



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: FEBRUARY 20, 2013

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Filing Date: November 15, 2012
Case No.: **2012.1419A**
Project Address: **1475-1479 FOLSOM ST**
Historic Landmark: Landmark No. 199 – Jackson Brewing Co. Complex
Zoning: SLR (Service/Light Industrial/Residential) Zoning District
50-X Height and Bulk District
Block/Lot: 3520/030C
Applicant: Lawrence Badiner, Badiner Urban Planning
95 Brady Street
San Francisco, CA 94133
Staff Contact Richard Sucre - (415) 575-9108
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Reviewed By Timothy Frye – (415) 575-6822
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PROPERTY DESCRIPTION

1475-1479 FOLSOM STREET is one of several buildings located at the southeast corner of 11th and Folsom Streets (Assessor's Block 3520 Lot 030C), which constitute the **JACKSON BREWING COMPANY COMPLEX**. Originally constructed between 1906 and 1907 and 1912 and 1913, the Jackson Brewery Company Complex includes five brick masonry buildings (addressed as 1475, 1477, 1479, 1479A, 1489 Folsom Street and 301-04, 315-319 and 333 11th Street; Assessor's Block 3520 Lots 028A, 028B, 29, 30, 30A, 30B, and 30C), which have frontage onto 11th and Folsom Street.

1475-1479 Folsom Street is a part of a multi-story red brick masonry complex of building, which range in height from two to five-stories tall. The subject building has three distinct masses: a two-story portion with highly decorative brickwork visible along Folsom Street; a four-story portion with arched window openings and wood-sash windows, which is partially visible from Juniper Street; and a two-story portion accessed from an interior alley, which is also partially visible from Juniper Street.

PROJECT DESCRIPTION

The proposed project includes construction of a new roof deck (approximately 452 sq ft; measuring approximately 29-ft by 28-ft) on a two-story portion of the subject property, and the introduction of a new opening and insertion of a new metal and glass door on the east façade of the third floor of the four-story portion of the subject property. The new roof deck would face the interior of the subject lot, and would be visible from Juniper Street. The new roof deck would be constructed around the existing skylight, which will be maintained, and would require the relocation of some existing mechanical equipment. The new roof deck includes a new steel tube cable rail, which would be setback approximately 1-ft 6-in from the building edge.

OTHER ACTIONS REQUIRED

Proposed work requires a Building Permit.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project would maintain the subject property's current use as a mixed-use building with residences, ground floor commercial space and office space. The addition of the new roof deck requires minimal changes to the character-defining features of the subject property. Therefore, the proposed project complies with Rehabilitation Standard 1.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposed project maintains the historic character of the subject property, as defined by its character-defining features, including, but not limited to, the red brick masonry exterior, wood-sash windows, stone trim and other elements identified in the designating ordinance for the landmark.

The proposed project would require the removal of a small amount of historic red brick on the third floor of the east façade of the subject building, in order to install a new metal and glass door. This alteration occurs on a secondary façade, which is visible from Juniper Street, though not from 11th or Folsom Streets. Overall, this alteration does not impact the historic character of the property. Therefore, the proposed project complies with Rehabilitation Standard 2.

- Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The proposed project does not include the addition of conjectural elements or architectural features from other buildings. New work does not create a false sense of historical development and would be contemporary in character. Therefore, the proposed project complies with Rehabilitation Standard 3.

- Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The proposed project does not involve alterations to the subject building, which have acquired significance in their own right. Therefore, the proposed project complies with Rehabilitation Standard 4.

- Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

Although the project requires the removal of a small amount of red brick on the third floor of the east façade, the project would not impact the ability of the project to convey its distinctive features, finishes, construction techniques and examples of fine craftsmanship. The proposed project occurs on a secondary façade, is minimally visible from Juniper Street, and does not impact any red brick masonry, nor does it impact any of the existing wood-sash windows or decorative stone trim, which are character-defining features of the building. Therefore, the proposed project complies with Rehabilitation Standard 5.

- Standard 6:** Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed project is additive in nature and does not call for the repair or replacement of any feature. Therefore, the proposed project complies with Rehabilitation Standard 6.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed project does not involve chemical or physical treatments. Therefore, the proposed project complies with Rehabilitation Standard 7.

Standard 8: Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed project does not include work, which may require excavation or uncovering any archaeological resource. Therefore, the proposed project complies with Rehabilitation Standard 8.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project includes construction of a new roof deck above a two-story portion of the subject property and the insertion of a new metal and glass door on the east façade of the third floor of the four-story portion of the subject property. The new roof deck would be contemporary in design and would include a new steel tube cable rail around the perimeter. The roof deck would be setback approximately 1-ft 6-in from the building edge. This new roof deck is sufficiently differentiated from the landmark in detail, but is compatible in form, material and design. The new roof deck incorporates steel railings, which are compatible material with the industrial nature of the landmark property. This material palette is further reinforced by the glass and painted metal door, which has a matte finish and is configured in a manner so as to avoid any historic features, such as the adjacent window.

Overall, the proposed project maintains the historic integrity of the subject property and introduces elements which are compatible with the property's overall size, scale and architectural features. Therefore, the proposed project complies with Rehabilitation Standard 9.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project does not include any horizontal or vertical additions, and the construction of the new roof deck would not affect the essential form and integrity of the landmark property. The roof deck is additive in nature, and does not impact any of the major character-defining features of the subject property. Therefore, the proposed project complies with Rehabilitation Standard 10.

Summary: The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

PUBLIC/NEIGHBORHOOD INPUT

As of February 14, 2013, the Department has received two phone calls inquiring about the proposed project. These phone calls have not expressed either support or opposition to the project.

ISSUES & OTHER CONSIDERATIONS

The Department has no issue with the proposed project.

STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, Department staff have determined the following:

New Roof Deck: The proposed project includes construction of a new roof deck on the two-story portion of the subject property. Although contemporary in design, this new roof deck does not detract from the landmark and respects the character-defining features associated with the historic building. The roof deck incorporates compatible materials and is designed to avoid impact upon the historic red brick parapet. Further, the roof deck is designed around the existing skylight, which would be maintained in place. This work does not affect any elements identified within designating ordinance.

New Doorway on East Facade: The proposed project includes insertion of a new metal and glass door on the third floor of the east façade of the four-story portion of the subject property. As noted above, the insertion of a new door is consistent with the *Secretary of the Interior's Standards for Rehabilitation*, and is considered a compatible alteration. This new door is configured in a manner that avoids impact to the adjacent historic window. Further, the new door features a painted metal (matte) finish, which is compatible with the surrounding brick material and industrial character of the landmark, since it does not detract or draw undue attention from the building. To assist in the preservation of unique historic materials, Department staff has included a condition of approval for salvage of the red brick material for future use within repair and restoration efforts of the subject property (see below).

Summary: With the recommended conditions, Department staff finds that proposed work will be in conformance with the Secretary's Standards and requirements of Article 10, as the proposed work shall not adversely affect the special character or special historical, architectural, or aesthetic interest or value of the landmark and its site.

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. Prior to approval of the Building Permit, the Project Sponsor shall revise the scope of work and architectural drawings to salvage the existing red brick for future use and/or repair within other portions of the subject property. This red brick shall be stored on-site within the subject property, and may be used for repair and restoration within other portions of the subject property. The architectural drawings shall be updated to denote the location of the stored red brick.

ENVIRONMENTAL REVIEW STATUS

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class One Categorical Exemption (CEQA Guideline Section 15301) because the project involves exterior and interior alteration to the existing building and meets the *Secretary of the Interior's Standards for Rehabilitation*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation* and requirements of Article 10.

ATTACHMENTS

Draft Motion

Exhibits, including Parcel Map, Sanborn Map, Zoning Map, Aerial Photos, and Site Photos

Landmark Designation Ordinance

Architectural Drawings

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SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion

HEARING DATE: FEBRUARY 20, 2013

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Case No.: **2012.1419A**
Project Address: **1475-1479 FOLSOM ST**
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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 030C IN ASSESSOR'S BLOCK 3520, WITHIN THE SLR (SERVICE/LIGHT INDUSTRIAL/RESIDENTIAL) ZONING DISTRICT AND 50-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on November 15, 2012, Lawrence Badiner of the Badiner Urban Planning on behalf of Birmingham Development (Property Owner) filed an application with the San Francisco Planning Department (Department) for a Certificate of Appropriateness for a new roof deck and exterior alterations to the subject property located on Lot 030C in Assessor's Block 3520.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on February 20, 2013, the Commission conducted a duly noticed public hearing on the current project, Case No. 2012.1419A (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the

Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants a Certificate of Appropriateness with conditions, in conformance with the project information dated November 5, 2012 and labeled Exhibit A on file in the docket for Case No. 2012.1419A based on the following findings:

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. Prior to approval of the Building Permit, the Project Sponsor shall revise the scope of work and architectural drawings to salvage the existing red brick for future use and/or repair within other portions of the subject property. This red brick shall be stored on-site within the subject property, and may be used for repair and restoration within other portions of the subject property. The architectural drawings shall be updated to denote the location of the stored red brick.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the Jackson Brewing Co. Complex (Landmark No. 199) as described in Article 10 of the Planning Code.

- That the exterior alterations occur on secondary facades and are compatible in terms of material, finish and design with the landmark property.
- That the new roof deck does not destroy or damage historic materials, and would be compatible with the property's character-defining features.
- That the essential form and integrity of the landmark and its environment would be unimpaired if the alterations were removed at a future date.
- That the proposal respects the character-defining features of Landmark No. 199.
- The proposed project meets the requirements of Article 10.
- The proposed project meets the *Secretary of the Interior's Standards for Rehabilitation*, including:

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the Landmark No. 199 for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The project will not have any impact on any existing neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of Landmark No. 199 in conformance with the Secretary of the Interior's Standards for Rehabilitation.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will have no impact to housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is unaffected by the proposed work. Any construction or alteration associated with the project will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The project as proposed is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 030C in Assessor's Block 3520 for proposed work in conformance with the project information dated May 11, 2012, labeled Exhibit A on file in the docket for Case No. 2012.1419A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors, such as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historic Preservation Commission ADOPTED the foregoing Motion on February 20, 2013.

Jonas P. Ionin
Acting Commission Secretary

AYES:

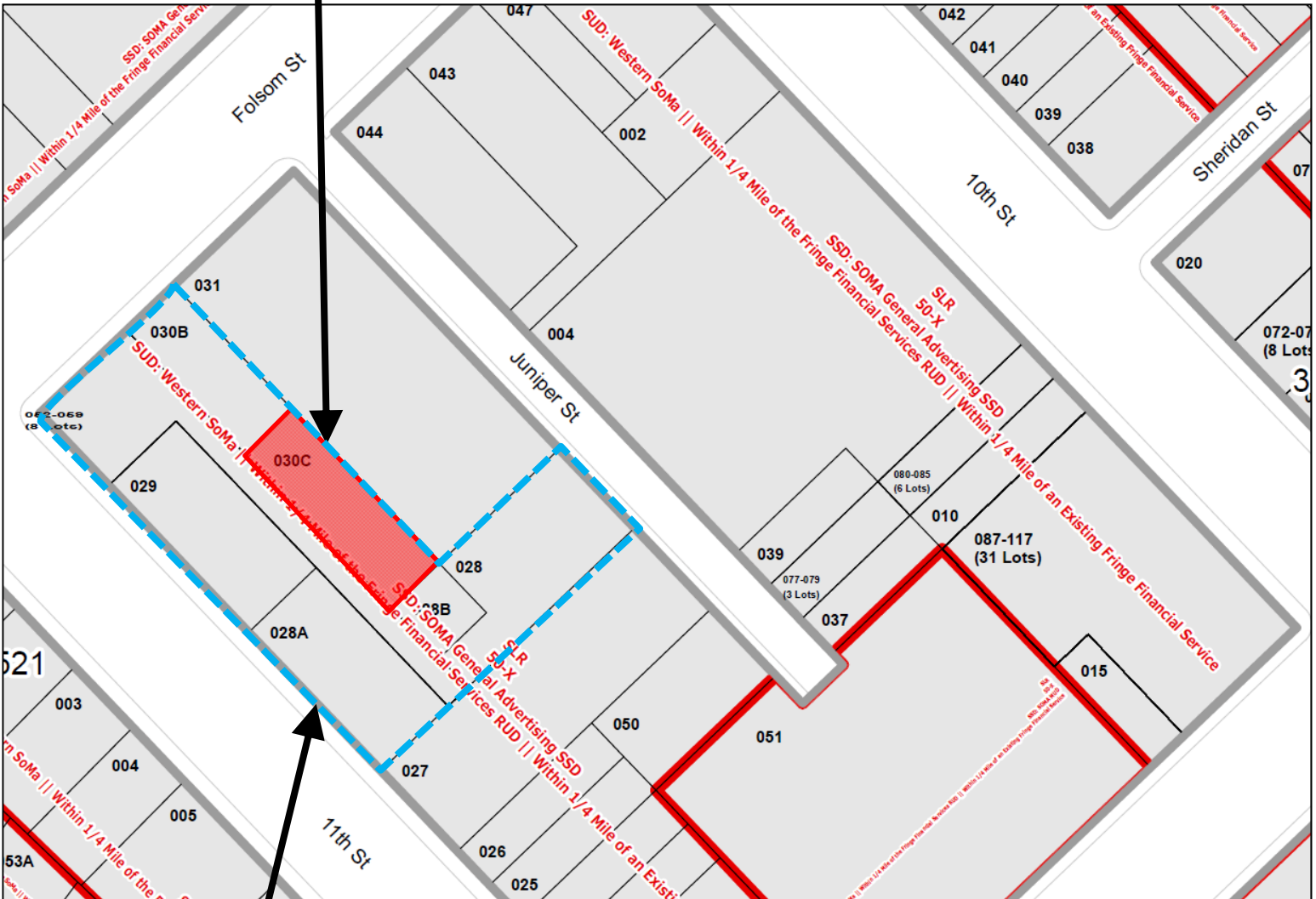
NAYS:

ABSENT:

ADOPTED: February 20, 2013

Parcel Map

SUBJECT PROPERTY

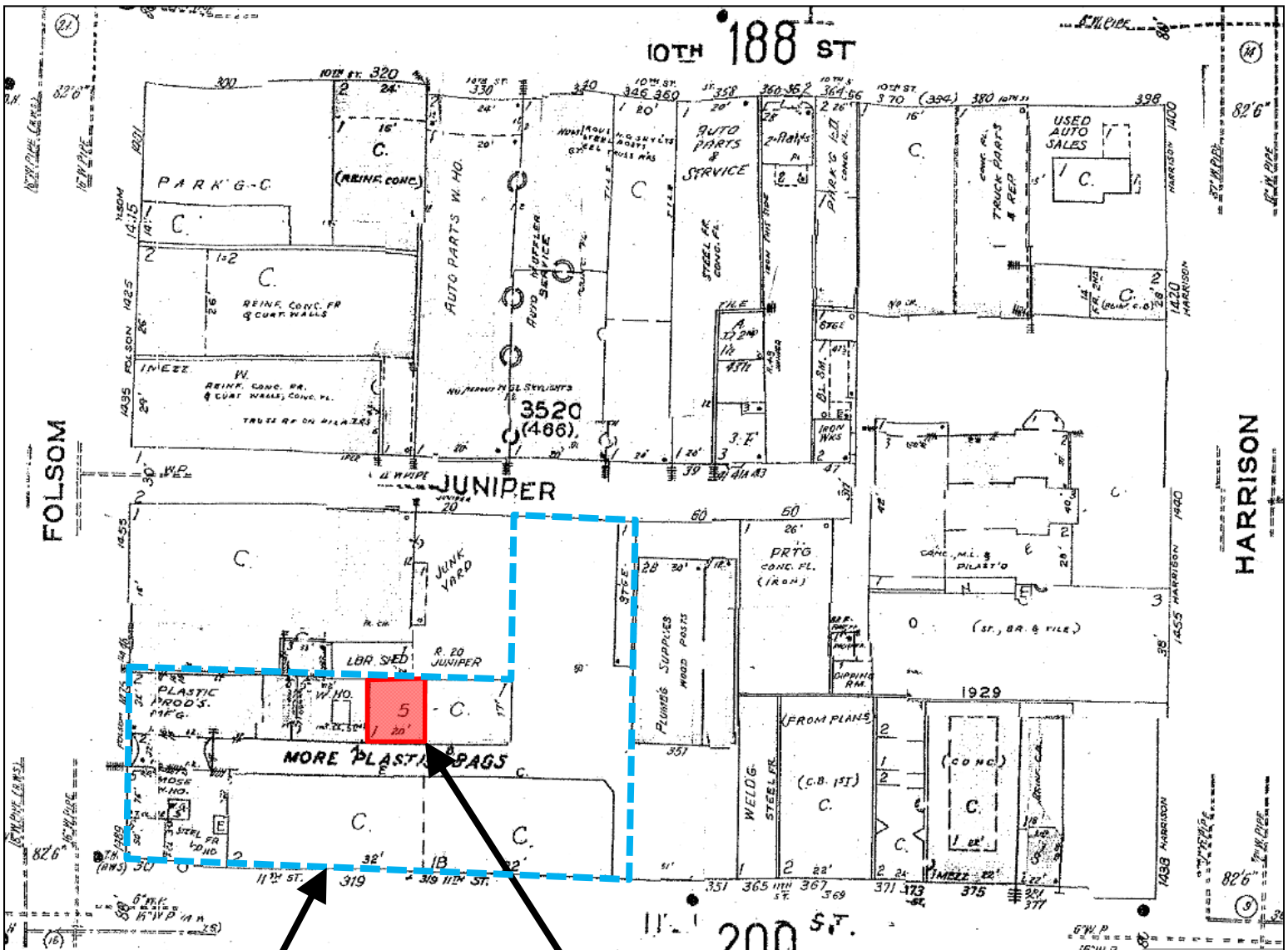


LANDMARK BOUNDARIES



Certificate of Appropriateness Hearing
Case Number 2012.1419A
1475-1479 Folsom St (Jackson Brewing Co Complex)

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

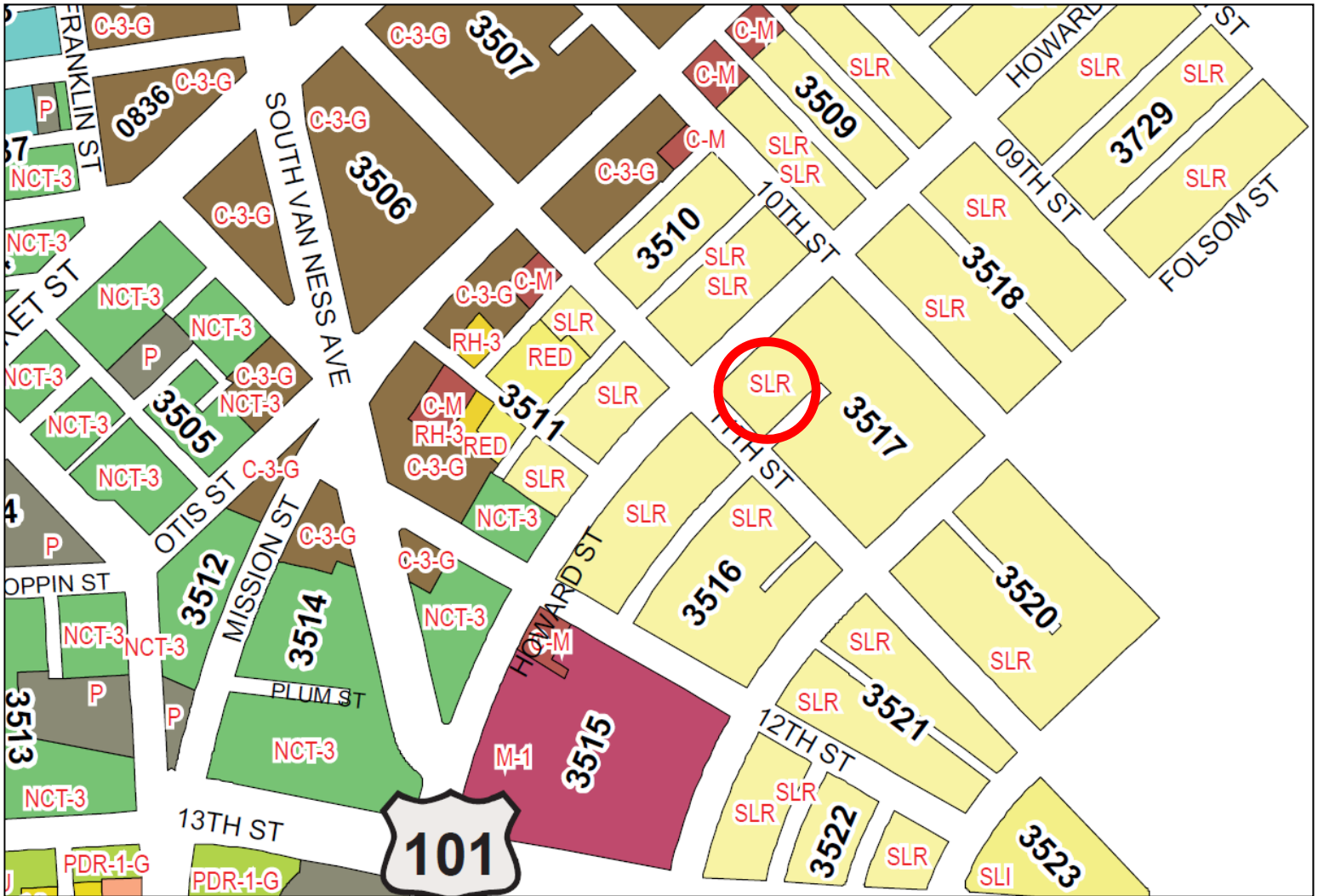
LANDMARK BOUNDARIES

PROJECT SITE



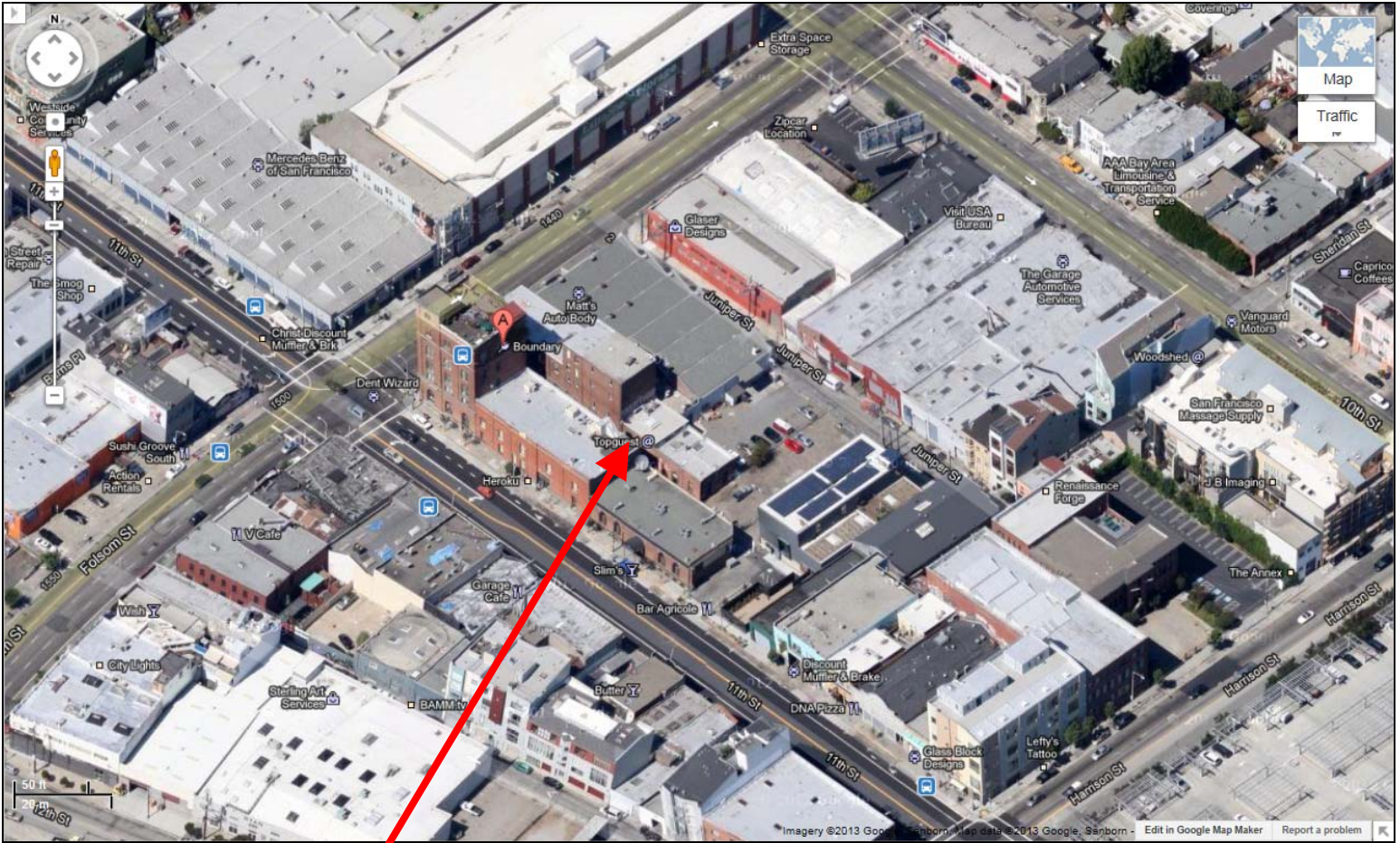
Certificate of Appropriateness Hearing
 Case Number 2012.1419A
 1475-1479 Folsom St (Jackson Brewing Co Complex)

Zoning Map



Certificate of Appropriateness Hearing
 Case Number 2012.1419A
 1475-1479 Folsom St (Jackson Brewing Co Complex)

Aerial Photo



SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2012.1419A
1475-1479 Folsom St (Jackson Brewing Co Complex)

Site Photo



1475-1479 Folsom Street, View of Folsom and 11th Streets
(Source: Google Maps, Accessed February 11, 2013; Image Date March 2011)

Certificate of Appropriateness Hearing
Case Number 2012.1419A
1475-1479 Folsom St (Jackson Brewing Co Complex)

Site Photo



1475-1479 Folsom Street, View along Jupiter Street
(Source: Google Maps, Accessed February 11, 2013; Image Date March 2011)

Certificate of Appropriateness Hearing
Case Number 2012.1419A
1475-1479 Folsom St (Jackson Brewing Co Complex)

(Landmarks)

DESIGNATING THE JACKSON BREWERY COMPANY COMPLEX AT 1475, 1477, 1479, 1479A, 1489 FOLSOM STREET AND 301-05, 315-319 AND 333 ELEVENTH STREET AS A LANDMARK PURSUANT TO ARTICLE 10 OF THE CITY PLANNING CODE.

Be it ordained by the People of the City and County of San Francisco:

Section 1. The Board of Supervisors hereby finds that Jackson Brewery Company Complex located at 1475, 1477, 1479, 1479A and 1489 Folsom Street and 301-05, 315-319 and 333 Eleventh Street, being Lots 28A, 28B, 29, 30, 30A, 30B and 30C in Assessor's Block 3520, has a special character and special historical, architectural and aesthetic interest and value, and that its designation as a Landmark will further the purposes of, and conform to the standards set forth in Article 10 of the City Planning Code.

(a) Designation: Pursuant to Section 1004 of the City Planning Code, Chapter II, Part II of the San Francisco Municipal Code, the Jackson Brewery Company Complex is hereby designated as a Landmark, this designation having been fully approved by Resolution No. 12048 of the City Planning Commission, which Resolution is on file with the Clerk of the Board of Supervisors under File No. 90-90-3 and is incorporated herein and made a part of hereof as though fully set forth.

(b) Required Data: The description of the location and boundaries of the Landmark site, of the characteristics of the Landmark which justify its designation, and of the particular features that should be preserved are included in the said Resolution, and incorporated in this designating ordinance as though fully set forth.

APPROVED AS TO FORM:

LOUISE H. RENNE

CITY ATTORNEY

By *[Signature]*

Deputy City Attorney

RECOMMENDED:

CITY PLANNING COMMISSION

By *[Signature]*

Dean L. Macris

Director of Planning

Passed for Second Reading

Board of Supervisors, San Francisco
November 19, 1990

Ayes: Supervisors Alioto, Britt, Gonzalez, Hallinan, ~~_____~~ Hsieh, ~~_____~~ Maher, ~~_____~~ Ward.

Absent: Supervisors Hongiato, Kennedy
Nelder, Walker

[Signature] Clerk

90-90-3 DEC 6 1990
File No. Approved

Read Second Time and Finally Passed

Board of Supervisors, San Francisco
December 3, 1990

Ayes: Supervisors Alioto, Britt, Gonzalez, Hallinan, Hongisto, Hsieh, ~~_____~~ Maher, ~~_____~~ Walker, ~~_____~~

Absent: Supervisors Kennedy, Nelder
Ward

I hereby certify that the foregoing ordinance was finally passed by the Board of Supervisors of the City and County of San Francisco.

[Signature] Clerk

[Signature] Mayor

File No. 90.197L
1475-1477, 1479, 1479A and
1489 Folsom Street and 301-05,
315-319, and 333 Eleventh Street

SAN FRANCISCO
CITY PLANNING COMMISSION
RESOLUTION NO. 12048

WHEREAS, A proposal to designate the Jackson Brewery Company Complex at 1475-77, 1479, 1479A and 1489 Folsom Street and 301-05, 315-319 and 333 Eleventh Street as a Landmark pursuant to the provisions of Article 10 of the City Planning Code, the Landmarks Preservation Advisory Board took an intent to initiate Landmark designation on July 18, 1990 and on August 1, 1990, said Advisory Board, after due consideration, recommended approval of this proposal; and

WHEREAS, The City Planning Commission, after due notice given, held a public hearing on September 20, 1990 to consider the proposed designation and the report of said Advisory Board; and

WHEREAS, This Commission believes that the proposed Landmark has a special character and special historical, architectural and aesthetic interest and value; and that the proposed designation would be in furtherance of and in conformance with the purposes and standards of the said Article 10;

THEREFORE BE IT RESOLVED, First, the proposal to designate the aforementioned structure, the Jackson Brewery Company Complex at 1475-77, 1479 and 1479A and 1489 Folsom Street and 301-05, 315-319 and 333 Eleventh Street as a Landmark pursuant to Article 10 of the City Planning Code is hereby APPROVED, the precise location and boundaries of the Landmark site being those of Lots 28A, 28B, 29, 30, 30A, 30B and 30C in Assessor's Block 3520;

Second, That the special character and special historical, architectural and aesthetic interest and value of the said Landmarks Preservation Advisory Board Resolution 431 as adopted on August 1, 1990 which Resolution is incorporated herein and made a part thereof as though fully set forth;

Third, That the said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and described and depicted in the photographs, case report and other material on file in the Department of City Planning Docket No. 90.197L.

AND BE IT FURTHER RESOLVED, That the Board hereby directs its Secretary to transmit the proposal for designation, with a copy of this Resolution, to the Board of Supervisors for appropriate action.

CITY PLANNING COMMISSION

File No. 90.197L
1475-1477, 1479, 1479A and
1489 Folsom Street and 301-05,
315-319, and 333 Eleventh Street
Resolution No. 12048
Page 2

I hereby certify that the foregoing Resolution was ADOPTED by the City Planning Commission on October 4, 1990.

Linda Avery
Secretary

AYES: Commissioners Bierman, Hu, Morales and Sewell

NOES: None

ABSENT: Commissioners Boldridge, Engmann and Karasick

ADOPTED: October 4, 1990

VFM:mj:804

BUILDING NAME:	Jackson Brewing Company Complex	OWNERS:	Bruce and Jeri Bartfeld Lot 28A - 333 Eleventh Street and Lot 28B - 1479A Folsom Street (Emberly).
BUILDING ADDRESS:	1475-77 Folsom Street; 1479 and 1479A Folsom (Emberly); 1489 Folsom and 305 11th Street; 315-19 and 333 11th Street		Josephine R. Johnson Rev. Living Trust, c/o Donald N. Johnson- Lot 29 - 319 Eleventh Street
ORIGINAL USE:	Jackson Brewing Company		Francisco R. and Elia Bruno - Lots 30 and 30A - 1489 Folsom Street and 305 Eleventh Street
CURRENT USE:	Offices, light manu- facturing, night club.		Chandler Flickinger, Mast H. Martin and Larry Stites - Lot 30B - 1475-1477 Folsom Street
BLOCK & LOT:	3520, 28A, 28B, 29, 30, 30A, 30B, and 30C.		Donald Neil Johnson - Lot 30C - 1479 Folsom Street (Emberly)
ZONING:	SLR	NO. OF STORIES:	One to Five
LPAB VOTE:	5-0	EXTERIOR MATERIALS:	Red Brick with wood and stone trim.

STATEMENT OF SIGNIFICANCE: A prominent visual landmark in this section of the South of Market area, the Jackson Brewery Complex is architecturally (cont.)

EVALUATION CRITERIA

A. ARCHITECTURE

1. Style: Romanesque Revival
2. Construction Type: Brick with concrete foundations; wood framing; some iron and steel.
3. Construction Date: 1906-07 and 1912-13.
4. Design Quality: Excellent.
5. Architect: James T. Ludlow, Engineer & Kaufman & Edwards, Contractors - 1912. 1905 and 1906-07 unknown.
6. Interior Quality: Not Applicable.

B. HISTORY

7. Persons: Jackson Brewing Company; William A. Fredericks family.
8. Events: - 1906 Fire and Earthquake; Prohibition.
9. Patterns of History: Post 1906 rebuilding; brewing industry.

C. ENVIRONMENT

10. Continuity: Establishes the character of its neighborhood.
11. Setting: Provides pedestrian scale and interest particularly down driveway.
12. Importance as a Visual Landmark: Extremely prominent due to height, massing and repetition of building materials.

D. INTEGRITY

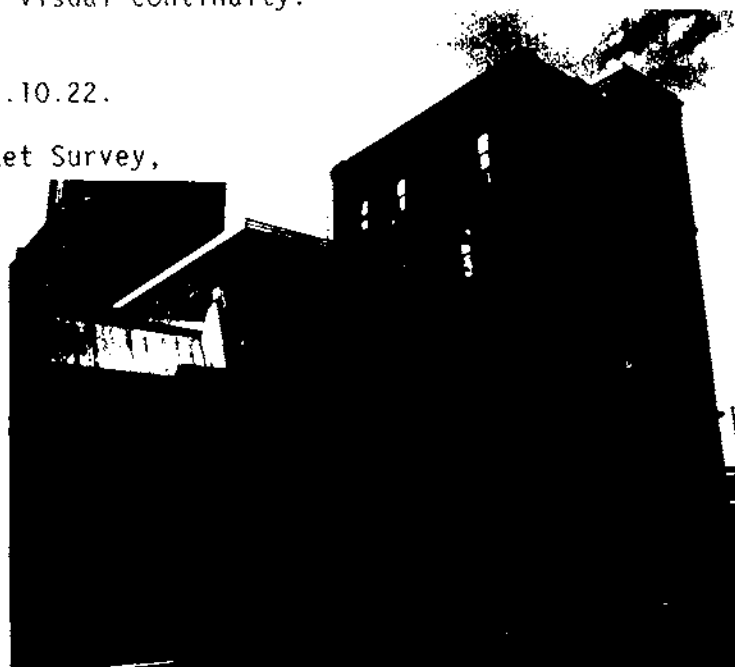
13. Generally intact. Most alterations are interior. 315-19 has been sandblasted; rear of 333 has been stuccoed and additions above loading platform are later. Some 1989 earthquake damage. Brick wall of 1489 removed in 1940's to permit removal of machinery and replaced, but changed do not affect visual continuity.

RATINGS

DCP: 4 and South of Market Plan Page II.10.22.
 HERE TODAY:
 SPLENDID SURV.: B-Rating; South of Market Survey,
 Page 223
 NAT'L REGISTER:
 NAT'L LANDMARK:
 STATE LANDMARK:

BIBLIOGRAPHY (See Page 6)

STAFF: Vincent Marsh, Secretary, L.P.A.B.
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 PHONE: (415) 558-6343
 DATE: August 1, 1990



STATEMENT OF SIGNIFICANCE/EVALUATION CRITERIA (Cont.) significant, and has been so recognized in all applicable surveys; buildings within the complex date from two post-1906 building periods, 1906-07, and 1912-13, following the collapse of newly-constructed (1905) buildings during the 1905 earthquake and fire. Dating to 1859-1860, the Jackson Brewery, which later became known as the Jackson Brewing Company, is the last remaining turn-of-the-century type brewing complex composed of a series of low-rise brick buildings, each with its own purpose and use. While the Jackson Brewery was one of the earliest breweries in San Francisco, it owes its long-term success to the vision of William A. Frederick and his family who purchased it from its founders circa 1867, and operated it until prohibition in 1920. The complex remained in family ownership until 1943, following the death of Mary L. Frederick, when the complex and adjoining property were cut into lots, a process that was not completed until 1949.

LOCATION AND BOUNDARIES: The Jackson Brewery Complex is located in the more westerly section of the South of Market area and is protected by the newly adopted South of Market Plan which notes the architectural and historical significance of each of the buildings herein proposed for designation. As noted above, the buildings are located in Lots 28A and 28B, 29, 30, 30A, 30B, and 30C in Assessor's Block 3520. These were selected as they contain the extant masonry buildings that were essential to the working brewery. However, it must be noted that the Frederick family holdings in the area were once greater and included what is known as Lot 31, which lies to the East and measures 91 feet in width along Folsom Street by 206.25 in depth along Juniper; and Lots 27 and 28. Lot 27, with a 60 foot frontage on Eleventh Street that runs through to Juniper for a depth of 191 feet, has been the home of Purves Supply Company, specializing in plumbing supplies, since 1950; the same company purchased Lot 28, an irregularly shaped parcel with 22 feet adjacent to Lot 28B, and with a 48.75 foot frontage on Juniper, circa 1976. The only structure on Lots 27 or 28 that could relate to the brewery is a long rectangular wooden shed with sliding doors, probably on Lot 28; this shed relates to a similarly shaped one on the 1913 and following Sanborn Fire Insurance Maps.

Although the driveway (Lot 30A) is known by some residents as Emberly Street or Alley, the name is not officially recognized by the City and County of San Francisco. The name seems to have been given to 1479 Folsom in 1971, when photographer T. Gordon Emberly leased studio space there.

HISTORY:

The Jackson Brewery was founded in 1859-1860 by Thomas E. Green and Jacob Lynn, who formed Green and Lynn, proprietors of the Jackson Brewery located on the East side of First Street between Howard and Folsom. Prior to that time, Mr. Lynn and his son, Jacob, Jr., had been employed by the Lion Company Brewery which had absorbed the pioneer Eagle Brewery in 1853, after its founding in 1852 by Judge S. L. Burrett. In 1867, the partnership sold the brewery to the gentleman who became known as William A. Frederick by 1876-77: In 1870, Frederick's name is listed as Fread; in 1871, Freaderek; and in 1875 as Fradericks.

According to the Great Register of 1869, Mr. Frederick came to the United States from Prussia. When he landed and what route he took or why he came are not known, but he seemingly arrived in San Francisco in 1860, at the age of 25, and was employed as a bartender until 1862, when he found employment first as a clerk and then as a brewer with Henry Hayen, proprietor of the Saint Louis Brewery. When Hayen's proprietorship ceased circa 1864, Frederick seems to have gone into the grocery and liquor business, a field that appealed to many of German ancestry according to Hart, until 1866-67, when, in partnership with grocer, wine and liquor merchant Joseph Behrens, he became proprietor of the Jackson Brewery.

According to the 1867-68 City Directory, "there are 24 establishments in San Francisco where fermented liquors were made during the past year. The barley used for the malt is grown in California as is also the larger portion

of the hops used, the latter being considered better than Eastern grown on account of their greater strength and aroma." The article continues, saying that in 1866, there were 17 breweries in San Francisco that employed 138 men and made "76,602 barrels of beer, a 25% increase over the previous year." The largest breweries were Lyon & Co., Hoelscher & Wieland, and the Spreckels Brothers.

As late as 1870, Jacob Lynn, the previous proprietor, still is listed as assisting Mr. Frederick at the Jackson Brewery located at 235 First Street. By 1871, however, Mr. Frederick had moved the Jackson Brewery to the North side of Mission between Tenth and Eleventh Street which would be its permanent location until 1905; the brewery address was 1428 Mission Street with the Frederick residence located at 1426 Mission. Meanwhile, Thomas E. Green, Jr. went into the brewing business for himself at the First Street address, founding Green's Brewery in 1871, followed by the Dublin Brewery in partnership with an Arnold D. Elfers in 1872; both appear to have been short-lived.

William A. Frederick died circa 1885, following which the Jackson Brewery was operated by his widow Mary, also known as Mrs. William A., in cooperation with George Schafer and Daniel Sullivan, as joint proprietors under the name of W. A. Frederick & Co. In 1886, son William A. Frederick, Jr. became the manager of the brewery; in 1896, when he became president, the firm name was changed to the Jackson Brewing Company with Mr. Sullivan as Vice-president and Mr. Schafer as Secretary. Other family members employed at the brewery over the next decade include George W. who rose to Secretary by 1907, Clement L. and Joseph S.

By 1894, Mrs. Frederick had purchased a parcel of land at the southeast corner of Eleventh and Folsom with a Folsom Street frontage of 100 feet and a depth along Eleventh of 152 feet. According to 1886 and 1899 Sanborn maps, this was the location of the Star Malt House which was conveniently situated to the Brewery's on Mission Street location. Originally known as the Star Brewery and Malt House, this enterprise was founded circa 1880, by Samuel and Henry Rosener; prior to venturing into the malt business, Samuel Rosener was President of the Bay Soap and Candle Co. Between 1901 and 1906, Mrs. Frederick had purchased an additional 173 feet along Eleventh Street, presumably in anticipation of the 1905 construction that succumbed to the 1906 Earthquake and Fire. Following the 1906 disaster, the company seemingly built a small building on the southerly end of the Eleventh Street side of the parcel which is visible on the 1913 Sanborn Maps and is listed there and in the City Directories as 351 Eleventh Street; this building housed the Brewery's offices until more permanent space was constructed as late as 1912.

No information has surfaced with respect to the architect or designer of the 1905 construction which is probably just as well since the project was severely criticized in the U.S. Geological Survey's 1907 The San Francisco Earthquake and Fire of April 18, 1906 and their effects on structures and structural materials. On page 39, Richard Lewis Humphrey states: "That this building should have been wrecked is not surprising, as the design was bad and the material and workmanship were very poor". Among other defects, he noted the poor quality of the lime mortar, lack of reinforcing in concrete foundations, inadequate bolting, and girders and beams, often supported only by cast iron columns, not tied into walls. Plate xxxvii in the rear of that book not only shows the magnitude of the devastation but also provides valuable insights into the present day replacement buildings. For example, note the repetition of horseshoe arches above windows along the perimeter of the ground floor, and note also the central basket handle entry arch. These features have led to rumor and speculation that the easterly portion of the complex survived the 1906 disaster. Considering the degree of destruction and the poor quality of design, workmanship and materials, this is highly unlikely. Far more plausible is that the redesigned and rebuilt project contained as many architectural elements as possible from the previous designs which clearly appealed to the owners. Another reason many owners built near replicas of previous structures was to save the time re-design would have required. This seems particularly likely here as "an index of buildings

permits lists one for \$35,000 in November 1906 and another in May 1907, but the permits themselves are lost". (Bloomfield report dated July 1986 on file at the Department of City Planning.)

The first post-1906 permit pertinent to this complex that remains in City records is a well-documented one dated September 5, 1912, and numbered 448444. According to Bureau of Building Inspection staff, a second permit numbered 44843 was applied for at the same time, but it, too, is lost. The project was also duly noted in the San Francisco Chronicle that year in a brief article entitled "New Brewery Buildings" which states:

"Contracts are being let by the Jackson Brewing Company for a brewery and bottling plant. When complete the plant will include a large malthouse, brewhouse, cold storage cellars to hold 20,000 barrels, bottling house with a capacity of 150 barrels of beer a day or 45,000 bottles, beside complete power plant, wash house, cooper shop, stables, garage, offices, etc. All the latest and most approved methods and machinery are being adopted. James T. Ludlow, the civil engineer, is constructing the buildings upon the company's land at Eleventh and Folsom Streets."

Careful analysis of the 1912 permit, particularly the site plan on the cover sheet, appears to shed light on the construction dates of buildings within the complex. The application page notes that this permit is for the Bottling House which is shown on the site plan in the southeast corner of the complex, one of the areas that is shaded. One note on the cover sheet says: "This applies to the 5 story building" which would seem to indicate the corner building, also shaded and labelled "Office" and "Brew House". Another shaded area is what is now known as Lot 28B which was to be the Engine House, and which was not constructed in time for inclusion in the 1913 Sanborn Maps. Yet another note, this appearing on what we now know as Lot 28A at 333 Eleventh Street, indicates "Wash House - Present Platform" which suggests that areas not shaded were existing and not covered by this permit. An examination of other non-shaded areas and the 1913 Sanborn Maps indicates that 1475-77 Folsom was known as the Malt House which contained Malt Drums, and to the rear, the Malt Kiln followed by the Boiler. With the information available then, it seems reasonable to suppose that buildings in non-shaded areas may have been constructed in 1906-1907.

The Jackson Brewing Company continued to prosper until Prohibition became the law of the land in 1919, forcing its closure. At that time, it was the last successful, family owned and operated brewery dating to the 1850's. Its 50,000 barrel a day output was rivalled and then exceeded only by one other pioneer firm, founded in 1856, the John Wieland/Philadelphia Brewery that produced 120,000 barrels a day beginning in 1890, when it was absorbed by San Francisco Breweries, Ltd., an English "syndicate" that eventually controlled ten Bay Area breweries.

Numerous sources cite William Bull's Empire Brewery as San Francisco's first, dating to 1849-1850. By 1856, there were some 15 breweries to serve a population of approximately 40,000. "Most of the early brewers produced 'steam beer', a bottom-fermentation brew that was fermented at a higher temperature and more quickly than lager beer. Lack of refrigeration made lagering (slow fermentation at lower temperatures) also impossible, so that breweries either made top-fermentation ales and porters, or steam beer" until the advent of refrigeration in the late nineteenth century. (Downard.) Notations on the 1913 Sanborn maps indicate that the Jackson Brewery was still producing steam beer at that time. "By 1880, San Francisco had almost 40 breweries, most of them fairly small in comparison with the national brewers, but the number declined gradually thereafter to nineteen by 1910 and four by 1935". (Downard.) As noted above, the numbers of breweries across the country declined in the later 1880's and into the 1890's with the advent of the English syndicates; these were followed in 1916, in San Francisco, by the consolidation of six breweries, thus increasing their chances of survival. Apparently not feeling the threat of the times, the Jackson Brewery remained independent.

During Prohibition, breweries in San Francisco and across the country took the steps necessary to engage in other businesses: bottling, soft drinks, medicines, medicinal and industrial spirits, cereals, malt products and the like. However, there is no indication of any activity within the Jackson Brewery complex during that period, although the brewery continued to be listed in the City Directories. William A. Frederick, Jr. turned to banking, becoming a vice-president of the Humboldt Savings Bank. This was not a completely new experience for him as he had held an identical position with the Germania Trust Company in 1901-1902. Mrs. William A. Frederick (Mary) apparently died in 1923-24, and her son perhaps followed circa 1925-26, leaving the Jackson Brewery to daughter Miss Mary L. Frederick.

When Prohibition ended in 1933, other breweries reopened, but the Jackson did not although it continued to be listed in City Directories under breweries at least through 1936.

During this same period, however, there were several transactions with respect to the Frederick family land holdings at Eleventh and Folsom Streets. On November 11, 1915, Mary Frederick transferred title to what later became known as Lots 27 through 33 to the Jackson Brewing Company. In 1926, Lots 27 through 30, and 33 were conveyed to Mary L. Frederick. In the meantime, Lots 31 and 32, which are now known as Lot 31, had been conveyed to Kleiber Motor Company, motor truck manufacturers, a major land holder in the square block from 1919 until 1935.

In January, 1942, Miss Mary L. Frederick died leaving the bulk of her \$300,000 estate to charity. In September, 1943, ownership of the Jackson Brewery complex and lands passed to Dickran Berberian, a wholesale liquor dealer in the 100 block of Townsend Street who resided with his wife Erin at 325 Castenada. Between 1945 and 1951, all of these lands were conveyed through California Pacific Title Insurance Company where pieces of land were partitioned into lots and sold. Lot 27 was the first to be divided with a small portion going to building contractor Alfred H. and Mary J. Vogt who had owned Lot 31 since 1937. The larger portion was conveyed to Golden West Plating Works in 1946, and then, in 1950, to Earl W. and Jeanette Purves of Purves Supply Company, plumbing supplies; the firm continues to operate from this location.

Lot 29, 315-319 Eleventh Street, was the next to be partitioned early in 1949; it was sold to George J. and Jennie Kruger for their Pioneer Box and Carton Company. Since December 1968, it has essentially been owned by Josephine R. Johnson, and occupied by H. G. Scovern & Company, specialists in timing devices and clocks.

On March 1, 1949, Lots 28A, 30 and 30B were divided. Lot 28A, better known as 333 Eleventh Street, was sold in September of that year to Tore H. and Alice D. Noren, and George J. Federighi for their Stereo Dishwashing Machine Manufacturing Company, makers of dishwashers, choppers, mixers, peelers and slicers. In December 1950, they purchased Lot 28B, and then in May 1951, Mr. Federighi also acquired Lot 28, which he sold to Mr. Purves circa 1976, Lots 28A and 28B were sold respectively circa 1976 and in 1980, to present owners Bruce and Jeri Bartfeld.

Lot 30 was partitioned beginning March 1, 1949. Lot 30B, 1475-77 Folsom Street, was sold in January 1950 to George A. and Eva L. Lynch, and to Mary Lynch for use by their van and storage firm, Lynch and Sons. Wade A. and Elise M. Morehouse purchased the property in 1960 for their More Plastic Bags firm. The present owners acquired the parcel in 1987.

Lot 30C was first sold in November 1950 to George J. and Jennie Kruger, who had purchased Lot 29 the year before; the Krugers sold this parcel to Donald Neil Johnson in 1968, when they sold Lot 29.

Lot 30, 1489 Folsom Street and 305 Eleventh Street was purchased in April 1951 by William M. and S. Maude Nelson, and sold in 1959, following Mr. Nelson's death, to the tenant since 1944, the American Tansul Company, makers

of chillproofing compounds for breweries. American Tansul acquired Lot 30A, the driveway, in 1961, and since that time, the two parcels have been sold as a pair. The next owners were Joseph W. and Ida R. Ryssin, importers and exporters, who owned the building from 1962 until 1979. George McKinney held the property from 1979 until 1984, when he sold it to the present owners Francisco and Elia Bruno.

RATINGS AND RECOGNITION:

The Jackson Brewery Complex has been recognized for its architectural and historical significance in numerous architectural surveys and inventories and is highly rated in each. It received a "4" rating, the second highest, in the Department of City Planning's 1976 Citywide Architectural Survey. Because it is not located in the downtown C-3 zoning district, it is not prominently featured in the Foundation for San Francisco's Architectural Heritage's 1979 Splendid Survivors, but it is mentioned on page 223. However, it is highly rated in Heritage's extended survey of the Downtown and South of Market areas, having received a "B" rating. The complex was also featured in the South of Market Supplement to Heritage's August 1985 Newsletter. More recently, individual buildings within the Jackson Brewery Complex have been listed in the Department of City Planning's South of Market Plan as "...Significant Buildings Located Outside of the Proposed Historic District", the highest possible rating.

INTEGRITY

The Jackson Brewery Complex appears to have "suffered little alteration" and also appears to retain "most of the original materials and design features", thus meeting the requisite standards. While noticeable, the sandblasted exterior of 315-315 Eleventh Street does not severely detract from the whole, and while one is aware that there must have been some recent earthquake damage, its precise nature and extent are not obvious, and, therefore, does not detract from the whole.

A review of available building permits suggests numerous interior changes beginning in the early to mid 1940's, but the only significant applications relate to 1489 Folsom Street, and without more documentation, these can only set forth. The first, dated December 1943 and December 1944, and requested by Mr. Berberian is to "Build Parapet and reroof old building"; in issuing his favorable report, the Building Inspector refers to an engineering study, not available, "for structural conditions of front". The second, dated May of 1944 describes the work for the American Tansul Company as: "replace brick wall which was removed for purpose of taking out large machinery. Clean up and paint building." to which the Building Inspector responds: "Brick to be replaced as originally constructed". Examination of the building's East wall along the drive way showing only a partial arch could be the location.

More questions about modifications to the complex come from studying the 1912 rendering published in the San Francisco Chronicle, and various Sanborn Maps beginning with 1913. It does not seem that the complex was constructed to the height suggested in the rendering with the possible exception of 333 Eleventh Street, the loading platform visible on the 1912 permit sketch. And if the 1913-1914 Sanborn Map did not show this as a 3 story building, one would not believe that it ever had been as by 1949, it is one story over basement and open on the east and south sides as if it were a loading platform, evidence of which is quite visible. It is possible that Mr. Berberian's 1943-44 permit was to perform this reduction in height for some structural reason; such work would be filed under 1489 Folsom as the Eleventh Street buildings were not partitioned off as separate lots until 1949.

ARCHITECTURE

Stylistically, the complex might best be described as Romanesque Revival with its repetition of horseshoe-arched pediments, particularly at ground floor, and the basket-handle arched driveway entry to the interior of the block. As the corner structure climbs to its full height, it recalls a

European castle complete with battlements which are only illusions here. Windows appear to be casements due to the strong centered vertical element, but are actually most often double hung with six over six lights surmounted by fanlights on the Folsom Street buildings. Along Eleventh Street, 315-319 is stylistically compatible with others in the complex, but makes its own statement. Its facade is divided into five distinct bays by full height engaged piers or pilasters. Centered within each bay is a ground floor window with one directly above; unfortunately, the rhythm at street level is interrupted by several more contemporary openings that are not harmonious, but the rhythm of the whole prevails due to a second floor projecting cornice or band that seems as though it will cut through each window sash, but instead, turns and becomes a frame for the upper portion before continuing across the facade. The only variation in fenestration at the second floor level is that the window in the center bay is framed by a horseshoe arch, recalling the taller 1489 Folsom to the north.

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VFM:mj:786

1479 FOLSOM STREET SITE PERMIT

ABBREVIATIONS

& @ # # (E) (N) A.B. ABV. ACCS. ACOUS. ACT ADH. ADL A.F.F. AGGR. AL. ALT. A.P. APPROV. APPROX. ARCH. ASPH.	AND ANGLE AT CENTERLINE DIAMETER OR ROUND POUND OR NUMBER PENNY EXISTING NEW ANCHOR BOLT ABOVE ACCESS ACOUSTIC ACOUSTICAL TILE AREA DRAIN ADHESIVE ADJUST ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE ALUMINUM ALTERNATE ACCESS PANEL APPROVED APPROXIMATE ARCHITECTURAL ASPHALT	F.A. FAB. F.B. F.C. F.D. F.DN. F.F. F.F.C. F.F. F.H. F.H.C. F.H.S. F.N. FLASH. FLEX. FLR. FLUOR. F.D.C. F.O.F. F.D.S. F.D.W. FP. F.S. FT. FTG. FURN.	FIRE ALARM FABRICATE FURRED CEILING FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FIRE HYDRANT FIRE HOSE CABINET FLAT HEAD SCREW FINISH (ED) FLASHING FLEXIBLE FLOOR FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUD FACE OF WALL REREPROOF FULL SEE FEET, FOOTING FOOT FURNISHING	M.B. M.C. MECH. MEMB. MFR. MH. MNL. MRS. MISC. MLDG. M.S. MTL. MTL. MUL.	MACHINE BOLT MEDICINE CABINET MECHANICAL MEMBRANE MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MOULDING MACHINE SCREW MOUNTED METAL MULLION	S. S.A.D. S.C. S.C.D. S.E.D.	SOUTH SEE ARCH. DWGS. SOLID CORE SEAT COVER DISP. SEE ELEC. DWGS.	SCHED. S.D. SECT. SHWR. SHT. SHTG. SIM. S.J. SL. S.L.D. S.M.D. S.N.D. S.O.G. S.P.D. SPEC. SQ. S.S.D. S.S.K. S.S.TL. STA. STD. STL. STOR. STRUCT. SUB. SUPT. SUSP. SYM.	SCHEDULE: SCHEDULED SOAP DISPENSER SECTION SHOWER SHEET SHEATHING SIMILAR SEISMIC JOINT SLOPE SEE LANDSCAPE DWGS. SEE MECHANICAL DWGS. SANITARY NAPON DISPENSER SLAB ON GRADE SEE PLUMBING DWGS. SPECIFICATIONS SQUARE SEE STRUCT. DWGS. SERVICE SINK STAINLESS STEEL STATION STANDARD STEEL STORAGE STRUCTURAL SUBSTITUTE SUPERINTENDENT SUSPEND; SUSPENDED SYMMETRICAL SYSTEM	(N) N. NEG. N.L.C. NO. N.O. N.T.S.	NEW NORTH NEGATIVE NOT IN CONTRACT NUMBER NUMBER NOT TO SCALE	GA. GAL. GALV. G.D. GEN. GL. GND. GR. G.S.M. G.W.B. GYP.	GAUGE GALLON GALVANIZED GRADE GENERAL GLASS GROUND GRADE GALVANIZED SHEET METAL GYPSUM	H. H.B. H.C. HWWD. HWWD. HGT. H.M. HOLLOW HOR. H.P. HR. HT.	HEIGHT (DIM) HOSE BIB HOLLOW CORE HARDWOOD HARDWARE HEIGHT HOLLOW METAL HOLLOW HORIZONTAL HIGH POINT HEIGHT HEIGHT	I.D. IN. INCH INFO. INS. INT. INV.	INSIDE DIAMETER INCH INFORMATION INSULATION INTERIOR INVERT	JAN. JST. JT.	JAMITOR JOIST JOINT	O.T. QTR.	QUARRY TILE QUARTER	R. RAD. R.A.G. R.B. R.C.P. R.D. ROWD. REF. REF. REGTR. REGD. RESL. RET. REV. RFG. RGTR. RM. RND. R.O. RUB. RWL.	RISER RADIUS RETURN AIR GRILLE RUBBER BASE REFLECTED CEILING PLAN ROOF DRAIN REDWOOD REFRIGERATOR REGISTER REQUIRED RESILIENT RETURN REVISED; REVISION ROOFING REGISTER ROOM ROUND ROUGH OPENING RUBBER RAIN WATER LEADER	VAR. V.B. V.C.T. VERT. VEST. V.G. V.F.F. VOL. V.S.	VARIABLE; VARIABLE VINYL BASE VINYL COMPOSITION TILE VERTICAL VESTIBULE VERTICAL GRAIN VERIFY IN FIELD VOLUME VINYL SHEET	W W/ W/O W/BL W.C. WD. WD W.F. W.G.L. W.H. W.H.B. W.M. W/NDW. W.O. W.P. W.S. WT. W.W.F. W.W.M.	WIDTH (DIM) WITH WITHOUT WAINSCOT WATER CLOSET WOOD WASHER/DRYER WIDE FLANGE (STEEL) WIRE GLASS WATER HEATER WHITE BOARD WALL MOUNT WINDOW WHERE OCCURS WATERPROOF WEATHERSTRIP WEIGHT WELDED WIRE FABRIC WELDED WIRE MESH
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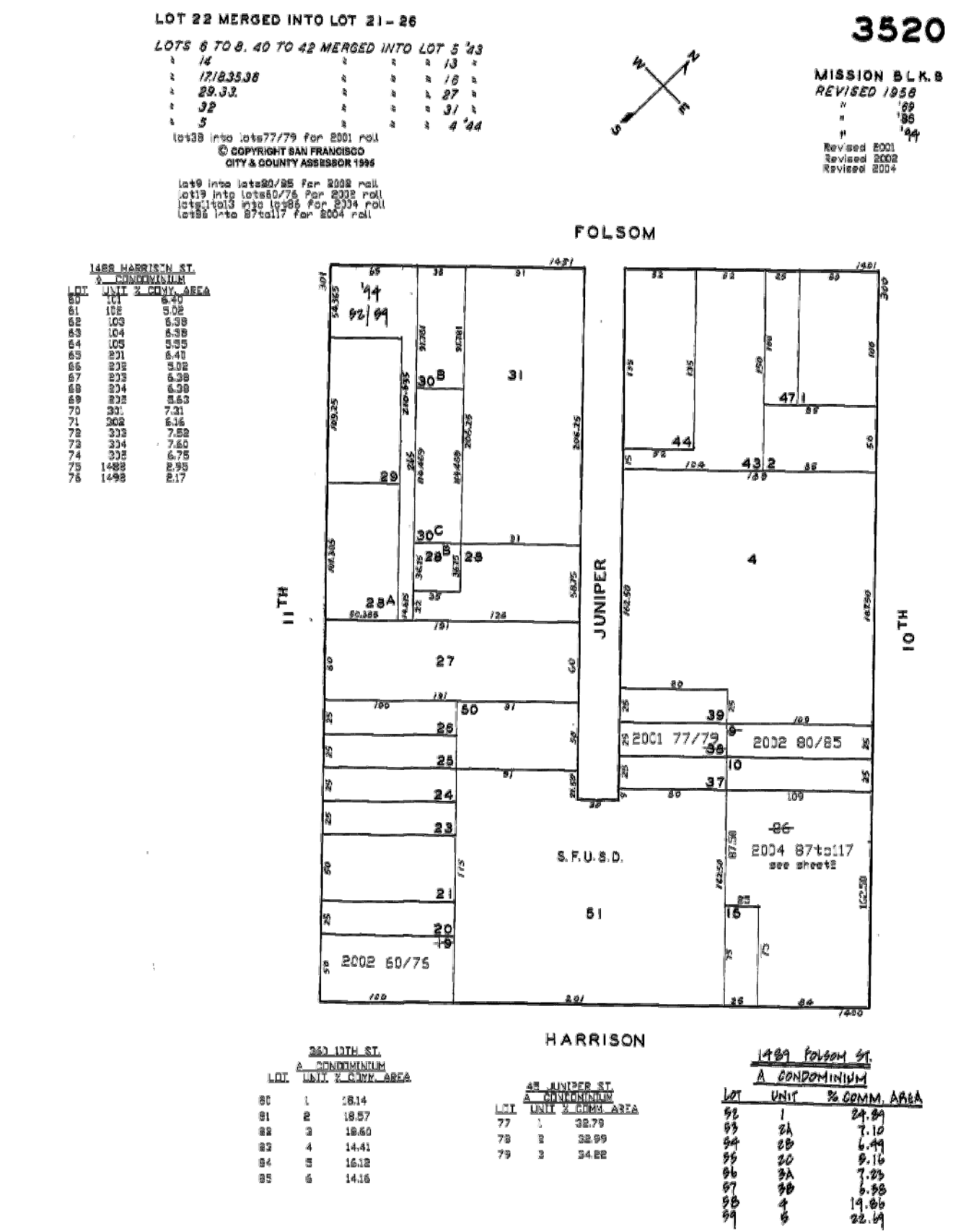
GENERAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE OF 2010 EDITION OF THE CALIFORNIA BUILDING CODE/UNIFORM BUILDING CODE, AND SHALL INCLUDE ALL THE REQUIREMENTS OF OTHER AGENCIES HAVING JURISDICTION.
- EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND SATISFY HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATIONS OF EXISTING STRUCTURES.
- THE CONTRACT DOCUMENTS DESCRIBE DESIGN INTENT, AND ARE NOT INTENDED TO BE ALL INCLUSIVE. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERRABLE FROM THEM.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES. ALL CLAIMS FOR ADDITIONAL WORK WILL NOT BE AWARDED FOR ANY AND ALL WORK RELATED TO SUCH COORDINATION.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE. CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY AND ALL WORK IN QUESTION.
- ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUD OR CASEWORK UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLR" OR "CLEAR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR CONDITIONS UNLESS OTHERWISE NOTED.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DRAWINGS AT A LARGE SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS OF A SMALL SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- GENERAL CONTRACTOR SHALL VERIFY LAYOUT OF PARTITIONS, DOORS, ELECTRICAL OUTLETS, TELEPHONE OUTLETS, LIGHT FIXTURES, AND SWITCHES WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER SYSTEM (TO INCLUDE, BUT NOT LIMITED TO ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE GENERAL CONTRACTOR.
- ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE.
- ALL WORK NOTED "BY OTHERS" OR "N.L.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. SUBMIT TO THE ARCHITECT AND OWNER SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER THE MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING ANY FINISHED AREAS IN OR OUTSIDE THE JOB SITE. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
- GENERAL CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR OWNER. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
- PROVIDE FIREBLOCKING AT ALL CEILINGS, FLOORS, FURRED-DOWN CEILINGS, SOFFITS, AND CONCEALED DRAFT OPENINGS PER CBC SECTION 717, "CONCEALED SPACES." FIREBLOCKING SHALL NOT EXCEED 10 FT. MAX. IN BOTH VERTICAL AND HORIZONTAL DIRECTIONS.
- PROVIDE DRAFTSTOPS AT ALL ATTIC, MANSARDS, OVERHANGS, AND OTHER CONCEALED ROOF SPACES FORMED OF COMBUSTIBLE CONSTRUCTION PER CBC SECTION 717, "CONCEALED SPACES."
- CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR THE INSTALLATION OF ALL SIDING, EQUIPMENT, CABINETS, WOOD TRIM, ACCESSORIES, HANDRAILS, ETC.
- SEALANT, CAULKING AND FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- THE LOCATIONS OF ALL EXPOSED ELECTRICAL, AUDIO VISUAL, INFORMATION TECHNOLOGY, SECURITY, LIGHTING, LIFE SAFETY AND HVAC DEVICES SHALL BE VERIFIED IN THE FIELD WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

VICINITY MAP



PLAT MAP



PROJECT SCOPE

- PROPOSED WORK:
- ADDITION OF ROOF DECK TO EXISTING ROOF WITH NEW DOOR IN EXISTING MASONRY WALL PROVIDING ACCESS TO NEW ROOF DECK

STAMP

PROJECT DATA

LOCATION:

1479 FOLSOM STREET
SAN FRANCISCO, CA 94111

BLOCK AND LOT:

3520 / 030C

ZONING:

SLR SOMA SERVICE - LIGHT INDUSTRIAL - RESIDENTIAL
50-X HEIGHT AND BULK DISTRICT

50'-0" MAX. HEIGHT ALLOWABLE (PER PLANNING CODE)

PARCEL AREA:

4,003 SF

OCCUPANCY TYPE:

OFFICES

APPLICABLE MODEL CODES:

- 2010 CALIFORNIA BUILDING CODE (AND SAN FRANCISCO AMENDMENTS)
- 2010 CALIFORNIA PLUMBING CODE (AND SAN FRANCISCO AMENDMENTS)
- 2010 CALIFORNIA MECHANICAL CODE (AND SAN FRANCISCO AMENDMENTS)
- 2010 CALIFORNIA ELECTRICAL CODE (AND SAN FRANCISCO AMENDMENTS)
- 2010 CALIFORNIA ENERGY CODE
- 2010 CALIFORNIA FIRE CODE

CONSTRUCTION TYPE:

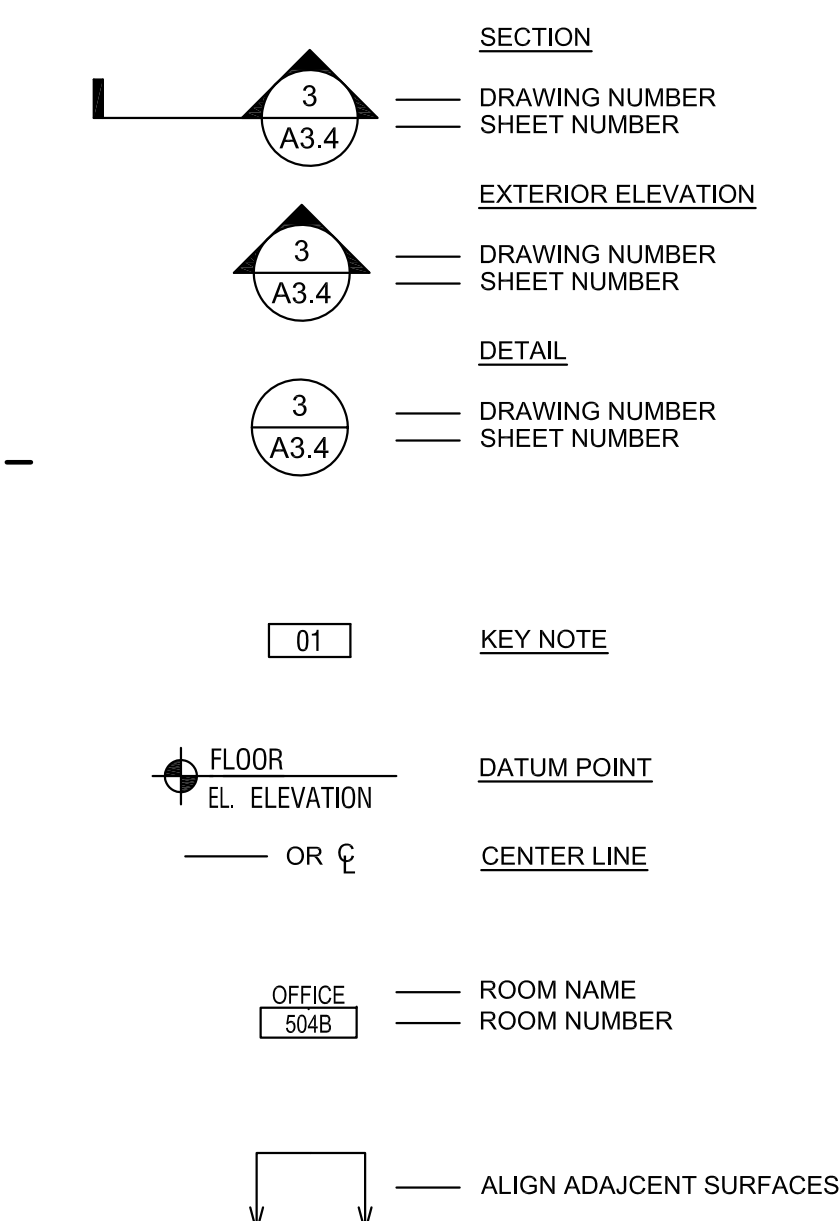
III, NOT SPRINKLERED

PROJECT

1479 FOLSOM STREET
SAN FRANCISCO, CA 94103

REVISIONS

SYMBOLS



SHEET DATA

DATE: 11-05-12

JOB NO.: 1112-0030

PHASE:

ISSUED FOR: SITE PERMIT

SCALE: AS SHOWN

SHEET TITLE

TITLE SHEET

SHEET NUMBER

A-0

PROJECT DIRECTORY

CLIENT:
BRIMMINGHAM DEVELOPMENT LLC
50 OSOOD PLACE, SUITE 340
SAN FRANCISCO, CA 94133

ATTN: PATTY HENDERSON
(415) 552-2025
BRIMMINGHAMDEV@AOL.COM

ARCHITECT:
GOULD EVANS
95 BRADY STREET
SAN FRANCISCO, CA 94103

ATTN: ROBERT BAUM
(415) 503-1411
BOB.BAUM@GOULDEVANS.COM

DRAWING INDEX

Sheet Number	Sheet Title
A-0	TITLE SHEET
A-1	SITE PLAN
A-2	PLANS
A-3.1	ELEVATIONS
A-3.2	ELEVATIONS



2 PROPOSED FROM SOUTHWEST
SCALE: N.T.S.



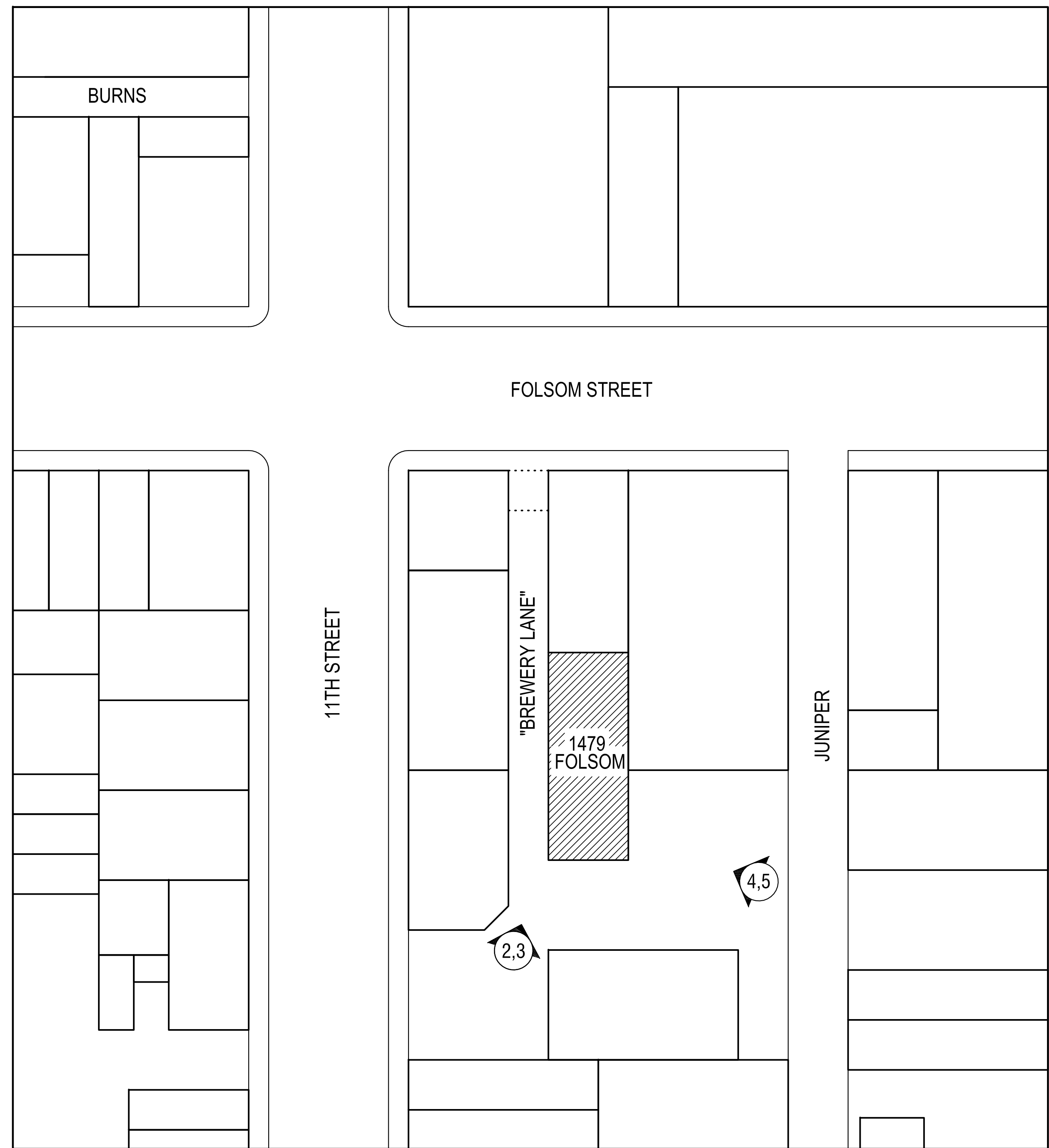
3 EXISTING FROM SOUTHWEST
SCALE: N.T.S.



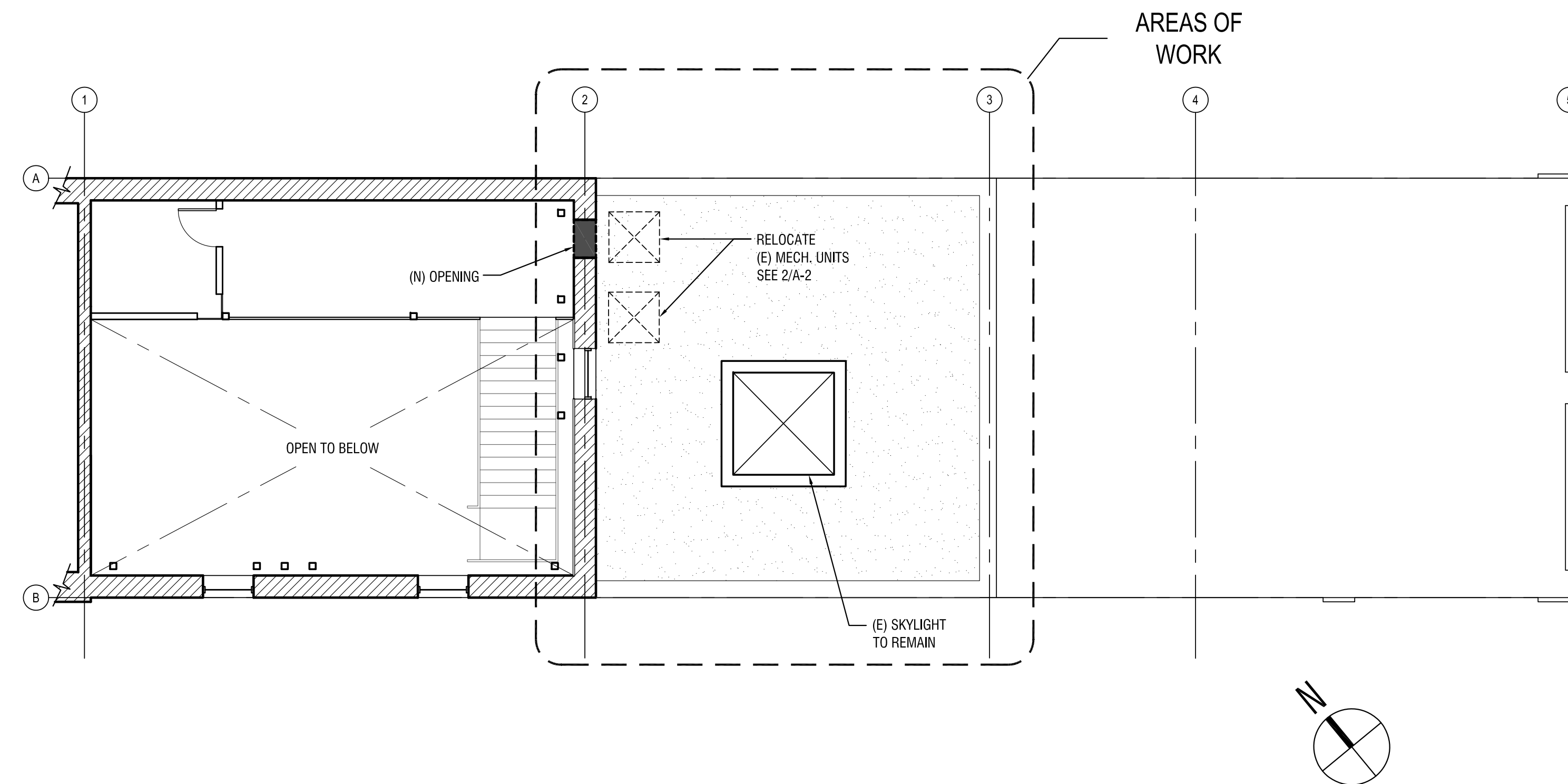
4 PROPOSED FROM SOUTHEAST
SCALE: N.T.S.



5 EXISTING FROM SOUTHEAST
SCALE: N.T.S.

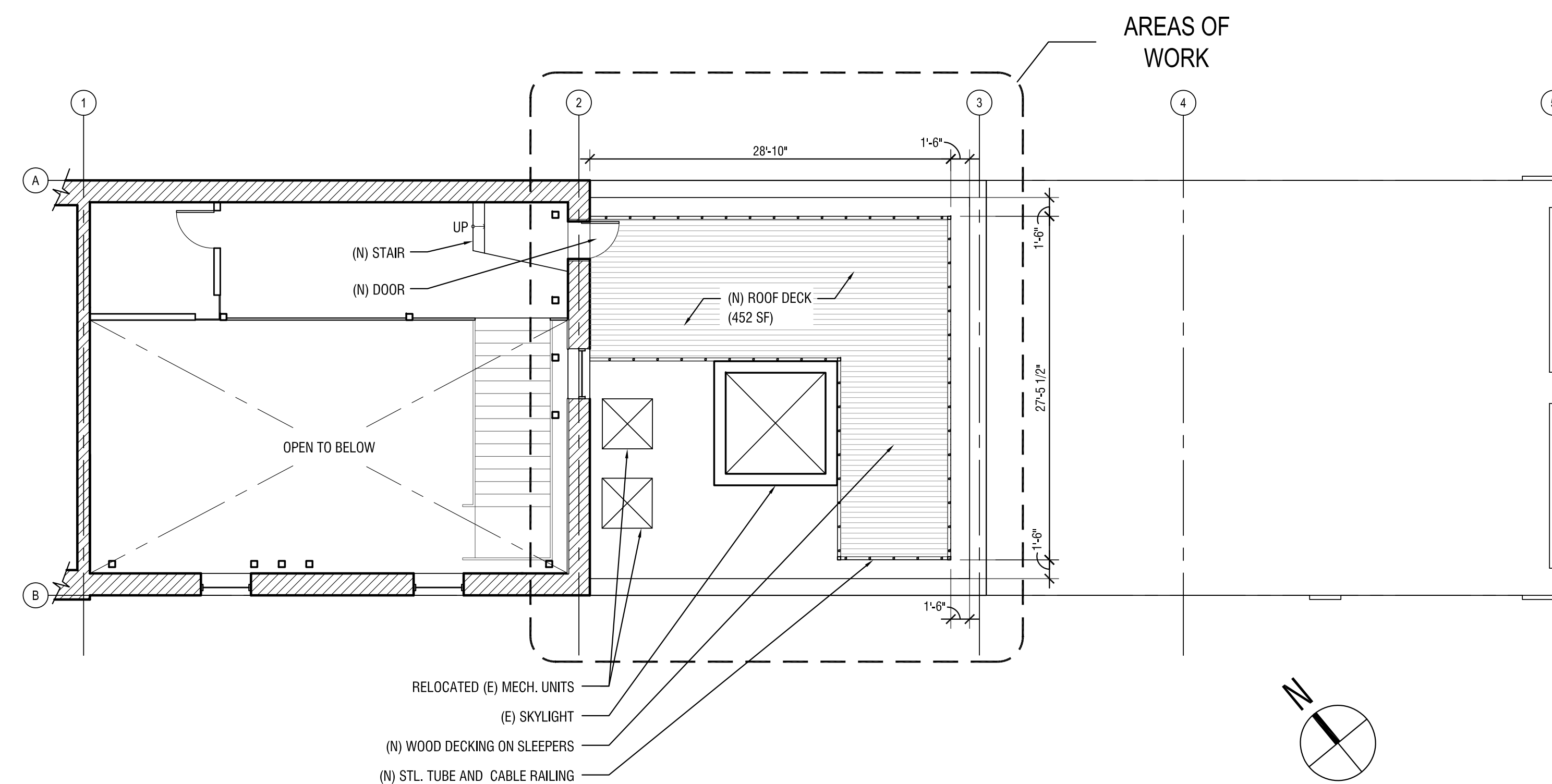


1 SITE AND PHOTO KEY PLAN
SCALE: 1/32" = 1'-0"



1 DEMOLITION PLAN - FOURTH FLOOR



SCALE: 1/8" = 1'-0"

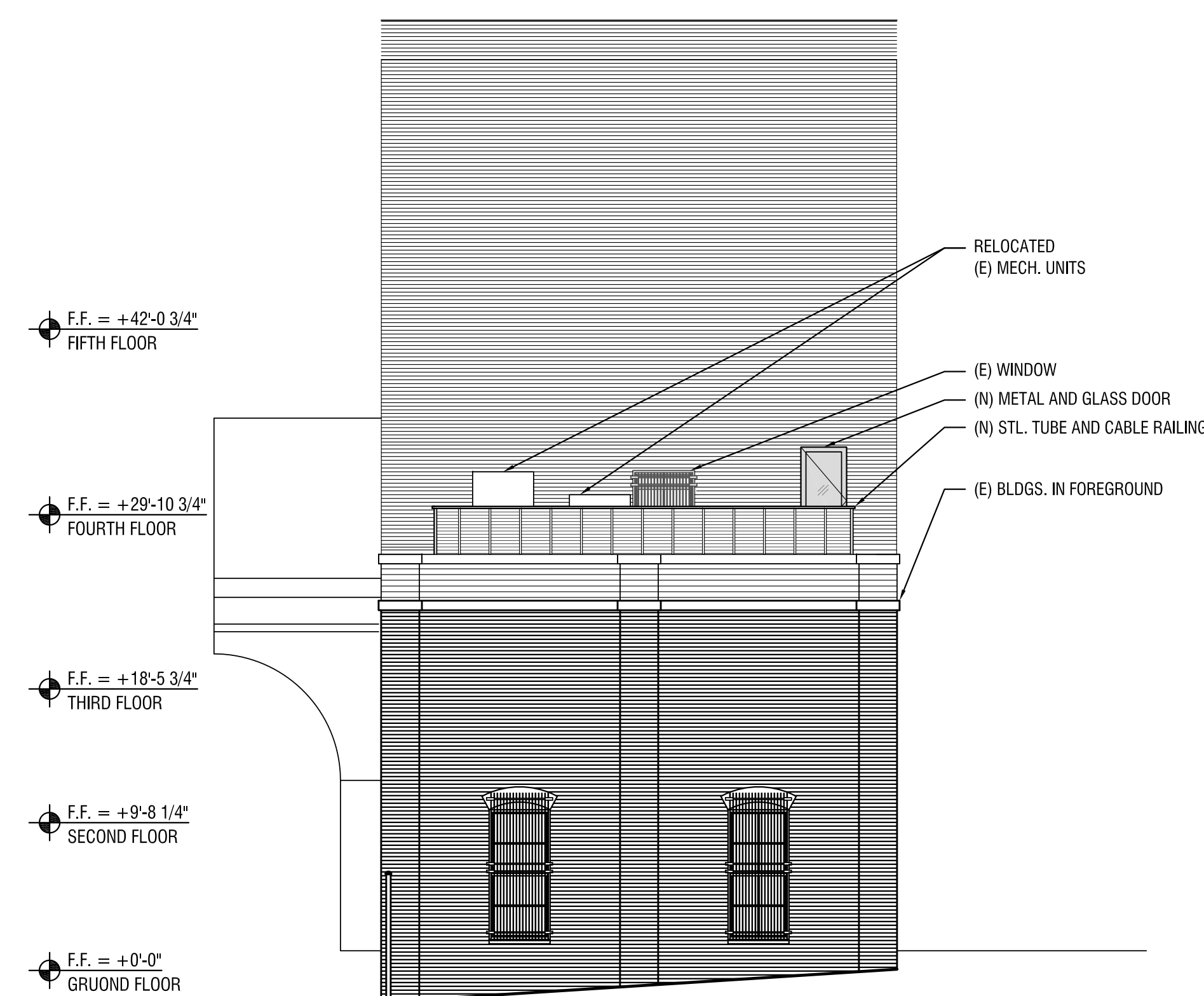


2 CONSTRUCTION PLAN - FOURTH FLOOR

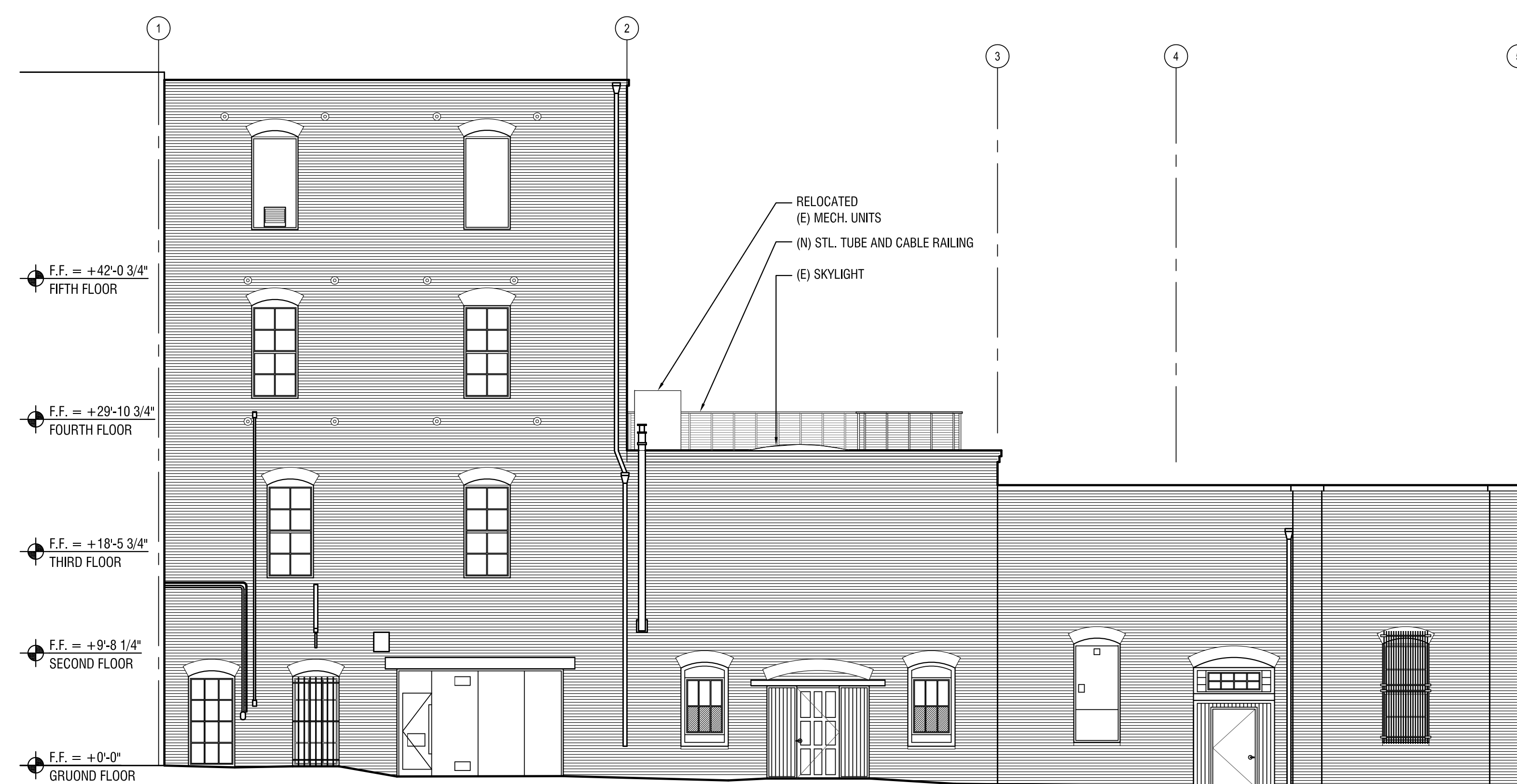
SCALE: 1/8" = 1'-0"

LEGEND

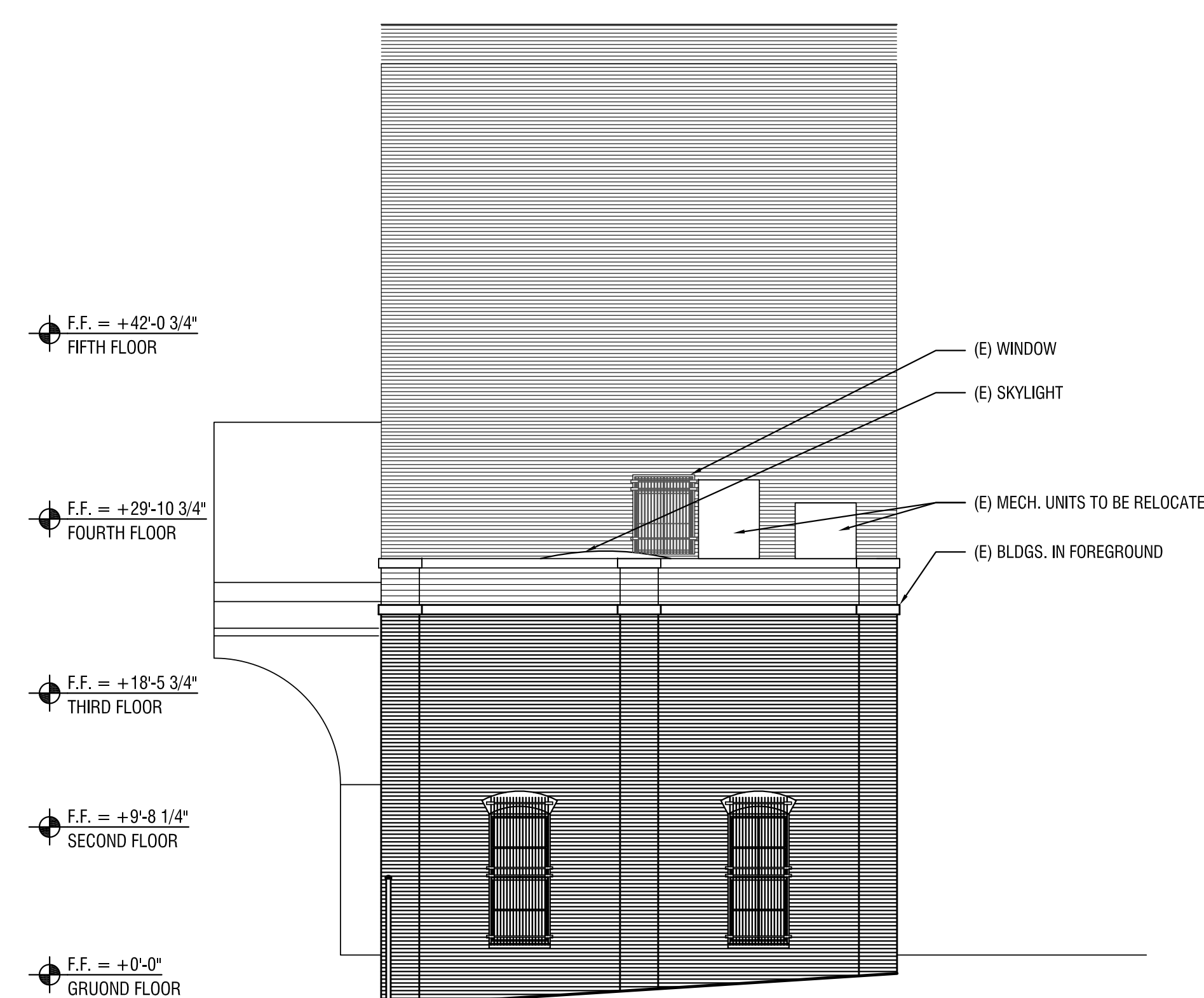
-  (E) MASONRY WALL TO BE REMOVED FOR NEW OPENING
-  (E) MASONRY WALL



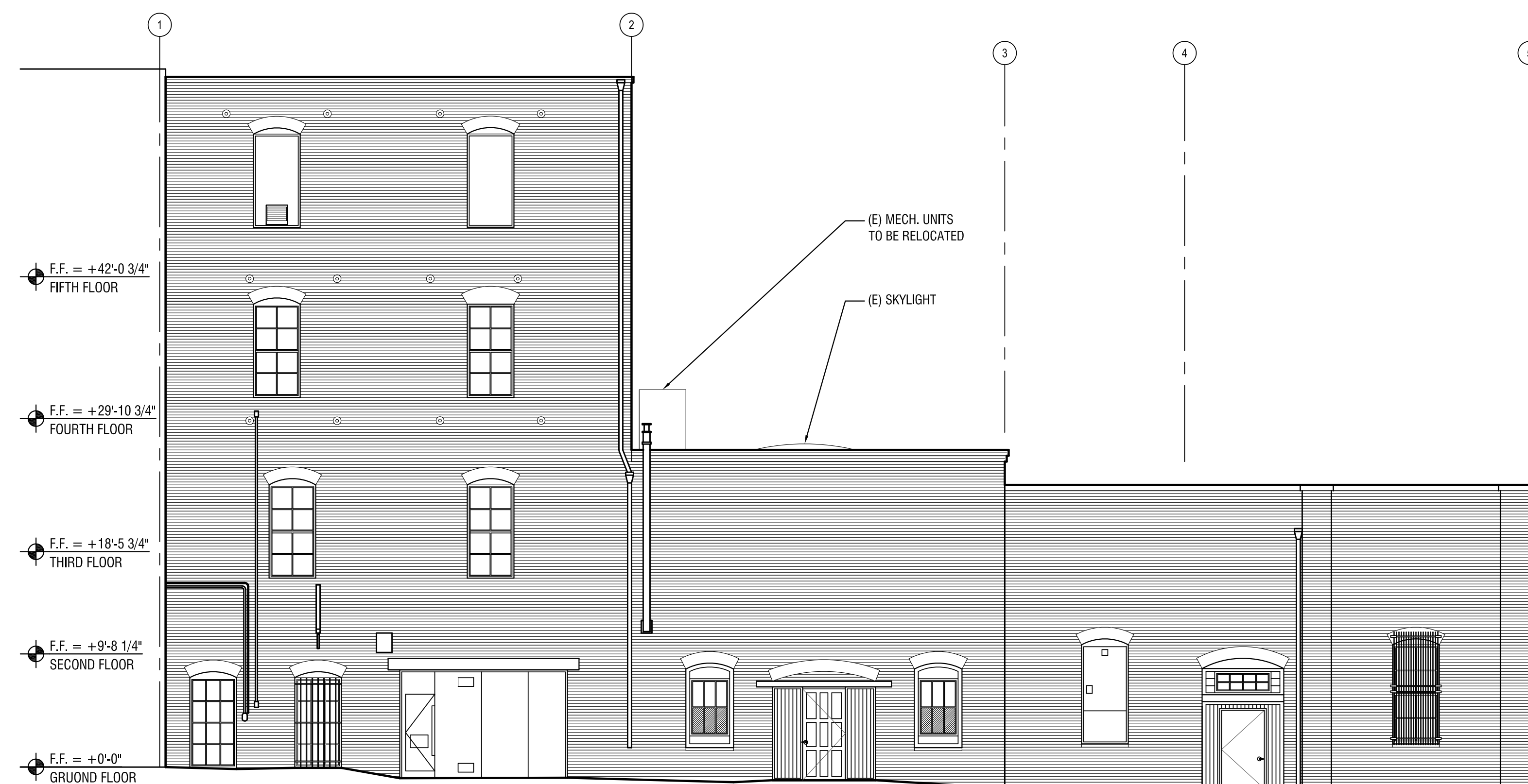
3 SOUTHEAST ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



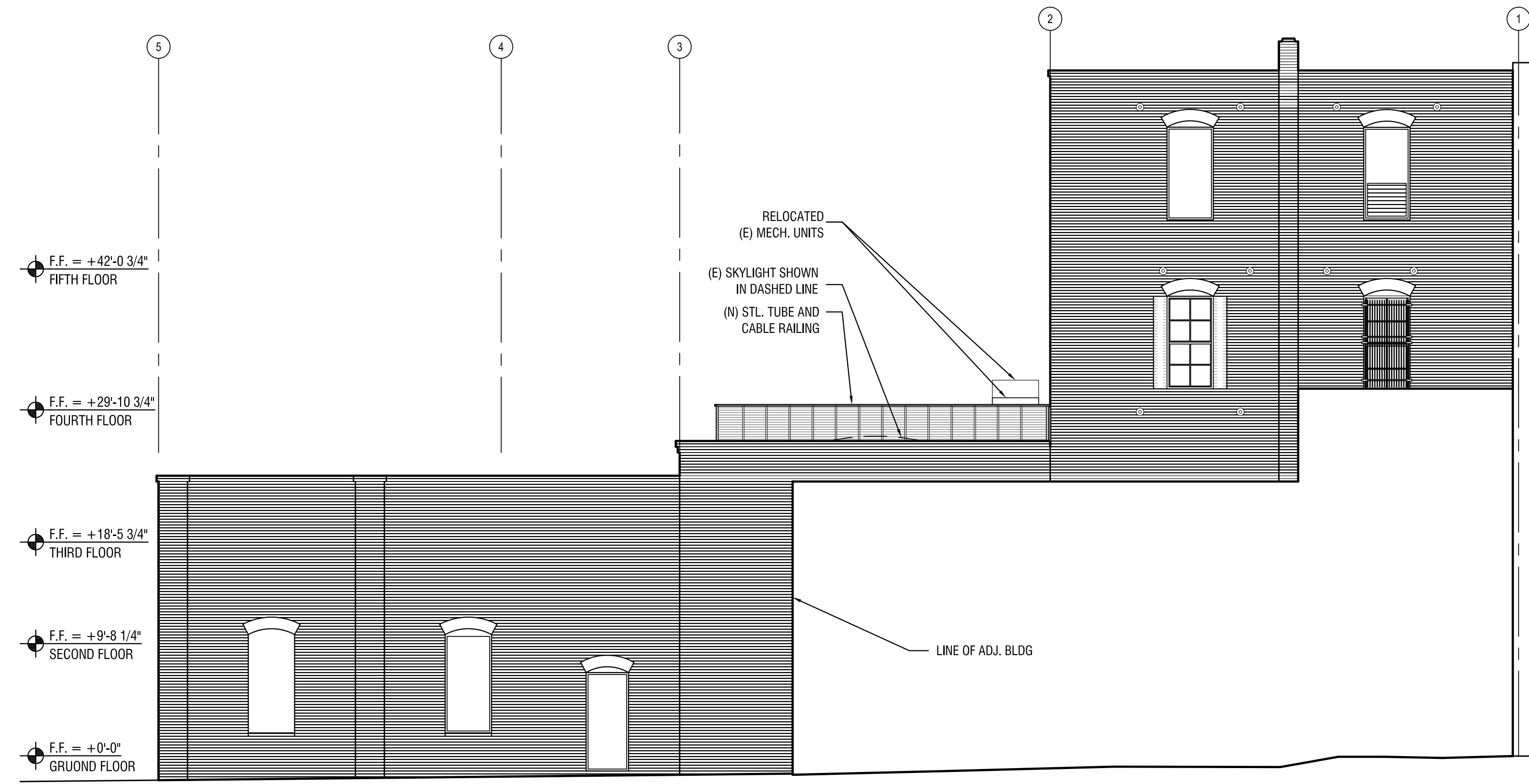
1 SOUTHWEST ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



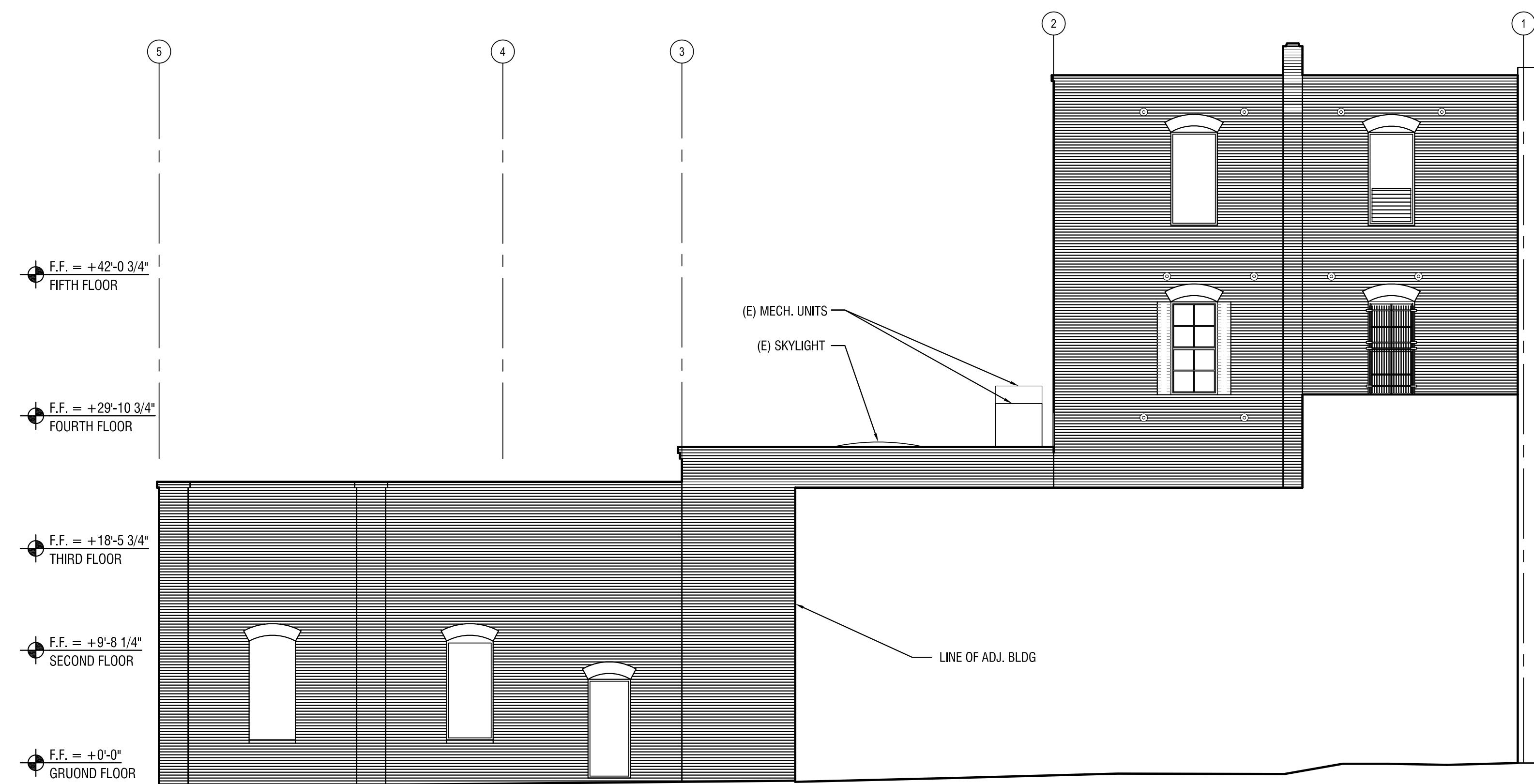
4 SOUTHEAST ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



2 SOUTHWEST ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



1 NORTHWEST ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



2 NORTHWEST ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"