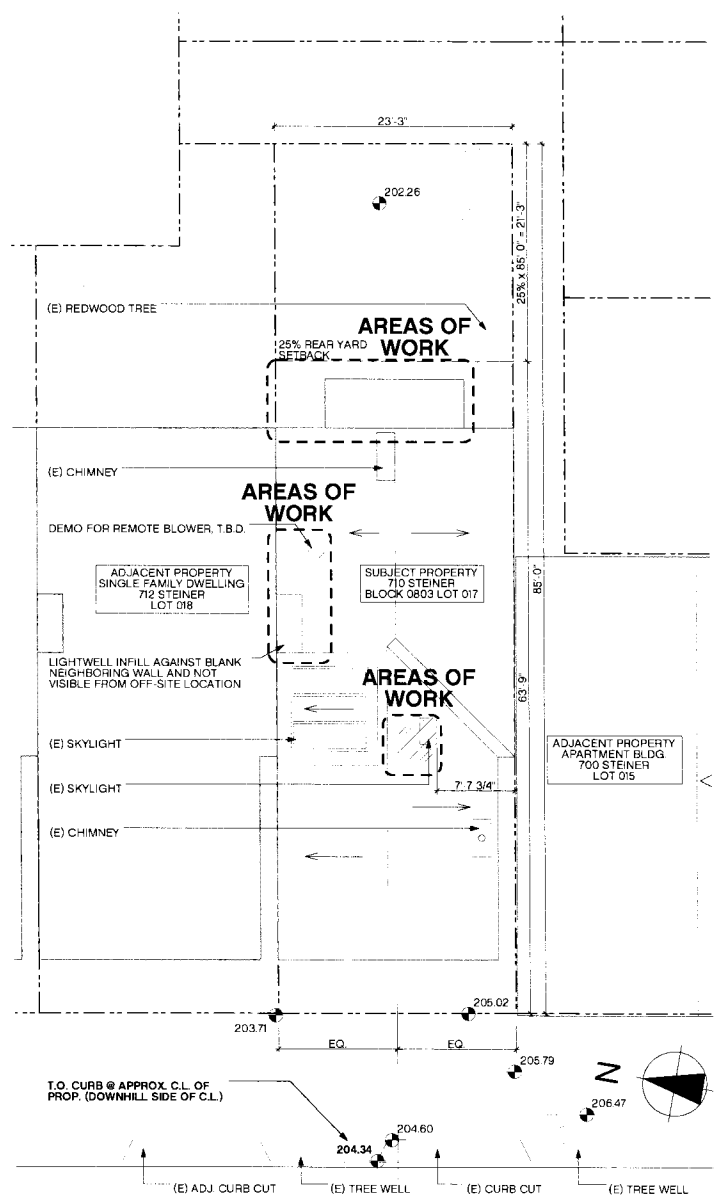
4 PANORAMA TOWARDS FACING PARK



3 PANORAMA OF SUBJECT BLOCK



2 PROPOSED SITE PLAN  
SCALE 1/8" = 1'-0"



1 EXISTING SITE PLAN  
SCALE 1/8" = 1'-0"

**LEGEND**

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL
- WOOD FLOOR
- PARQUET FLOOR
- CARPET
- TILE
- EPOXIED CONCRETE

Butler Armspen  
2849 California Street  
San Francisco CA 94115  
t 415-674-5554  
f 415-674-5558  
e arch@butlerarmspen.com  
www.butlerarmspen.com

RESTORATION OF 710 STEINER ST. RESIDENCE  
710 STEINER, SAN FRANCISCO, CA 94117

**PERMIT**

revisions	by:

job#:	1213
date:	NOV. 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

SITE PLANS / PHOTOGRAPHS



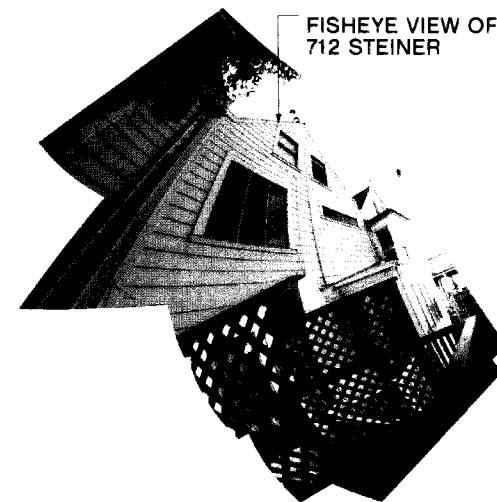


SUBJECT PROPERTY

8 REAR FACADE  
SCALE: 1:13.66



7 REAR @ 700 STEINER  
SCALE: 1:4.99

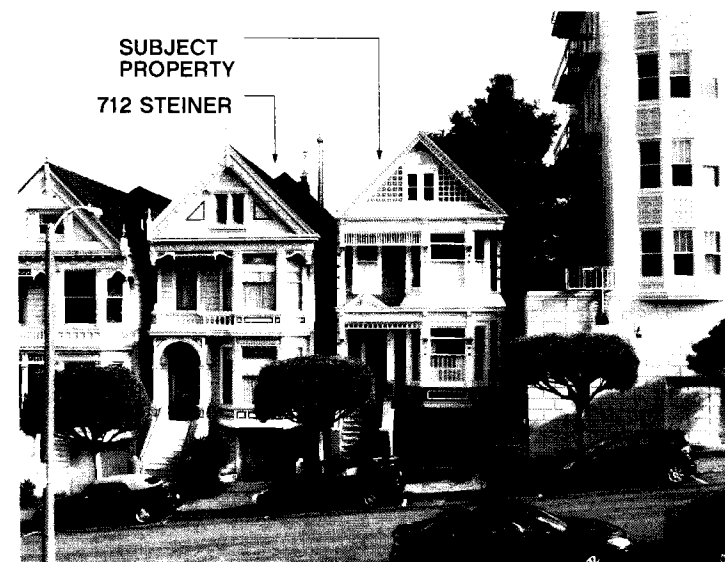


FISHEYE VIEW OF 712 STEINER

6 REAR @ 712 STEINER  
SCALE: 1:6.96



5 ADJACENT REAR FACADES  
SCALE: 1:4.51



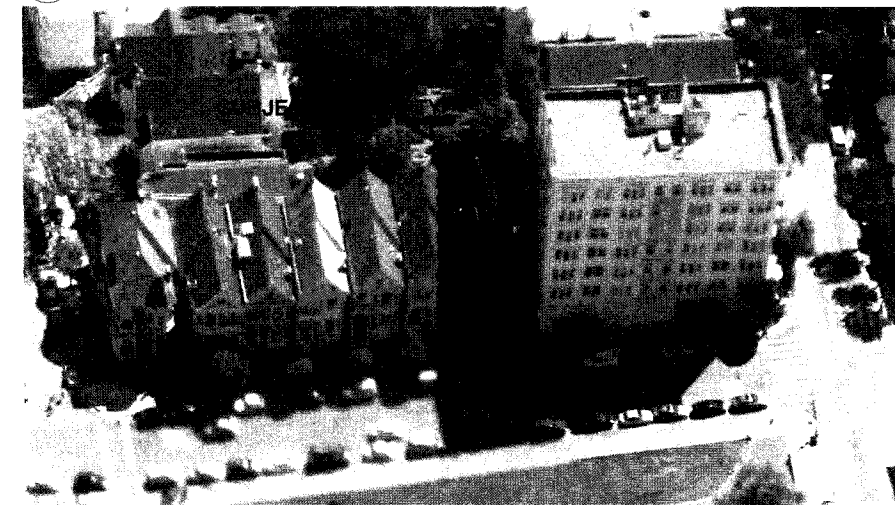
SUBJECT PROPERTY  
712 STEINER

4 NORTHERN NEIGHBOR



700 STEINER  
SUBJECT PROPERTY

3 SOUTHERN NEIGHBOR



2 BIRD'S EYE LOOKING EAST  
Source: "San Francisco" Google Maps Nov. 28, 2012



1 BIRD'S EYE LOOKING WEST  
Source: "San Francisco" Google Maps Nov. 28, 2012

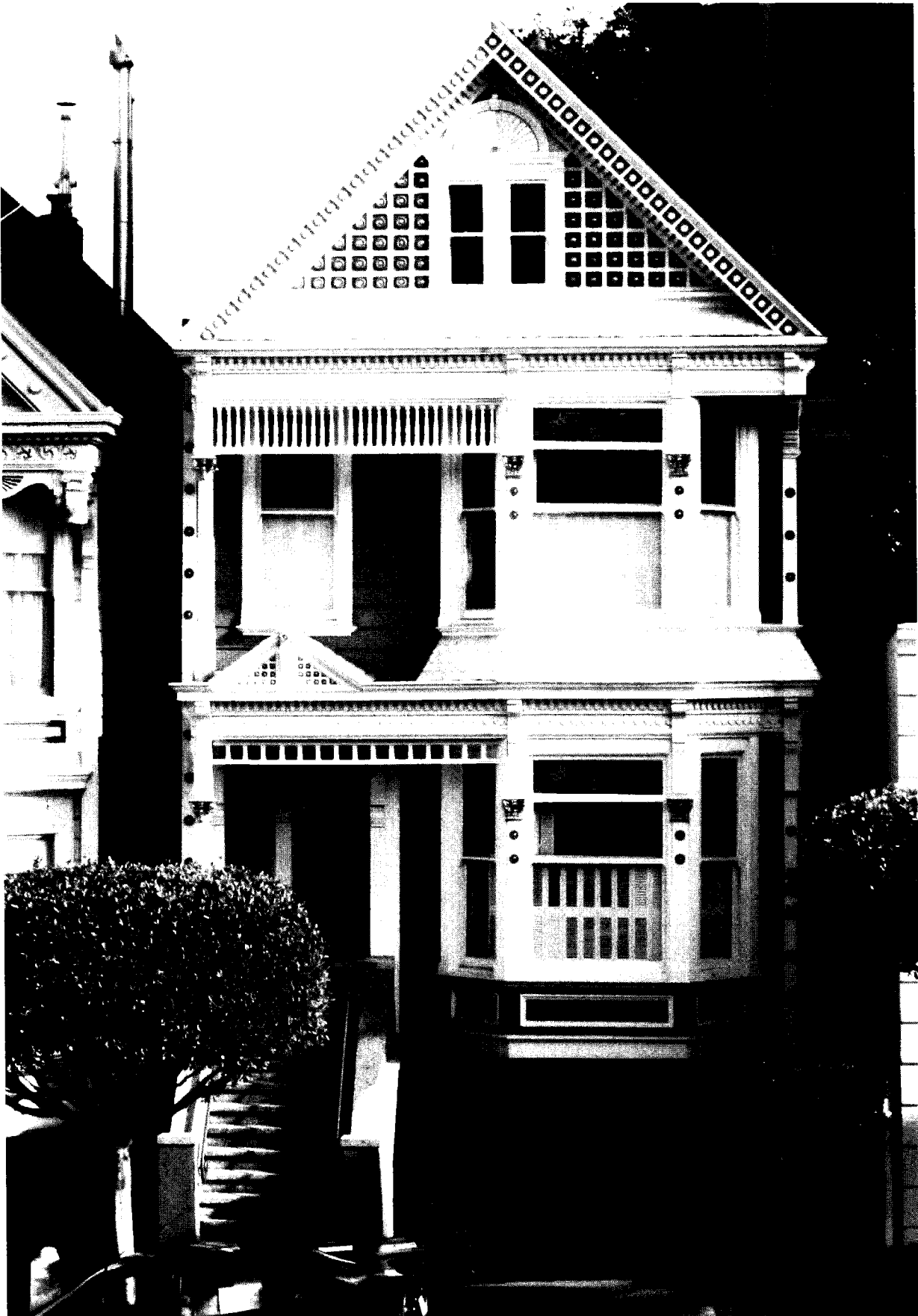
RESTORATION OF 710 STEINER ST. RESIDENCE  
710 STEINER, SAN FRANCISCO, CA 94117

PERMIT

revisions	by:

job#:	1213
date:	NOV. 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

PHOTOGRAPHS



2 CURRENT FRONT FACADE  
SCALE: 1:1.17



HISTORIC PHOTO OF FRONT FACADE  
WITH ORIGINAL P.G. 'TRELLIS'  
ORNAMENTATION AT STOOP

1 HISTORIC FRONT FACADE

RESTORATION OF 710 STEINER ST. RESIDENCE  
710 STEINER, SAN FRANCISCO, CA 94117

PERMIT

revisions	by:

jobs:	1213
date:	NOV 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

PHOTOGRAPHS

**GENERAL NOTES**

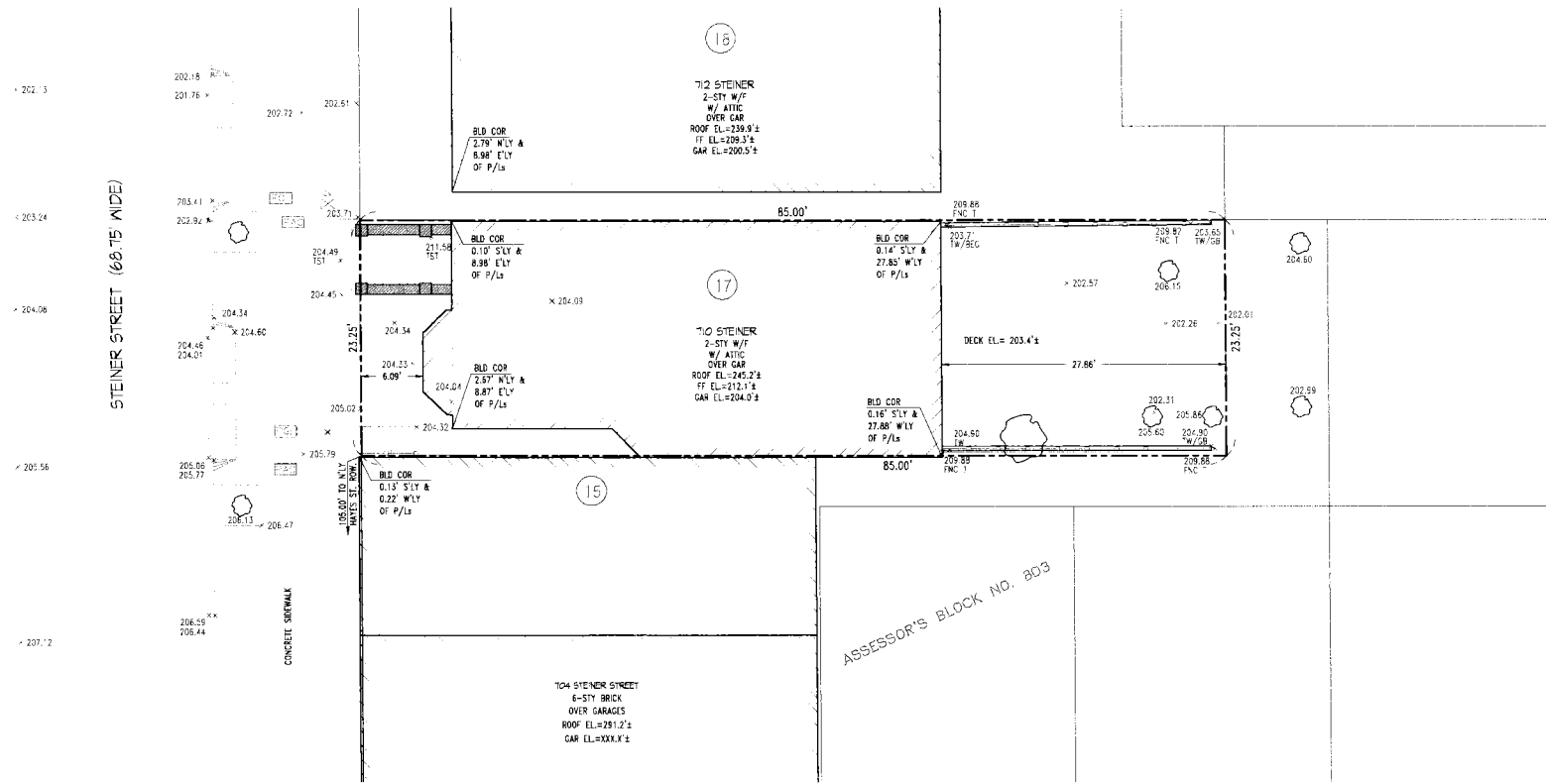
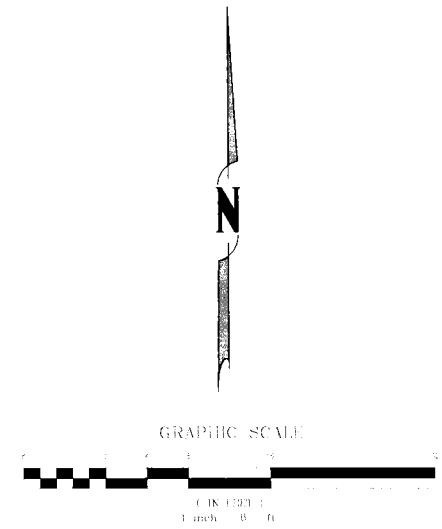
1. ALL DISTANCES (RECORD) = MEASURED, UNLESS OTHERWISE NOTED.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
3. PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
4. GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
5. THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF [REDACTED] AND THEIR REPRESENTATIVES, ARCHITECT/ENGINEER, USE BY ANY OTHER PARTY FOR ANY PURPOSE WHATSOEVER IS PROHIBITED.
6. ROOF/EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND.
7. THIS MAP REPRESENTS CONDITIONS ON THE DATES OF SURVEY, AUGUST 27<sup>th</sup> & 15<sup>th</sup>, 2012.
8. A RECORD OF SURVEY WILL BE FILED, IN ACCORDANCE WITH SECTION 8762 OF THE PROFESSIONAL LAND SURVEYORS' ACT, BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA AND LOCAL ORDINANCE(S).
9. ADDITIONAL BOUNDARY INFORMATION WILL BE SHOWN ON SAID RECORD OF SURVEY THAT WILL BE FILED BY THIS OFFICE.

**BASIS OF SURVEY**

THAT CERTAIN GRANT DEED RECORDED JUNE 6, 2012, IN DOCUMENT NO. 2012-426171, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.

**BASIS OF ELEVATIONS**

THE BENCHMARK DATA AS LISTED IN THE BSM BENCHMARK DATABASE, TRI-CUT AT SIDEWALK, LOCATED IN THE 4' N & W OF THE SE CORNER OF STEINER AND HAYES STREET, EL. = 215.475', CITY OF SAN FRANCISCO DATUM.



**LEGEND:**

- |     |                  |                       |
|-----|------------------|-----------------------|
| BLD | BUILDING         | ASSESSOR'S LOT NUMBER |
| BST | BOTTOM STAIR EL. | DRIVEWAY CURB CUTS    |
| BW  | BOTTOM WALL EL.  | ELECTRICAL BOX        |
| FNC | FENCE            | ELEVATION             |
| NG  | NATURAL GROUND   | FENCE LINE            |
| P/L | PROPERTY LINE    | GAS VALVE             |
| STY | STORY            | PROPERTY LINE         |
| TS  | TOP STAIR EL.    | TELEPHONE BOX         |
| TW  | TOP OF WALL EL.  | TREE W/DIA            |
| WC  | WOODEN           | WALL (CONC)           |
| W/F | WOOD FRAME       |                       |

**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS' ACT AT THE REQUEST OF [REDACTED] ON AUGUST 1, 2012.



SIGNED: DONNA DE SOUZA, P.L.S. NO. 7763  
REGISTRATION EXPIRES 2/31/13

DATE: 8/20/2012  
REVISED: 9/21/2012

**SITE SURVEY OF 710 STEINER STREET**  
BEING THE LAND DESCRIBED IN THE GRANT DEED RECORDED IN REEL [REDACTED] IMAGE [REDACTED] CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA

SURVEY ENGINEERS:



DATE: SEPTEMBER, 2012

123 TENTH STREET, SAN FRANCISCO, CALIFORNIA 94103  
TEL: (415) 401-7333 FAX: (415) 401-7353

APN NO: 0803-017

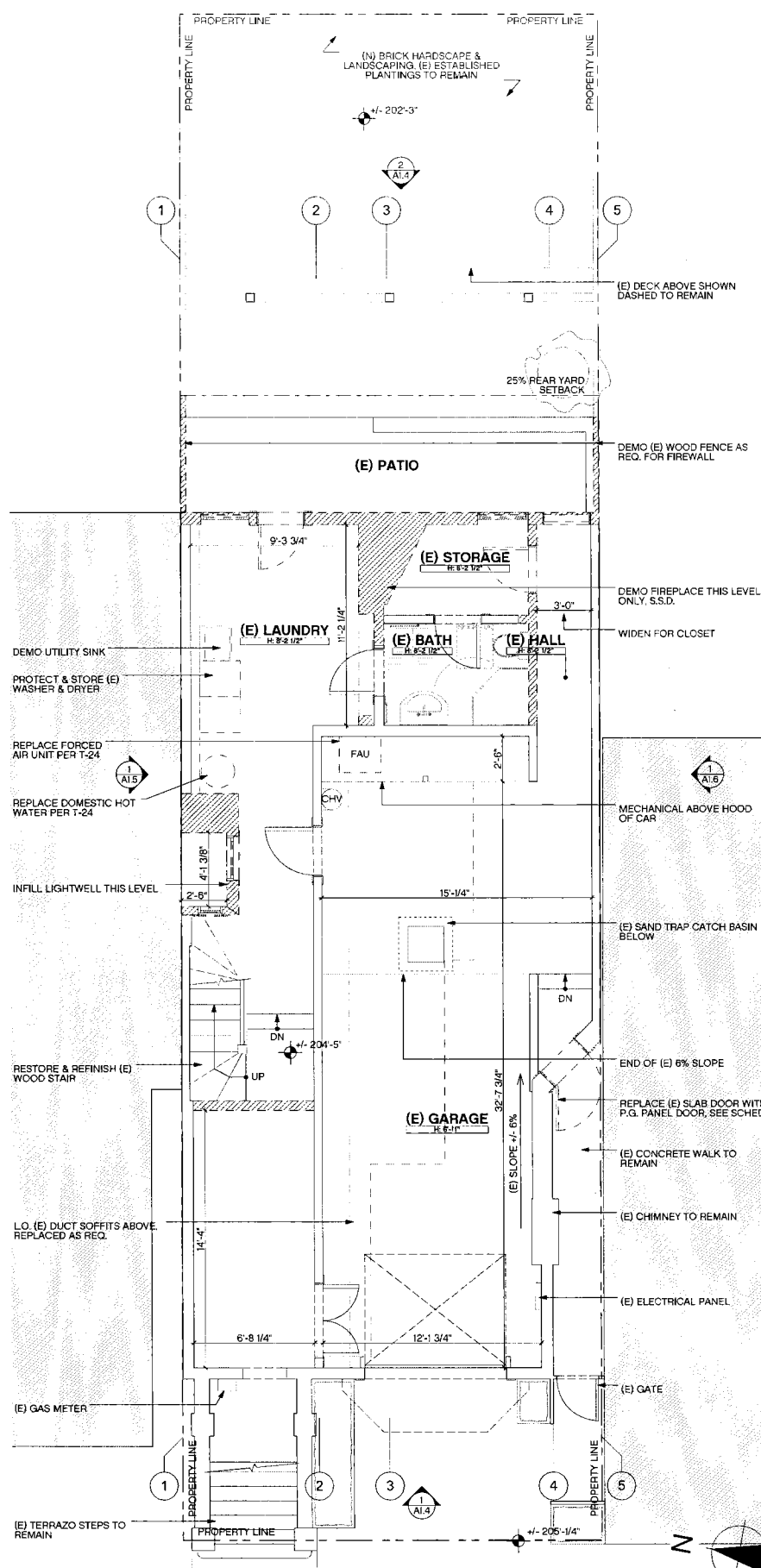
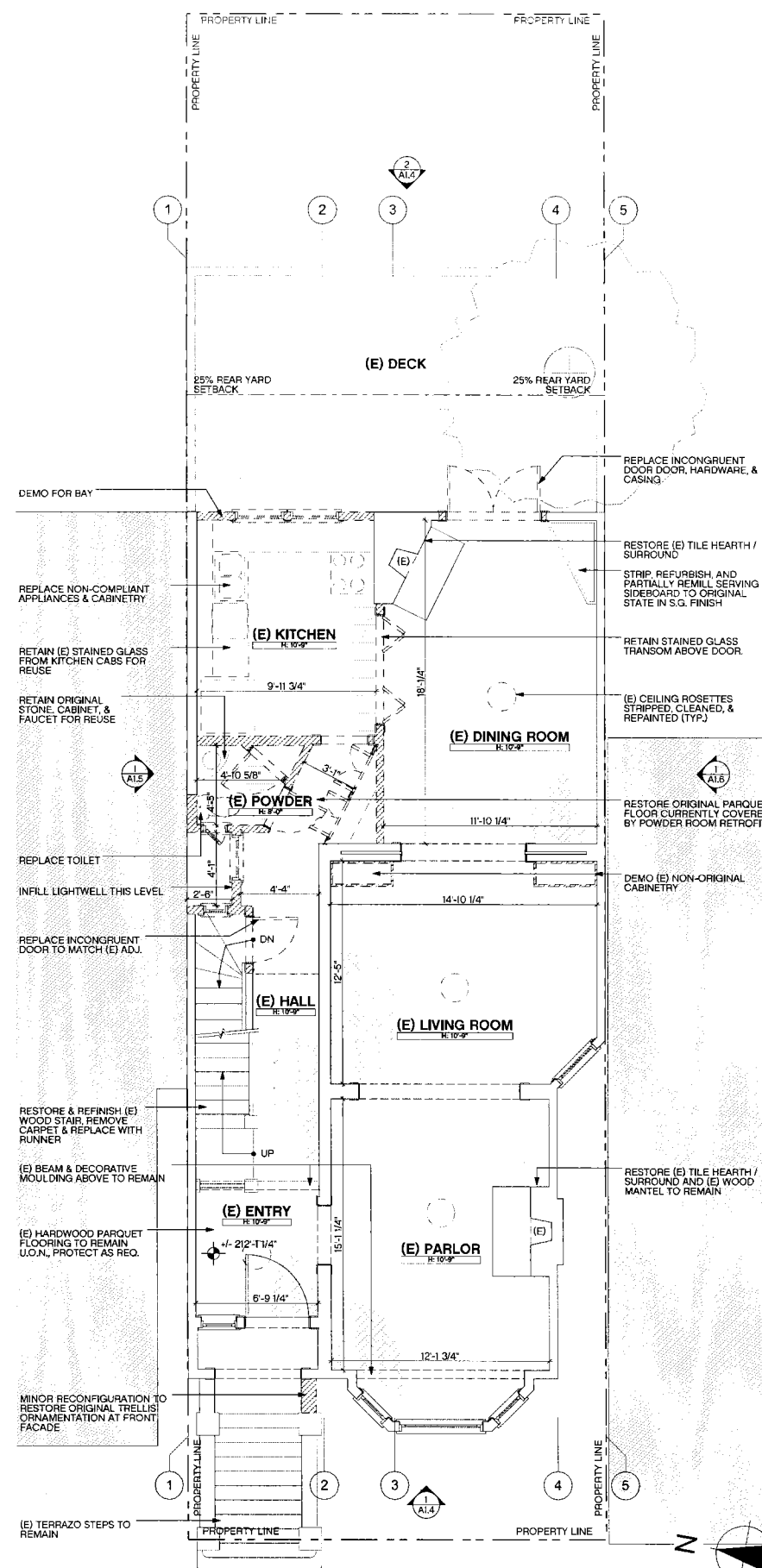
1 OF 1

**A0.4**

**RESTORATION OF 710 STEINER ST. RESIDENCE**  
710 STEINER, SAN FRANCISCO, CA 94117

**DEMO NOTES**

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE AND FRAME, U.O.N. AND SAVE FOR RE-USE.
8. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
9. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.
10. PER SF ORDINANCE ALL CONSTRUCTION AND DEMOLITION DEBRIS MUST BE TRANSPORTED OFF-SITE BY REGISTERED TRANSPORTER TO A REGISTERED FACILITY THAT DIVERTS A MINIMUM OF 65% OF THE MATERIAL FROM LANDFILL.  
<http://environment.sfgov.org/article/construction-and-demolition/about-construction-and-demolition-requirements/>



**3 DEMO CALCS**

EXTERIOR FLOOR WALL LINES AREAS	WALL (LINEAR FEET)		
	EXISTING	REMOVED	REMAINING
151	34	117	
	22.5%	77.5%	

MAXIMUM REMOVED PERCENTAGE IS 65%  
(PER SECC 3010.018)

**2 EXISTING SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**1 EXISTING GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**PERMIT**

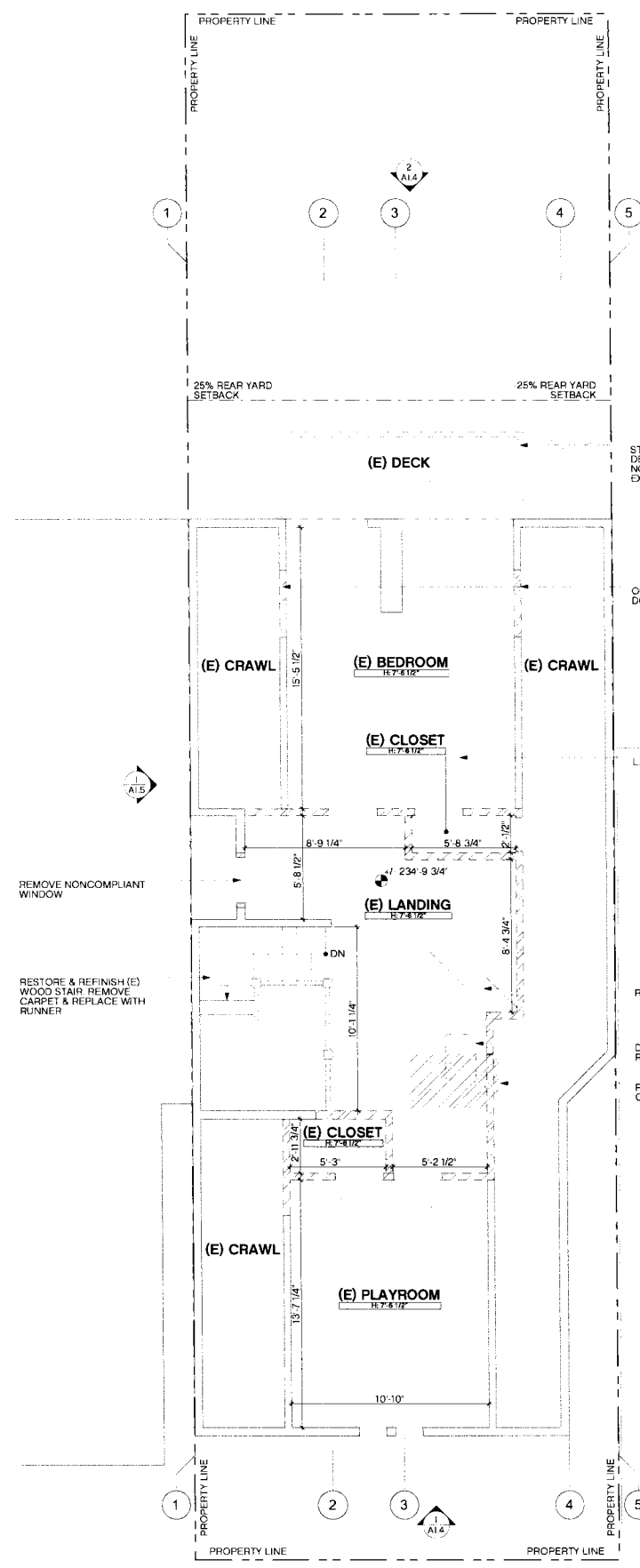
revisions	by:
1 HISTORIC PRESERVATION REQUEST (02/07/2013)	LW

job: 1213  
date: NOV. 28, 2012  
drawn: LW  
checked: RJ  
scale: AS NOTED

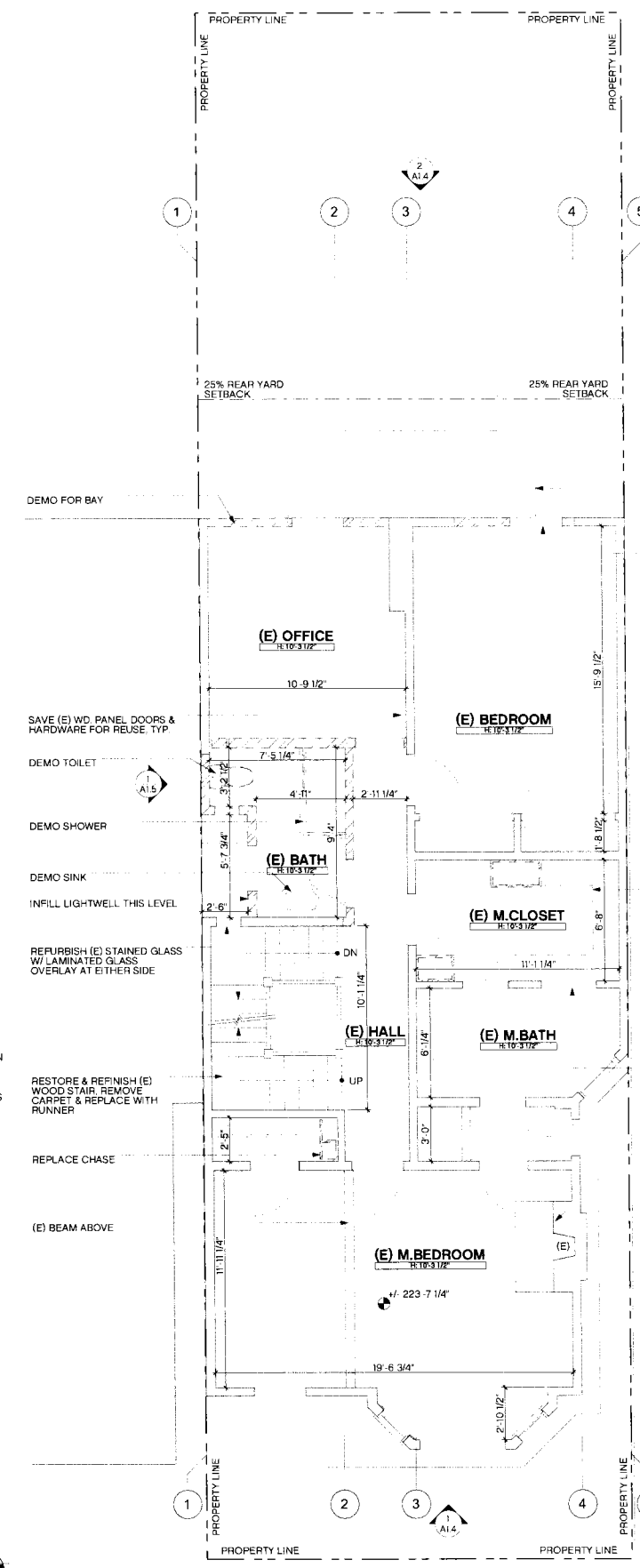
EXISTING FLOOR PLANS

**RESTORATION OF 710 STEINER ST. RESIDENCE**  
 710 STEINER, SAN FRANCISCO, CA 94117

- DEMO NOTES**
- ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
  - ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
  - LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
  - DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
  - DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
  - DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
  - AT DOORS TO BE DEMOLISHED OR REMOVED REMOVE DOOR, HARDWARE, AND FRAME U.O.N. AND SAVE FOR RE-USE.
  - DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
  - CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK. PER SF ORDINANCE ALL CONSTRUCTION AND DEMOLITION DEBRIS MUST BE TRANSPORTED OFF-SITE BY REGISTERED TRANSPORTER TO A REGISTERED FACILITY THAT DIVERTS A MINIMUM OF 65% OF THE MATERIAL FROM LANDFILL.  
<http://environment.org/article/construction-demolition-about-construction-and-demolition-requirements>



**2** EXISTING FOURTH FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



**1** EXISTING THIRD FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

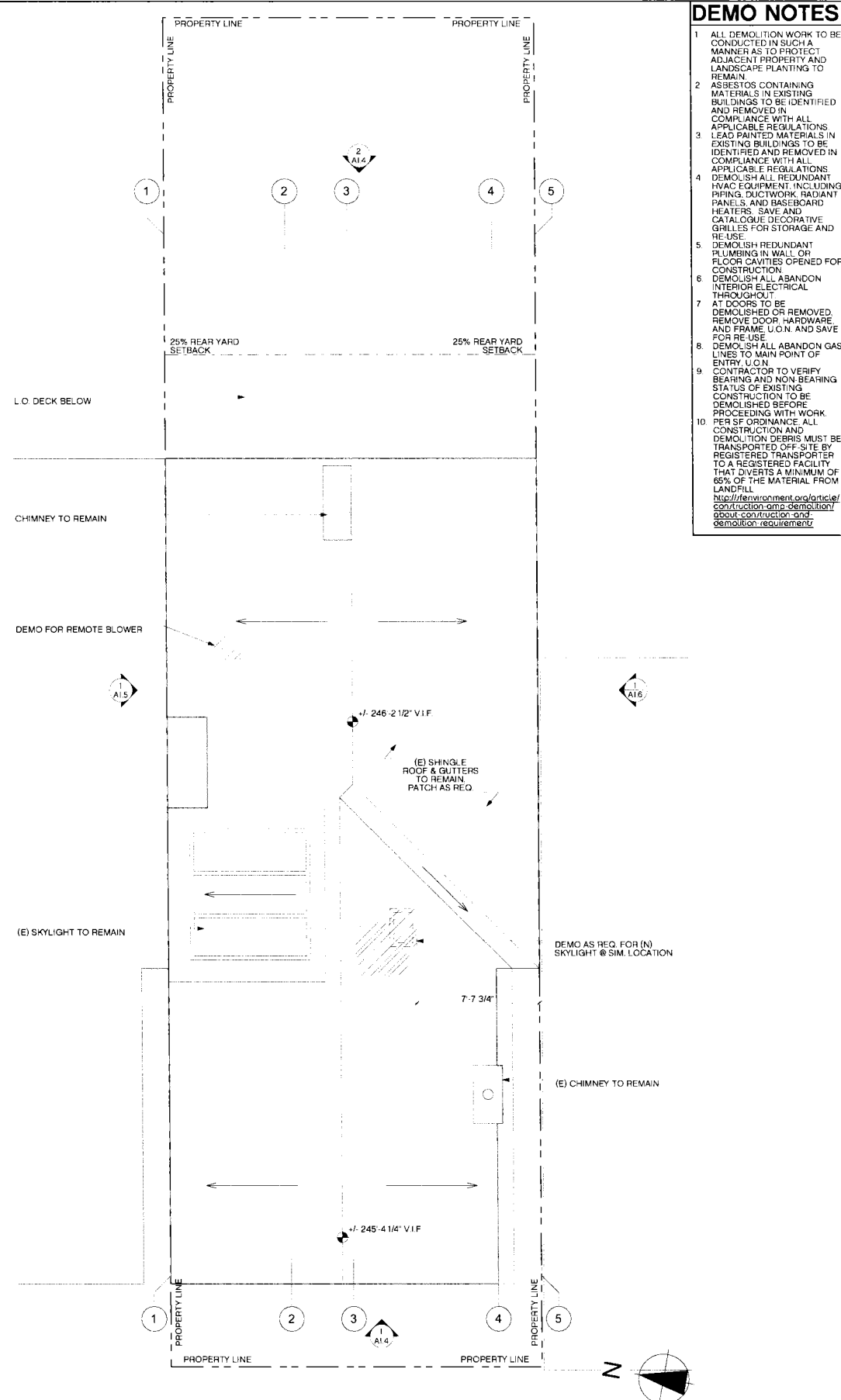
**PERMIT**

revisions	by:

jobs:	1213
date:	NOV 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

EXISTING FLOOR PLANS



**DEMO NOTES**

- 1 ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
- 2 ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
- 3 LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
- 4 DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
- 5 DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
- 6 DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
- 7 AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE AND FRAME U.O.N. AND SAVE FOR RE-USE.
- 8 DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
- 9 CONTRACTOR TO VERIFY BEARING AND NON BEARING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK. PER SF ORDINANCE, ALL CONSTRUCTION AND DEMOLITION DEBRIS MUST BE TRANSPORTED OFF-SITE BY REGISTERED TRANSPORTER TO A REGISTERED FACILITY THAT DIVERTS A MINIMUM OF 65% OF THE MATERIAL FROM LANDFILL. <http://environment.org/article/construction-and-demolition-demolition-requirements/>

**Bueller Armscoven**  
 2849 California Street  
 San Francisco, CA 94115  
 t 415-674-5554  
 f 415-674-5556  
 e architect@buellerarmscoven.com  
 www.buellerarmscoven.com

**RESTORATION OF 710 STEINER ST. RESIDENCE**  
 710 STEINER, SAN FRANCISCO, CA 94117

**PERMIT**

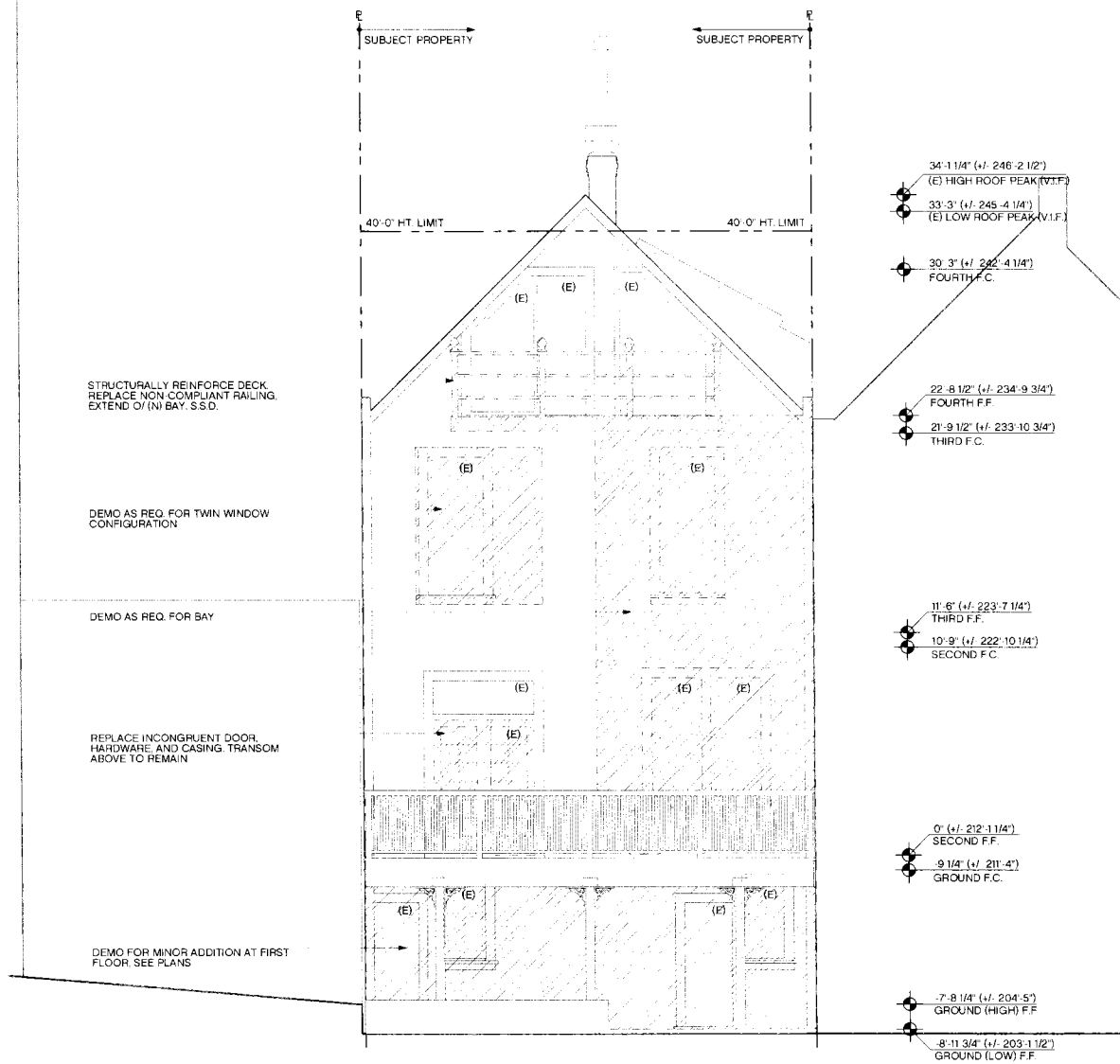
revisions	by:

jobs:	1213
date:	NOV. 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

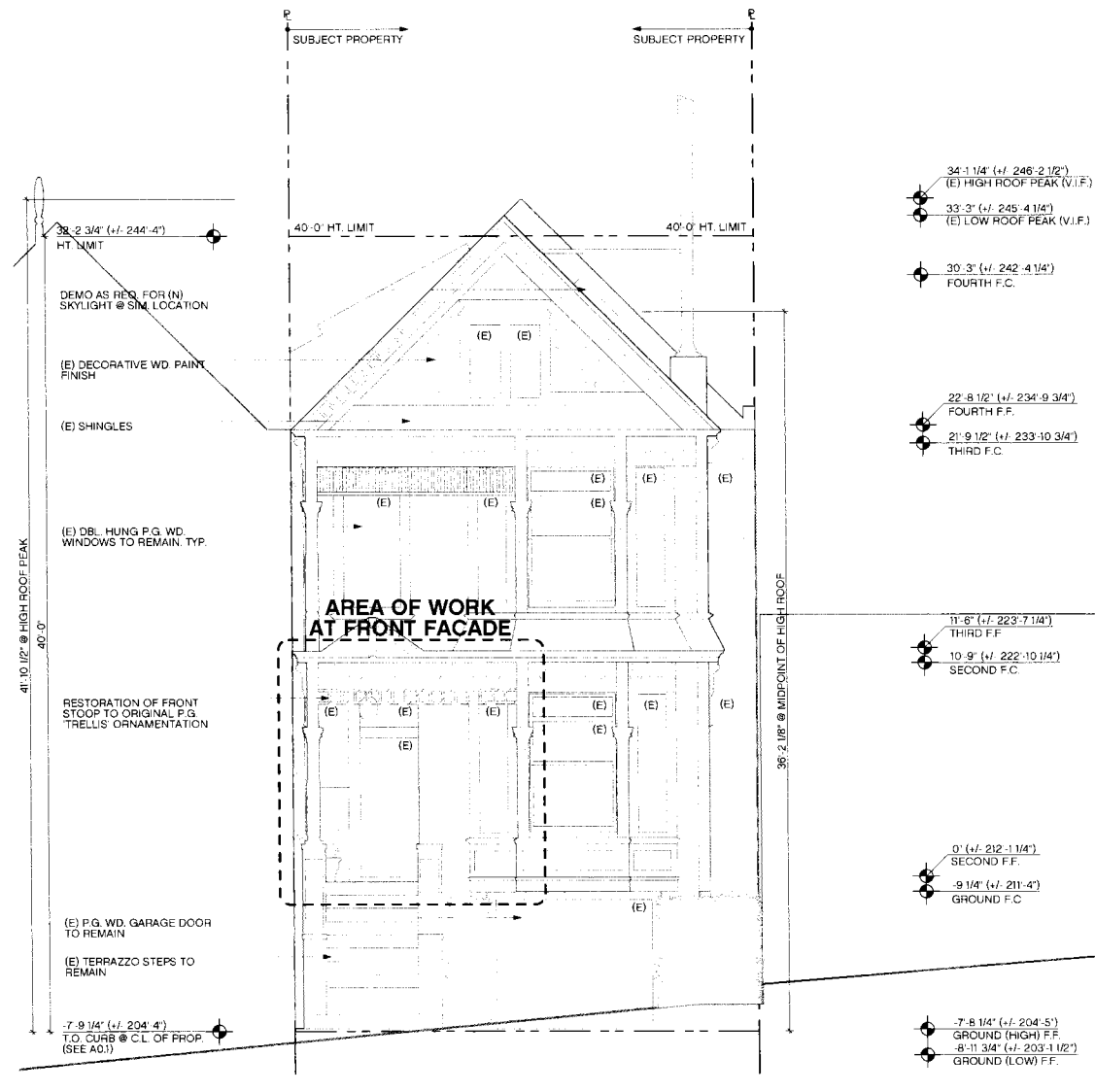
**EXISTING FLOOR PLANS**

**1 EXISTING ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

**RESTORATION OF 710 STEINER ST. RESIDENCE**  
 710 STEINER, SAN FRANCISCO, CA 94117



**2** EXISTING EAST ELEVATION  
 SCALE 1/4" = 1'-0"



**1** EXISTING WEST ELEVATION  
 SCALE 1/4" = 1'-0"

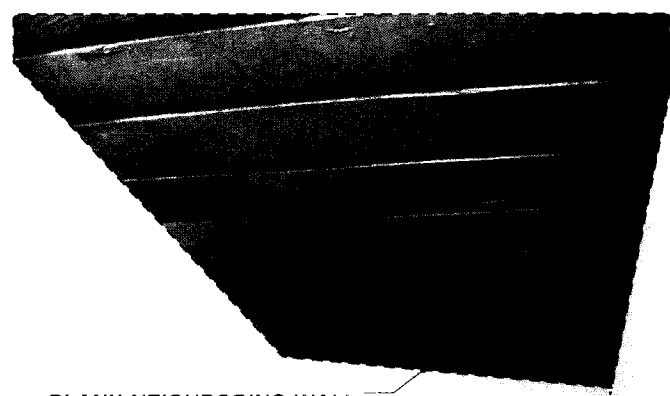
**PERMIT**

revisions	by:

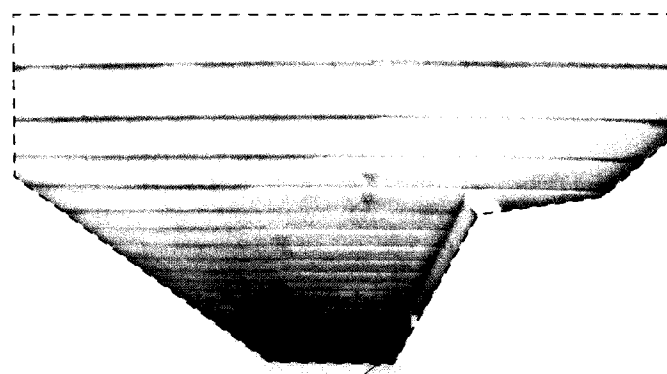
job#:	1213
date:	NOV. 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

EXISTING ELEVATIONS

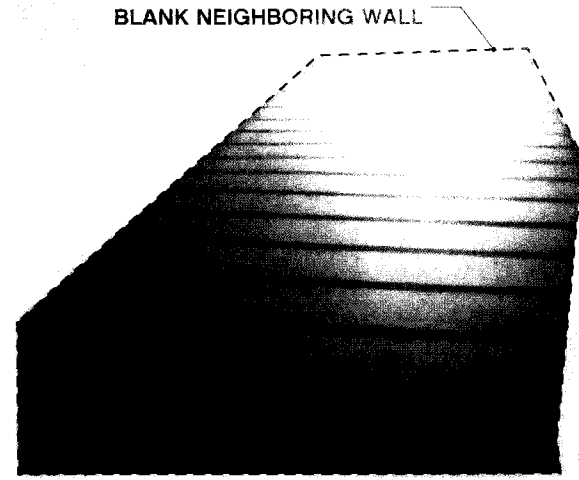




BLANK NEIGHBORING WALL

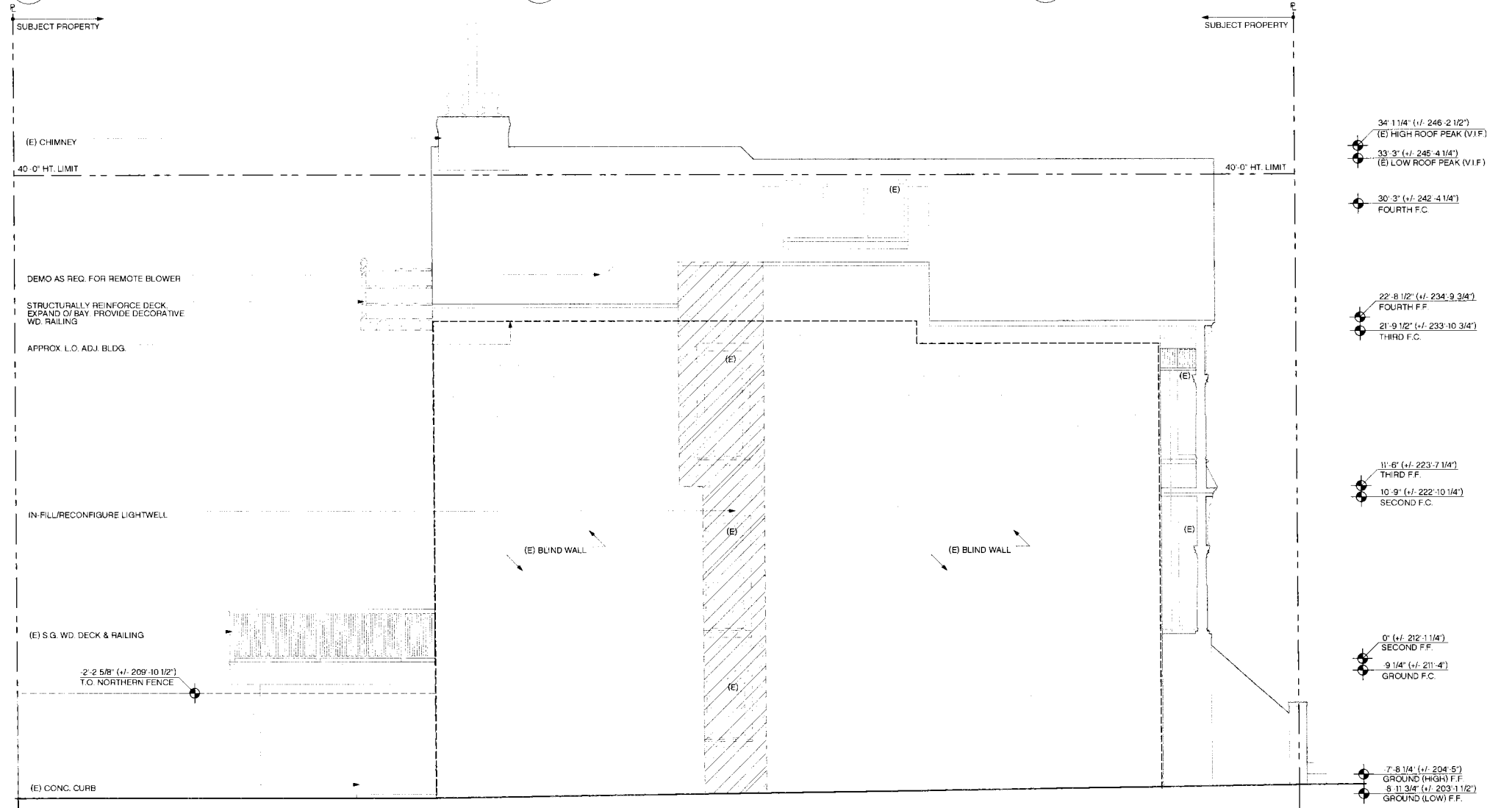


BLANK NEIGHBORING WALL



BLANK NEIGHBORING WALL

4 VIEW 'DOWN' LIGHTWELL FROM SECOND FLR. 3 VIEW 'DOWN' LIGHTWELL FROM THIRD FLR. 2 VIEW 'UP' LIGHTWELL FROM SECOND FLR.



1 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

Butler Armisen

2849 California Street  
San Francisco CA 94115  
t 415-674-5554  
f 415-674-5558  
e architects@butlerarmisen.com  
www.butlerarmisen.com

RESTORATION OF 710 STEINER ST. RESIDENCE  
710 STEINER, SAN FRANCISCO, CA 94117

PERMIT

revisions	by:

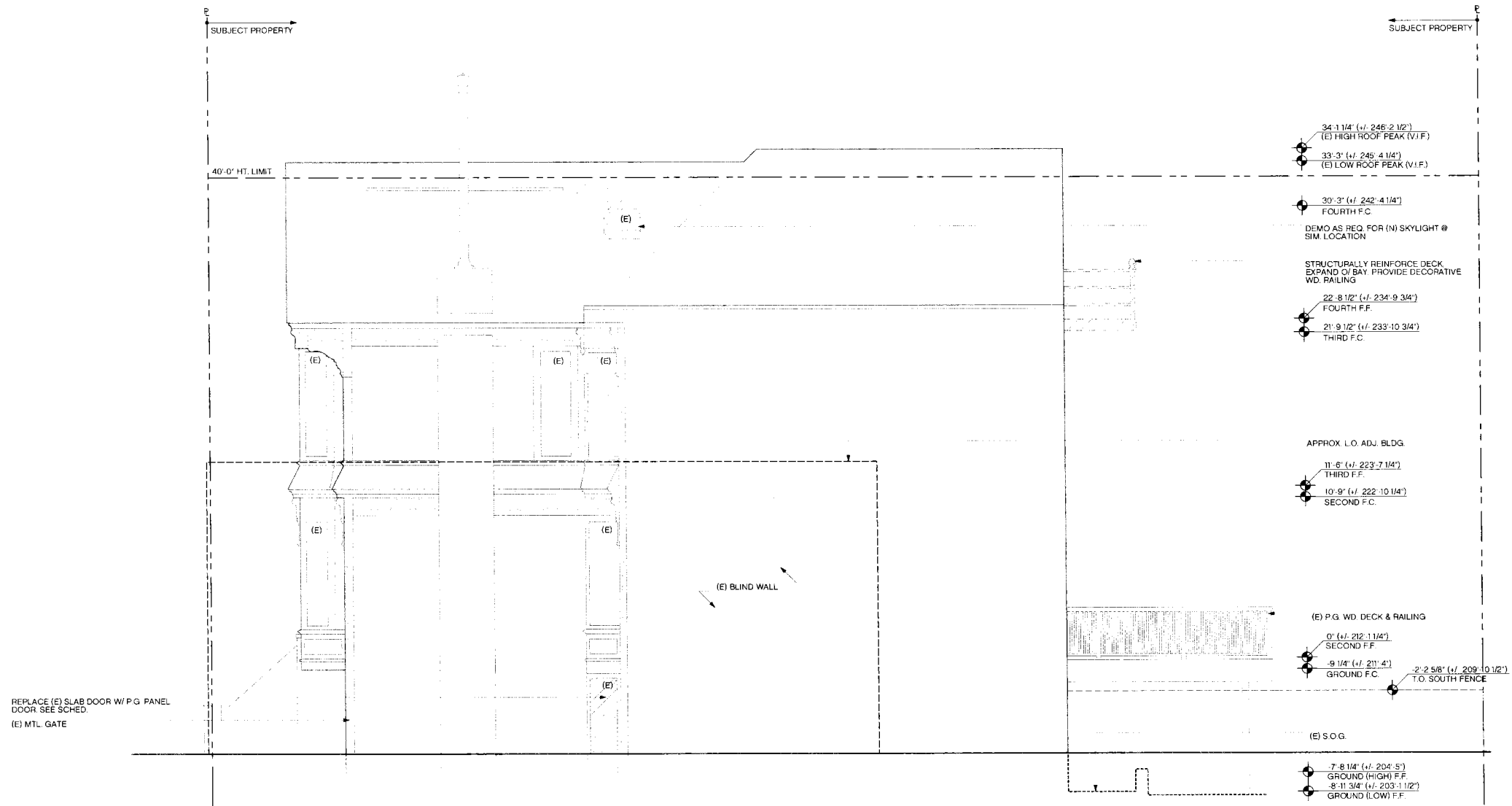
jobs:	1213
date:	NOV. 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

EXISTING ELEVATIONS

A1.5



**RESTORATION OF 710 STEINER ST. RESIDENCE**  
 710 STEINER, SAN FRANCISCO, CA 94117



**PERMIT**

revisions	by:

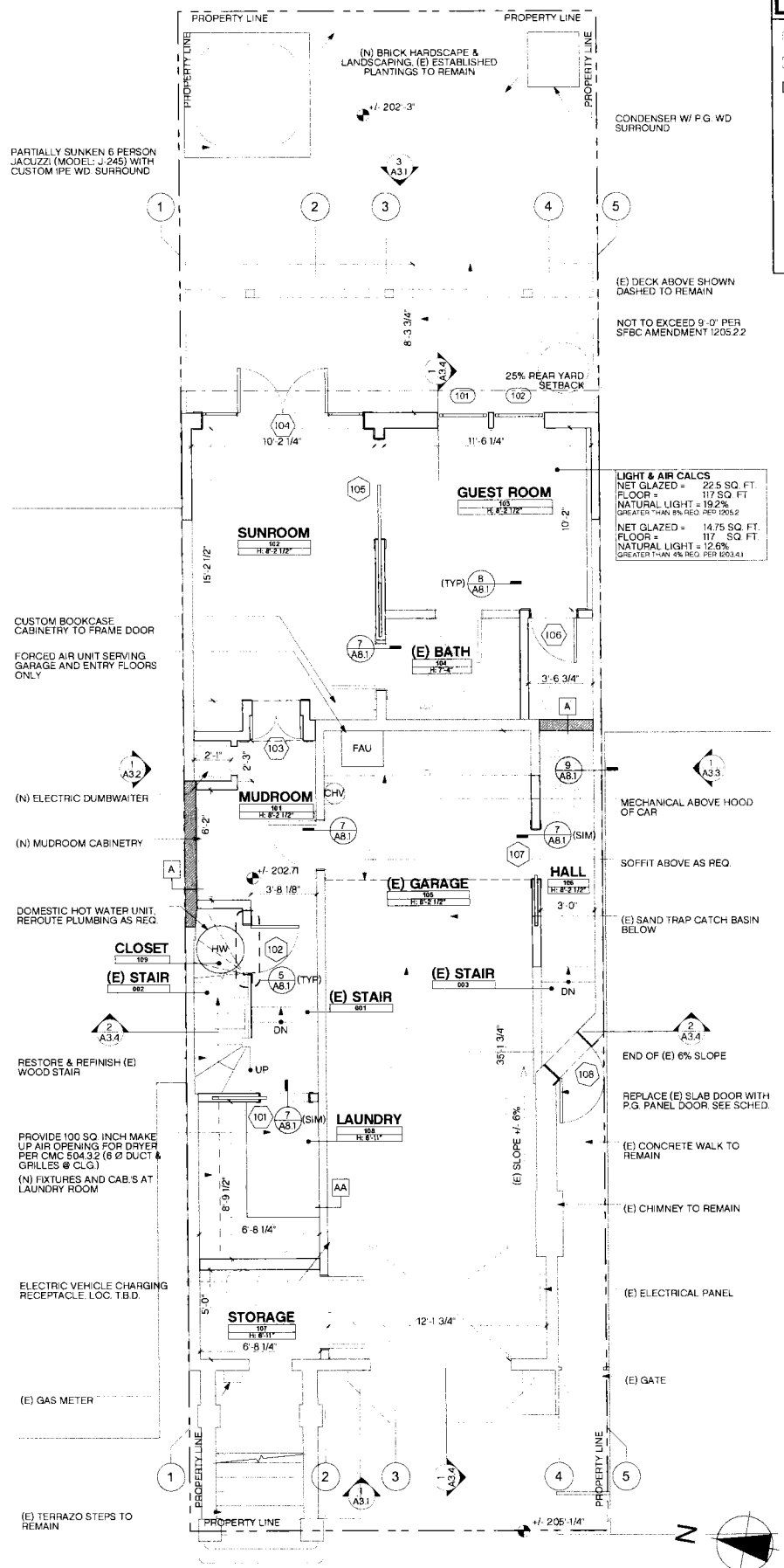
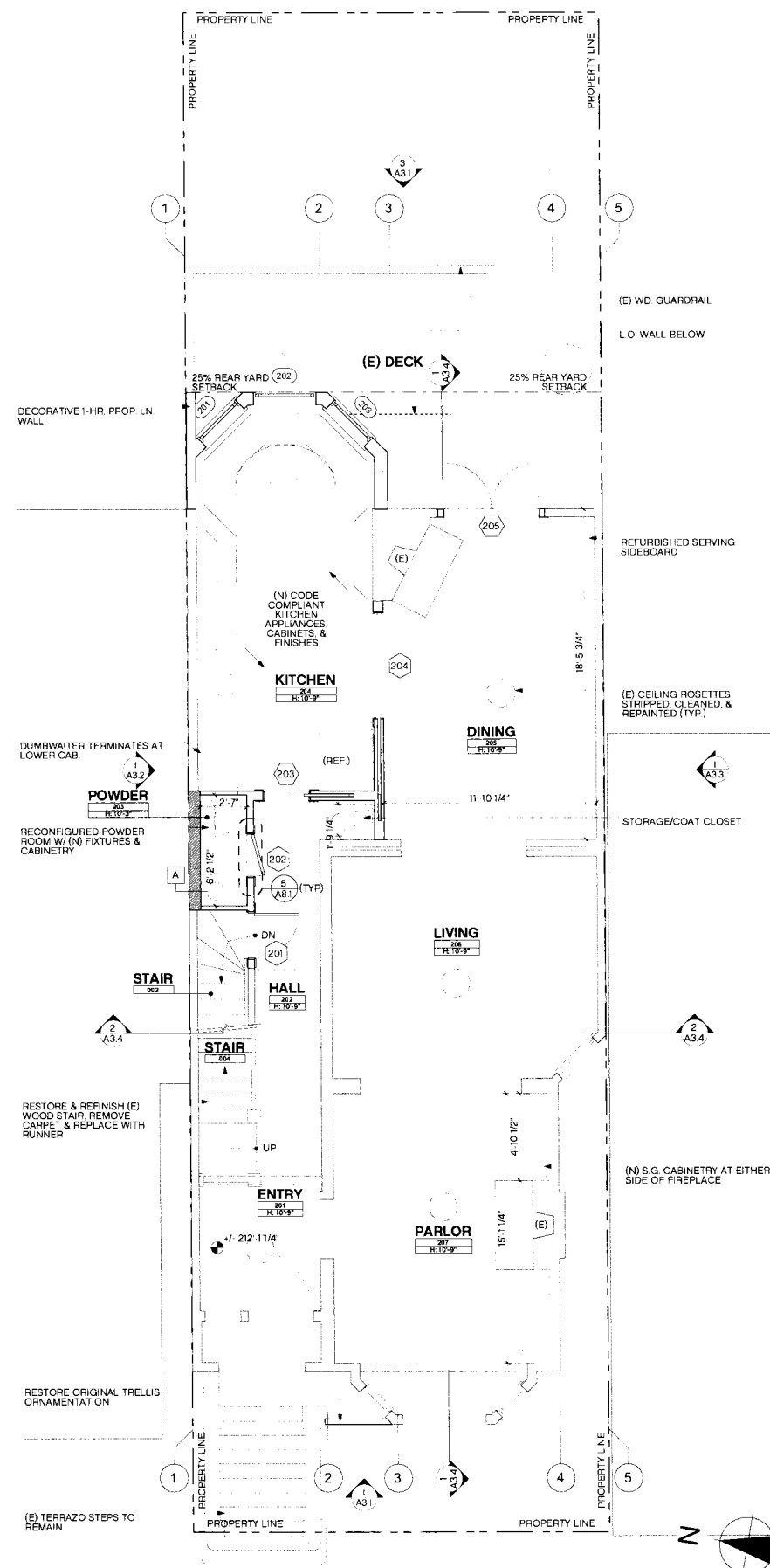
job#:	1213
date:	NOV 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

EXISTING ELEVATIONS

**1** EXISTING SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

**LEGEND**

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL
- WOOD FLOOR
- PARQUET FLOOR
- CARPET
- TILE
- EPOXY CONCRETE



**LIGHT & AIR CALCS**  
NET GLAZED = 22.5 SQ. FT.  
FLOOR = 117 SQ. FT.  
NATURAL LIGHT = 19.2%  
GREATER THAN 8% REQ. PER 205.2  
NET GLAZED = 14.75 SQ. FT.  
FLOOR = 117 SQ. FT.  
NATURAL LIGHT = 12.6%  
GREATER THAN 4% REQ. PER 603.41

**PERMIT**

revisions	by:

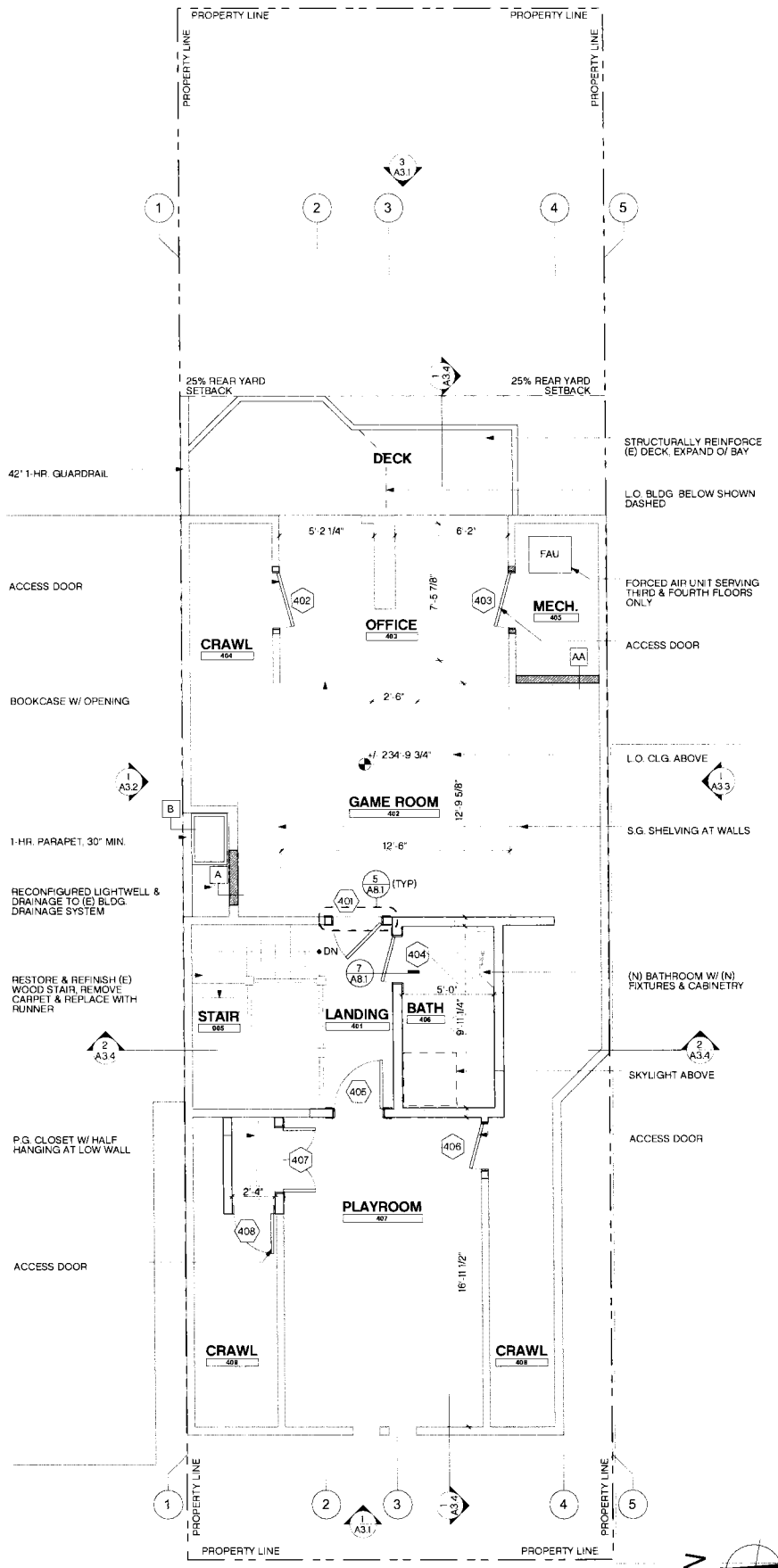
job#:	1213
date:	NOV. 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

**RESTORATION OF 710 STEINER ST. RESIDENCE**  
710 STEINER, SAN FRANCISCO, CA 94117

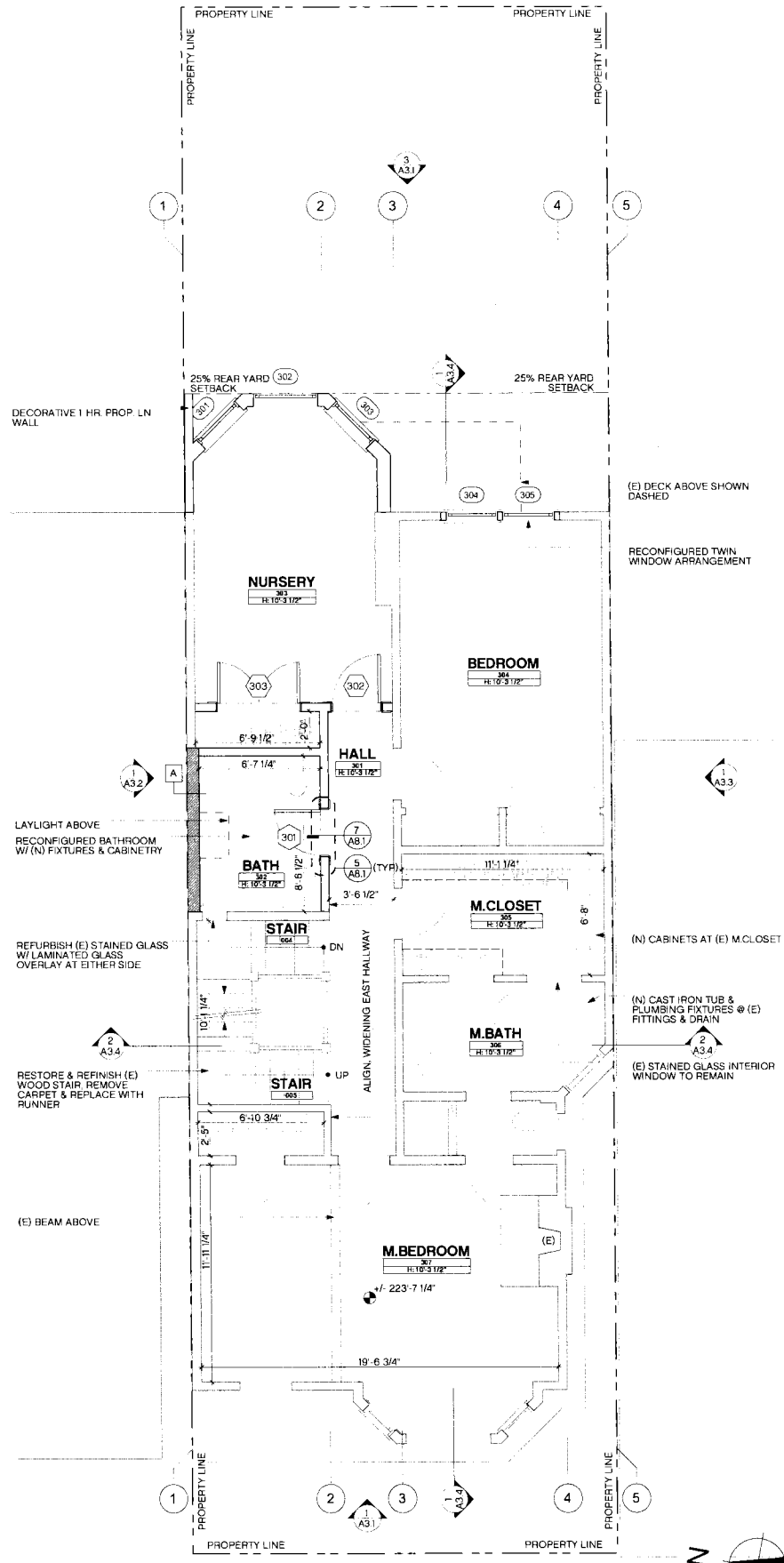
**PROPOSED FLOOR PLANS**

**LEGEND**

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL
- WOOD FLOOR
- PARQUET FLOOR
- CARPET
- TILE
- EPOXIED CONCRETE



**2** PROPOSED FOURTH FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



**1** PROPOSED THIRD FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

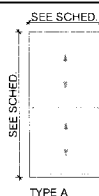
**RESTORATION OF 710 STEINER ST. RESIDENCE**  
 710 STEINER, SAN FRANCISCO, CA 94117

**PERMIT**

revisions	by:

jobs:	1213
date:	NOV 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

PROPOSED FLOOR PLANS

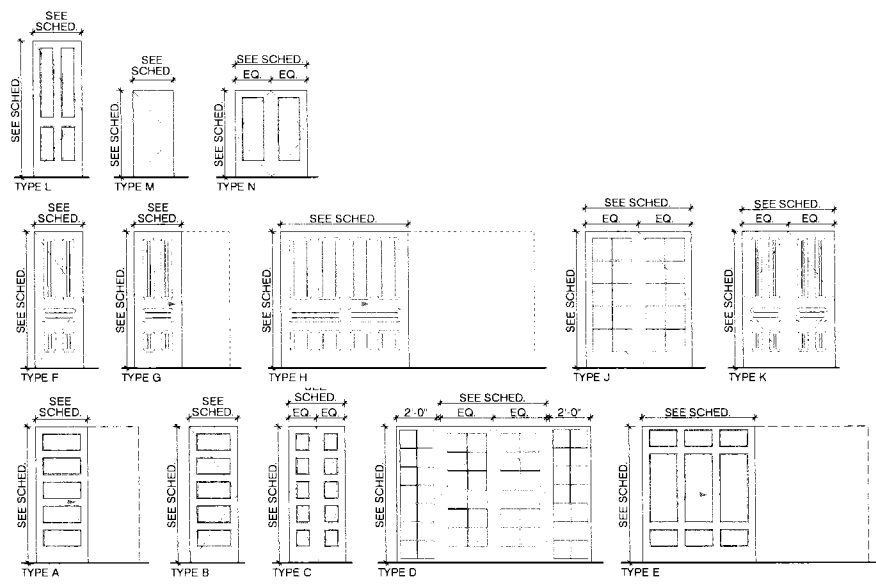


### 5 WINDOW TYPES

1213 WINDOW SCHEDULE							
MARK	TYPE	MFR.	W x H	SILL HT.	OPERATION	HARDWARE	REMARKS
101	A	CUSTOM	2'-10"x5'-2 1/2"	2'-0"	DBL HUNG	T.B.D	
102	A	CUSTOM	2'-10"x5'-2 1/2"	2'-0"	DBL HUNG	T.B.D	
201	A	CUSTOM	3'-0"x6'-6"	3'-4"	DBL HUNG	T.B.D	
202	A	CUSTOM	3'-6"x6'-6"	3'-4"	DBL HUNG	T.B.D	
203	A	CUSTOM	3'-0"x6'-6"	3'-4"	DBL HUNG	T.B.D	
301	A	CUSTOM	3'-0"x7'-0"	2'-0"	DBL HUNG	T.B.D	
302	A	CUSTOM	3'-6"x7'-0"	2'-0"	DBL HUNG	T.B.D	
303	A	CUSTOM	3'-0"x7'-0"	2'-0"	DBL HUNG	T.B.D	
304	A	CUSTOM	2'-10"x7'-0"	2'-0"	DBL HUNG	T.B.D	
305	A	CUSTOM	2'-10"x7'-0"	2'-0"	DBL HUNG	T.B.D	

NOTES:  
 \* VERIFY ALL DIMENSIONS IN FIELD  
 \* ALL WINDOWS TO BE INSTALLED WITH GASKETS  
 \* GLASS SHALL BE TEMPERED WHERE REQUIRED PER CODE  
 \* GLASS TO BE LOW-E INSULATED GLASS, MAX U-VALUE 0.4, MAX SHGC 0.4, REF. T-24

### 4 WINDOW SCHEDULE

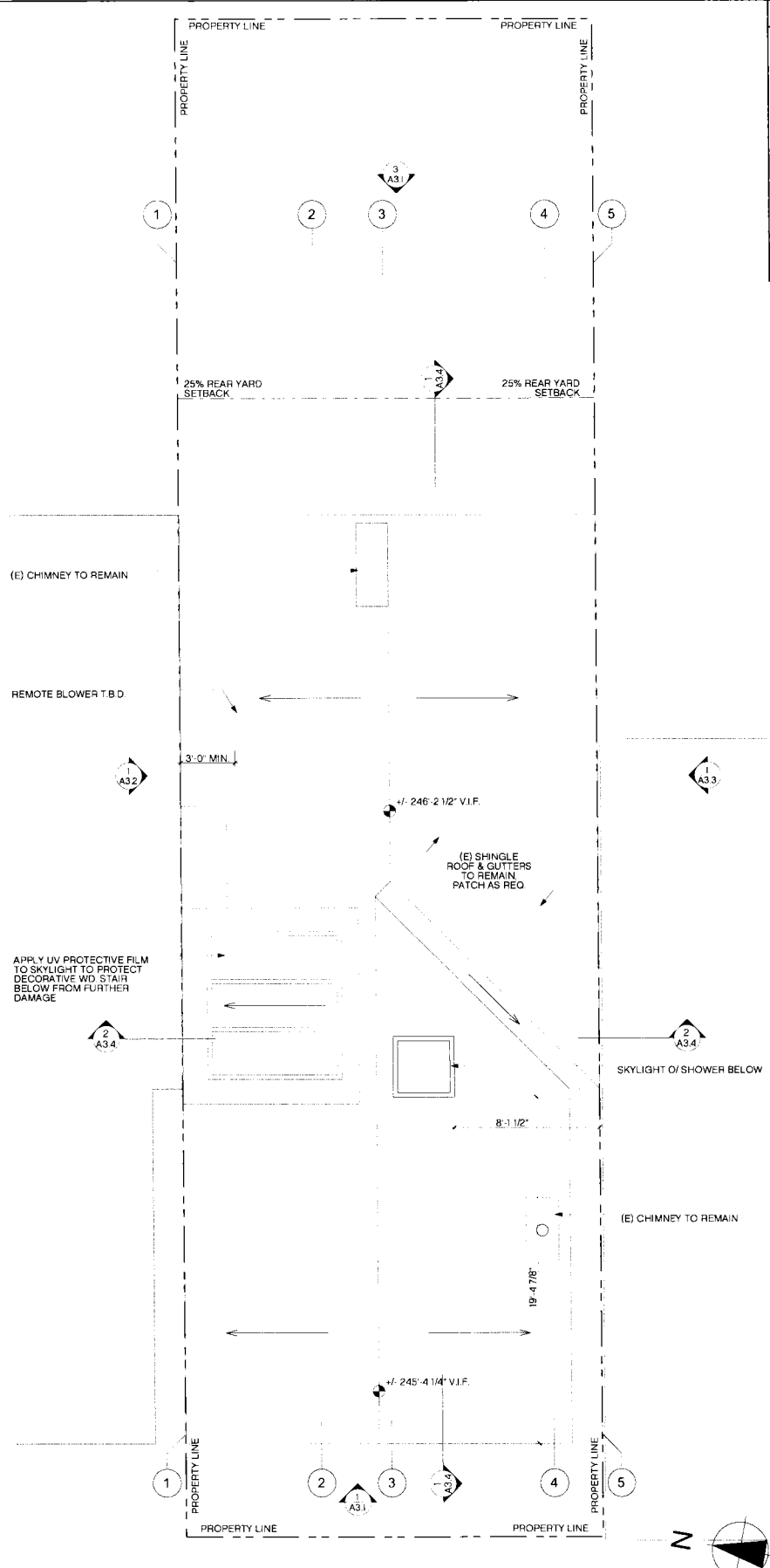


### 3 DOOR TYPES

1213 DOOR SCHEDULE								
MARK	TYPE	MFR.	WIDTH	HEIGHT	THK.	MATERIAL	HARDWARE	REMARKS
101	A	CUSTOM	2'-8"	6'-6"	0-1 3/4"	S.G. WD.	T.B.D.	HEIGHT PER 1008 1.1.5
102	B	CUSTOM	2'-8"	6'-8"	0-1 3/4"	S.G. WD.	T.B.D.	
103	C	CUSTOM	2'-8"	6'-8"	0-1 3/4"	S.G. WD.	T.B.D.	
104	D	CUSTOM	5'-0"	7'-2 1/2"	0-1 3/4"	P.G. WD.	T.B.D.	
105	E	CUSTOM	5'-6"	6'-8"	0-1 3/4"	P.G. WD.	T.B.D.	
106	B	CUSTOM	2'-6"	6'-8"	0-1 3/4"	S.G. WD.	T.B.D.	
107	A	CUSTOM	2'-8"	6'-8"	0-1 3/4"	P.G. WD.	T.B.D.	
108	B	CUSTOM	2'-6"	6'-8"	0-1 3/4"	S.G. WD.	T.B.D.	
201	F	REFURBISH (E)	2'-6"	7'-0"	0-1 3/4"	S.G. WD.	REFURBISH (E)	
202	F	REFURBISH (E)	2'-4"	7'-0"	0-1 3/4"	S.G. WD.	REFURBISH (E)	
203	G	CUSTOM	2'-6"	7'-0"	0-1 3/4"	S.G. WD.	T.B.D.	
204	H	CUSTOM	5'-9 1/2"	7'-0"	0-1 3/4"	S.G. WD.	T.B.D.	KEEP (E) TRANSOM ABOVE
205	J	CUSTOM	5'-2"	7'-0"	0-1 3/4"	S.G. WD.	T.B.D.	KEEP (E) TRANSOM ABOVE
301	F	REFURBISH (E)	2'-6"	7'-0"	0-1 3/4"	S.G. WD.	REFURBISH (E)	
302	F	REFURBISH (E)	2'-8"	7'-0"	0-1 3/4"	S.G. WD.	REFURBISH (E)	
303	K	CUSTOM	4'-6"	7'-0"	0-1 3/4"	S.G. WD.	T.B.D.	
401	L	REFURBISH (E)	2'-8"	6'-8"	0-1 3/4"	S.C. WD.	REFURBISH (E)	
402	M	CUSTOM	3'-0"	3'-10"	0-1 3/4"	P.G. WD.	T.B.D.	BLIND
403	M	CUSTOM	3'-0"	3'-10"	0-1 3/4"	P.G. WD.	SELF CLOSER	45 MIN. FIRE RATED, SELF LATCHING SEMI-BLIND
404	L	CUSTOM	2'-6"	6'-8"	0-1 3/4"	S.G. WD.	T.B.D.	
405	L	REFURBISH (E)	2'-8"	6'-8"	0-1 3/4"	S.G. WD.	REFURBISH (E)	
406	M	CUSTOM	2'-6"	3'-10"	0-1 3/4"	P.G. WD.	T.B.D.	BLIND
407	N	CUSTOM	3'-6"	3'-10"	0-1 3/4"	S.G. WD.	T.B.D.	
408	M	CUSTOM	2'-2"	6'-8"	0-1 3/4"	P.G. WD.	T.B.D.	BLIND

NOTES:  
 \* VERIFY ALL DIMENSIONS IN FIELD  
 \* ALL SWINGING DOORS TO BE PROVIDED WITH DOOR STOPS  
 \* ALL EXTERIOR DOORS TO BE WEATHER STRIPPED & INSTALLED WITH A GASKET  
 \* ALL GLASS TO BE TEMPERED U.G.M.  
 \* EXTERIOR GLASS DOORS TO USE LOW-E INSULATED GLASS, MAX U-VALUE 0.4, MAX SHGC 0.4, REF. T-24

### 2 DOOR SCHEDULE



### 1 PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

**LEGEND**

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL
- WOOD FLOOR
- PARQUET FLOOR
- CARPET
- TILE
- EPOXYED CONCRETE

Butler Armsden  
 2849 California Street  
 San Francisco CA 94115  
 t 415-674-5554  
 f 415-674-5556  
 e architect@butlerarmsden.com  
 www.butlerarmsden.com

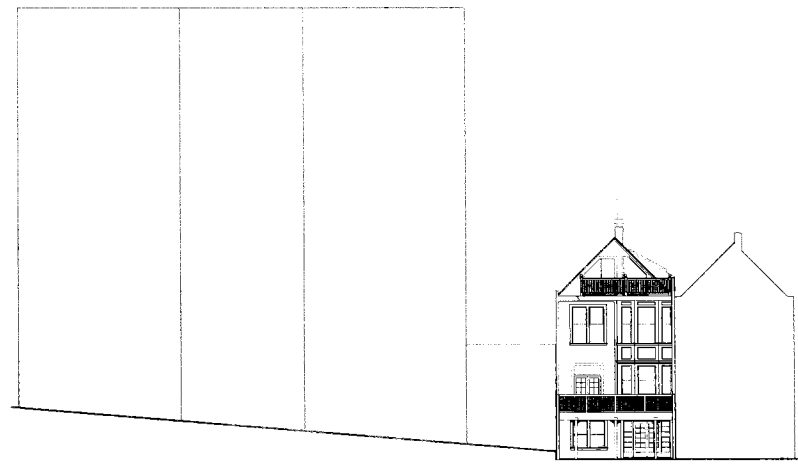
**RESTORATION OF 710 STEINER ST. RESIDENCE**  
 710 STEINER, SAN FRANCISCO, CA 94117

**PERMIT**

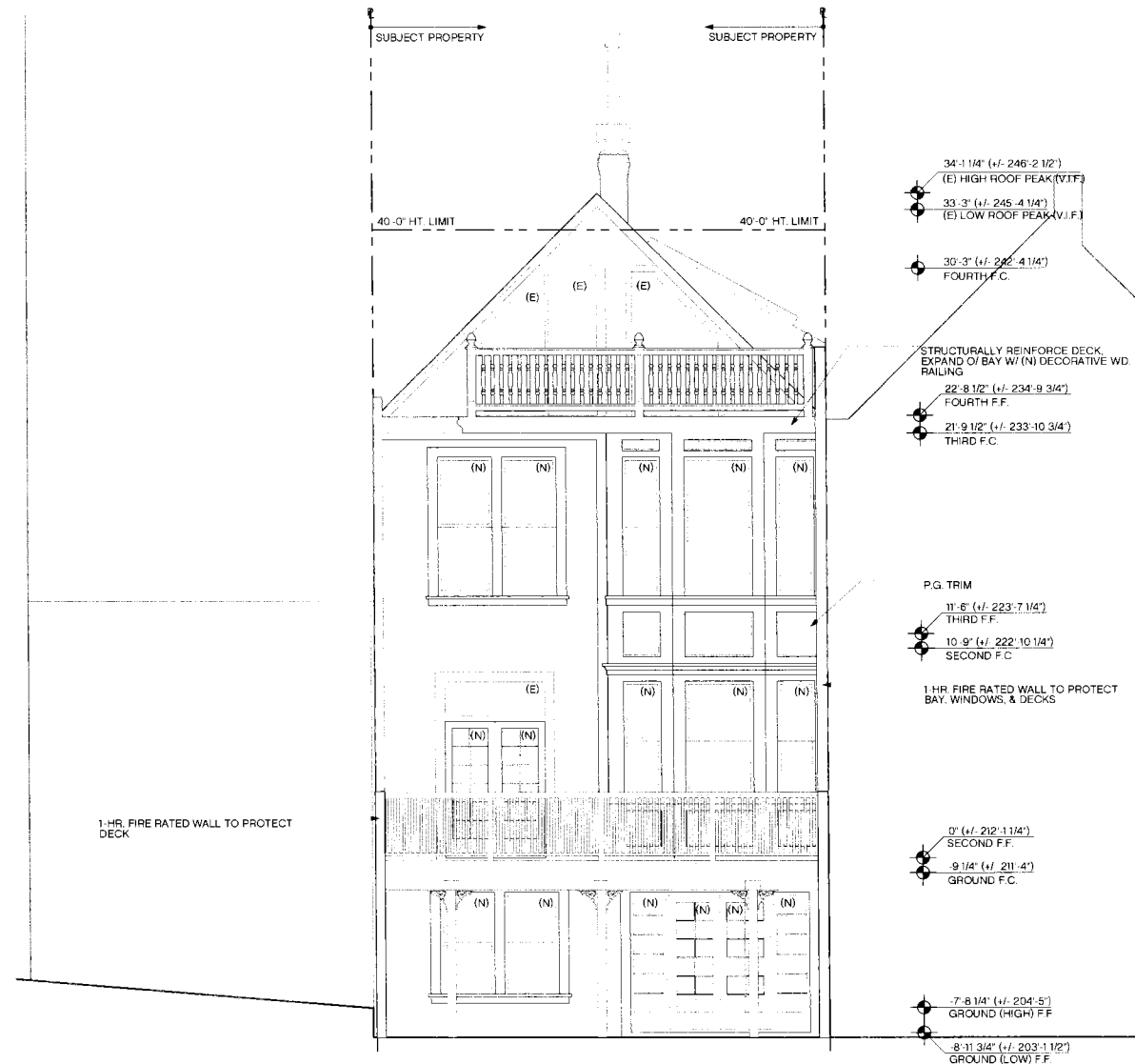
revisions	by:

job#: 1213  
 date: NOV. 28, 2012  
 drawn: LW  
 checked: RJ  
 scale: AS NOTED

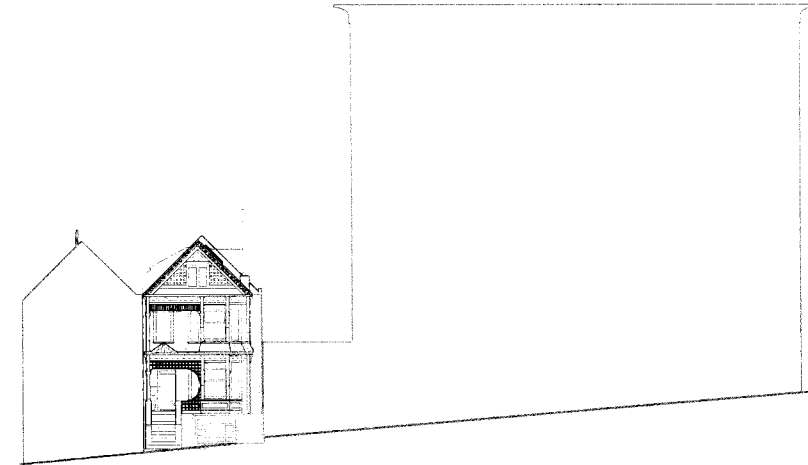
PROPOSED  
 PLANS / DOOR  
 SCHED.



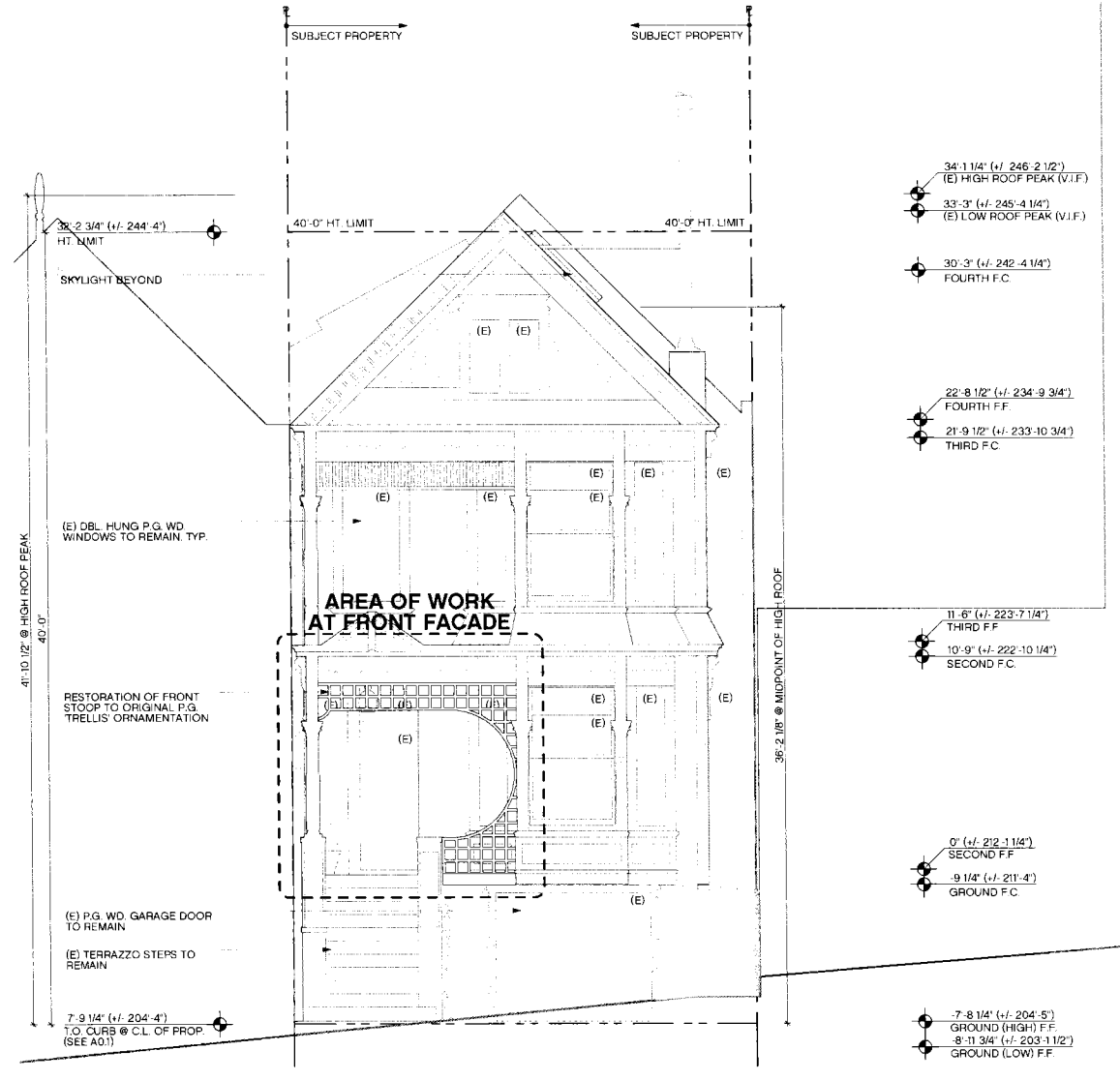
4 PROPOSED EAST ELEVATION WITH ADJACENT  
SCALE: 1/16" = 1'-0"



3 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION WITH ADJACENT NEIGHBORS  
SCALE: 1/16" = 1'-0"



1 PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"

RESTORATION OF 710 STEINER ST. RESIDENCE  
710 STEINER, SAN FRANCISCO, CA 94117

PERMIT

revisions by:

revisions	by:

jobs: 1213

date: NOV 28, 2012

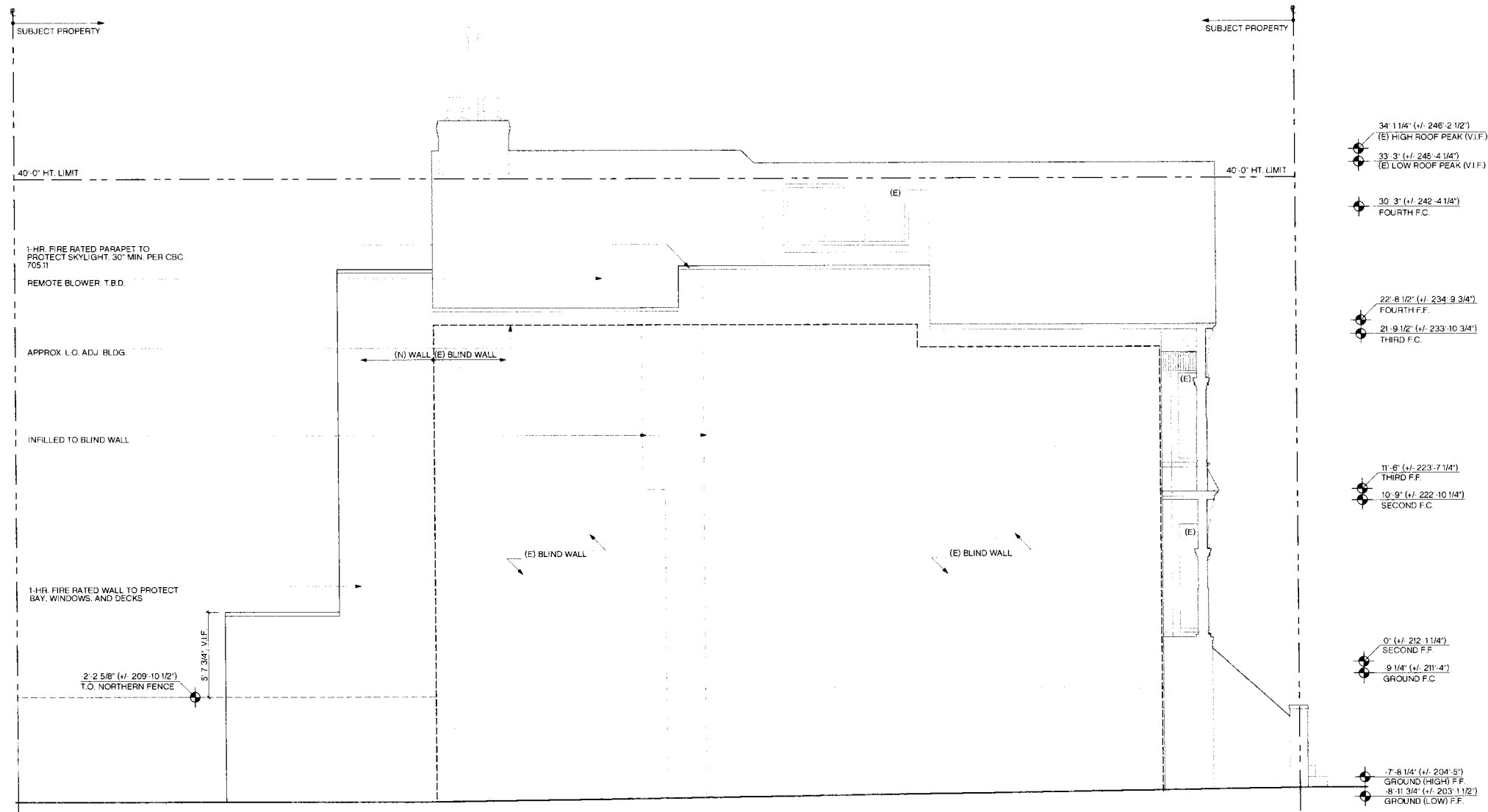
drawn: LW

checked: RJ

scale: AS NOTED

PROPOSED ELEVATIONS

**RESTORATION OF 710 STEINER ST. RESIDENCE**  
 710 STEINER, SAN FRANCISCO, CA 94117



**PERMIT**

revisions	by:

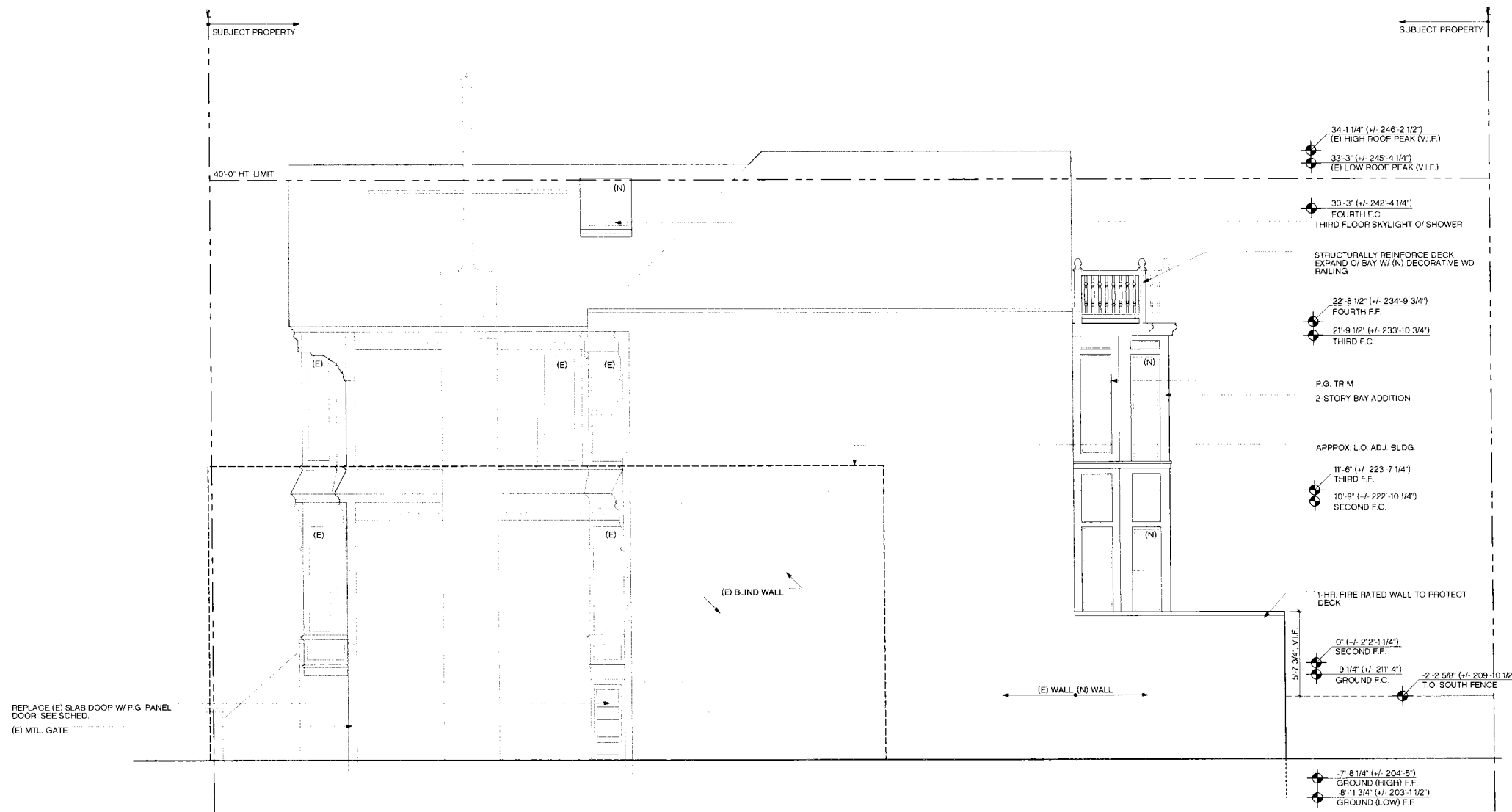
  

job#:	1213
date:	NOV 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

**1** PROPOSED NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"

PROPOSED ELEVATIONS

**RESTORATION OF 710 STEINER ST. RESIDENCE**  
 710 STEINER, SAN FRANCISCO, CA 94117



**PERMIT**

revisions	by:

job#:	1213
date:	NOV. 28. 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

**1** PROPOSED SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

PROPOSED ELEVATIONS

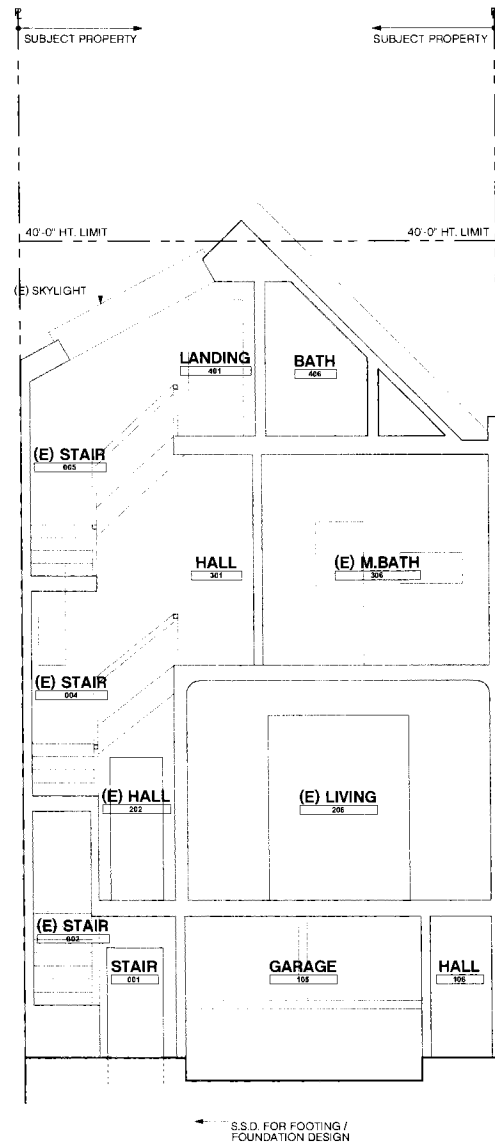
**RESTORATION OF 710 STEINER ST. RESIDENCE**  
 710 STEINER, SAN FRANCISCO, CA 94117

**PERMIT**

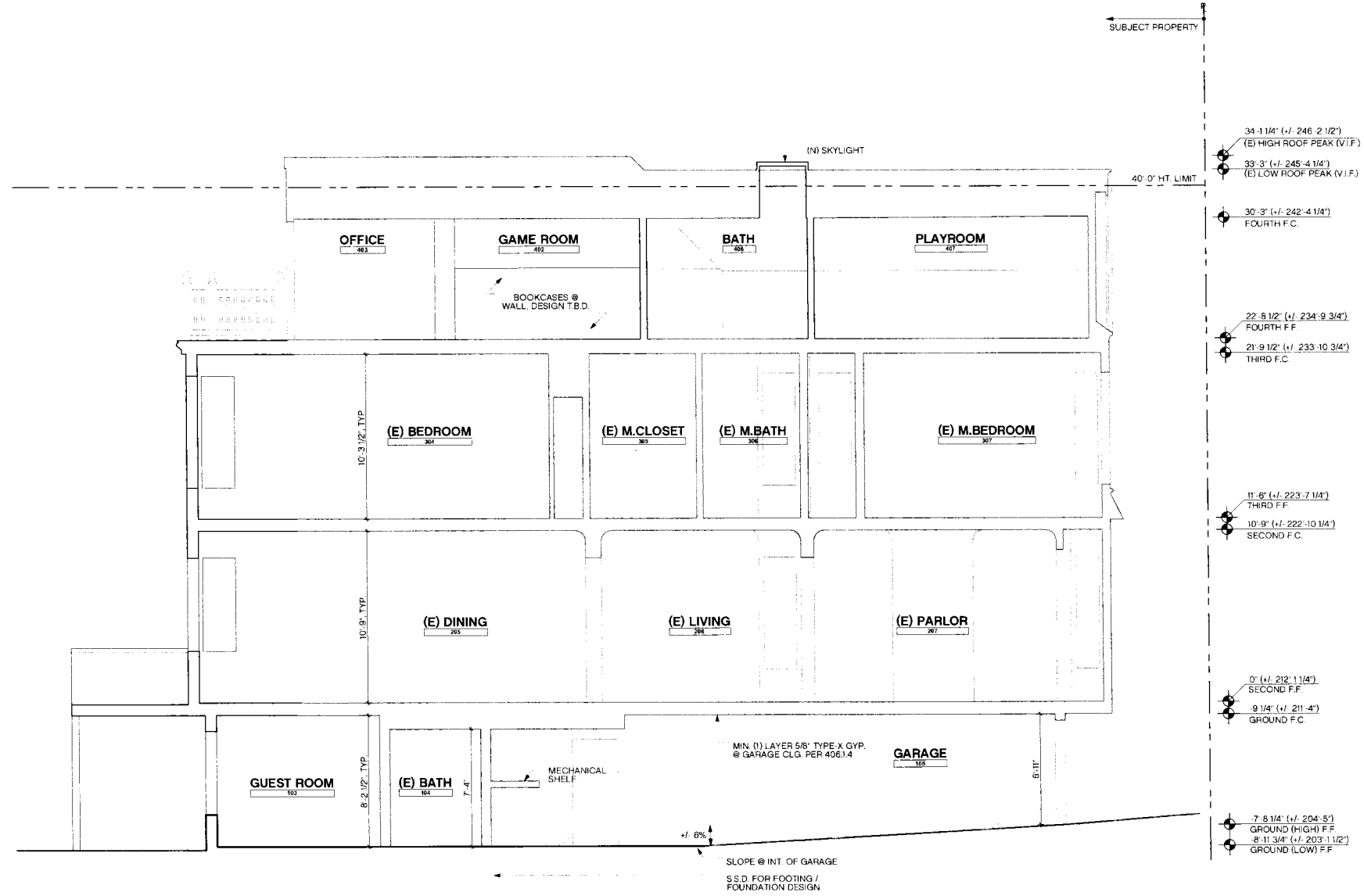
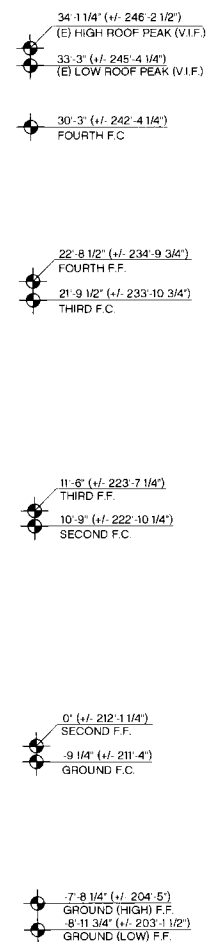
revisions	by:

job#:	1213
date:	NOV. 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

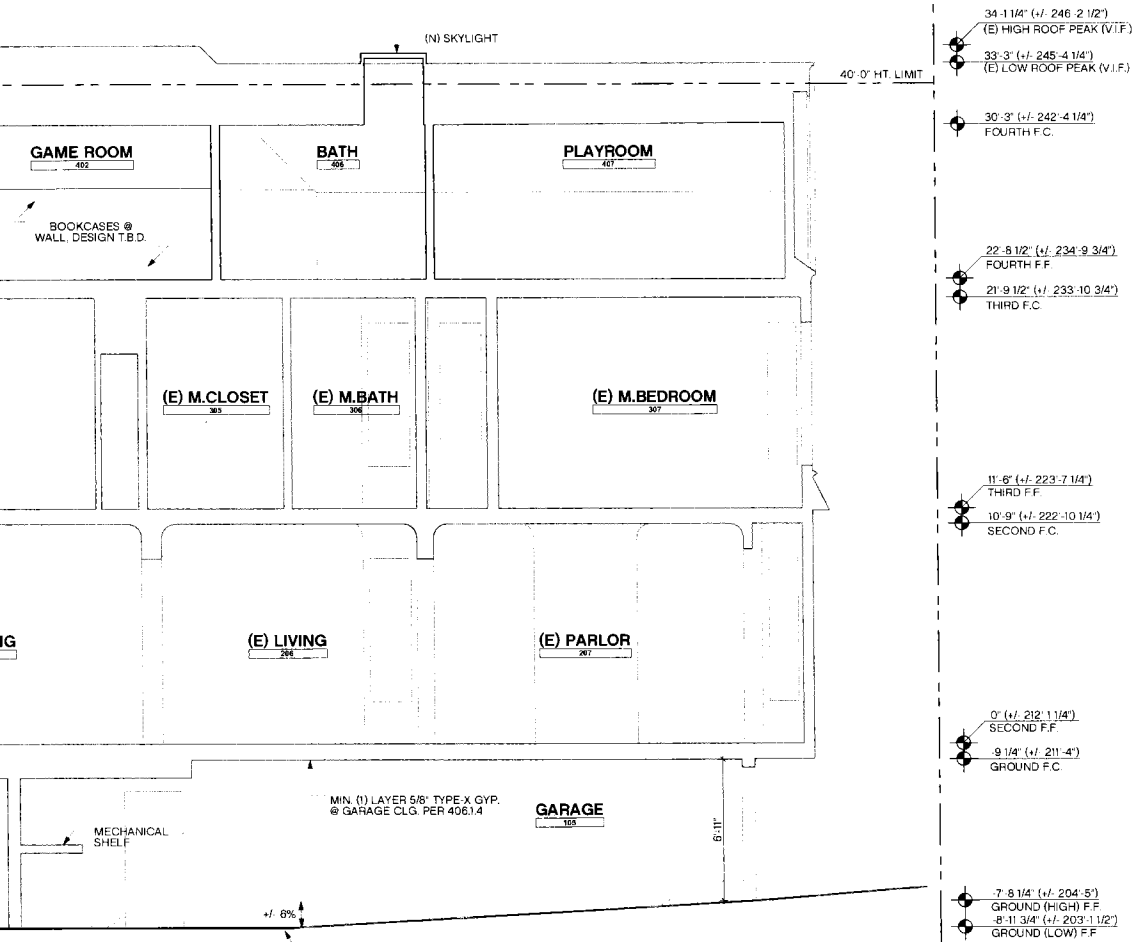
**PROPOSED SECTIONS**



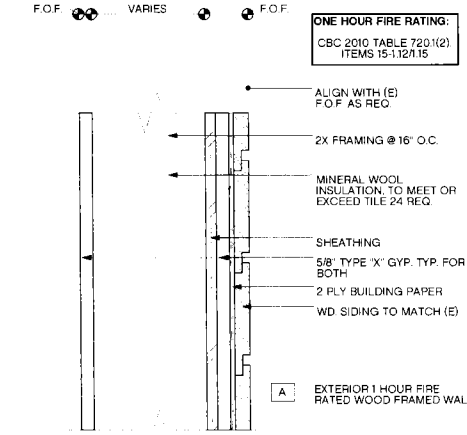
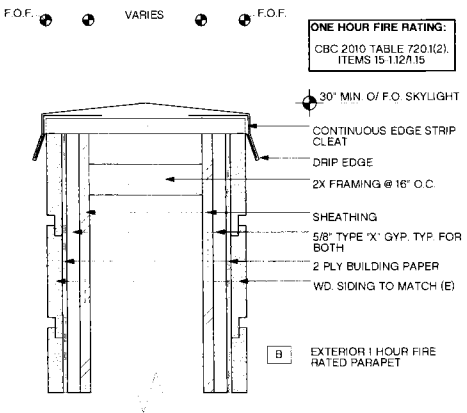
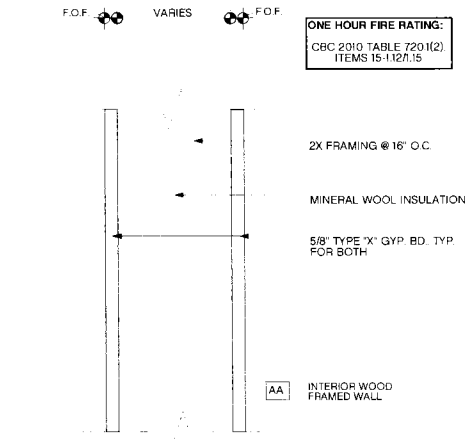
**2 PROPOSED CROSS SECTION**  
 SCALE: 1/4" = 1'-0"



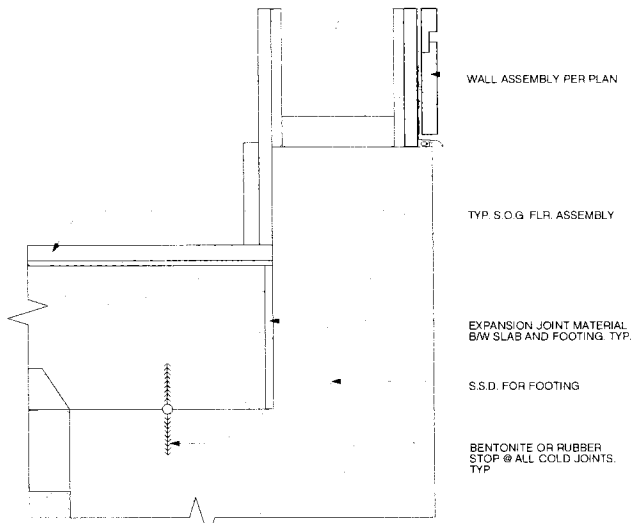
**1 PROPOSED LONGITUDINAL SECTION**  
 SCALE: 1/4" = 1'-0"



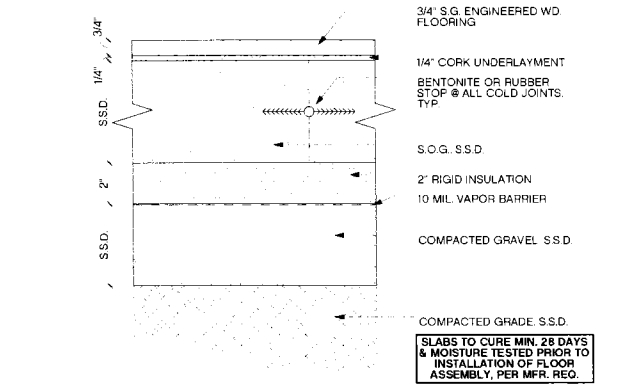




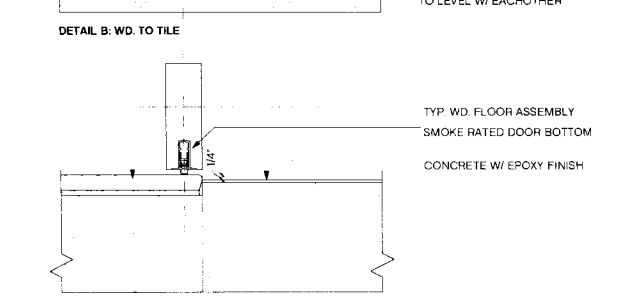
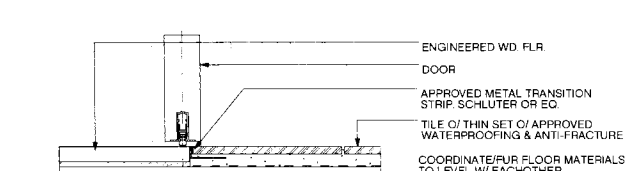
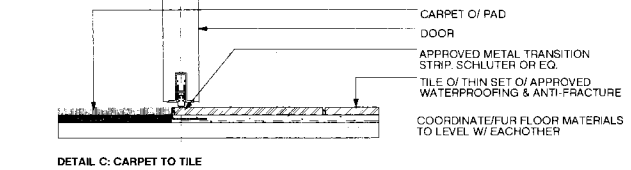
**10** SECT: TYP. WALL TYPES  
 SCALE: 3" = 1'-0"



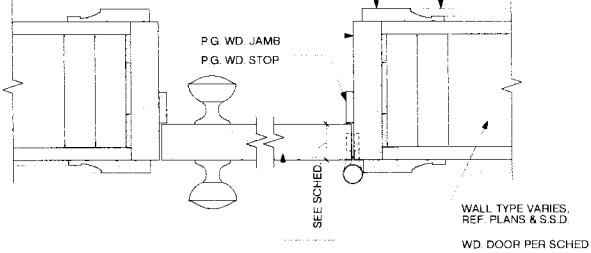
**9** SECT: TYP. @ STEM WALL  
 SCALE: 3" = 1'-0"



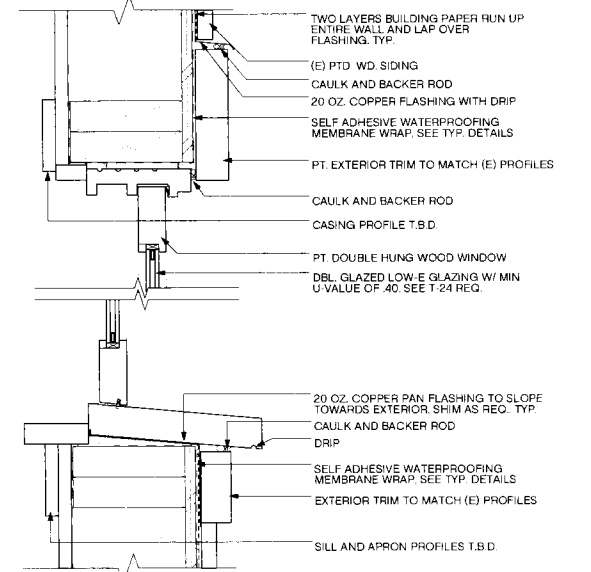
**8** SECT: TYP. S.O.G. ASSEMBLY  
 SCALE: 3" = 1'-0"



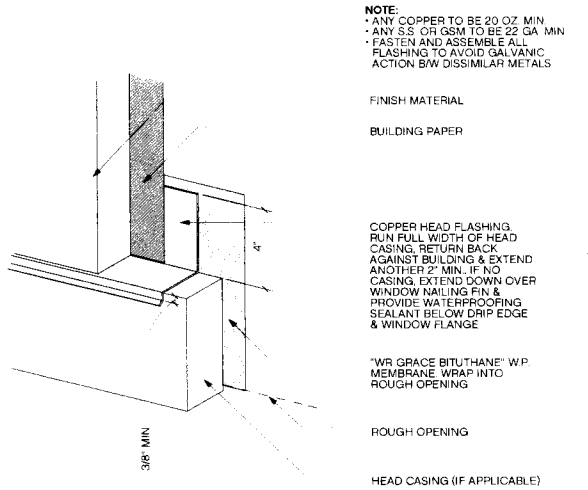
**7** SECT: TYP. THRESHOLDS  
 SCALE: 3" = 1'-0"



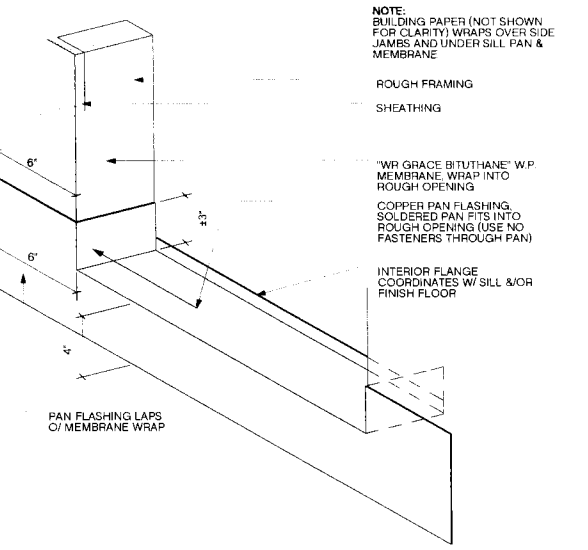
**5** PLAN: TYP. DR.  
 SCALE: 3" = 1'-0"



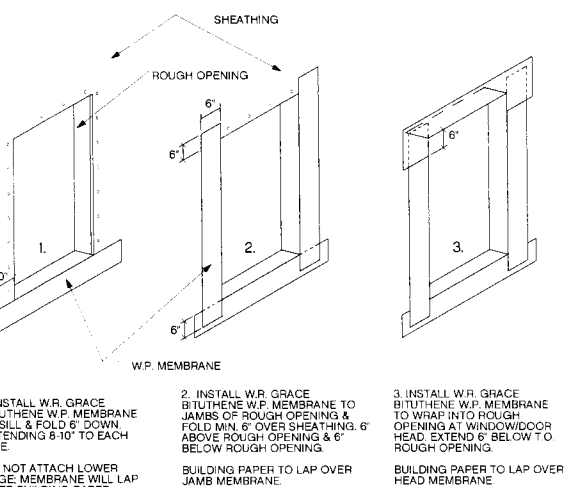
**4** SECT: TYP. WINDOW  
 SCALE: 3" = 1'-0"



**3** AXO: TYP. WINDOW / DOOR HEAD FLASHING  
 SCALE: 3" = 1'-0"



**2** AXO: TYP. WINDOW / DOOR PAN FLASHING  
 SCALE: 3" = 1'-0"



**1** AXO: TYP. WINDOW / DOOR W.P.  
 SCALE: 3" = 1'-0"

**PERMIT**

revisions	by:

job#:	1213
date:	NOV 28, 2012
drawn:	LW
checked:	RJ
scale:	AS NOTED

**DETAILS**