California Pacific Medical Center Cathedral Hill Hospital

Acute Care and Women & Children's Hospital

Conditional Use Permit Application Update 3

SHEET INDEX

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BUILDING SECTION

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L1.1 PAVING & FURNISHING DETAILS

12.0 PLANTING PLAN

L2.1 PLANTING DETAILS

PROJECT DESCRIPTION

The proposed Cathedral Hill Hospital is an approximate 1,163,800-sq.-ft, 15-story hospital providing 555 licensed beds, and includes inpatient medical care, labor and delivery, post partum care, an emergency department and other specialized programs. Retail, a cafeteria, education space, a private outdoor courtyard, and parking for approximately 513 vehicles is also included.

Primary pedestrian access is at a Level 1 building entrance lobby on Van Ness. The hospital's main vehicular access and passenger drop-off zone would be located on Level 2, in a vehicular drive-through-drop-off connecting Geary Boulevard with Post Street. Secondary access and the emergency department drop-off is on Level 3, from Franklin Street.



California Pacific Medical Center

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CATHEDRAL HILL HOSPITAL

OSHPD# IS-080885-38

ARCHITECT

SMITHGROUP

301 Battery Street, 7th Floor San Francisco, CA 94111 T 415.227.0100 F 415.908.0862

STRUCTURAL ENGINEER

Degenkolb Engineers

300 Frank H. Ogawa Plaza Oakland, CA 94612 510.272.9040

www.smithgroup.com

MECHANICAL ENGINEER

Ted Jacob Engineering Group, Inc 1763 Broadway 510 763 4880

ELECTRICAL ENGINEER

Silverman & Light 1201 Park Avenue, Suite 100 Emeryville, CA 94608

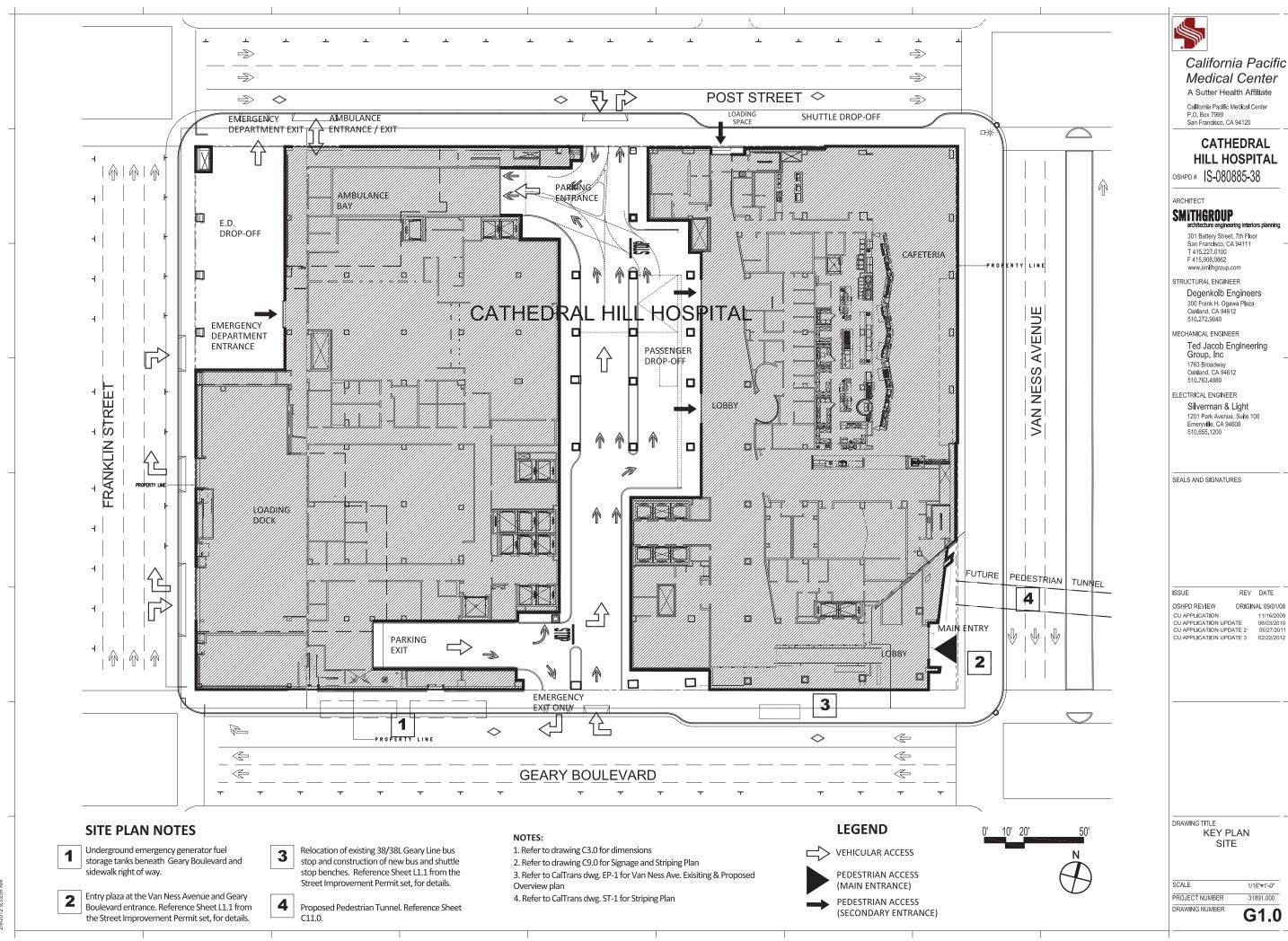
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ISSUE REV DATE OSHPD REVIEW CU APPLICATION CU APPLICATION UPDATE CU APPLICATION UPDATE 2 05/27/2013 CU APPLICATION UPDATE 3

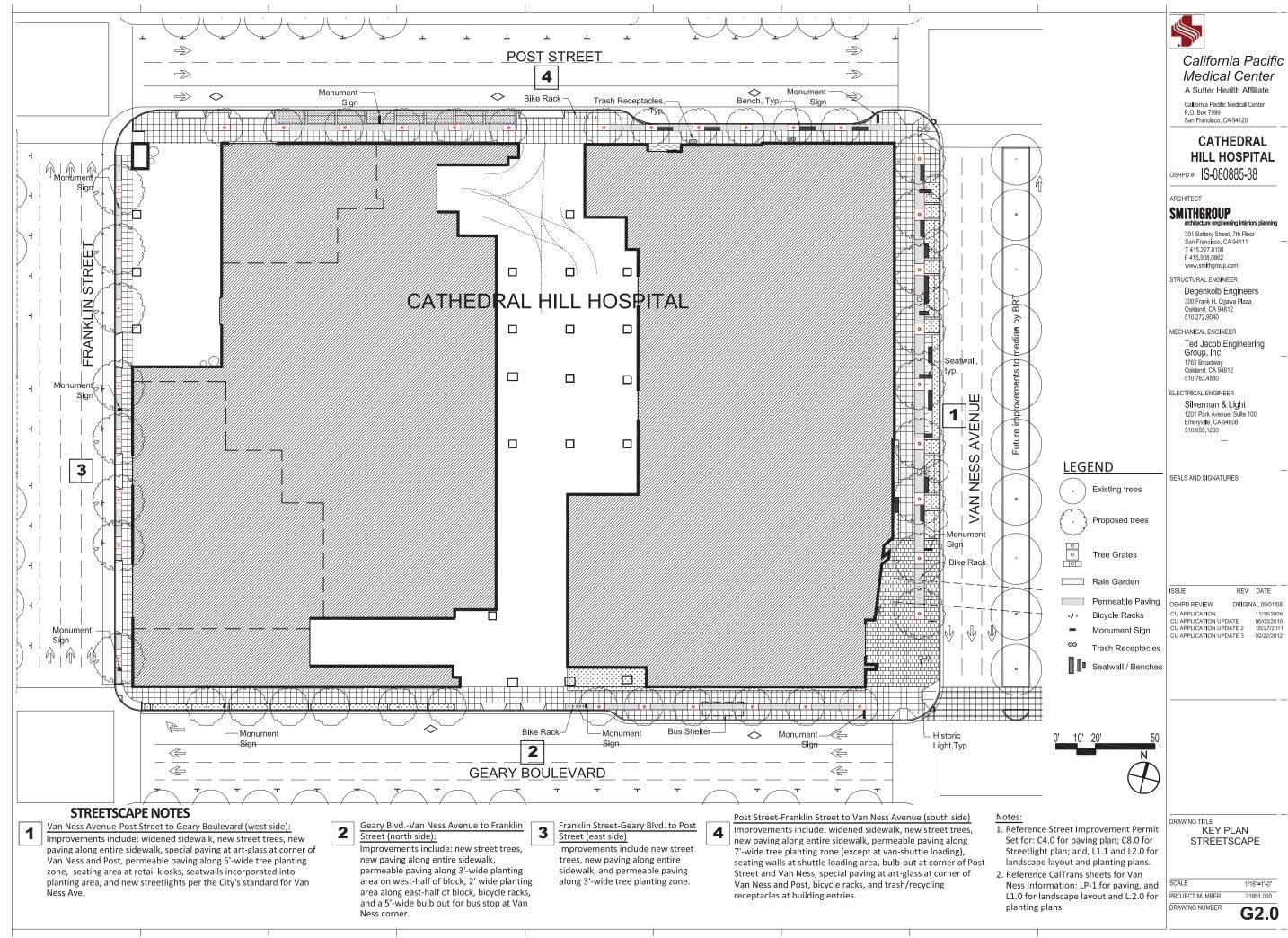
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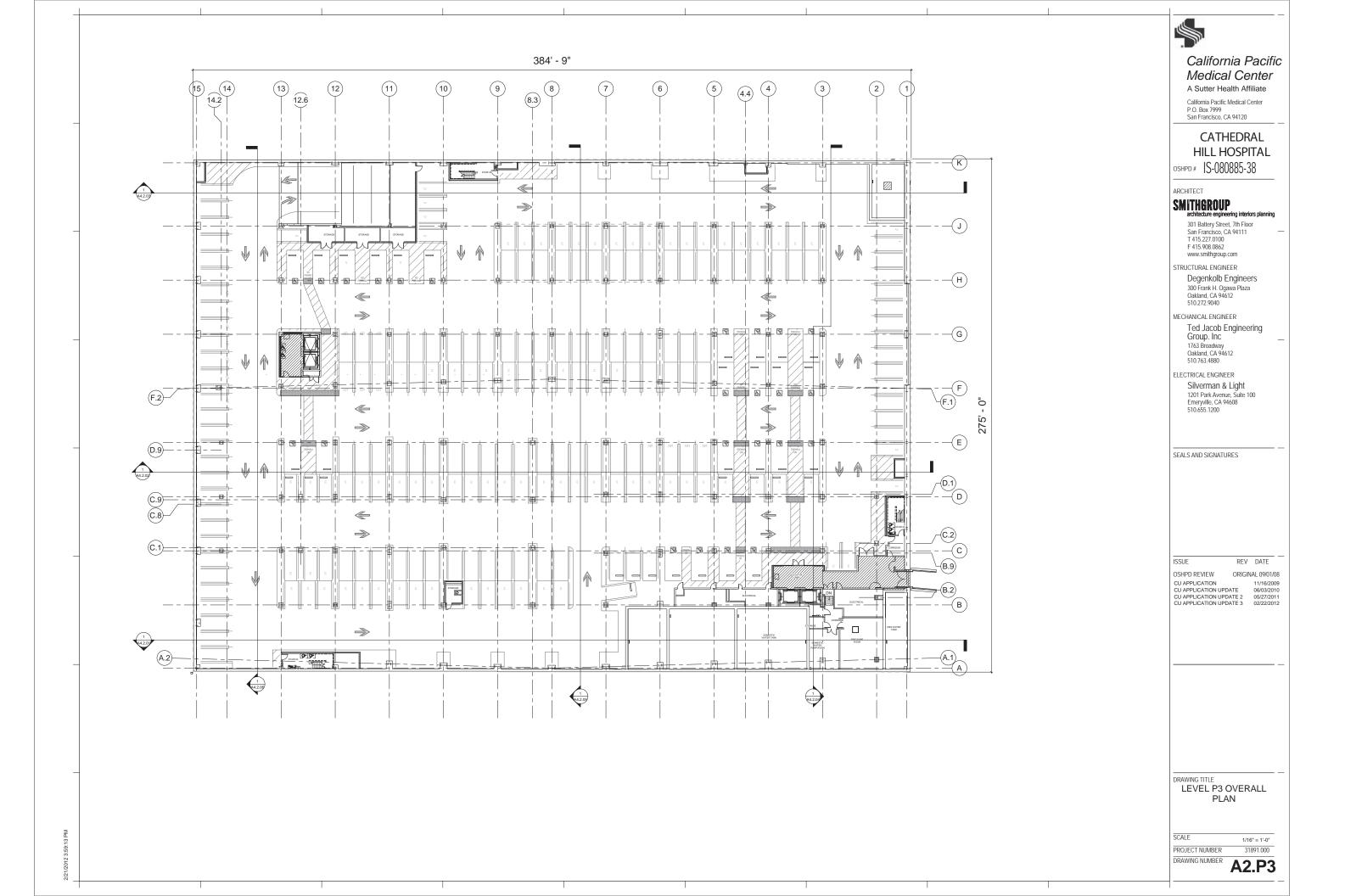
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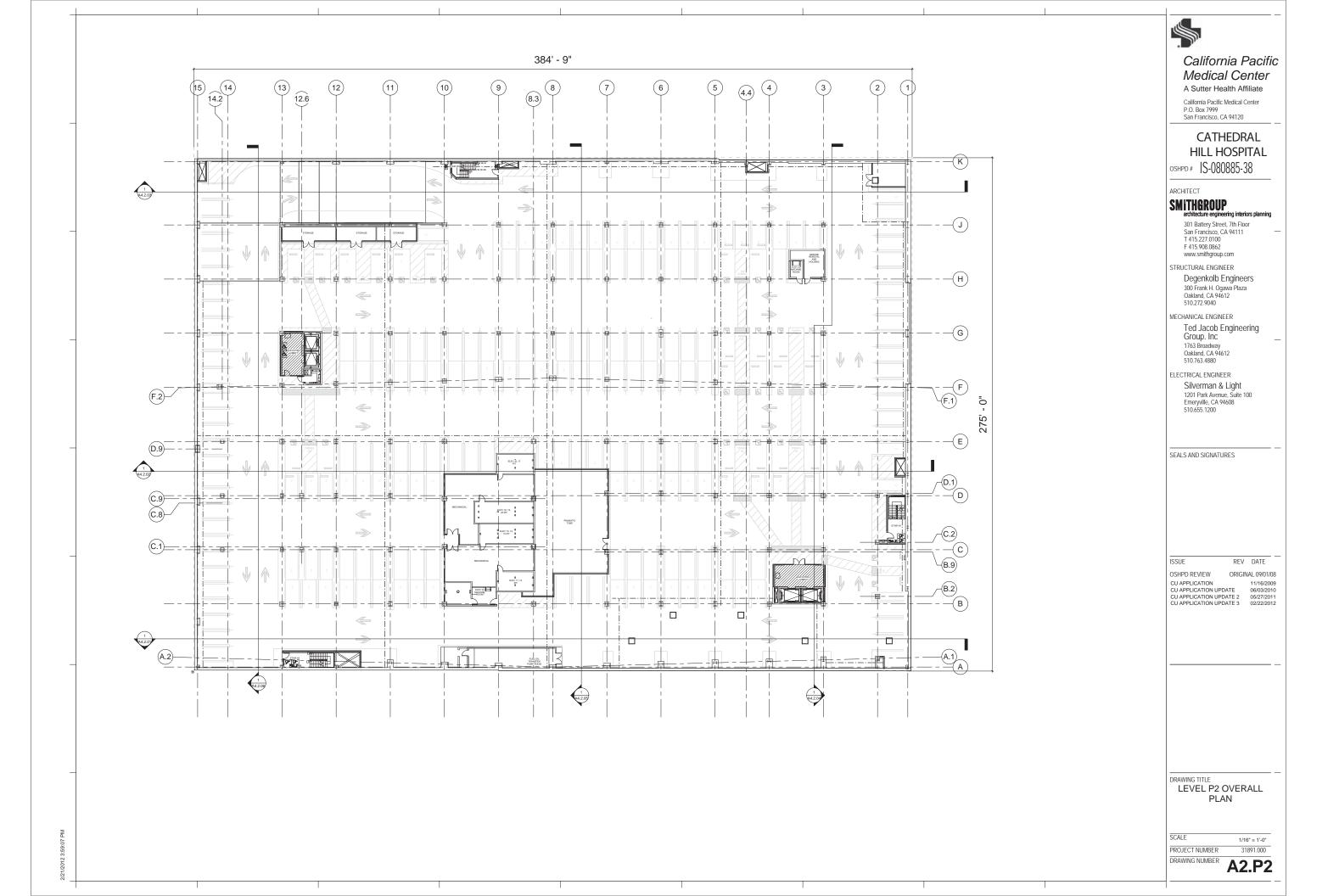
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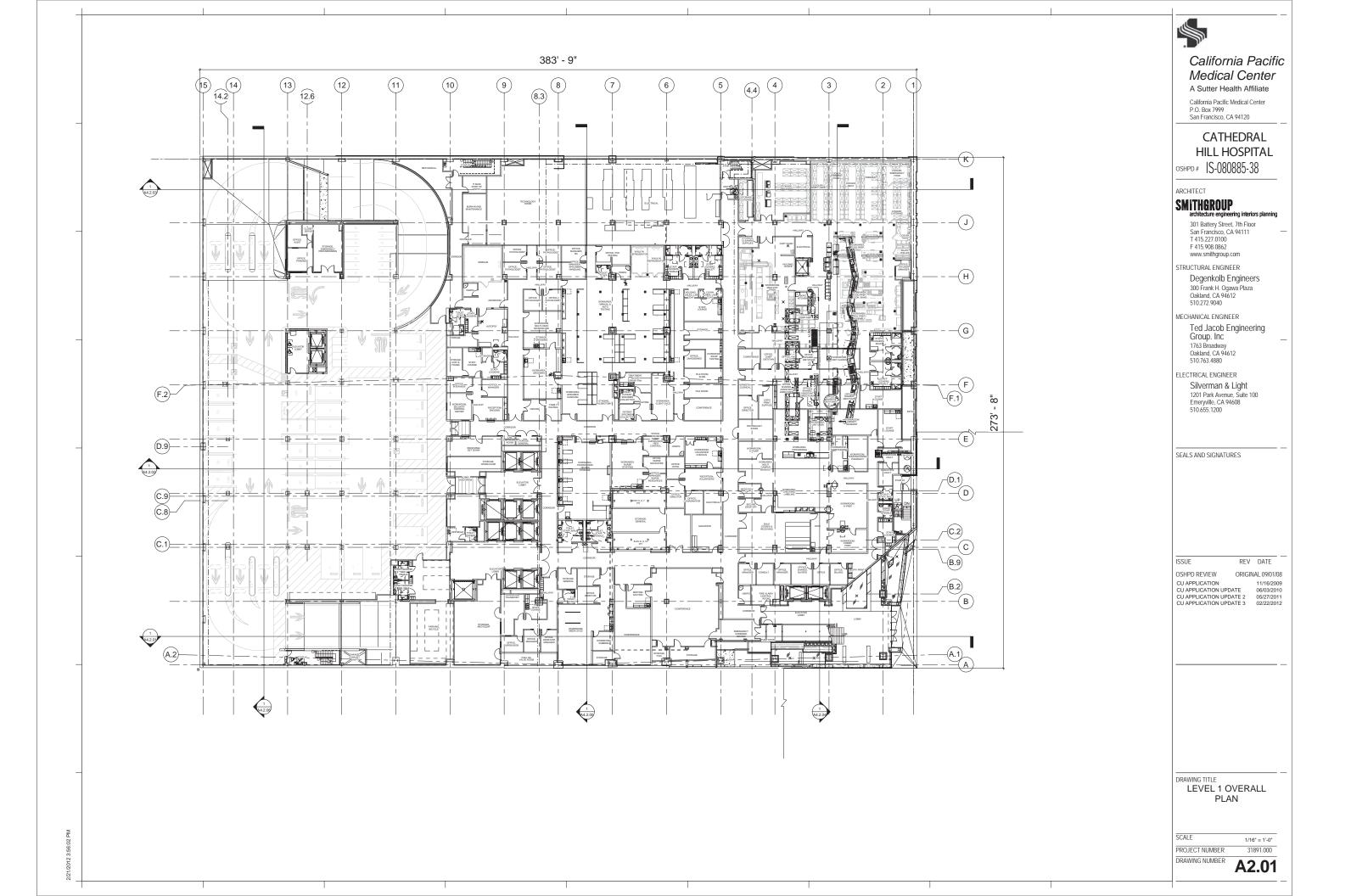


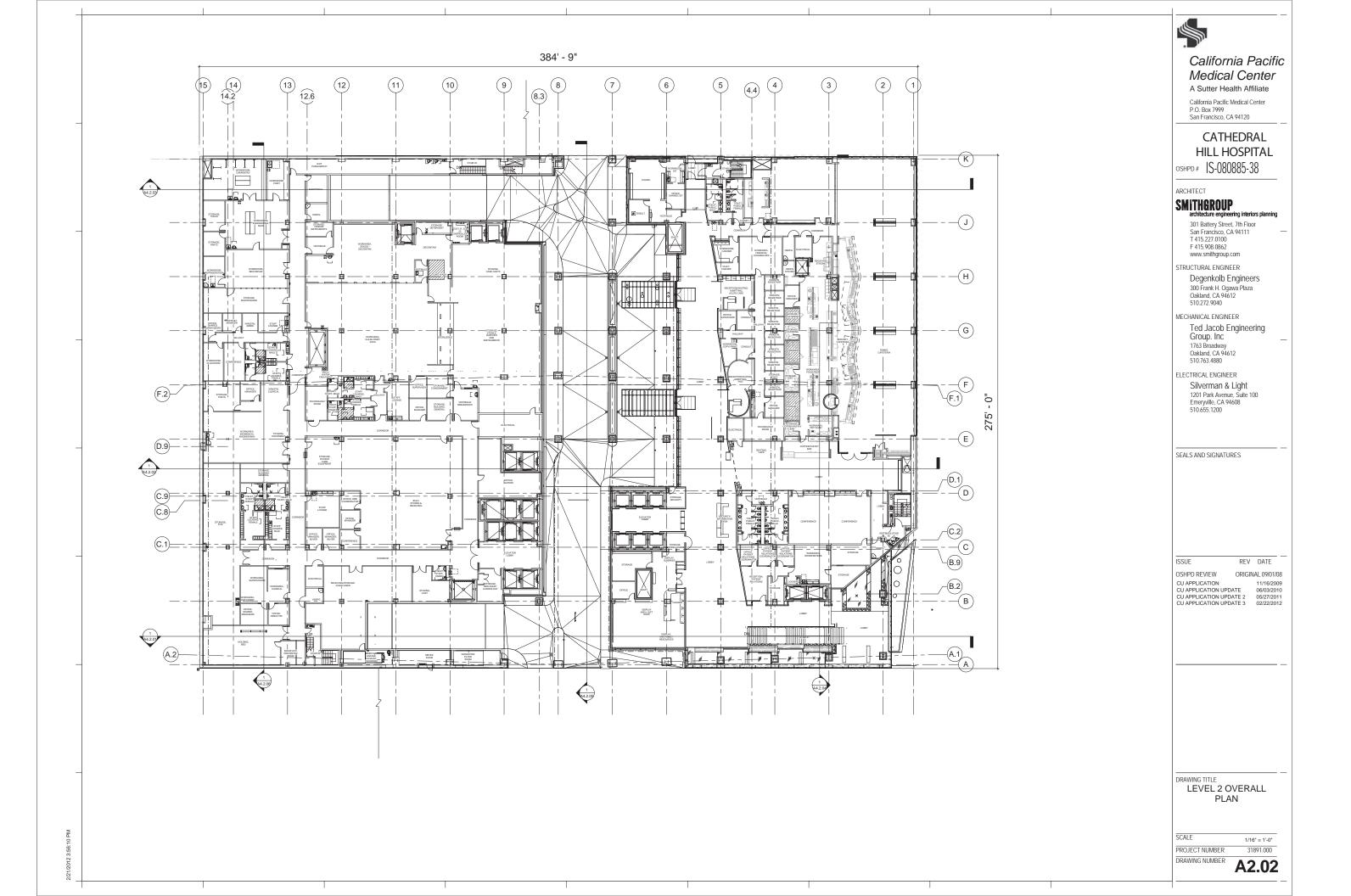
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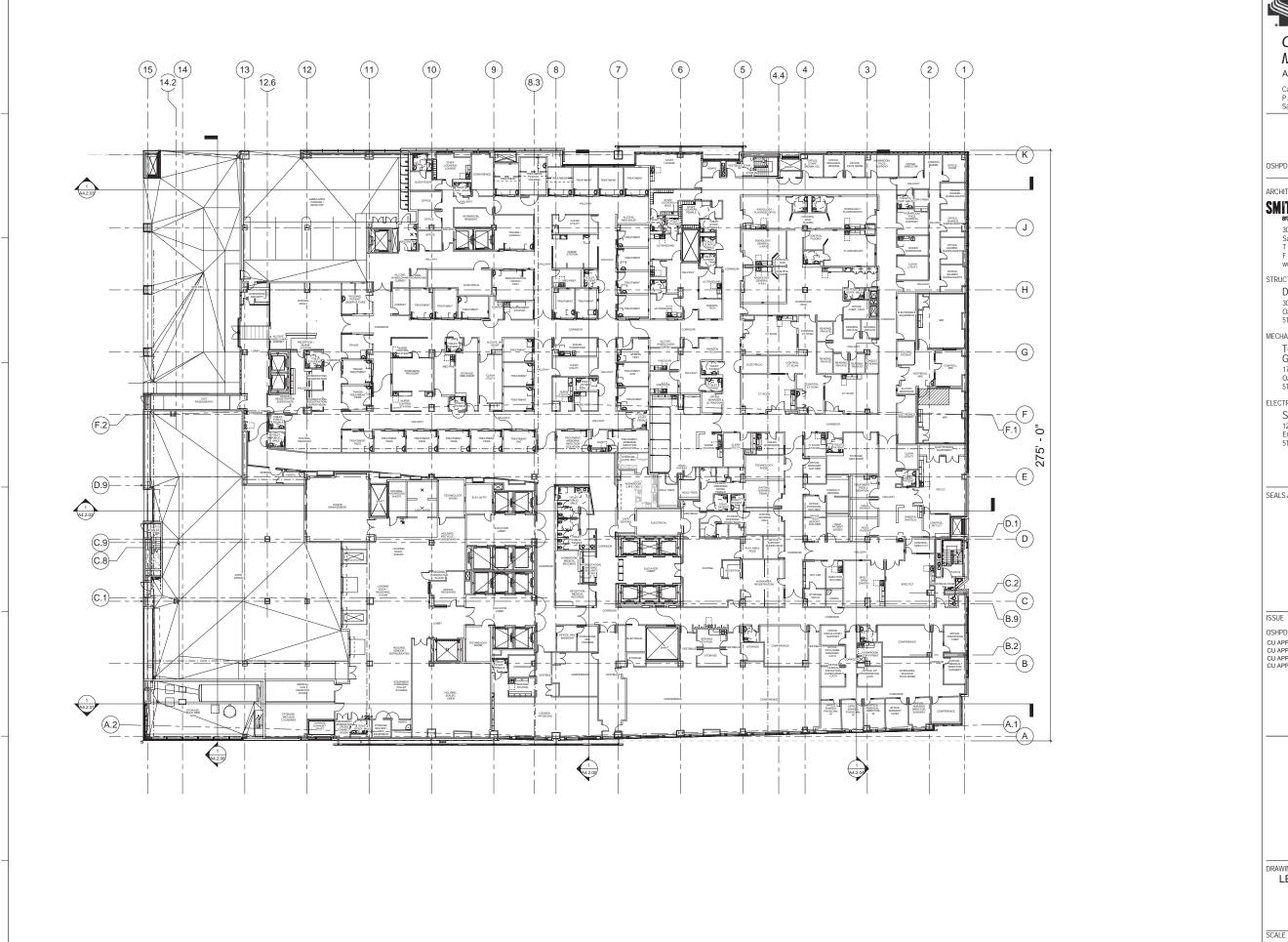














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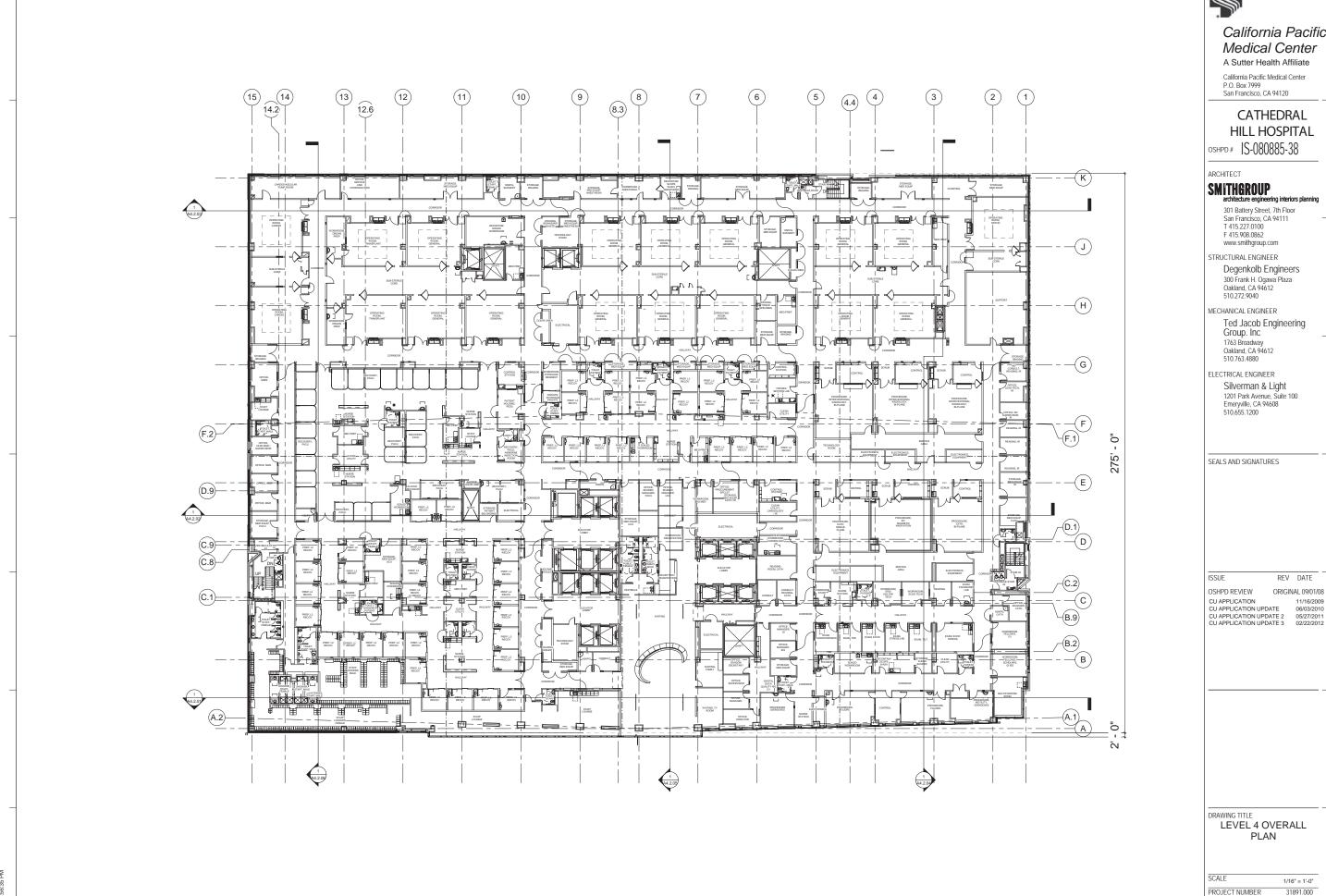
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REV DATE

OSHPD REVIEW ORIGINAL 09/01/08 CU APPLICATION 11/16/2009 CU APPLICATION UPDATE 06/03/2010 CU APPLICATION UPDATE 2 05/27/2011 CU APPLICATION UPDATE 3 02/22/2012

LEVEL 3 OVERALL PLAN

PROJECT NUMBER 31891.000





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STRUCTURAL ENGINEER

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300 Frank H. Ogawa Plaza Oakland, CA 94612 510.272.9040

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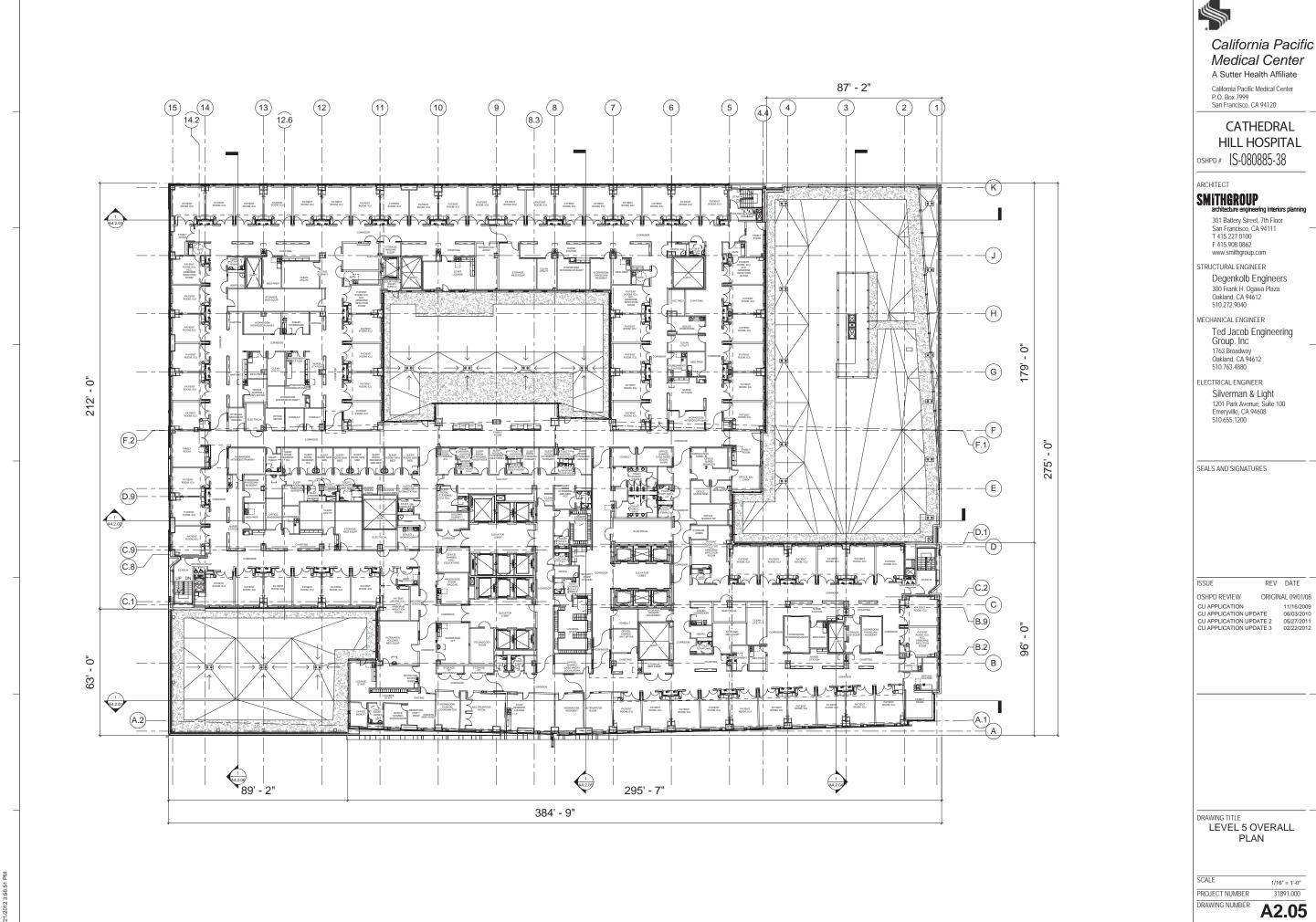
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REV DATE

ORIGINAL 09/01/08 CU APPLICATION CU APPLICATION UPDATE 11/16/2009 06/03/2010

LEVEL 4 OVERALL

31891.000





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300 Frank H. Ogawa Plaza Oakland, CA 94612 510.272.9040

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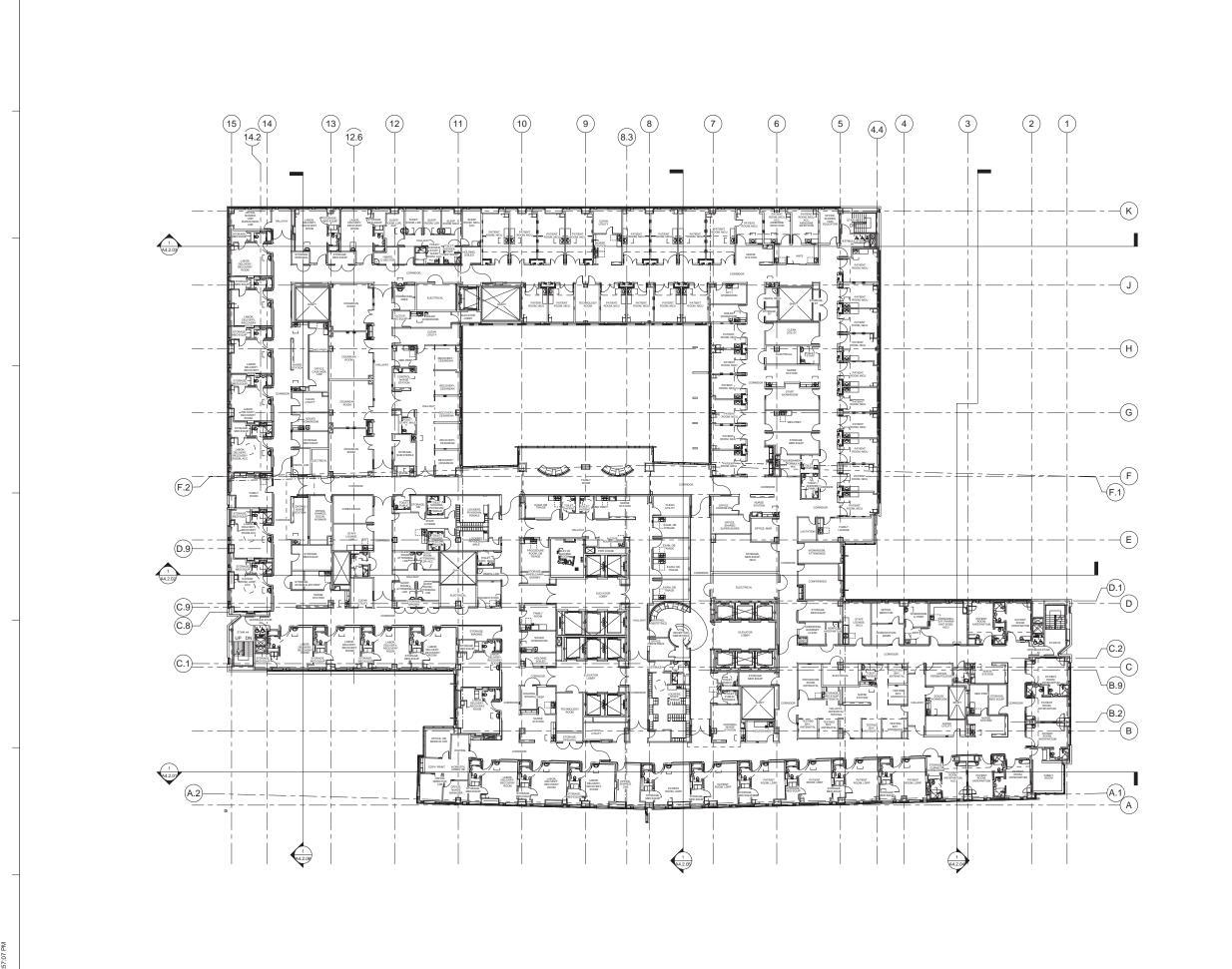
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REV DATE

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PLAN

31891.000





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architecture engineering interiors planning 301 Battery Street, 7th Floor

301 Battery Street, 7th Floor San Francisco, CA 94111 T 415.227.0100 F 415.908.0862 www.smithgroup.com

STRUCTURAL ENGINEER

Degenkolb Engineers

300 Frank H. Ogawa Plaza Oakland, CA 94612 510.272.9040

MECHANICAL ENGINEER

Ted Jacob Engineering Group. Inc 1763 Broadway Oakland, CA 94612 510.763.4880

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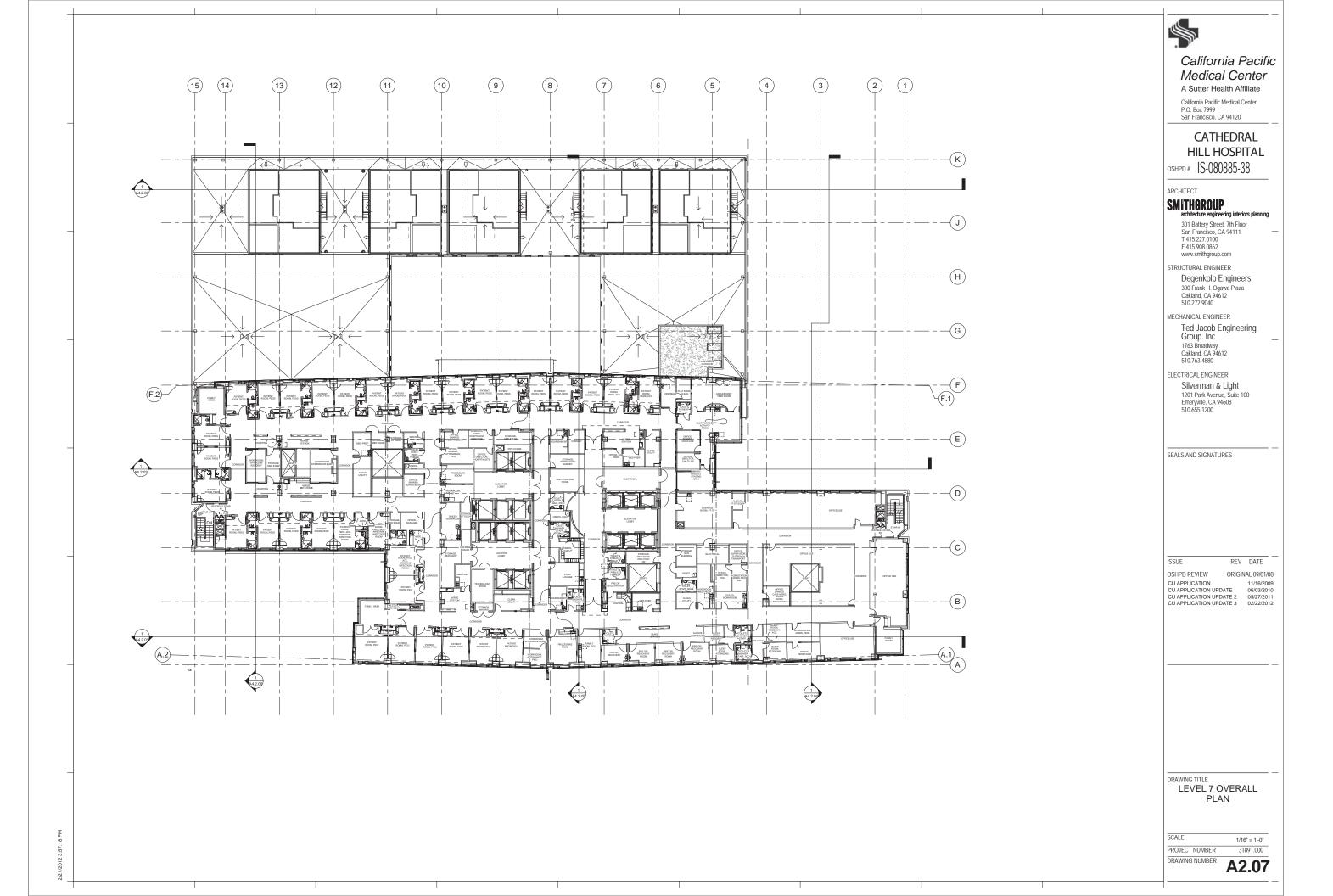
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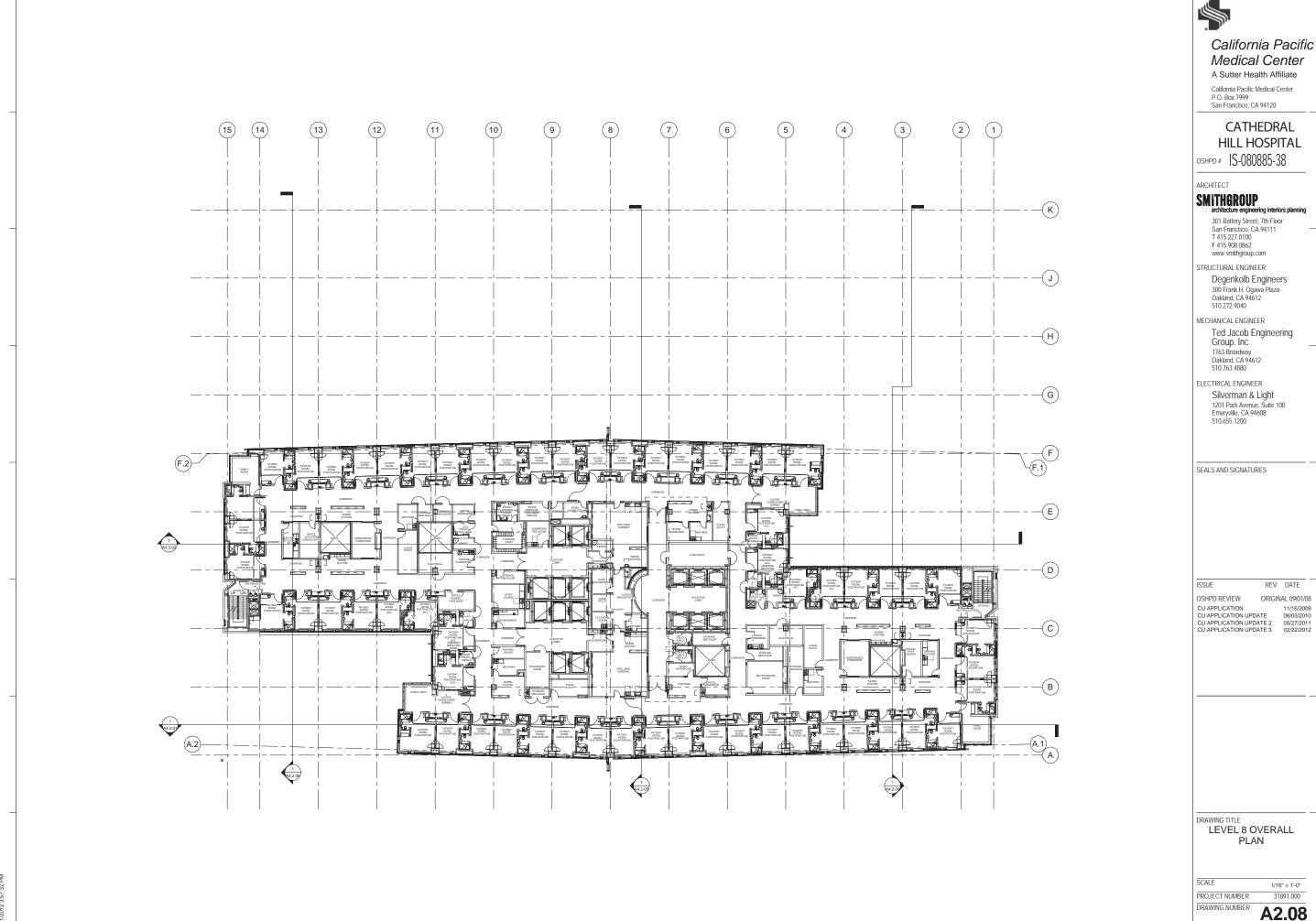
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CU APPLICATION 11/16/2009
CU APPLICATION UPDATE 2 05/27/2011
CU APPLICATION UPDATE 3 02/22/2012

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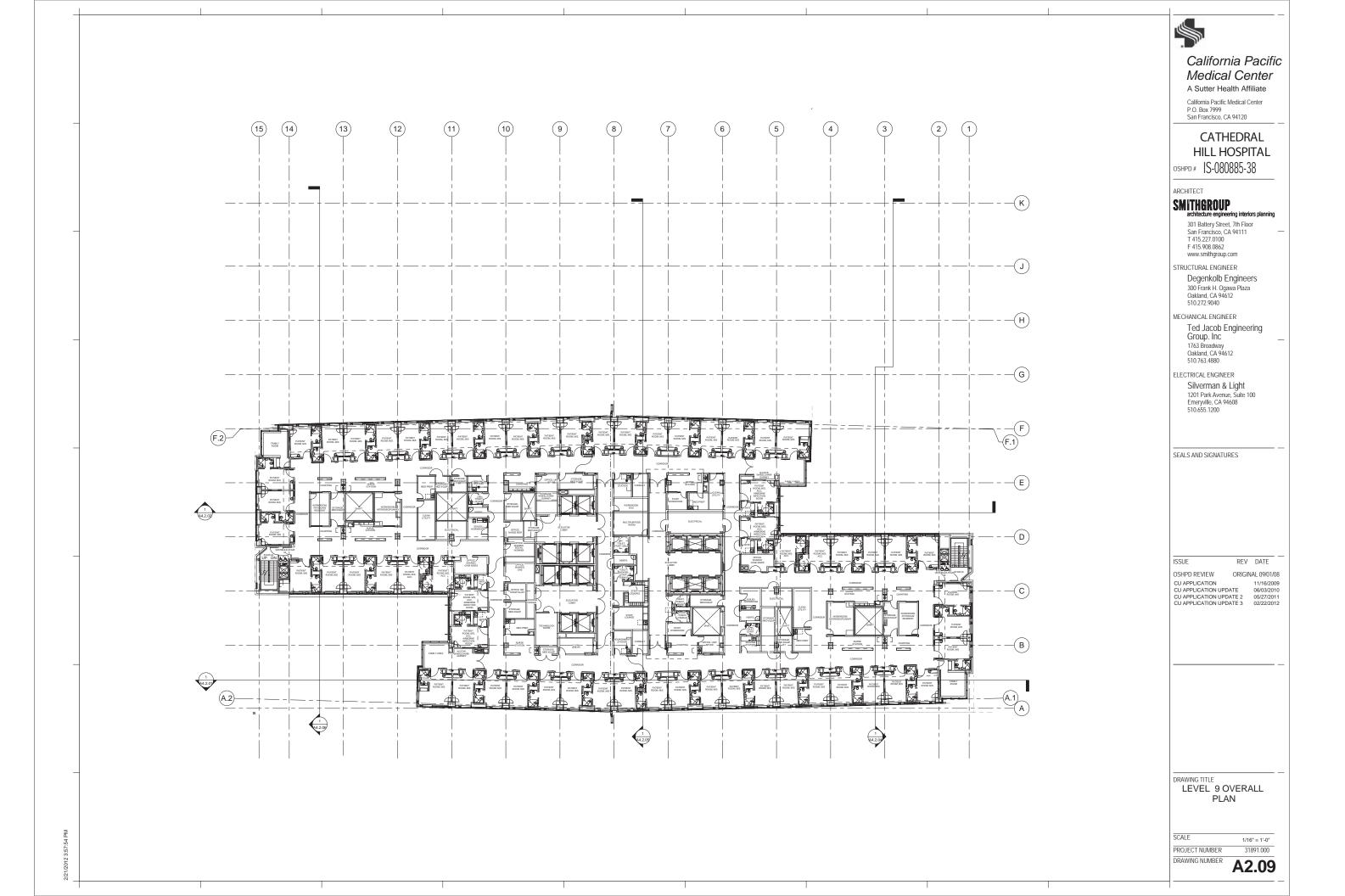
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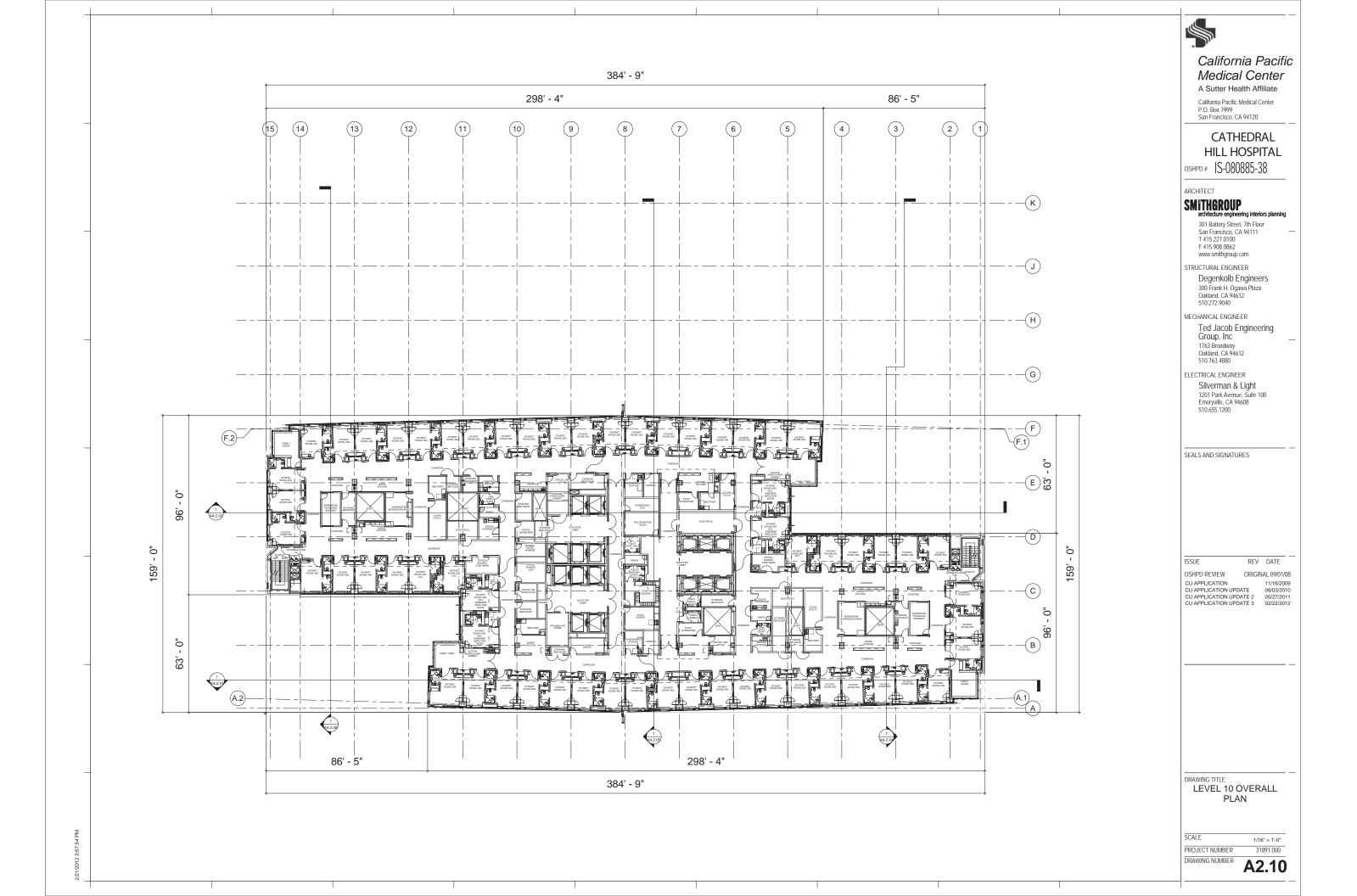
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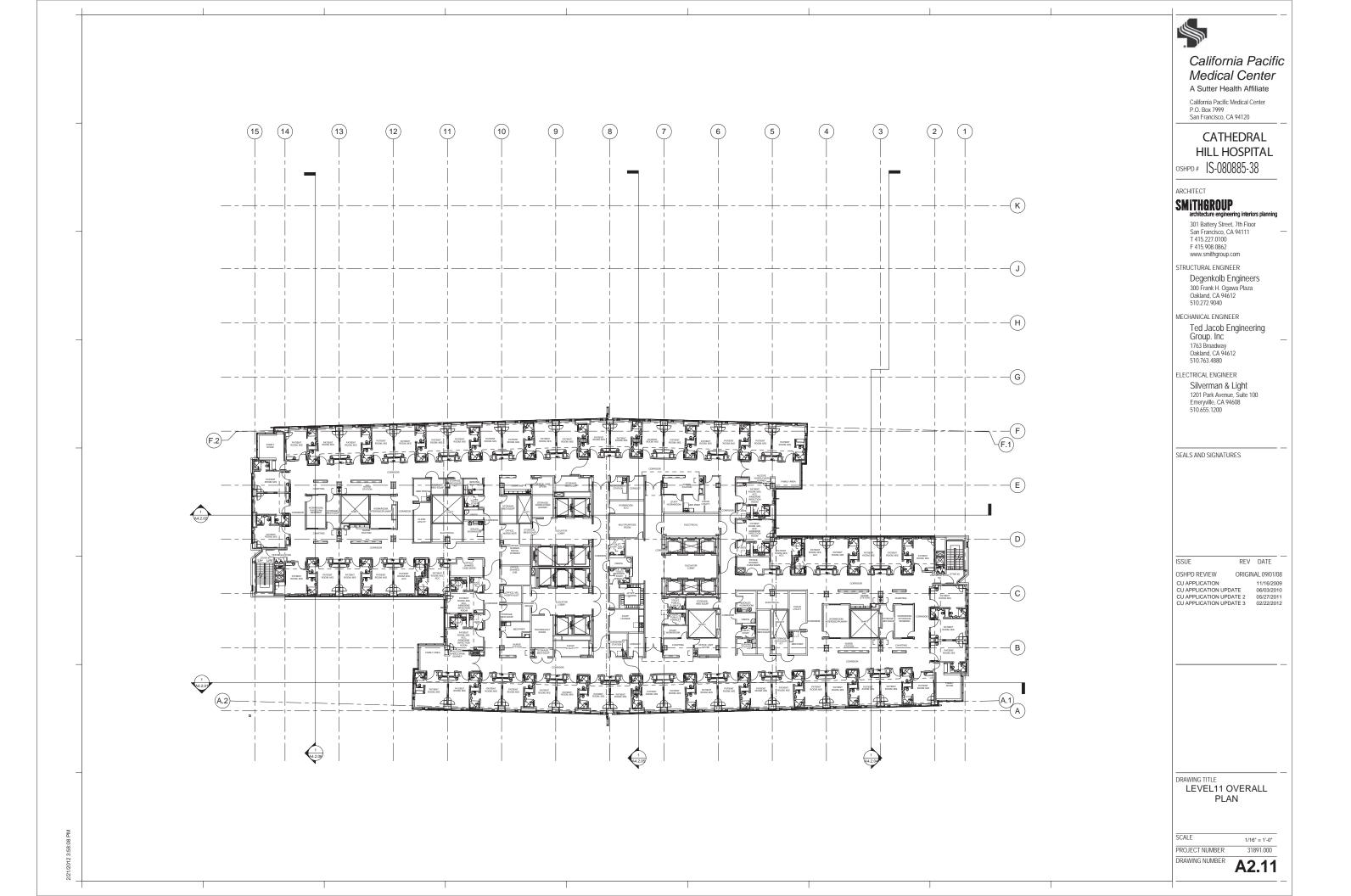


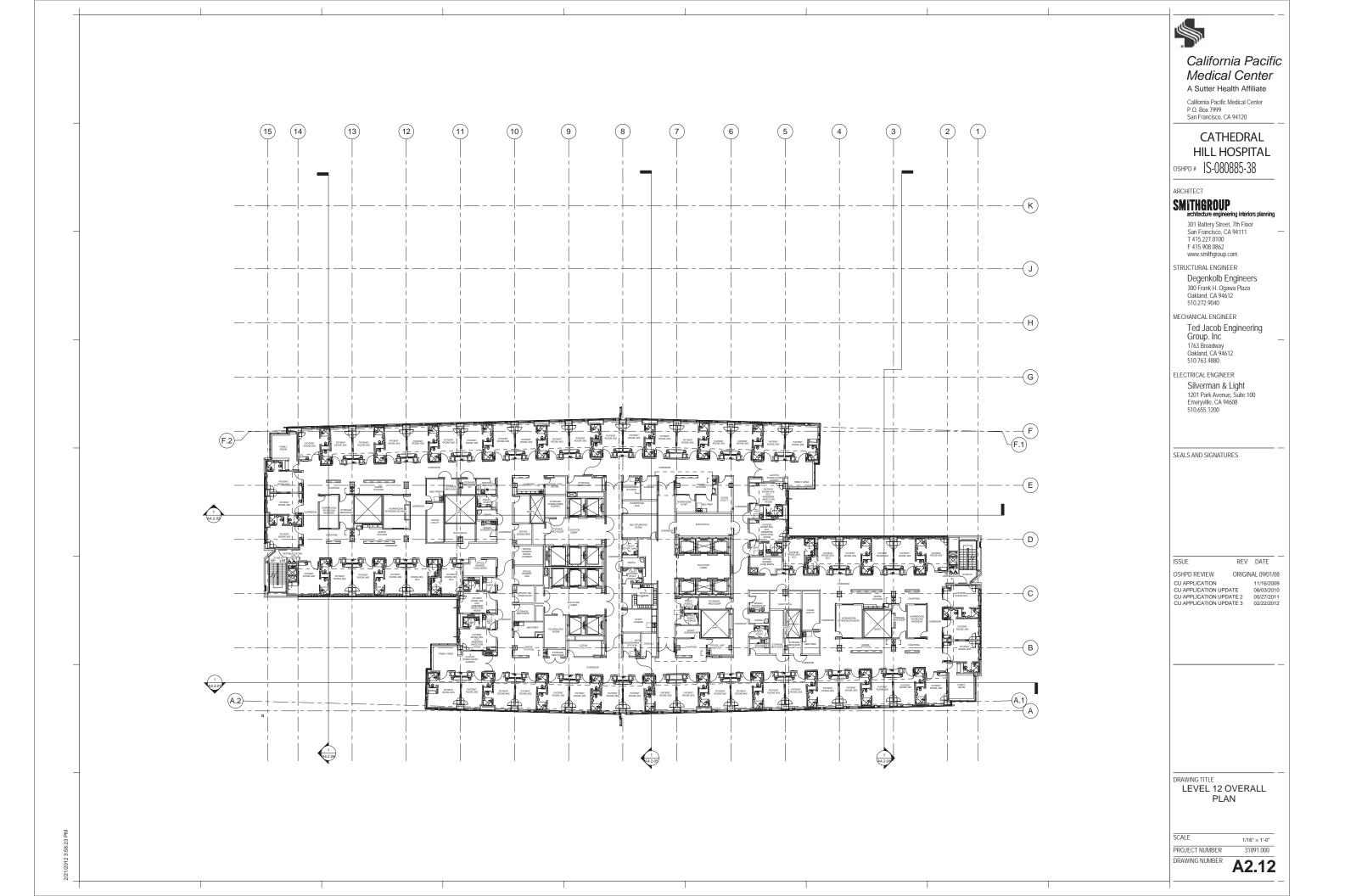


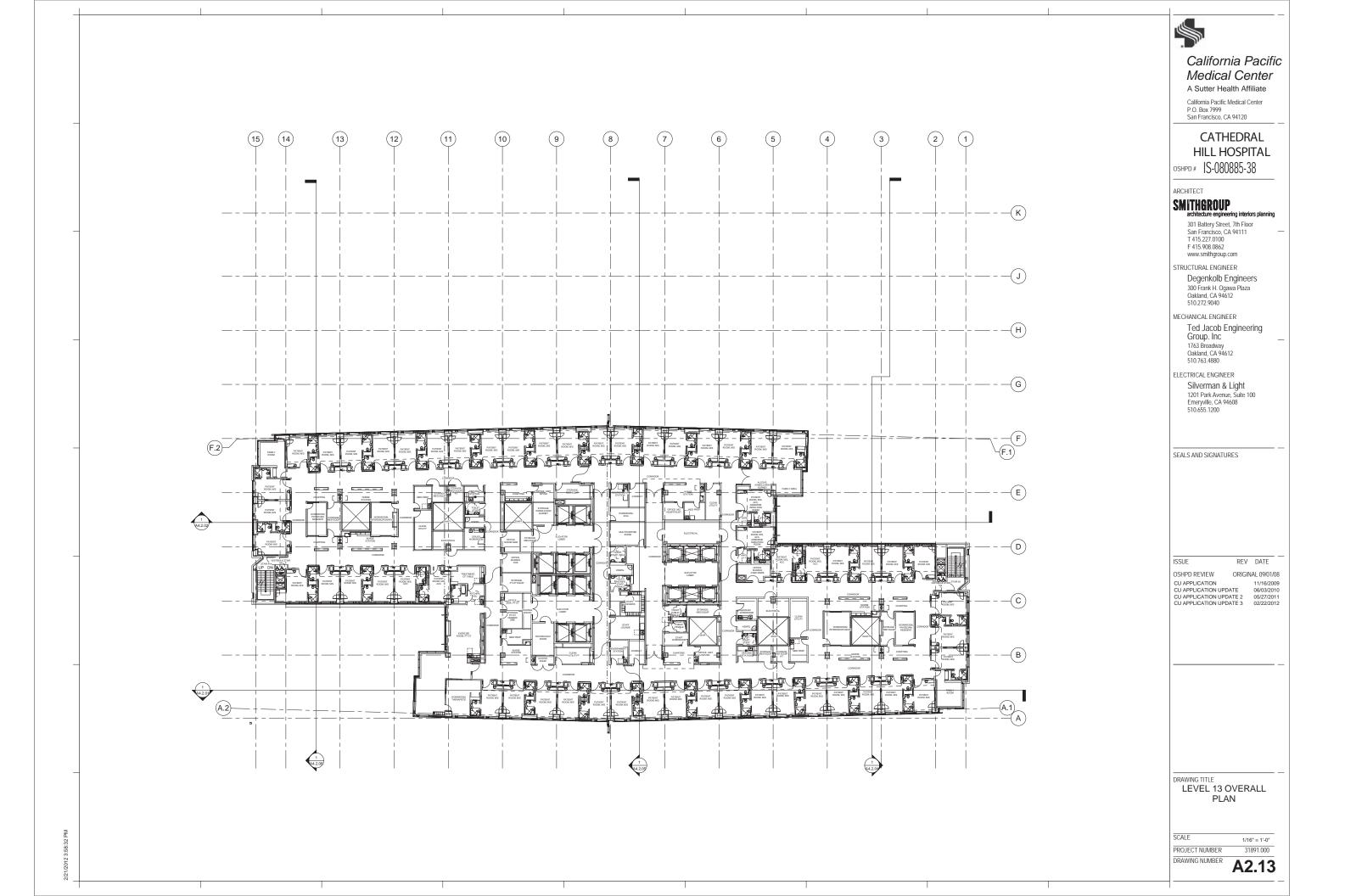


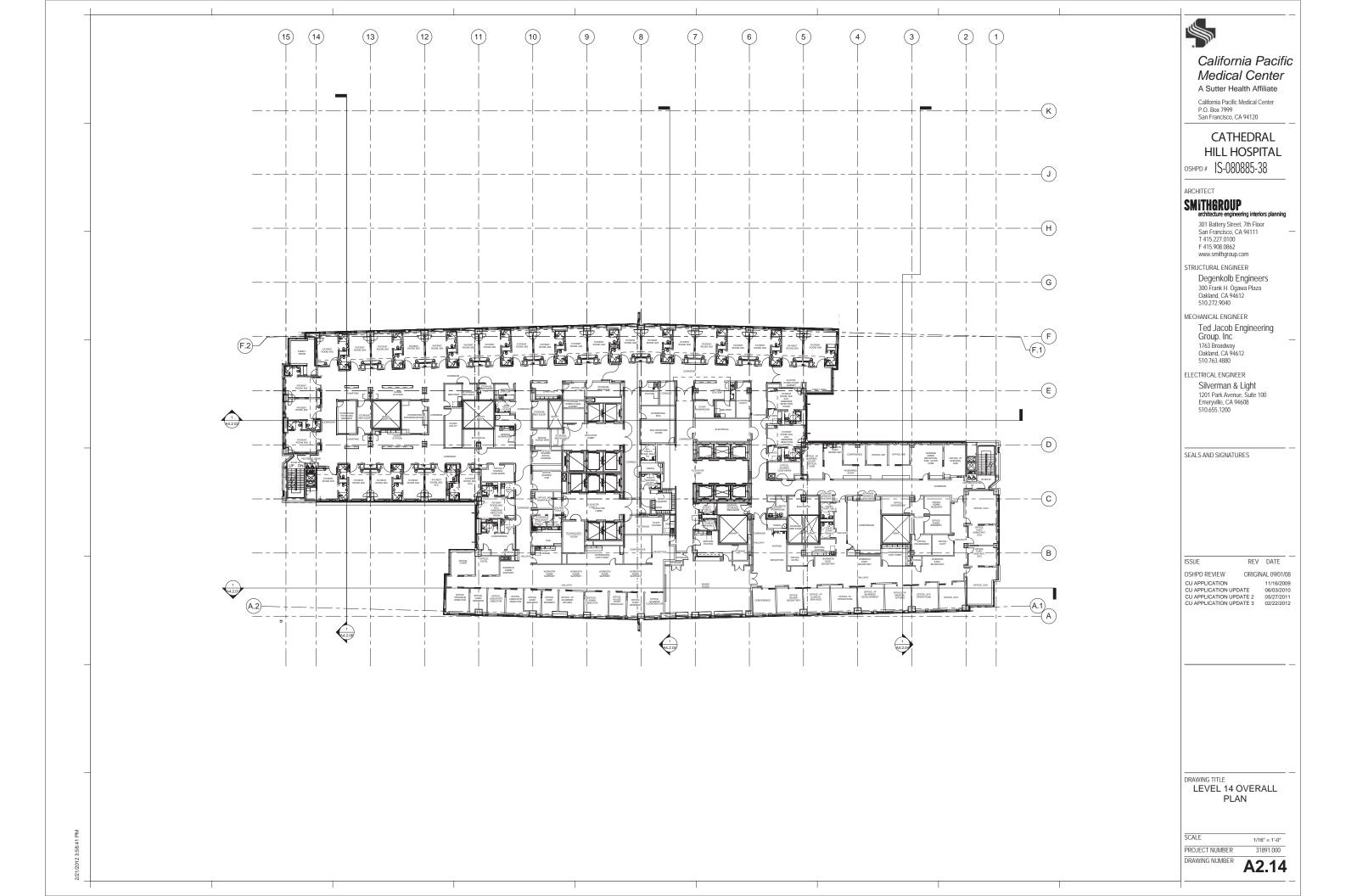


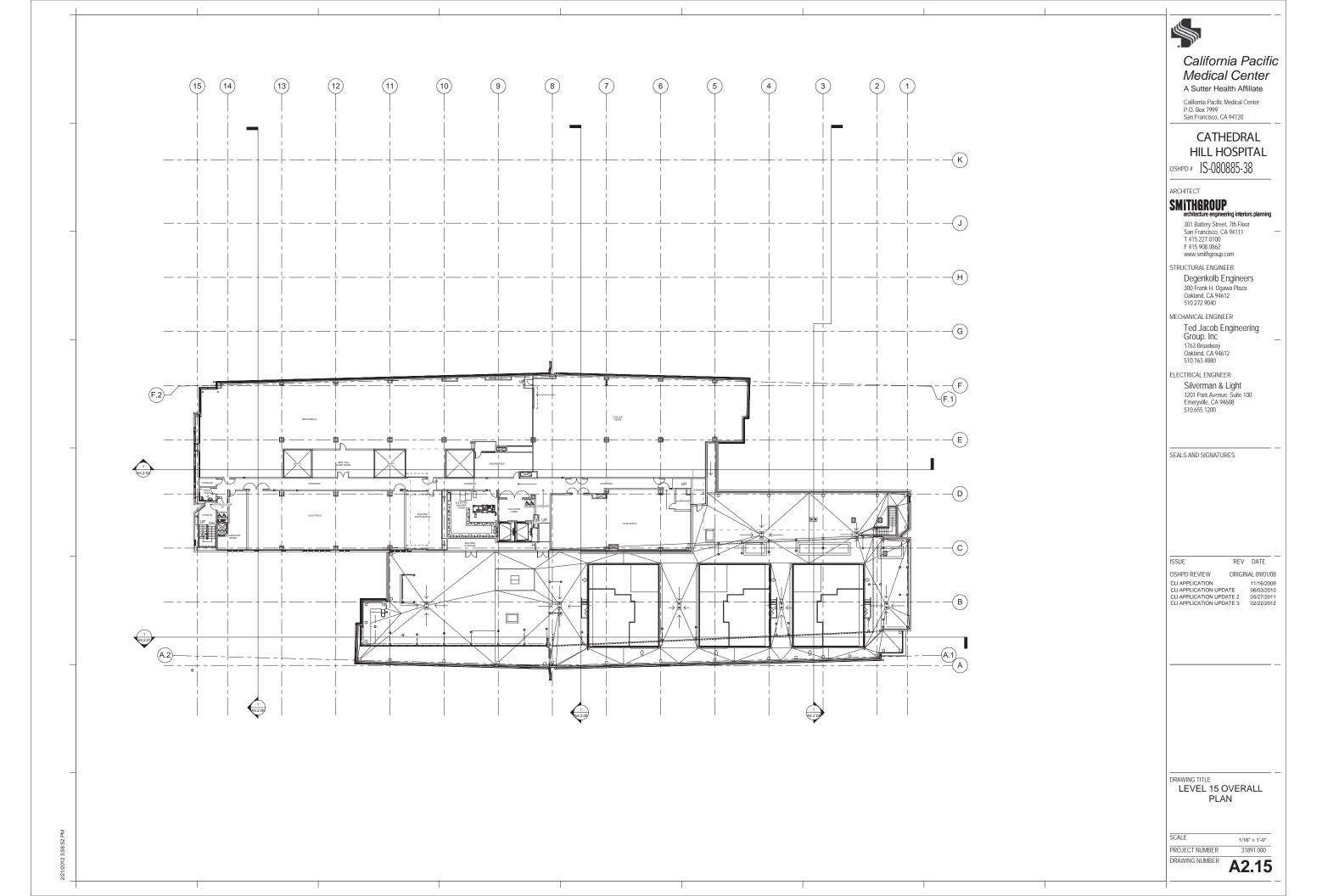


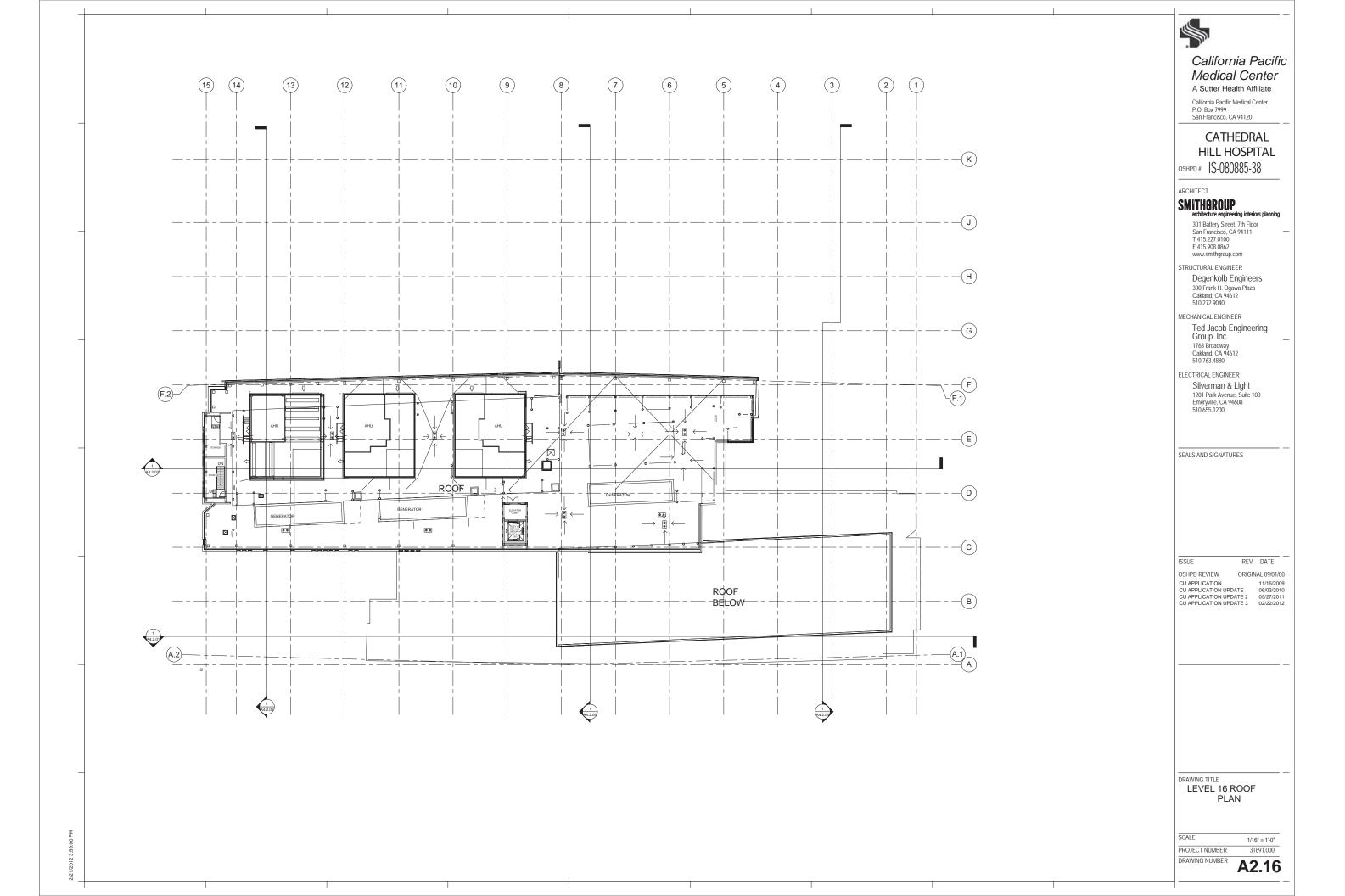


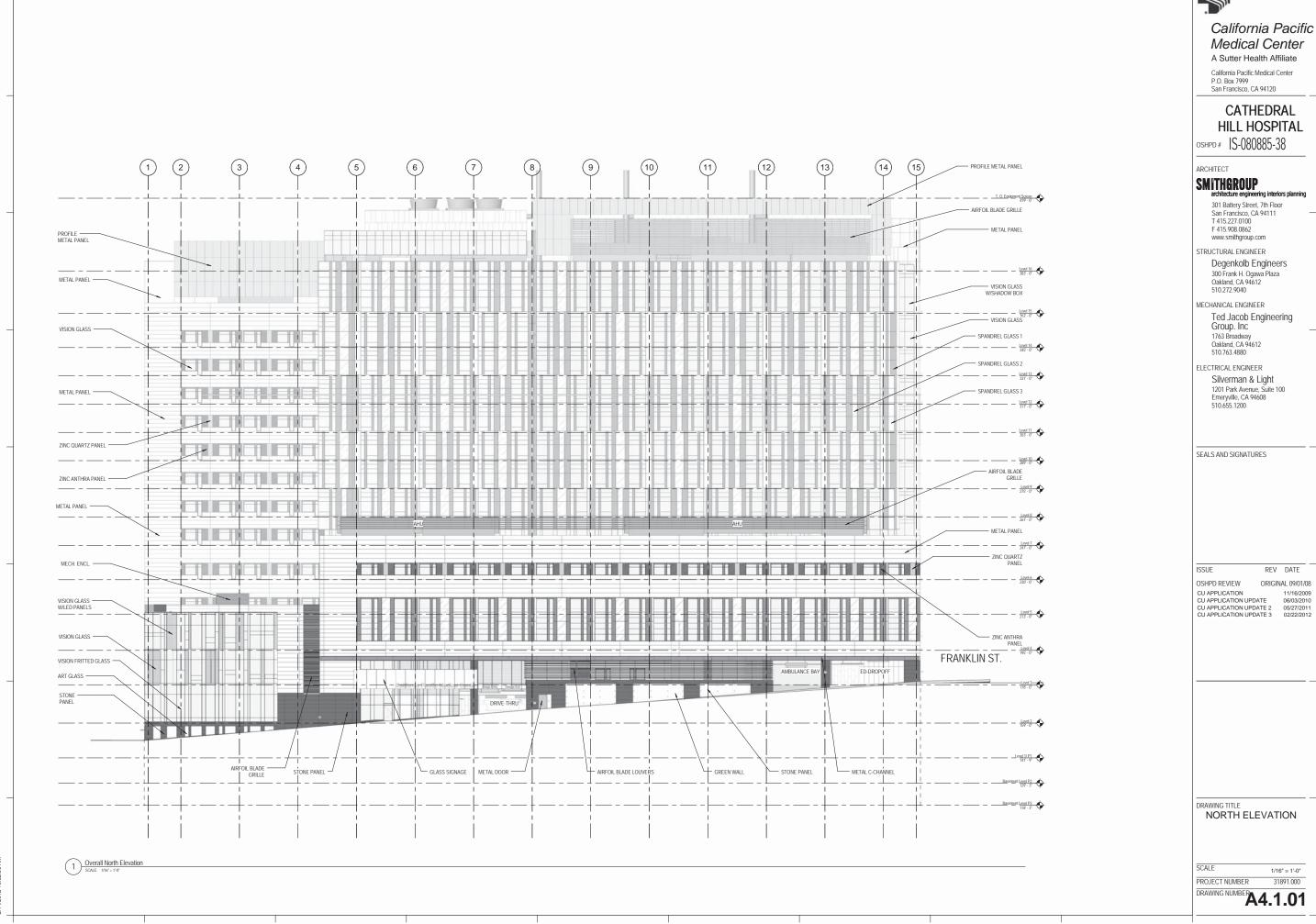




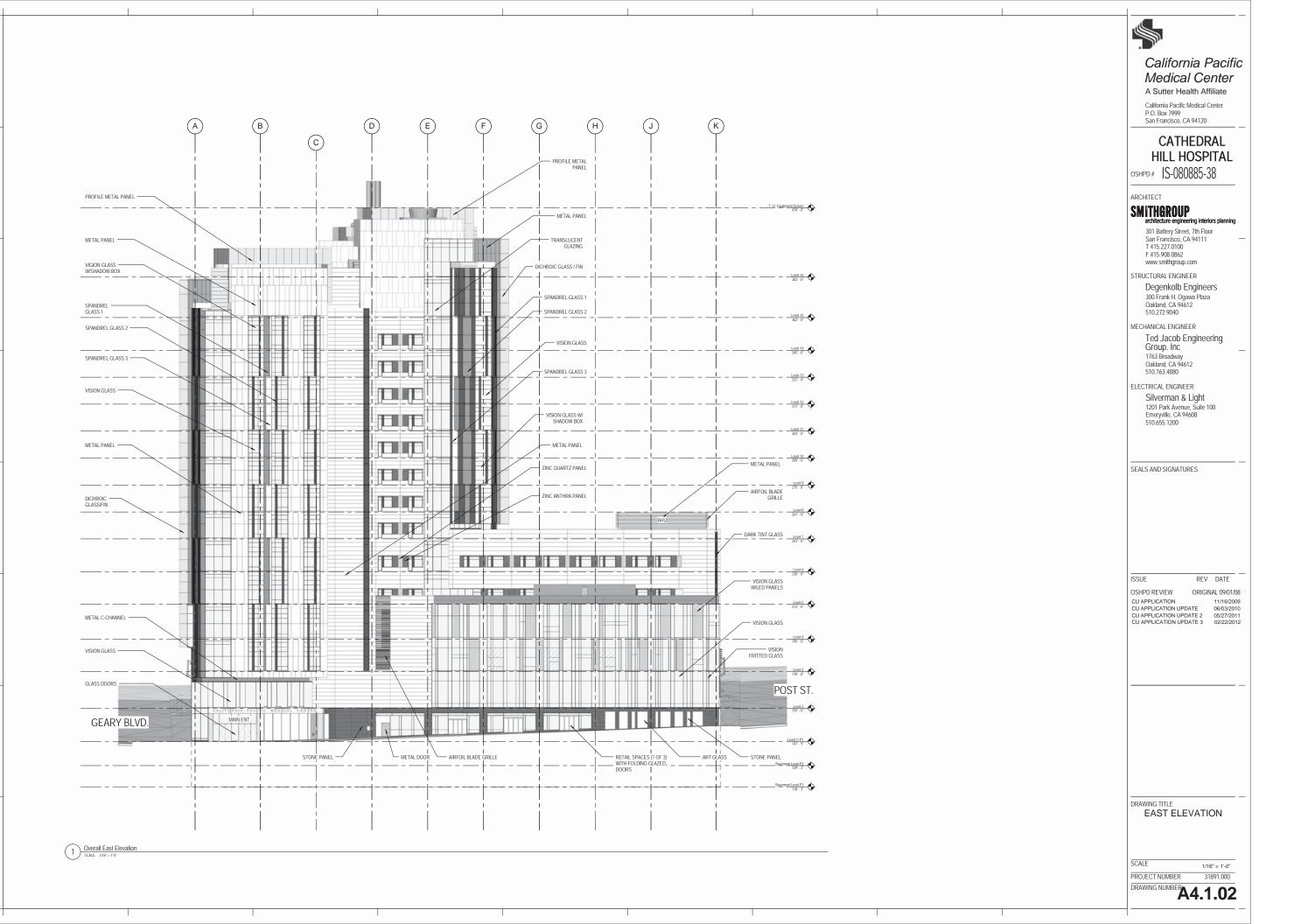


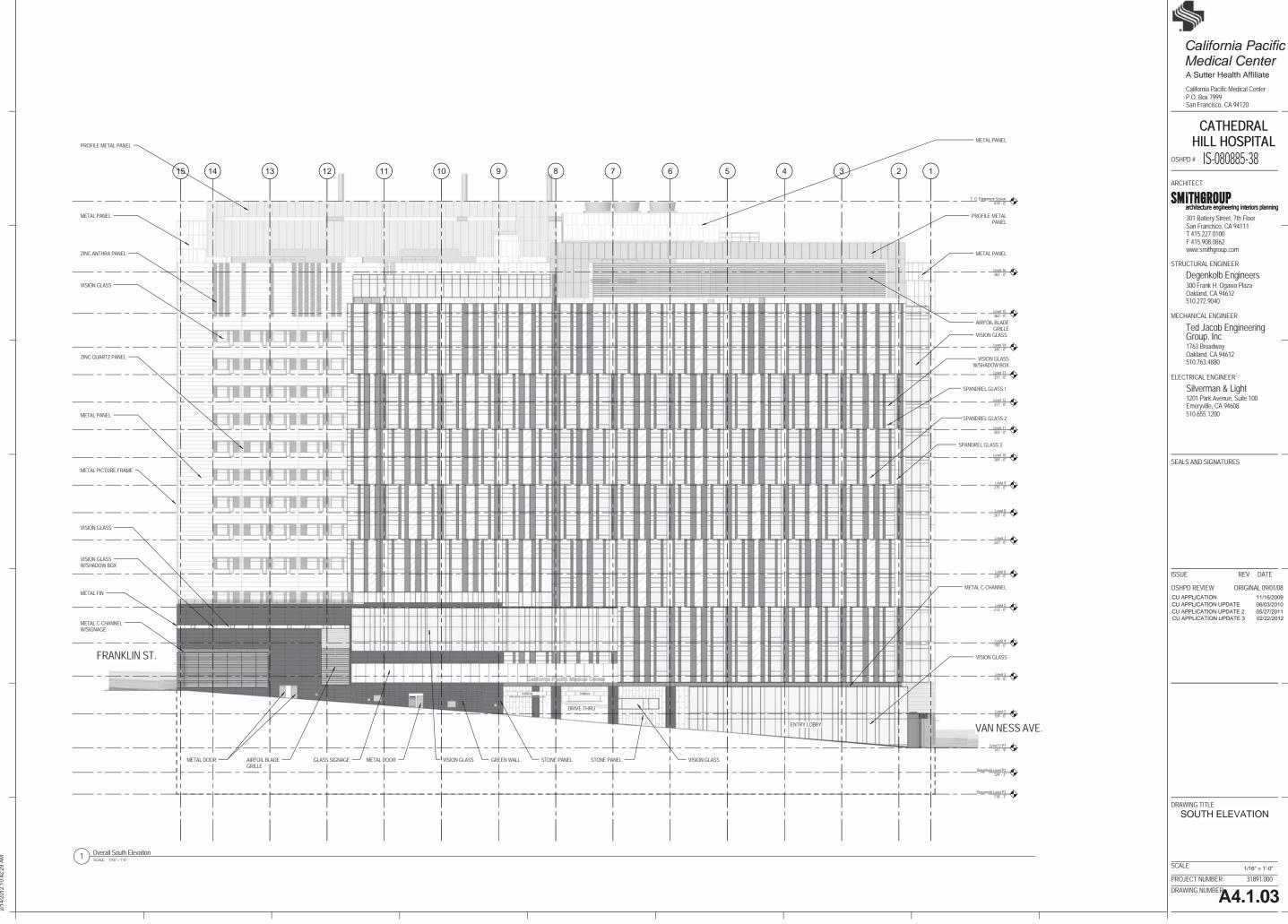












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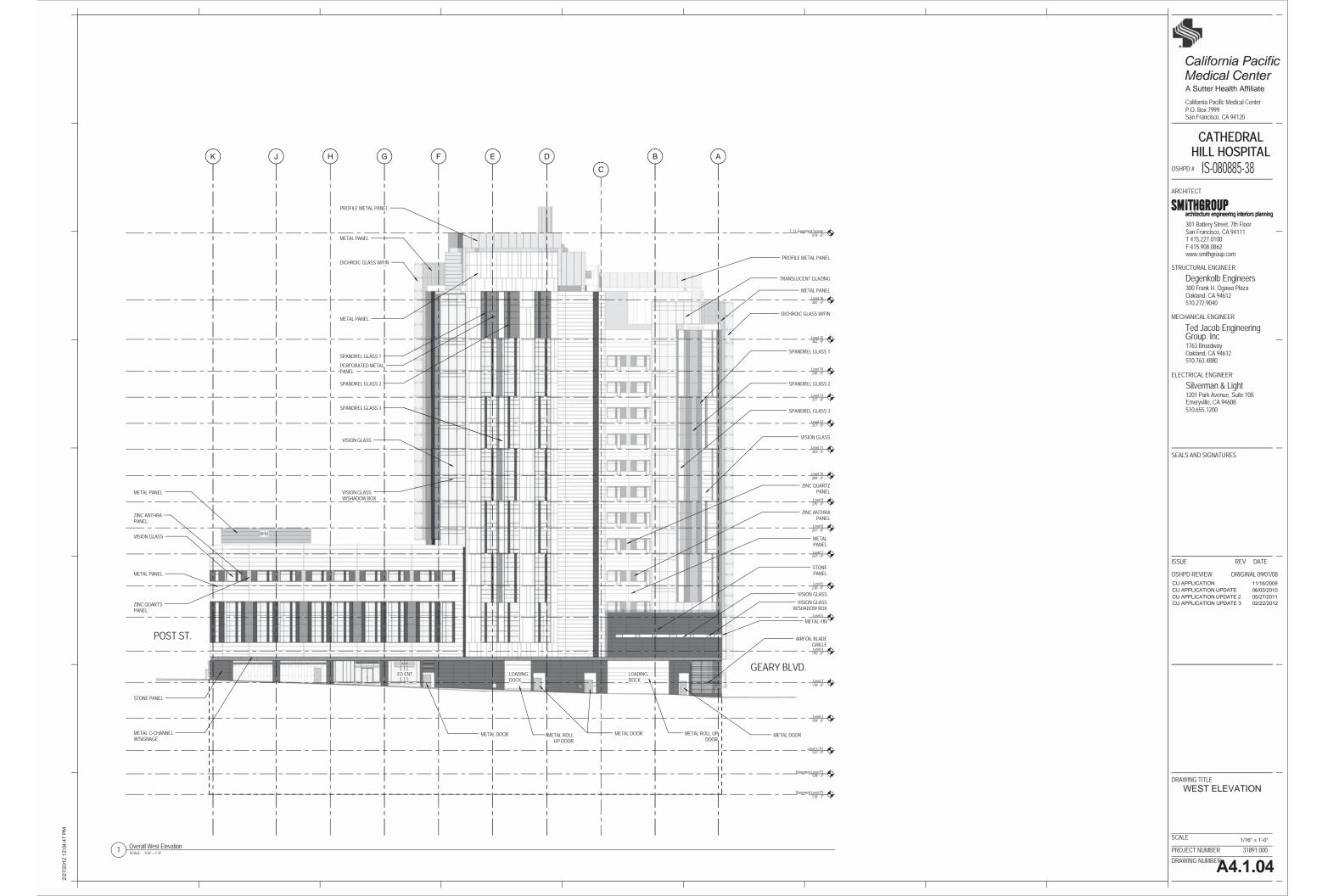
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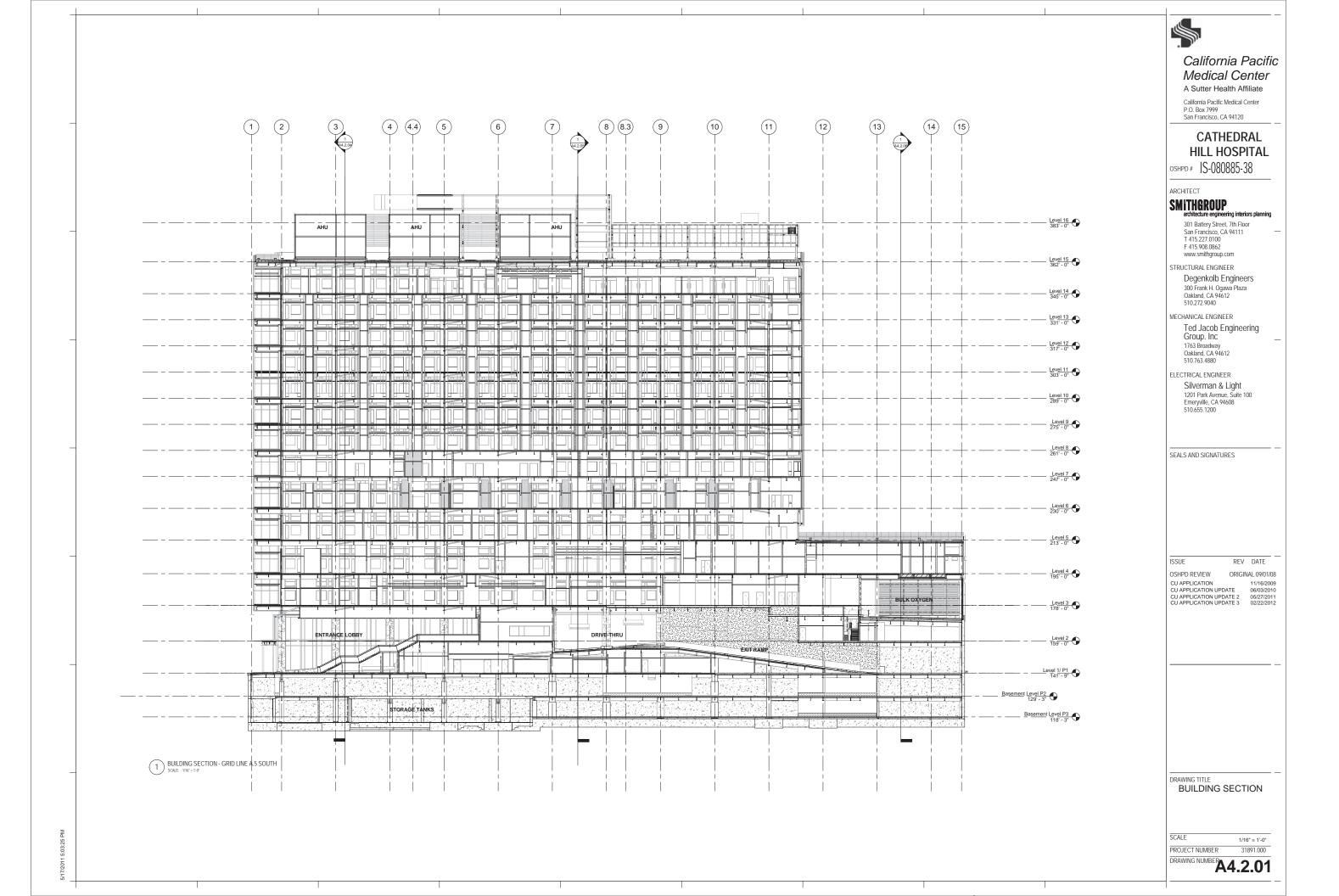
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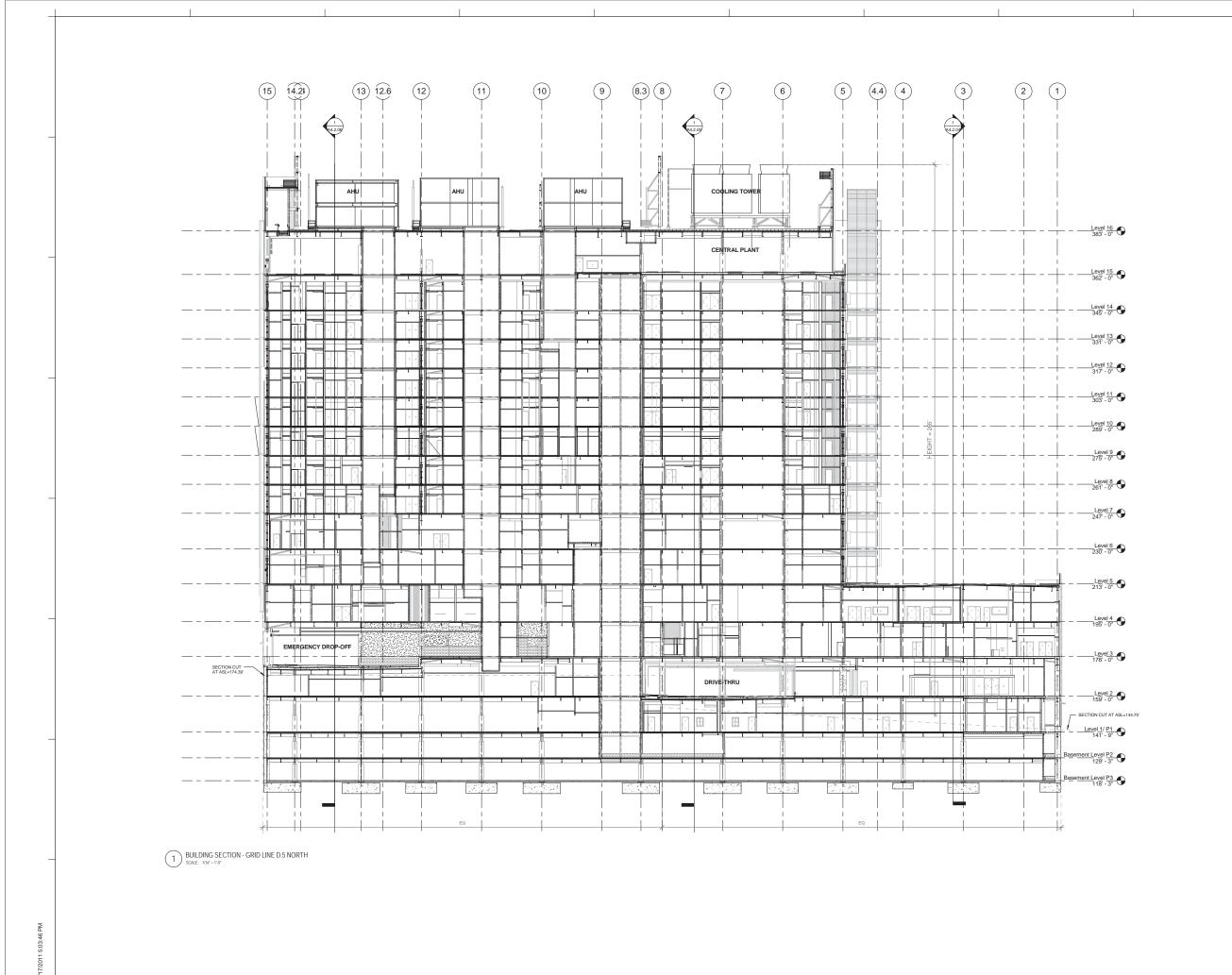
REV DATE

11/16/2009 06/03/2010 CU APPLICATION UPDATE 2 05/27/2011 CU APPLICATION UPDATE 3 02/22/2012

1/16" = 1'-0" 31891.000









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ARCHITECT

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STRUCTURAL ENGINEER

Degenkolb Engineers 300 Frank H. Ogawa Plaza Oakland, CA 94612 510.272.9040

MECHANICAL ENGINEER

Ted Jacob Engineering Group. Inc 1763 Broadway Oakland, CA 94612 510.763.4880

ELECTRICAL ENGINEER

Silverman & Light 1201 Park Avenue, Suite 100 Emeryville, CA 94608 510.655.1200

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ISSUE REV DATE

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CU APPLICATION UPDATE
CU APPLICATION UPDATE 2
CU APPLICATION UPDATE 2
CU APPLICATION UPDATE 3
02/22/2012

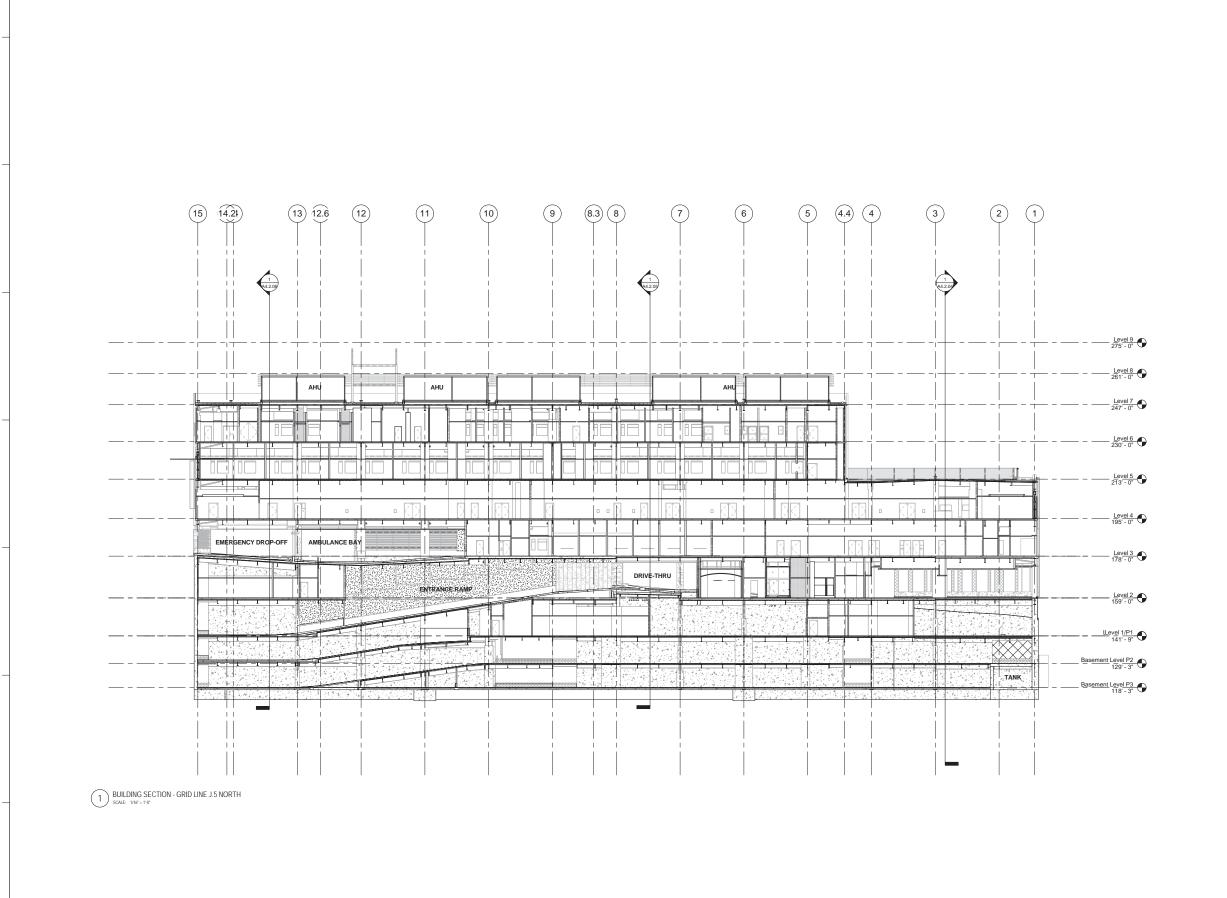
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SCALE

PROJECT NUMBER

1/16" = 1'-0" 31891.000

DRAWING NUMBER 44.2.02





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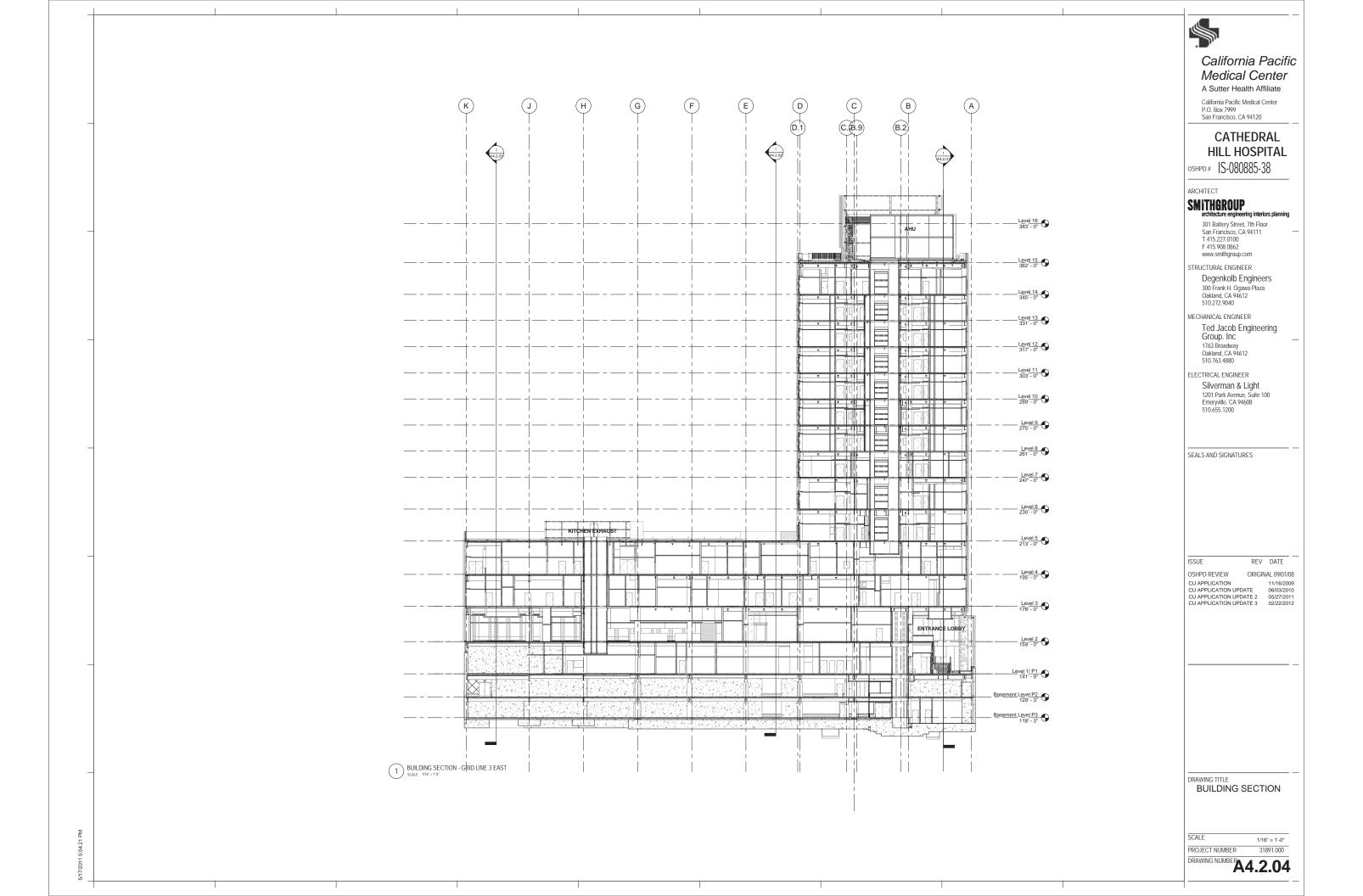
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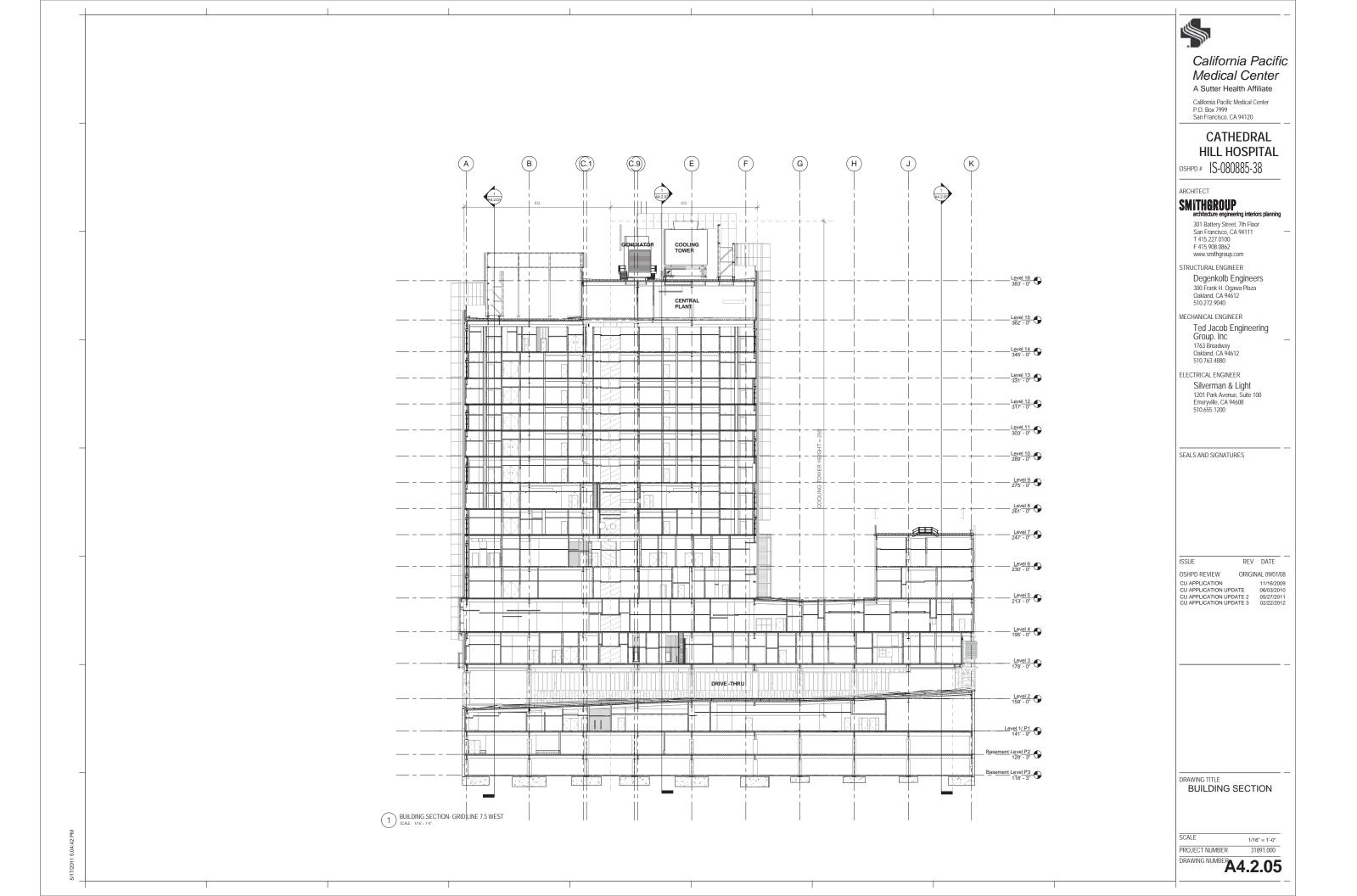
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CU APPLICATION UPDATE 06/03/2010
CU APPLICATION UPDATE 2 05/27/2011
CU APPLICATION UPDATE 3 02/22/2012

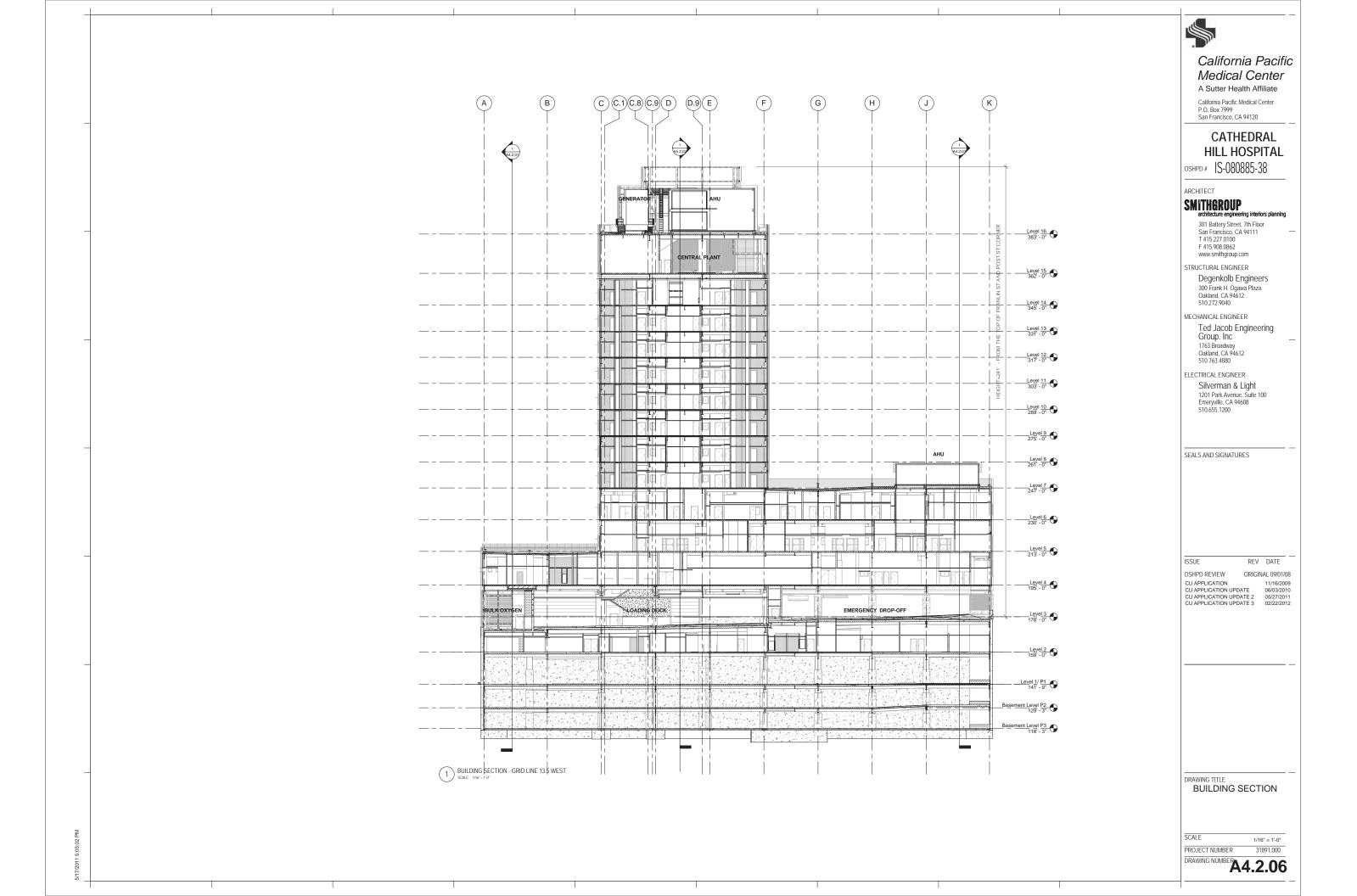
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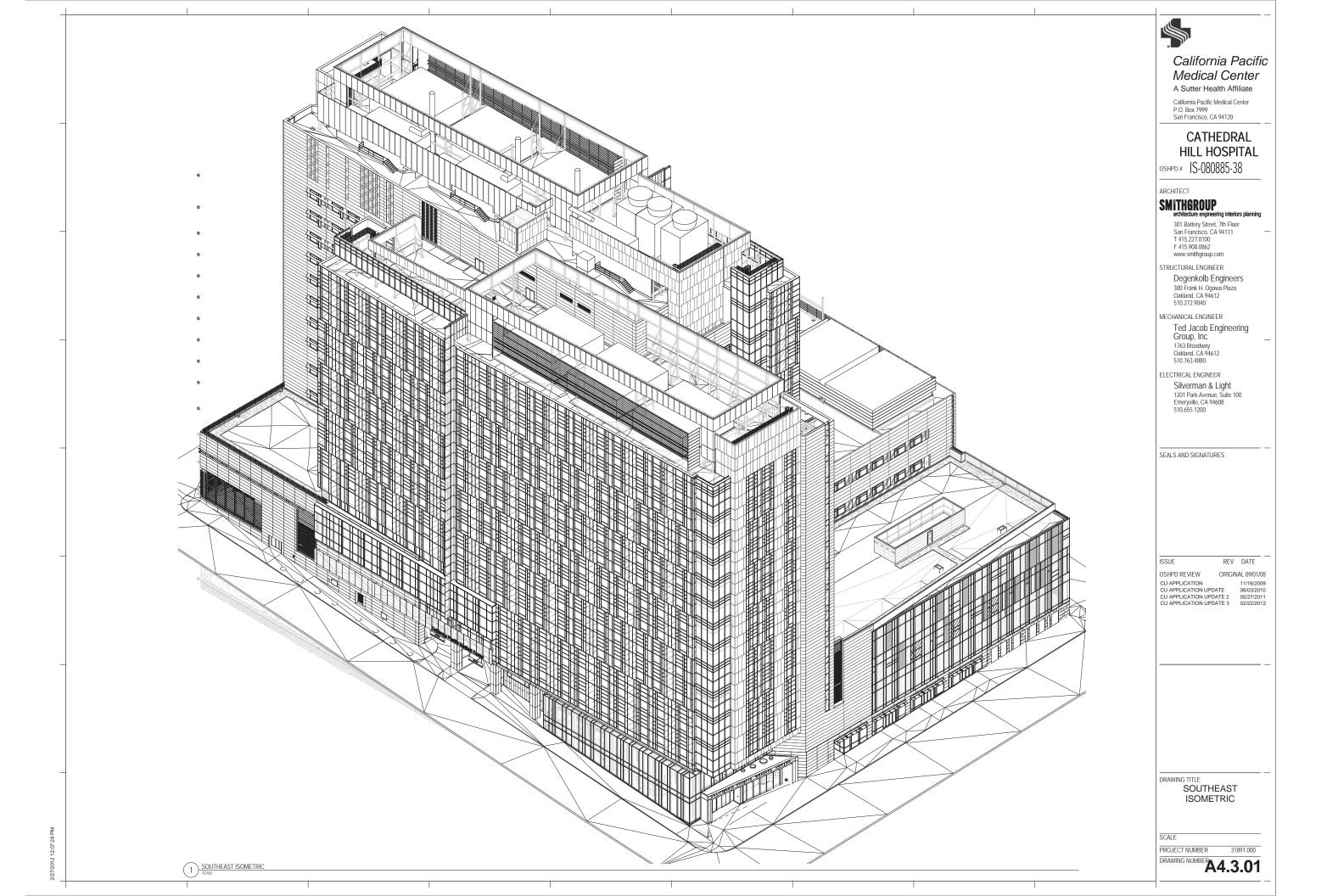
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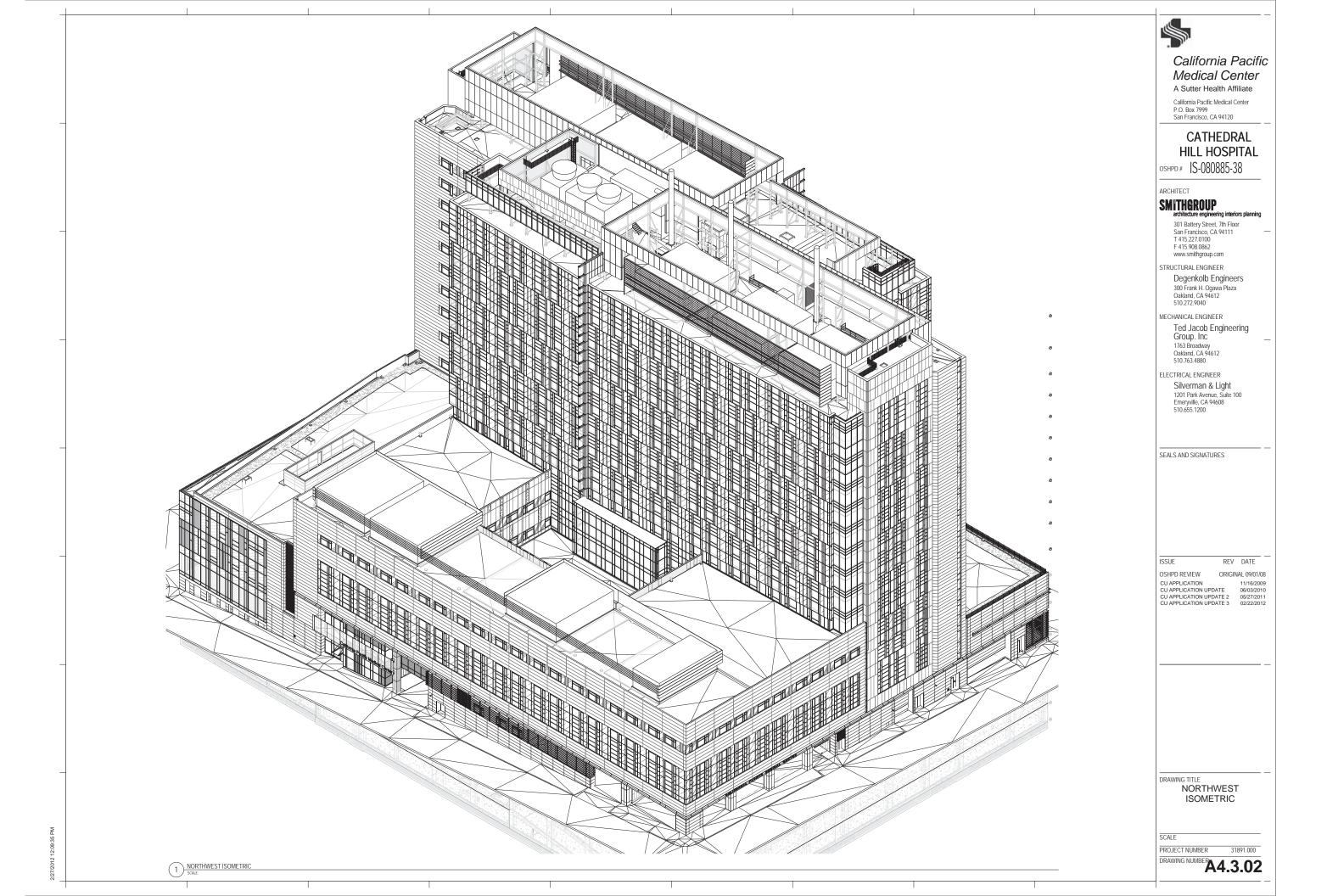
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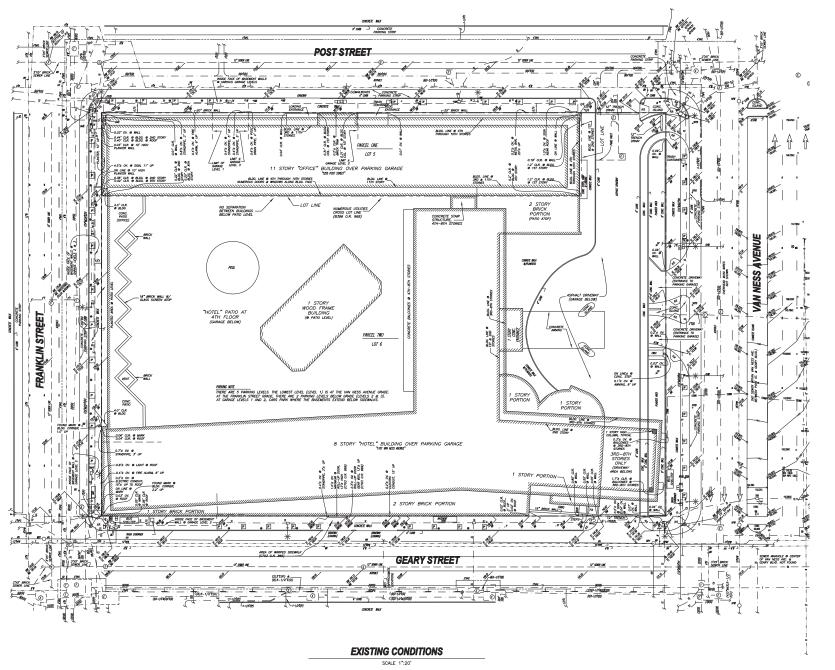














LEGAL DESCRIPTION
ALL THAT REAL PROPERTY SITUATED IN THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF
CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:

BEING A PORTION OF WESTERN ADDITION BLOCK NO. 83. LOT 005, BLOCK 0695

PARCEL TWO:

EXCEPTING THEREFROM, THE FOLLOWING DESCRIBED PROPERTY

COMMENCING AT A POINT ON THE SOUTHERY UNE OF POST STREET, DISTANT THEREON 57.50 FEET WESTERLY OF THE WESTERLY UNE OF VAN NESS ARENUE; RIUNNING THENCE RIGHT ANNELS SOUTHERLY, PARAULLE WITH SAID LINE OF VAN NESS ARENUE; 58.63 FEET TO A A RIGHT ANNEL WESTERLY, PARAULLE WITH SAID LINE OF POST STREET 327.25 FEET FARAULLIS STREET, 56.63 FEET TO SAID SOUTHERY, LINE OF POST STREET, THENCE AT A ANGLE EASTERLY, ALONG SAID LINE OF POST STREET, THENCE AT A ANGLE EASTERLY, ALONG SAID LINE OF POST STREET, THENCE AT A ANGLE EASTERLY, ALONG SAID LINE OF POST STREET, THENCE AT A RIGHT STREET, THENCE

LOT 006, BLOCK 0695

SURVEY REFERENCE CHICAGO TITLE COMPANY PRELIMINARY REPORT NO. 705817 DATED SEPTEMBER 8, 2003. THE FOLLOWING ARE EXCEPTIONS TO TITLE WITHIN THE ABOVE REFERENCED PRELIMINARY REPORT THE SUBJECT PROPERTY LIES WITHIN THE EXTERIOR BOUNDARIES OF THE WESTERN ADDITION APPROVED REDEVELOPMENT PROJECT AREA A-2 AND IS SUBJECT TO THE MASTER PLAN FOR THE REDEVELOPMENT OF SAID PROJECT SET FORTH IN "THE REDEVELOPMENT PLAN" FILED JULY 21, 1966, SERIES NO. PO3935, OFFICIAL RECORDS AND ALL SUBSEQUENT AMENDMENTS.

2. COVENANTS, CONDITIONS AND RESTRICTIONS IN THE DECLARATION OF RESTRICTIONS RECORDED DECEMBER 13, 1966, IN BOOK B103, PAGE 216, OFFICIAL RECORDS. 3. TERMS AND CONDITIONS AS CONTAINED IN THAT CERTAIN GRANT DEED RECORDED DECEMBER 9, 1969, IN BOOK B386, PAGE 961, OFFICIAL RECORDS.

4. "GRANT OF EASEMENT AND ACCEPTANCE OF COVENANTS" RECORDED DECEMBER 9, 1969, IN BOOK B386, PAGE 988, OFFICIAL RECORDS. EASEMENT IN FAVOR OF LOT 6 FOR USE OF UTILITIES AND STRUCTURES LOCATED ON LOT 5 ESSENTIAL TO THE SERVICING AND OPERATION OF THE IMPROVEMENTS ON LOT 6. EXACT LOCATIONS UNKNOWN.

5. CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS ORDER NO 113,753 RECORDED JANUARY 2, 1979, IN BOOK C703, PAGE 869, OFFICIAL RECORDS. SADI INSTRUMENT CRANTS REVOLABLE PERMISSION TO OCCUPY A PORTION OF THE SDEWALK AREA WITH A ROLLUP DOOR INSTALLATION AND TO CONSTRUCT A WARPED DIVEWAY KARM AT GEARY STREET FRONTAGE.

BASIS OF SURVEY
CITY OF SAN FRANCISCO MONUMENT MAP NO. 16 ON FILE IN THE OFFICE OF
THE CITY ENGINEER.

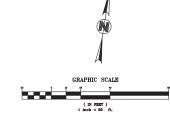
GENERAL NOTES

1. DETAILS NEAR PROPERTY LINES ARE NOT TO SCALE.

2. ALL ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.

3. THIS SURVEY WAS CONDUCTED BY MARTIN M RON ASSOCIATES.

UTILITY NOTE
THE UTILITY SPECIAL ON THE SUBFACE AND SHOWN ON THIS DRAWNG HAVE SEEN
THE UTILITY FIELD SURVEY, ALL UNDERFOOLNO UTILITIES SHOWN ON THIS DRAWNG
ARE FROM RECORDS OF THE VARIOUS UTILITY COMPARIES AND THE SURVEYOR DOES
NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION OR SIZE.
RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSION THE UTILITY.
DUE TO THE PROLIFFER TONG OF TELECOMAUNICATION CHAPMANES, NOT ALL
LINES NOT SHOWN HEREON.





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CATHEDRAL HILL HOSPITAL

ARCHITECT

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ANDSCAPE ARCHITECT

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SEALS AND SIGNATURES



STREET IMPROVEMENT PERMIT SUBMITTAL

DATE

PERMIT SET PERMIT SET PERMIT SET

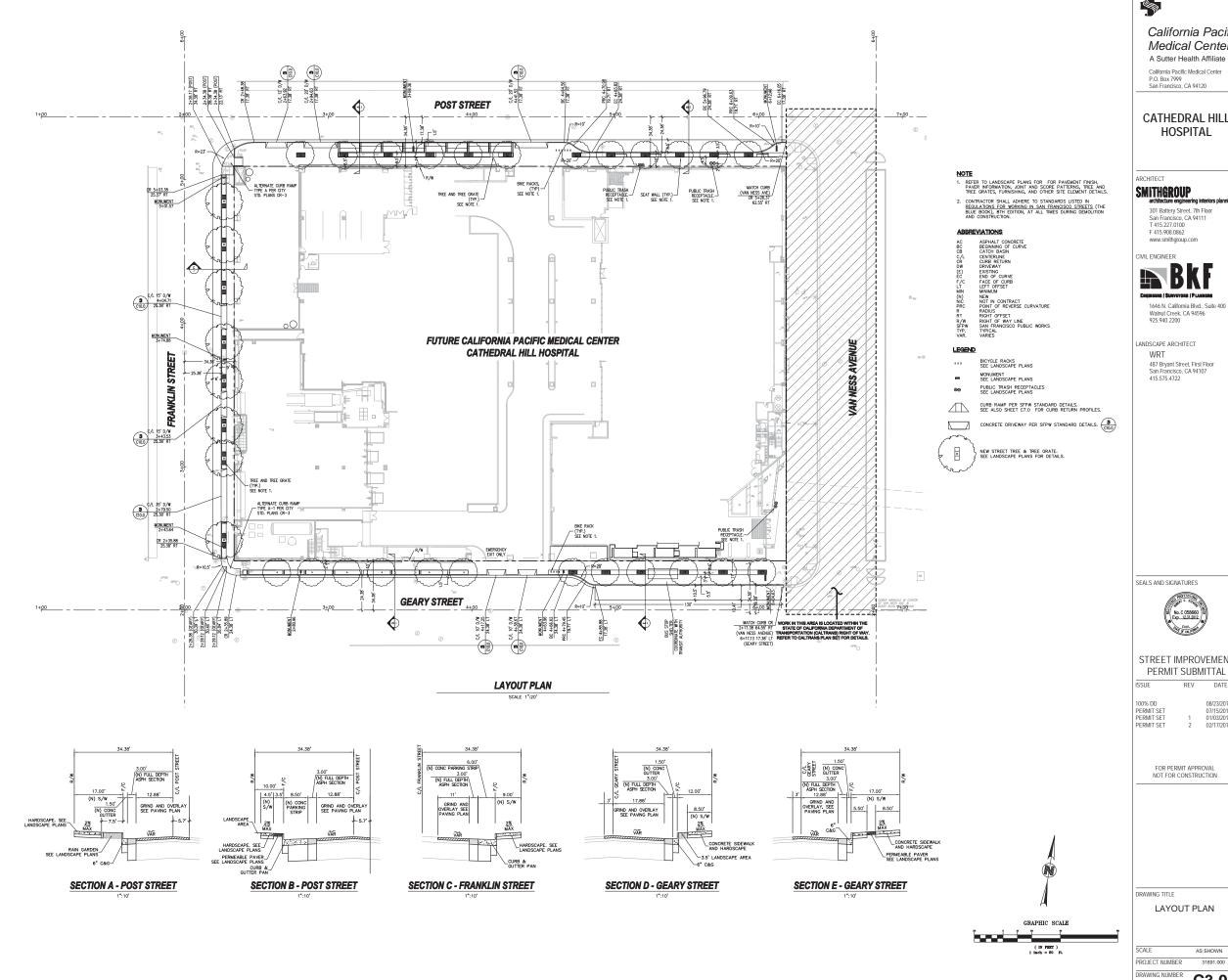
FOR PERMIT APPROVAL

DRAWING TITLE

FXISTING CONDITIONS

PROJECT NUMBER DRAWING NUMBER

C1.0





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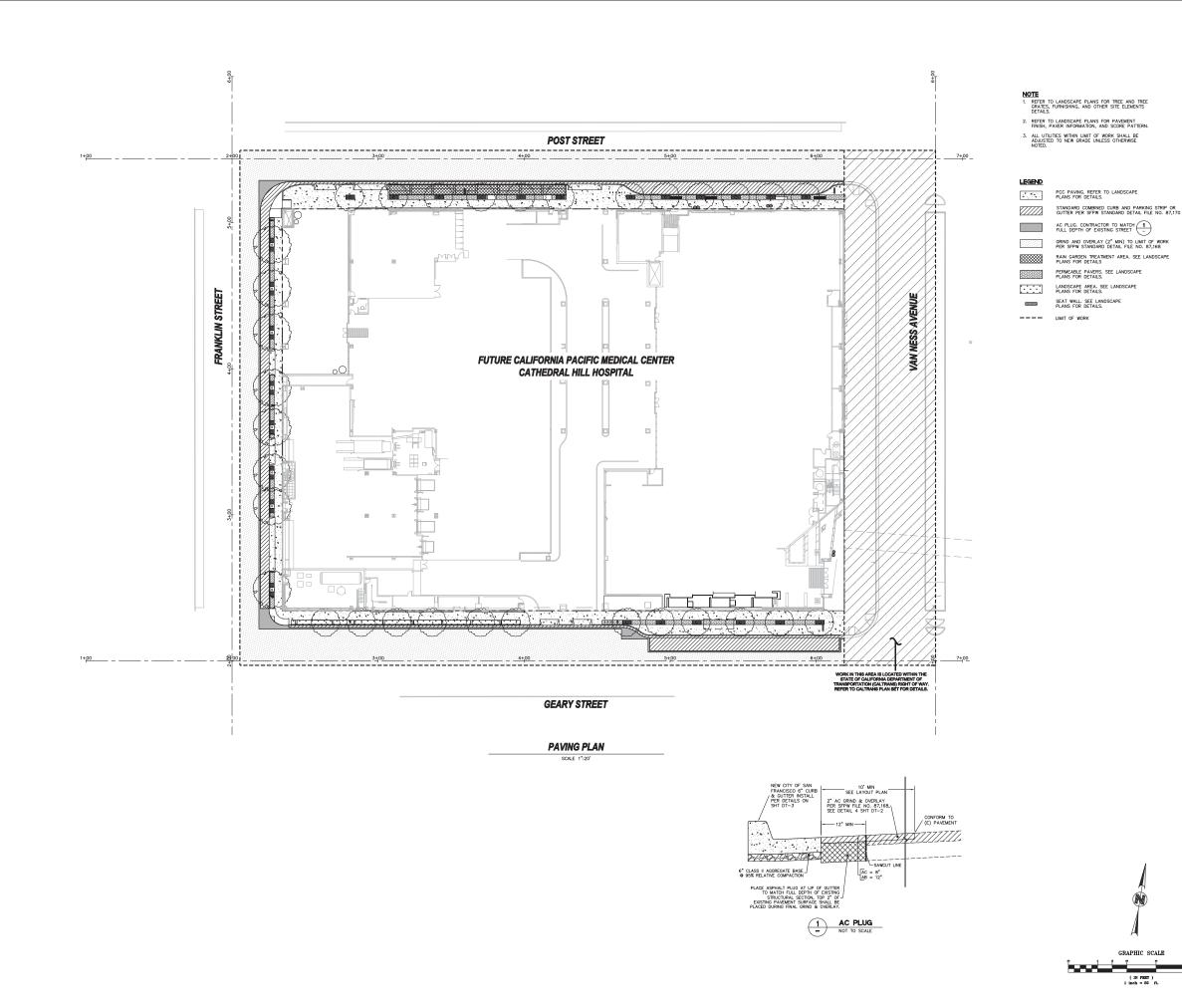


STREET IMPROVEMENT PERMIT SUBMITTAL

REV DATE

LAYOUT PLAN

SCALE	AS SHOWN
PROJECT NUMBER	31891.000
DRAWING NUMBER	C3.0





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architecture engineering interiors p 301 Battery Street, 7th Floor San Francisco, CA 94111 T 415.227.0100 F 415.908.0862 www.smithgroup.com

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STREET IMPROVEMENT PERMIT SUBMITTAL

ISSUE REV DATE

100% DD 08/23/2011
PERMIT SET 07/15/2011
PERMIT SET 1 01/03/2011
PERMIT SET 2 02/17/2012

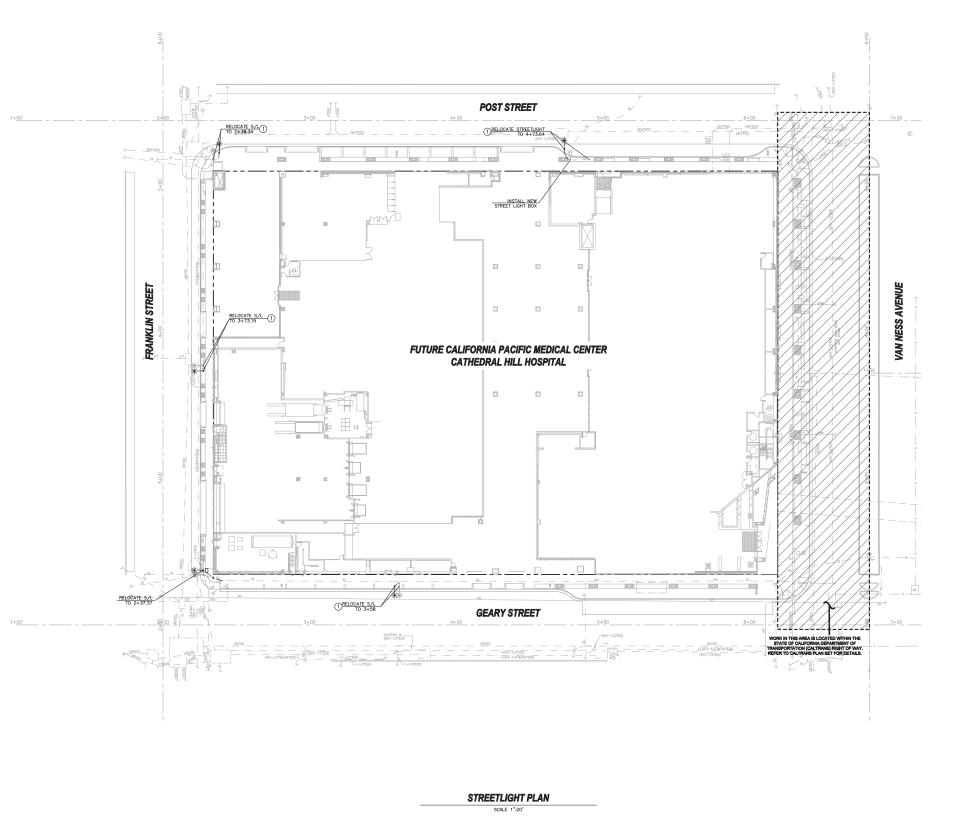
FOR PERMIT APPROVAL NOT FOR CONSTRUCTION

PAVING PLAN

SCALE AS SHOWN
PROJECT NUMBER 31891.000
DRAWING NUMBER

DRAWING TITLE

C4.0





SL — (E) STREETLIGHT ELECTRICAL CONDUIT

☐ STREET LIGHT PULL BOX

* RELOCATED STREETLIGHT

- SL - (N) 2" PVC OR GRS STREETLIGHT CONDUIT (SEE NOTE 1)

KEYNOTES:

RELOCATE EXISTING STREET LIGHT PER SFPW
 STANDARD PLANS. INSTALL NEW 2" CONDUIT AND
 CONDUCTORS TO CONNECT TO EXISTING SYSTEM.

EXISTING
GALVANIZED RIGID STEEL
NEW
PAGIFIC GAS AND ELECTRIC COMPANY
POLYMINYL CHLORIDE
SAN FRANCISCO PUBLIC UTILITY COMMISION
SAN FRANCISCO PUBLIC WORKS



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ARCHITECT

SMITHGROUP architecture engineering

archiecture engineering interiors 301 Battery Street, 7th Floor San Francisco, CA 94111 T 415.227.0100 F 415.908.0862 www.smithgroup.com

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1646 N. California Blvd., Suite 400 Walnut Creek, CA 94596 925.940.2200

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STREET IMPROVEMENT PERMIT SUBMITTAL

REV DATE 100% DD PERMIT SET PERMIT SET PERMIT SET

FOR PERMIT APPROVAL NOT FOR CONSTRUCTION

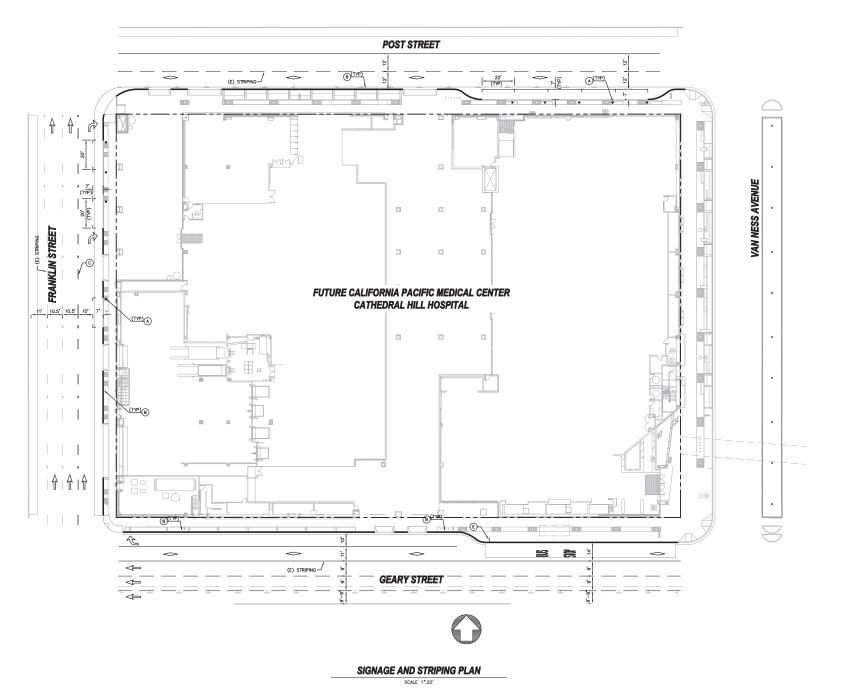


DRAWING TITLE

STREETLIGHT PLAN

PROJECT NUMBER DRAWING NUMBER

C8.0





- B PAINT RED CURB
- © 4" WHITE THERMOPLASTIC STRIPING PER DETAIL 2 OF PAYEMENT MARKERS AND TRAFFIC LINES TYPICAL DETAILS FILE NUMBER 46012 (CITY AND COUNTY OF SAN FRANCISCO STANDARDS)
- 12" WHITE THERMOPLASTIC STRIPE PER 2006 STANDARD CALTRANS PLAN A24E CROSSWALK DETAIL.
- (E) INSTALL BUS STOP SIGN PER LOCAL TRANSIT AUTHORITY STANDARDS

TYPE | (18'-0") ARROW PER CALTRANS STD PLAN A24A

TYPE IV (R) ARROW PER CALIFRANS STD PLAN A24A PAVEMENT MARKING WORDS PER CALTRANS STD PLAN A240

NUTES:
1. UNLESS OTHERWISE NOTED ALL PARKING STALLS
SHALL BE 20'x7' PER STANDARD PARKING STALL
MARKING DETAIL FILE NUMBER STR-2706.1 (CITY
AND COUNTY OF SAN FRANCISCO STANDARDS)



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SEALS AND SIGNATURES



STREET IMPROVEMENT PERMIT SUBMITTAL

REV DATE

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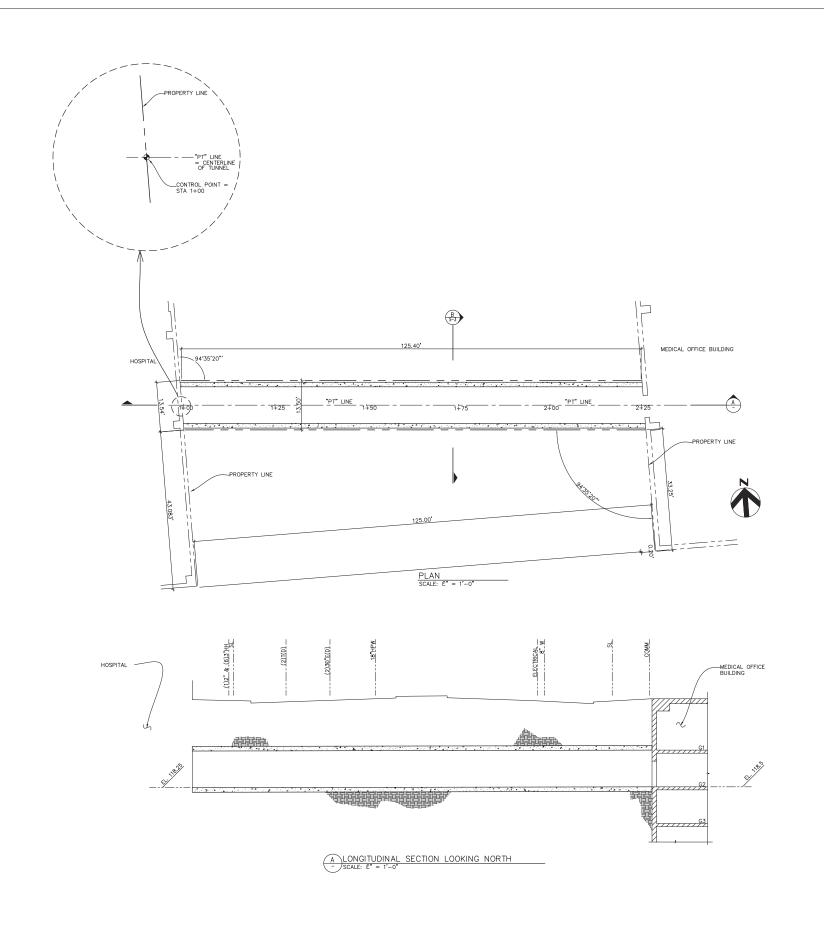


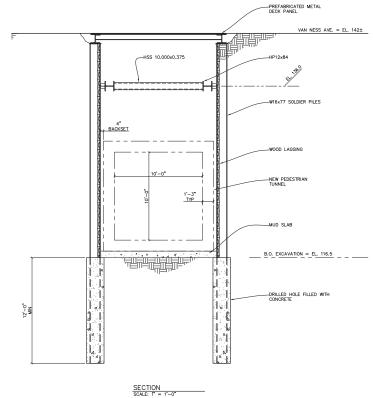
RAWING TITLE

SIGNAGE AND STRIPING PLAN

PROJECT NUMBER 31891.000 DRAWING NUMBER

C9.0





FOR REFERENCE ONLY

WORK DONE AS PART OF THE CPMC MEDICAL OFFICE BUILDING TUNNEL CONSTRUCTION. SEE CPMC MEDICAL OFFICE BUILDING PEDESTRIAN TUNNEL CONSTRUCTION DOCUMENTS FOR DETAILS.

\$

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CATHEDRAL HILL HOSPITAL

ARCHITECT

SMITHGROUP

301 Battery Street, 7th Floor San Francisco, CA 94111 T 415.227.0100 F 415.908.0862 www.smithgroup.com

CIVIL ENGINEER



1646 N. California Blvd., Suite 400 Walnut Creek, CA 94596 925.940.2200

LANDSCAPE ARCHITECT

487 Bryant Street, First Floor San Francisco, CA 94107 415.575.4722

SEALS AND SIGNATURES



STREET IMPROVEMENT PERMIT SUBMITTAL

ISSUE REV DATE

100% DD 08/23/2011
PERMIT SET 07/15/2011
PERMIT SET 1 01/03/2012
PERMIT SET 2 02/17/2012

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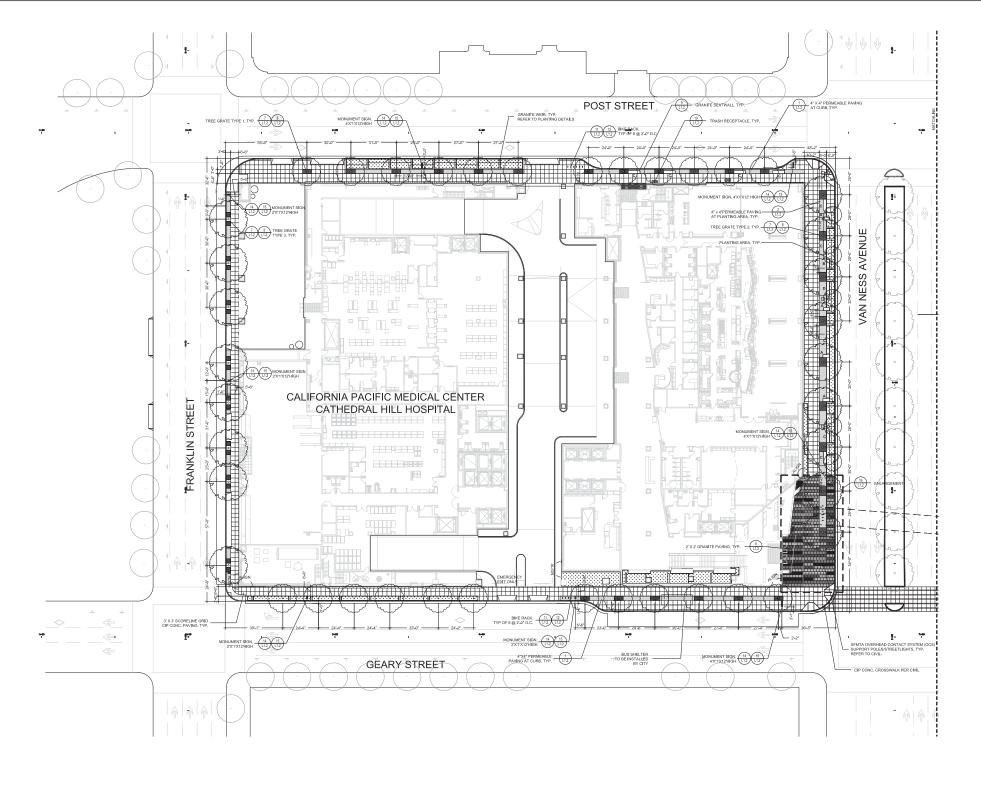
RAWING TITLE

PEDESTRIAN TUNNEL AND LONGITUDINAL SECTION

SCALE

PROJECT NUMBER 31891.000

DRAWING NUMBER C11.0



LAYOUT NOTES

30 FEET APART. PLACE EXPANSION JOINTS AT THOSE INTERVALS IN LIEU OF SCORE LINES SHOWN ON PLAN.

2. ELIMINATE SCORE LINES THAT WOULD OCCUR TWO INCHES OR LESS FROM AN EXIST WALL OR THE LIMIT OF WORK.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE LOCATIONS ALL UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL NOTIFY VILITY SERVICES AT LEF

4. ALL "LAYOUT" WORK SHALL BE APPROVED BY THE ENGINEER PRIOR TO THE START OF

5. CONTRACTOR SHALL REPAIR AT HISHER OWN EXPENSE ANY DAMAGE, WHETHER INSID OUTSIDE OR OUTSIDE OF THE LIMIT OF WORK LINE, TO UTILITY SYSTEMS, SURFACE PAVEMENTS, FIXTURES OR STRUCTURES THAT ARE NOT SPECIFICALLY INDICATED TO BE

 6. ALL DIMENSIONS AND ELEVATIONS ON THE DRAWINGS ARE IN FEET UNLESS OTHERWIS STATED.

7. THE CONTRACTOR SHALL EXERCISE PARTICULAR CARE WHILE WORKING IN THE VICINITY OF ACTIVE UTILITY AND DRAINAGE STRUCTURES. IN THE EVENT THAT ANY EXISTING STRUCTURES OR UTILITIES ARE DAMAGED AND THE SERVICES BROUPTED, THE LINES SHALL BE IMMEDIATELY REPAIRED AND THE SERVICES RESTORED AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER.

FURNISHING AND SITE ELEMENTS		
SYMBOL DESCRIPTION		
TREE GRATE TYPE 1 (3'x6')		
٠	TREE GRATE TYPE 2 (5'x6')	
	TREE GRATE TYPE 3 (2@ 3'x3')	
-	BIKE RACK	
	GRANITE SEATWALL (DIMENSION VARIES)	
□*	NEW VAN NESS STREETLIGHT/OCS PER BRT STANDARD	
0	TRASH RECEPTACLE	
-	SIGNAGE	

PAVEMENT SCHEDULE				
SYMBOL	MATERIAL & THICKNESS	DESCRIPTION	FINISH	FRICTION COEFFICIENT
	GRANITE PAVING, TYPE 1	ENTRANCE PLAZA VAN NESS CORRIDOR SIDEWALK & VEHICULAR ACESS AREA	FLAME	0.70 - 0.80
### ### ###	GRANITE PAVING, TYPE 2	ENTRANCE PLAZA VAN NESS CORRIDOR VEHICULAR ACCESS AREA	SANDBLAST	0.70 - 0.80
888	GRANITE PAVING, TYPE 3	ENTRANCE PLAZA VAN NESS CORRIDOR	HYDRO	0.70 - 0.80
	PERMEABLE PAVING	SIDEWALK	LIGHT SANDBLAST	0.84
\blacksquare	3" X 3" SCORELINE GRID CIP CONC. PAVING	SIDEWALK	LIGHT SANDBLAST	0.84

GRANITE SEATWALL LENGTH SCHEDULE		
SYMBOL	LENGTH	
А	4'-0"	
В	6'-0"	
С	8'-0"	
D	10'-0"	



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1646 N. California Blvd., Suite 400 Walnut Creek, CA 94596 925.940.2200

LANDSCAPE ARCHITECT

Wallace Roberts & Todd, Inc. 444 Townsend Street, Sulte 4 San Francisco, CA 94107 415.575.4722

SEALS AND SIGNATURES



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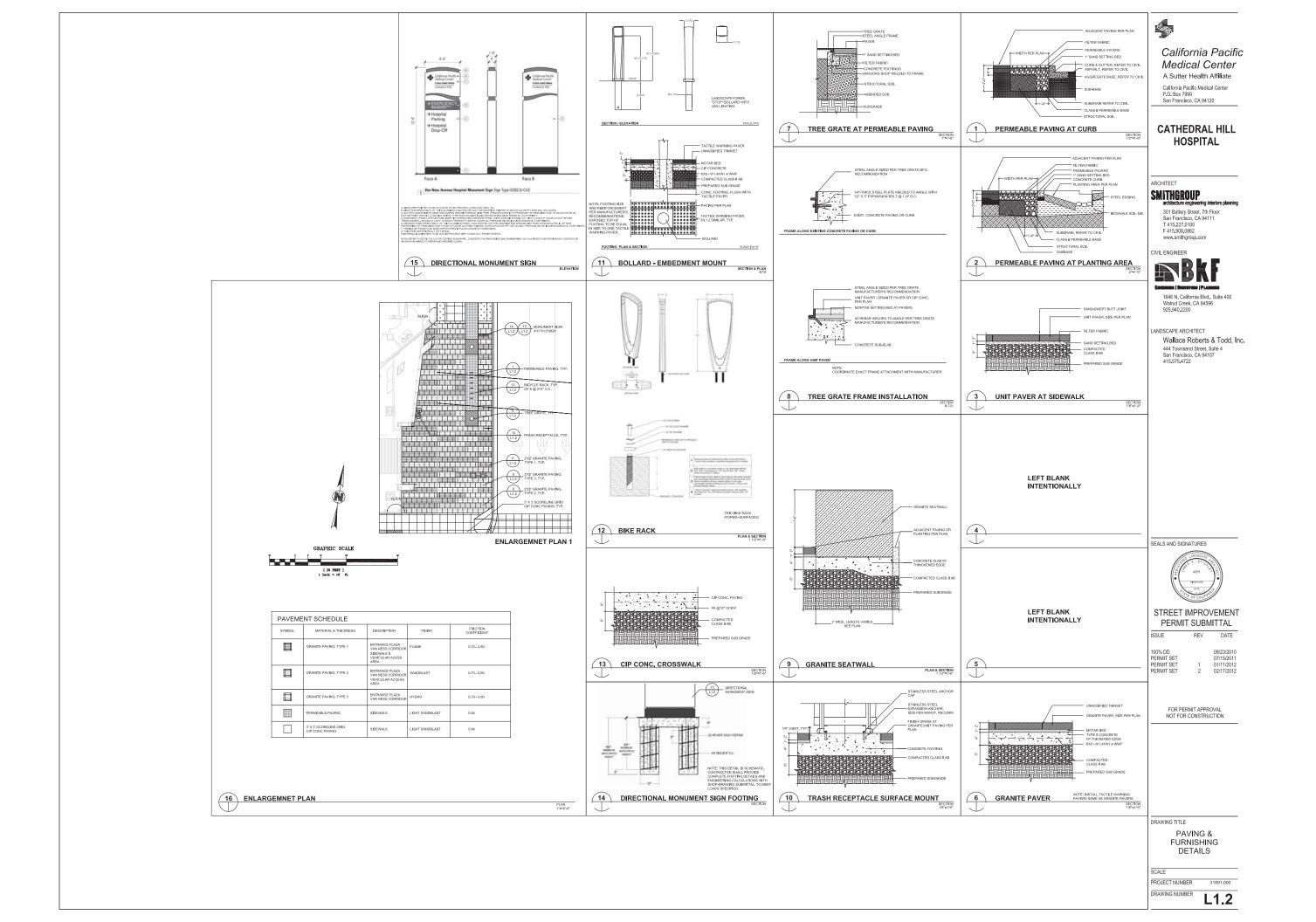
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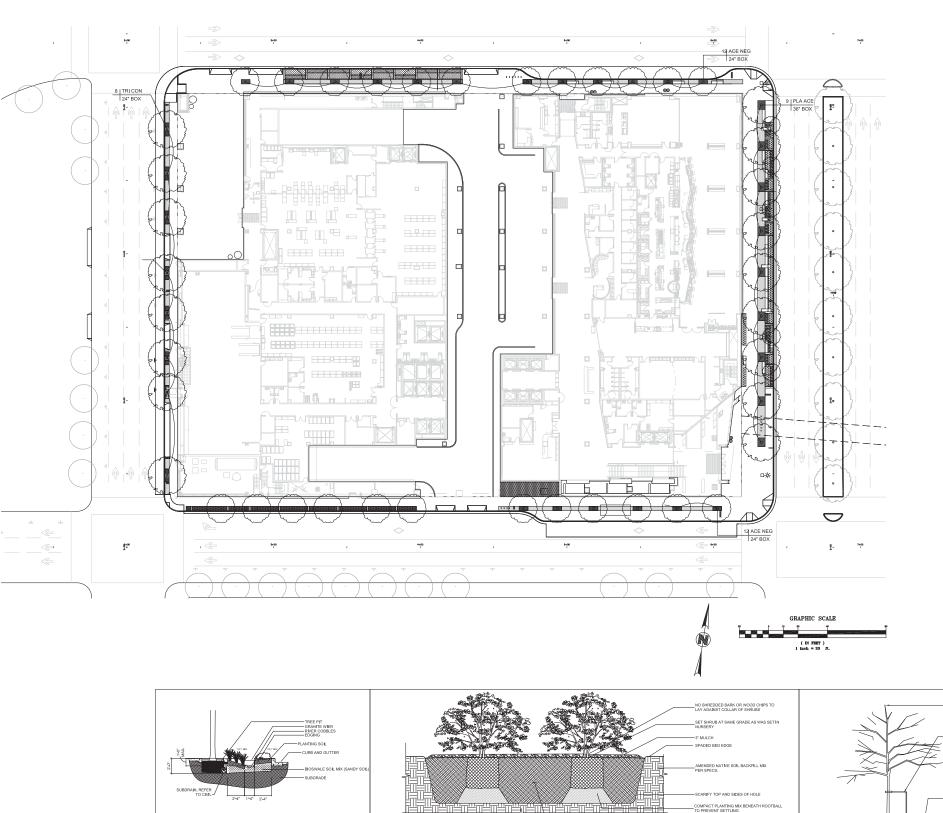
DRAWING TITLE

LAYOUT PLAN

SCALE AS SHOWN
PROJECT NUMBER 31891.000
DRAWING NUMBER

L1.1





4 SHRUB BED PLANTING

5 RAINGARDEN LONGITUDINAL SECTION

6 RAINGARDEN CROSS SECTION TYPE I

RAINGARDEN CROSS SECTION TYPE II

PLANTING NOTES

5. SEE DETAILS AND SPECIFICATIONS FOR PLANTING STAKING METHOD AND BACKFILL REQUIREMENTS

B. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT CITY ENGINEER R FAILURE TO MAKE SUCH CONFLICTS. KNOWN WILL RESULT IN CONTRACTOR'S LIABILITY FOR MATERIALS RELO

PLANTS	LEGEND		
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
TREE			
ACE NEG	ACER NEGUNDO	BOX ELDER	AS NOTED
TRICON	TRISTANIA CONFERTA	BRISBANE BOX	AS NOTED
PLA ACE	PLATANUS ACERIFOLIA 'COLOMBIA'	LONDON PLANE TREE	AS NOTED
CER CAN	CERSIS CANADENSIS	EASTERN REDBUD	AS NOTED
SHRUBS AND GE	ROUNDCOVERS	1	
DRY SHADY	BERBERIS THUNBERGII ATROPURPUREA NANA MAHONIA REPENS SYMPHORICARPOS ALBUS	JAPANESE BARBERRY CREEPING MAHONIA COMMON SNOWBERRY	5 GAL / 24" O.C 5 GAL / 24" O.C 1 GAL / 18" O.C
WET SHADY	JUNCUS EFFUSUS LEYMUS ARENARIUS 'GLAUCUS' POLYSTICHUM MUNITUM TRADESCANTIA VIRGINIANA	COMMON RUSH BLUE WILD RYE SWORD FERN VIRGINIA SPIERWORT	1 GAL / 18" O.C 1 GAL / 12" O.C 1 GAL / 30" O.C 1 GAL / 30" O.C
DRY / SEASONAL GARDEN	ACHILEA 'SUMMERVINE' CEANOTHUS GRISEUS VAR. HORIZONTALIS YAMKEE POINT IRIS 'COPPER' EUPHORBIA DILCIS 'CHAMELEON' WESTRINGIA FRUTICOSA 'SMOKEY' LOROPETALUM PURPLE PINE' LOROPETALUM PURPLE PINE' LAVANDULA X INERMIEDIA CV. PHORMIUM 'CREAM DELIGHT'	YARROW CARAMEL CEANOTHUS PACIFIC COAST IRIS EUPHOBBIA COAST ROSEMARY LOROPETALUM WHITE GROSSO LAVENDER NEW ZELAMO FLAX	1 GAL / 18" O.C 5 GAL / 24" O.C 1 GAL / 24" O.C 1 GAL / 18" O.C 5 GAL / 24" O.C 1 GAL / 18" O.C 5 GAL / 24" O.C 1 GAL / 30" O.C
WET / SEASONAL GARDEN	CAREX MORROWLL 'SILVER SCEPTER' LEYMUS ARENARIUS 'GLAUCUS' MISCANTHUS SCIENSIS 'ADAGIO'	SILVER SCEPTER BLUE WILD EYE ADAGIO MAIDERN GRASS	1 GAL / 18" O.C 1 GAL / 12" O.C 1 GAL /24" O.C
WET SUNNY	CEREX PARAEGRACILIS IRIS DOUGLASIANA MISCANTHUS SINENSIS 'ADAGIO' TRADESCANTIA VIRGINIANA	CLUSTERED FIELD SEDGE DOUGLAS IRIS SWORD FERN VIRGINIA SPIERWORT	1 GAL / 12* O.C 1 GAL / 24* O.C 1 GAL / 30* O.C 1 GAL / 24* O.C
DRY SUNNY	AEONIUM ARBOREUM AGAVE ATTENUATA AGAVE VICTORIAE-REGINAE ANIGOZANTHOS 'ORANGE CROSS' EUPHORBIA X MARTIMII SANTOLINA CHAMAECYPARISSUS	ARBOREUM FOX TAIL AGAVE QUEEN NICTORIA AVAGE KANGAROO PAW EUPHORBIA MARTINII' LEVENDER COTTON	1 GAL / 12* O.C 1 GAL / 30* O.C 1 GAL / 30* O.C 1 GAL / 24* O.C 1 GAL / 24* O.C 1 GAL / 18* O.C
WINDY	ACORUS GRANIENEUS 'OGON'	SWEET FLAG	1 GAL / 6" O.C.

1 GROUNDCOVER PLANTING

GROUNDCOVER PLANTING

SLOPE TO DRAIN

TREE PLANTING AT GRATE & PERMEABLE PAVING



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ANDSCAPE ARCHITECT

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SEALS AND SIGNATURES



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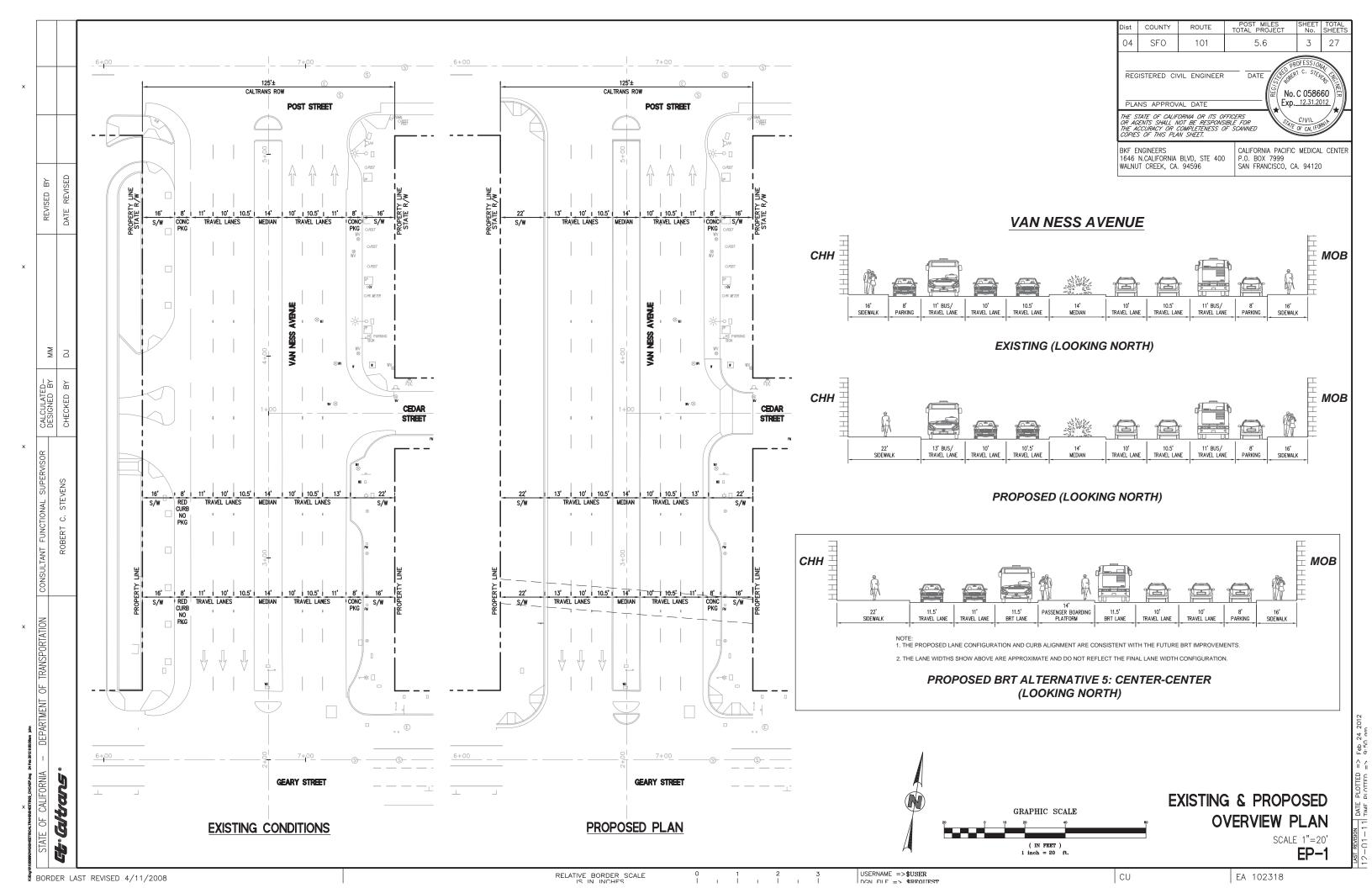
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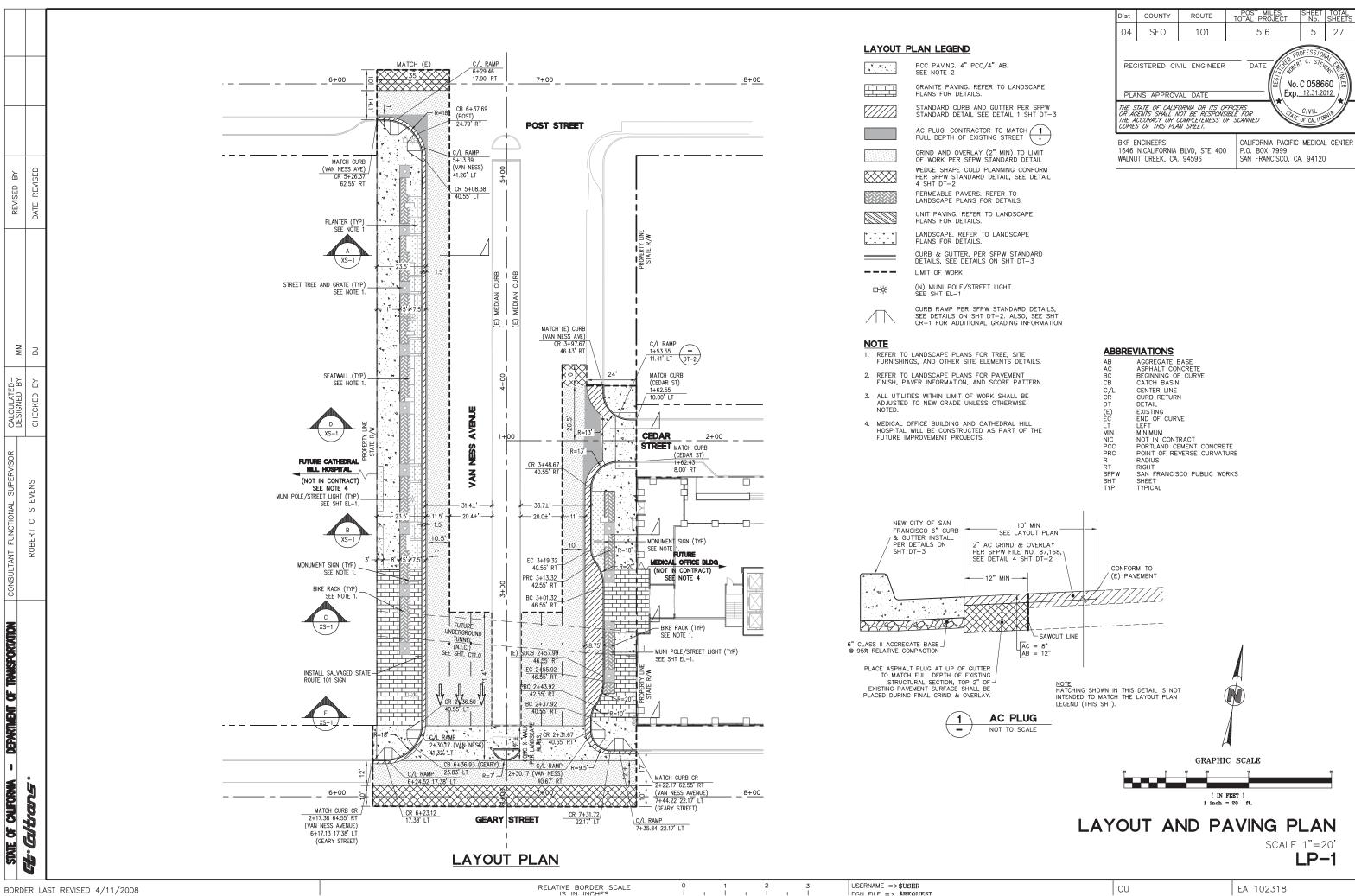
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DRAWING TITLE

PLANTING PLAN & DETAILS

SCALE	AS SHOWN
PROJECT NUMBER	31891.000
DRAWING NUMBER	L2.0

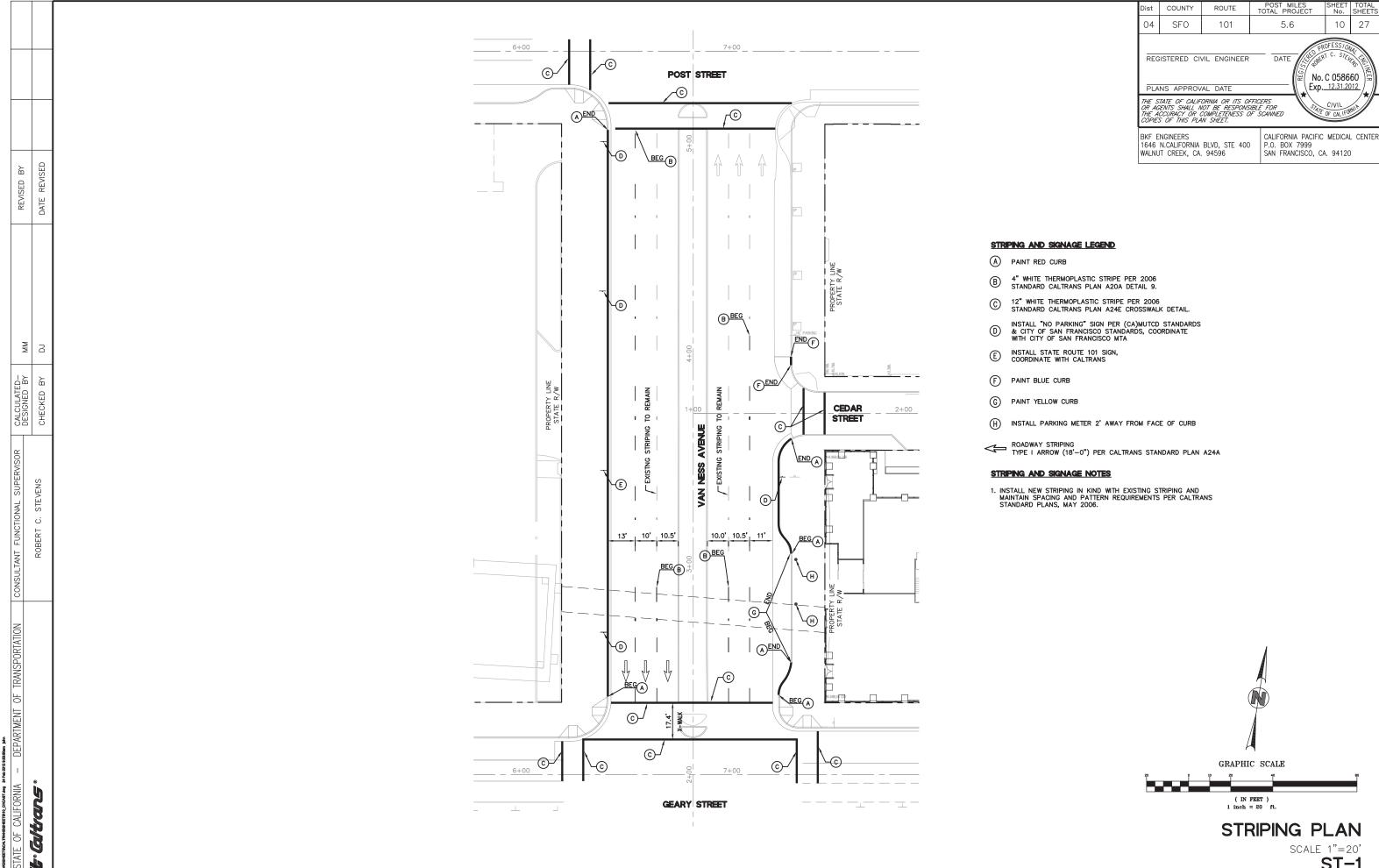




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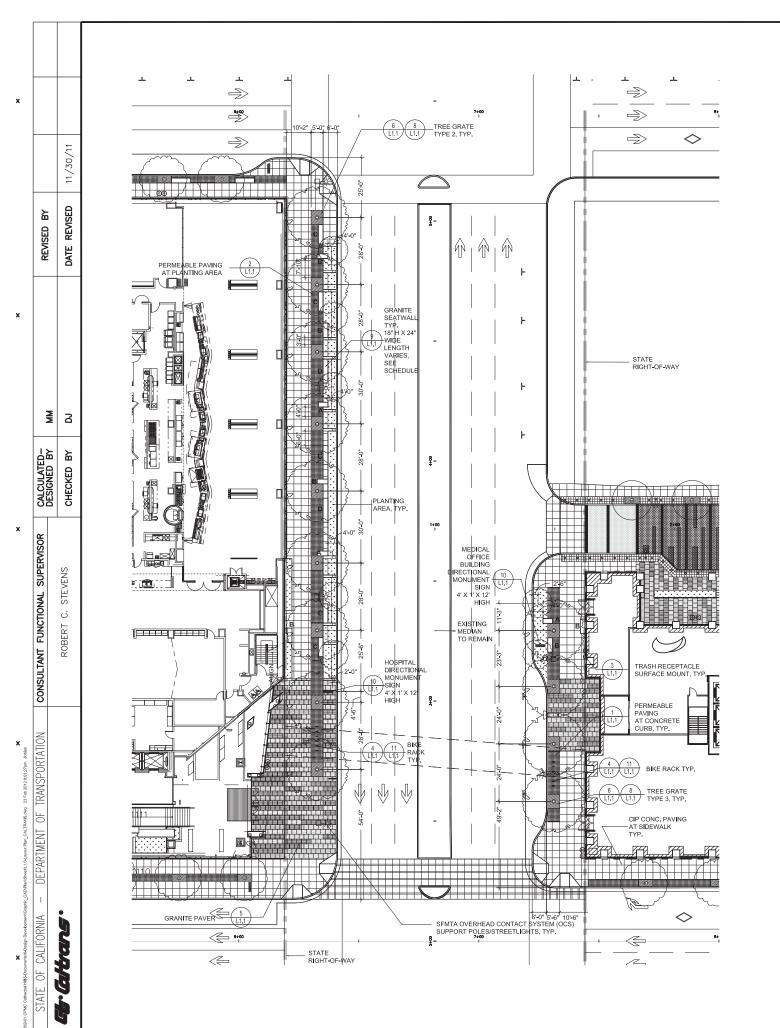
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BORDER LAST REVISED 4/11/2008

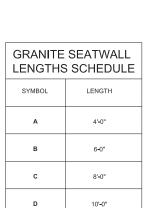


BORDER LAST REVISED 4/11/2008

LAYOUT NOTES

- 1. LOCATE EXPANSION JOINTS IN SIDEWALK AT INTERVAL CLOSEST TO 30' BUT NO MORE THAN 30 FEET APART. PLACE EXPANSION JOINTS AT THOSE INTERVALS IN LIEU OF SCORE LINES SHOWN ON PLAN.
- 2. ELIMINATE SCORE LINES THAT WOULD OCCUR TWO INCHES OR LESS FROM AN EXISTING WALL OR THE LIMIT OF WORK.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE LOCATIONS OF ALL UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL NOTIFY UTILITY SERVICES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT.
- 4. ALL "LAYOUT" WORK SHALL BE APPROVED BY THE ENGINEER PRIOR TO THE START OF ANY EXCAVATION.
- 5. CONTRACTOR SHALL REPAIR AT HIS/HER OWN EXPENSE ANY DAMAGE, WHETHER INSIDE OR OUTSIDE OF THE LIMIT OF WORK LINE, TO UTILITY SYSTEMS, SURFACE PAVEMENTS, IXTURES OR STRUCTURES THAT ARE NOT SPECIFICALLY INDICATED TO BE REMOVED OR RELOCATED AS PART OF THE PROJECT CONSTRUCTION.
- 6. ALL DIMENSIONS AND ELEVATIONS ON THE DRAWINGS ARE IN FEET UNLESS OTHERWISE
- 7. THE CONTRACTOR SHALL EXERCISE PARTICULAR CARE WHILE WORKING IN THE VICINITY OF ACTIVE UTILITY AND DRAINAGE STRUCTURES. IN THE EVENT THAT ANY EXISTING STRUCTURES OR UTILITIES ARE DAMAGED AND THE SERVICES BISUPTED, THE LINES SHALL BE IMMEDIATELY REPAIRED AND THE SERVICES RESTORED AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER.

PAVEMENT SCHEDULE (OVERALL PLAN SHEET L1.0)			
SYMBOL	MATERIAL	FINISH	FRICTION COEFFICIENT
	GRANITE PAVING, TYPE 1	FLAME	0.70-0.80
	GRANITE PAVING, TYPE 2	SANDBLAST	0.70-0.80
	GRANITE PAVING, TYPE 3	HYDRO	0.70-0.80
	PERMEABLE PAVING	LIGHT SANDBLAST	0.84
	CIP CONC. PAVING WITH SCORELINES AT 3' X 3'	LIGHT SANDBLAST	



CU

COUNTY

SFO

BKF ENGINEERS

REGISTERED LANDSCAPE ARCHITECT

101

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5.6

DATE

27

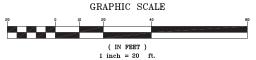
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CALIFORNIA PACIFIC MEDICAL CENTER

P.O. BOX 7999 SAN FRANCISCO, CA. 94120

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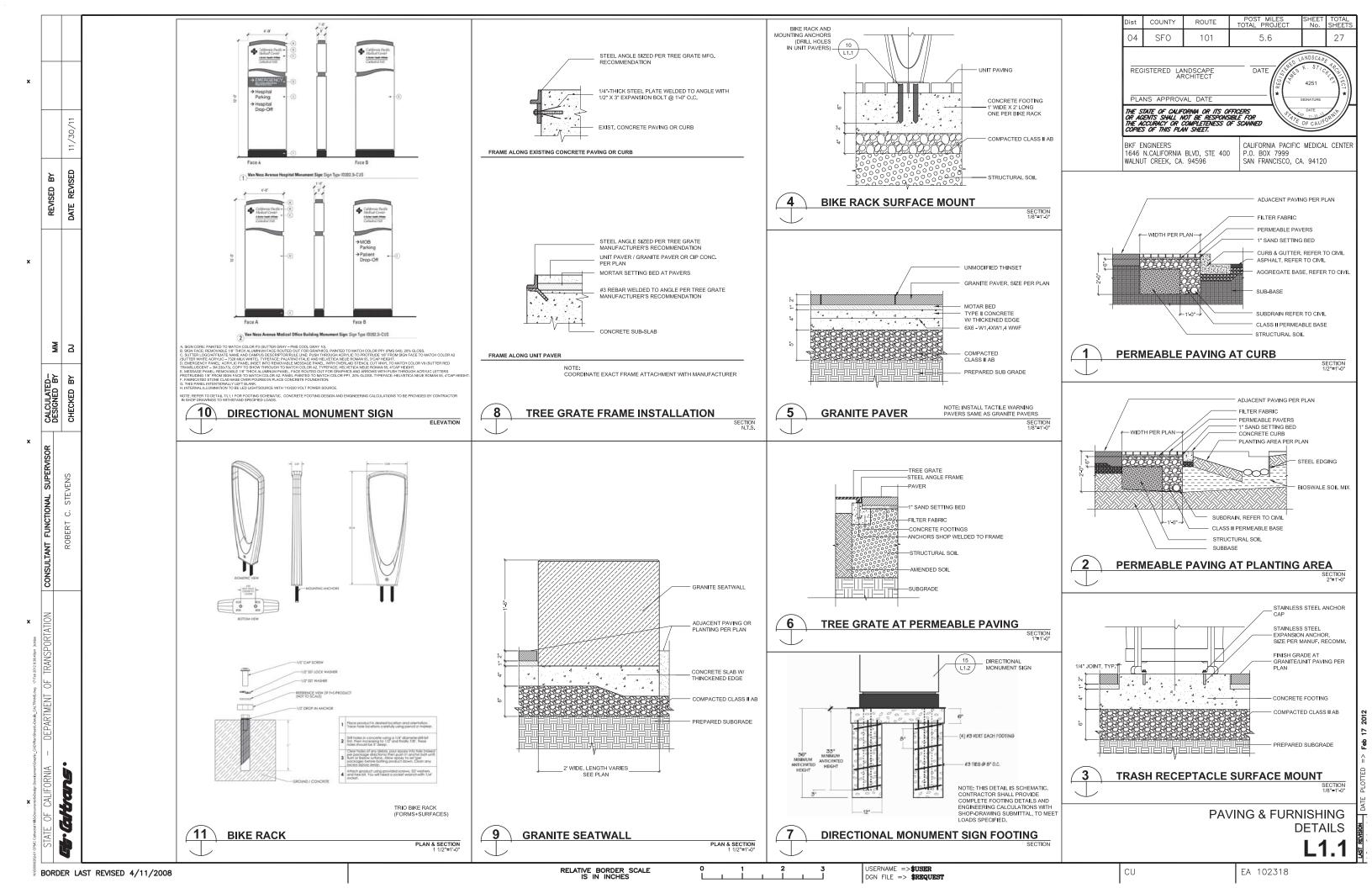
LAYOUT PLAN L1.0

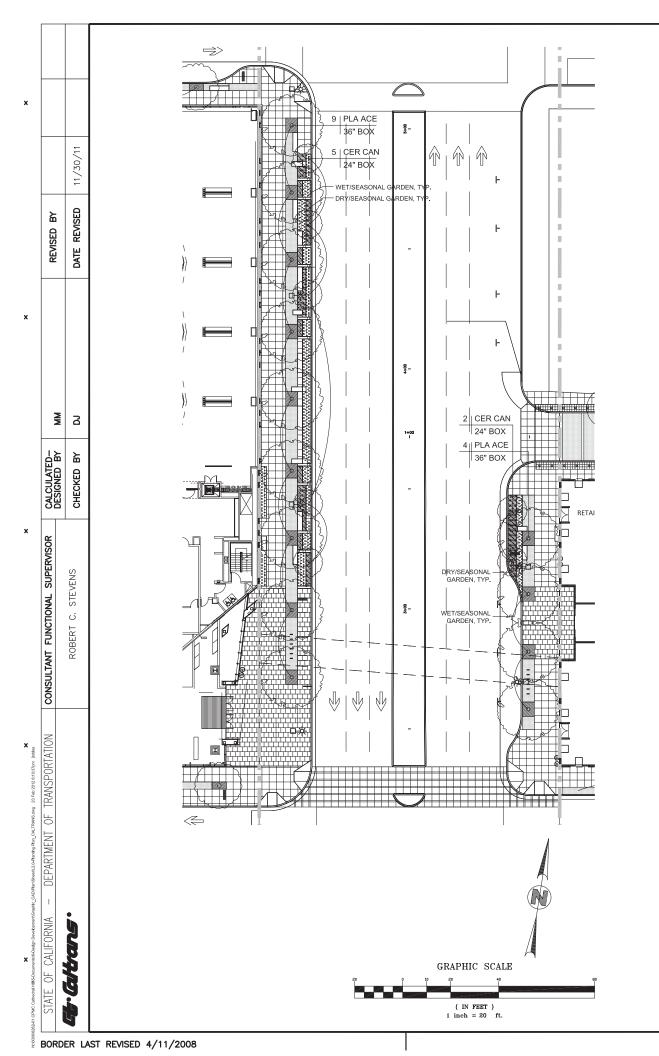
RELATIVE BORDER SCALE

USERNAME =>\$USER

EA 102318

| **REMSION** DATE | DAT





PLANTING NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMHER SELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.

2. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURINN DESIGN. SUCH CONDITIONS SHALL BEIMMEDIATELY BROUGHT TO THE ATTENTION OF THE AUTHORIZED CITY ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.

4. SEE SPECIFICATIONS FOR PLANTING REQUIREMENTS. MATERIALS, EXECUTION, AND MAINTENANCE.

5. SEE DETAILS AND SPECIFICATIONS FOR PLANTING STAKING METHOD AND BACKFILL REQUIREMENTS.

6. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT ENGINEER FOR RESOLUTION, FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN CONTRACTOR'S LIABILITY FOR MATERIALS RELOCATION.

7. GROUNDCOVERS SHALL BE SPACED PER DETAILS.

8. ALL WORK TO BE PERFORMED BY LICENSED (C27) CONTRACTORS AND EXPERIENCED WORKERS. BY CONSTRUCTION MANAGER PRIOR TO PLANTING.

9. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPING THAT IS DESIGNATED TO REMAIN. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING, BARRICADES OR OTHER SUITABLE GUARDS OUTSIDE DRIP LINE (OUTER PERIMETER OF BRANCHES) TO PROTECT FROM DAMAGE TREES AND OTHER PLANTS THAT ARE TO REMAIN. DO NOT STORE CONSTRUCTION MATERIALS WITHIN DRIP LINES OF TREES TO REMAIN, DO NOT PERMIT VEHICLES WITHIN DRIP LINE. RESTRICT FOOT TRAFFIC WITHIN DRIP LINE TO AVOID EXCESSIVE SOIL COMPACTION.
ALL BARRICADES AND PROTECTIVE FENCING SHALL BE PUT IN PLACE PRIOR TO COMMENCEMENT OF ANY OTHER CONSTRUCTION ACTIVITY.

10. INDICATES PLANT SPECIES
INDICATES PLANT QUANTITY—
INDICATES SIZE OR SQUARE FOOTAGE/ SIZE——

PLANTS LEGEND				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / REMARKS	
TREE				
PLA ACE	PLATANUS ACERIFOLIA 'COLOMBIA'	LONDON PLANE TREE	AS NOTED	
CER CAN	CERSIS CANADENSIS	EASTERN REDBUD	AS NOTED	
SHRUBS AND GROUNDCOVERS				
DRY/SEASONAL GARDEN	ACHILEA 'SUMMERVINE' CEANOTHUS GRISEUS VAR. HORIZONTALIS 'YANKEE POINT' IRIS 'COPPER' EUPHORBIA DULCIS 'CHAMELEON' WESTRINGIA FRUTICOSA 'SMOKEY' LOROPETALUM 'PURPLE PIXIE' LAVANDULA X INERMEDIA CV. PHORMIUM 'CREAM DELIGHT'	YARROW CARAMEL CEANOTHUS PACIFIC COAST IRIS EUPHORBIA COASE ROSEMARY LOROPETALUM WHITE GROSSO LAVENDER NEW ZEALAND FLAX	SHRUBS: 5 GAL. GROUNDCOVERS & GRASSES: 1GAL	
WET / SEASONAL GARDEN	CARES MORROWLL 'SILVER SCEPTER' LEYMUS ARENARIUS 'GLAUCUS' MISCANTHUS SCIENSIS 'ADAGIO'	SILVER SCEPTER BLUE WILD EYE ADAGIO MAIDERN GRASS		

COUNTY 04 SFO 101 27 5.6 DATE REGISTERED LANDSCAPE ARCHITECT 4251 THE STATE OF CALIFORMA OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SCANNED COPIES OF THIS PUN SHEET.

BKF ENGINEERS 1646 N.CALIFORNIA BLVD, STE 400 WALNUT CREEK, CA. 94596

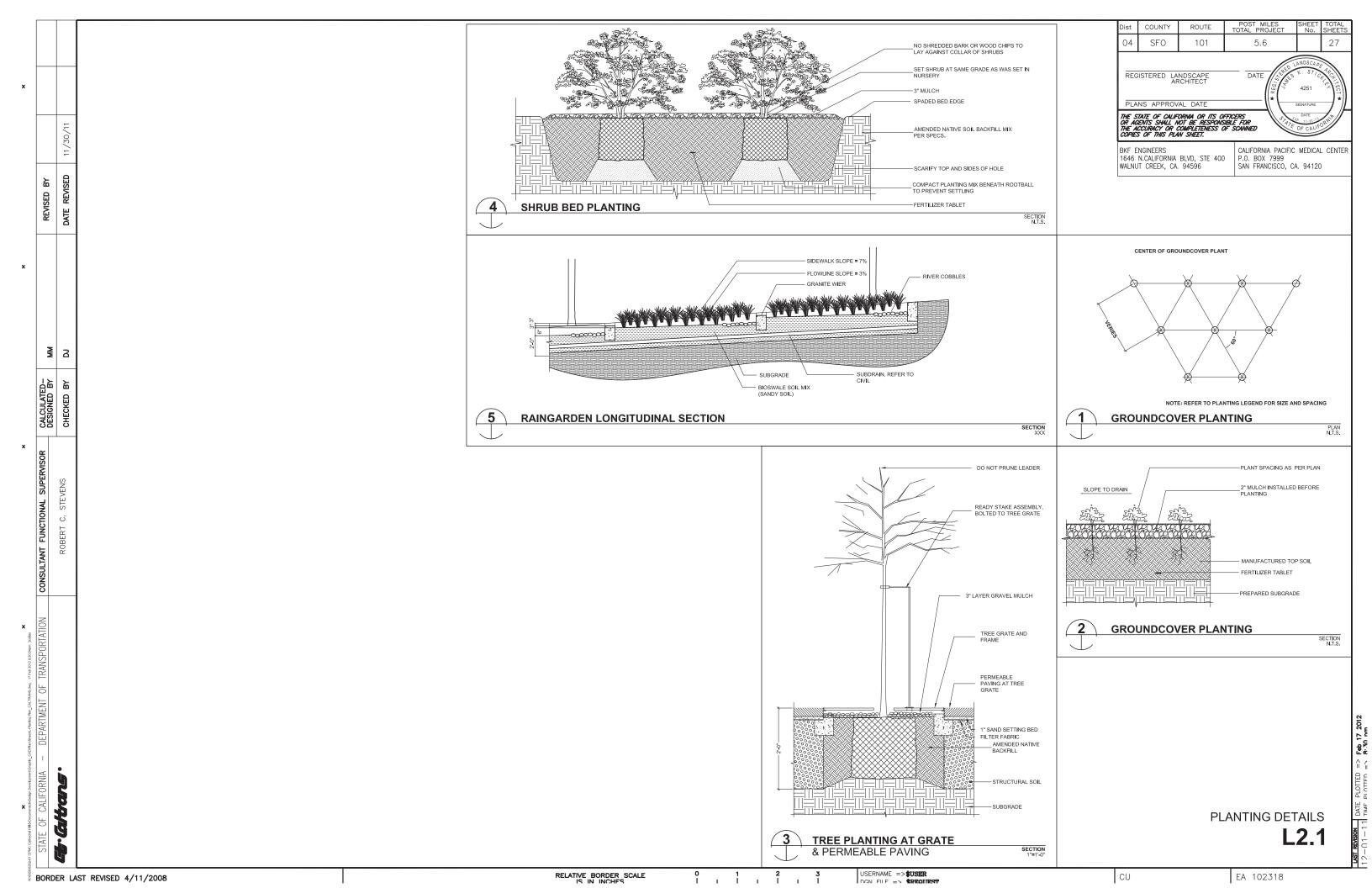
CALIFORNIA PACIFIC MEDICAL CENTER P.O. BOX 7999 SAN FRANCISCO, CA. 94120

PLANTING PLAN

EA 102318

L2.0

USERNAME =>\$USER RELATIVE BORDER SCALE CU



California Pacific Medical Center Van Ness Medical Office Building

Conditional Use Permit Application

SHEET INDEX

INDEX - GENERAL

A0.01 COVER SHEET & SHEET INDEX

INDEX - SITE

KEY PLAN SITE KEY PLAN STREETSCAPE

INDEX - ARCHITECTURAL (FROM SITE PERMIT SET DATED NOVEMBER 21, 2011)

A2.1-G7 LEVEL P3 OVERALL PLAN A2.1-G6 LEVEL P2 OVERALL PLAN A2.1-G5 LEVEL 1/P1 OVERALL PLAN A2.1-G4 LEVEL 2 OVERALL PLAN A2.1-64 LEVEL 2 OVERALL PLAN
A2.1-62 LEVEL 3 OVERALL PLAN
A2.1-61 LEVEL 5 OVERALL PLAN
A2.1-F1 LEVEL 5 OVERALL PLAN
A2.1-F1 LEVEL 6 OVERALL PLAN
A2.1-F2 LEVEL 7 OVERALL PLAN
A2.1-F2 LEVEL 8 OVERALL PLAN
A2.1-F3 LEVEL 9 OVERALL PLAN
A2.1-F4 LEVEL 10 OVERALL PLAN
A2.1-F4 LEVEL 10 OVERALL PLAN
A2.1-F4 LEVEL 10 OVERALL PLAN
A2.1-F5 LEVEL 11 OVERALL PLAN A2.1-F5 LEVEL 11 OVERALL PLAN A2.1-F6 LEVEL 12 OVERALL PLAN A2.1-F7 LEVEL 13 OVERALL PLAN A2.1-F8 LEVEL 14 OVERALL PLAN A2.1-F9 LEVEL 15 OVERALL PLAN

A2.1-R LEVEL 16 OVERALL PLAN SOUTH ELEVATION NORTH ELEVATION BUILDING SECTION

INDEX - CIVIL & LANDSCAPE (FROM STREET IMPROVEMENT SUBMITTAL DATED 2-17-12)

EXISTING CONDITIONS

LAYOUT PLAN SITE
PAVING PLAN
INTERSECTION AND CURB PROFILES SIGNAGE AND STRIPING PLAN

PEDESTRIAN TUNNEL
LAYOUT PLAN
PAVING AND FURNISHING DETAILS
PLANTING PLAN & DETAILS

INDEX - CIVIL & LANDSCAPE (FROM **CALTRANS PERMIT SET DATED 12-01-11)**

LAYOUT AND PAVING PLAN CURB RETURN PROFILES LAYOUT PLAN PLANTING PLAN

PROJECT DESCRIPTION

The proposed Van Ness Medical Office Building is an approximate 496,104 gsq.-ft, 9-story office building with retail spaces at street level and 542 underground parking spaces.

Primary pedestrian access is on Van Ness Ave and a vehicular drop off is provided on Cedar St There is an enrity to the garage on Cedar St and Geary St. The retail spaces are accesed from the sidewalks along Van Ness Ave and Geary St.



California Pacific Medical Center

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VAN NESS MEDICAL OFFICE BUILDING

ARCHITECT

Boulder Associates, Inc. 633 Folsom St, 6th Floor San Francisco, CA 94107 www.boulderassociates.com

STRUCTURAL ENGINEER

Tipping-Mar + Associates 1906 Shattuck Ave Berkeley, CA 94704-1022 T 510.549.1906

MECHANICAL ENGINEER

Frank M Booth Inc. 222 Third St Marysville CA 95901 F 530.749.3725

ELECTRICAL ENGINEER

Cupertino Electric Inc. 1740 Cesar Chavez San Francisco CA 94124-1134 F 415.970.3504

SEALS AND SIGNATURES

REV DATE

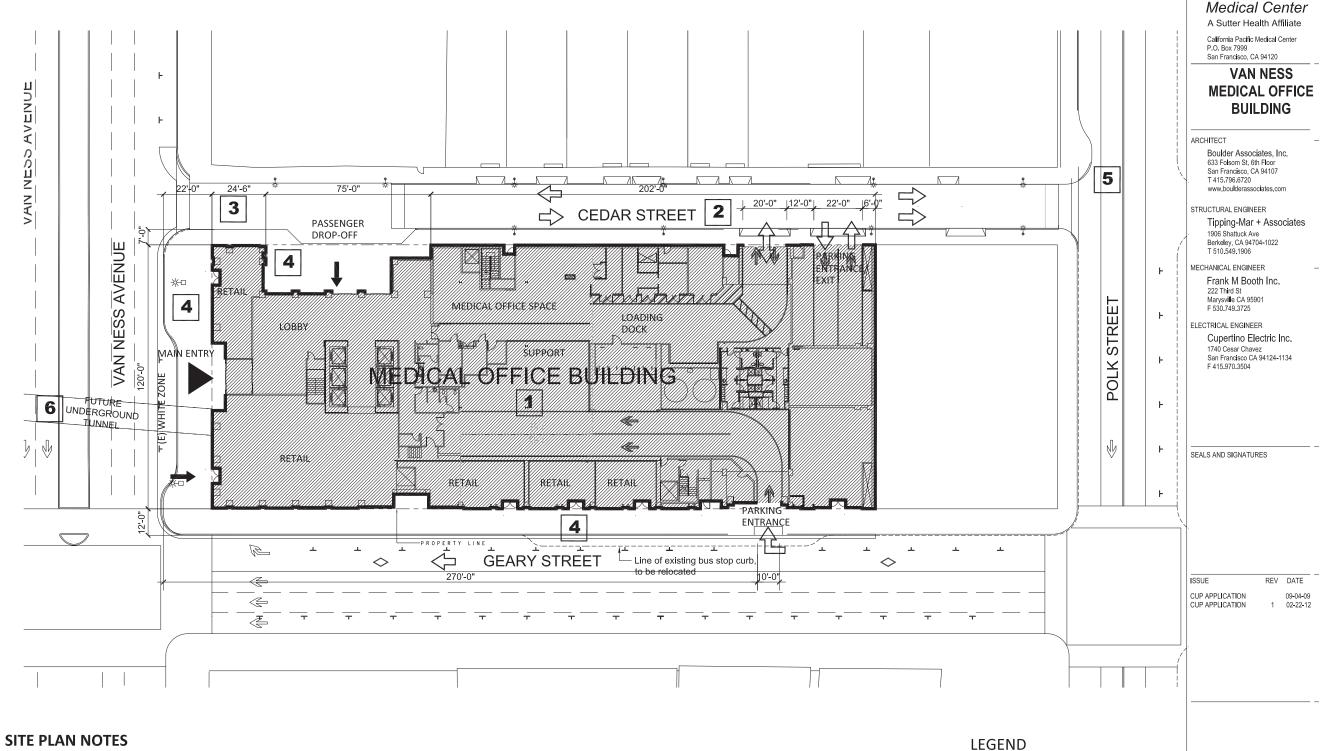
CUP APPLICATION

02-22-12

COVER SHEET & SHEET INDEX

PROJECT NUMBER 081540 000 DRAWING NUMBER

A0.1



- Cathedral Hill Medical Office Building construction includes nine-stories of medical offices, retail space at street level and seven stories of underground parking. Refer to sheet A0.1 in the Site Permit Submittal for project data including square footage, number of parking spaces, and building code information Reference sheet A2.1-F1 through A2.1-F9 for floor plans, sheet A2.1-G1 & A2.1-F1 for retail plans and sheet A2.1-G7 through A2.1-G1for garage plans. Reference sheets A3.1 through A4.2 for Building Elevations and Sections.
- Cedar Street conversion to two-way west of the MOB garage ramp. Reference Sheet C9.0 2 in Street Improvement Permit.
- Cedar Street entry plaza with raised crosswalk and vehicular passenger drop-off. Reference Sheet L1.2 in Street Improvement Permit and sheet CR-1 in Caltrans Permit Set.

- Sidewalk widening, pedestrian bulbouts, pavement finishes, and other landscape and streetscape improvements along portions of Van Ness Avenue, Cedar Street and Geary Street. Reference Sheet L1.1, L1.2 & L2.0 in Street Improvement Permit and sheet LP_1, L1.0 & L2.0 in Caltrans Permit Set.
- Proposed curb bulb-out at Polk Street & raised crosswalk at Cedar 5 Street. Reference Sheet C7.0 in Street Improvement Permit.
- Pedestrian Tunnel connection to Hospital under Van Ness. Reference sheet C11.0 in Street Improvement Permit.







Note: All dimensions are approximate.

KEY PLAN SITE

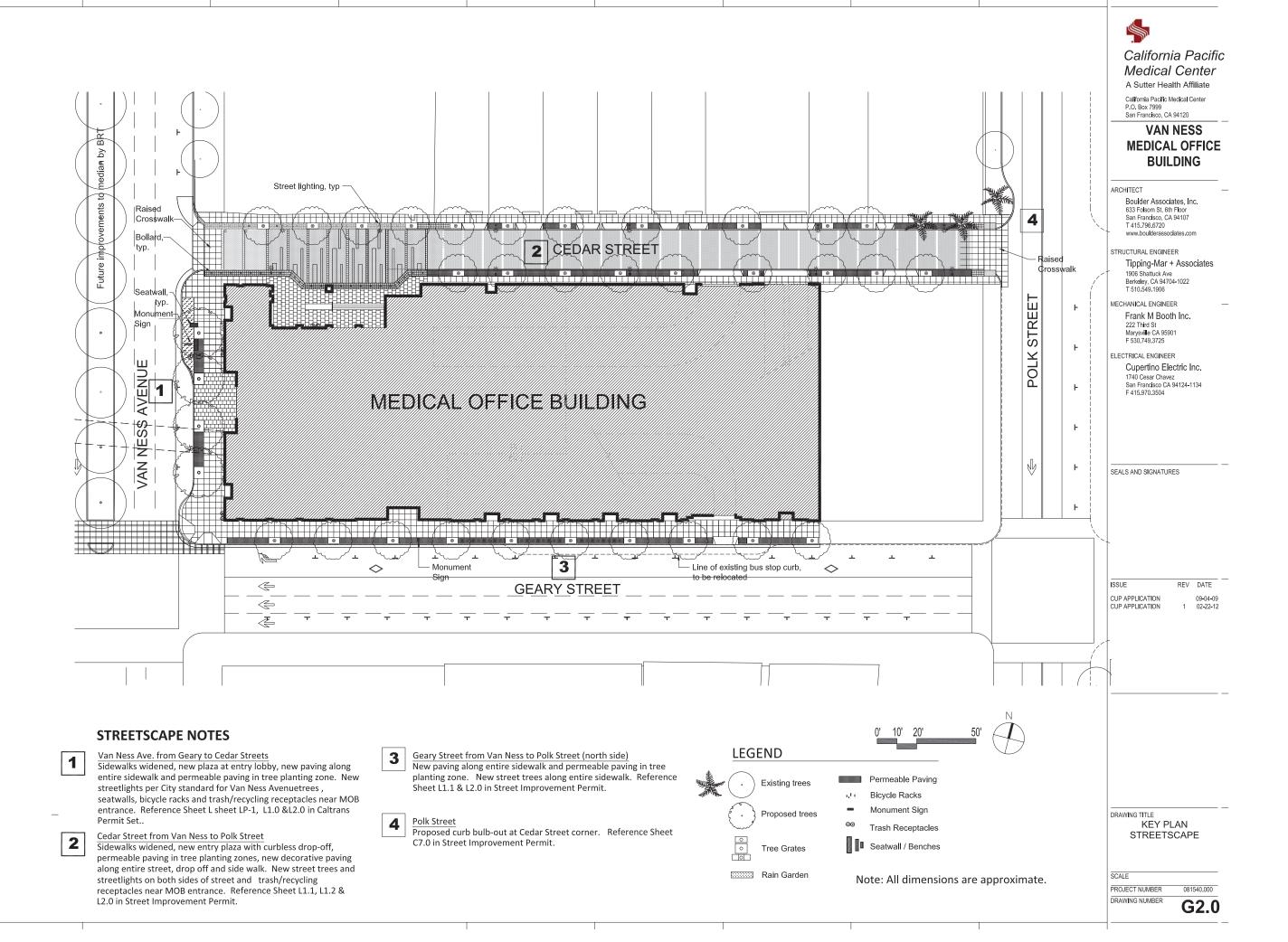
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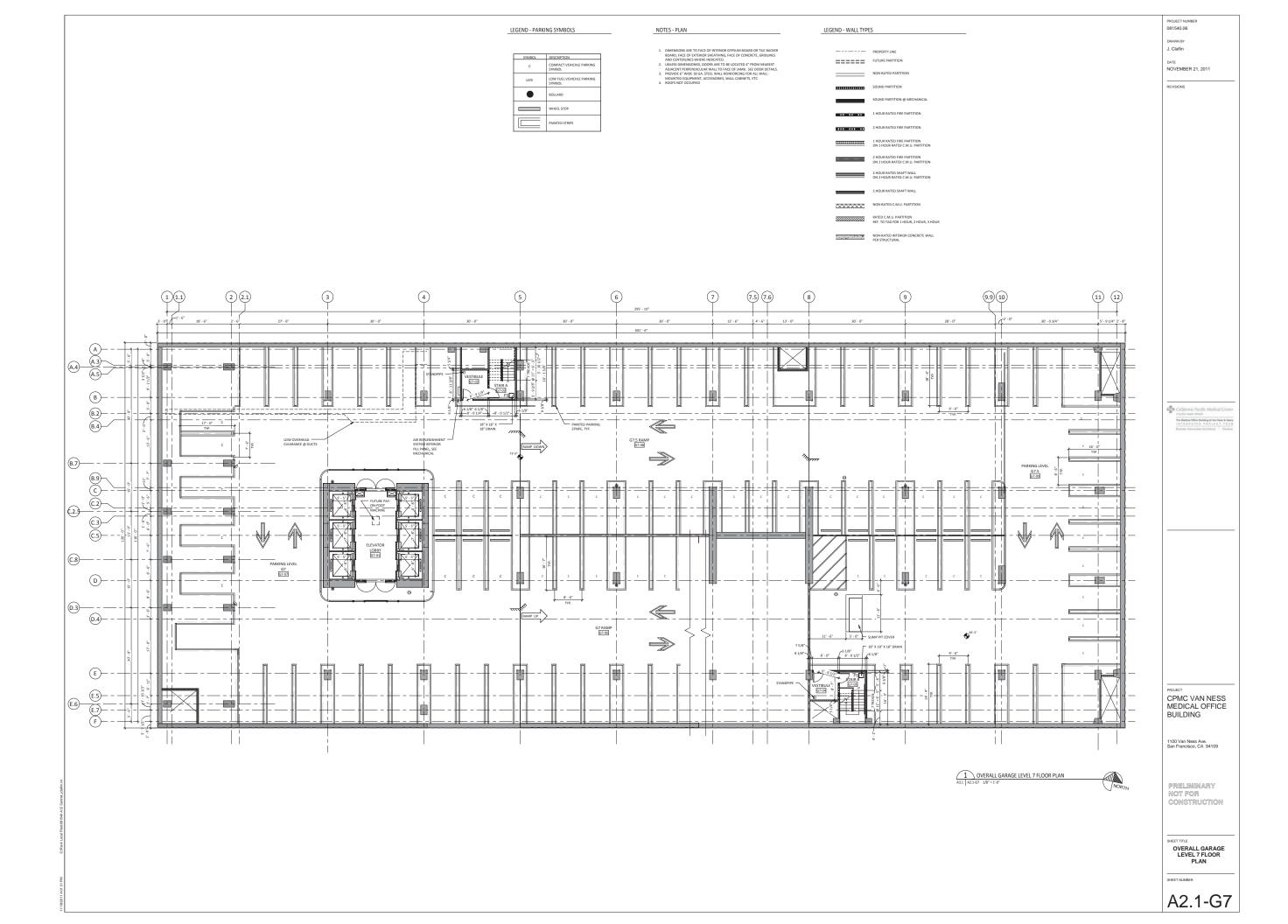


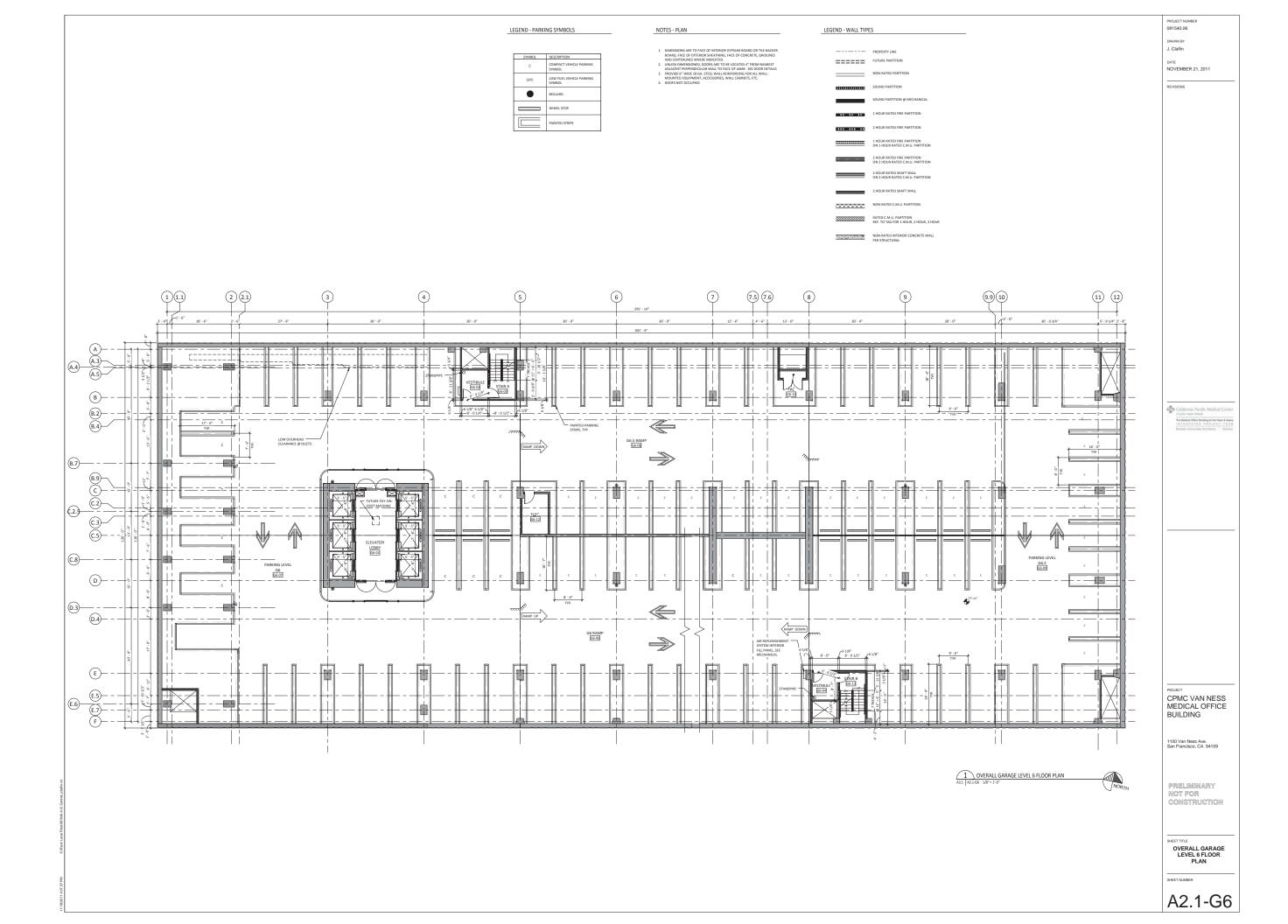
California Pacific

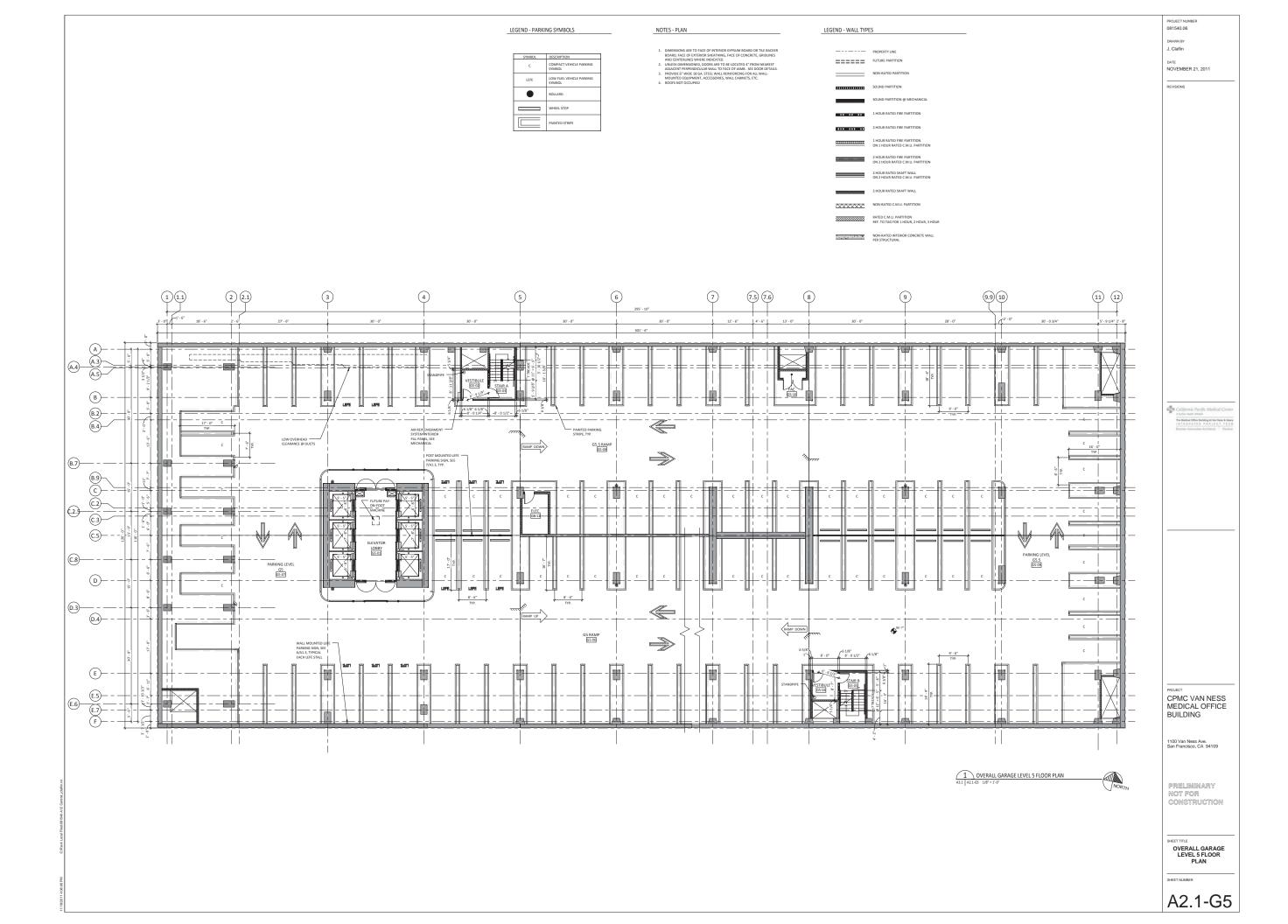
PROJECT NUMBER DRAWING NUMBER

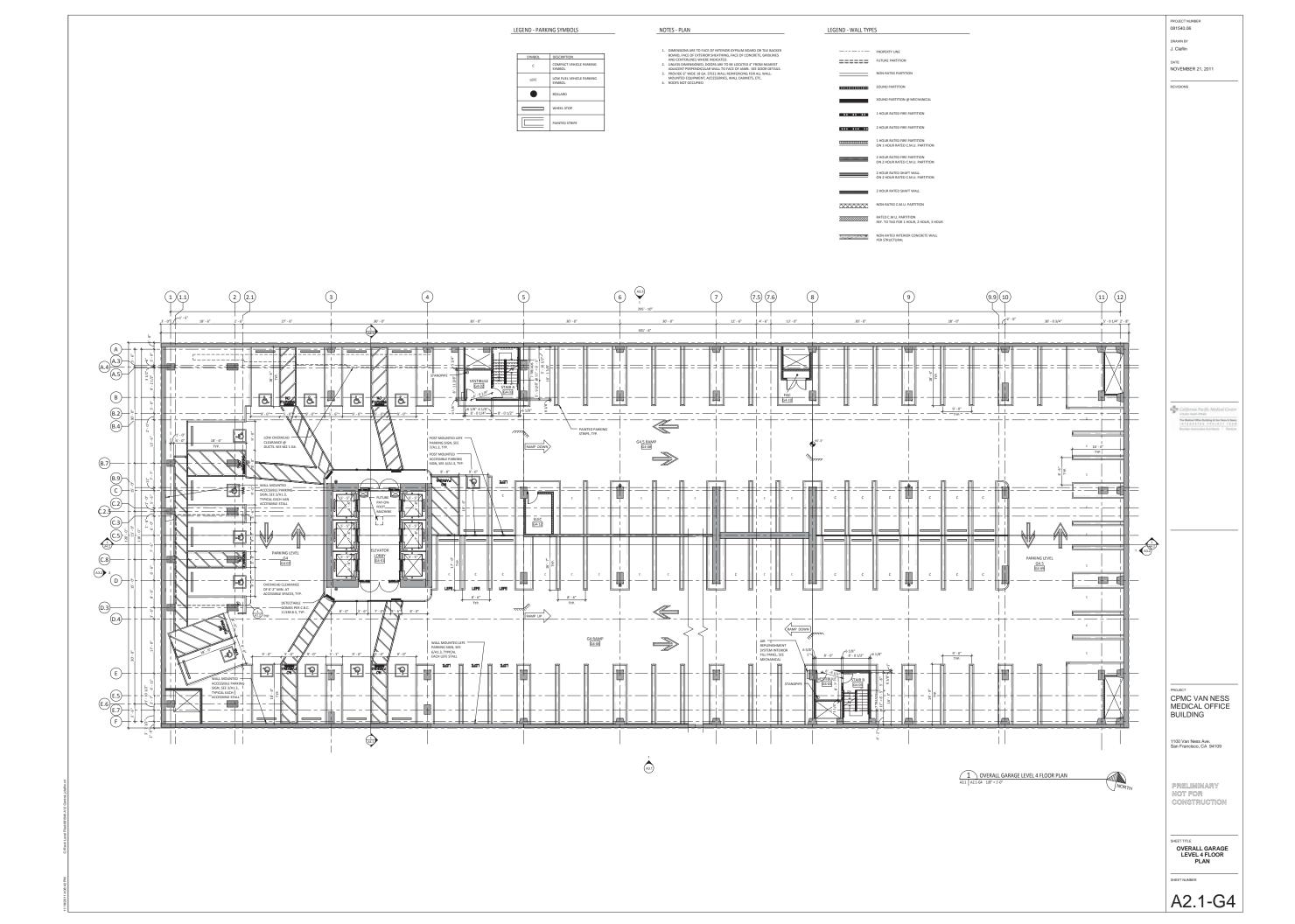
G1.0

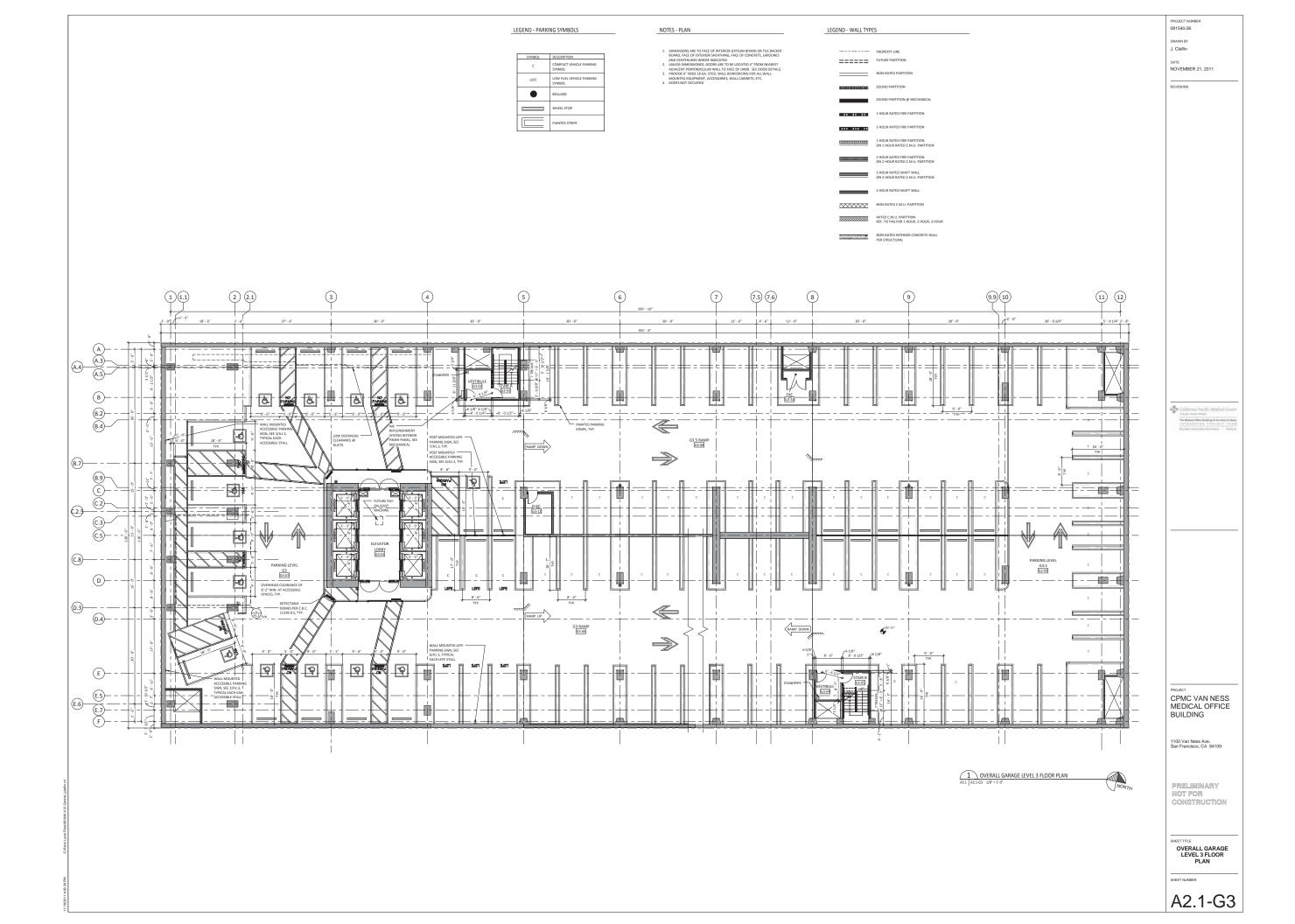


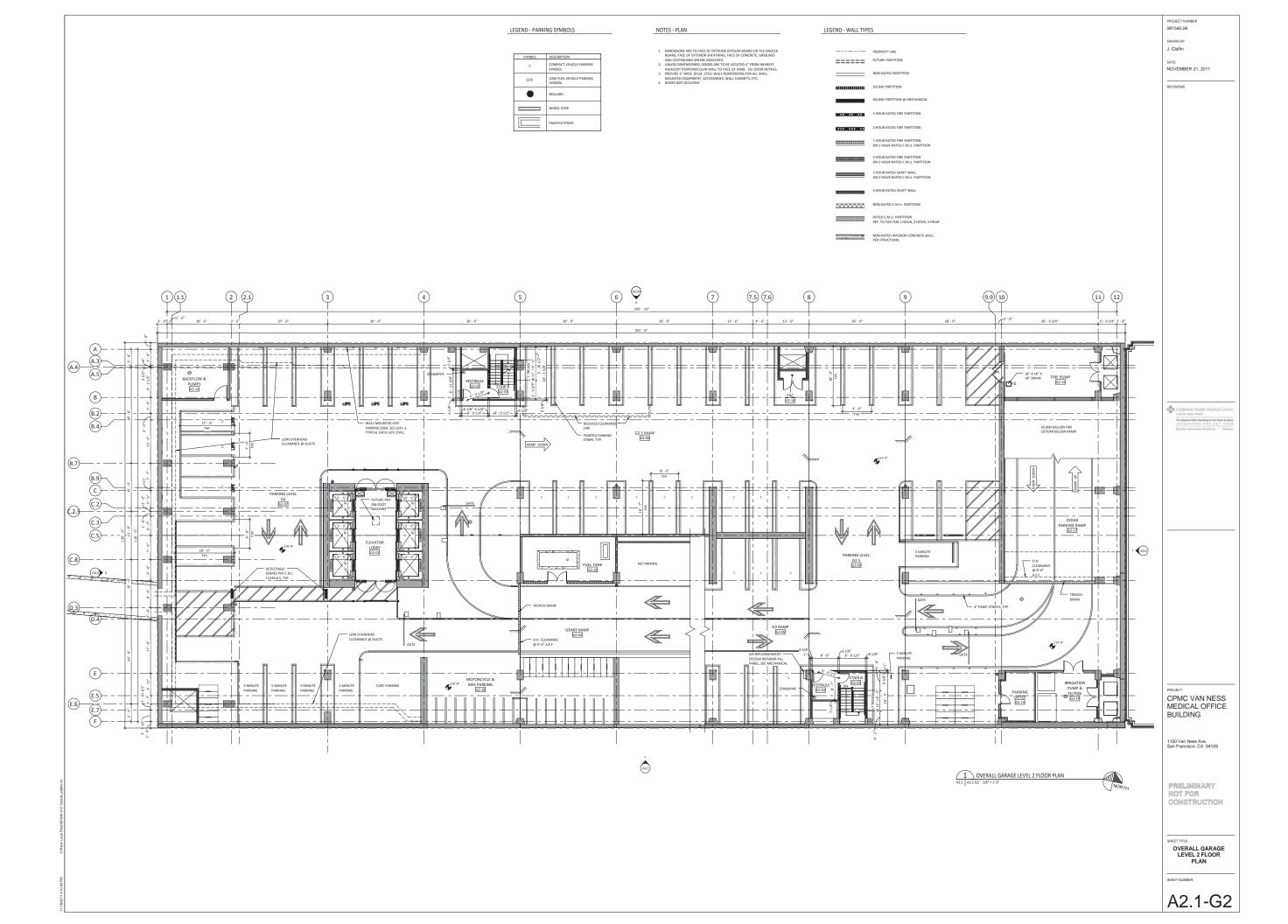


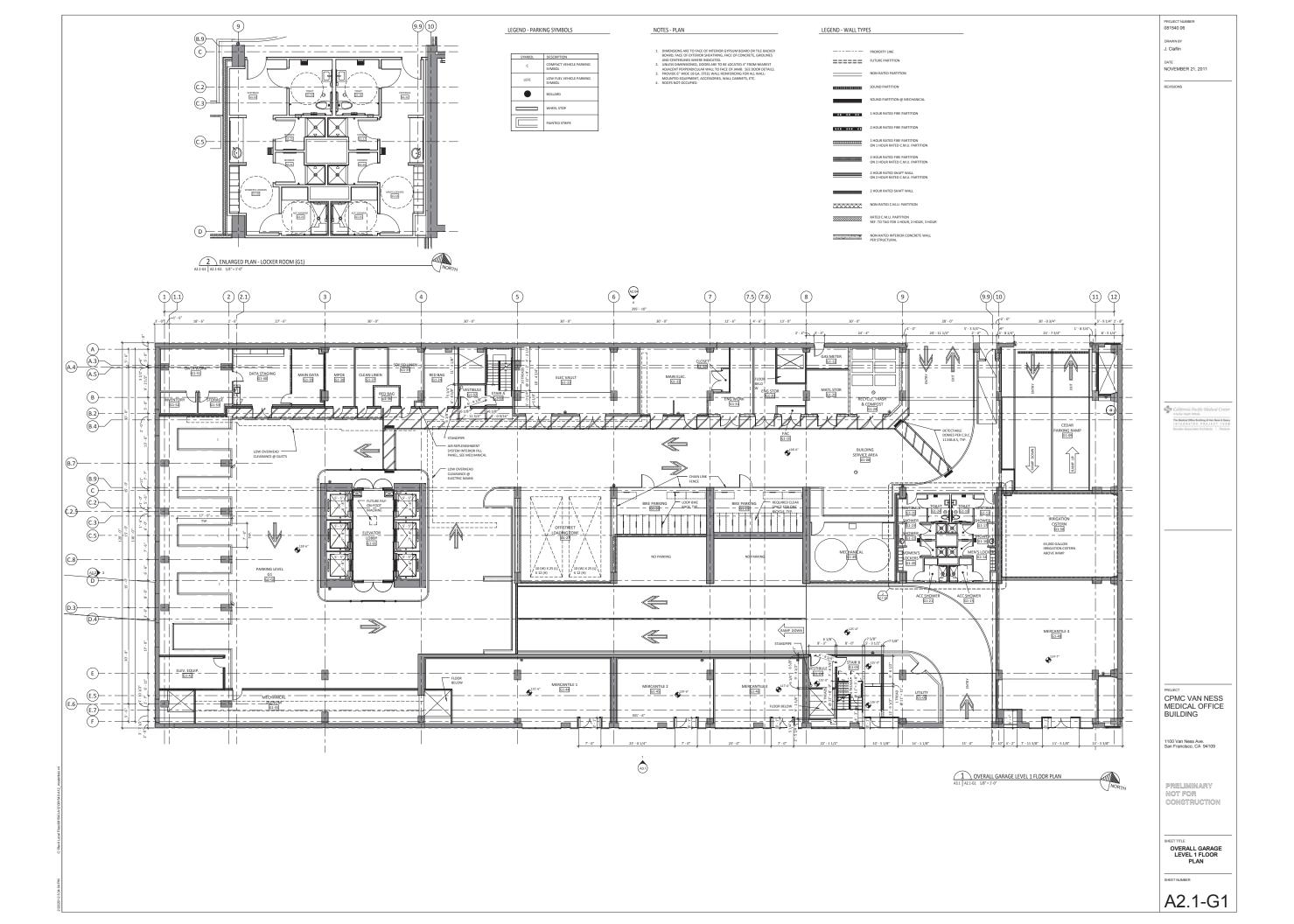


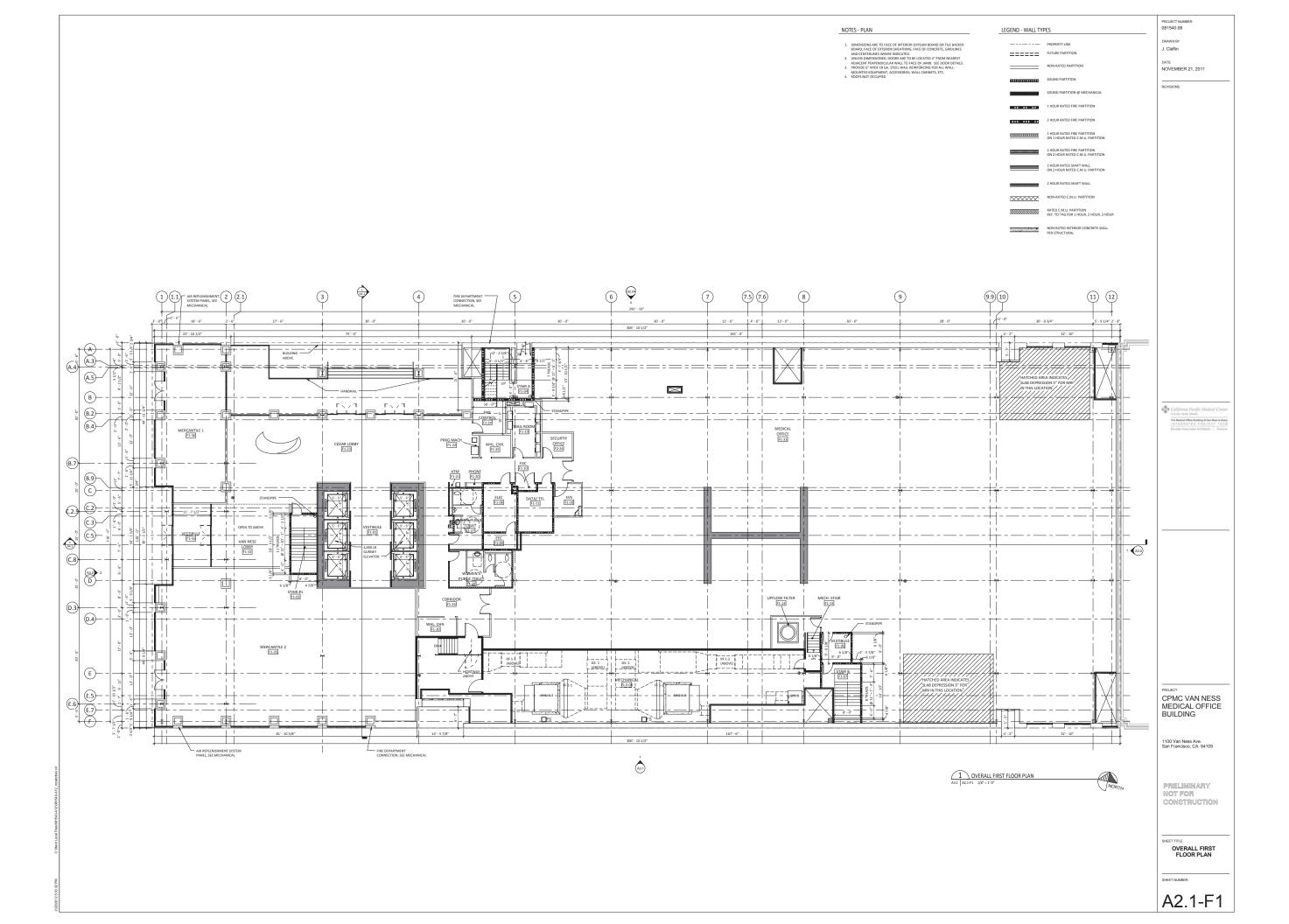


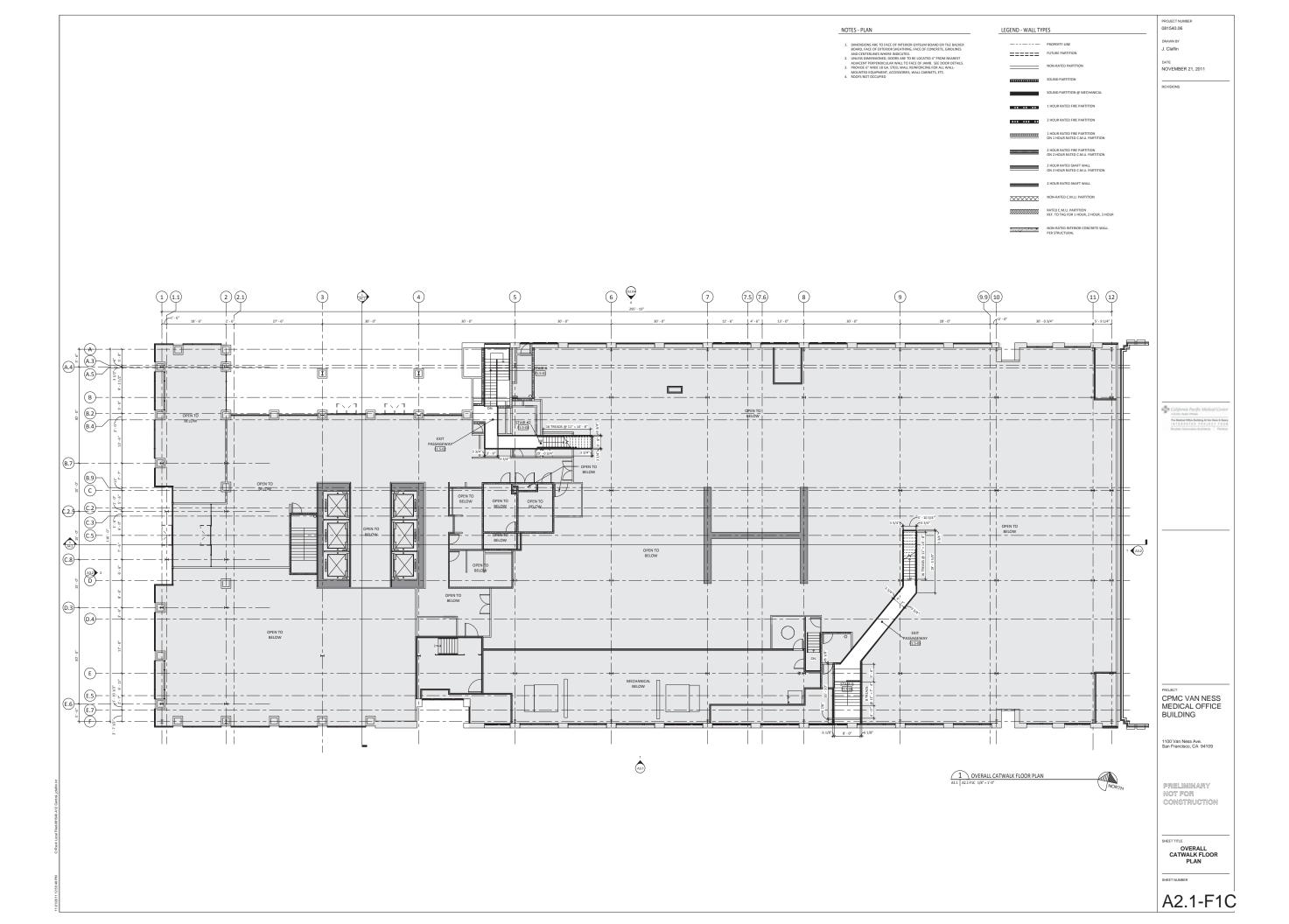


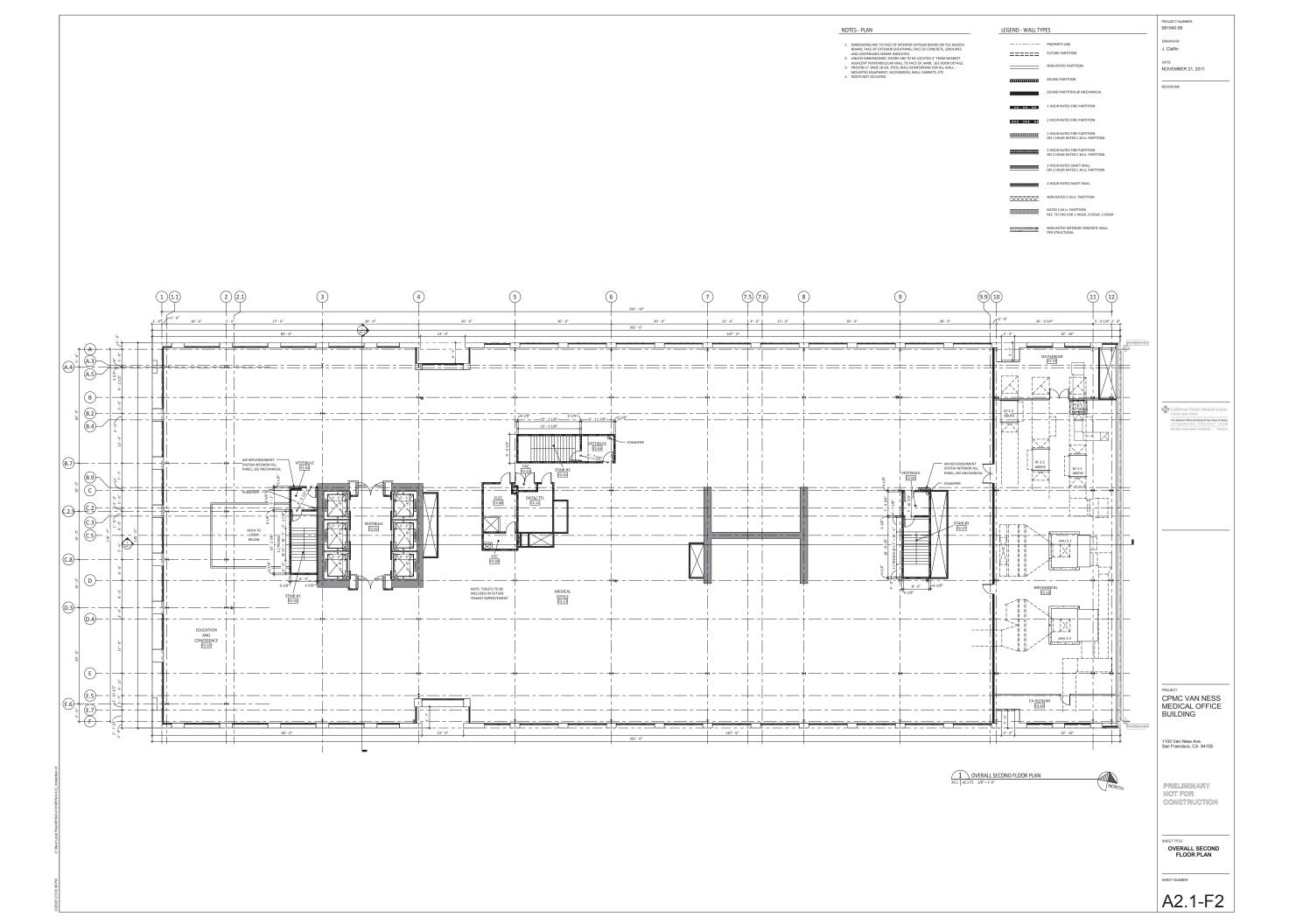


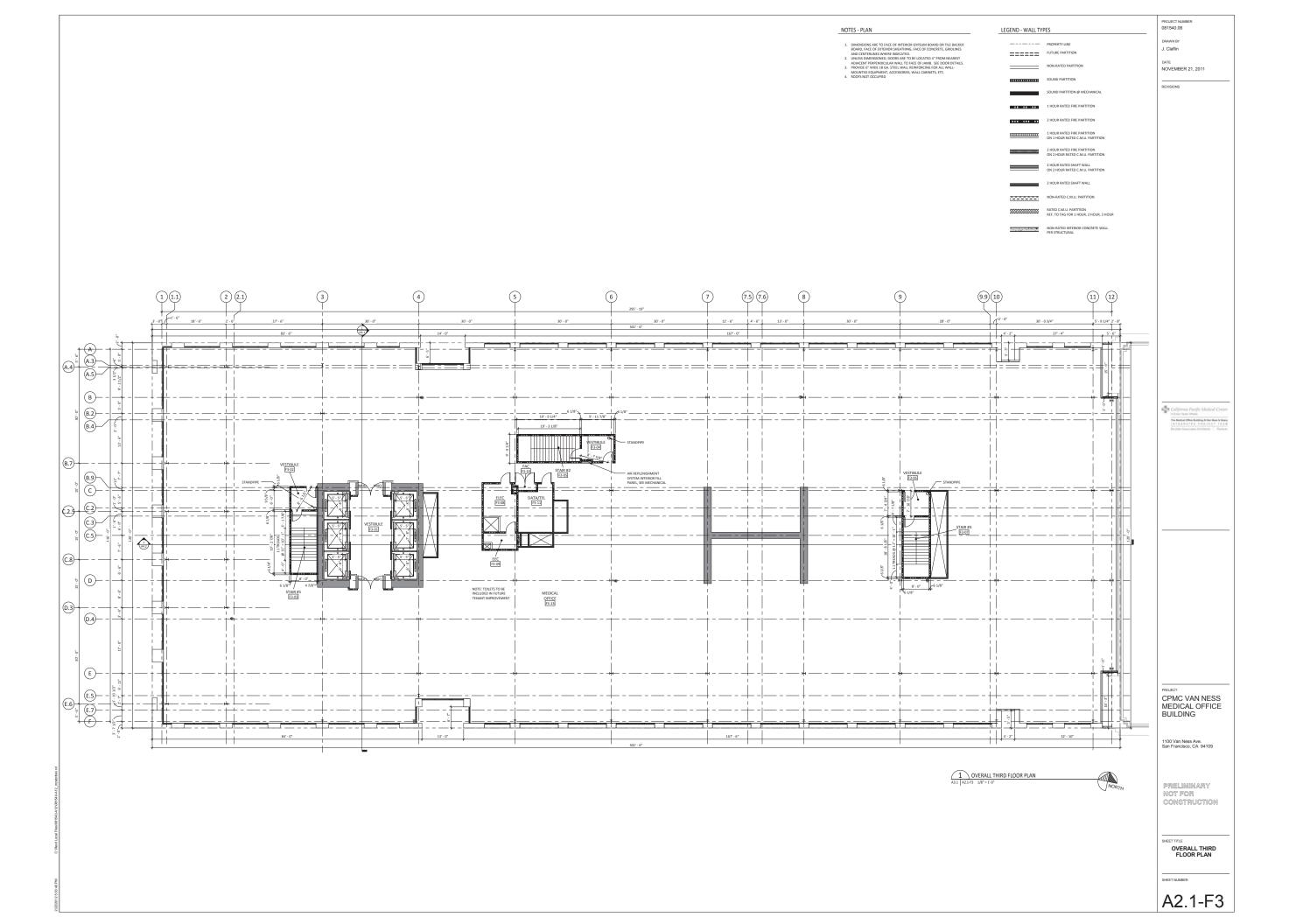


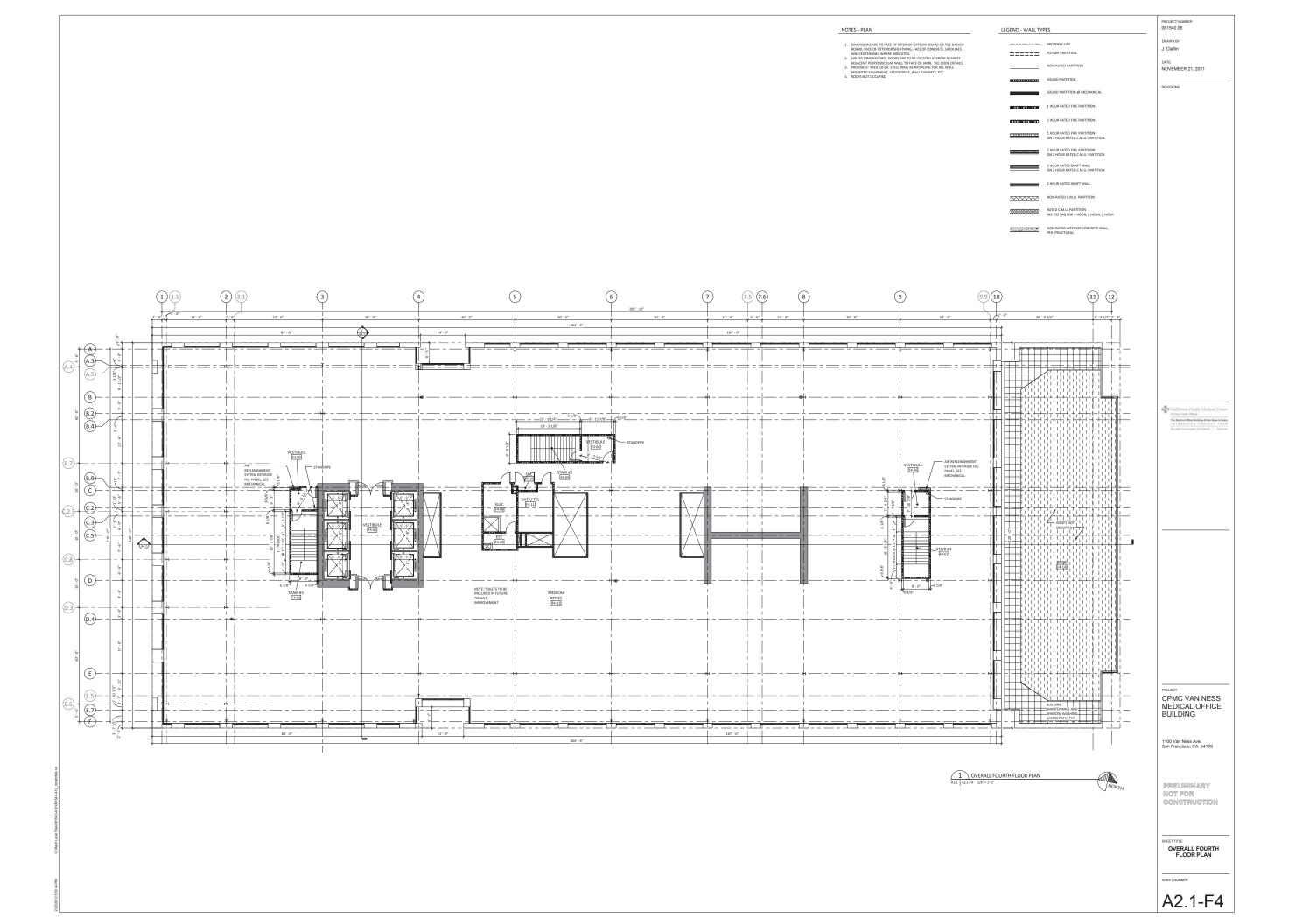


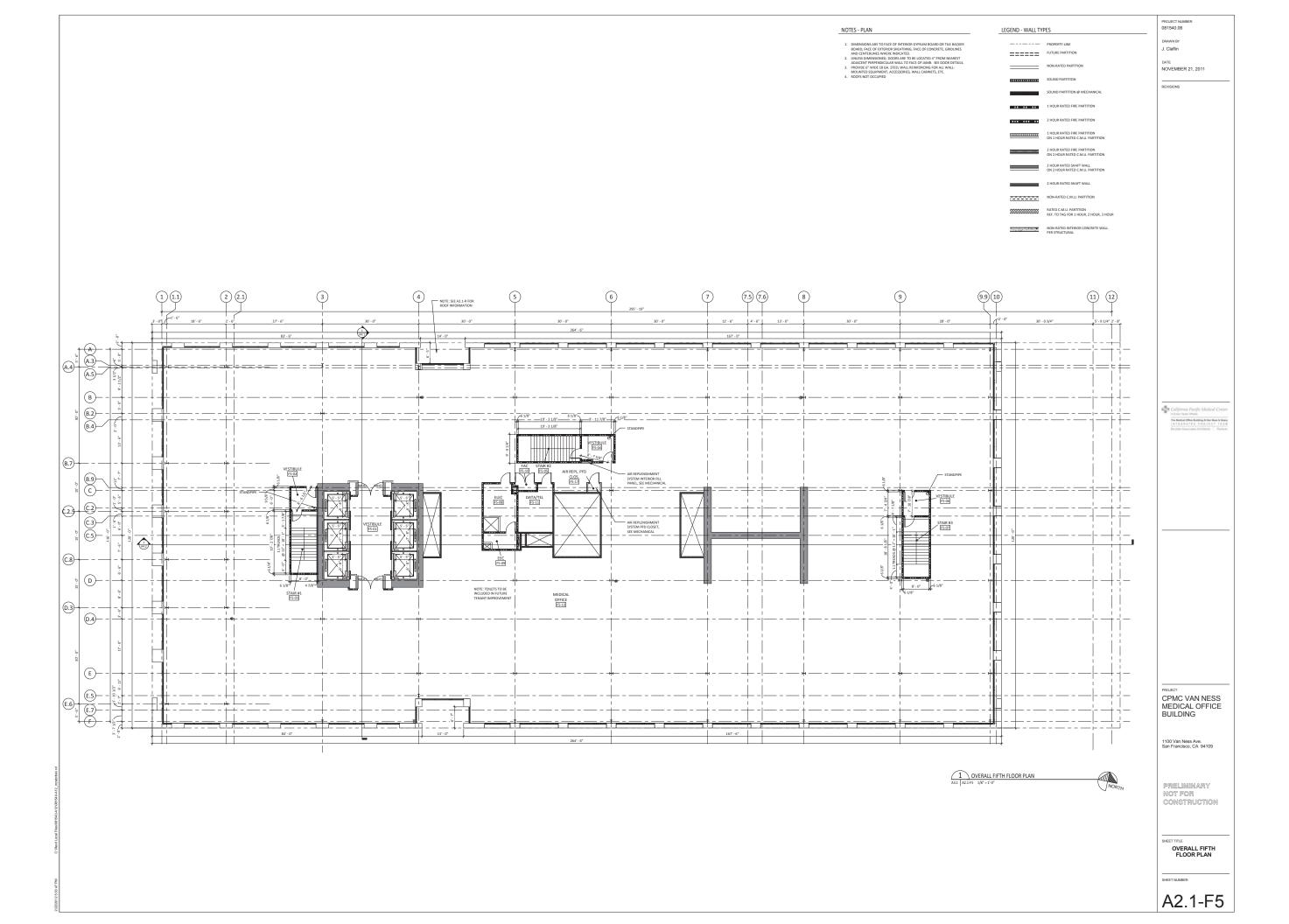


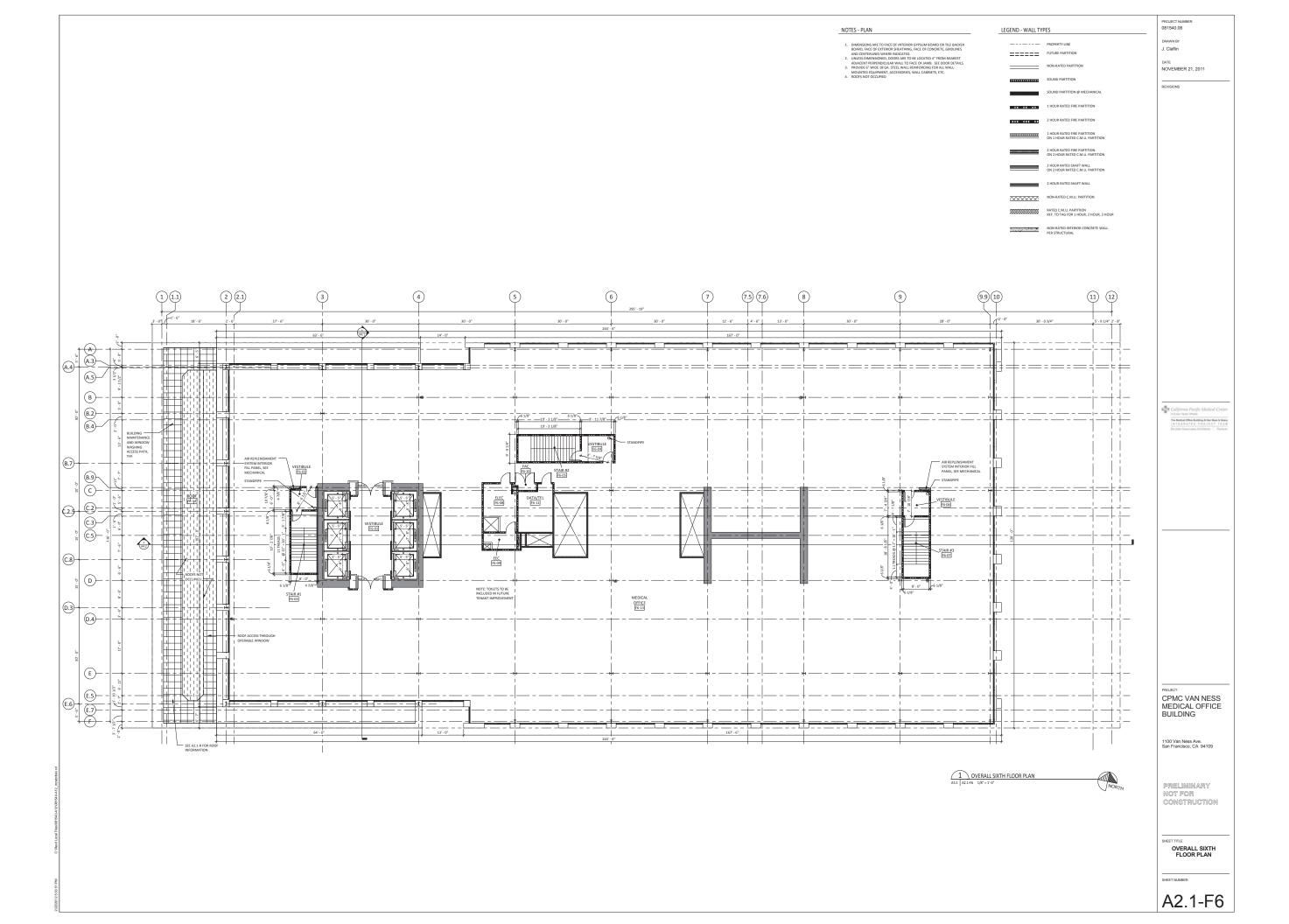


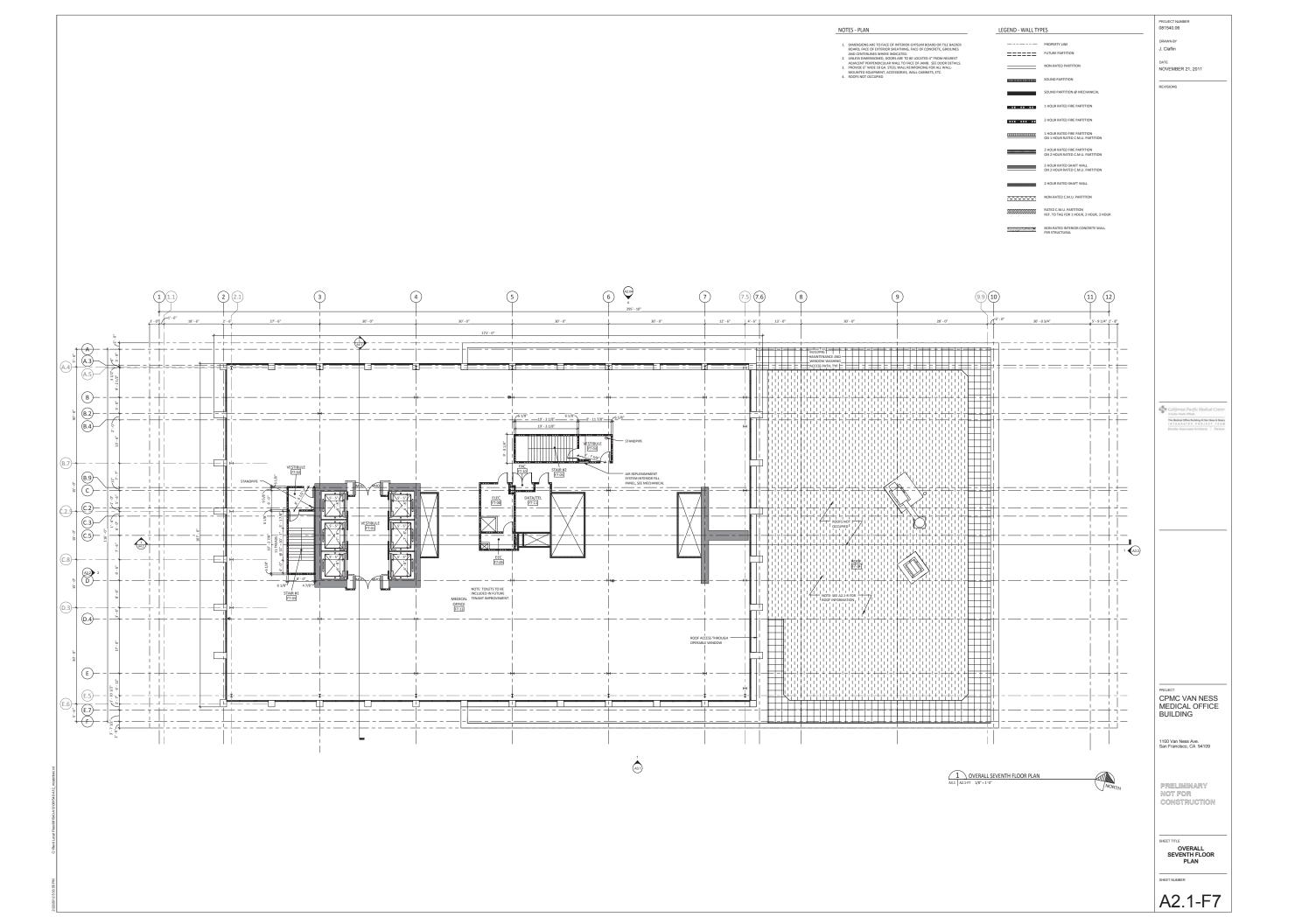


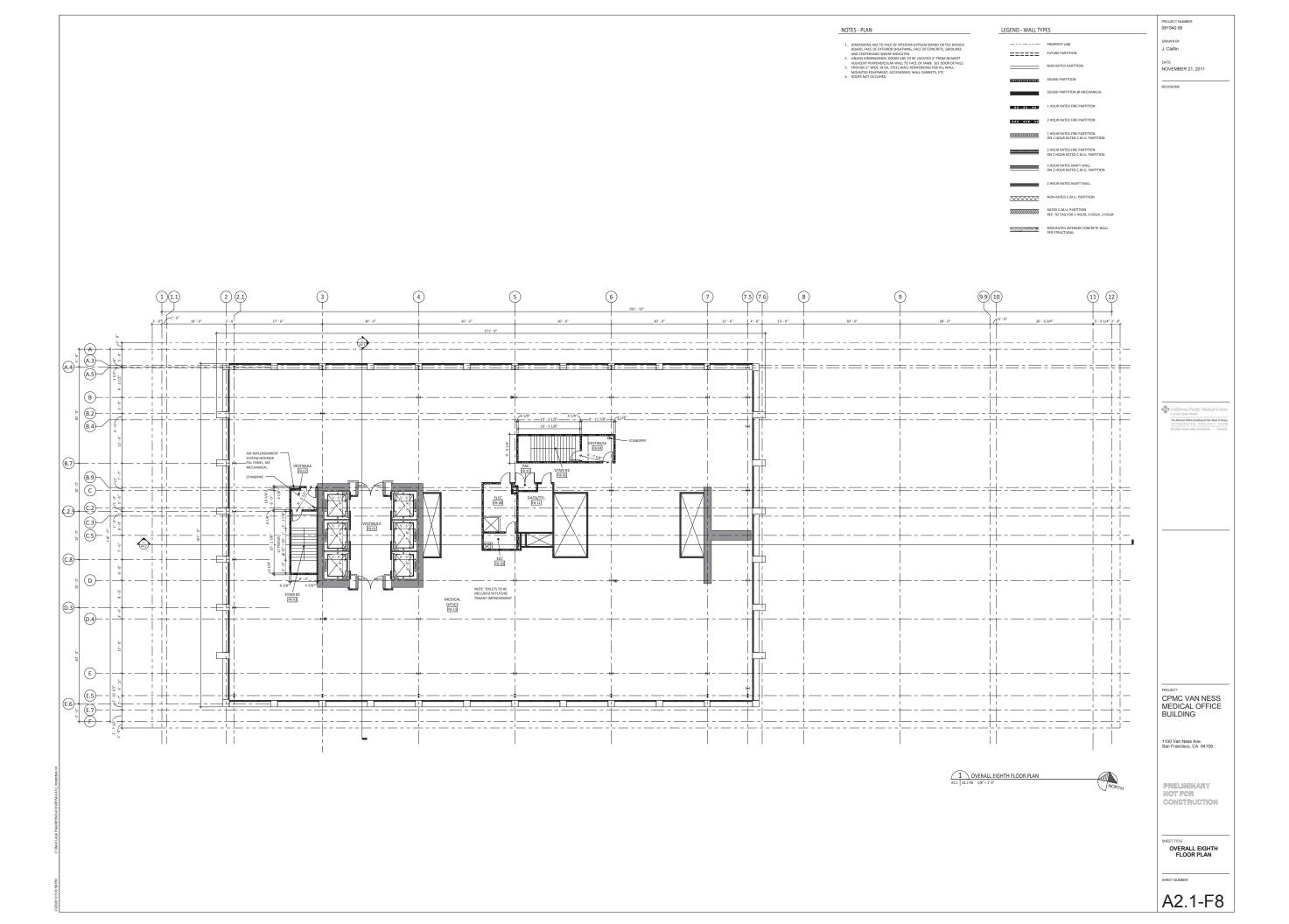


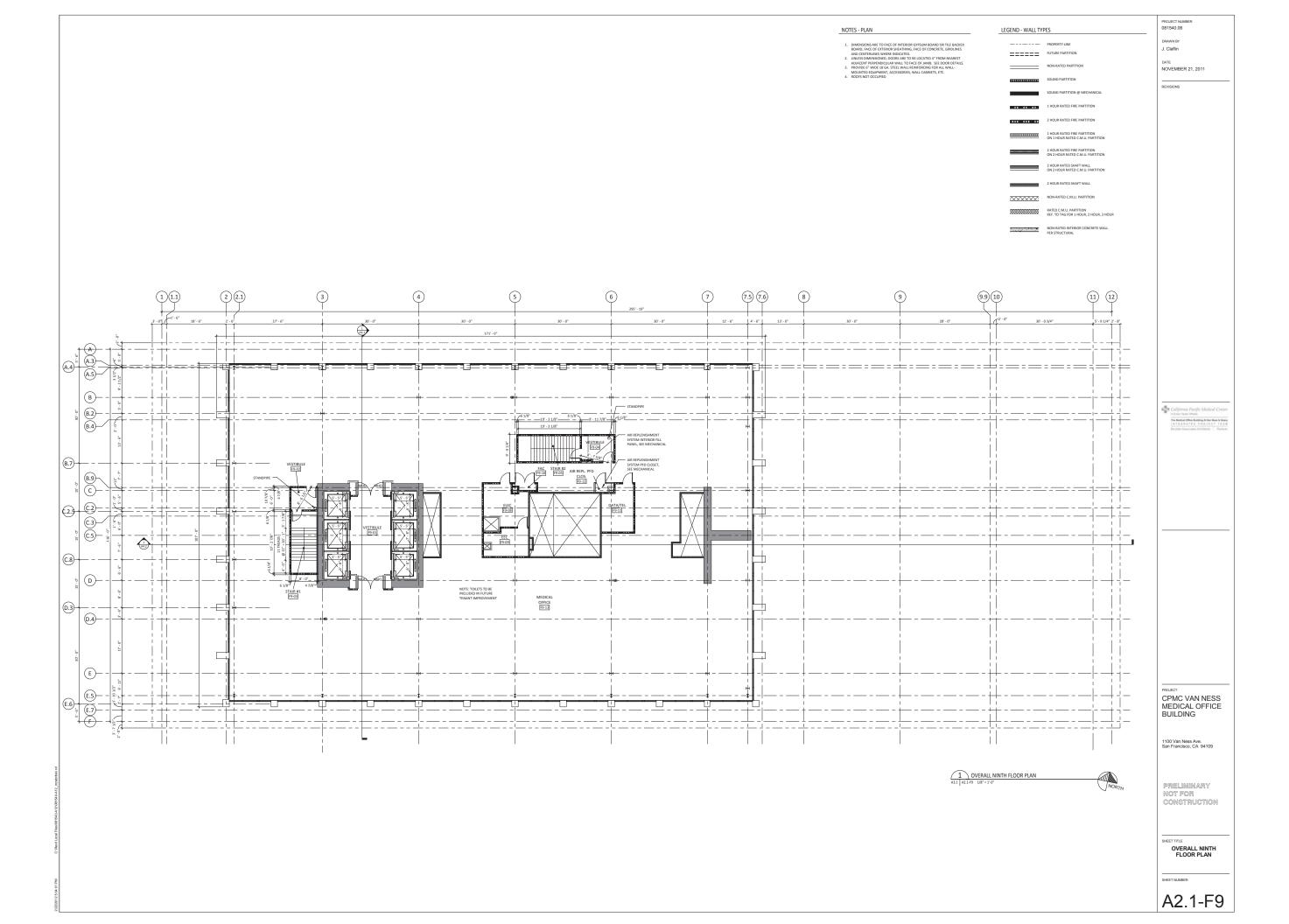


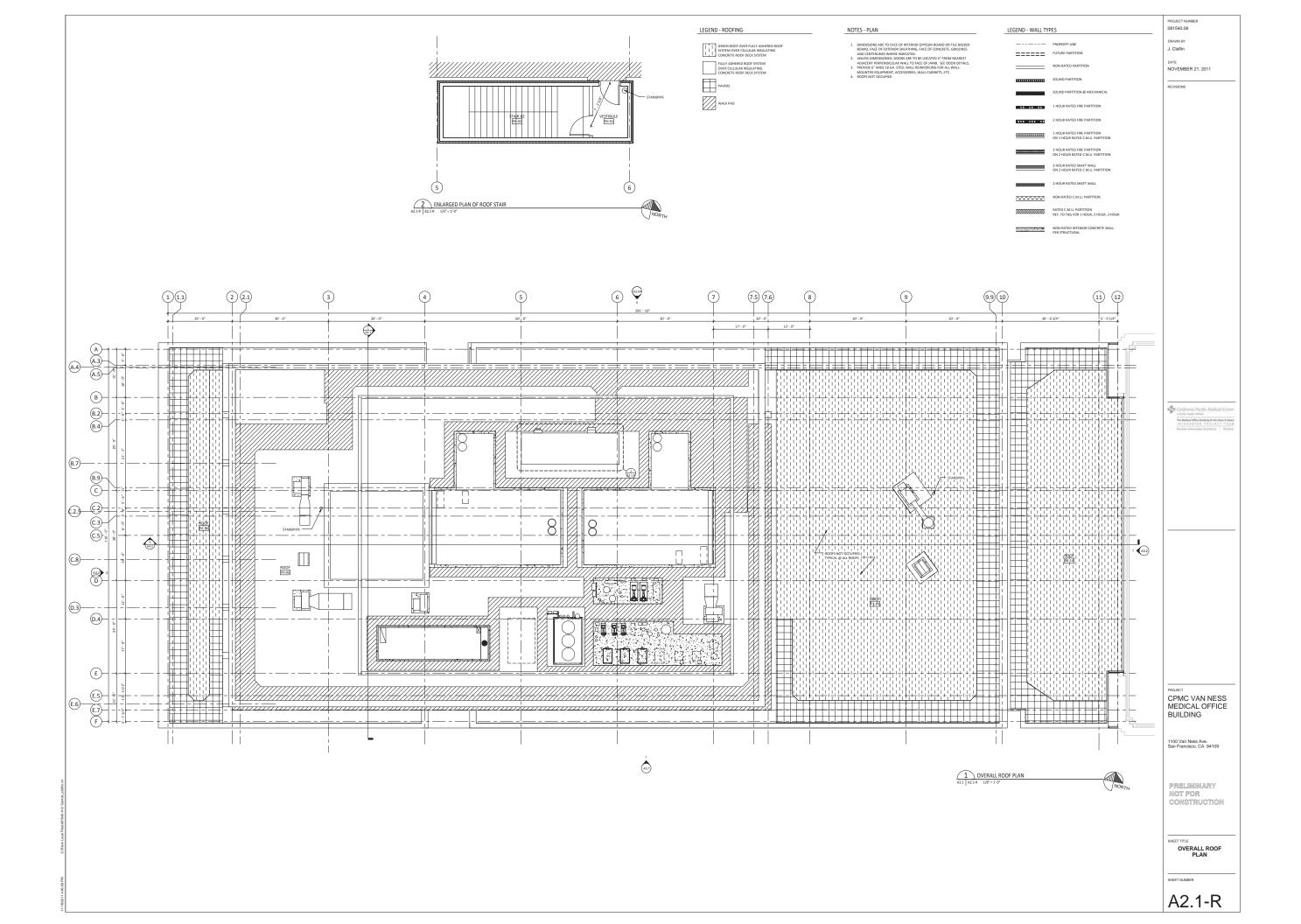


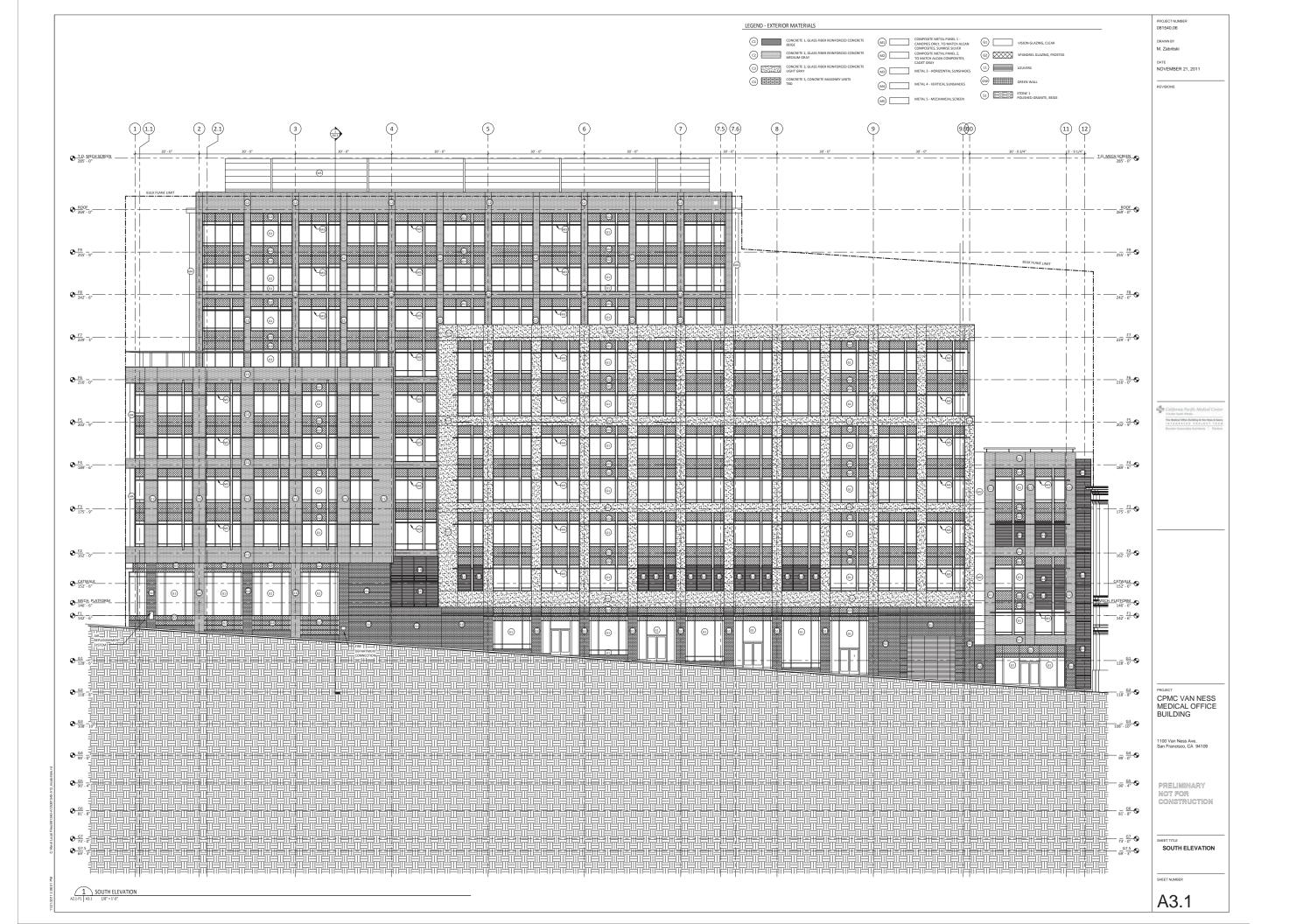


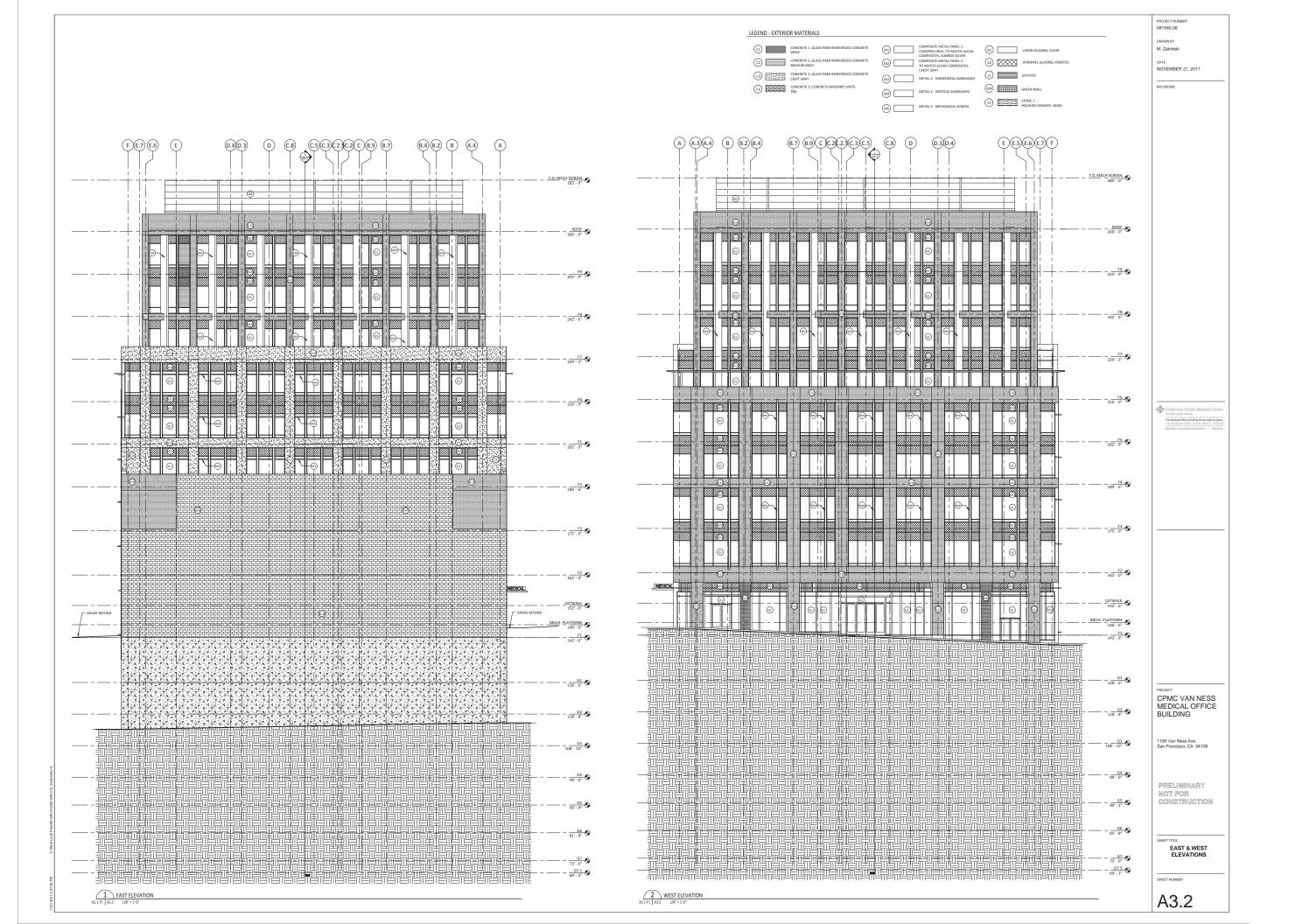


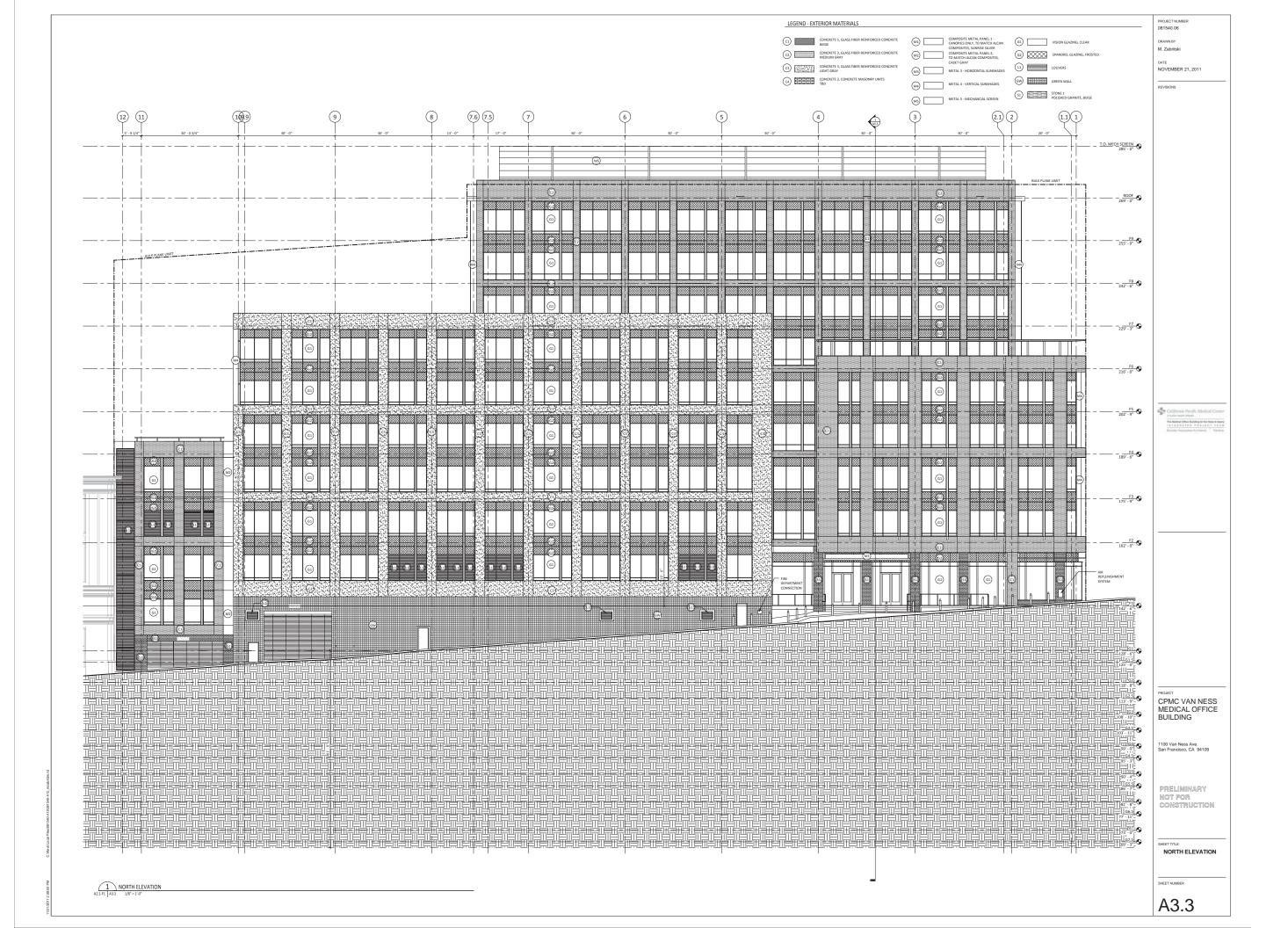


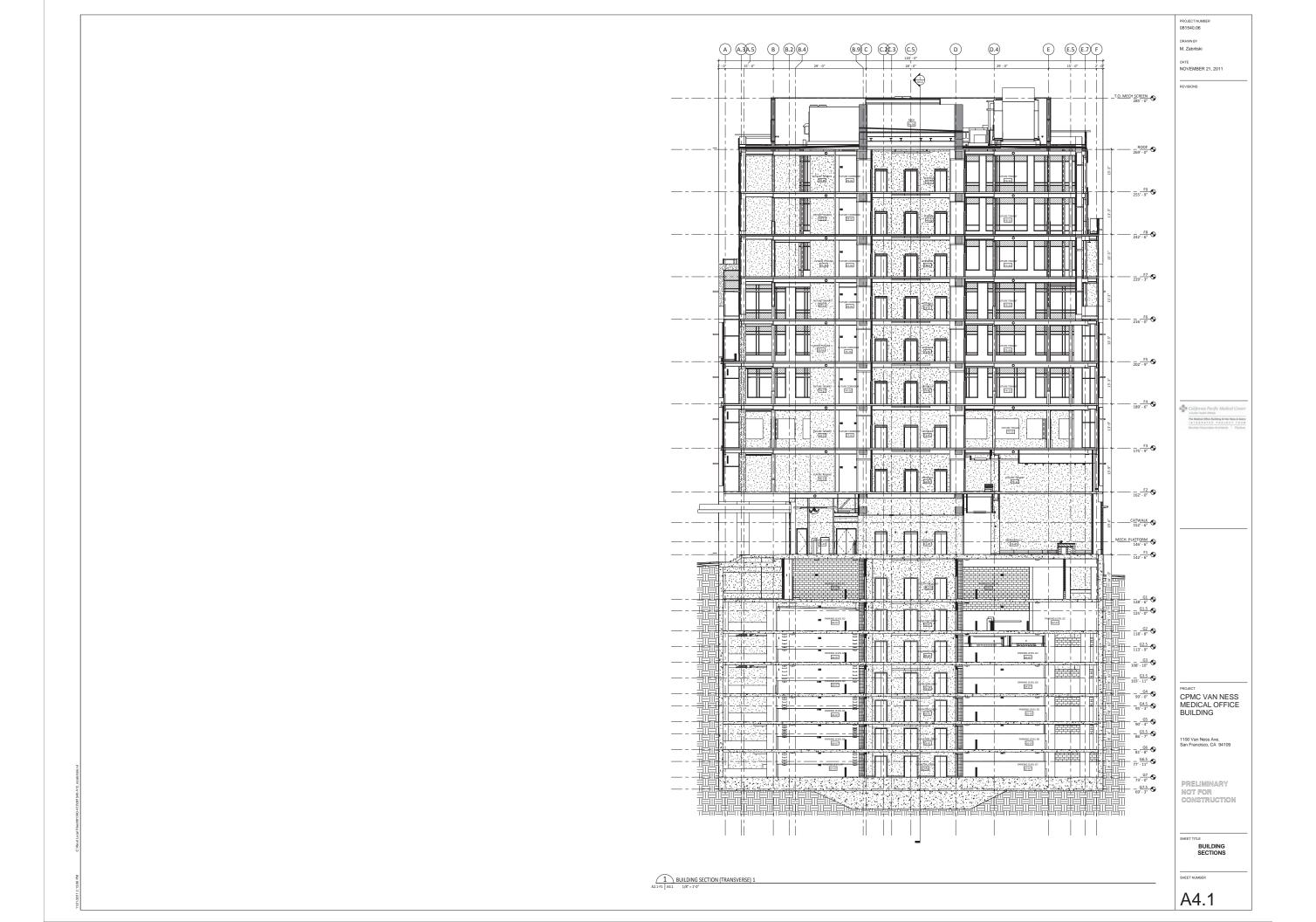


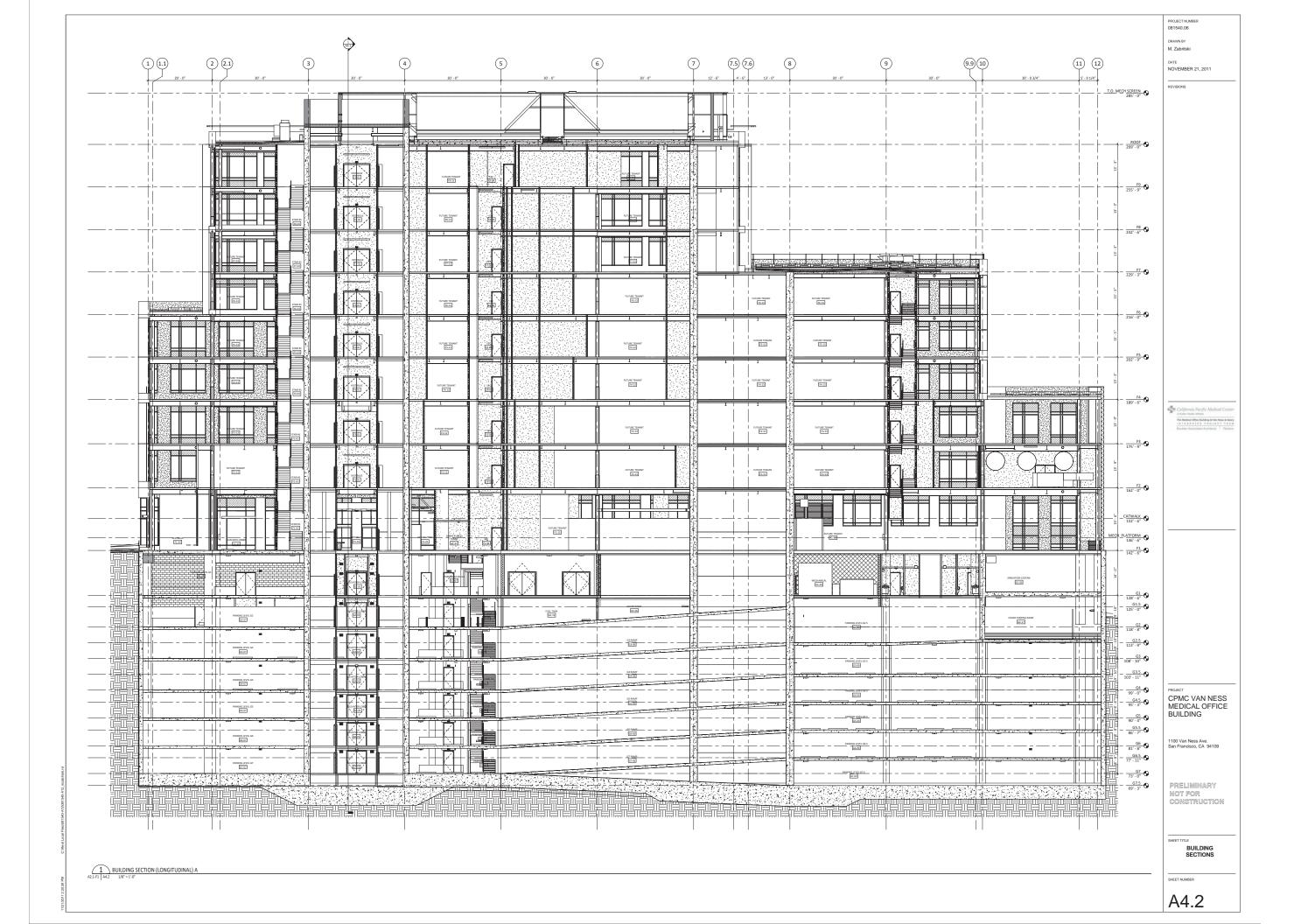


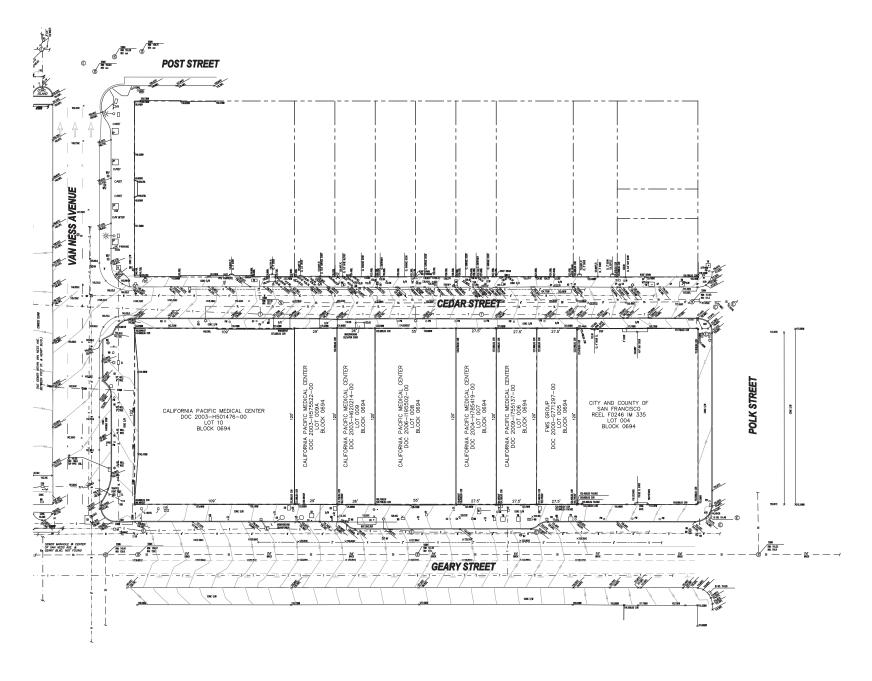












EXISTING CONDITIONS



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CIVIL ENGINEER



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ANDSCAPE ARCHITECT

TOPOGRAPHY NOTES:
TOPOGRAPHY WAS PERFORMED BY BKF ENGINEERS.

JOHANNI WAS PERFORMED BY BRE ENSITREES.

THE UTILITY LINES AND STRUCTURES SHOWN ON THIS SURVEY ARE DERIVED FROM RECORD DATA AT ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS SURVEY SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONTRACTOR PRIOR TO CONSTRUCTION.

UTILITIES AND TOPOGRAPHY ON THE WEST SIDE OF THE VAN NESS AVENUE MEDIAN WERE PROVIDED BY OTHERS.

DATE OF FIELD SURVEY: OCTOBER 9, AND 15, 2004, JANUARY 16, 2009 AND JULY 29, 2009.

LEGEND & ABBREVIATIONS

WRT 487 Bryant Street, First Floor San Francisco, CA 94107 415.575.4722

SEALS AND SIGNATURES



STREET IMPROVEMENT SUBMITTAL PERMIT

100% DD PERMIT SET PERMIT SET PERMIT SET

FOR PERMIT APPROVAL NOT FOR CONSTRUCTION

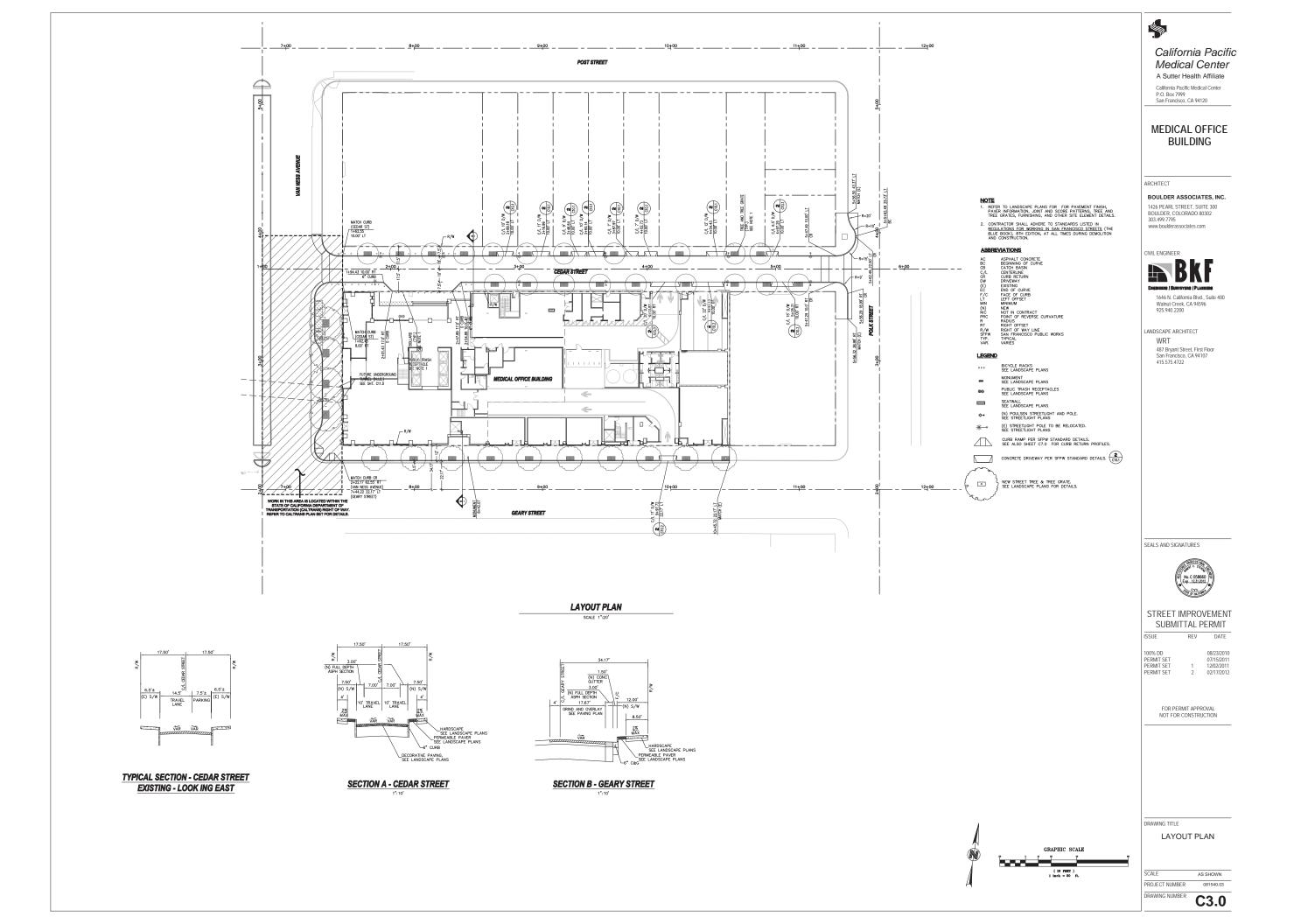
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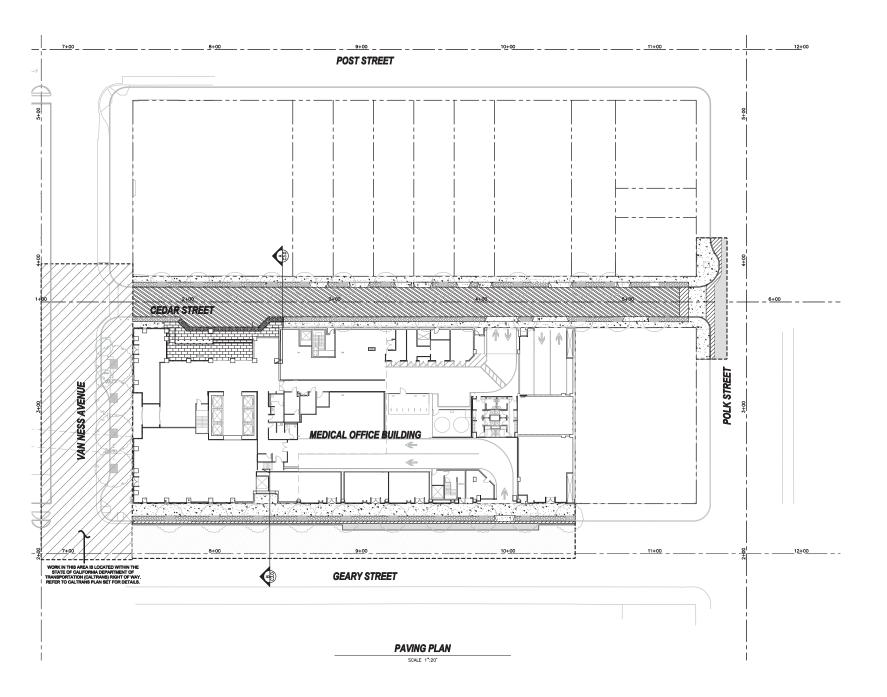
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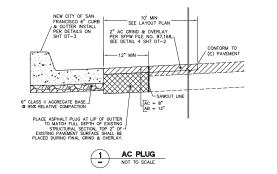
EXISTING CONDITIONS

PROJECT NUMBER 081540.03 DRAWING NUMBER

C1.0









- REFER TO LANDSCAPE PLANS FOR TREE AND GRATES, FURNISHING, AND OTHER SITE ELEMEN
- REFER TO LANDSCAPE PLANS FOR PAVEMENT FINISH, PAVER INFORMATION, AND SCORE PATTERN.
- ALL UTILITIES WITHIN LIMIT OF WORK SHALL BE ADJUSTED TO NEW GRADE UNLESS OTHERWISE NOTED.

LEGEND

PCC PAVING. REFER TO LANDSCAPE PLANS FOR DETAILS.

STANDARD COMBINED CURB AND PARKING STRIP OR GUTTER PER SFPW STANDARD DETAIL FILE NO. 87,170

AC PLUG. CONTRACTOR TO MATCH TULL DEPTH OF EXISTING STREET

ASPHALT OVERLAY (2" MIN) TO LIMIT OF WORK PER SFPW STANDARD DETAIL FILE NO. 87,168

GRANITE PAVING. REFER TO LANDSCAPE PLANS FOR DETAILS.

DETECTABLE WARNING PAVERS. REFER TO LANDSCAPE PLANS FOR DETAILS.

PERMEABLE PAVERS. REFER TO LANDSCAPE PLANS FOR DETAILS.

UNIT PAVING. REFER TO LANDSCAPE PLANS FOR DETAILS.

LANDSCAPE AREA. REFER TO LANDSCAPE PLANS FOR DETAILS.

--- LIMIT OF WORK



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SEALS AND SIGNATURES



STREET IMPROVEMENT SUBMITTAL PERMIT

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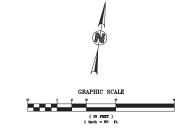
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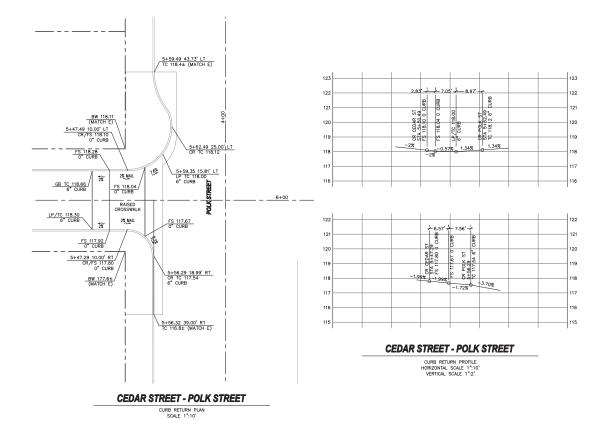
DRAWING TITLE

PAVING PLAN

SCALE AS SHOWN
PROJECT NUMBER 081540.03

C4.0







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SEALS AND SIGNATURES

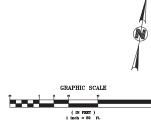


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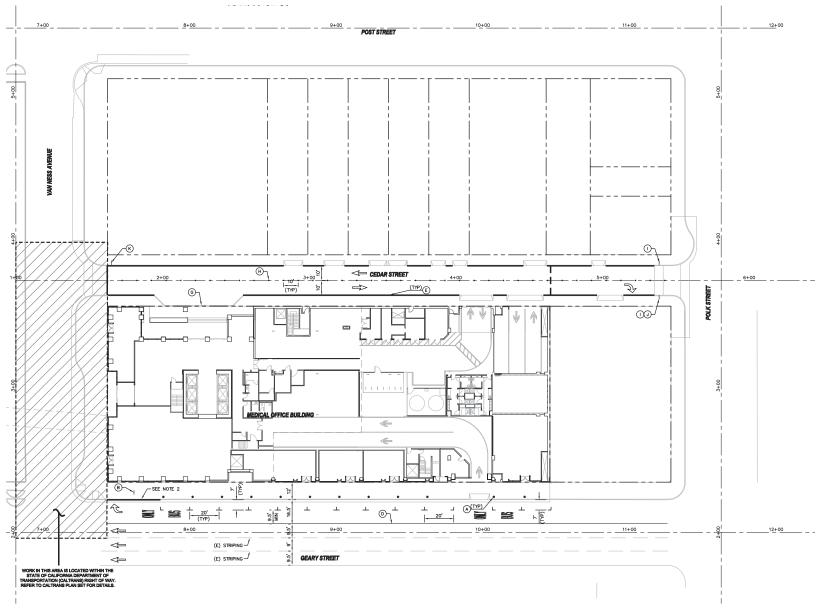


RAWING TITLE

INTERSECTION & CURB RETURN PROFILES

PROJECT NUMBER 081540.03 DRAWING NUMBER

C7.0



SIGNAGE AND STRIPING PLAN

- (A) INSTALL STANDARD CITY OF SAN FRANCISCO PARKING METER 2° AWAY FROM FACE OF CURB.
- B INSTALL TAXI DROP OFF AREA SIGN
- 4* WHITE THERMOPLASTIC STRIPING PER DETAIL 2 OF PAYEMENT MARKERS AND TRAFFIC LINES TYPICAL DETAILS FILE NUMBER 46012 (CITY AND COUNTY OF SAN FRANCISCO STANDARDS)
- D 4" YELLOW THERMOPLASTIC STRIPING E PAINT RED CURB
- G TEMPORARY PARKING DROP-OFF / PICK-UP AREA
- H INSTALL TWO-WAY YELLOW RETROFLECTIVE MARKERS $\stackrel{-}{\textstyle \bigcap}$ install "stop" sign with "one way only" sign per mutcd.
- (J) INSTALL "RIGHT TURN ONLY" SIGN PER MUTCD
- K INSTALL "STOP" SIGN SIGN PER MUTCD.

PARKING STRIPING

TYPE I (18'-0") ARROW PER CALTRANS STD PLAN A24A

TYPE IV (R)/(L) ARROW PER CALTRANS STD PLAN A24A. SEE PLAN FOR LAYOUT PAVEMENT MARKING WORDS PER CALTRANS STD PLAN A24D

NO PARKING AREA (RED CURB) TO BE 30' MINIMUM FROM INTERSECTION.



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SEALS AND SIGNATURES



STREET IMPROVEMENT SUBMITTAL PERMIT

REV DATE

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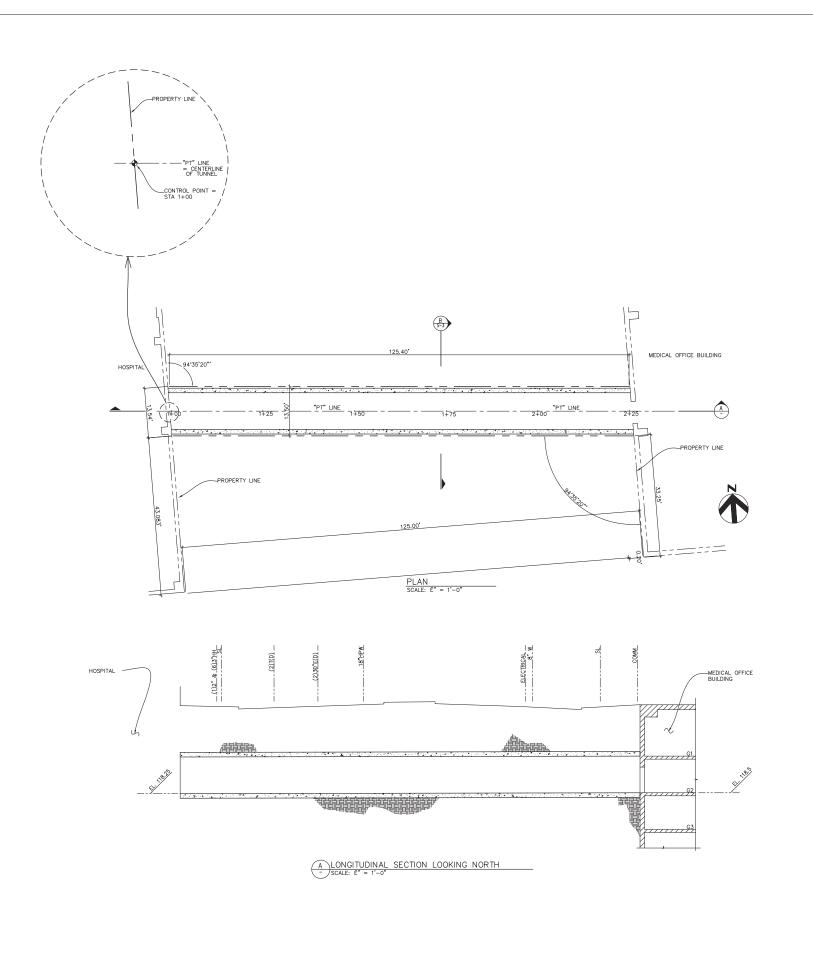


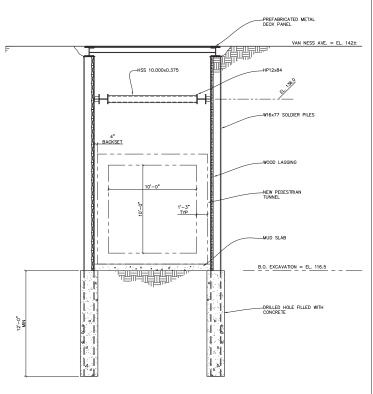
RAWING TITLE

SIGNAGE AND STRIPING PLAN

PROJECT NUMBER 081540.03

C9.0





FOR REFERENCE ONLY

SECTION SCALE: I" = 1'-0"

WORK DONE AS PART OF CPMC MEDICAL OFFICE BUILDING PEDESTRIAN TUNNEL CONSTRUCTION (N.I.C.). SEE CPMC MEDICAL OFFICE BUILDING PEDESTRIAN TUNNEL CONSTRUCTION DOCUMENTS FOR DETAILS.

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SEALS AND SIGNATURES



STREET IMPROVEMENT SUBMITTAL PERMIT

100% DD 08/23
PERMIT SET 07/15
PERMIT SET 1 12/02
PERMIT SET 2 02/17

FOR PERMIT APPROVAL NOT FOR CONSTRUCTION

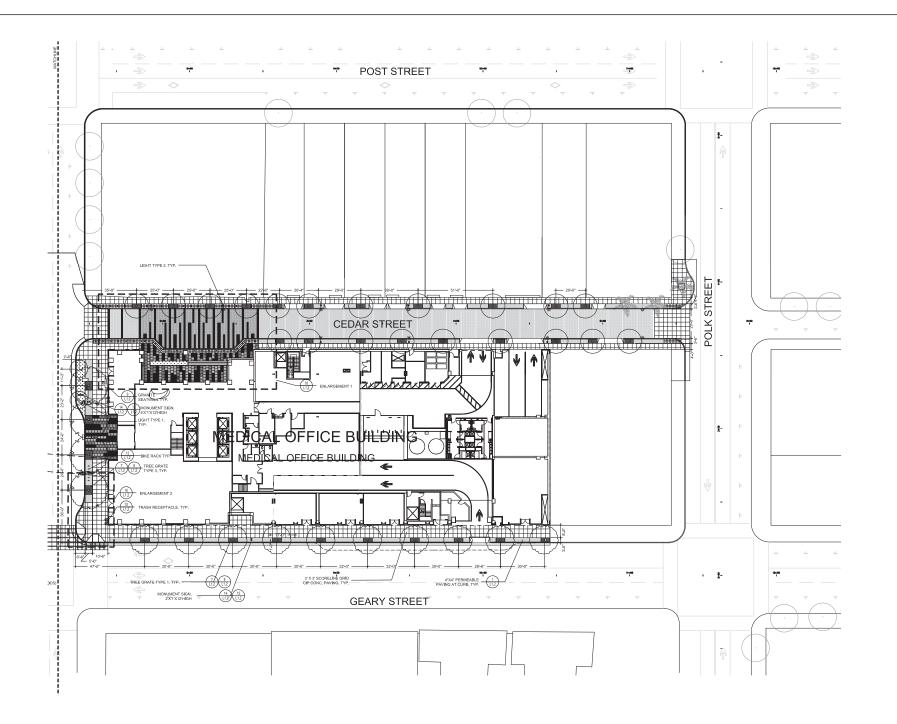
RAWING TITLE

PEDESTRIAN TUNNEL AND LONGITUDINAL SECTION

SCALE

PROJECT NUMBER 081540.0

DRAWING NUMBER C11.0



LAYOUT NOTES

LOCATE EXPANSION JOINTS IN SIDEWALK AT INTERVAL CLOSEST TO 30' BUT NO MORE THE
 SOFEET APART. PLACE EXPANSION JOINTS AT THOSE INTERVALS IN LIEU OF SCORE LINES
 SHOWN ON PLAN.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION:
ALL UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE AND FO
GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL MOTIFY UTILITY SERVICES AT LE
48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT.

AL. "LAYOUT" WORK SHALL BE APPROVED BY THE ENGINEER PRIOR TO THE START OF ANY EXCAVATION.

5, CONTRACTOR SHALL REPAIR AT HISHER OWN EXPENSE ANY DAMAGE, WHETHER INSIDE O OUTSIDE OR OUTSIDE OF THE LIMIT OF WORK LINE, TO UTILITY SYSTEMS, SURFACE PAYEMENTS, FIXTURES OR STRUCTURES THAT ARE NOT SPECIFICALLY MODICATED TO BE

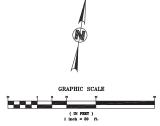
REMOVED OR RELOCATED AS PART OF THE PROJECT CONSTRUCTION.

7. THE CONTRACTOR SHALL EXERCISE PARTICULAR CARE WHILE WORKING IN THE VICINITY OI ACTIVE UTILITY AND DRAINAGE STRUCTURES. IN THE EVENT THAT ANY EXISTING STRUCTURE OR UTILITIES ARE DAMAGED AND THE SERVICES DISRUPTED, THE LINES SHALL BE IMMEDIATELY REPARED AND THE SERVICES RESTORED AS DIRECTED BY THE ENGINEER AT N COST TO THE OWNER.

FURNISH	FURNISHING AND SITE ELEMENTS		
SYMBOL	DESCRIPTION		
•	BOLLARD		
10.500	TREE GRATE TYPE 1 (3'x6')		
٠	TREE GRATE TYPE 2 (5'x6')		
-	BIKE RACK		
	CUSTOMIZED SEATWALL (DIMENSION VARIES)		
□ *	NEW VAN NESS STREETLIGHT/OCS PER BRT STANDARD		
•-*	LIGHT TYPE 2		
0	TRASH RECEPTACLE		
_	SIGNAGE		

SYMBOL	MATERIAL & THICKNESS	DESCRIPTION	FINISH	FRICTION COEFFICIENT
無	GRANITE PAVING, TYPE 1	ENTRANCE PLAZA VAN NESS CORRIDOR SIDEWALK & VEHICULAR ACESS AREA	FLAME	0.70 - 0.80
	GRANITE PAVING, TYPE 2	ENTRANCE PLAZA VAN NESS CORRIDOR VEHICULAR ACCESS AREA	SANDBLAST	0.70 - 0.80
20 20 20 20 20 20 20 20 20 20	GRANITE PAVING, TYPE 3	ENTRANCE PLAZA VAN NESS CORRIDOR	HYDRO	0.70 - 0.80
	PERMEABLE PAVING	SIDEWALK	LIGHT SANDBLAST	0.84
\blacksquare	3' X 3' SCORELINE GRID CIP CONC. PAVING	SIDEWALK	LIGHT SANDBLAST	0.84
	UNIT PAVING REFER TO DETAIL 16/L1.2	VEHICULAR PAVING AT CEDAR ST.	LIGHT SANDBLAST	0.84

GRANITE SEATWALL LENGTH SCHEDULE			
SYMBOL	LENGTH		
А	4'-0"		
В	6'-0"		
с	8'-0"		
D	10"-0"		





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SEALS AND SIGNATURES



STREET IMPROVEMENT SUBMITTAL PERMIT

REV DATE

100% DD 08/23/2010
PERMIT SET 07/15/2011
PERMIT SET 1 11/30/2011
PERMIT SET 2 02/17/2012

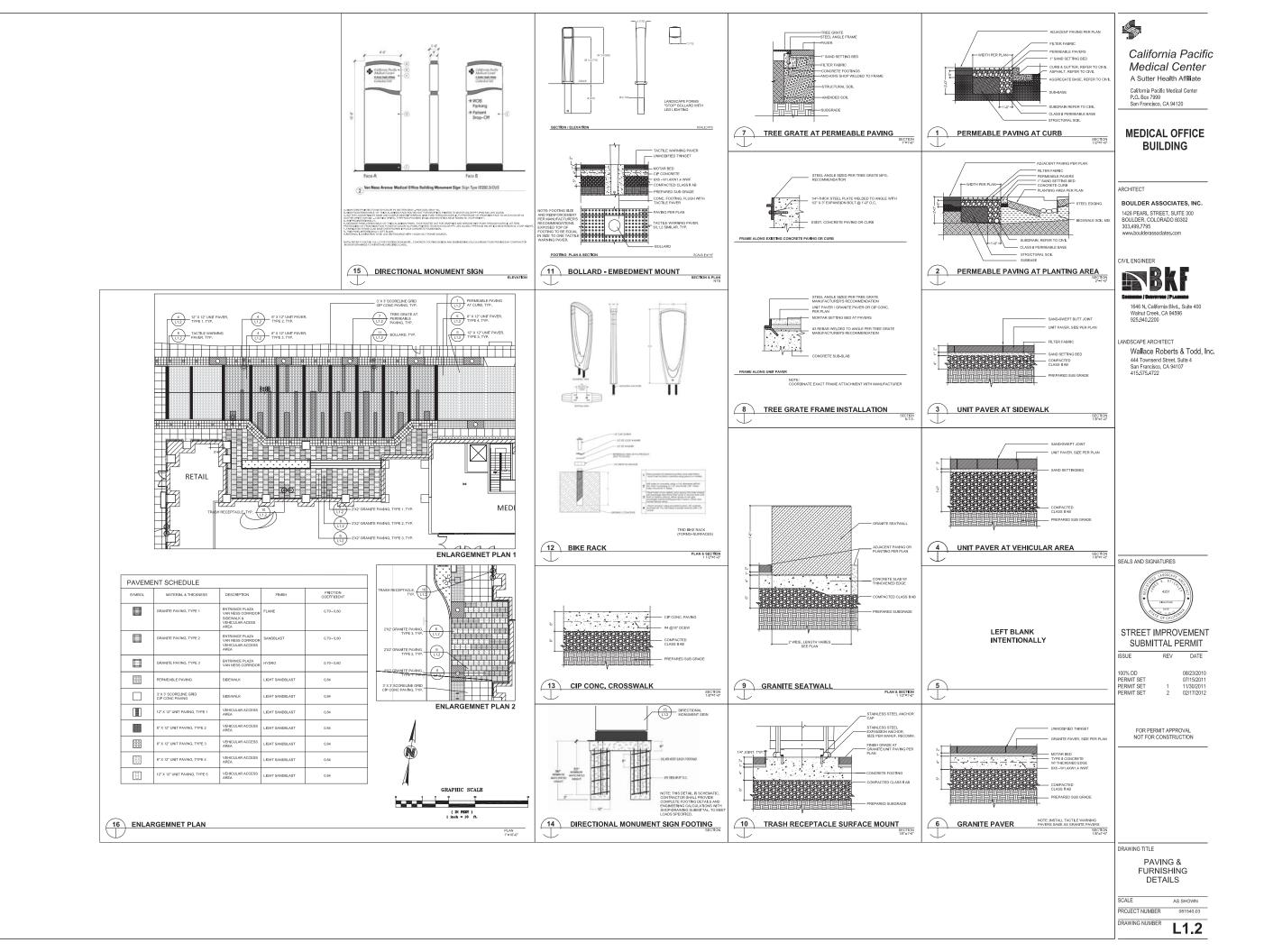
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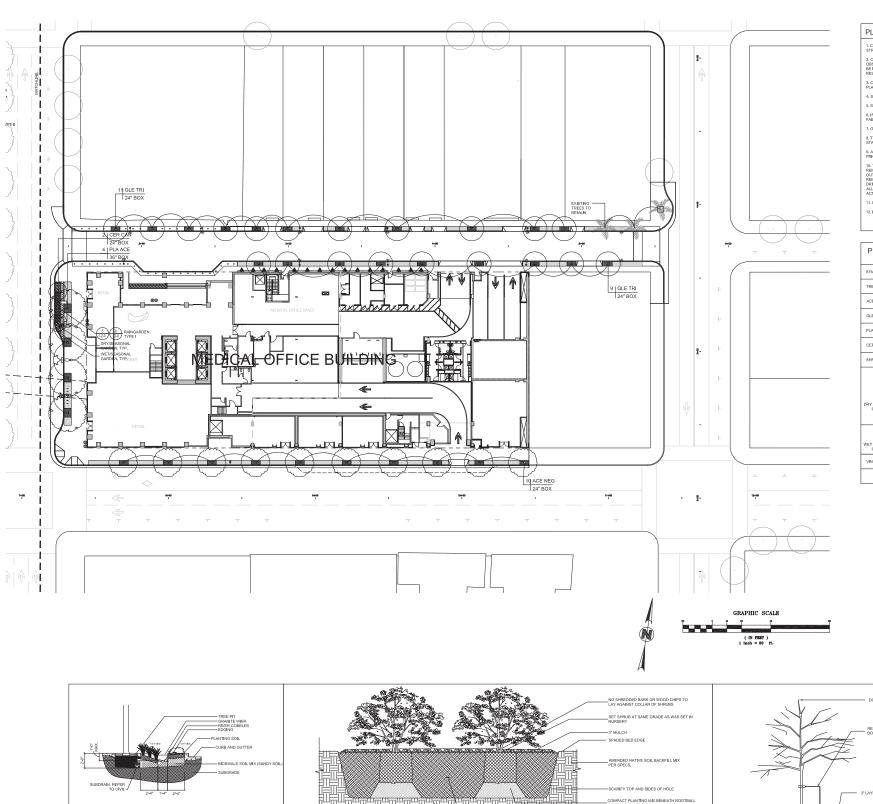
DRAWING TITLE

LAYOUT PLAN

SCALE AS SHOWN
PROJECT NUMBER 081540.03
DRAWING NUMBER

L1.1





4 SHRUB BED PLANTING

5 RAINGARDEN LONGITUDINAL SECTION

6 RAINGARDEN CROSS SECTION TYPE I

PLANTING NOTES

- 5. SEE DETAILS AND SPECIFICATIONS FOR PLANTING STAKING METHOD AND BACKFILL REQUIREMENTS
- 6, IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT CITY ENGINEER FOR RESOLUTION FAILURE TO MAKE SUCH CONFLICTS. KNOWN WILL RESULT IN CONTRACTOR'S LIABILITY FOR MATERIALS RELOCATION.
- 8. TREE LOCATIONS MAY BE ADJUSTED IN THE FIELD TO SUIT. SPECIFIC SITE REQUIREMENTS AS DIRECTED BY CITY. ENGINEER, STAKE ALL TREE PLANTING LOCATIONS FOR APPROVAL PER SPECIFICATION.

9. ALL WORK TO BE PERFORMED BY LICENSED (C27) CONTRACTORS AND EXPERIENCE

IZ. INDICATES PLANT SPECIES
INDICATES PLANT QUANTITY
INDICATES SIZE OR SQUARE FOOTAGE/ SIZE

124° BOX

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
TREE			
ACE NEG	ACER NEGUNDO	BOX ELDER	AS NOTED
GLE TRI	GLEDITSIA TRIACANTHOS	HONEY LOCUST	AS NOTED
PLA ACE	PLATANUS ACERIFOLIA 'COLOMBIA'	LONDON PLANE TREE	AS NOTED
CER CAN	CERSIS CANADENSIS	EASTERN REDBUD	AS NOTED
SHRUBS AND GR	ROUNDCOVERS	1	
DRY/SEASONAL GARDEN	ACHILEA SUMMERVINE' CEANOTHUS GRISEUS VAR. HORIZONTAJES YAMKEE POINT' IRIS COOPER' EUPHORBIA DULCIS 'CHAMELEON' WESTRINGIA FRUTICOSA 'SMOKEY' LOROPETALUM PURPLE PIXE' LAVANDULA XI NIERMEDIA CV. PHORMIUM 'CREAM DELIGHT'	YARROW CARAMEL CEANOTHUS PACIFIC COAST INS EUPHORBIA COAST ROSEMARY LOROFTALUM WHITE GROSSO LAVENDER NEW ZEALAND FLAX	1 GAL / 18* O.C. 5 GAL / 24* O.C. 1 GAL / 24* O.C. 1 GAL / 18* O.C. 5 GAL / 24* O.C. 1 GAL / 18* O.C. 5 GAL / 24* O.C. 1 GAL / 18* O.C.
	CAREX MORROWLL 'SILVER SCEPTER' LEYMUS ARENARIUS 'GLAUCUS' MISCANTHUS SCIENSIS 'ADAGIO'	SILVER SCEPTER BLUE WILD EYE ADAGIO MAIDERN GRASS	1 GAL / 18° O.C. 1 GAL / 12° O.C. 1 GAL / 24° O.C.

GROUNDCOVER PLANTING

2 GROUNDCOVER PLANTING

SLOPE TO DRAIN

SECTION

3 TREE PLANTING AT GRATE & PERMEABLE PAVING



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STREET IMPROVEMENT SUBMITTAL PERMIT

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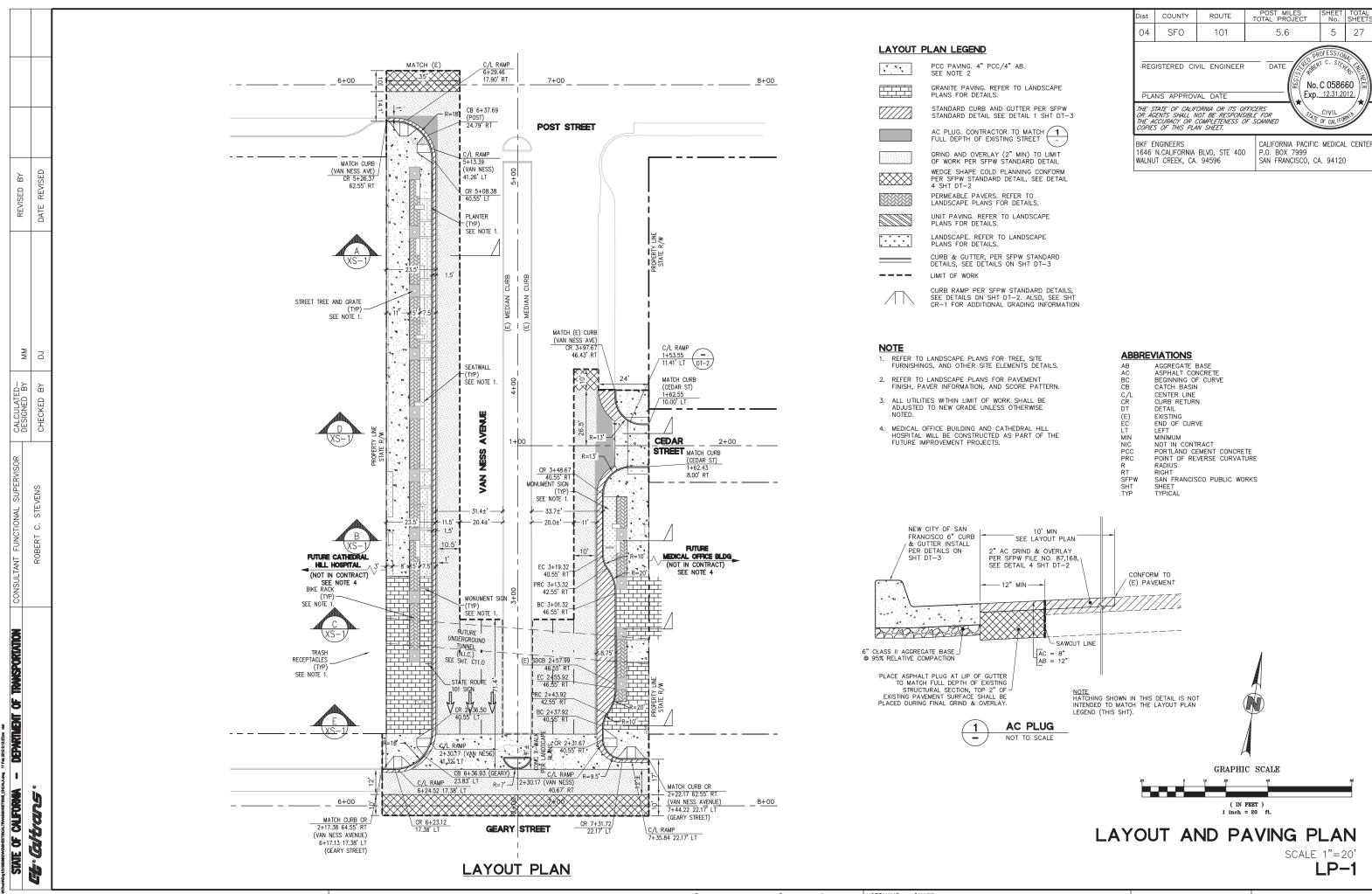
DRAWING TITLE

PLANTING PLAN & DETAILS

SCALE PROJECT NUMBER 081540.03

DRAWING NUMBER

L2.0



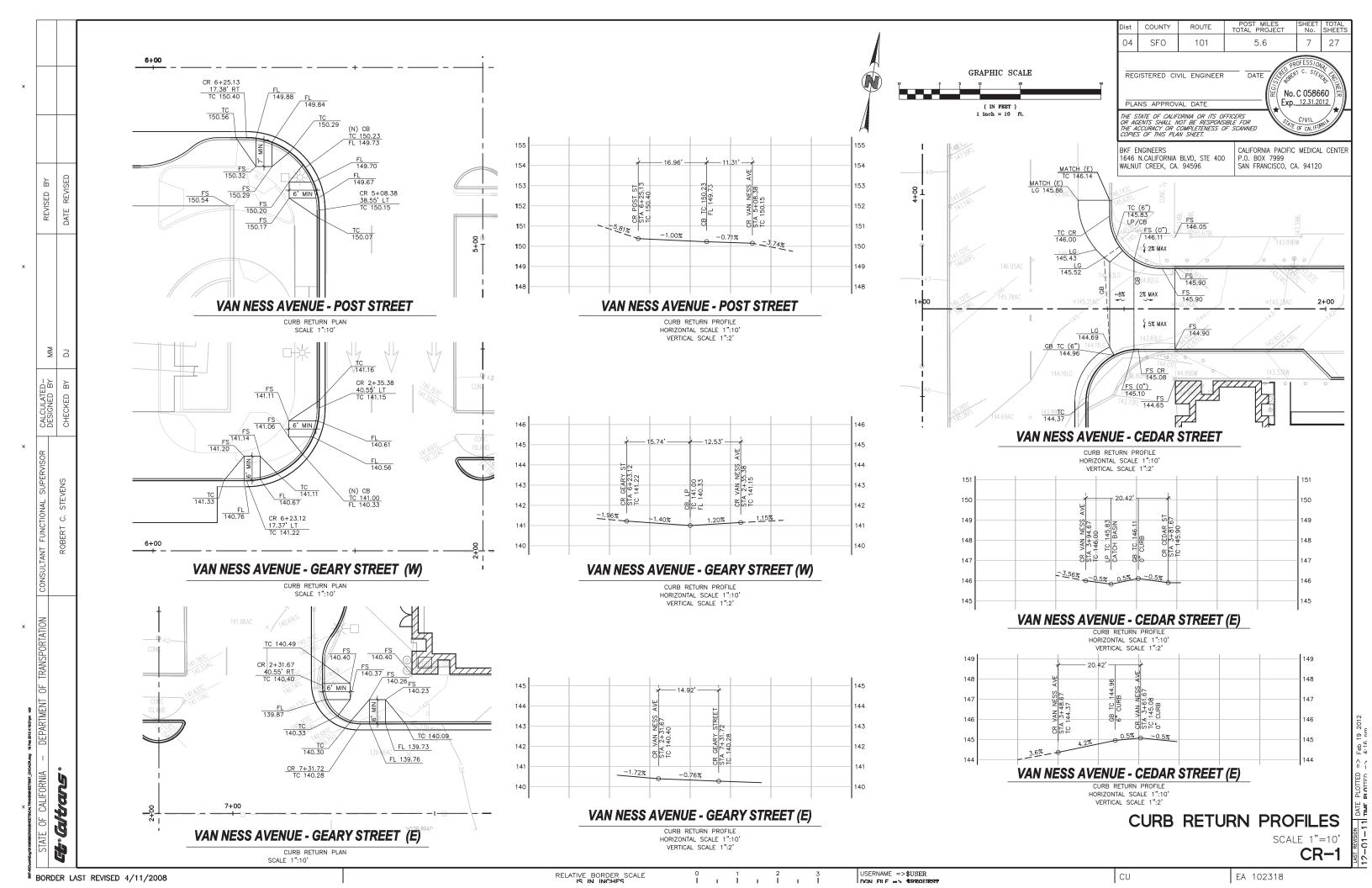
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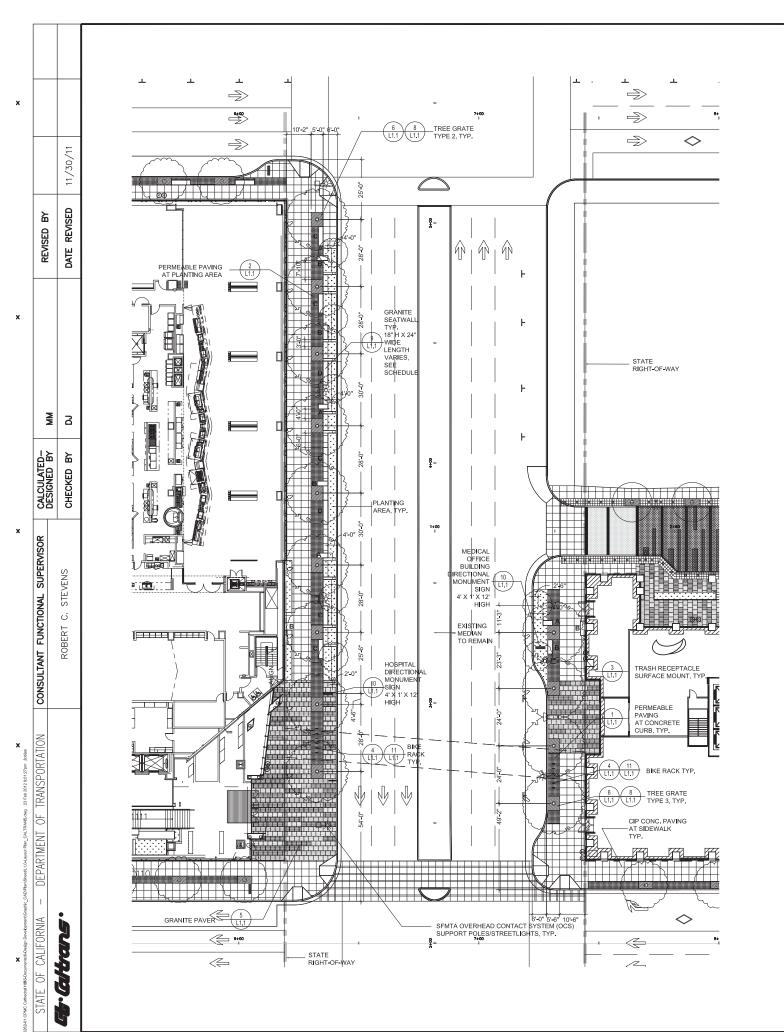
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RELATIVE BORDER SCALE

USERNAME =>\$USER

BORDER LAST REVISED 4/11/2008





LAYOUT NOTES

- 1. LOCATE EXPANSION JOINTS IN SIDEWALK AT INTERVAL CLOSEST TO 30' BUT NO MORE THAN 30 FEET APART. PLACE EXPANSION JOINTS AT THOSE INTERVALS IN LIEU OF SCORE LINES SHOWN ON PLAN.
- 2. ELIMINATE SCORE LINES THAT WOULD OCCUR TWO INCHES OR LESS FROM AN EXISTING WALL OR THE LIMIT OF WORK.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE LOCATIONS OF ALL UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL NOTIFY UTILITY SERVICES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT.
- 4. ALL "LAYOUT" WORK SHALL BE APPROVED BY THE ENGINEER PRIOR TO THE START OF ANY EXCAVATION.
- 5. CONTRACTOR SHALL REPAIR AT HIS/HER OWN EXPENSE ANY DAMAGE, WHETHER INSIDE OR OUTSIDE OF THE LIMIT OF WORK LINE, TO UTILITY SYSTEMS, SURFACE PAVEMENTS, IXTURES OR STRUCTURES THAT ARE NOT SPECIFICALLY INDICATED TO BE REMOVED OR RELOCATED AS PART OF THE PROJECT CONSTRUCTION.
- 6. ALL DIMENSIONS AND ELEVATIONS ON THE DRAWINGS ARE IN FEET UNLESS OTHERWISE STATED.
- 7. THE CONTRACTOR SHALL EXERCISE PARTICULAR CARE WHILE WORKING IN THE VICINITY OF ACTIVE UTILITY AND DRAINAGE STRUCTURES. IN THE EVENT THAT ANY EXISTING STRUCTURES OR UTILITIES ARE DAMAGED AND THE SERVICES DISRUPTED, THE LINES SHALL BE IMMEDIATELY REPAIRED AND THE SERVICES RESTORED AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER.

PAVEMENT SCHEDULE (OVERALL PLAN SHEET L1.0)			
SYMBOL	MATERIAL	FINISH	FRICTION COEFFICIENT
	GRANITE PAVING, TYPE 1	FLAME	0.70-0.80
	GRANITE PAVING, TYPE 2	SANDBLAST	0.70-0.80
	GRANITE PAVING, TYPE 3	HYDRO	0.70-0.80
	PERMEABLE PAVING	LIGHT SANDBLAST	0.84
	CIP CONC. PAVING WITH SCORELINES AT 3' X 3'	LIGHT SANDBLAST	

GRANITE SEATWALL LENGTHS SCHEDULE			
SYMBOL	LENGTH		
Α	4'-0"		
В	6-0"		
С	8'-0"		
D	10'-0"		

COUNTY

SFO

REGISTERED LANDSCAPE ARCHITECT

101

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BKF ENGINEERS 1646 N.CALIFORNIA BLVD, STE 400

WALNUT CREEK, CA. 94596

5.6

DATE

27

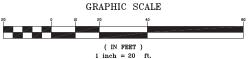
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04





RELATIVE BORDER SCALE

LAYOUT PLAN L1.0

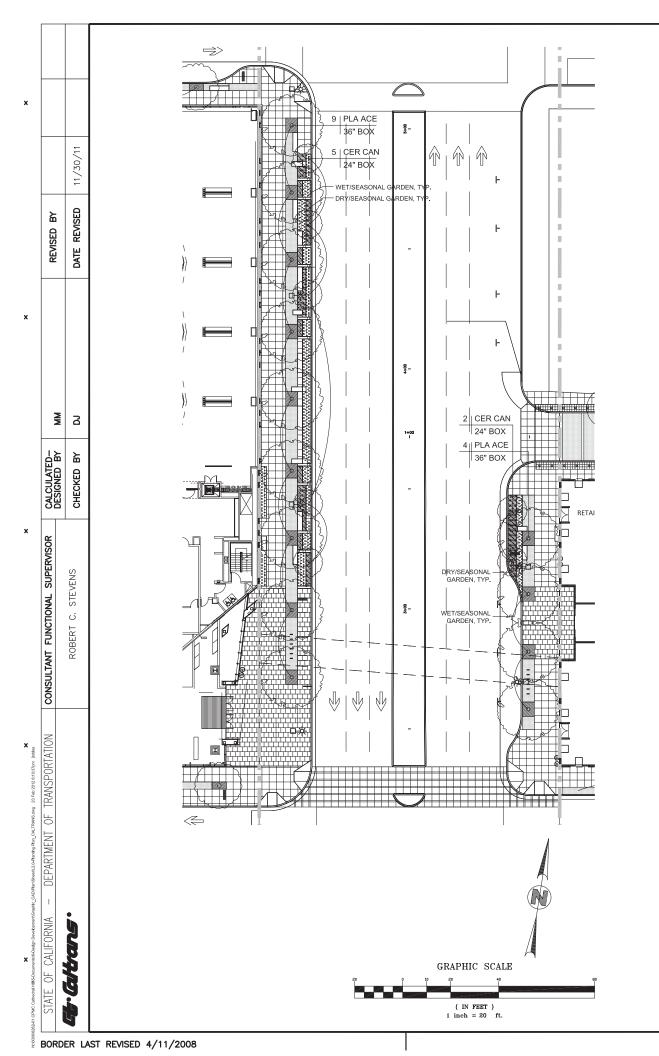
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CU EA

EA 102318

LAST REVISION DATE 17—0.1—1.1 TIME

Feb 23 2012 R-01 nm



PLANTING NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMHER SELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.

2. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURINN DESIGN. SUCH CONDITIONS SHALL BEIMMEDIATELY BROUGHT TO THE ATTENTION OF THE AUTHORIZED CITY ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.

4. SEE SPECIFICATIONS FOR PLANTING REQUIREMENTS. MATERIALS, EXECUTION, AND MAINTENANCE.

5. SEE DETAILS AND SPECIFICATIONS FOR PLANTING STAKING METHOD AND BACKFILL REQUIREMENTS.

6. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT ENGINEER FOR RESOLUTION, FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN CONTRACTOR'S LIABILITY FOR MATERIALS RELOCATION.

7. GROUNDCOVERS SHALL BE SPACED PER DETAILS.

8. ALL WORK TO BE PERFORMED BY LICENSED (C27) CONTRACTORS AND EXPERIENCED WORKERS. BY CONSTRUCTION MANAGER PRIOR TO PLANTING.

9. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPING THAT IS DESIGNATED TO REMAIN. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING, BARRICADES OR OTHER SUITABLE GUARDS OUTSIDE DRIP LINE (OUTER PERIMETER OF BRANCHES) TO PROTECT FROM DAMAGE TREES AND OTHER PLANTS THAT ARE TO REMAIN. DO NOT STORE CONSTRUCTION MATERIALS WITHIN DRIP LINES OF TREES TO REMAIN, DO NOT PERMIT VEHICLES WITHIN DRIP LINE. RESTRICT FOOT TRAFFIC WITHIN DRIP LINE TO AVOID EXCESSIVE SOIL COMPACTION.
ALL BARRICADES AND PROTECTIVE FENCING SHALL BE PUT IN PLACE PRIOR TO COMMENCEMENT OF ANY OTHER CONSTRUCTION ACTIVITY.

10. INDICATES PLANT SPECIES
INDICATES PLANT QUANTITY—
INDICATES SIZE OR SQUARE FOOTAGE/ SIZE——

PLANTS LEGEND				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / REMARKS	
TREE				
PLA ACE	PLATANUS ACERIFOLIA 'COLOMBIA'	LONDON PLANE TREE	AS NOTED	
CER CAN	CERSIS CANADENSIS	EASTERN REDBUD	AS NOTED	
SHRUBS AND GR	OUNDCOVERS			
DRY/SEASONAL GARDEN	ACHILEA 'SUMMERVINE' CEANOTHUS GRISEUS VAR. HORIZONTALIS 'YANKEE POINT' IRIS 'COPPER' EUPHORBIA DULCIS 'CHAMELEON' WESTRINGIA FRUTICOSA 'SMOKEY' LOROPETALUM 'PURPLE PIXIE' LAVANDULA X INERMEDIA CV. PHORMIUM 'CREAM DELIGHT'	YARROW CARAMEL CEANOTHUS PACIFIC COAST IRIS EUPHORBIA COASE ROSEMARY LOROPETALUM WHITE GROSSO LAVENDER NEW ZEALAND FLAX	SHRUBS: 5 GAL. GROUNDCOVERS & GRASSES: 1GAL	
WET / SEASONAL GARDEN	CARES MORROWLL 'SILVER SCEPTER' LEYMUS ARENARIUS 'GLAUCUS' MISCANTHUS SCIENSIS 'ADAGIO'	SILVER SCEPTER BLUE WILD EYE ADAGIO MAIDERN GRASS		

COUNTY 04 SFO 101 27 5.6 DATE REGISTERED LANDSCAPE ARCHITECT 4251 THE STATE OF CALIFORMA OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SCANNED COPIES OF THIS PUN SHEET.

BKF ENGINEERS 1646 N.CALIFORNIA BLVD, STE 400 WALNUT CREEK, CA. 94596

CALIFORNIA PACIFIC MEDICAL CENTER P.O. BOX 7999 SAN FRANCISCO, CA. 94120

PLANTING PLAN

EA 102318

L2.0

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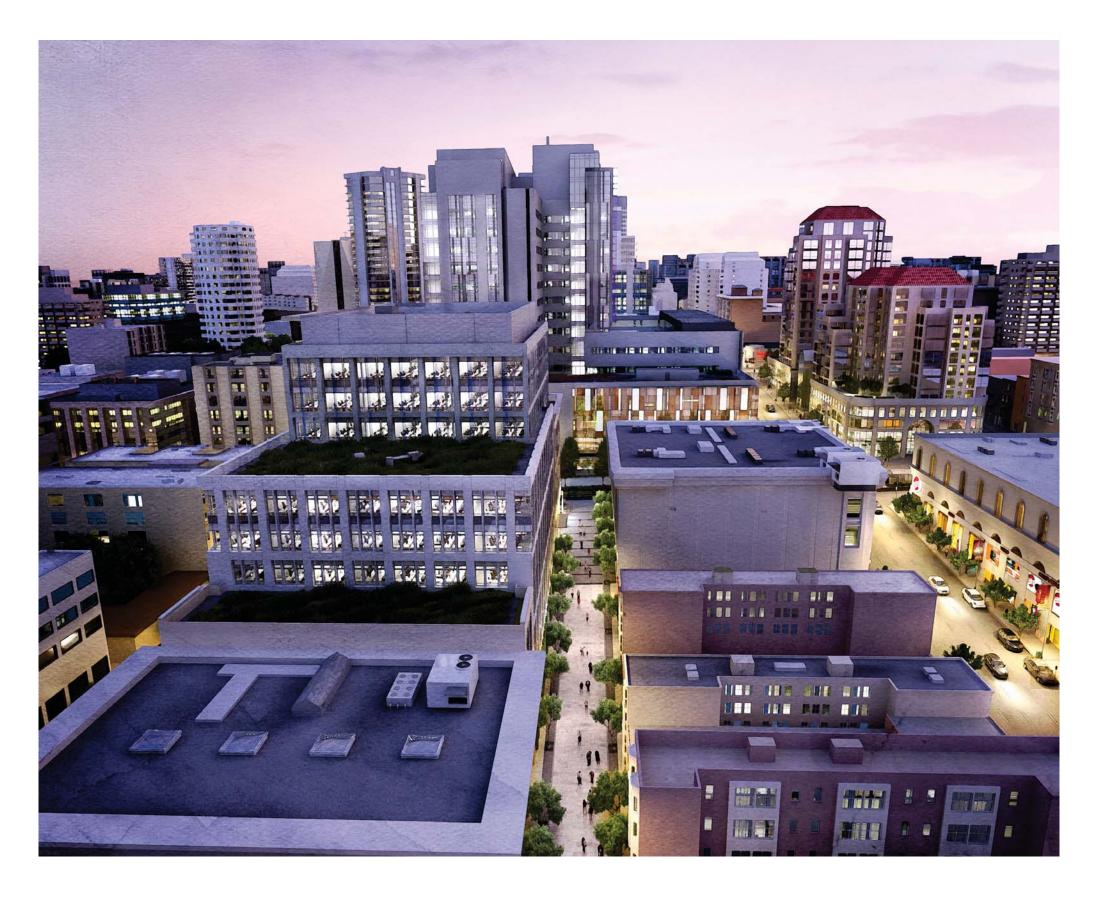


















































CONDITIONAL USE PERMIT APPLICATION **REVISION 3**

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BUILDING ELEVATIONS EAST AND NORTH BUILDING ELEVATIONS WEST AND SOUTH

BUILDING SECTIONS BUILDING SECTIONS

ENLARGED WALL SECTIONS AND ELEVATIONS

ENLARGED WALL SECTIONS AND ELEVATIONS ENLARGED WALL SECTIONS AND ELEVATIONS

EXTERIOR DETAILS

PROJECT DESCRIPTION

The proposed Davies Neurosciences Institute is a 50,100 gross square feet, 4-story building, containing medical office, clinic and support spaces. The building will occupy the north portion of the existing surface parking lot at Noe Street and Duboce Avenue. The 4th floor will span across the Service Drive to the west, and connect to the existing North Tower of the Hospital. Exterior materials are primarily wood cladding and glass. The project includes a landscaped main entry plaza at the south side of the building, and a landscaped open courtyard at the north side adjacent to a secondary entry and waiting lobby for the MUNI stop located across Duboce Avenue. Additionally, new street trees and landscaping are proposed along Noe Street and Duboce



California Pacific Medical Center

A Sutter Health Affiliate

California Pacific Medical Center P.O. Box 7999 San Francisco, CA 94120

SmithGroup/SOM A Joint Venture, and SMWM San Francisco, CA 94104 T 415-227-0100 F 415-908-0862

Civil Engineer BKF Engineers/Surveyors/Planners 2737 North Main Street, Suite 200 Walnut Creek, CA 94597 F 925-940-2299

Landscape Architect MPA Design 414 Mason Street, #700 San Francisco, CA 94102 T 415-434-4664 F 415-434-4665

Structural Engineer Rutherford & Chekene Consulting Engineers 427 Thirteenth Street Oakland, CA 94612 T 510-740-3200 F 510-740-3340

Mechanical & Plumbing Engineer Mazzetti & Associates 530 Bush Street, Suite 300 San Francisco, CA 94108-3623 T 415-362-3266 F 415-362-3267

32 Page Street T 415-863-5740 F 415-863-5758

Specification Douglas Day Associates 324 Pompano Circle Foster City, CA 94404 T 650-573-7698 F 650-573-5631

Seals and Signatures



Issued for Rev Date

6 FEB 22, 2012 CONDITIONAL USE - REV3 CONDITIONAL USE - REV2 5 MAY 27, 2011 CONDITIONAL USE - REV1 4 MAY 23, 2007 CONDITIONAL USE 3 NOV 08, 2006

2 OCT. 05, 2006

1 MAR. 10, 2006

REVISION ONE SITE PERMIT Key Plan

> Davies Campus Noe Street Medical Office Building

Drawing Title

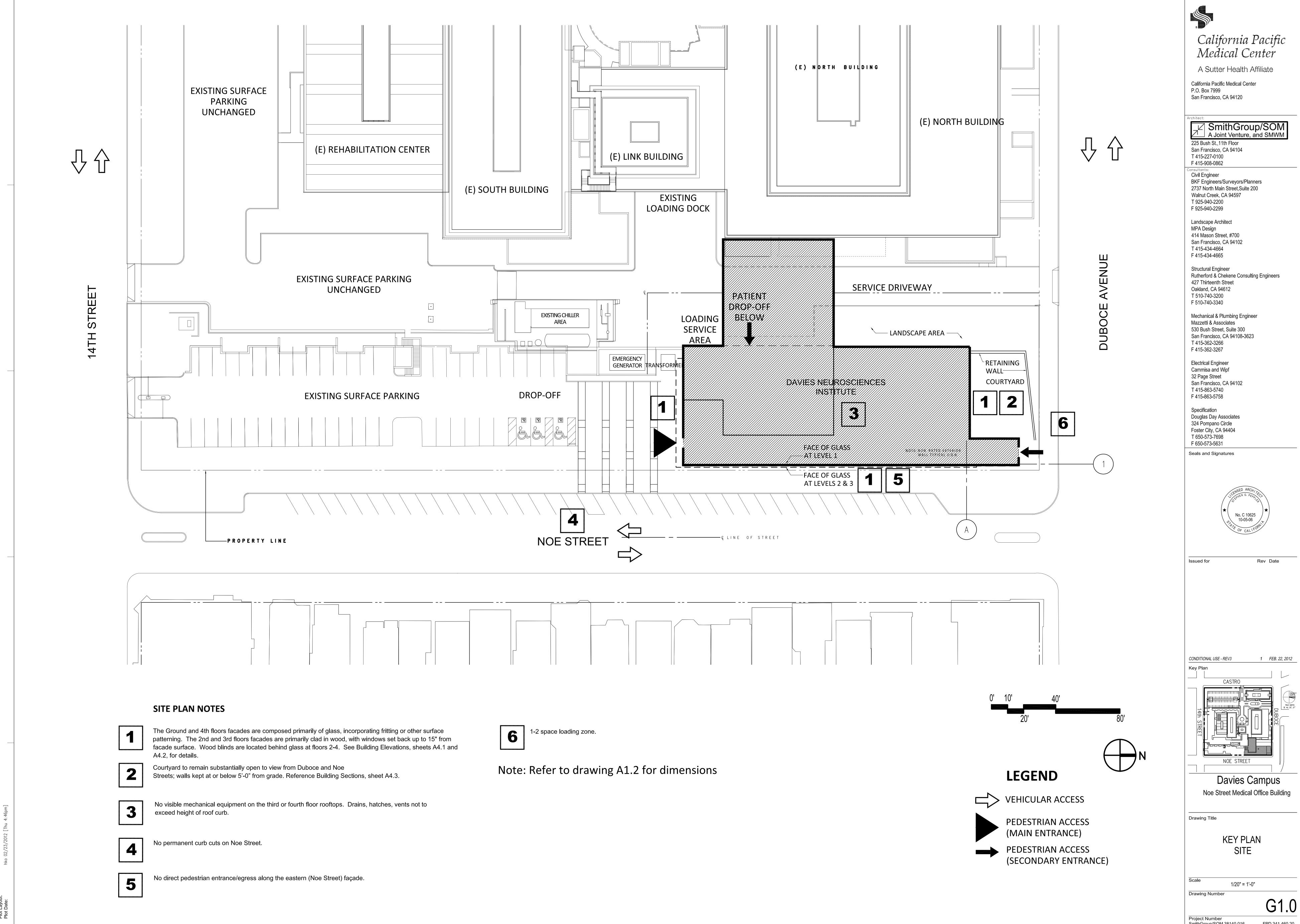
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G0.0 Project Number

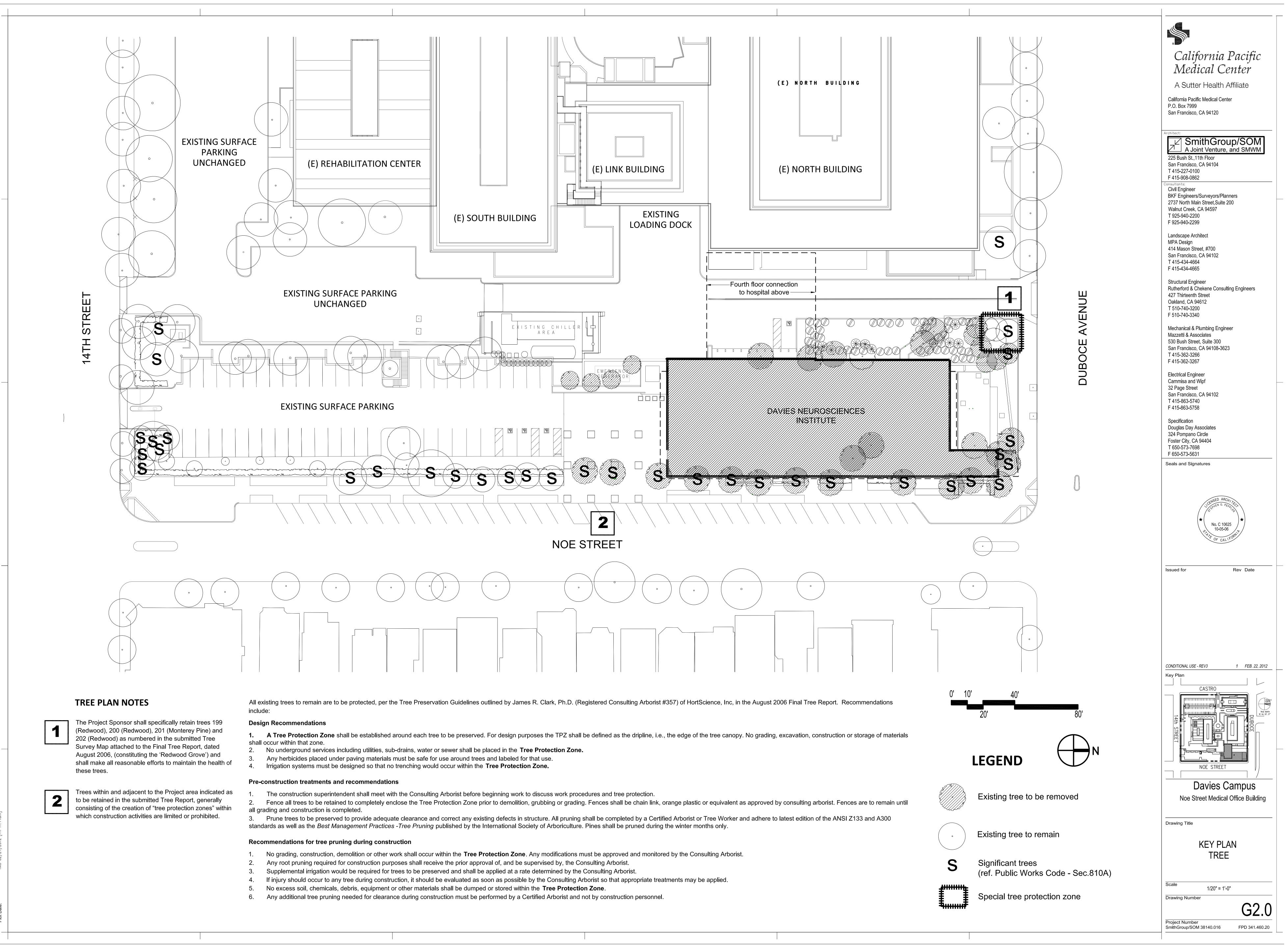
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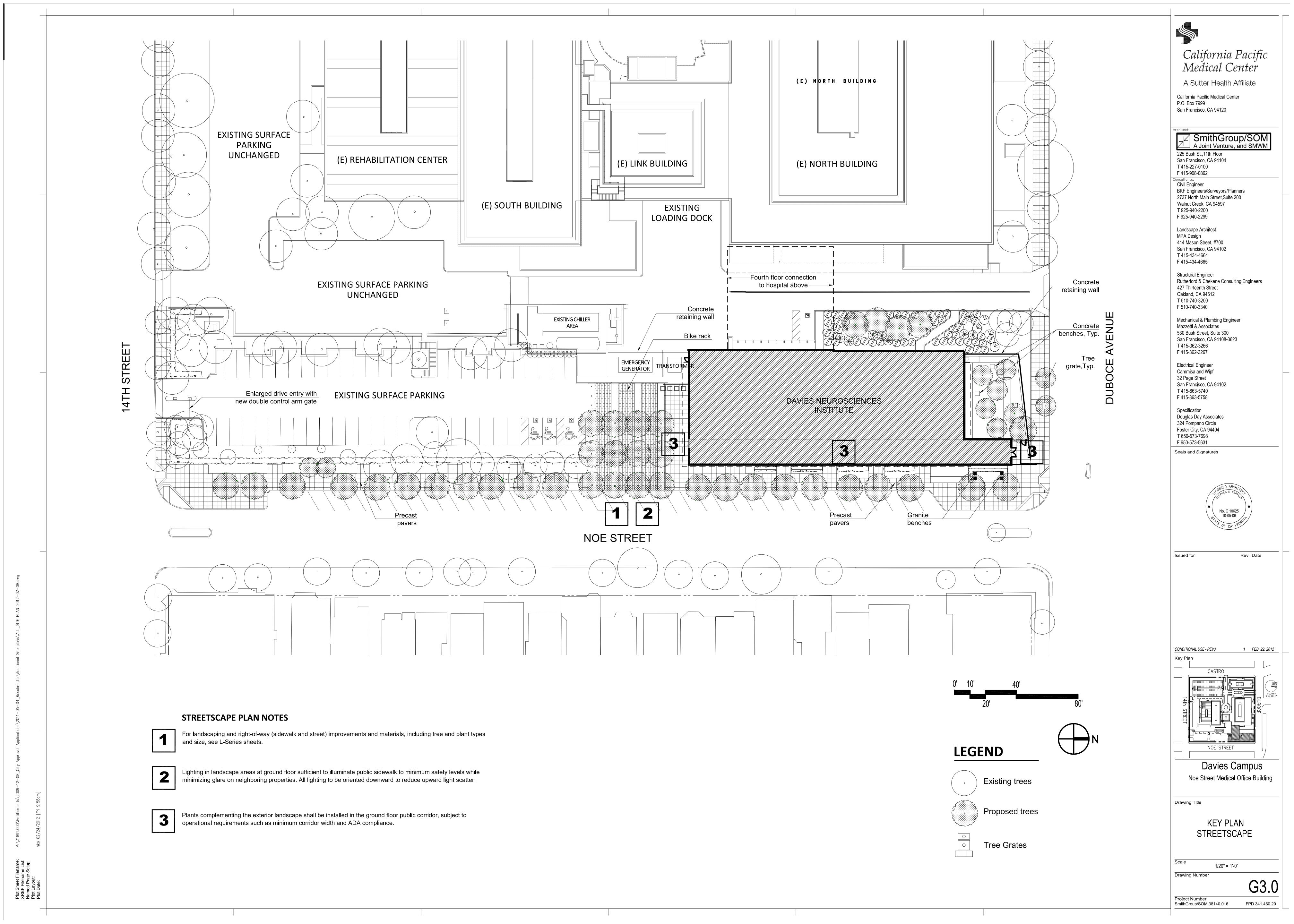


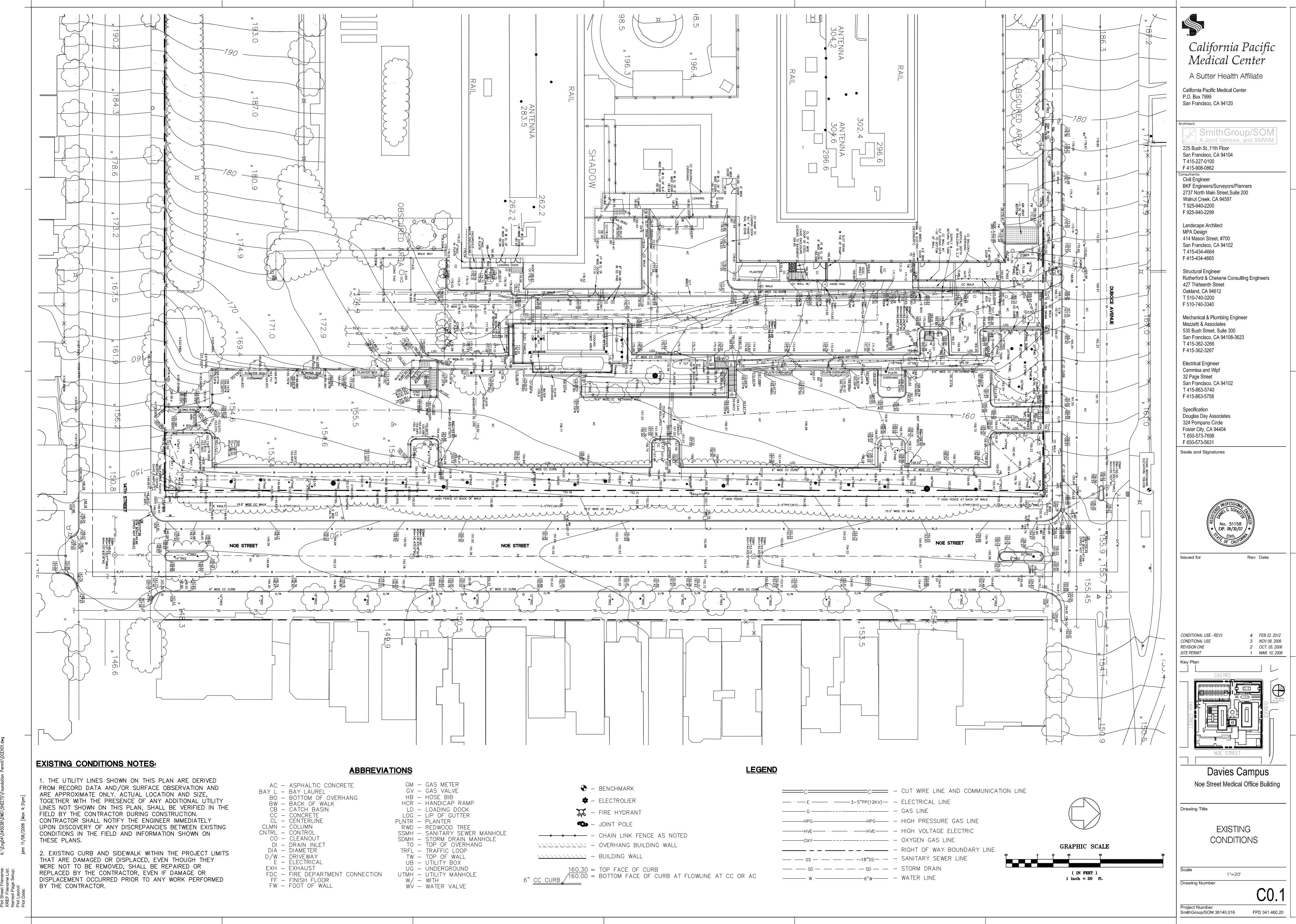
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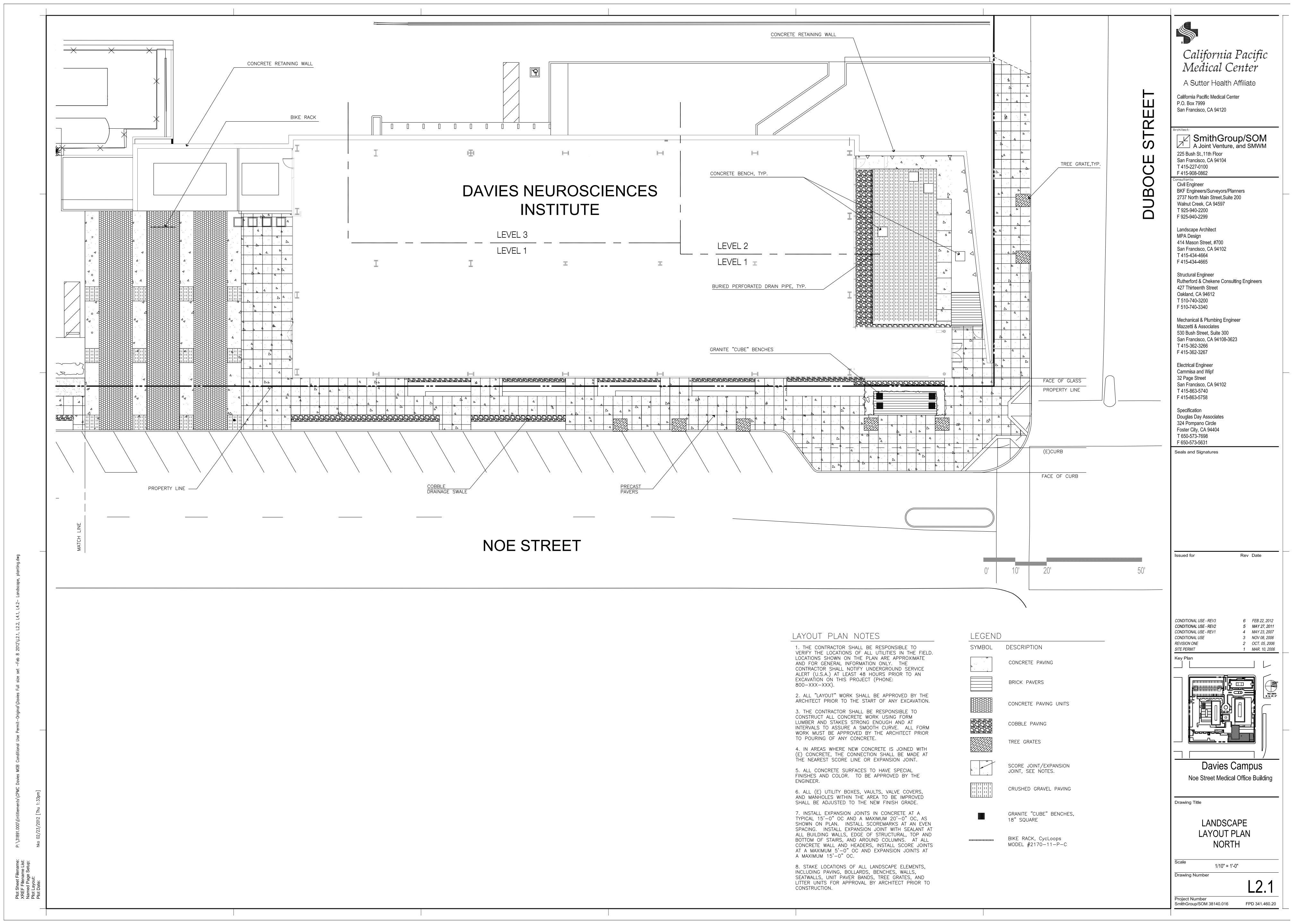


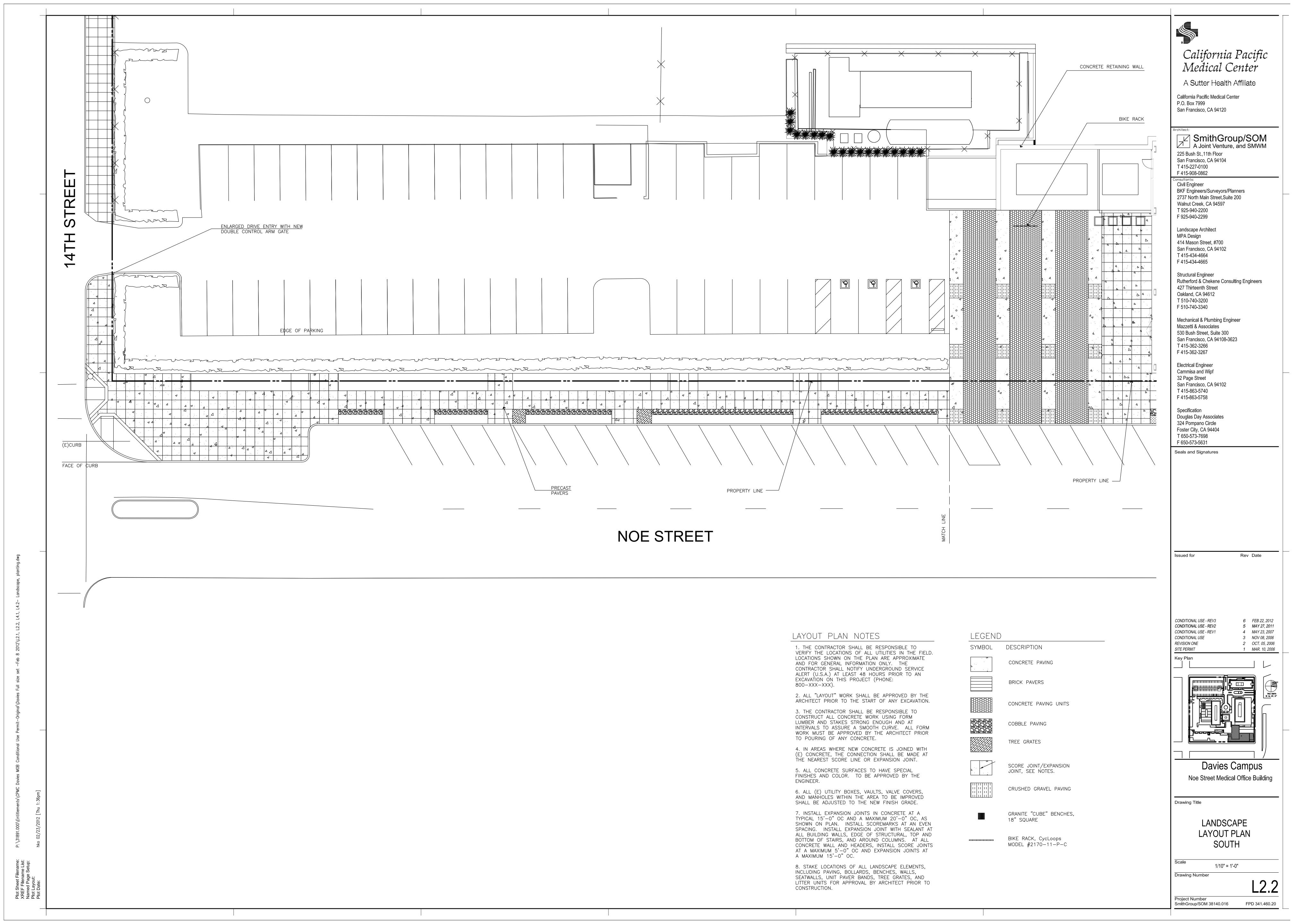
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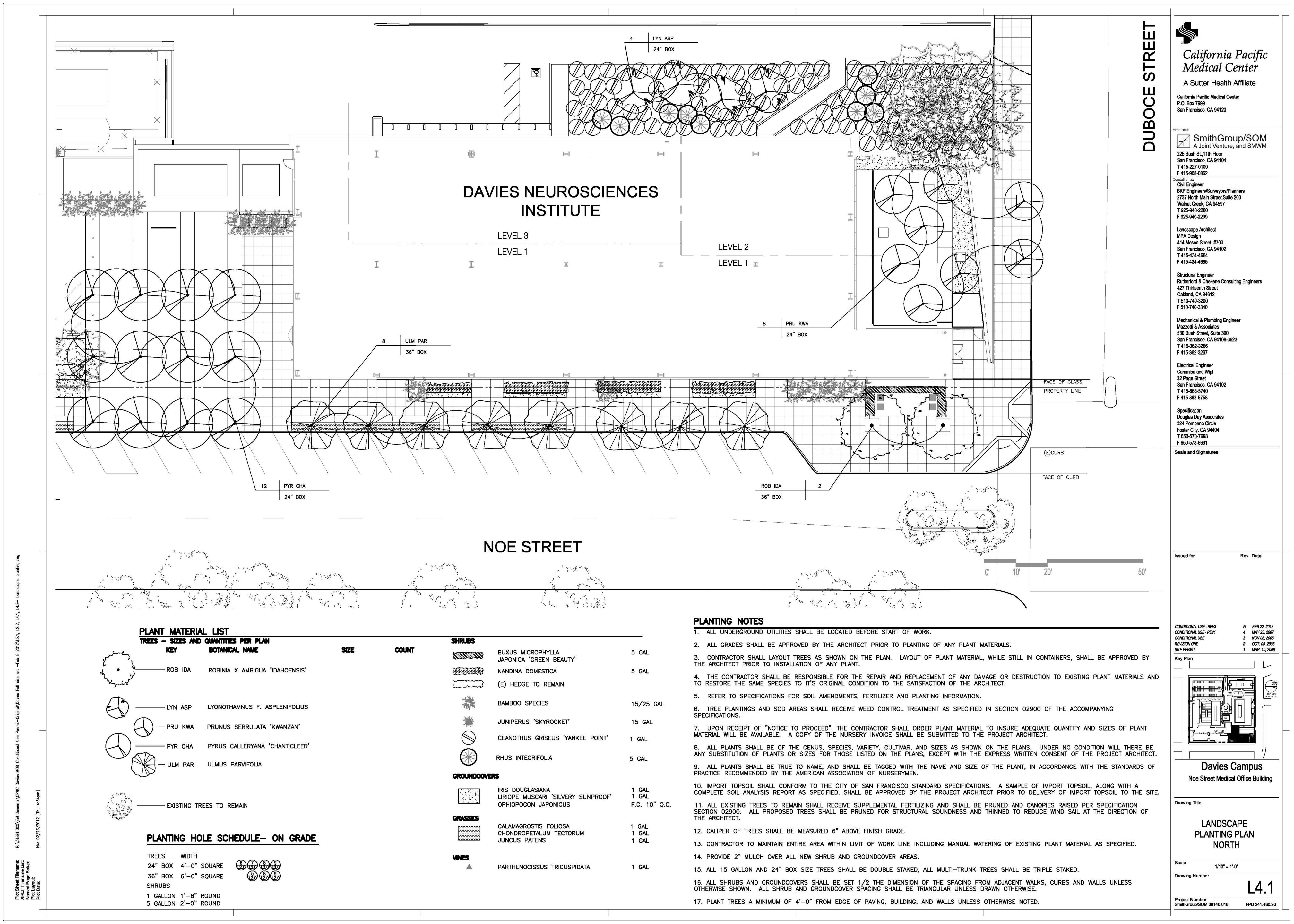
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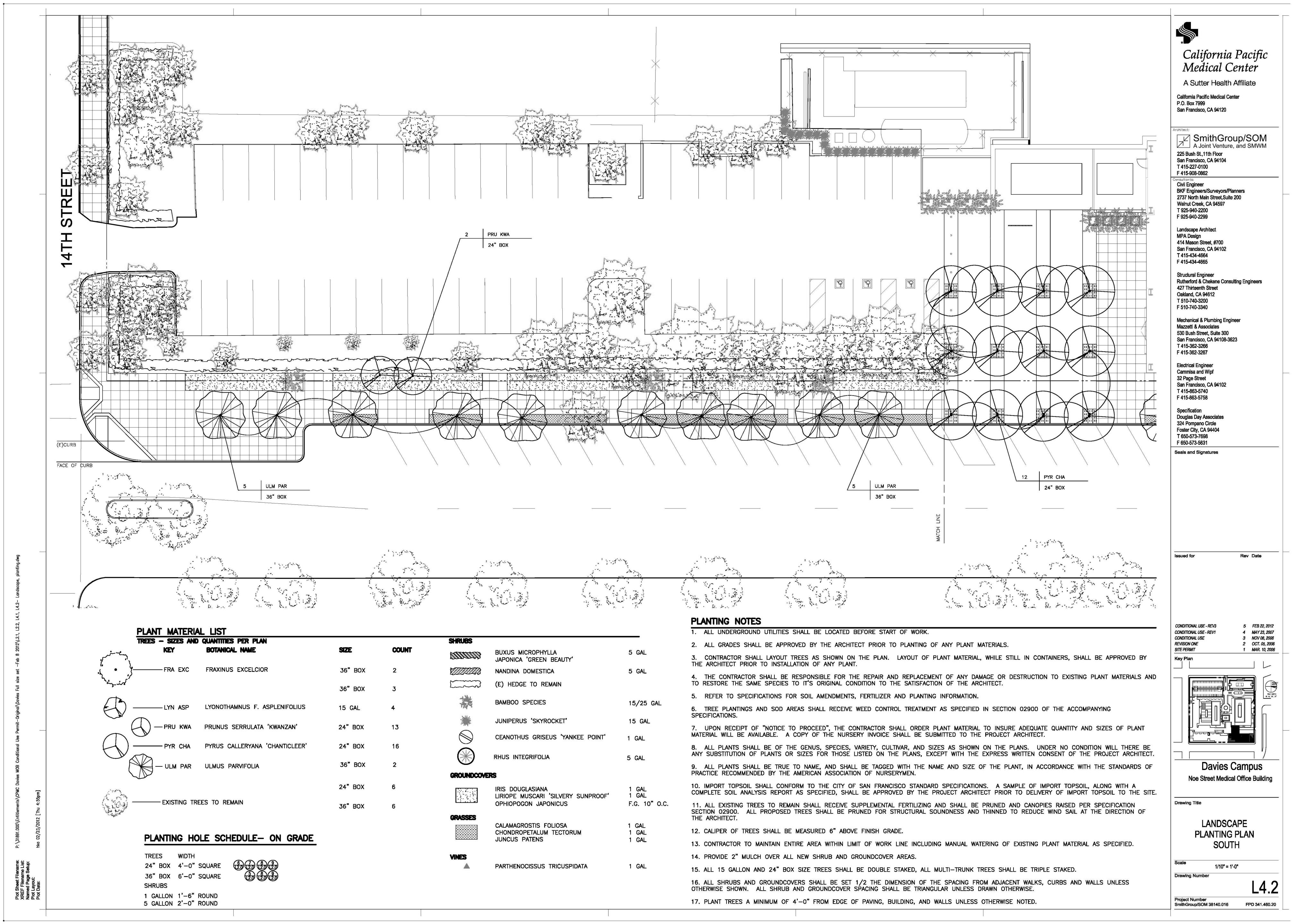


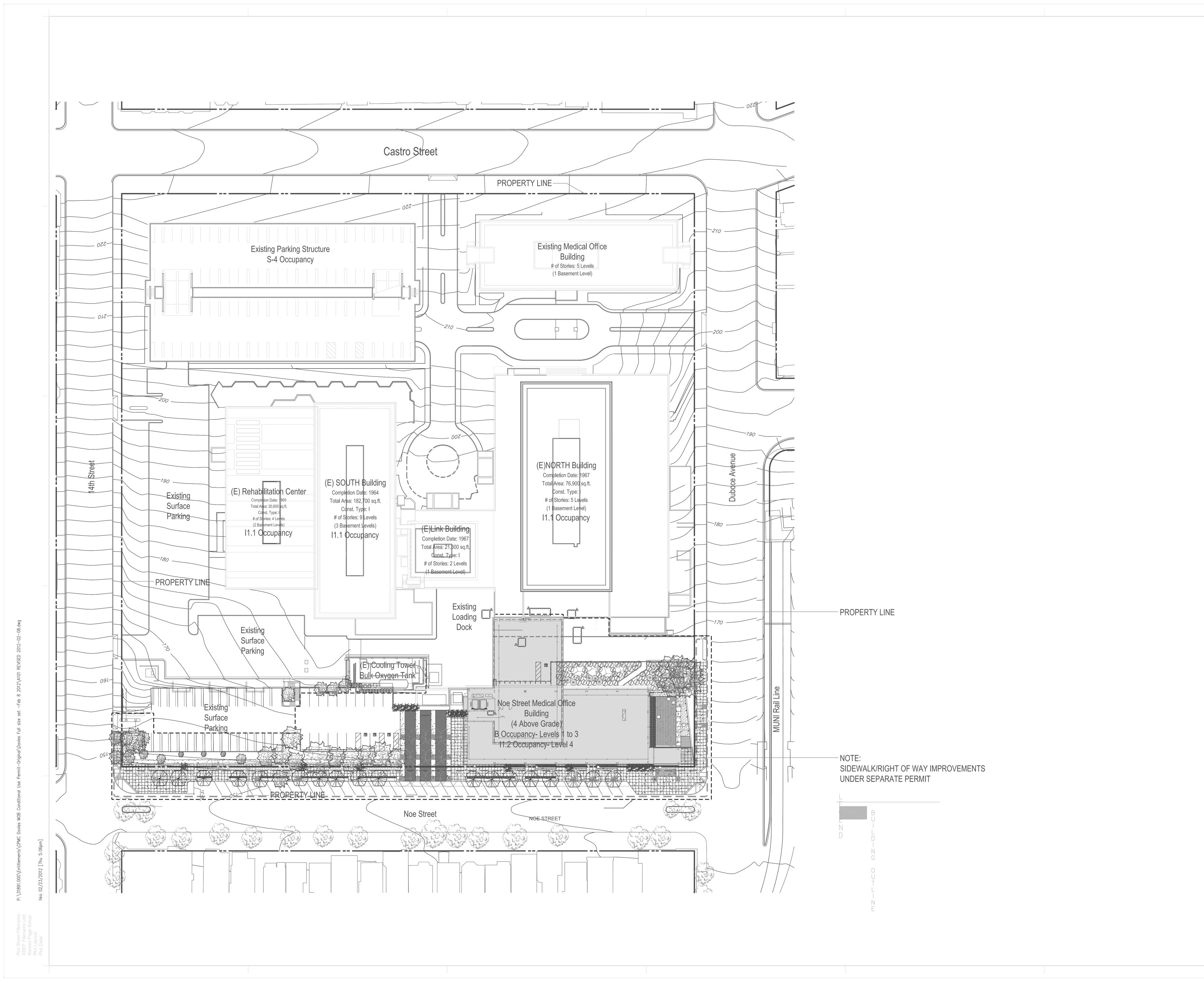














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SmithGroup/SOM
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225 Bush St.,11th Floor San Francisco, CA 94104 T 415-227-0100 F 415-908-0862

Civil Engineer
BKF Engineers/Surveyors/Planners
2737 North Main Street,Suite 200
Walnut Creek, CA 94597
T 925-940-2200
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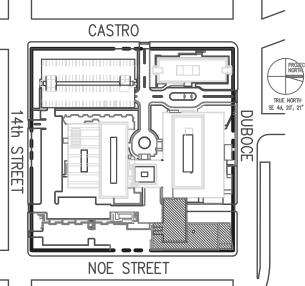
Seals and Signatures

Issued for

CONDITIONAL USE - REV3 CONDITIONAL USE - REV1 CONDITIONAL USE REVISION ONE

SITE PERMIT

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Davies Campus

Noe Street Medical Office Building

Drawing Title

CAMPUS SITE PLAN

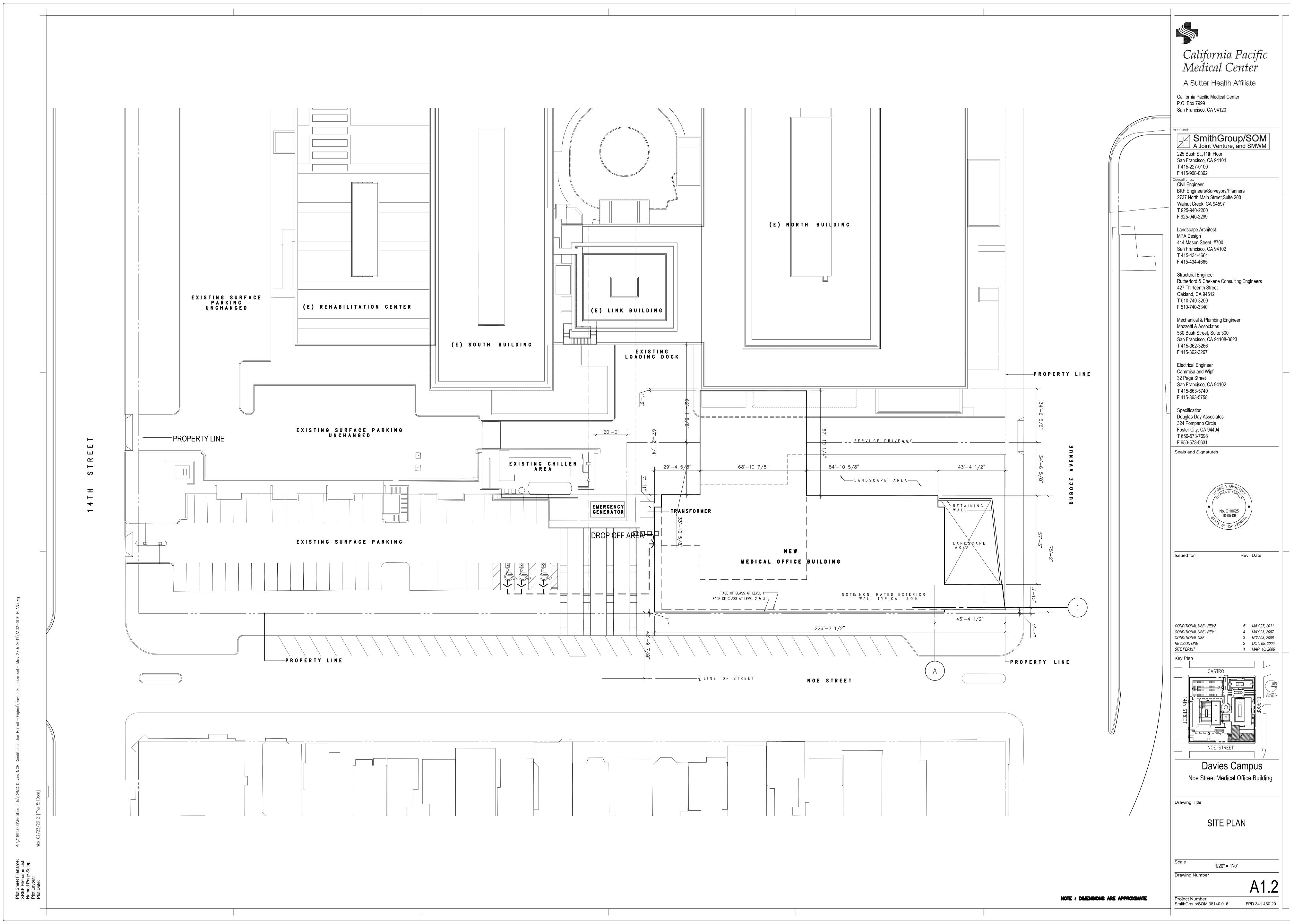
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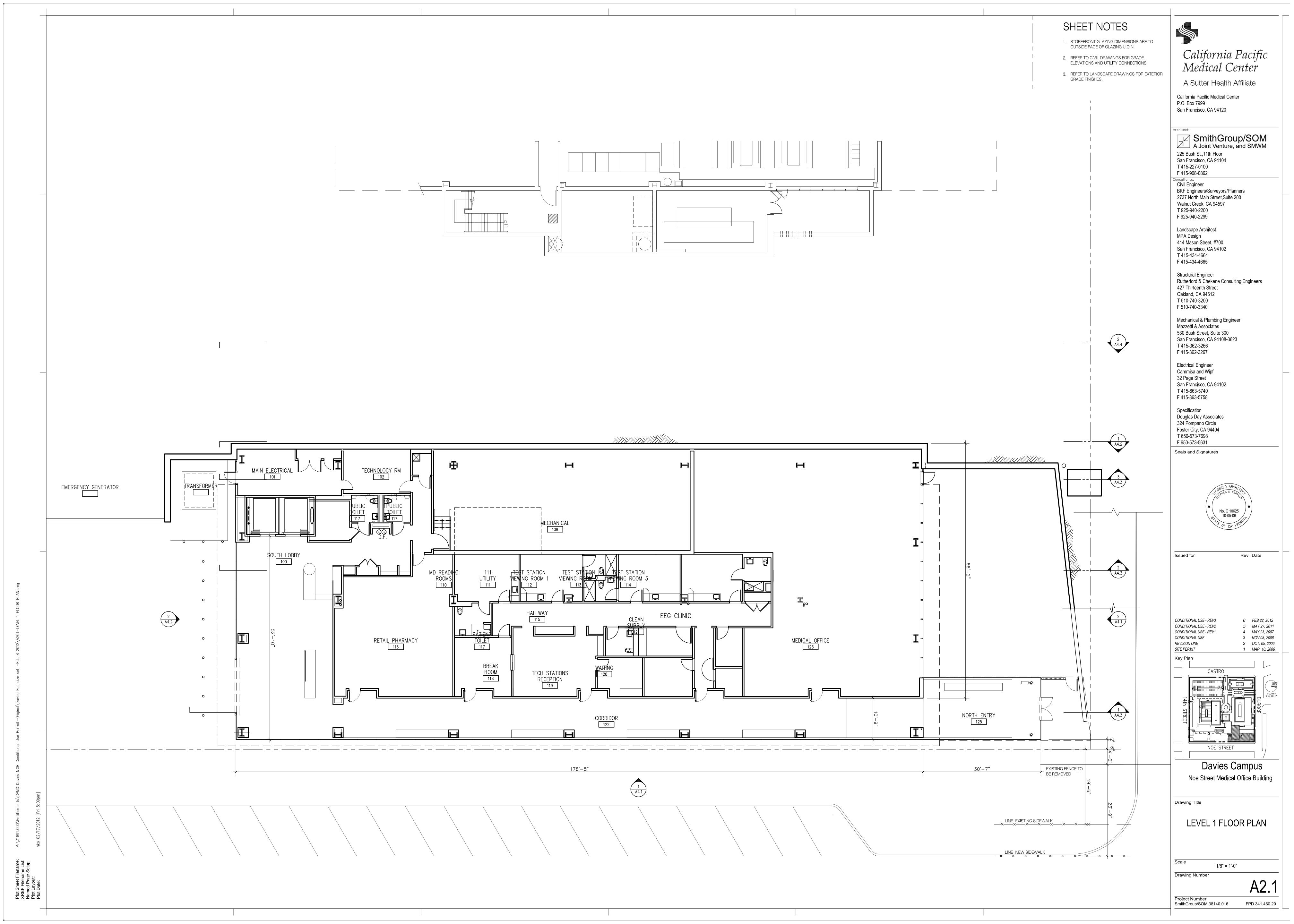
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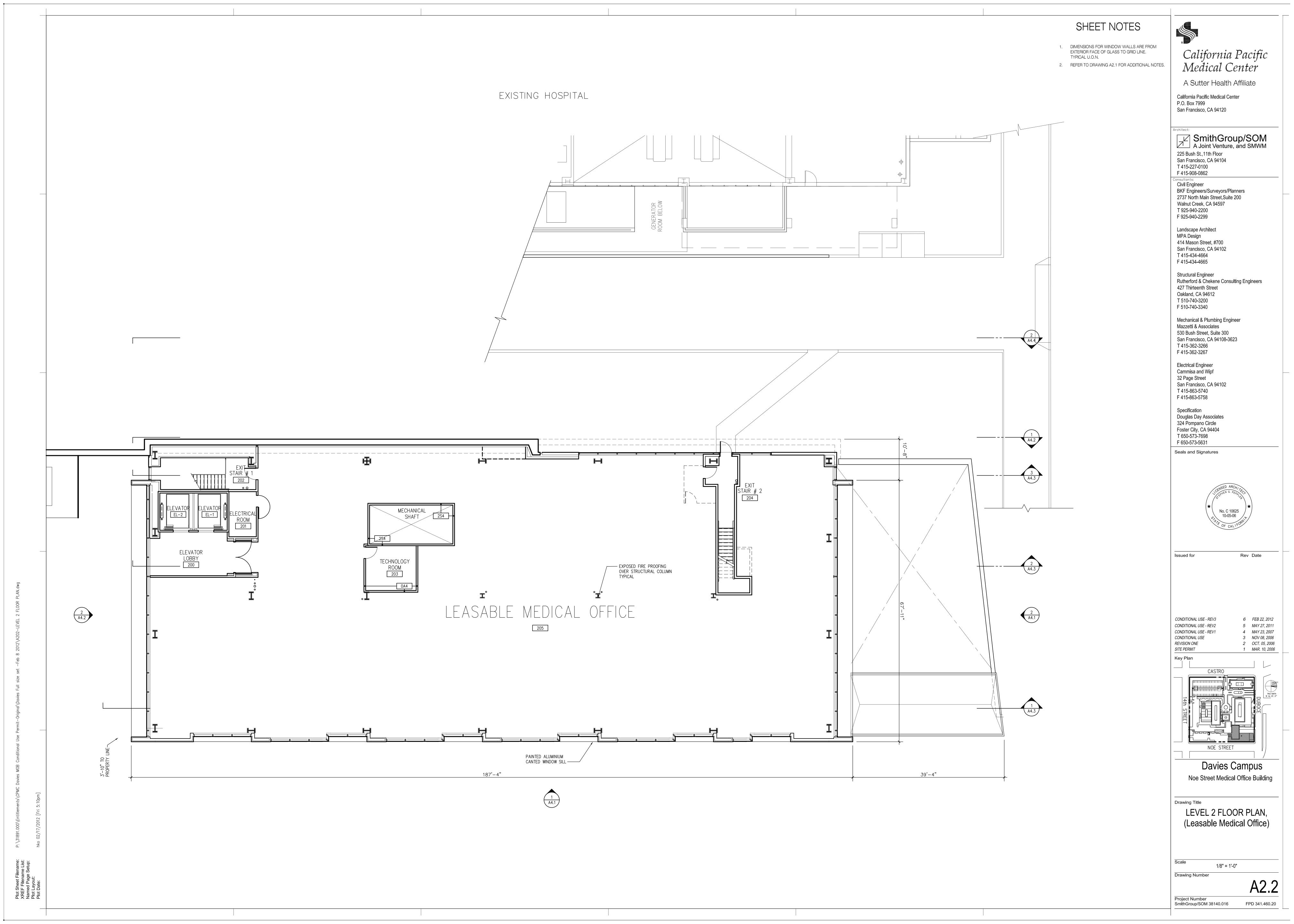
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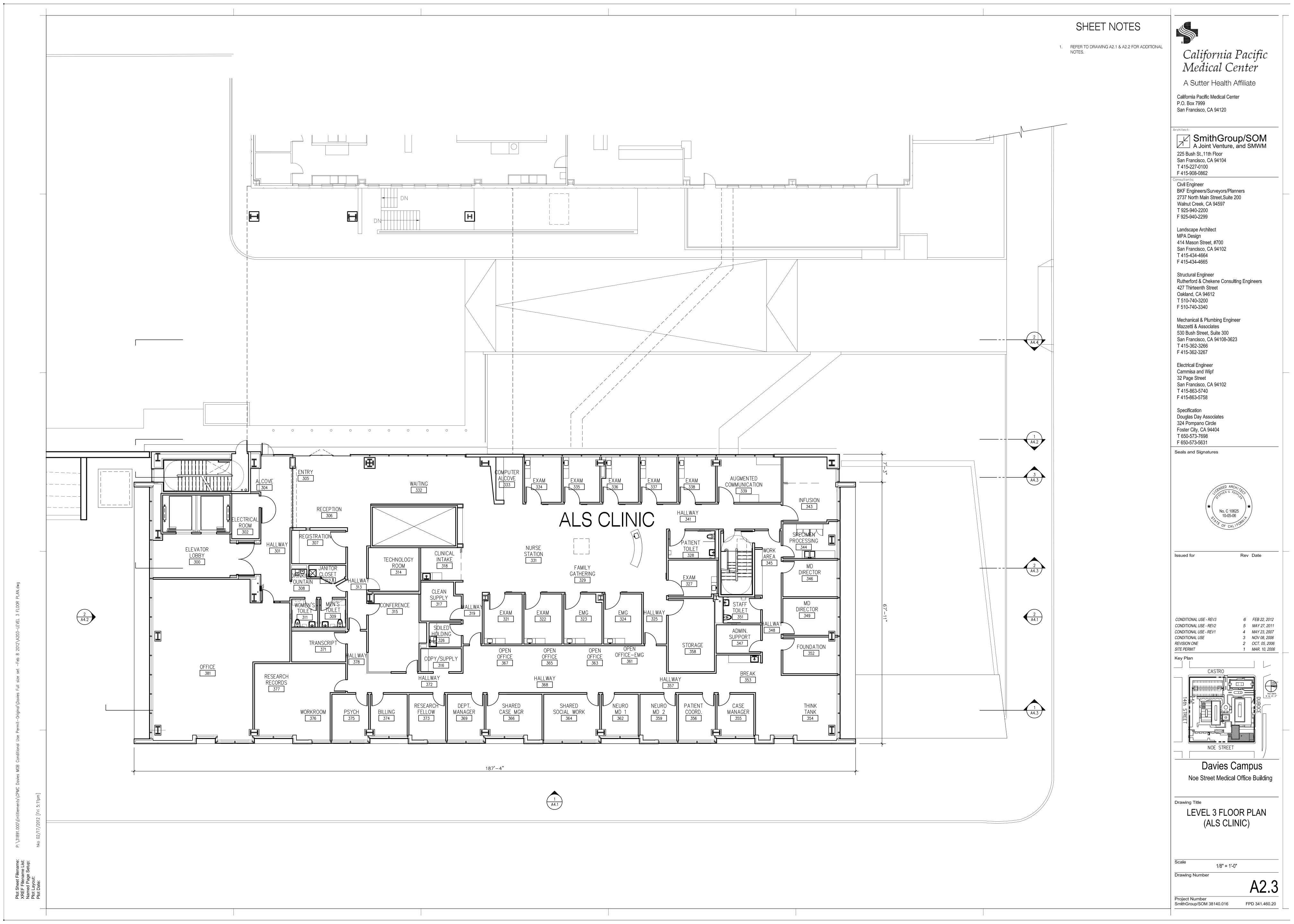
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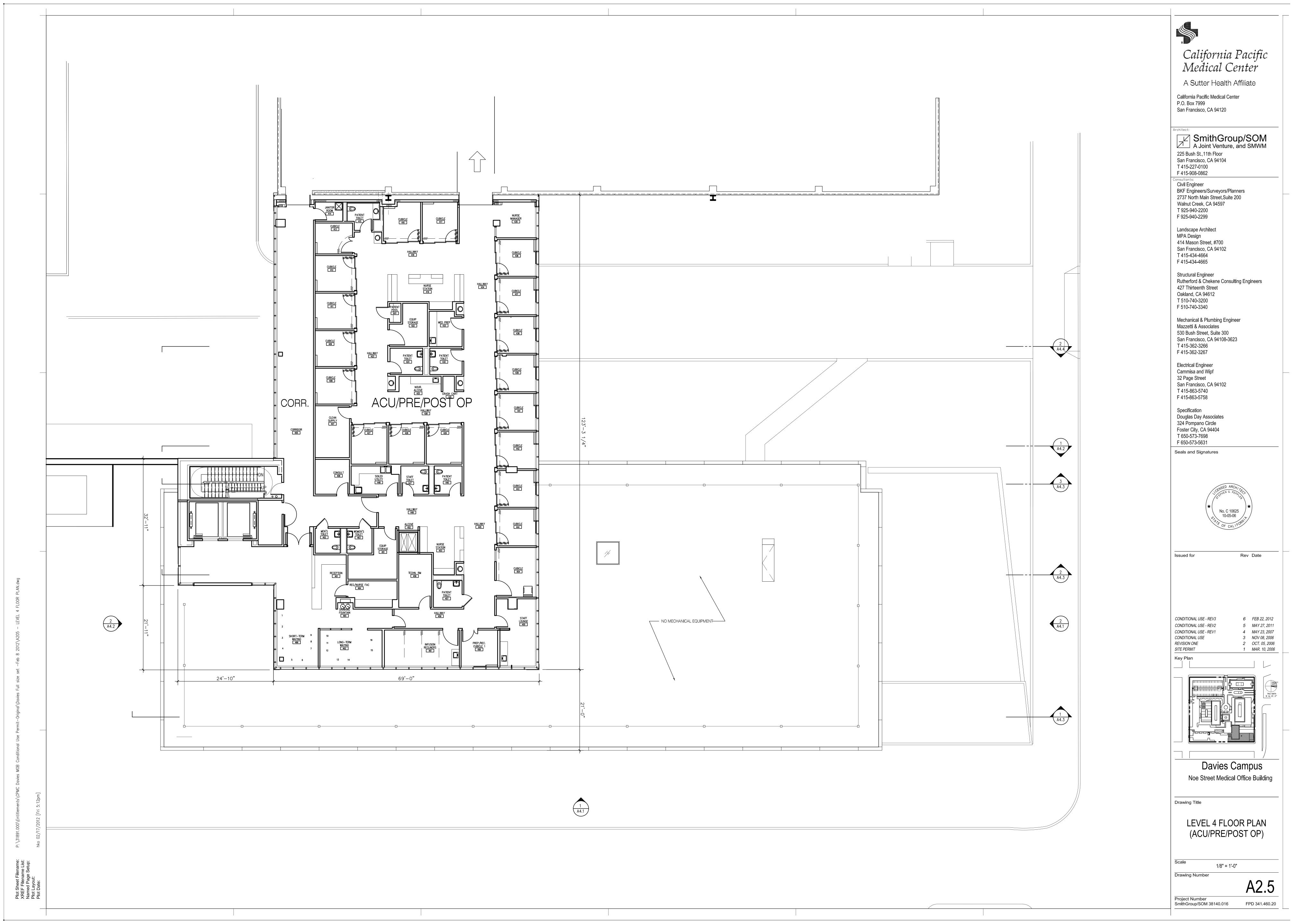
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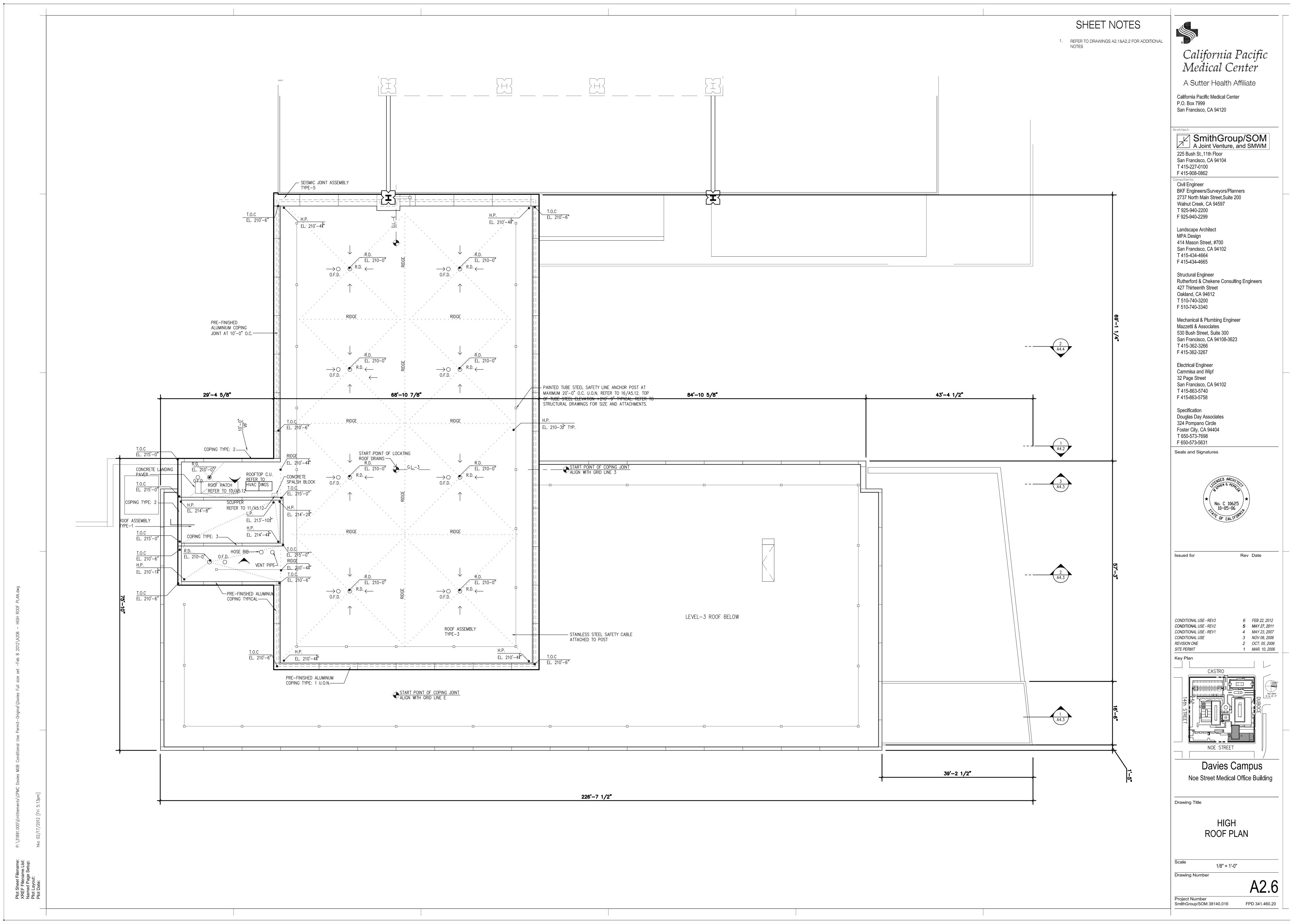


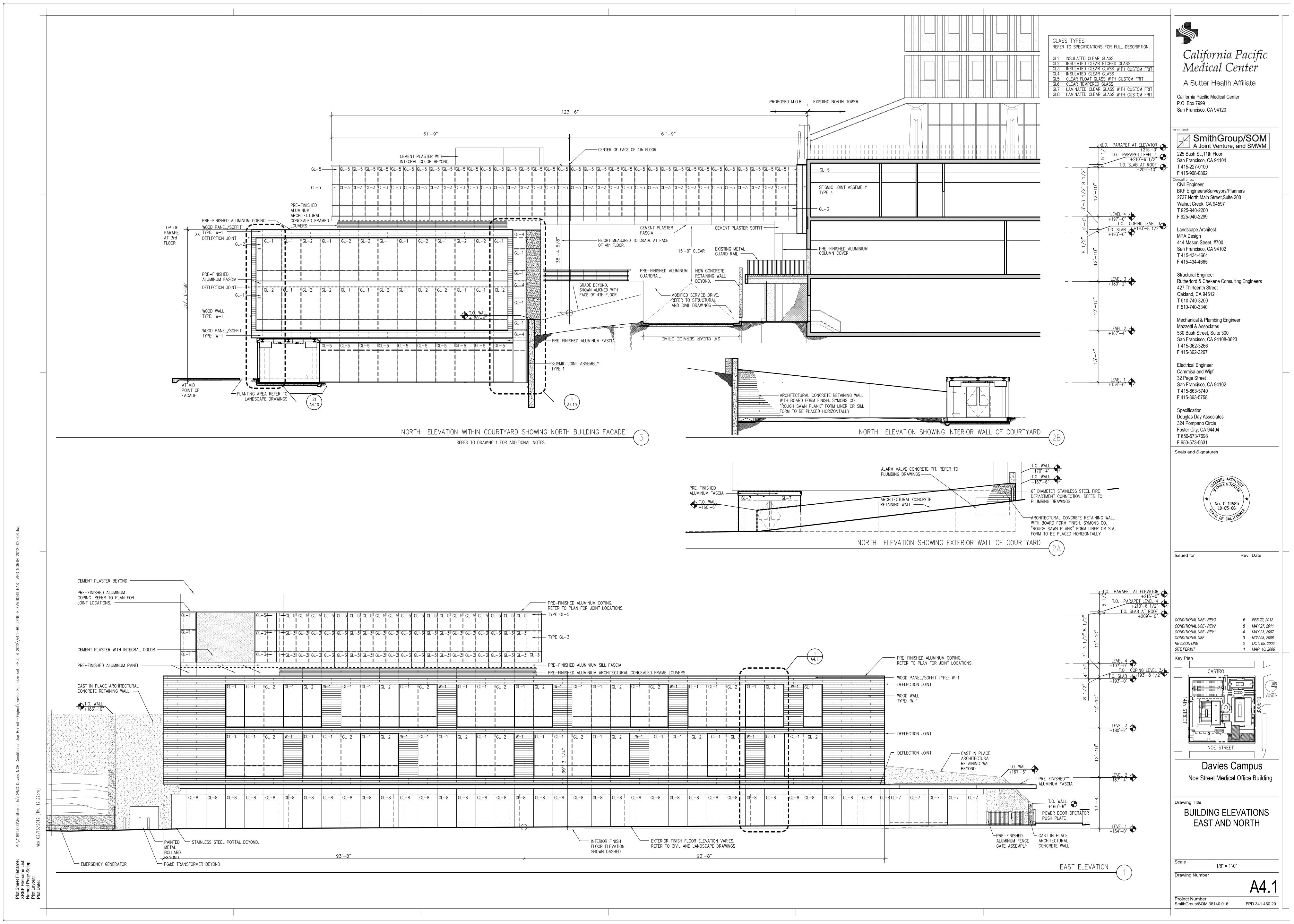


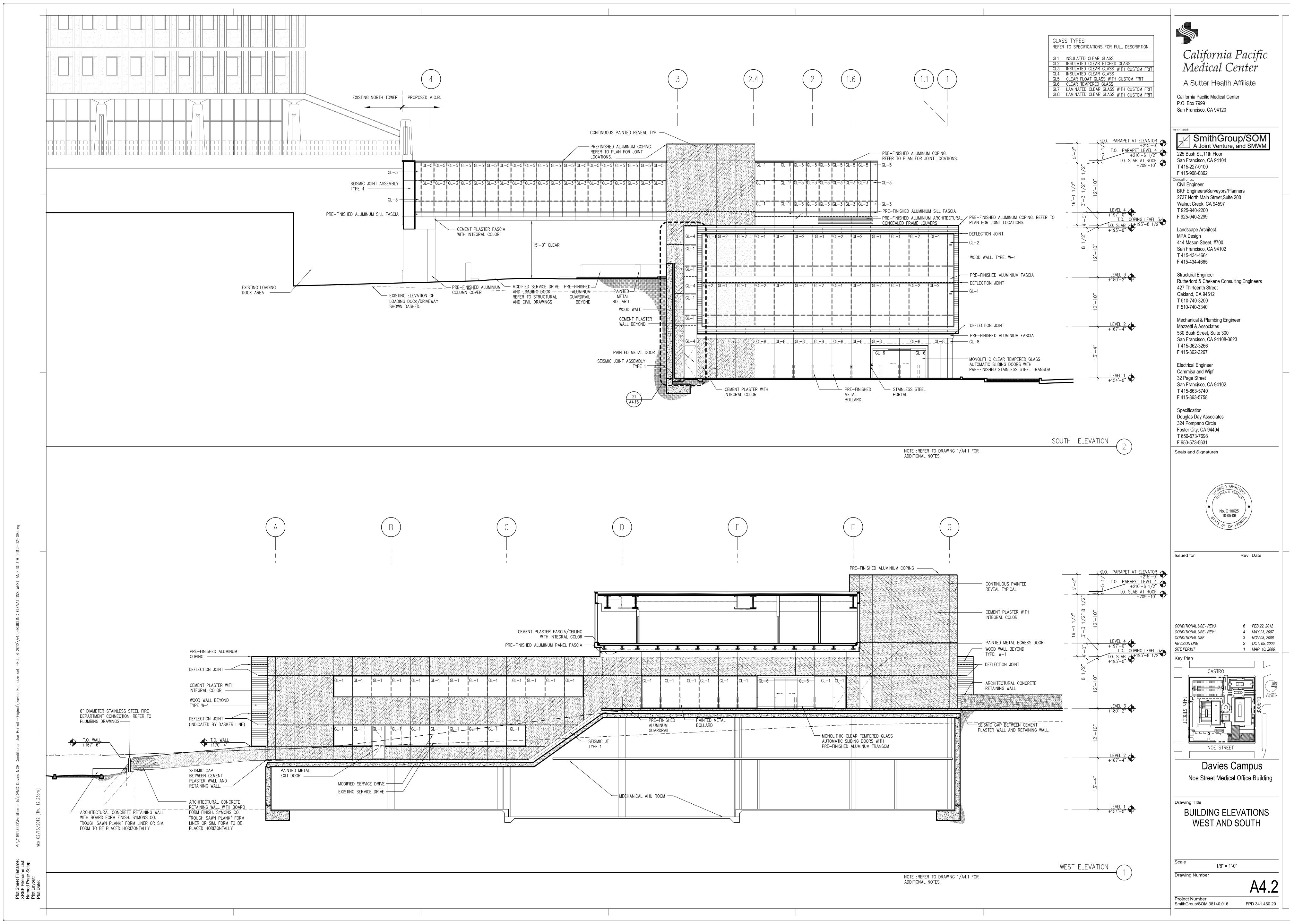


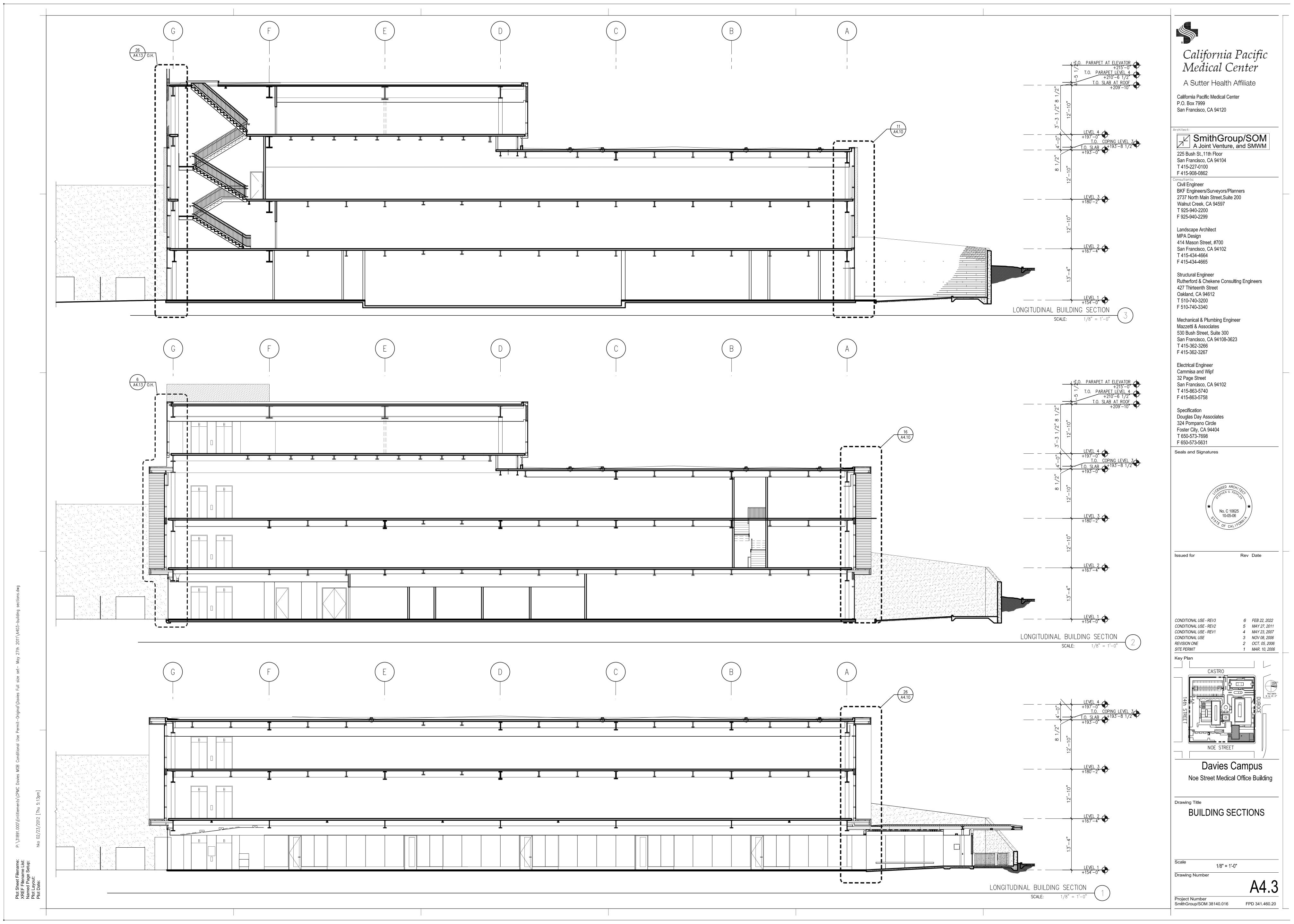


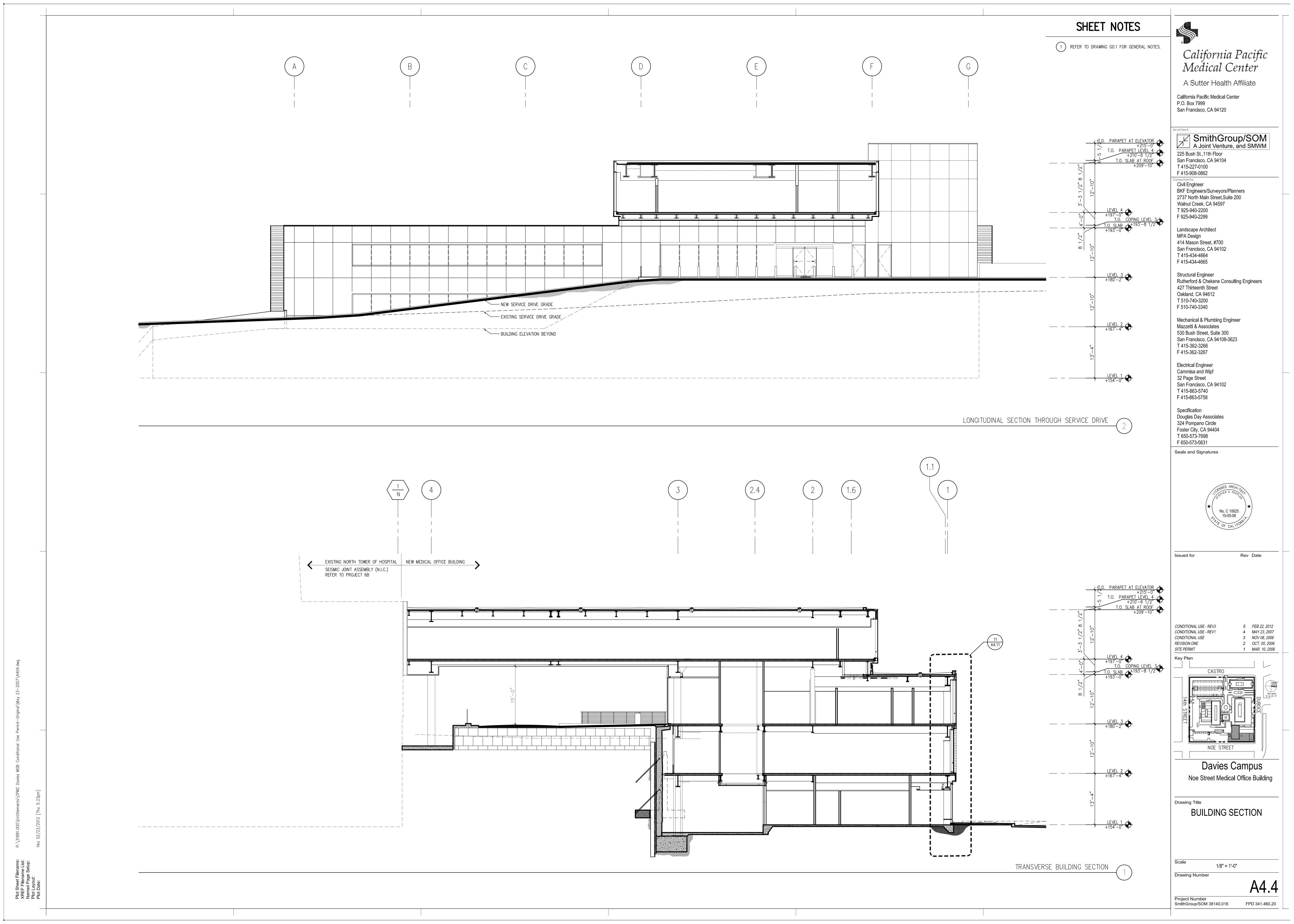


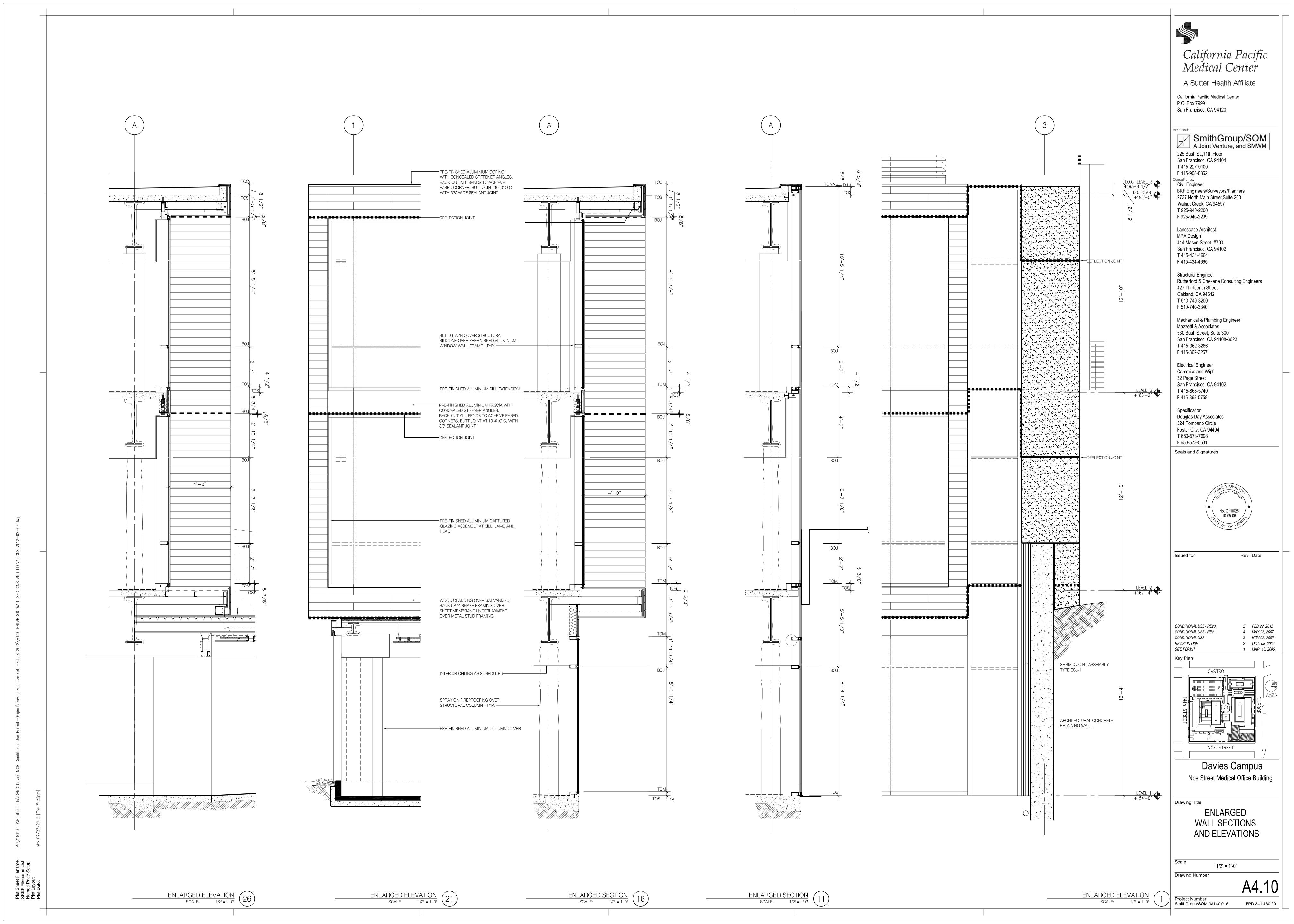


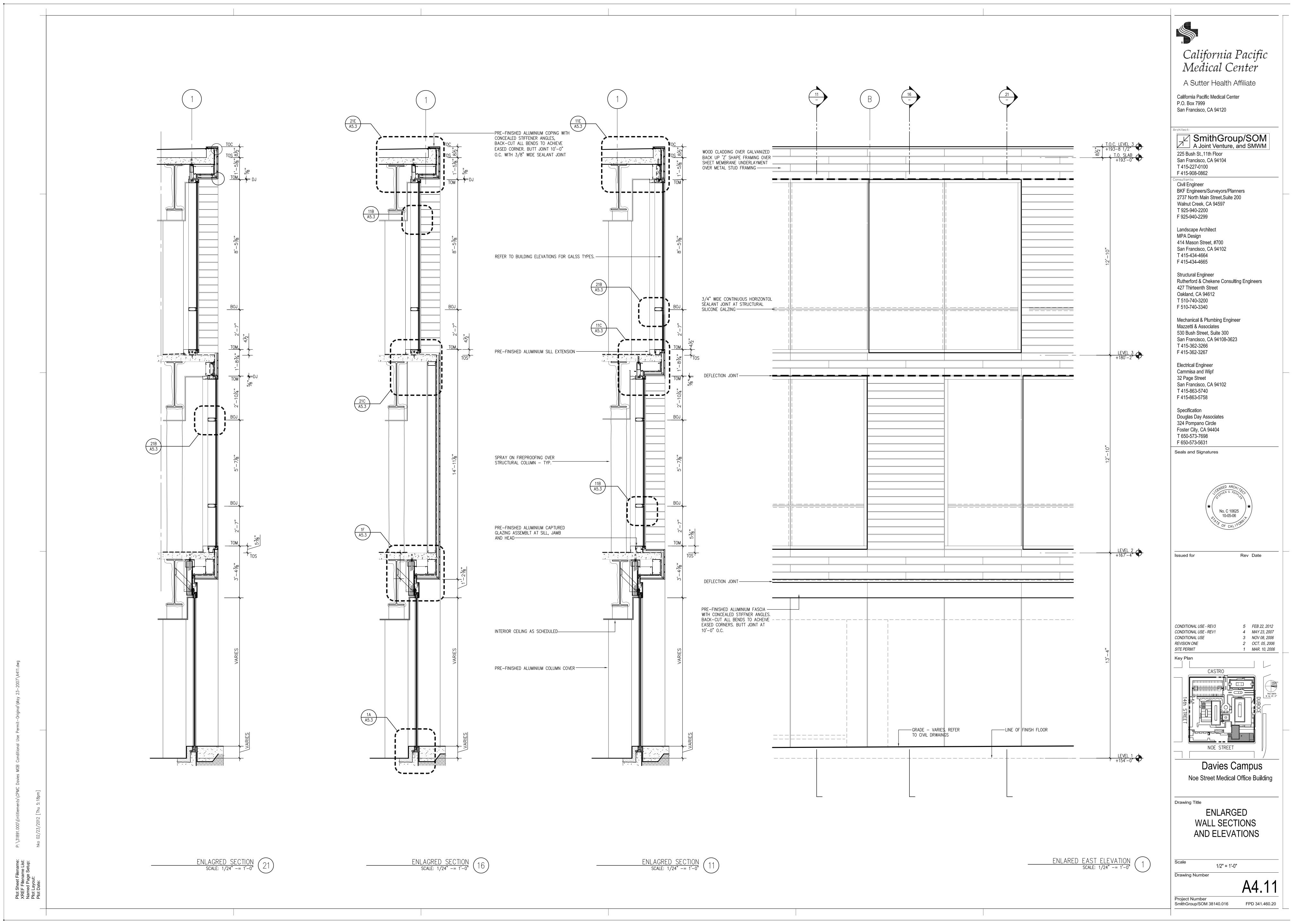


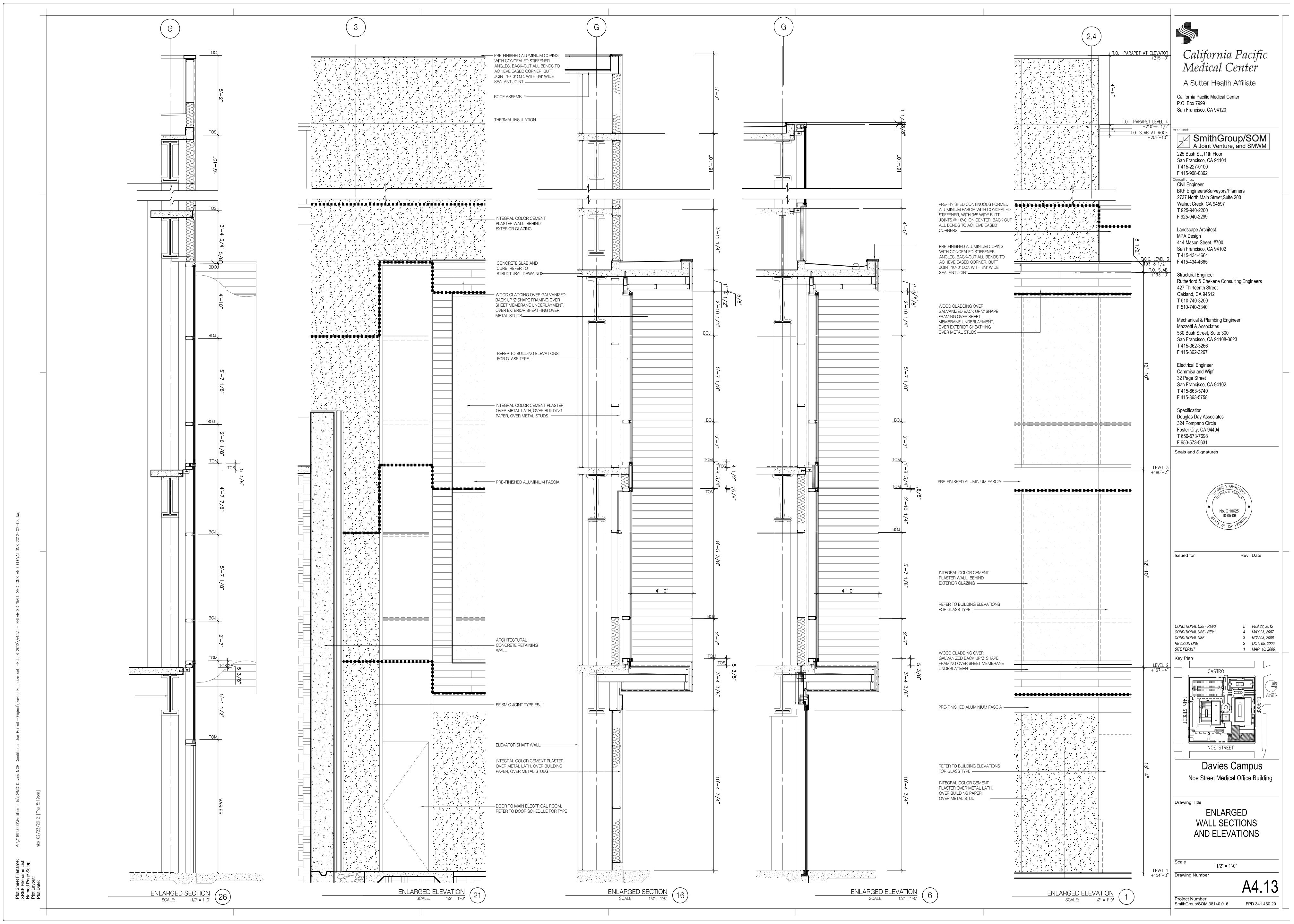


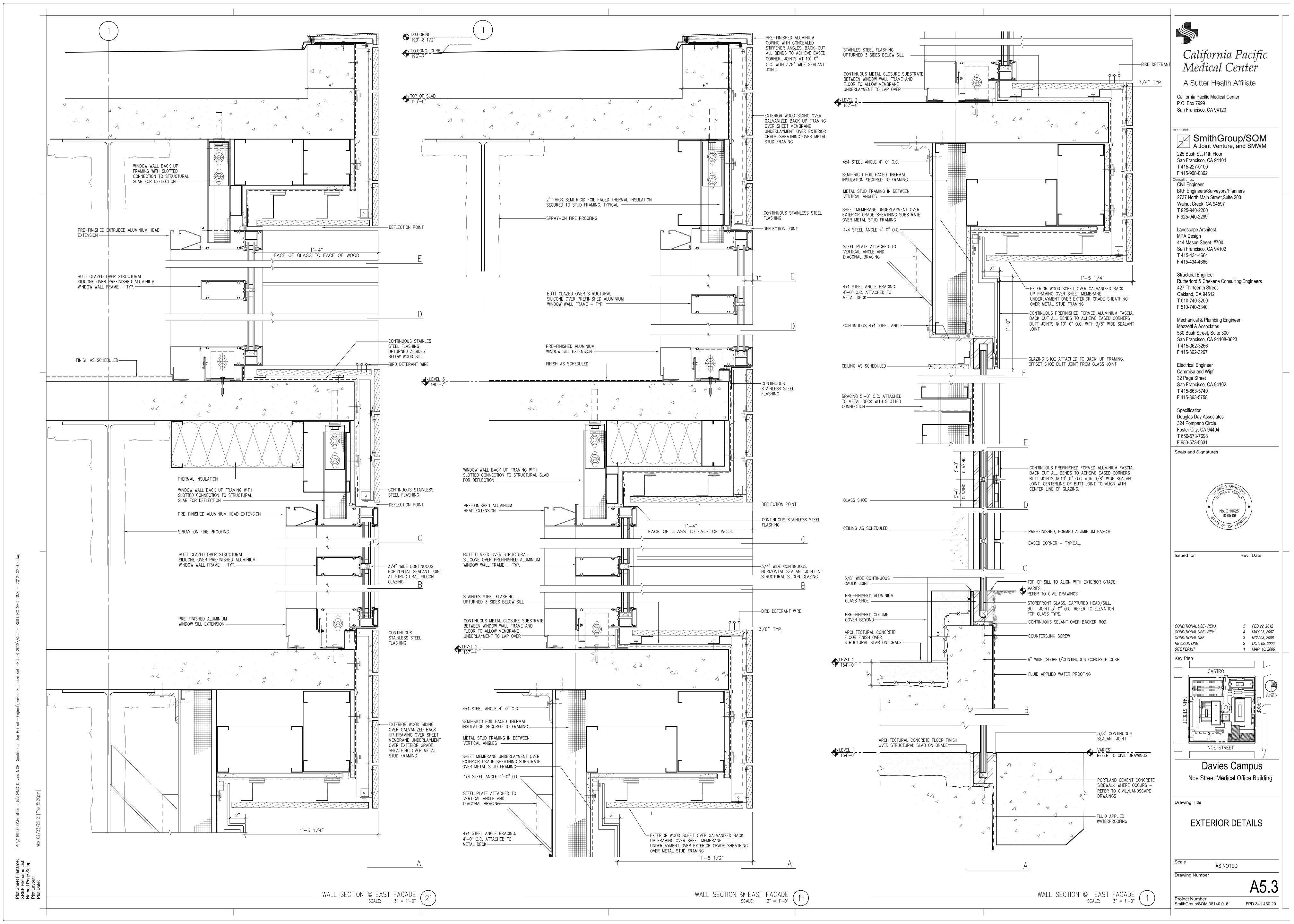














SOURCE : SMITHGROUP / SOM A Joint Venture





SOURCE : SMITHGROUP / SOM A Joint Venture





SOURCE: SMITHGROUP / SOM A Joint Venture



California Pacific Medical Center St Luke's Hospital

Conditional Use Permit Application

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L1.00

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EXISTING CONDITION AND DEMOLITION PLAN
EXISTING CONDITION AND DEMOLITION PLAN LAYOUT AND PAVEMENT PLAN GRADING AND DRAINAGE PLAN UTILITY OVERVIEW

LANDSCAPE LAYOUT AND PLANTING PLAN

LANDSCAPE LAYOUT AND PLANTING PLAN

LANDSCAPE DETAILS

PROJECT DESCRIPTION

Construction of the St. Luke's Replacement Hospital, an approx. 154,800 sq.-ft. five-story hospital, providing approximately 80 acute care beds. The St. Luke's Replacement Hospital may include, but is not limited to, inpatient medica care, diagnostic and treatment space, surgical care, critical care, labor and delivery, post-partum care, an expanded emergency department, cafeteria, loading area, and central utility plant space.

drop-off is at Level 1 building entrance on Cesar Chavez . The hospital's secondary access and the emergency department drop-off is on Level 2 from San Jose Ave. The loading area entry is on Cesar Chavez.

TREE PROTECTION PLAN

All existing trees to remain are to be protected per the Tree Survey and Protection Plan prepared by Consulting Arborlst, Roy C Leggitt with Tree Management Experts, dated October 28, 2011. Recommendations include but are not limited to the following:

Nesting Survey Requirement: The Federal Migratory Bird Treaty Act of 1918 prohibits the taking or destroying of any bird, part, nest or eggs. To comply with this law, tree pruning and removal activities should not occur during bird nesting eason. As noted in the Presidio of San Francisco Vegetation Management Plan to determine the presence of active or inactive nests, and give recommendations

Clearance Pruning: It is preferable to remove branches using clean cuts rathe Clearance Pruning: it is preferable to remove planarces using usean cuts ratine than to break them with equipment. The survey indicates which trees should be pruned to a street clearance height of 14 feet. Where minimal pruning is indicated, prune as little as possible, tying branches out of the way as an alternative to making excess cuts. Until branches when work is complete in that

A qualified ISA-Certified Arborist must carry out all pruning in accordance with ANSI A300 Pruning Standards and must comply with City of San Francisco
Pruning Standards, available from the San Francisco Department of the Environment at http://www.sfenvironment.org/our_programs/ Complete clearance pruning before any construction activities beneath the tree con-Monterey Plnes (Plnus radiata) should be pruned only from November through February when bark beetles are least active.

Tree Removals: Remove all trees recommended and approved for removal before construction begins, if trees cannot be removed before the start of the project, they must be protected and alternate means of construction will be required. Working around trees without taking the protection measures indicated in this report may create hazard trees and decrease the safety of this project. Monterey Pines (Pinus radiata) should be removed during No February and the stumps ground out to minimize bark beetle activity that will harm trees of the same species that remain.

Establishment of Tree Protection Zones (TPZs): Establishing and fencing off Let authority to the Protection 2016s (17-25). Establishing and britishing to the TPZ is tital to tree preservation. Protecting the TPZ prevents damage to roots, branches and trunk, and protects soil from compaction. The optimal TPZ is a round area with a radius equivalent to 10 or 12 times the trunk diameter, depending on the tree species, root confinement and soil type. A TPZ of this size is best to preserve both health and structure of the tree.

Install TPZ fencing in a particular area before work commences. Work within the TPZ is possible, but must be done differently than work outside the TPZ. Do not operate equipment, store materials or park vehicles within the TPZ. Have the Project Arborist on site for any work within the TPZ, Remove TPZ fencing only for the necessary work and replace It Immediately thereafter. Keep TPZ fencing up until construction activities in that area are complete. Because the project is multi-phased, TPZ fencing may be removed when one phase is complete and re-installed at a later date. The exact timeline for installing and removing TPZ fencing for each tree must be established as part of the timing for construction

To enclose trees in the landscape, use 6-foot high chain link fencing, supported by 1-1/2 or 2-inch iron pipe, spaced no more than 10 feet apart. Drive the fence posts at least 24 inches into the ground. On the St. Luke's campus, it is not possible to fence off the optimal TPZ for each tree. Follow the recommendate for TPZ fencing in the section titled "Tree Protection by Area.

To protect street trees, the existing pavement forms an effective root buffer, so TPZ fencing is not necessary. Instead, wrap the trunk to prevent injury and cover the tree wells with plywood covers to prevent soil compaction and toxic runoff from getting into the soil. For the trunk protection, wrap the trunk a minimum of 3 times with orange plastic snow fencing. Place 2 x 4 planks edge-to-edge with the wide side against the trunk so that the trunk is covered. Wrap the planks a minimum of 3 times with the snow fencing and secure. Cover the tree wells with 3/4-Inch plywood, Covers should form a square or rectangle that is a few linches larger than the tree well on all 4 sides, with a circle cut out of the middle for the trunk. The open area for the trunk should be a minimum 1 inch away from the trunk, and a maximum of 3 inches. Attach the plywood to the sidewalk so that it cannot be removed or casually moved.

Preservation Requirements during Construction

Project Arborist Requirement: Successful tree preservation depends on Project Arborist Involvement throughout the project, Including the landscaping phase. Trees are living things and they react to the changes around them. The Project Arborist provides the following vital

- To be on site whenever there is work within the TPZ radius of a protected tree or within TPZ fencing. We will advise contractors or subcontractors to minimize impacts to trees, and will either perform or supervise root pruning. Review plan changes or additional plans not included in this report for additional
- Provide monthly inspections of protected trees, especially the Landmark Tree, and to monitor for any changes and make additional recommendations for preservation.

 Inspect protected trees at 6 months and 12 months after the project is completed and make recommendations for their ongoing care.

Alr/Water Excavation: The TME Arborist Report of May 17, 2010, excerpted in Section 4, Appendix D, compares the various excavation options in more detail. To

Excavating trenches with equipment destroys roots. Hand excavation is slow and can also damage roots. Directional boring can damage unseen roots. Excavating the trench using air or water tools preserves roots, moves soil quickly, and allows the arborist to see the roots and make the best dedslon. Use air or water excavation for utility work on Duncan Street, around the Landmark Tree on Valencia, on San Jose Avenue, and north of Cesar Chavez.

Selective Root Pruning: Once roots are exposed using air or water excavalion, the Project Arborist will inspect roots and determine which roots should remain and bridge the trench and which can be removed. Root pruning must be done cleanly with a sharp tool, under the direction of or by the Project Arborist.

Existing Pavement as a Root Buffer: The existing paved areas are protecting roots from damage and soll compaction. When existing pavement is removed, the exposed area within the TPZ radius should be fenced off and protected as described in this report. Staging: Stage materials on payed areas and outside of TPZ fencing, Irrigation: Protected tre should be maintained on their normal irrigation schedule throughout the project. Certain trees that sustain root losses may benefit from Increased Irrigation, as recommended by Project Arborist.



California Pacific Medical Center

A Sutter Health Affiliate

California Pacific Medical Center P.O. Box 7999 San Francisco, CA 94120

ST LUKE'S HOSPITAL

OSHPD # IS-082199

ARCHITECT

SMITHGROUP

301 Battery Street, 7th Floor San Francisco, CA 94111 T 415.227.0100 F 415.908.0862

www.smithgroup.con ASSSOCIATE ARCHITECT

Boulder Associates, Inc. 5 third St, Suite 430 San Francisco,

STRUCTURAL ENGINEER

Degenkolb Engineers 300 Frank H. Ogawa Plaza Oakland, CA 94612

MECHANICAL ENGINEER

Southland Industries

7421 Orangewood Ave Garden Grove, CA 92841 714.901.5800

ELECTRICAL ENGINEER

Silverman & Light 1201 Park Avenue, Suite 100

CIVIL ENGINEER

255 Shoreline Drive, Suite 200 Redwood City, CA 94065 510,272,9040

LANDSCAPE ARCHITECT

SWA

2200 Bridgeway Boulevard Sausalito, CA 94966 415.332.5100

ISSUE

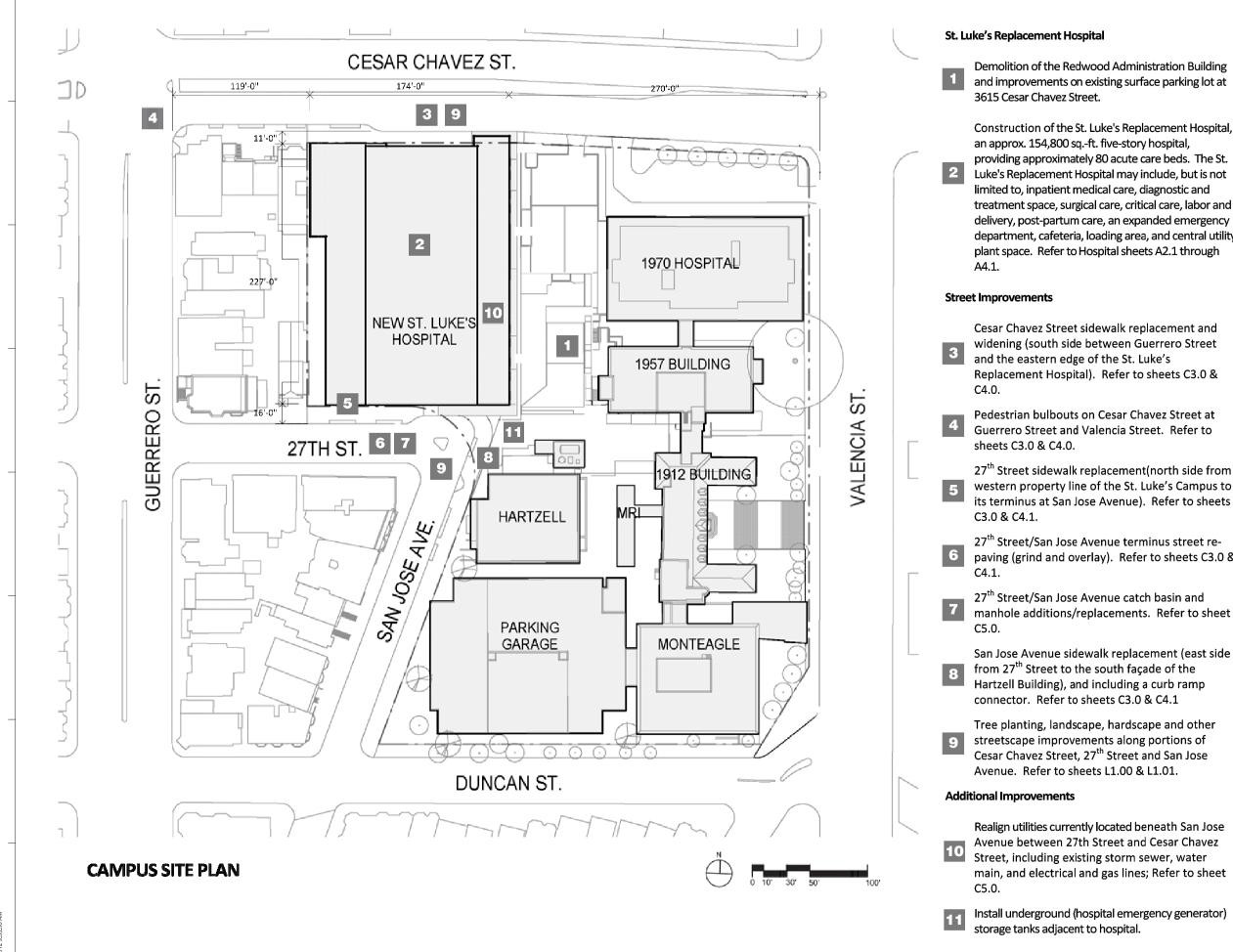
CU APPLICATION CU APPLICATION UPDATE

REV DATE

SEALS AND SIGNATURES

COVER SHEET & SHEET INDEX

G0.01



St. Luke's Replacement Hospital

Demolition of the Redwood Administration Building and improvements on existing surface parking lot at 3615 Cesar Chavez Street.

an approx. 154,800 sq.-ft. five-story hospital, providing approximately 80 acute care beds. The St. Luke's Replacement Hospital may include, but is not limited to, inpatient medical care, diagnostic and treatment space, surgical care, critical care, labor and delivery, post-partum care, an expanded emergency department, cafeteria, loading area, and central utility plant space. Refer to Hospital sheets A2.1 through

Street Improvements

Cesar Chavez Street sidewalk replacement and widening (south side between Guerrero Street and the eastern edge of the St. Luke's Replacement Hospital). Refer to sheets C3.0 &

Pedestrian bulbouts on Cesar Chavez Street at Guerrero Street and Valencia Street. Refer to sheets C3.0 & C4.0.

27th Street sidewalk replacement(north side from western property line of the St. Luke's Campus to its terminus at San Jose Avenue). Refer to sheets C3.0 & C4.1.

27th Street/San Jose Avenue terminus street repaving (grind and overlay). Refer to sheets C3.0 &

27th Street/San Jose Avenue catch basin and manhole additions/replacements. Refer to sheet

San Jose Avenue sidewalk replacement (east side from 27th Street to the south facade of the Hartzell Building), and including a curb ramp connector. Refer to sheets C3.0 & C4.1

Tree planting, landscape, hardscape and other streetscape improvements along portions of Cesar Chavez Street, 27th Street and San Jose Avenue. Refer to sheets L1.00 & L1.01.

Additional Improvements

Realign utilities currently located beneath San Jose Avenue between 27th Street and Cesar Chavez Street, including existing storm sewer, water main, and electrical and gas lines; Refer to sheet

Install underground (hospital emergency generator) storage tanks adjacent to hospital.

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ST LUKE'S HOSPITAL

OSHPD # IS-082199

ARCHITECT

SMITHGROUP

301 Battery Street, 7th Floor San Francisco, CA 94111 T 415.227.0100 F 415.908.0862 www.smithgroup.con

ASSSOCIATE ARCHITECT

Boulder Associates, Inc. 5 third St, Suite 430 San Francisco,

TRUCTURAL ENGINEER

Degenkolb Engineers 300 Frank H. Ogawa Plaza Oakland, CA 94612

MECHANICAL ENGINEER

Southland Industries 7421 Orangewood Ave Garden Grove, CA 92841 714.901.5800

ELECTRICAL ENGINEER

Silverman & Light 1201 Park Avenue Suite 100 Emeryville, CA 94608

CIVIL ENGINEER

255 Shoreline Drive, Suite 200 Redwood City, CA 94065

ANDSCAPE ARCHITECT

SWA

2200 Bridgeway Boulevard Sausalito, CA 94966 415.332.5100

REV DATE ISSUE

CU APPLICATION CU APPLICATION UPDATE

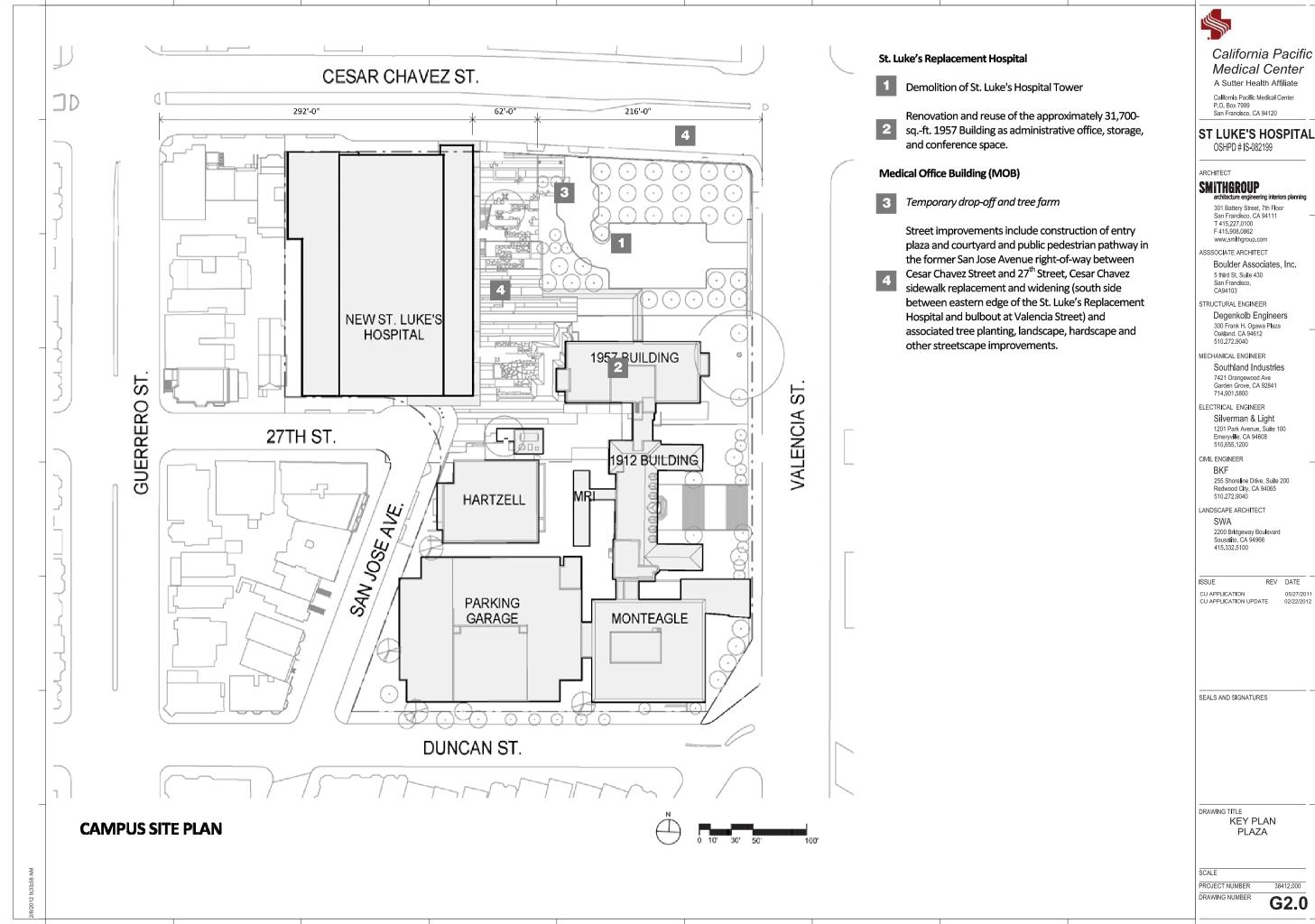
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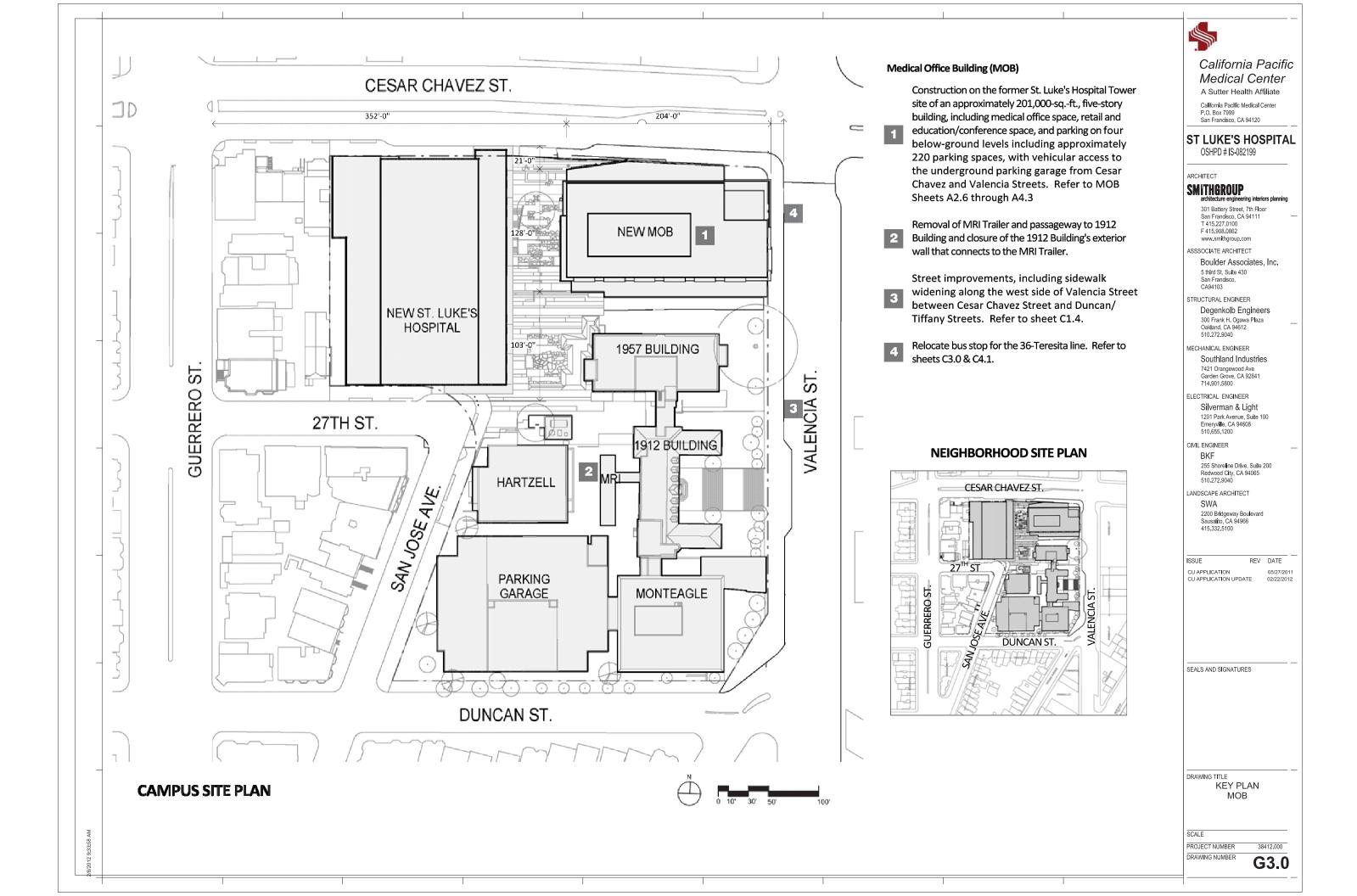
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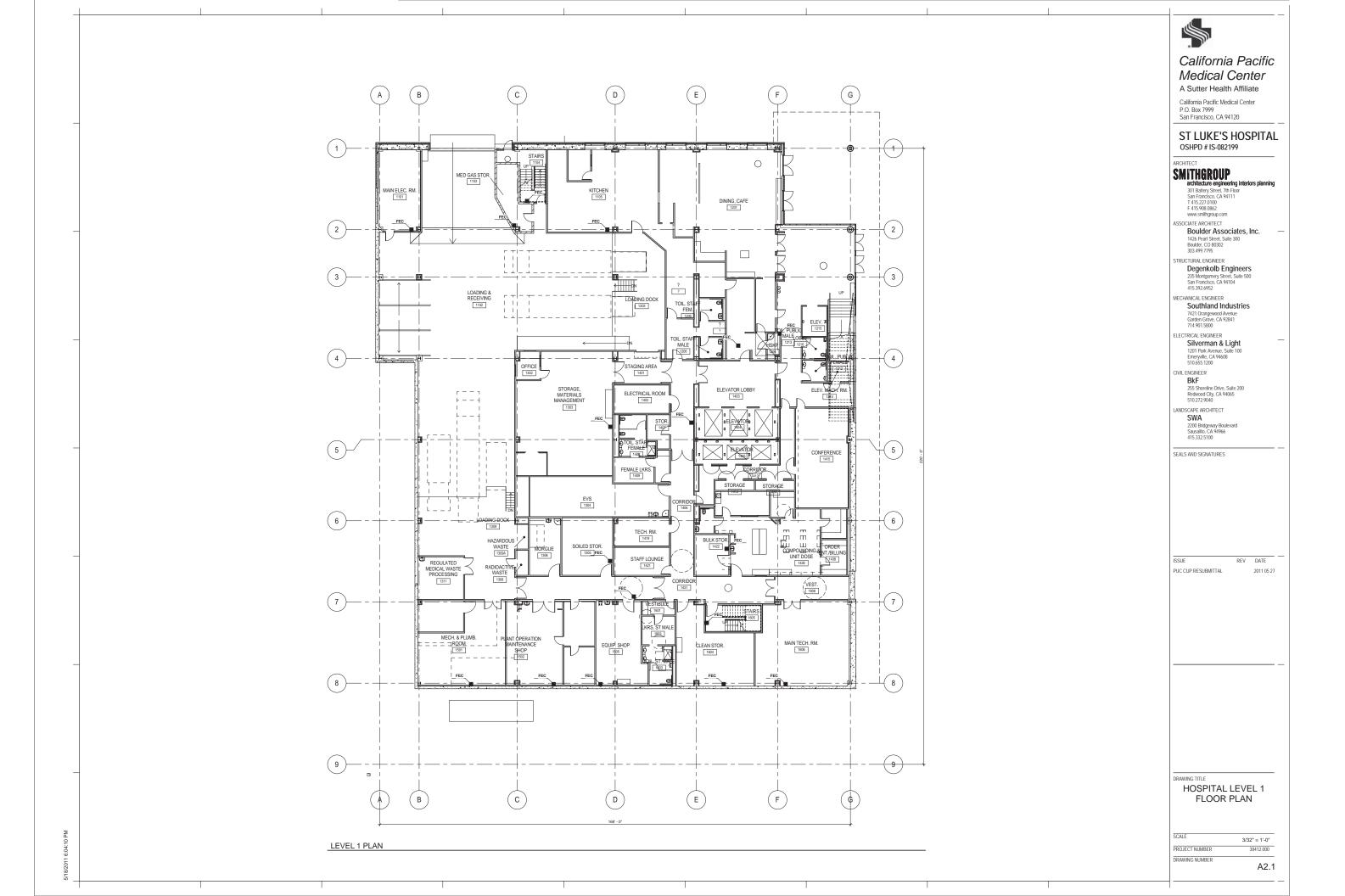
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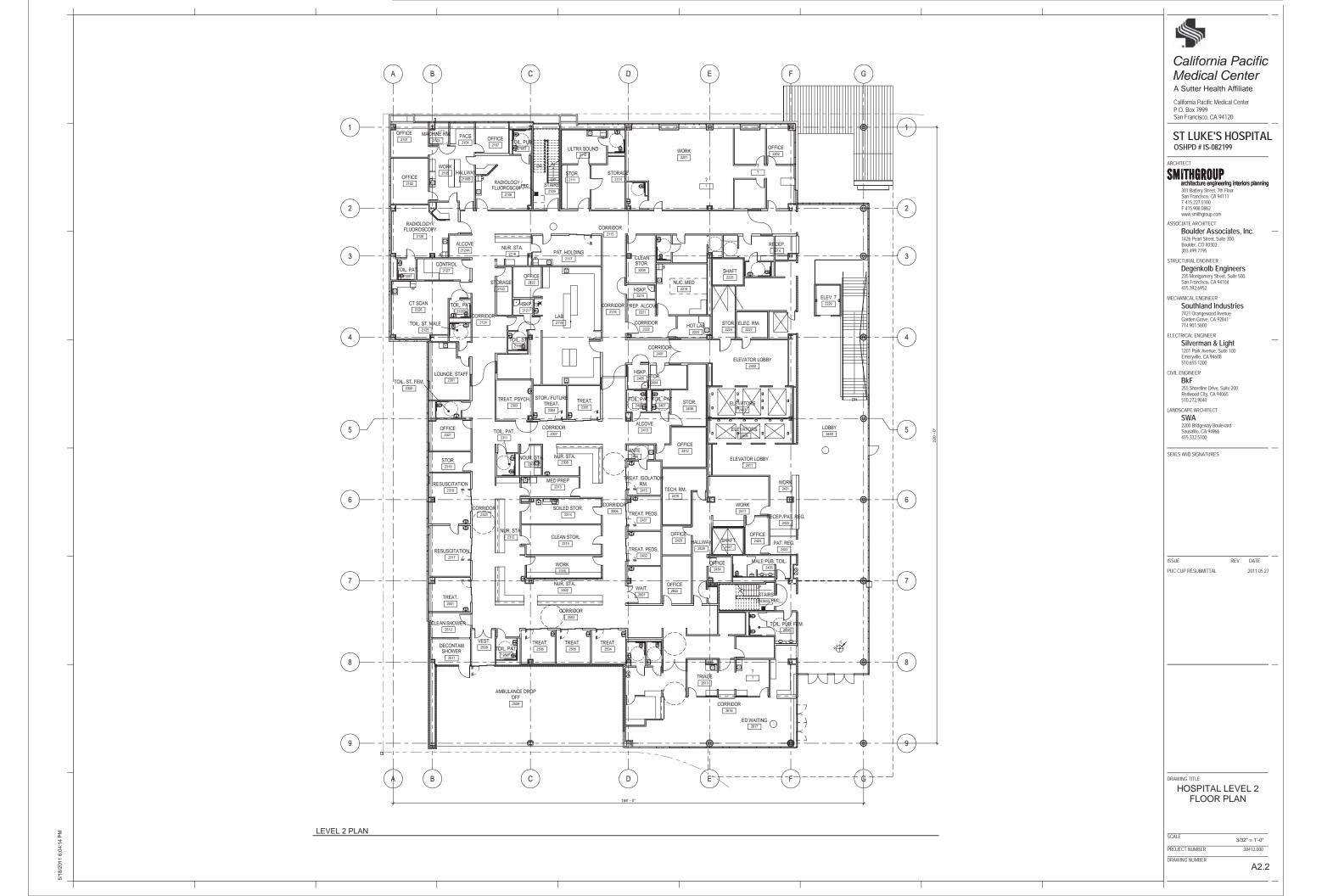
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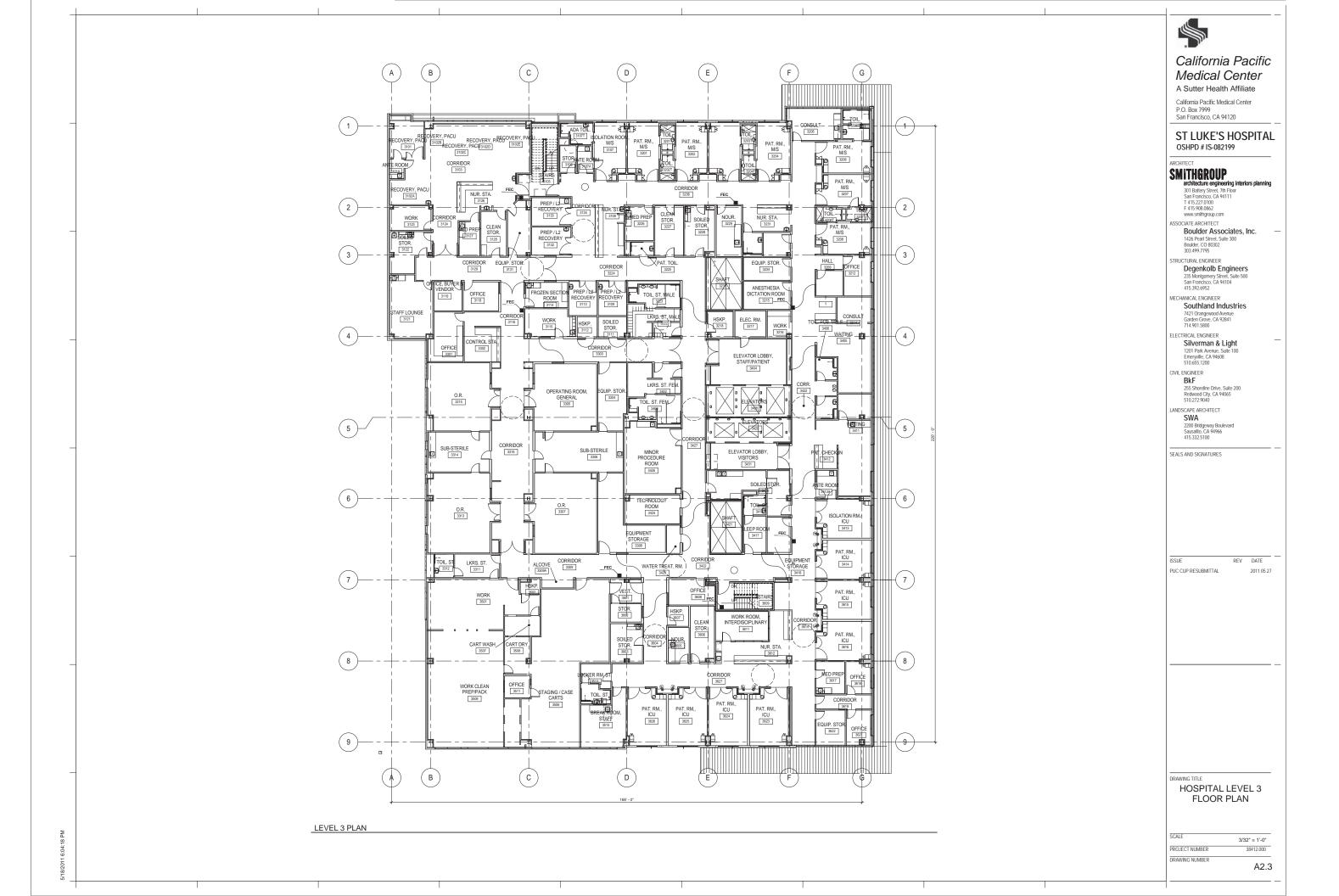
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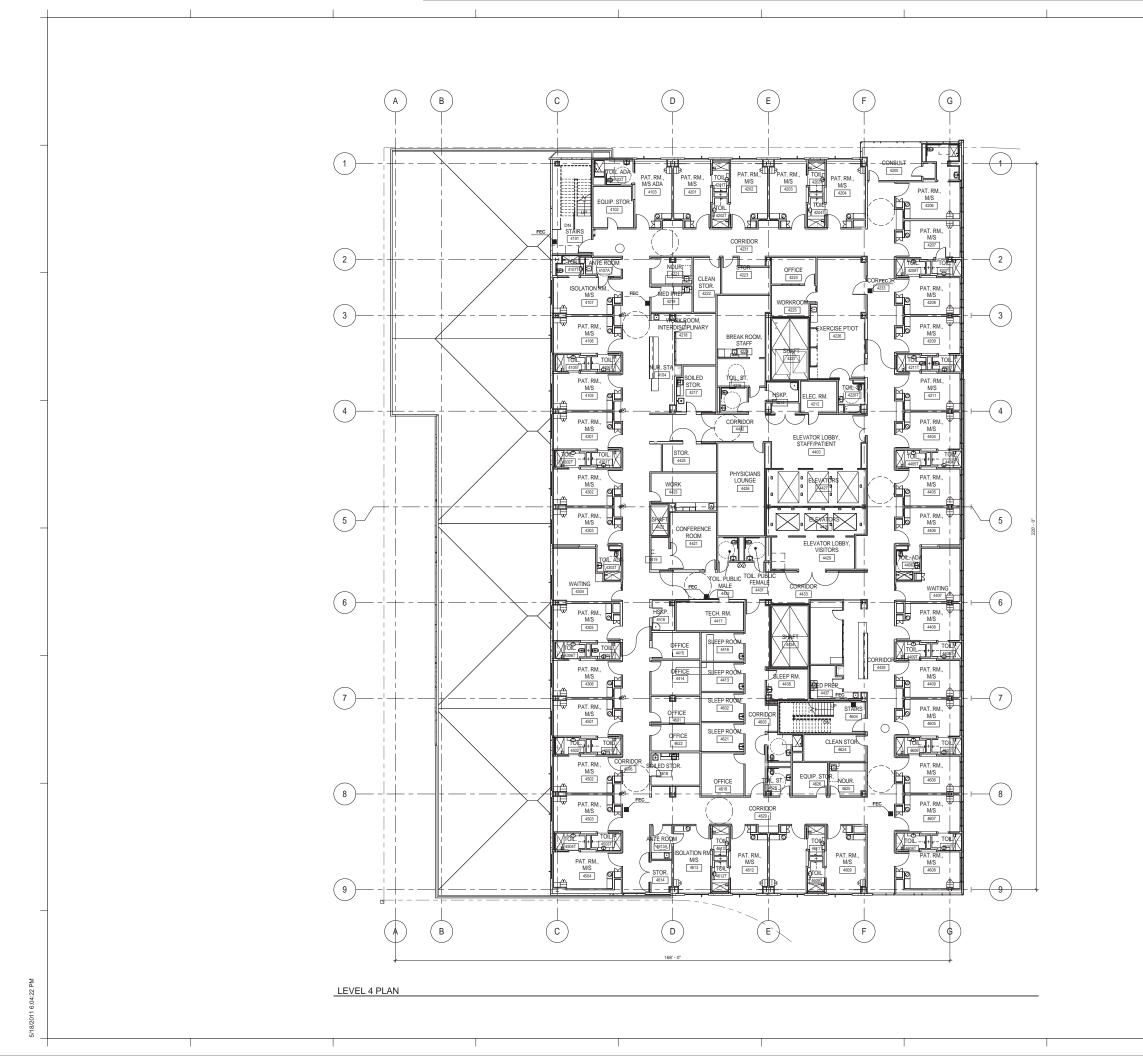














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ST LUKE'S HOSPITAL OSHPD # IS-082199

ARCHITECT

SMITHGROUP

architecture engineering interiors planning 301 Battery Street, 7th Floor San Francisco, CA 94111 T 415.227.0100 F 415.908.0862

www.smithgroup.com

Boulder Associates, Inc.

1426 Pearl Street, Suite 300 Boulder, CO 80302

STRUCTURAL ENGINEER

Degenkolb Engineers 235 Montgomery Street, Suite 500 San Francisco, CA 94104 415.392.6952

MECHANICAL ENGINEER

Southland Industries
7421 Orangewood Avenue

Garden Grove, CA 92841 714 901 5800

SILVERMAN & Light
1201 Park Avenue, Suite 100
Emeryville, CA 94608
510.655.1200

CIVII ENGINEER

BkF 255 Shoreline Drive, Suite 200

LANDSCAPE ARCHITECT

SWA 2200 Bridgeway Boulevard Sausalito, CA 94966 415.332.5100

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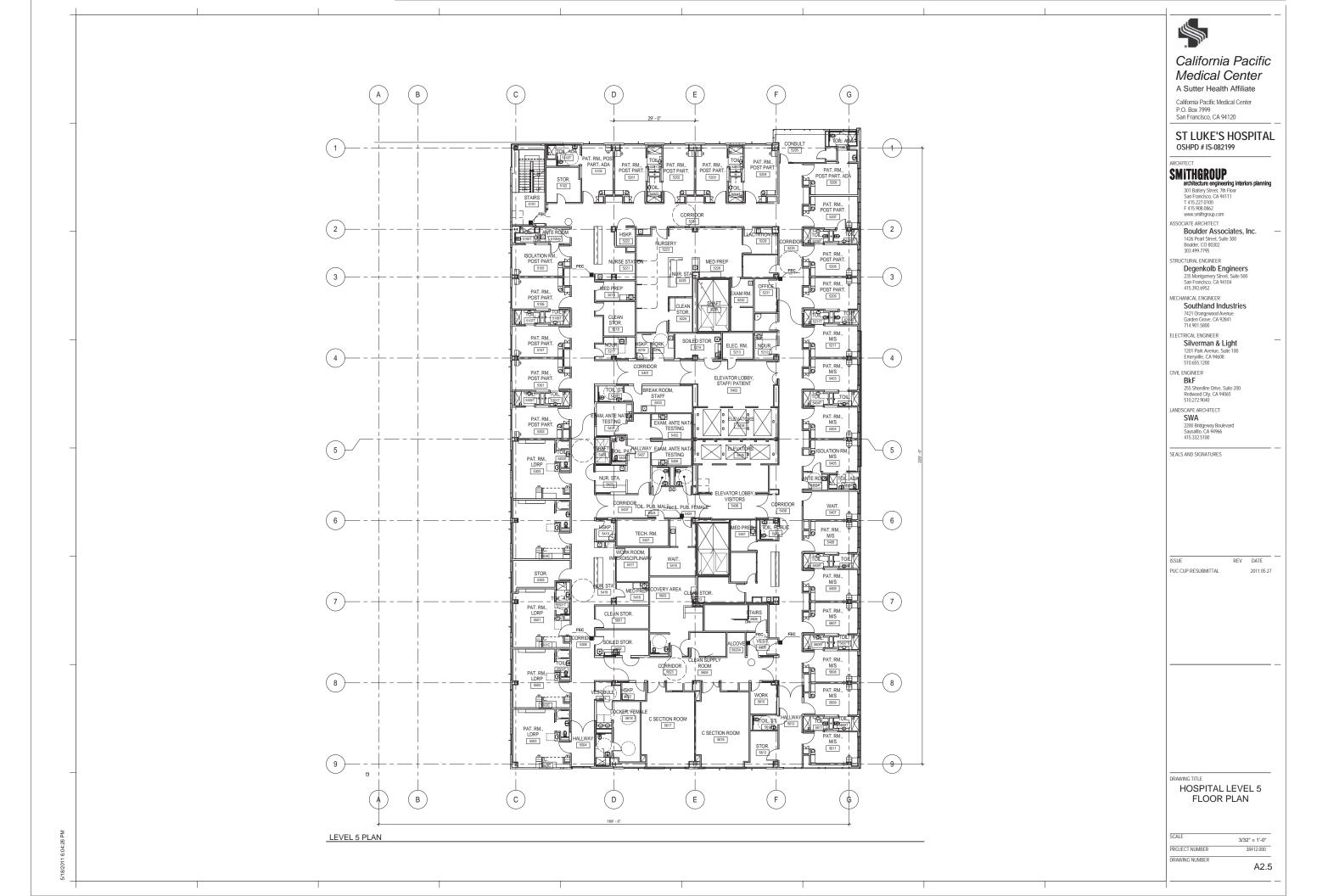
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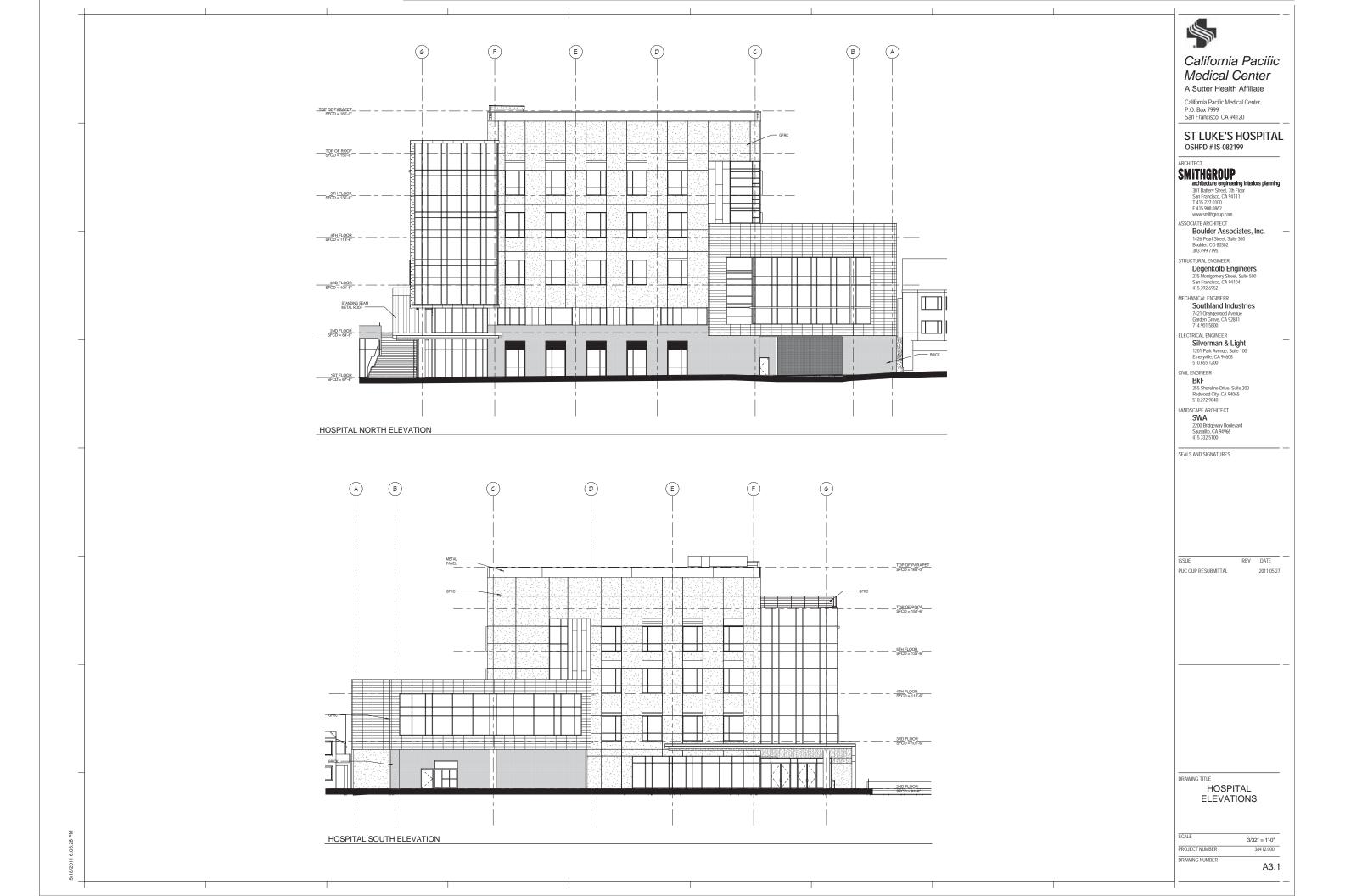
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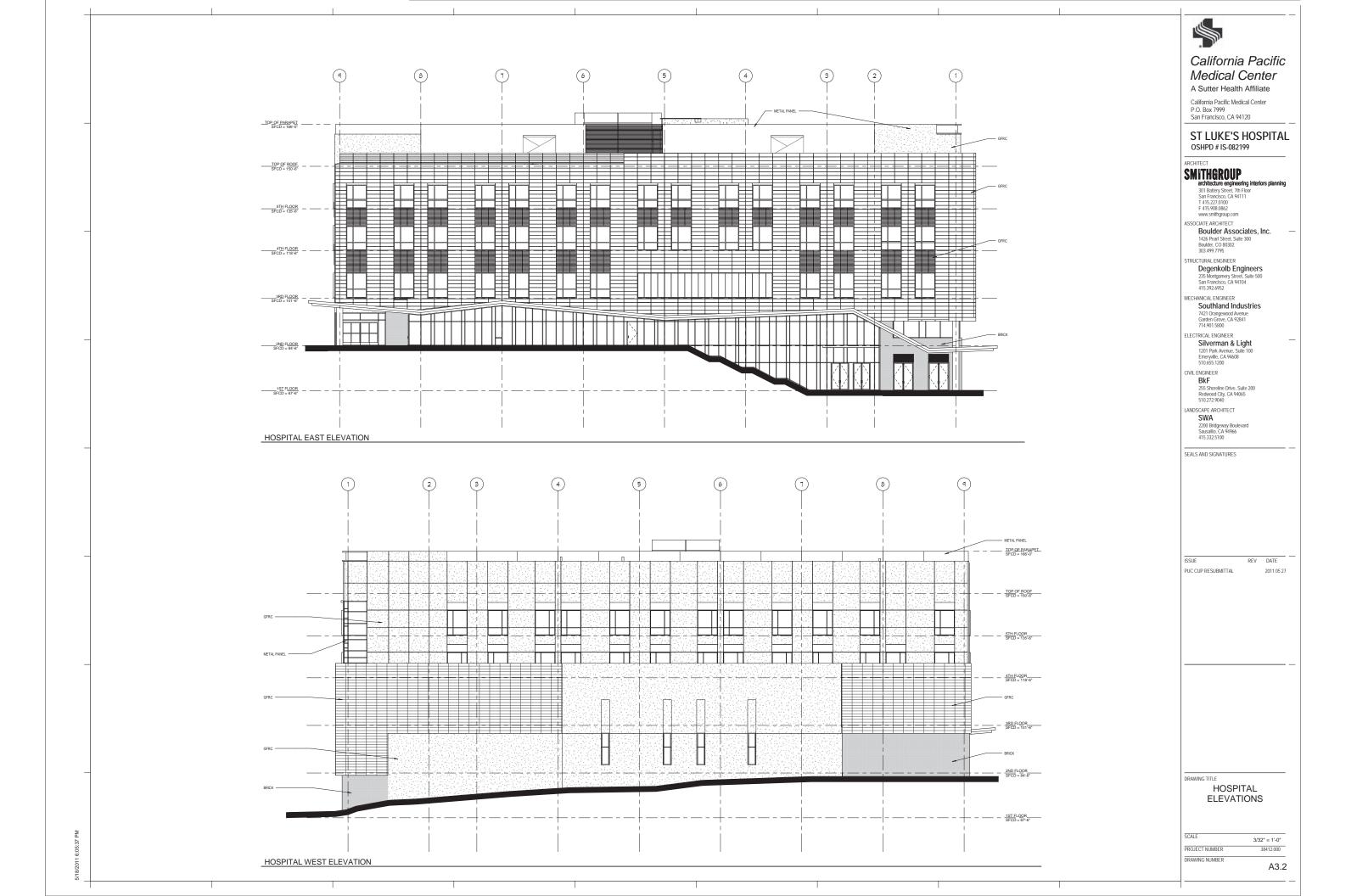
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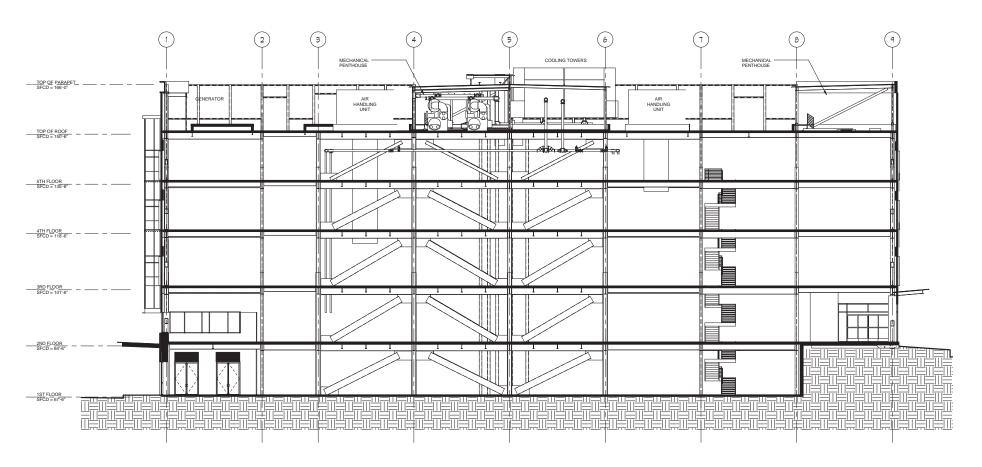
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HOSPITAL SECTION N-S - 30x42



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ARCHITECT

SMITHGROUP
architecture engineering interiors planning
301 Battery Street, 7th Floor
San Francisco, CA 94111
1415.222.70100
F 415.998.0862
www.smithgroup.com

ASSOCIATE ARCHITECT

Boulder Associates, Inc. 1426 Pearl Street, Suite 300 Boulder, CO 80302 303.499.7795

STRUCTURAL ENGINEER

Degenkolb Engineers

235 Montgomery Street, Suite 500 San Francisco, CA 94104 415.392.6952

MECHANICAL ENGINEER Southland Industries

ELECTRICAL ENGINEER

Silverman & Light 1201 Park Avenue, Suite 100 Emeryville, CA 94608 510.655.1200

CIVIL ENGINEER

BkF

255 Shoreline Drive, Suite 200
Redwood City, CA 94065
510.272.9040

LANDSCAPE ARCHITECT SWA

2200 Bridgeway Boulevard Sausalito, CA 94966 415.332.5100

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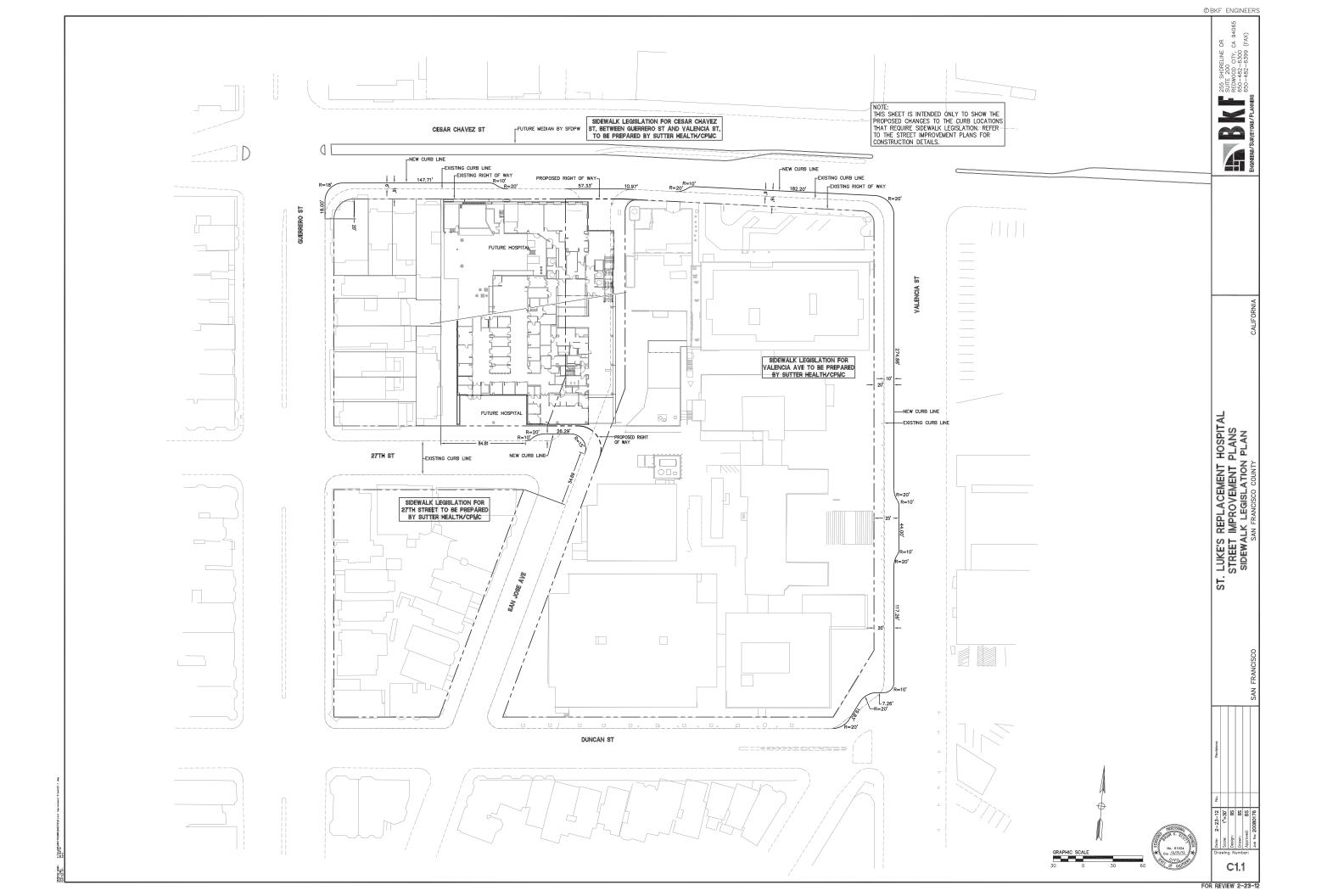
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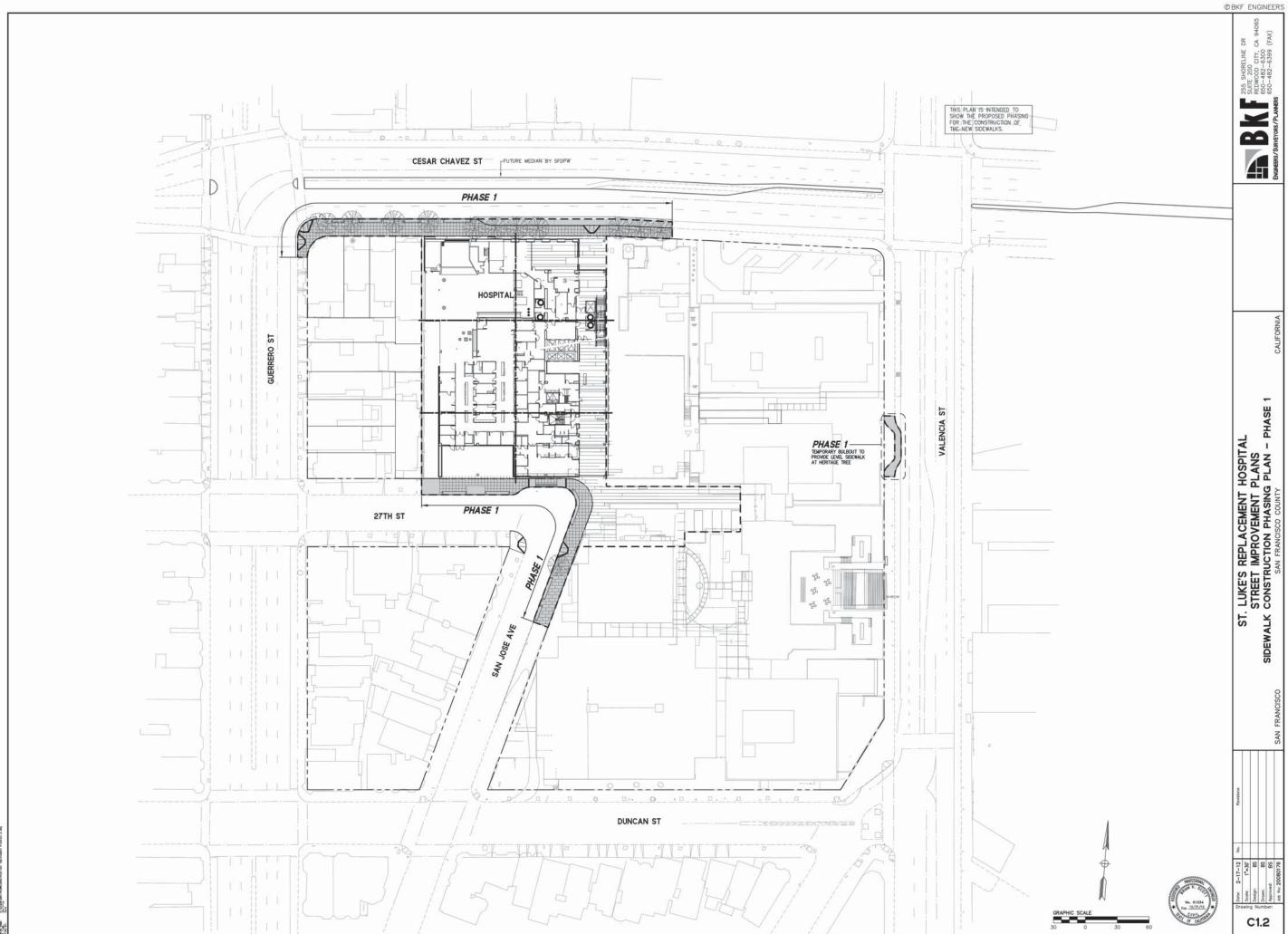
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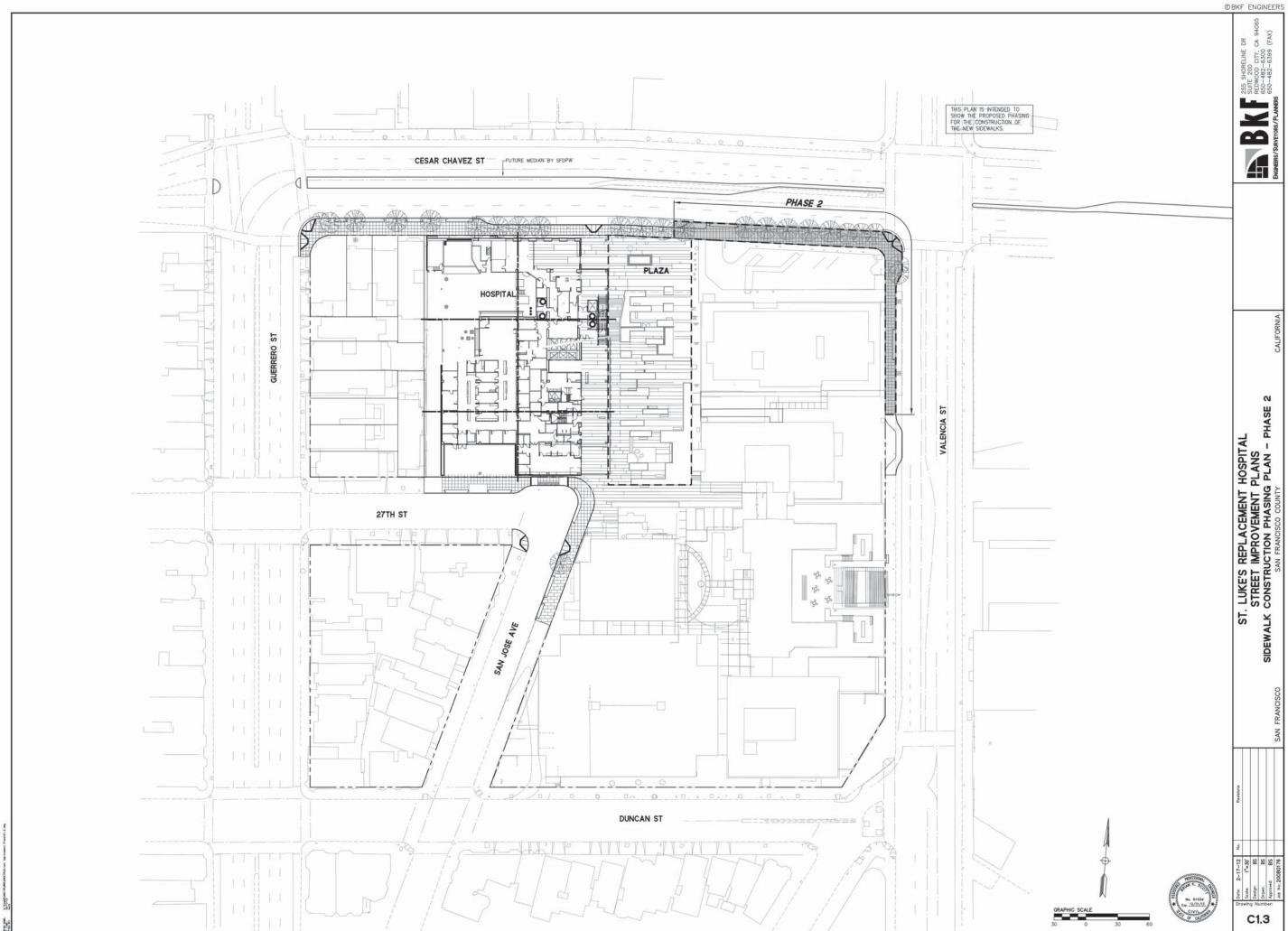
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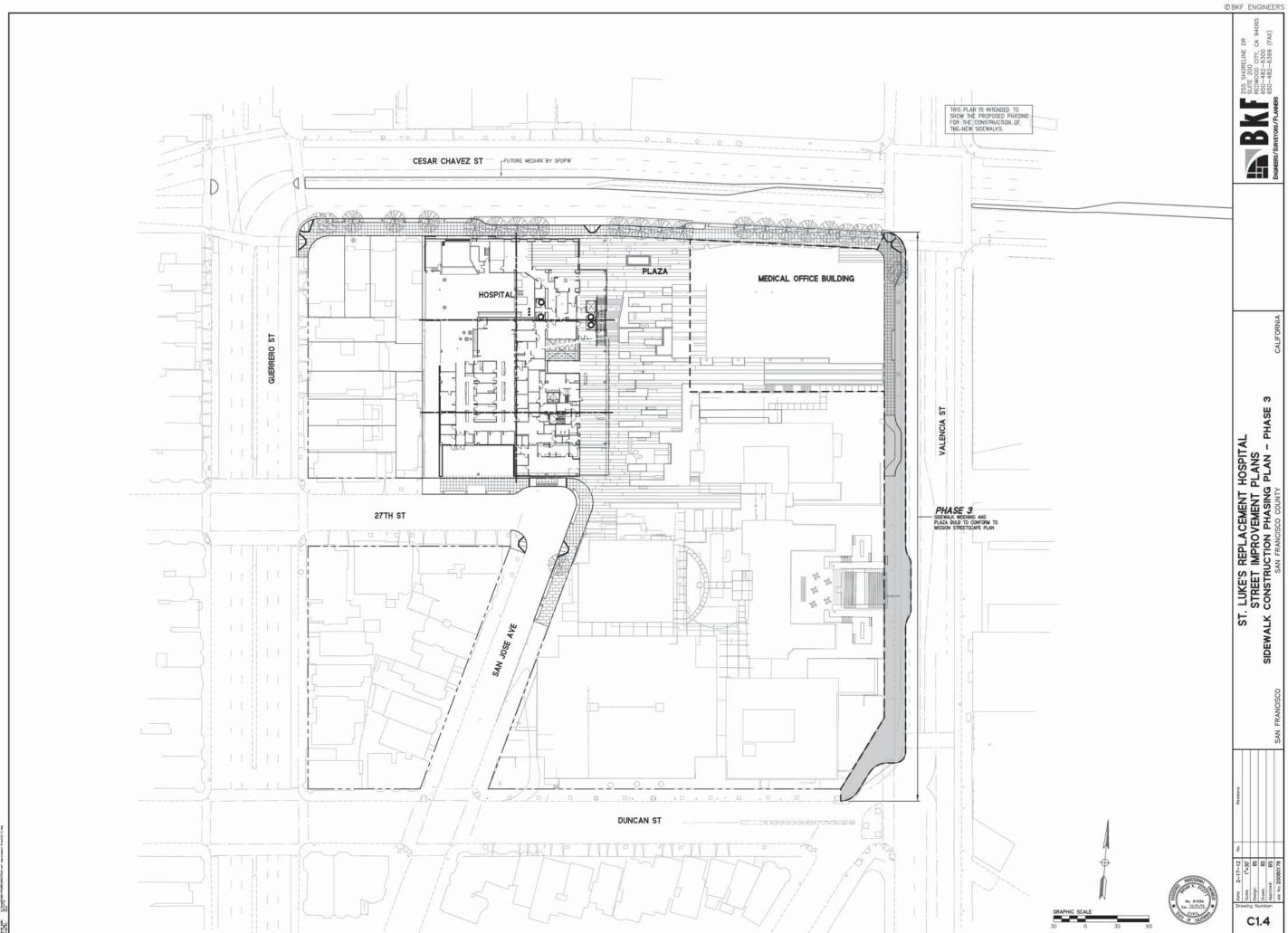




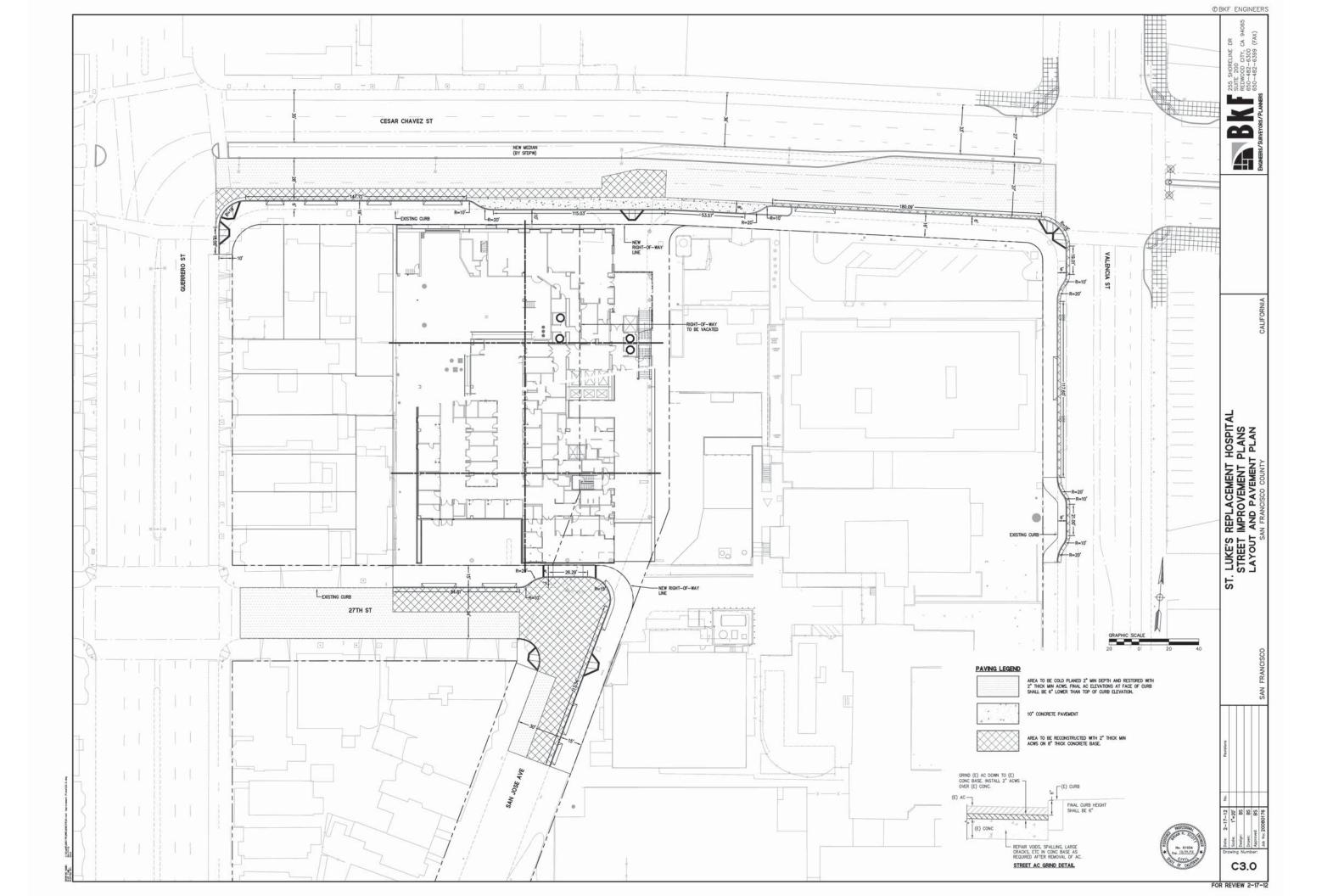
FOR REVIEW 2-17-

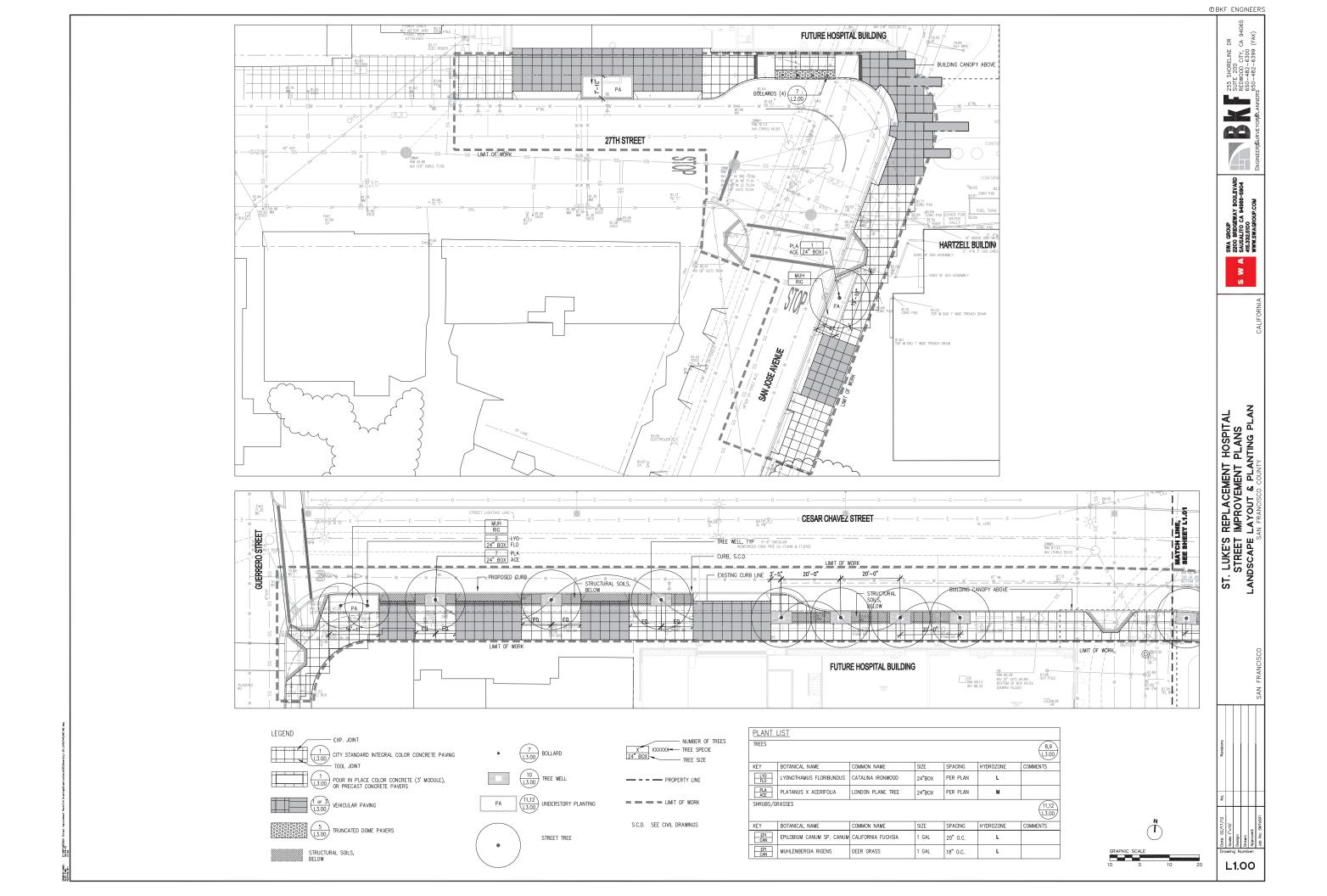


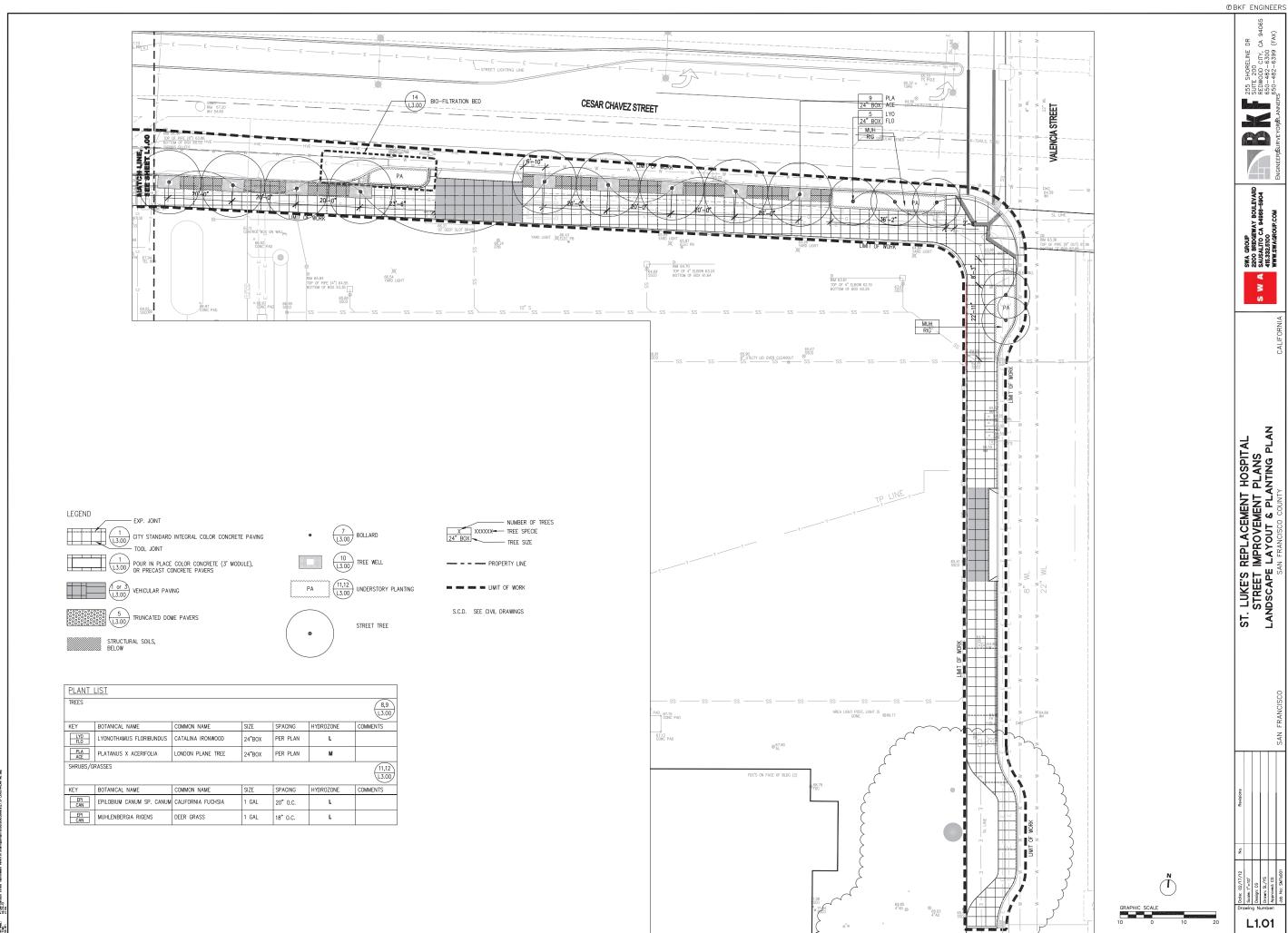
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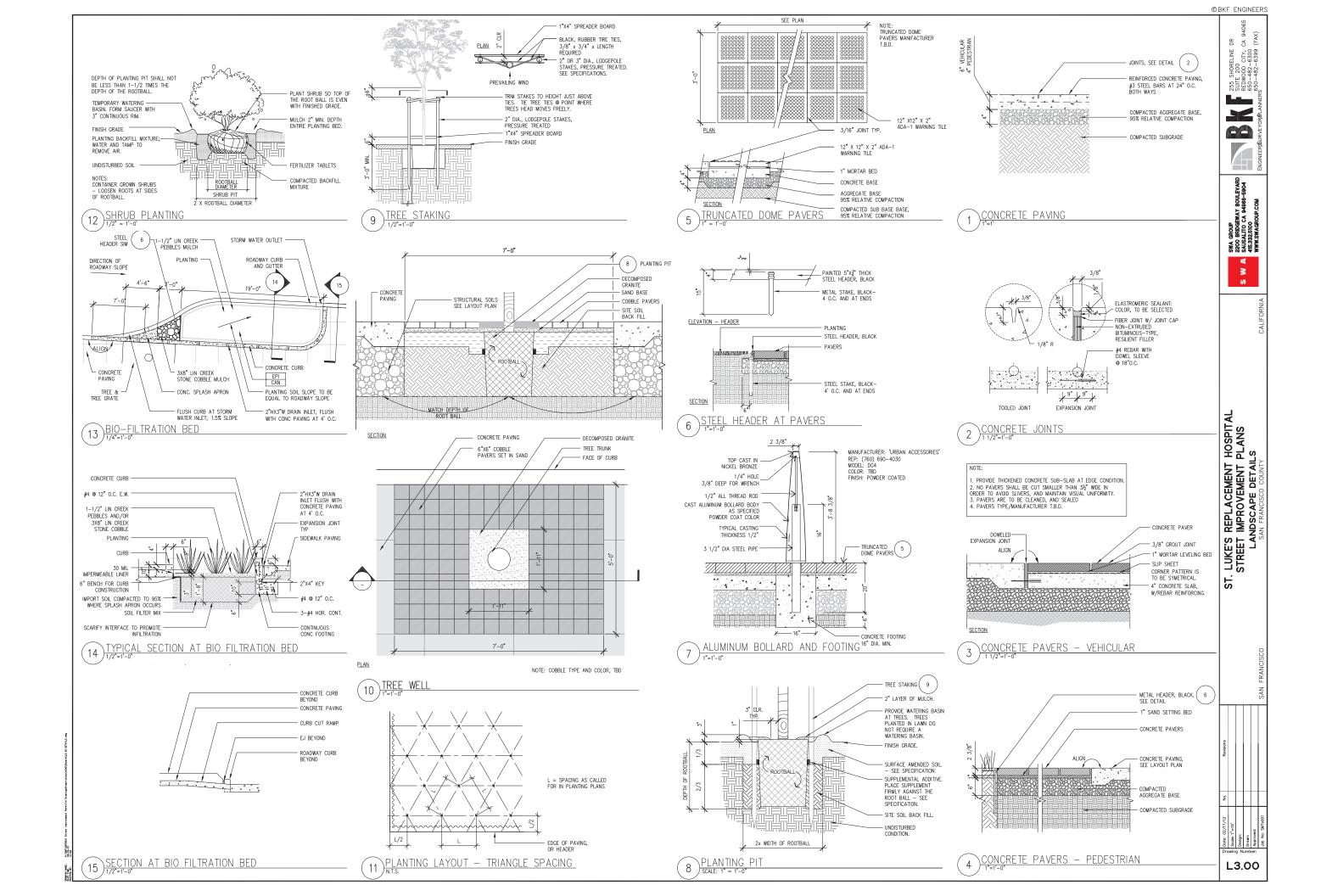


FOR REVIEW 2-17-









California Pacific Medical Center St Luke's Medical Office Building

Conditional Use Permit Application

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SIDEWALK LEGISLATION PLAN

PROJECT DESCRIPTION

The proposed St Luke's Medical Office Building is an approximately 201,000-sq.-ft., five-story building, including medical office space, retail and education/conference space, and parking on four below-ground levels including approximately 220 parking spaces, with vehicular access to the underground parking garage from Cesar Chavez and Valencia Streets

The primary pedestrian access is Cesar Chavez and the vehicular drop off is on the first floor inside the garage. The MOB is connected to the adjacent hospital through the conference spaces

TREE PROTECTION PLAN

All existing trees to remain are to be protected per the Tree Survey and Protection Plan prepared by Consulting Arborist, Roy C Leggitt with Tree Management Experts, dated October 28, 2011. Recommendations Include but are not limited to the following:

Pre-Construction Requirements:

Nesting Survey Requirement: The Federal Migratory Bird Treaty Act of 1918 Nesting Survey Requirement: The Federal Migratory Bird Treaty Act of 1916 prohibits the taking or destroying of any bird, part, nest or eggs. To comply with this law, tree pruning and removal activities should not occur during bird nesting season. As noted in the Presidio of San Francisco Vegetation Management Plan of 2001, most bird species breed and nest between February and August 15, A qualified blologist must evaluate the site prior to tree work during this timefram o determine the presence of active or inactive nests, and give recommendation

Clearance Pruning: It is preferable to remove branches using clean cuts rathe than to break them with equipment. The survey indicates which trees should be pruned to a street clearance height of 14 feet. Where minimal pruning is indicated, prune as little as possible, tying branches out of the way as an alternative to making excess cuts. Until branches when work is complete in tha

A qualified ISA-Certified Arborist must carry out all pruning in accordance with ANSI A300 Pruning Standards and must comply with City of San Francisco
Pruning Standards, available from the San Francisco Department of the
Environment at http://www.sfenvironment.org/our_programs/ Complete
clearance pruning before any construction activities beneath the tree commence. Monterey Pines (Pinus radiata) should be pruned only from November through

Tree Removals: Remove all trees recommended and approved for removal before construction begins. If trees cannot be removed before the start of the project, they must be protected and alternate means of construction will be project, they must be protected and attermate means of construction with the required. Working around trees without taking the protection measures indicated in this report may create hazard trees and decrease the safety of this project. Monterey Pines (Pinus radiata) should be removed during November through February and the stumps ground out to minimize bark beetle activity that will harm trees of the same species that remain.

Establishment of Tree Protection Zones (TPZs): Establishing and fencing off the TPZ is vital to tree preservation. Protecting the TPZ prevents damage t roots, branches and trunk, and protects solf from compaction. The optimal TPZ is a round area with a radius equivalent to 10 or 12 times the trunk diameter, depending on the tree species, root confinement and solf type. A TPZ of this size is best to preserve both health and structure of the tree.

Instal TPZ fencing in a particular area before work commences. Work within the TPZ Is possible, but must be done differently than work outside the TPZ. Do not operate equipment, store materials or park vehicles within the TPZ. Have the Project Arborist on site for any work within the TPZ. Remove TPZ fencing only for the necessary work and replace it immediately thereafter. Keep TPZ fencing up until construction activities in that area are complete. Because the project is multi-phased, TPZ fending or which are the project is multi-phased, TPZ fending may be removed when one phase is complete and re-installed at a later date. The exact timeline for installing and removing TPZ fencing for each tree must be established as part of the timing for construction

To enclose trees in the landscape, use 6-foot high chain link fencing, supported by 1-1/2 or 2-Inch Iron plpe, spaced no more than 10 feet apart. Drive the fence posts at least 24 inches into the ground. On the St. Luke's campus, it is not ssible to fence off the optimal TPZ for each tree. Follow the recommendations for TPZ fencing in the section titled "Tree Protection by Area."

rotect street trees, the existing pavement forms an effective root buffer, so TPZ fencing is not necessary. Instead, wrap the trunk to prevent injury and cover the tree wells with plywood covers to prevent soil compaction and toxic runoff from getting into the soil. For the trunk protection, wrap the trunk a minimum of 3 these with orange plastic snow fencing. Place 2 x 4 planks edge-to-edge with the wide side against the trunk so that the trunk is covered. Wrap the planks a minimum of 3 times with the snow fencing and secure. Cover the tree wells with 3/4-inch plywood. Covers should form a square or rectangle that is a few inches larger than the tree well on all 4 sides, with a dircle cut out of the middle for the trunk. The open area for the trunk should be a minimum 1 inch away from the trunk, and a maximum of 3 inches. Attach the plywood to the sidewalk so that it

Preservation Requirements during Construction

Project ArborIst Requirement: Successful tree preservation depends on Project Arborist involvement throughout the project, including the landscaping phase. Trees are living things and they react to the changes around them. The Project ArborIst provides the following vital

- To be on site whenever there is work within the TPZ radius of a protected tree or within TPZ fencing. We will advise contractors or subcontractors to minimize Impacts to trees, and will either perform or supervise root pruning.

 Review plan changes or additional plans not included in this report for additional
- . Provide monthly inspections of protected trees, especially the Landmark Tree, and to • Involve monitory includes a design and make additional recommendations for preservation.

 • Inspect protected trees at 6 months and 12 months after the project is completed and make recommendations for their ongoing care.

Air/Water Excavation: The TME Arborist Report of May 17, 2010, excerpted in

Excavating trenches with equipment destroys roots. Hand excavation is slow and can also damage roots. Directional boring can damage unseen roots. Excavating the trench using air or water tools preserves roots, moves soil quickly, and allows the arborist to using an orwater tools preserves roots, moves son quakry, and allows the abouts to see the roots and make the best decision. Use air or water excavation for utility work on Duncan Street, around the Landmark Tree on Valencia, on San Jose Avenue, and north

Selective Root Pruning: Once roots are exposed using air or water excavation, the Project Selective Root Prinning: Once roots are exposed using air of water excavation, the Project Arbortst will inspect roots and determine which roots should remain and bridge the trench and which can be removed. Root pruning must be done cleanly with a sharp tool, under the direction of or by the Project Arbortst.

Existing Pavement as a Root Buffer: The existing paved areas are protecting roots from Existing Pavement as a Not Burner. The existing pavement is removed, the exposed area with the TPZ radius should be fenced off and protected as described in this report. Staging: Stage materials on paved areas and outside of TPZ fencing. Irrigation: Protected trees should be maintained on their normal irrigation schedule throughout the project. Certain rees that sustain root losses may benefit from increased irrigation, as recommended by the



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ST LUKE'S MEDICAL **OFFICE BUILDING**

ARCHITECT

SMITHGROUP

301 Battery Street, 7th Floor San Francisco, CA 94111

T 415.227.0100 F 415.908.0862 www.smithgroup.con

ASSSOCIATE ARCHITECT

Boulder Associates, Inc. 5 third St, Suite 430 San Francisco,

STRUCTURAL ENGINEER

Degenkolb Engineers 300 Frank H. Ogawa Plaza Oakland, CA 94612

MECHANICAL ENGINEER

Southland Industries

7421 Orangewood Ave Garden Grove, CA 92841 714.901.5800

ELECTRICAL ENGINEER

Silverman & Light 1201 Park Avenue, Suite 100

CIVIL ENGINEER

255 Shoreline Drive, Suite 200 Redwood City, CA 94065 510,272,9040

LANDSCAPE ARCHITECT

SWA

2200 Bridgeway Boulevard Sausalito, CA 94966 415.332.5100

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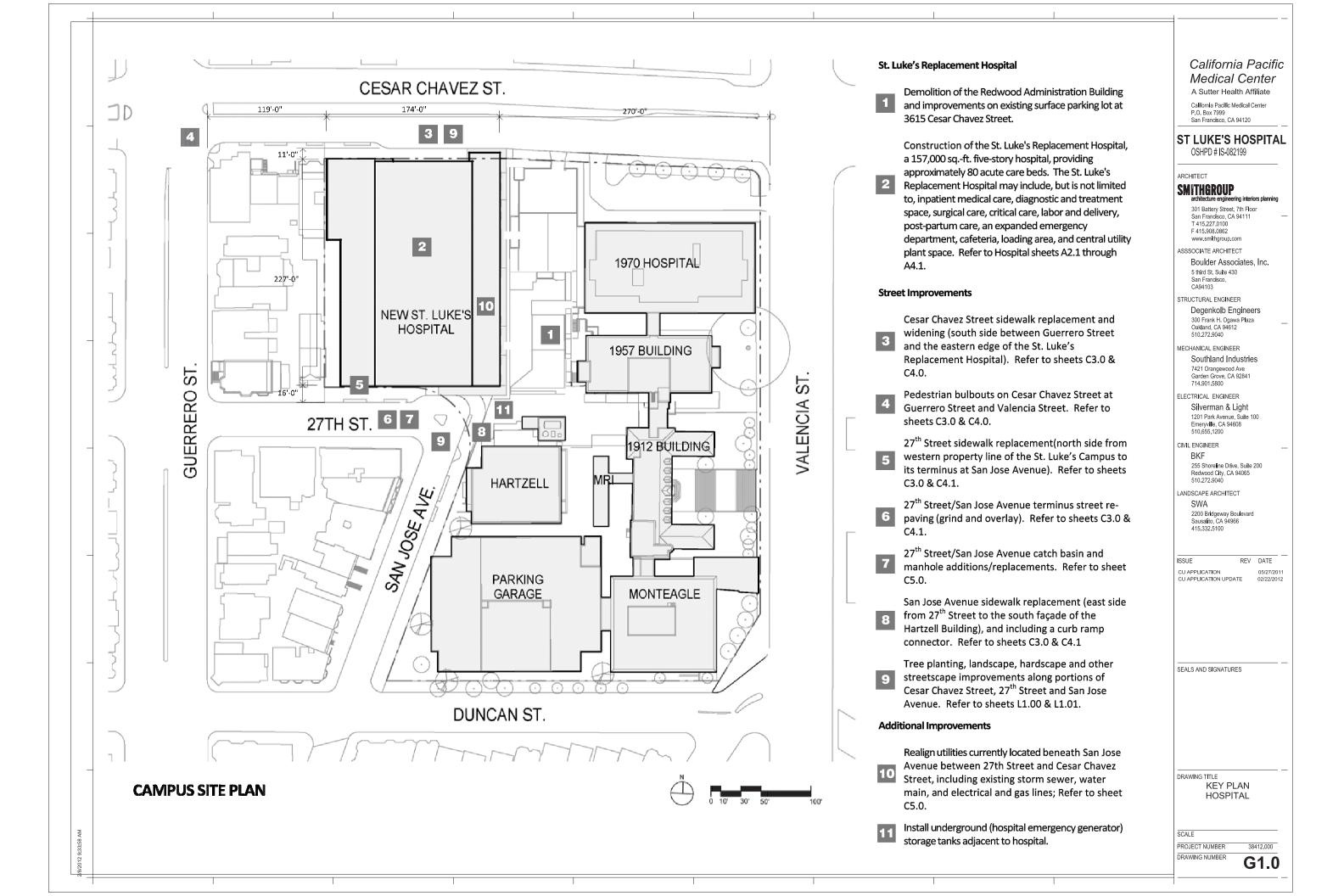
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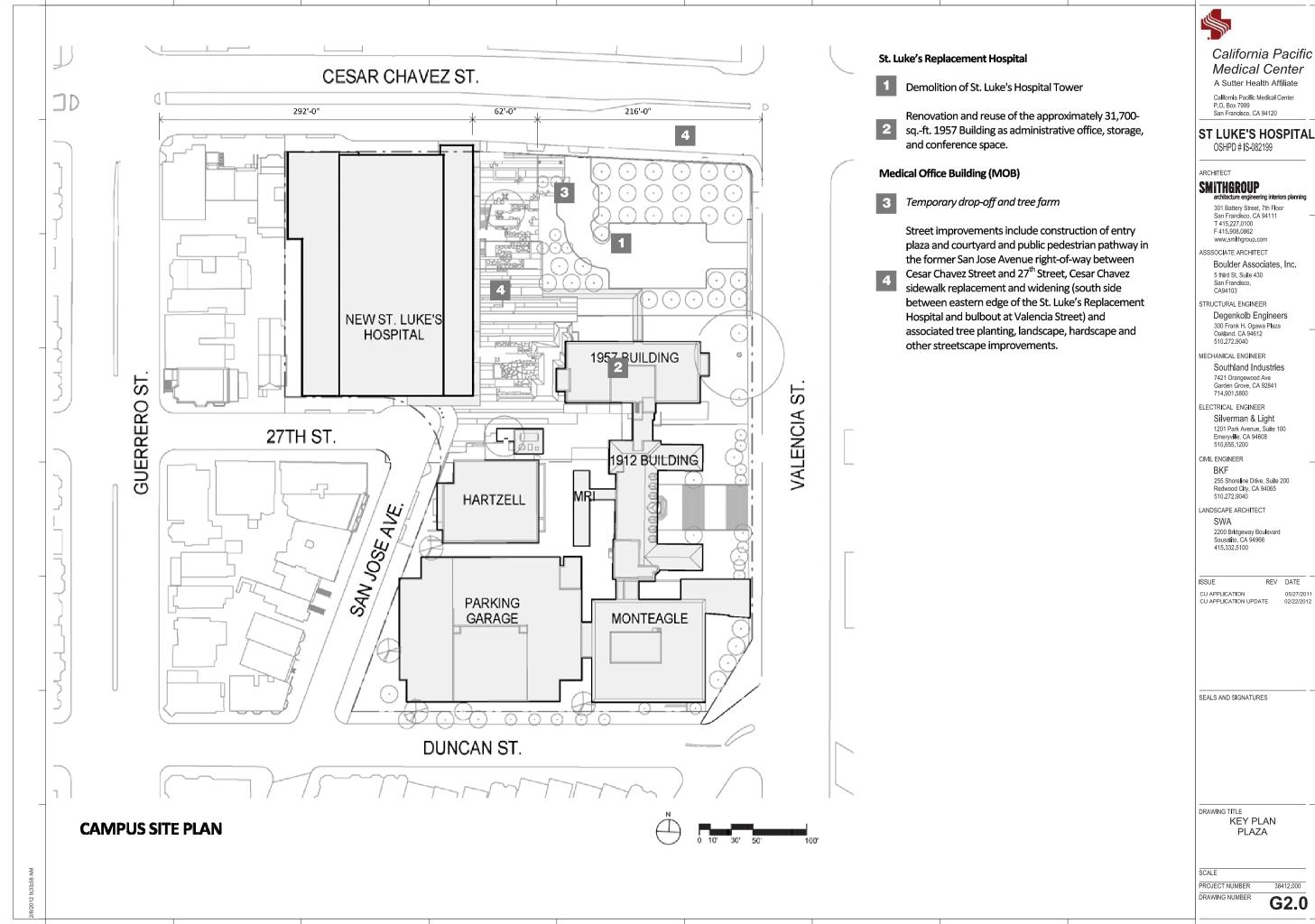
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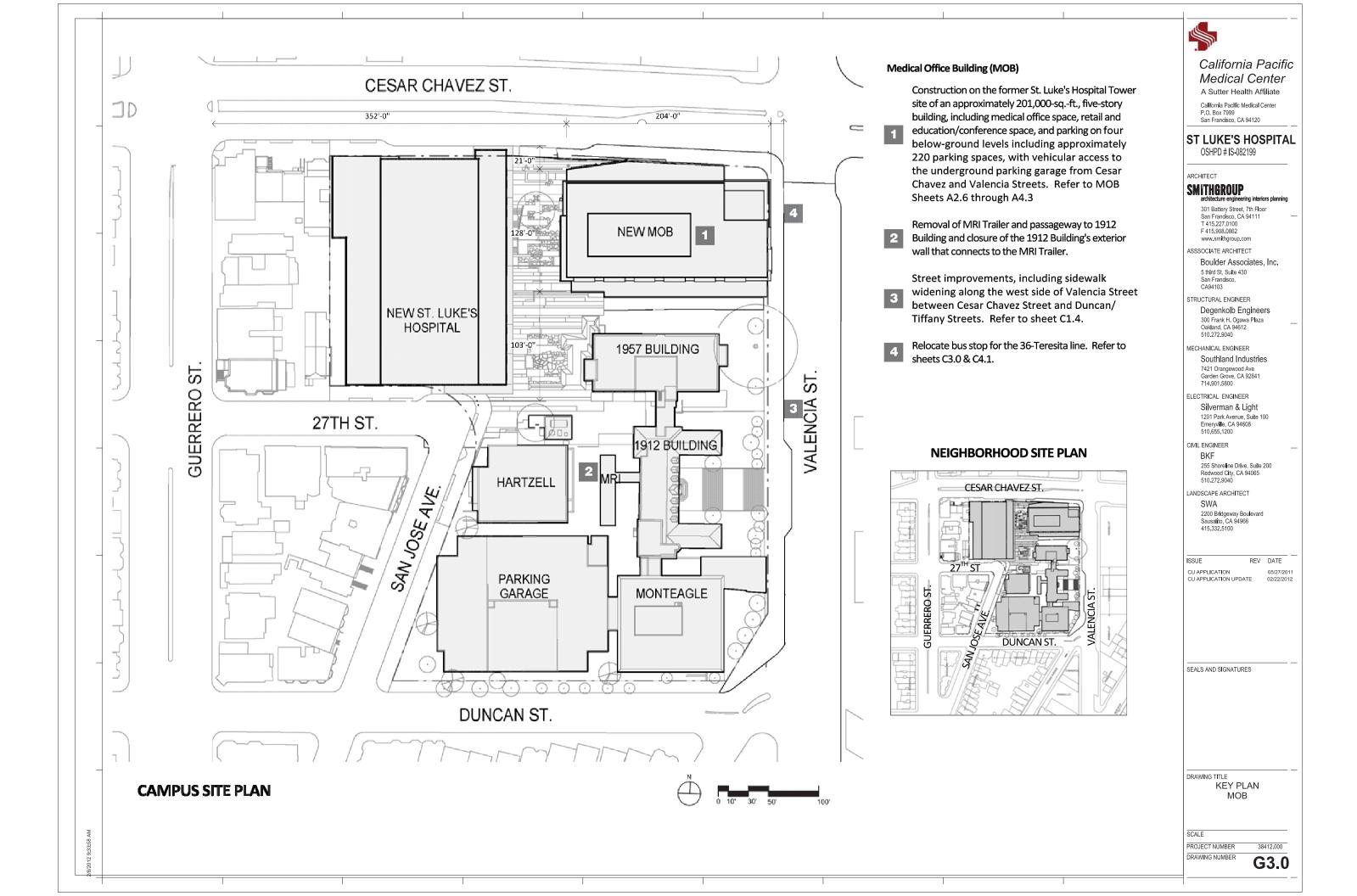
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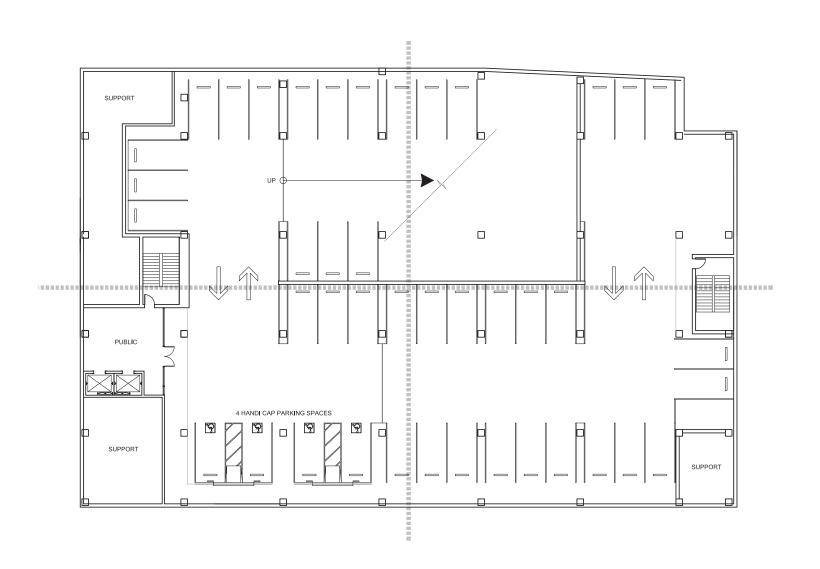
COVER SHEET & SHEET INDEX

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PARKING FLOOR PLAN LEVEL P4
-- | A2.6 1/4"= 1'-0"



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MEDICAL OFFICE BUILDING

ARCHITECT

SMITHEROUP

architecture engineering interiors planning
301 Battery Street, 7th Floor
San Francisco, CA 94111
17415,227,0100
17415,980,0862
www.smithgroup.com

SSOCIATE ARCHITECT Boulder Associates, Inc.

TRUCTURAL ENGINEER

Degenkolb Engineers 235 Montgomery Street, Sulte 500 San Francisco, CA 94104 415.392.6952

MECHANICAL ENGINEER

Southland Industries

7421 Orangewood Avenue Garden Grove, CA 92841 714.901.5800 CTRICAL ENGINEER

Silverman & Light 1201 Park Avenue, Sulte 100 Emeryville, CA 94608 510.655.1200

CIVIL ENGINEER **BkF**

255 Shoreline Drive, Sulte 200 Redwood City, CA 94065 510.272.9040 ANDSCAPE ARCHITECT

SWA

2200 Brldgeway Boulevard Sausallto, CA 94966 415.332.5100

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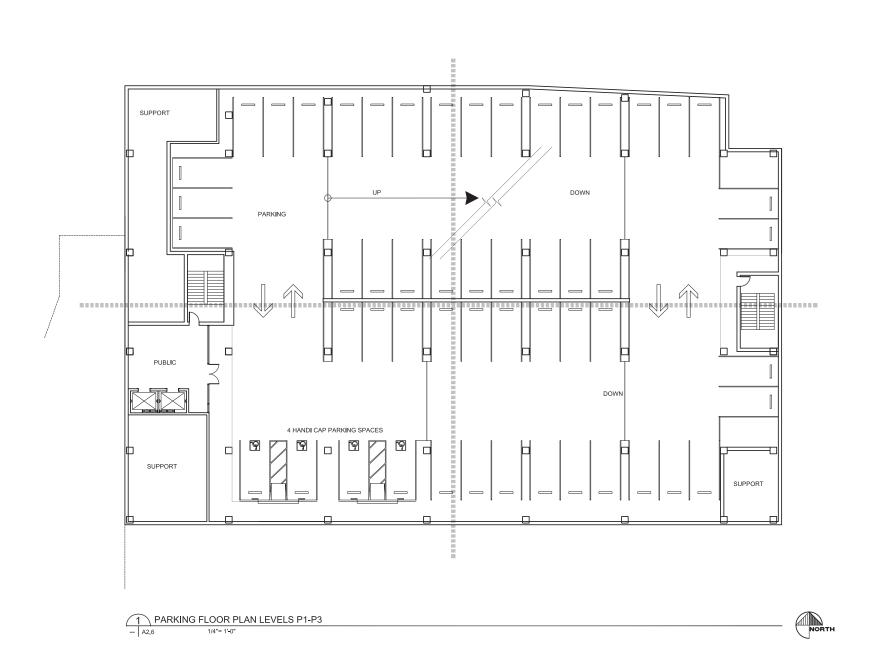
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DRAWING TITLE
MOB LEVEL P4
PARKING FLOOR
PLAN

PROJECT NUMBER DRAWING NUMBER

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MEDICAL OFFICE BUILDING

ARCHITECT

SMITHEROUP

architecture engineering interiors planning
301 Battery Street. 7th Floor
San Francisco, CA 94111

T 415.227,0100

F 415.980.0862

www.snilliproup.com

SOCIATE ARCHITECT

Boulder Associates, Inc.

TRUCTURAL ENGINEER

Degenkolb Engineers 235 Montgomery Street, Sulte 500 San Francisco, CA 94104 415.392.6952

CHANICAL ENGINEER
Southland Industries

7421 Orangewood Avenue Garden Grove, CA 92841 714.901.5800

Silverman & Light
1201 Park Avenue, Sulte 100
Emeryvlle, CA 94608
510.655.1200

IVIL ENGINEER

255 Shoreline Drive, Sulte 200 Redwood City, CA 94065 510.272.9040

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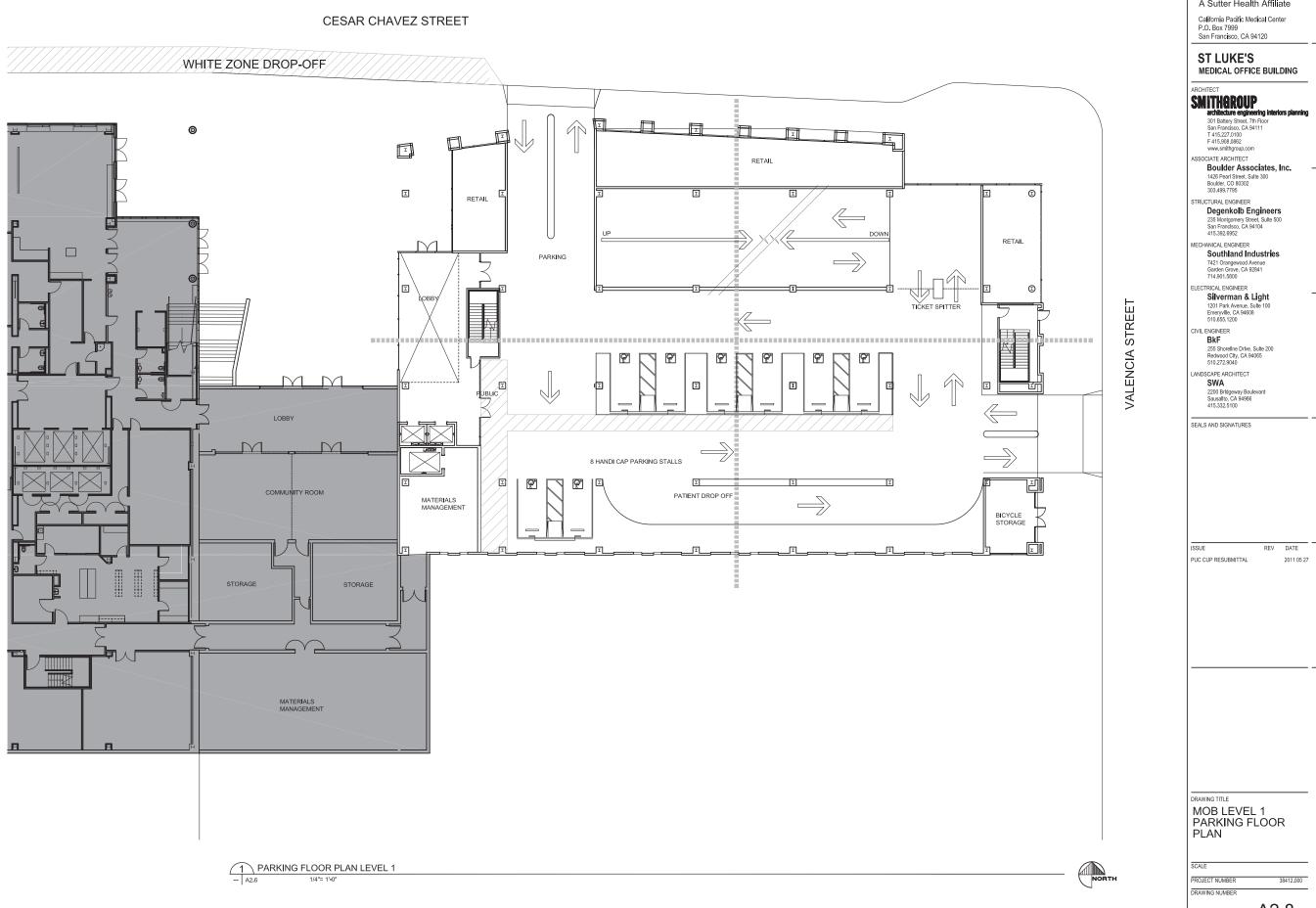
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PARKING FLOOR
PLAN

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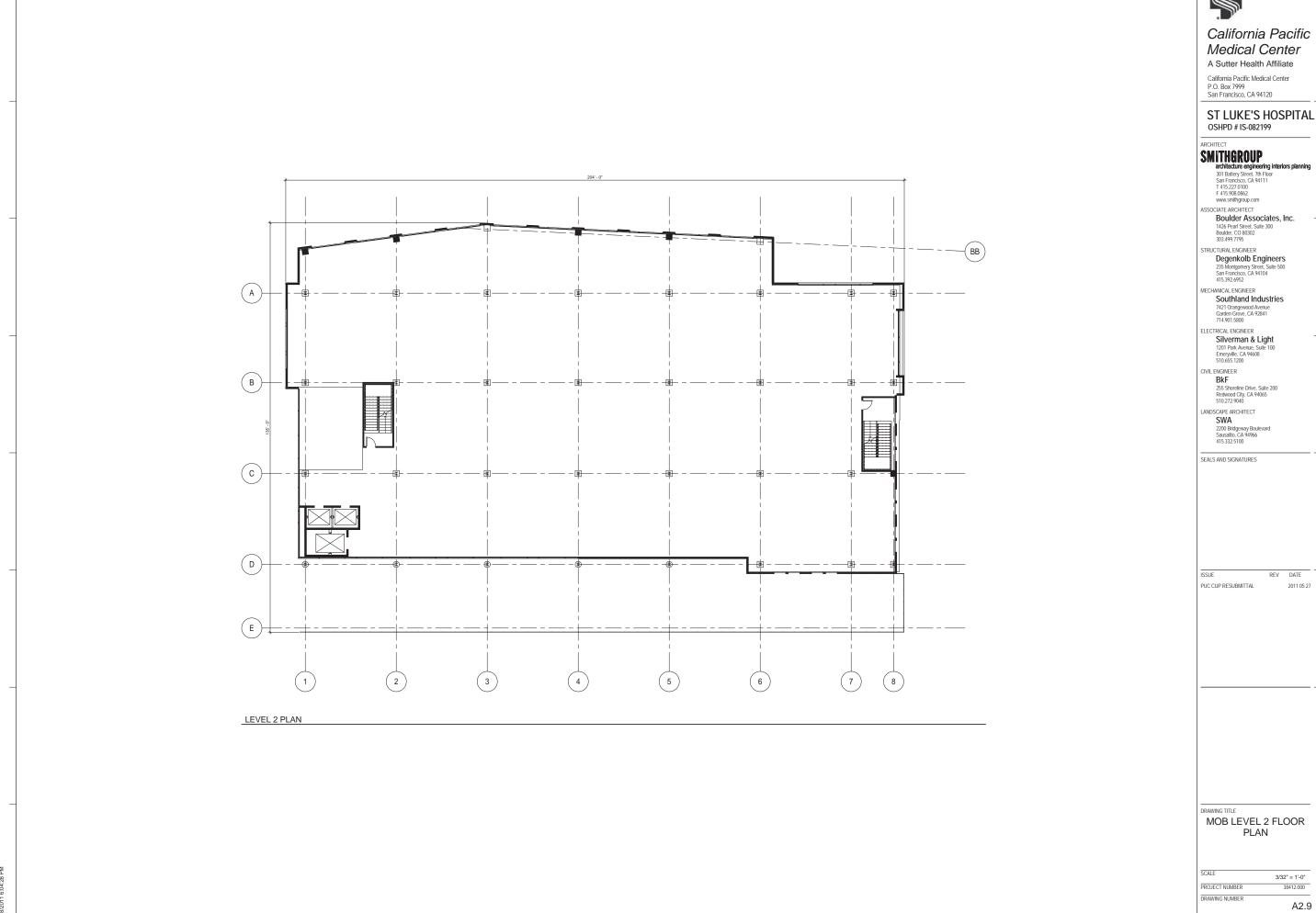




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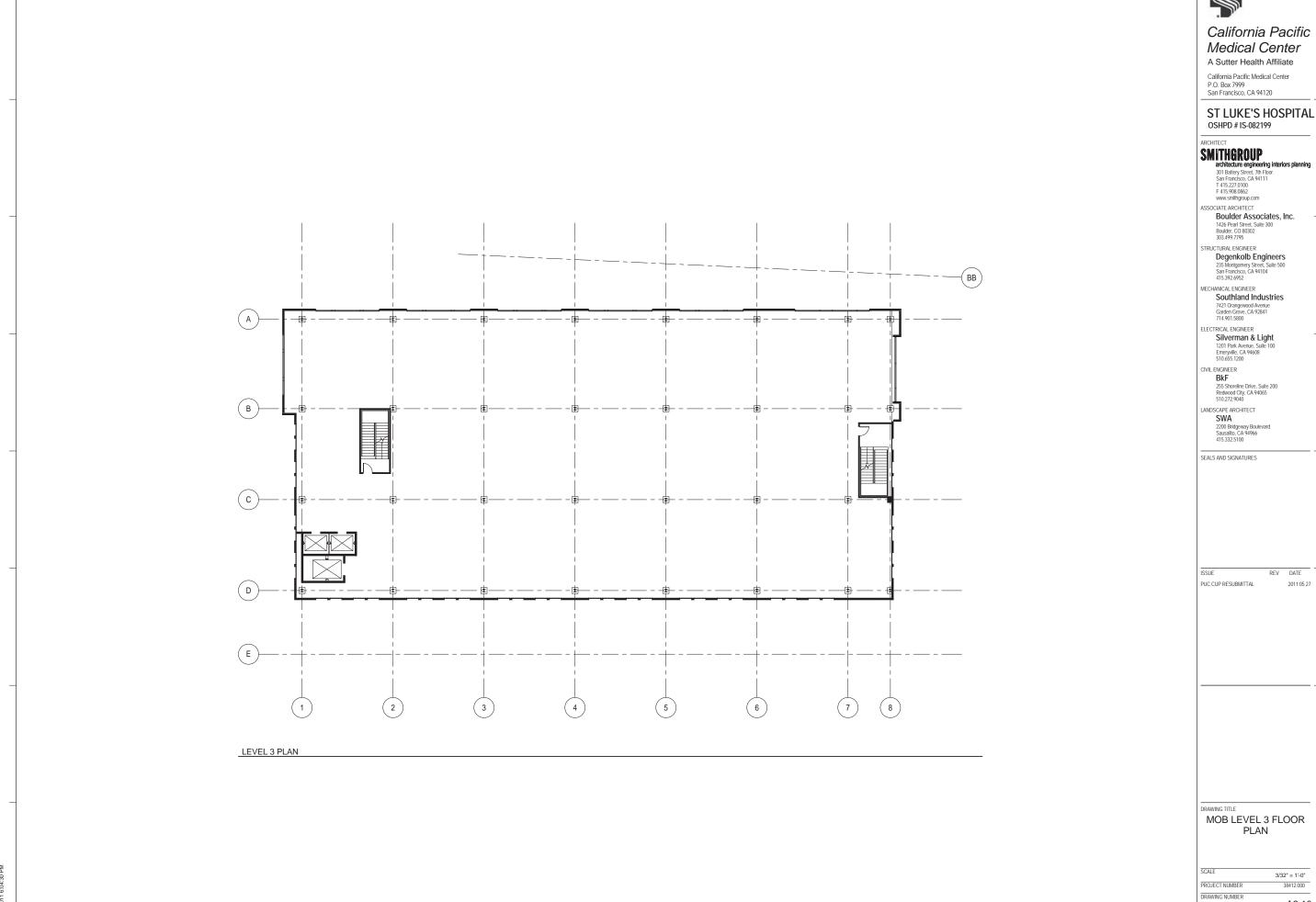
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PLAN

3/32" = 1'-0" 38412.000

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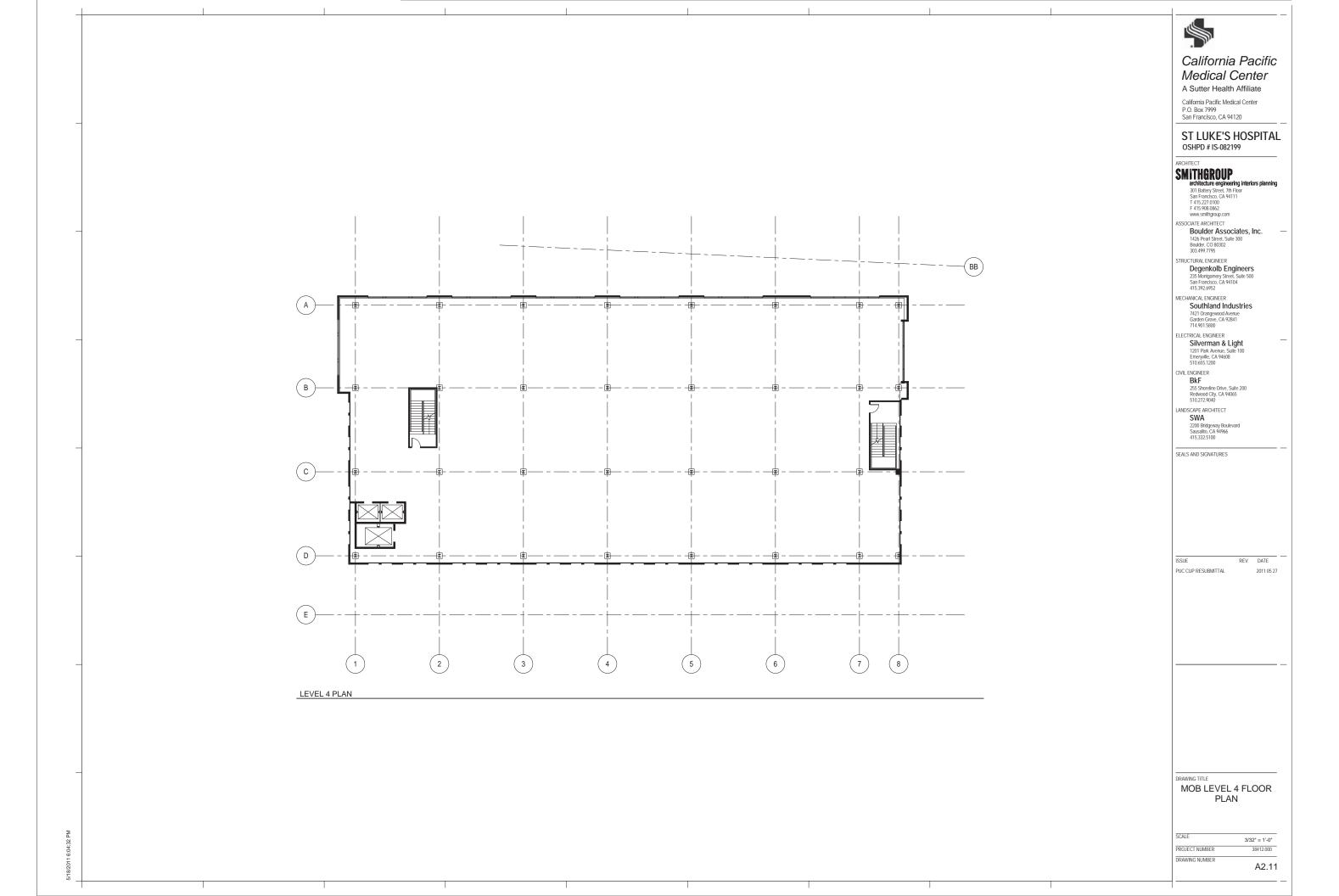
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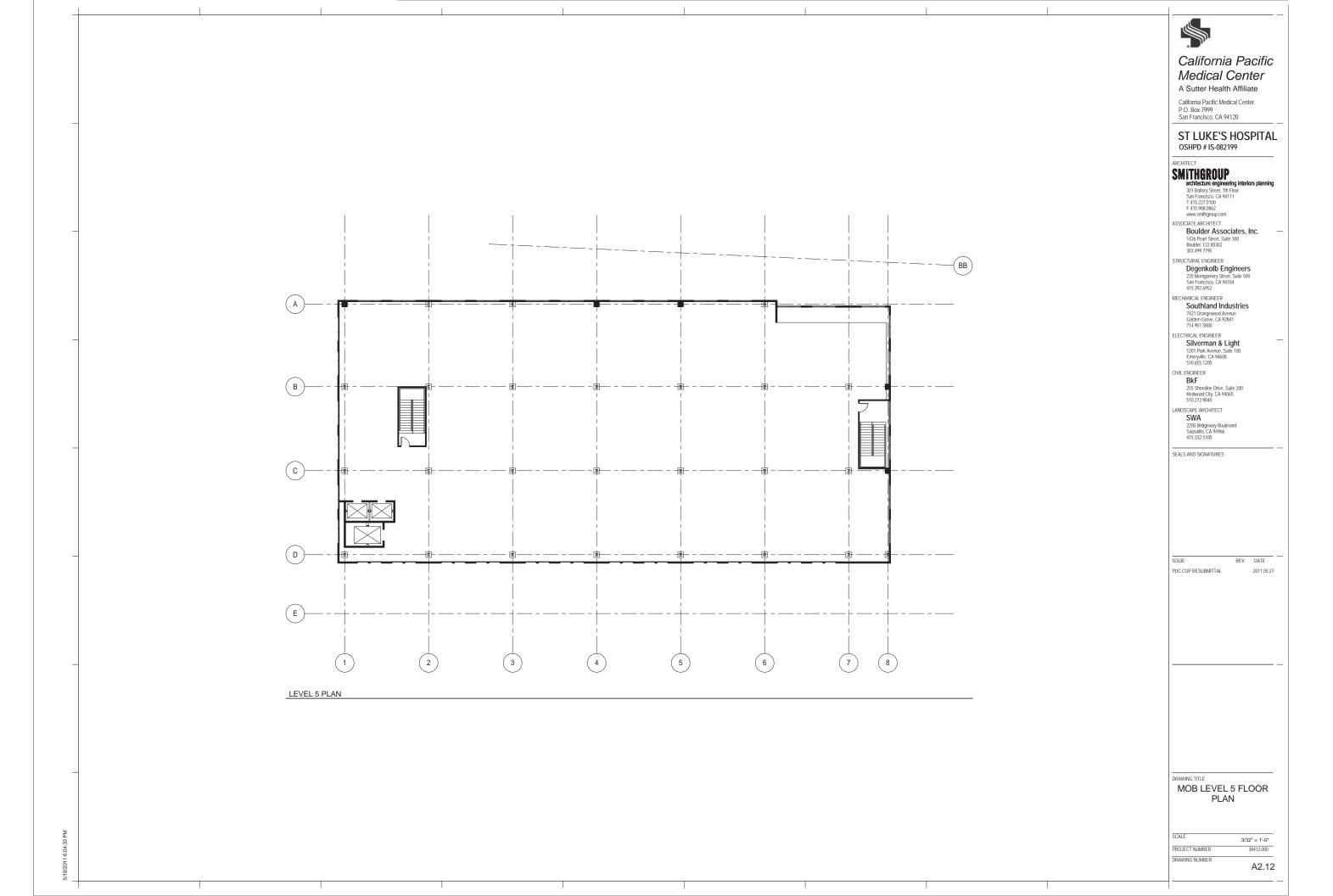
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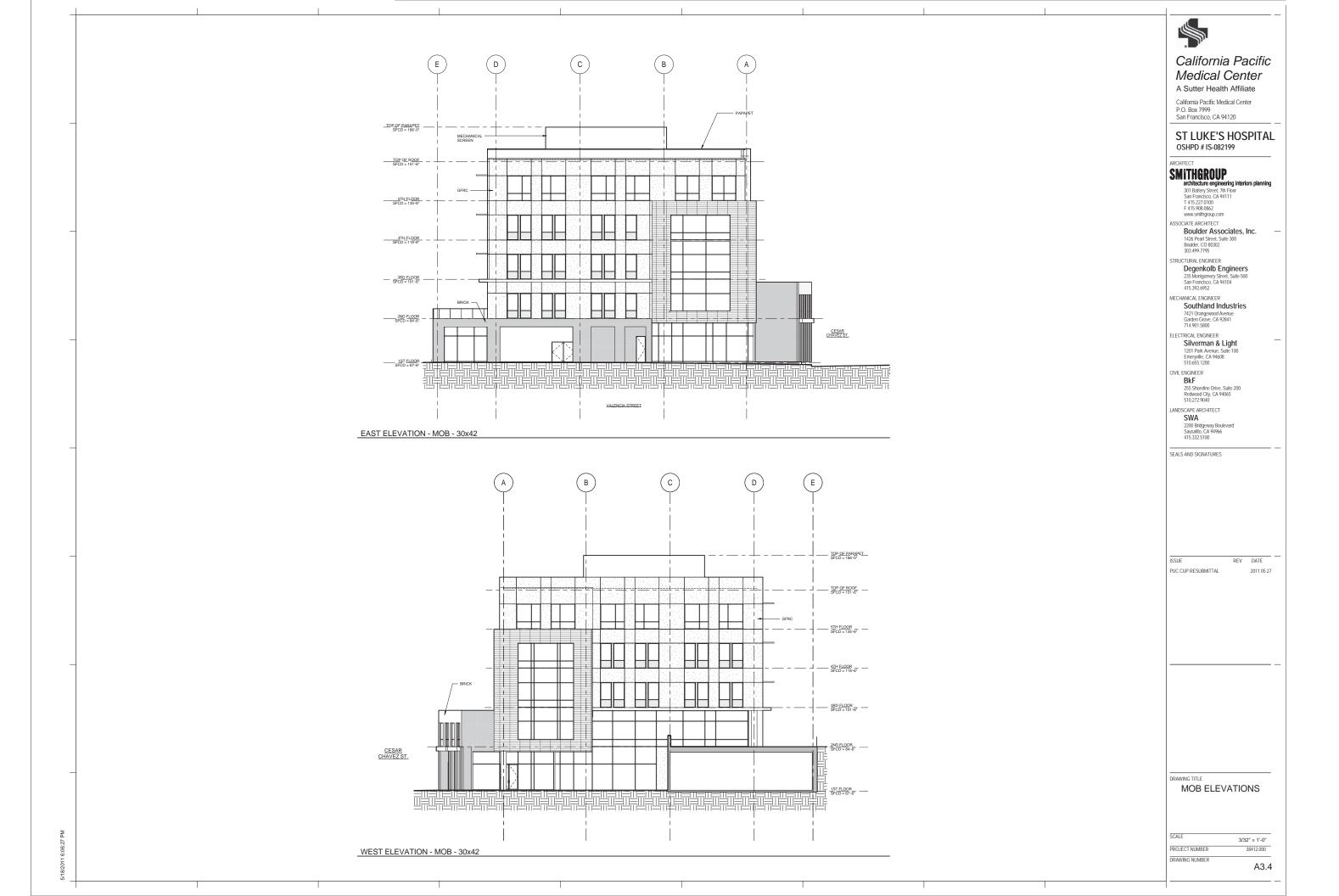
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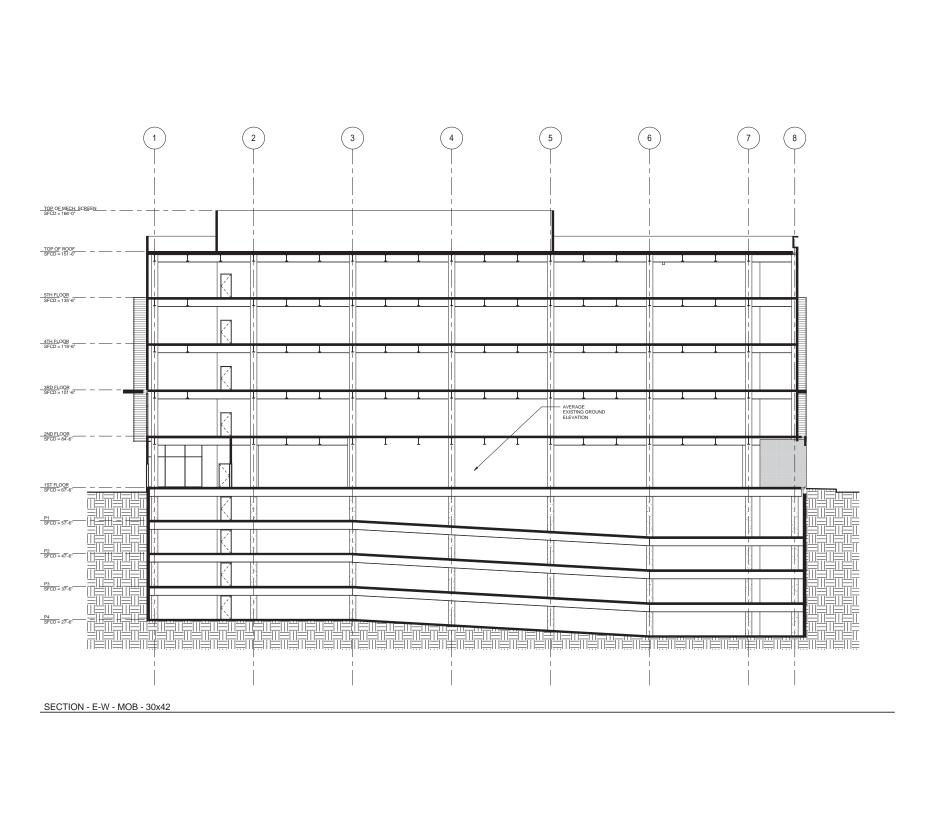
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California Pacific Medical Center P.O. Box 7999 San Francisco, CA 94120

ST LUKE'S HOSPITAL OSHPD # IS-082199

ARCHITECT

SMITHGROUP
architecture engineering interiors planning
301 Battery Street, 7th Floor
San Francisco, CA 94111
T 415 227 0100
F 415 908 0862
www.smithgroup.com

ASSOCIATE ARCHITECT

Boulder Associates, Inc. 1426 Pearl Street, Suite 300 Boulder, CO 80302 303.499.7795

STRUCTURAL ENGINEER

Degenkolb Engineers 235 Montgomery Street, Suite 500 San Francisco, CA 94104 415.392.6952

MECHANICAL ENGINEER
Southland Industries

ELECTRICAL ENGINEER

Silverman & Light 1201 Park Avenue, Suite 100 Emeryville, CA 94608 510.655.1200

CIVIL ENGINEER **BkF**

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2200 Bridgeway Boulevard Sausalito, CA 94966 415.332.5100

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MOB SECTIONS

3/32" = 1'-0" PROJECT NUMBER 38412.000 DRAWING NUMBER

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