



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: DECEMBER 18, 2014

CONSENT CALENDAR

Date: December 11, 2014
Case No.: **2014.1421C**
Project Address: **80 MISSOURI STREET**
Zoning: UMU (Urban Mixed Use)
48-X Height and Bulk District
Block/Lot: 3951/005
Project Sponsor: Larry Badiner
95 Brady Street
San Francisco, CA 94103
Staff Contact: Esmeralda Jardines – (415) 575-9144
Esmeralda.Jardines@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
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415.558.6378

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415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The project proposes to establish a gymnasium of up to 6,600 square feet (d.b.a. Fitness Urbano), at 80 Missouri Street. The existing space is currently vacant and underutilized. The proposal includes minor interior tenant improvements such as new restrooms, studio and exercise areas but no change to the size is proposed.

Fitness Urbano was founded as a San Francisco business in October 2013. Fitness Urbano is a mid-size specialty gymnasium that focuses heavily on the needs of personal trainers and their clients. Fitness Urbano hopes to provide space to accommodate truly personalized workouts for its patrons. It will also provide group training classes as well as monthly memberships and related services. New disabled-accessible lockers and showers will be provided along with complimentary coffee, tea and fruit bar. Fitness Urbano is independently owned and operated, which has been encouraged throughout San Francisco. The proposed use is not a Formula Retail use.

SITE DESCRIPTION AND PRESENT USE

The project is located on the western side of Missouri Street, on the northwest corner of the intersection with 17th Street, Block 3951, Lot 005. The property is located within the UMU (Urban Mixed Use) District with 48-X height and bulk district. The property is developed with a mix of uses including a ground floor warehouse (the tenant space) with mezzanine and two live/work units on the second floor within a two-story building, and a height of approximately 18 feet. The live/work units on the second floor are under a separate tenancy and unrelated to the warehouse. Permit records show that the space was constructed as a warehouse; however, it has subsequently been occupied by a commercial printing company and an

event space. The space has approximately a 75 foot frontage along Missouri Street. The space has been vacant since May 2014.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The blocks surrounding the project site include a wide range of building types, heights, and uses typically found in a UMU zoning district; including residential uses. The project site is located at the intersection of Missouri and 17th Streets. To the east are the 280 Highway and the San Francisco Bay. To the southwest is Jackson Playground as well as the residential area of Potrero Hill. The project site is located in an UMU District with a vibrant mix of uses. A mixture of warehouses with light manufacturing, live/work lofts, office, and small retail establishments define the district. The surrounding properties are located within the RH-2 (Residential House, Two-Family) and RH-3 (Residential House, Three-Family) as well as PDR-1-D (Production, Distribution & Repair, Design) Districts. The area is meant to serve as a buffer between the residential districts and PDR districts in the Eastern Neighborhoods.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1(a) categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	November 26, 2014	November 26, 2014	20 days
Posted Notice	20 days	November 28, 2014	November 27, 2014	21 days
Mailed Notice	20 days	November 28, 2014	November 26, 2014	22 days

PUBLIC COMMENT

- The Department has received one inquiry from a member of the public regarding the proposal. Marvis Phillips, the interim Executive Director and Land Use Chair for the Alliance for a Better District 6, expressed his support for the proposed project, to establish a gymnasium at 80 Missouri Street. No other inquiries have been received from the public.

ISSUES AND OTHER CONSIDERATIONS

- The project is compatible with the immediate neighborhood, an area that acts as a buffer between the PDR districts to the north and east and the residential districts to the south and west. The area contains mostly mixed-use buildings with uses including office, retail, housing, and various light industrial uses.
- The proposed gymnasium with a total of up to 6,600 square feet would be required to provide one Class I and 9 Class II bicycle parking spaces. The facility will provide the required bicycle parking spaces. The facility will accommodate 10 bicycle parking spaces in an indoor, enclosed and secured facility.
- The 80 Missouri Street warehouse, previously occupied by an event planning and a commercial printing company, respectively, has been vacant as of May 2014.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant the request pursuant to Planning Code Sections 303 and 843.51 to establish a gymnasium with up to 6,600 square feet (d.b.a. Fitness Urbano), within the UMU District and 48-X Height and Bulk District. The project requires a Conditional Use Authorization for gymnasiums exceeding 4,000 gross square feet.

BASIS FOR RECOMMENDATION

- The project complies with the applicable requirements of the Planning Code.
- The project is consistent with the objectives and policies of both the General Plan and the Showplace Square/Potrero Area Plan.
- The project proposes the conversion of an existing vacant ground floor space with a neighborhood serving use and provides an active storefront in a vacant and underutilized space.
- The proposed project will operate within the existing building envelope and is in keeping with the existing size and scale of uses located in the immediate industrial area.
- The project serves a clientele which is predominantly local.
- The project promotes alternative modes of transportation such as bicycle usage by providing the required bicycle parking spaces in an indoor, enclosed and secured facility.
- The proposed project is a locally owned small business.
- The proposed project is also consistent with the Urban Mixed Use District in that the use adds to the intended vibrant mix of uses for the district while maintaining the characteristics of this formerly industrialized zone.

RECOMMENDATION:	Approval with Conditions
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Attachment Checklist:

- Executive Summary
- Draft Motion
- Zoning District Map
- Parcel Map
- Sanborn Map

- Aerial Photo
- Context Photos
- Project sponsor submittal

Drawings: Existing and Proposed Project

- Check for legibility

Exhibits above marked with an "X" are included in this packet

_____ EJ _____

Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Draft Motion

HEARING DATE: DECEMBER 18, 2014

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303 AND 843.51 OF THE PLANNING CODE TO ESTABLISH A GYMNASIUM WITH UP TO 6,600 SQUARE FEET (D.B.A. FITNESS URBANO) WITHIN THE UMU (URBAN MIXED USE) DISTRICT AND A 48-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On September 16, 2014 Larry Badiner (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Section(s) 303 and 843.51 to allow the establishment of a gymnasium (d.b.a. Fitness Urbano) within the UMU (Urban Mixed Use) District and a 48-X Height and Bulk District.

On December 18, 2014, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2014.1421C.

The Project was determined by the Department to be Categorically Exempt from the California Environmental Quality Act (“CEQA”) as a Class 1a exemption under CEQA Guidelines as described in the determination contained in the Planning Department files for this project. The Commission has reviewed and concurs with said determination.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2014.1421C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the western side of Missouri Street, on the northwest corner of the intersection with 17th Street, Block 3951, Lot 005. The property is located within the UMU (Urban Mixed Use) District with a 48-X height and bulk district. The property is developed with a mix of uses including a ground floor warehouse (the tenant space) with mezzanine and two live/work units on the second floor within a two-story building, and a height of approximately 18 feet. The live/work units on the second floor are under a separate tenancy and unrelated to the warehouse.
3. **Surrounding Properties and Neighborhood.** The project site is located at the intersection of Missouri and 17th Streets. To the east is the 280 Highway and the San Francisco Bay. To the southwest is Jackson Playground. The Project site is located in an UMU District with a vibrant mix of uses. A mixture of warehouses with light manufacturing, live/work lofts, office, and small retail establishments define the district. The surrounding properties are located within the RH-2 (Residential House, Two-Family) and RH-3 (Residential House, Three-Family) as well as PDR-1-D (Production, Distribution & Repair, Design) Districts. The area is meant to serve as a buffer between the residential districts and PDR districts in the Eastern Neighborhoods.
4. **Project Description.** The applicant proposes to establish a gymnasium of up to 6,600 square feet (d.b.a. Fitness Urbano). The existing space is currently vacant and underutilized. The proposal includes minor interior tenant improvements such as new restrooms, studio and exercise areas but no change to the size is proposed.

The proposed use is an independent use and is locally owned, which has been encouraged throughout San Francisco. The proposed use is not a Formula Retail use. The proposal requires a change of use and Section 312-neighborhood notification was conducted in conjunction with the Conditional Use Authorization process. The proposed use is a neighborhood-serving use.

Fitness Urbano was founded as a San Francisco business. Fitness Urbano is a mid-size specialty gymnasium that focuses heavily on the needs of personal trainers and their clients. Fitness

Urbano hopes to provide space to accommodate truly personalized workouts for its patrons. It will also provide group training classes as well as monthly memberships and related services.

5. **Public Comment.** The Department has received one inquiry from a member of the public regarding the proposal. Marvis Phillips, the interim Executive Director and Land Use Chair for the Alliance for a Better District 6, expressed his support for the proposed project, to establish a gymnasium at 80 Missouri Street. No other inquiries have been received from the public.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Retail Sales and Services Controls in the UMU District.** In the UMU district, up to 4,000 gross square feet (gsf) of gymnasium use are permitted as defined in Planning Code Section 843.51. A Conditional Use (CU) authorization is required when exceeding 4,000 gross square feet in size.

The project proposes the conversion of a vacant ground floor space of up to 6,600 square feet into a gymnasium, d.b.a. Fitness Urbano. The proposed use is neighborhood serving and provides an active storefront in a vacant and underutilized space.

- B. **Parking.** Planning Code Section 151.1 does not require off-street parking for any use located within the UMU District.

The proposed use will provide one off-street parking space within the garage for employees, though it is not required by the San Francisco Planning Code.

- C. **Bicycle Parking.** Planning Code Section 155.2 requires bicycle parking for any personal service use. For personal service use, one Class I space for every 7,500 square feet of occupied floor area and one Class II space for every 750 square feet of occupied floor area with a minimum of two spaces are required.

The proposed project to establish a gymnasium (personal service), with up to 6,600 square feet, would require one Class I space and nine Class II spaces be provided. The proposed project will provide the required bicycle parking.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The project site is located between the residential area of Potrero Hill and the more industrial areas north of 16th Street. The surrounding area was planned for a moderately dense mix of uses. Much of

the district is mixed-use in character. The area is home to a unique mixture of activities which includes PDR businesses, as well as offices, housing, retail and other uses. The proposed project is desirable because it would occupy a vacant space and provide an active storefront for a use that has proven desirable and appropriate for the City and similar neighborhoods. Furthermore, the project serves a predominately local clientele. The project is compatible with the immediate neighborhood, an area that acts as a buffer between the residential districts and PDR districts in the Eastern Neighborhoods. The gymnasium will complement the mix of goods and services currently available in the district and contribute to the economic vitality of the neighborhood by occupying a vacant storefront.

The scale of the project is relatively modest, at only 6,600 square feet, in terms of full fitness facilities; and the project does not propose an expansion to the existing building envelope. The proposed gymnasium is not expected to impact traffic or parking in the district as the facility can be accessed by transit and will provide bicycle parking.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will remain the same. The project will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope. The proposed work is an interior tenant improvement.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking or loading for a 6,600 square-foot gymnasium within an Urban Mixed Use District. The Eastern Neighborhoods Plan Areas have generally eliminated minimum off-street parking requirements in new commercial developments, while continuing to permit reasonable amounts of parking, if desired. The proposed use is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide.

The project site is located near MUNI Lines 10 and 22. Bicycle use is also a desirable alternative to the automobile as a means of urban transportation in San Francisco. It can successfully be used for most transportation needs, including commuting, shopping, errands, and recreation. Bicycle use is a practical and economical transportation alternative which produces no emissions or noise. The project proposes interior bicycle parking spaces to accommodate up to 10 spaces, the amount required.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The gymnasium operation is not expected to generate noxious or offensive emissions such as noise, glare dust and odor. The gymnasium would be located within a mixed use area with prominent light industrial uses, and would operate within enclosed building walls.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The project does not propose an expansion to the existing building shell nor any changes to the exterior façade.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purposes of the UMU District in that the intended use is located at the ground floor and will provide a compatible convenience service for the immediately surrounding neighborhoods. The project does not fall within a Neighborhood Commercial District.

- 8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The proposal will provide a necessary and desirable service to both the immediate and surrounding neighborhoods by providing a facility for recreational fitness. The proposed project is also consistent with the UMU District in that the use adds to the intended vibrant mix of uses for the district while maintaining the characteristics of this formerly industrialized zone.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The Project will reuse and retain the existing building while providing an establishment of a commercial activity that will enhance the diverse economic base of the City. The proposed gymnasium will occupy a currently vacant space.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No commercial tenant would be displaced as currently the space in question is vacant, and the project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood. The proposed use is the only gymnasium in the immediate vicinity further diversifying the mix of uses within the building and the neighborhood at large.

Policy 6.2:

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

The proposed use is a neighborhood serving use and is not a Formula Retail use. Fitness Urbano is a small business enterprise with a unique design that encourages entrepreneurship. The proposed facility is responding to a continued demand for a diverse mix of uses including gymnasium facilities, while maintaining the basic physical character of the building as the building footprint will remain unchanged.

TRANSPORTATION ELEMENT

Objectives and Policies

OBJECTIVE 1:

MEET THE NEEDS OF ALL RESIDENTS AND VISITORS FOR SAFE, CONVENIENT AND INEXPENSIVE TRAVEL WITHIN SAN FRANCISCO AND BETWEEN THE CITY AND OTHER PARTS OF THE REGION WHILE MAINTAINING THE HIGH QUALITY LIVING ENVIRONMENT OF THE BAY AREA.

Policy 1.3:

Give priority to public transit and other alternatives to the private automobile as the means of meeting San Francisco's transportation needs, particularly those of commuters.

The project site is located near MUNI Lines 10 and 22. Bicycle use is a desirable alternative to the automobile as a means of urban transportation in San Francisco. It can successfully be used for most transportation needs, including commuting, shopping, errands, and recreation. Bicycle use is a practical and economical transportation alternative which produces no emissions or noise. In addition, each bicycle user enjoys health benefits through increased physical activity. The project proposes bicycle parking spaces to accommodate up to 10 spaces.

SHOWPLACE SQUARE/POTRERO HILL

LAND USE

OBJECTIVE 1.1:

ENCOURAGE THE TRANSITION OF PORTIONS OF SHOWPLACE / POTRERO TO A MORE MIXED USE AND NEIGHBORHOOD-SERVING CHARACTER, WHILE PROTECTING THE CORE OF DESIGN-RELATED PDR USES.

Policy 1.1.3:

Allow for active ground floor uses and a more neighborhood commercial character in newly designated mixed use areas within Showplace Square.

Policy 1.1.4:

Permit and encourage greater retail use on the ground floor on parcels that front 16th Street to take advantage of transit service and encourage more mixed uses, while protecting against the wholesale displacement of PDR uses.

The proposed project would convert a vacant space into a gymnasium that would allow for an active ground floor use and further enhance the neighborhood commercial character of the district. The proposed project's vicinity to 16th Street would take advantage of the nearby transit and encourage more mixed uses.

ECONOMIC DEVELOPMENT

OBJECTIVE 6.1:

SUPPORT THE ECONOMIC WELLBEING OF A VARIETY OF BUSINESSES IN THE EASTERN NEIGHBORHOODS

Policy 6.1.3:

Provide business assistance for new and existing small businesses in the Eastern Neighborhoods.

Per the definition of a small business within the Showplace Square/Potrero Area Plan, Fitness Urbano is considered a small business as it is made up of less than 100 employees. Per this area plan, small business assistance is important because small businesses represent a significant and growing portion of the city economy. They account for over 95% of the companies in San Francisco and one out of every three jobs. The growth of small businesses has created an alternative to salaried employment for many San Francisco residents, with the potential to address the city's high rates of asset poverty and economic insecurity. Small businesses that start in San Francisco tend to grow and expand in San Francisco, creating more jobs and revenue for the city. The Showplace Square/Potrero Area Plan aims to focus on creating a system to manage small business interaction with the City, by designating the roles and responsibilities of relevant city agencies and streamlining the permit and licensing process for new and existing small businesses.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The business would be locally owned and would create employment opportunities for the community. The proposed alterations are within the existing building footprint and within the interior of the building. The current facility is vacant and thus, the project will not displace an existing neighborhood serving use.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The proposed project is consistent with the stated purpose of the UMU District in that the intended use maintains and preserves all characteristics of the existing building. Moreover, the subject zoning district is located in an area serving as a buffer between the residential districts and PDR districts in the Eastern Neighborhoods.

- C. That the City's supply of affordable housing be preserved and enhanced,

No housing is removed for this Project.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Planning Code does not require off-street parking for any use within the UMU District. The site is on Missouri Street and is well served by transit including MUNI lines 10 and 22.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the project site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no effect on existing parks and open spaces. All proposed work is in the interior.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2014.1421C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated November 11, 2014, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on December 18, 2014.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: December 18, 2014

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to establish a gymnasium of up to 6,600 square feet (d.b.a. Fitness Urbano) located at 80 Missouri Street, Block 3951, and Lot 005, pursuant to Planning Code Section(s) 303 and 843.51 within the UMU District and a 48-X Height and Bulk District; in general conformance with plans, dated November 11, 2014, and stamped "EXHIBIT B" included in the docket for Case No. 2014.1421C and subject to conditions of approval reviewed and approved by the Commission on December 18, 2014 under Motion No XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on December 18, 2014 under Motion No XXXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

6. **Eastern Neighborhoods Infrastructure Impact Fee.** Pursuant to Planning Code Section 423, the Project Sponsor shall comply with the Eastern Neighborhoods Public Benefit Fund provisions through payment of an Impact Fee pursuant to Article 4.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

7. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
8. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

9. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>
10. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>
11. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business

address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

12. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parcel Map

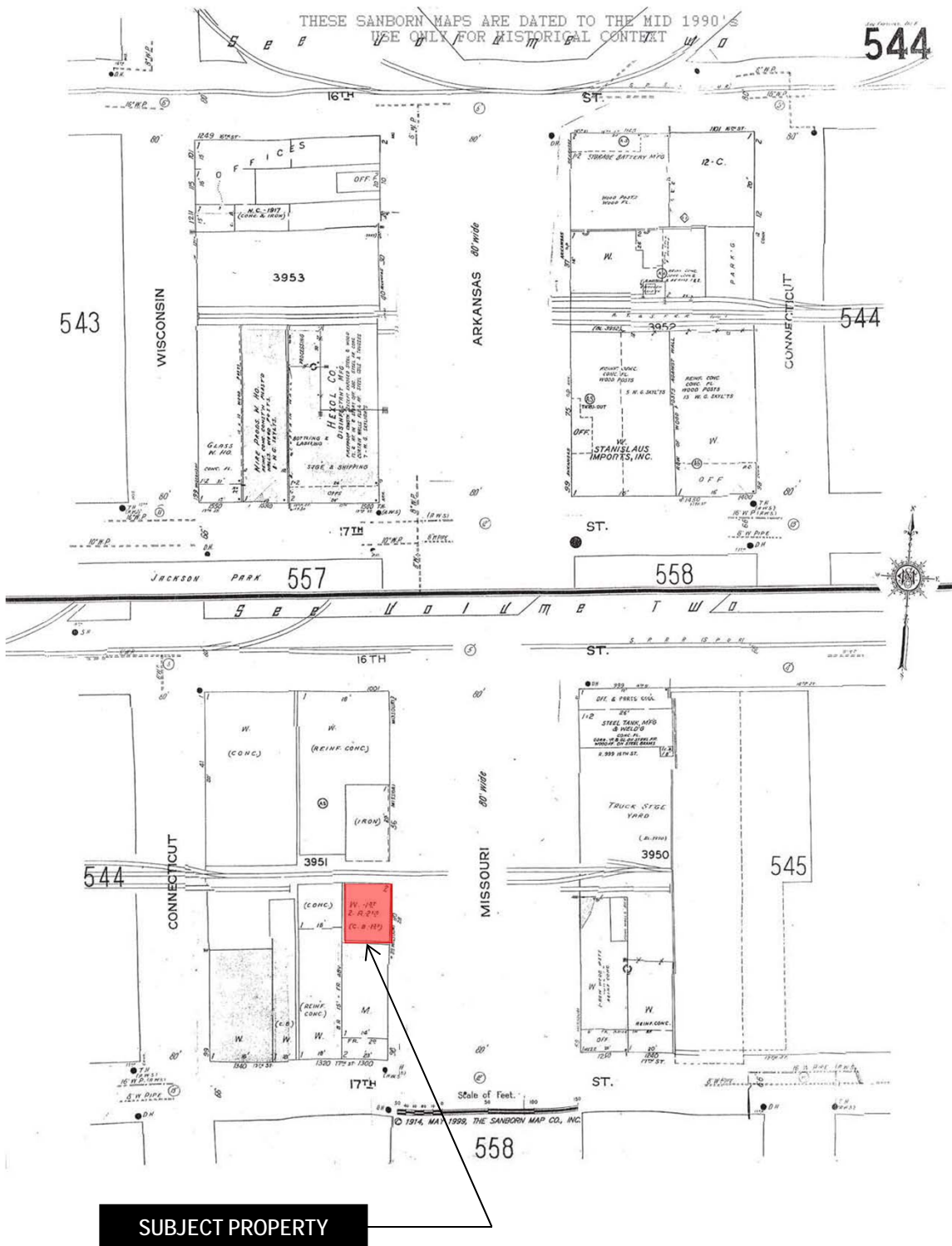


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2014.1421C
80 Missouri Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Hearing
Case Number 2014.1421C
80 Missouri Street

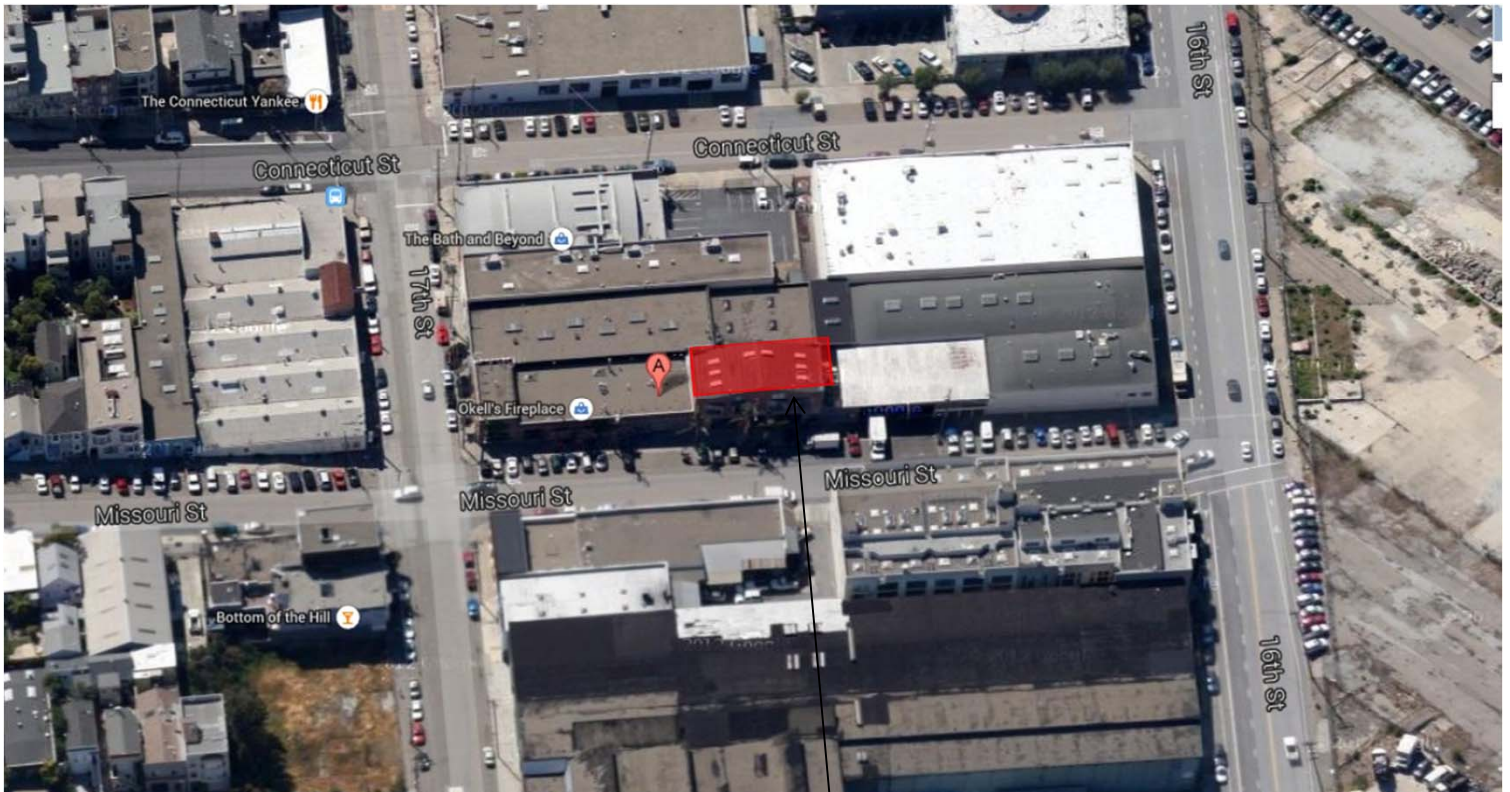
Zoning Map



Conditional Use Hearing
Case Number 2014.1421C
80 Missouri Street



Aerial and Context Photos



SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2014.1421C
80 Missouri Street

Context Photos



Opposite Block-Face to North



Opposite Block-Face to South

Conditional Use Hearing
Case Number 2014.1421C
80 Missouri Street

Context Photos

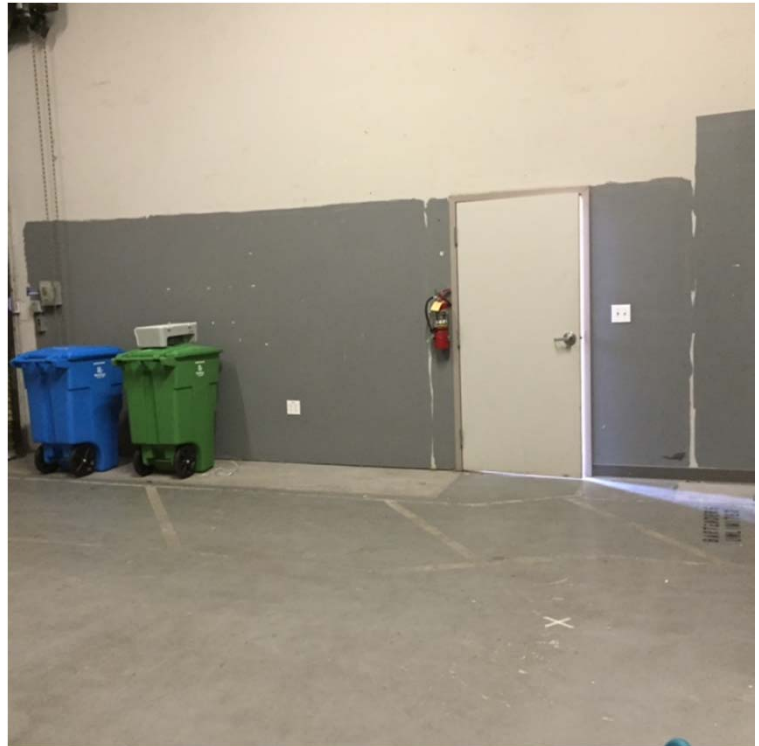


Context Photos



Conditional Use Hearing
Case Number 2014.1421C
80 Missouri Street

Context Photos



Conditional Use Hearing
Case Number 2014.1421C
80 Missouri Street

Context Photos



Conditional Use Hearing
Case Number 2014.1421C
80 Missouri Street

City and County of San Francisco San Francisco Department of Public Works
 Infrastructure Design and Construction
 30 Van Ness Avenue, 5th Floor
 San Francisco, CA 94102
 Phone: (415) 557-4685 www.sfdpw.org
 TTY: (415) 558-4088
 Fax: (415) 558-4580

Edwin M. Lee, Mayor
 Mohammed Nuru, Director

Kevin W. Jensen AIA, CSI, ADA/Disability Access Coordinator

DISABILITY ACCESS COMPLIANCE FOR CITY FUNDED PROJECTS

Applicant: Fill in project name and address and then scan onto plans.

PROJECT: FITNESS URBANO TENANT IMPROVEMENT
 Project Address: 80 MISSOURI STREET

Leave Area Below Blank – For DAC Staff Use Only

PLAN REVIEW STAGE: DPW-DAC has approved:

Unreasonable Hardship / technically infeasible Date: _____
 Playground ADA Inventory Form Date: _____
 Pre-application review / site permit Date: _____
 Final Construction Plan Date: _____

INSPECTION STAGE: The following inspections are required, if selected. Call DAC at 557-4685 to schedule:

Pre-Construction Conference
 Rough framing, after plumbing and electrical rough is complete
 Mock up inspection of bathrooms / kitchens
 Demonstration of adaptable cabinetry
 Signage, including proofs and color samples prior to fabrication
 Door closer pressure and timing
 Power door operator testing per BHMA A156.19
 Playground equipment, surface, and path of travel
 Final Signoff of Project

The following additional documents are required:

Reasonable Accommodation Notices
 Signage approval from Lighthouse for the Blind
 Illustrated instruction manual to adapt unit interiors
 Inspection matrix listing each covered dwelling unit or common space

By: Kevin Jensen Date: _____

Rev. February 10, 2014

Mayor's Office on Disability

DISABILITY ACCESS COMPLIANCE FOR CITY FUNDED PROJECTS

Edwin M. Lee Mayor
 Carla Johnson, CBO CASp, Director

Permit applicant: Fill in project name and address and then scan onto plans.

PROJECT: FITNESS URBANO TENANT IMPROVEMENT
 Project Address: 80 MISSOURI STREET

Leave Area Below Blank – For MOD Staff Use Only

PLAN REVIEW STAGE: MOD has approved:

Unreasonable Hardship / technically infeasible Date: _____
 Playground ADA Inventory Form Date: _____
 Pre-application review / site permit Date: _____
 Final Construction Plans Date: _____

INSPECTION STAGE: The following inspections are required, if selected. Call MOD at 554-6789 to schedule:

Pre-Construction Conference
 Rough framing, after plumbing and electrical rough is complete
 Mock up inspection of bathrooms / kitchens
 Demonstration of adaptable cabinetry
 Signage, including proofs and color samples prior to fabrication
 Door closer pressure and timing
 Power door operator testing per BHMA A156.19
 Playground equipment, surface, and path of travel
 Final Signoff of Project

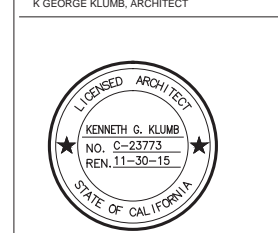
The following additional documents are required:

Reasonable Accommodation Notices
 Signage approval from Lighthouse for the Blind
 Illustrated instruction manual to adapt unit interiors
 Inspection matrix listing each covered dwelling unit or common space

By: Jim Whipple / Carla Johnson/John Paul Scott Date: _____

Rev. February 10, 2014 1155 Market St, 1st Floor, San Francisco, CA 94103
 415.554.6789 415.554.6799 TTY
 415.554.6159 Fax MOD@sfgov.org

GK architecture, Inc
 417 30th ST
 SAN FRANCISCO, CA
 (415) 420-8589
 www.gkarchitecture.com



FITNESS URBANO
 80 MISSOURI STREET
 SAN FRANCISCO, CA 94107
 APN BLOCK/LOT: 3951/005

Form C: DISABLED ACCESS 20% RULE

This form is only required for projects equal to or under the valuation threshold when box "C" is checked off on the D.A. Checklist and is for providing an itemized list of the estimated costs for the expenditures used for disabled access upgrades for this project. Reproduce this form along with the D.A. Checklist and any required form(s) on the plans.

Based on CBC Section 11B-202.4 Exception 8, only projects with a construction cost less than or equal to the valuation threshold (current ENR Construction Cost Index Amount) are eligible for the 20% rule. In choosing which accessible elements to provide, priority should be as listed on p. 2 of the D.A. Checklist.

In general, projects valued over the threshold are not eligible for the 20% rule (see CBC 11B-202.4 Exceptions 1 through 8 for other exceptions).

CBC Section 11B-202.4, Exception 9 (abbreviated): In alteration projects involving buildings & facilities previously approved & built without elevators, areas above & below the ground floor are subject to the 20% disproportionality provisions described in Exception 8, even if the value of the project exceeds the valuation threshold in Exception 8. Refer to the Code for the types of buildings & facilities that qualifies for this 20% disproportionality provisions when project valuation is over the threshold.

	Contractor's Estimated Cost	DBI Revised Cost
A) Cost of Construction: (Excluding Alterations to the Path of Travel as required by 11B-202.4)	\$ 140,000	\$
B) 20% of A):	\$ 28,000	\$

List the Upgrade Expenditures and their respective construction cost below:

1. INSTALL (N) TOILET RMS & SHOWERS	\$ 85,000	\$
2. REPLACE ENTRY DOOR & HARDWARE	\$ 5,000	\$
3. SIGNAGE	\$ 5,000	\$
4. ADA COMPLIANT INT GLASS DOORS	\$ 8,000	\$
5. WORK AREA CABINETS	\$ 5,000	\$
6. ADA COMPLIANT LOCKERS	\$ 600	\$
7.	\$	\$
8.	\$	\$
9.	\$	\$

Total Upgrade Expenditures
 Should be approximately equal to, but not to exceed, Line B

\$ 108,500 \$

D.A. CHECKLIST (p. 2 of 2): The address of the project is 80 MISSOURI STREET

Check all applicable boxes and specify where on the drawings the details are shown:

	Existing Fully Complying	Will be Up-graded to Full Compliance	Equivalent facilities will provide full access	Compliance is Technically Infeasible	Approved in compliance with immediately preceding code	Not required by Code (under none existing)	Non-compliant request UHR (Must be ratified by AAC)	Location of detail(s)- include detail no. & drawing sheet (do not delete this and detail? Also clarification comments can be written here.
A. One accessible entrance including: approach walk, vertical access, platform (landings), door / gate and hardware for door/gate	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A1.1, VERTICAL ACCESS NOT REQUIRED
B. An accessible route to the area of remodel including: Parking/access aisles and curb ramps Curb ramps and walks Corridors, hallways, floors Ramps elevators, lifts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A1.1
C. At least one accessible restroom for each sex or a single unisex restroom serving the area of remodel.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A1.1 & A4.1
D. Accessible public pay phone.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
E. Accessible drinking fountains.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A1.1 & A5.1
F. Additional accessible elements such as parking, stairways, storage, alarms and signage.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A1.1 & A5.0
See the requirements for additional forms listed below	1.	2.	3.	4.	5.	6.	7.	

- No additional forms required
- No additional forms required
- Fill out Request for Approval of Equivalent Facilitation form for each item checked and attach to plan.
- Fill out Request for Approval of Technical Infeasibility form for each item checked and attach to plans.
- Provide details from a set of City approved reference drawings, provide its permit application number here _____ and list reference drawing number on plans.
- No additional forms required
- Fill out Request for an Unreasonable Hardship form for each item checked and attach to plan. All UHR must be ratified by the Access Appeals Commission (see UHR form for details)

D.A. CHECKLIST (p. 1 of 2): The address of the project is 80 MISSOURI STREET

For ALL tenant improvement projects in commercial use spaces, both pages of this checklist are required to be reproduced on the plan set and signed.

- The proposed use of the project is EXERCISE, PERSONAL FITNESS (e.g. Retail, Office, Restaurant, etc.)
- Describe the area of remodel, including which floor: GROUND FLOOR, 5,800 SF
- The construction cost of this project excluding disabled access upgrades to the path of travel is \$514,000, which is: (check one) more than / less than the Accessibility Threshold amount of \$143,303.00 based on the "2013 ENR Construction Cost Index" (The cost index & threshold are updated annually).
- Is this a City project and/or does it receive any form of public funding? Check one: Yes / No
 Note: If Yes, then see Step 3 on the Instructions page of the Disabled Access Upgrade Compliance Checklist package for additional forms required.

Conditions below must be fully documented by accompanying drawings

- Read A through D below carefully and check the most applicable boxes. Check one box only.
 - A:** All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required:
Fill out page 2 of D.A. Checklist
 - B:** Project Adjusted cost of construction is greater than the current valuation threshold:
Fill out and attach page 2 of D.A. Checklist and any other required forms to plans
 - C:** Project adjusted cost of construction is less than or equal to the current valuation threshold.
List items that will be upgraded on Form C. All other items shall be checked on page 2 of the D.A. Checklist in the "Not required by code" column.
 - D:** Proposed project consists entirely of Barrier removal:
Fill out and attach Barrier removal form to Plans
 - E:** Proposed project is minor revision to previously approved permit drawings only.
(Note: This shall NOT be used for new or additional work) Provide previously approved permit application here: _____ Description of revision: _____

CBC chapter 2 section 202 Definitions:

Technically Infeasible. An alteration of a building or a facility, that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load-bearing member that is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification or addition of elements, spaces or features that are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

Unreasonable Hardship. When the enforcing agency finds that compliance with the building standard would make the specific work of the project affected by the building standard infeasible, based on an overall evaluation of the following factors:

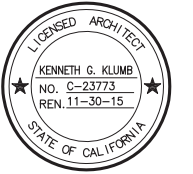
- The cost of providing access.
- The cost of all construction contemplated.
- The impact of proposed improvements on financial feasibility of the project.
- The nature of the accessibility which would be gained or lost.
- The nature of the use of the facility under construction and its availability to persons with disabilities.

The details of any Technical Infeasibility or Unreasonable Hardship shall be recorded and entered into the files of the Department. All Unreasonable Hardships shall be ratified by the AAC.

ISSUE	DATE
CHANGE OF USE PERMIT	SEPT 10, 2014
PLANNING UPDATE	OCT 27, 2014
PRICING UPDATE	NOV 11, 2014

SHEET NAME
ADA COMPLIANCE CHECKLIST
 SHEET NUMBER

A0.0 ADA

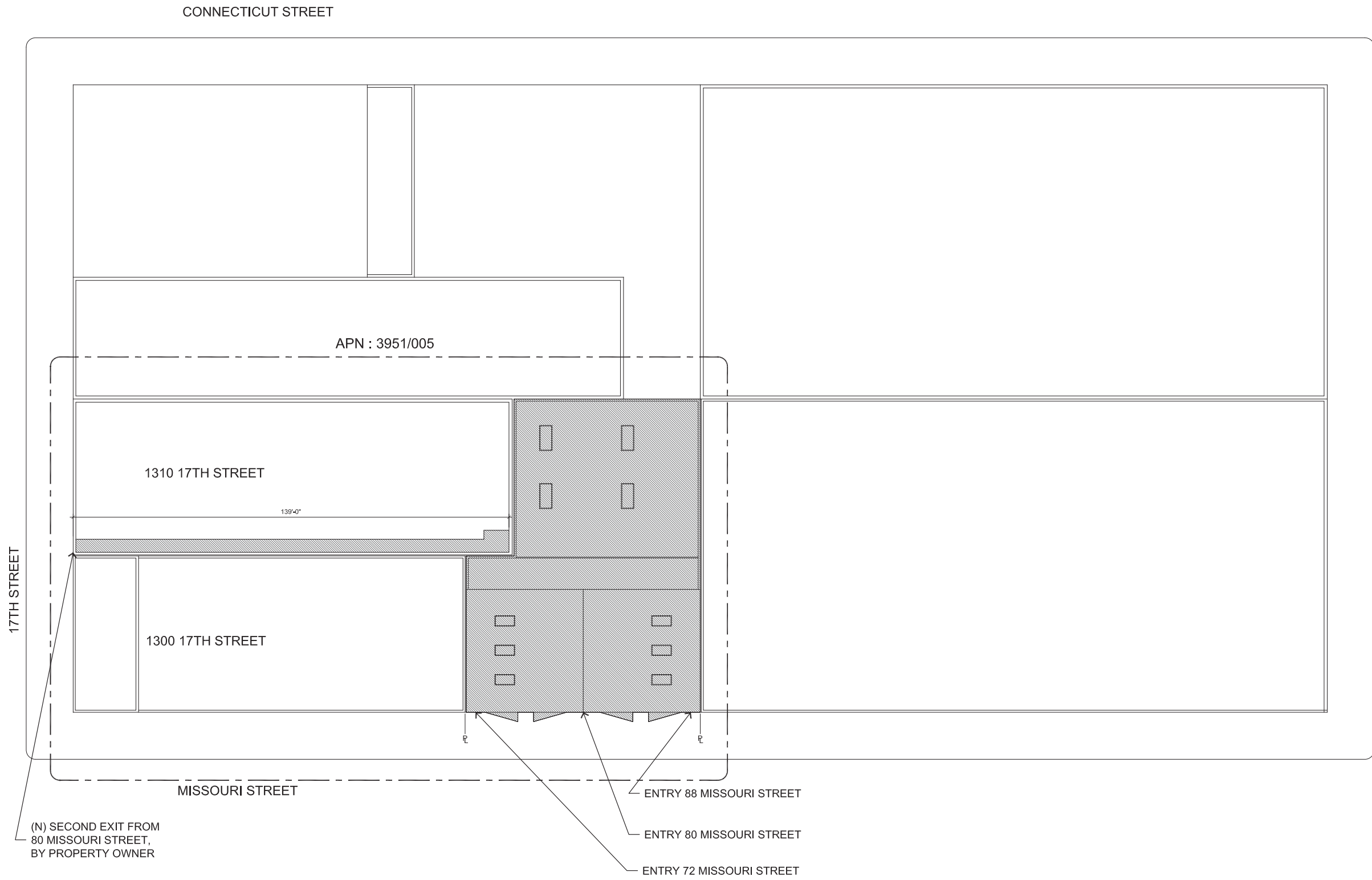


FITNESS URBANO
80 MISSOURI STREET
SAN FRANCISCO, CA 94107
APN BLOCK/LOT: 3951/005

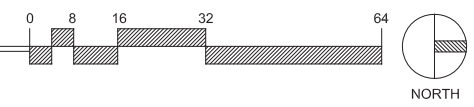
ISSUE	DATE
CHANGE OF USE PERMIT	SEPT 10, 2014
PLANNING UPDATE	OCT 27, 2014
PRICING UPDATE	NOV 11, 2014

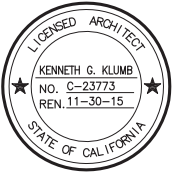
SHEET NAME
SITE PLAN

SHEET NUMBER
A0.1



1 EXISTING SITE PLAN
SCALE: 1" = 16'-0"





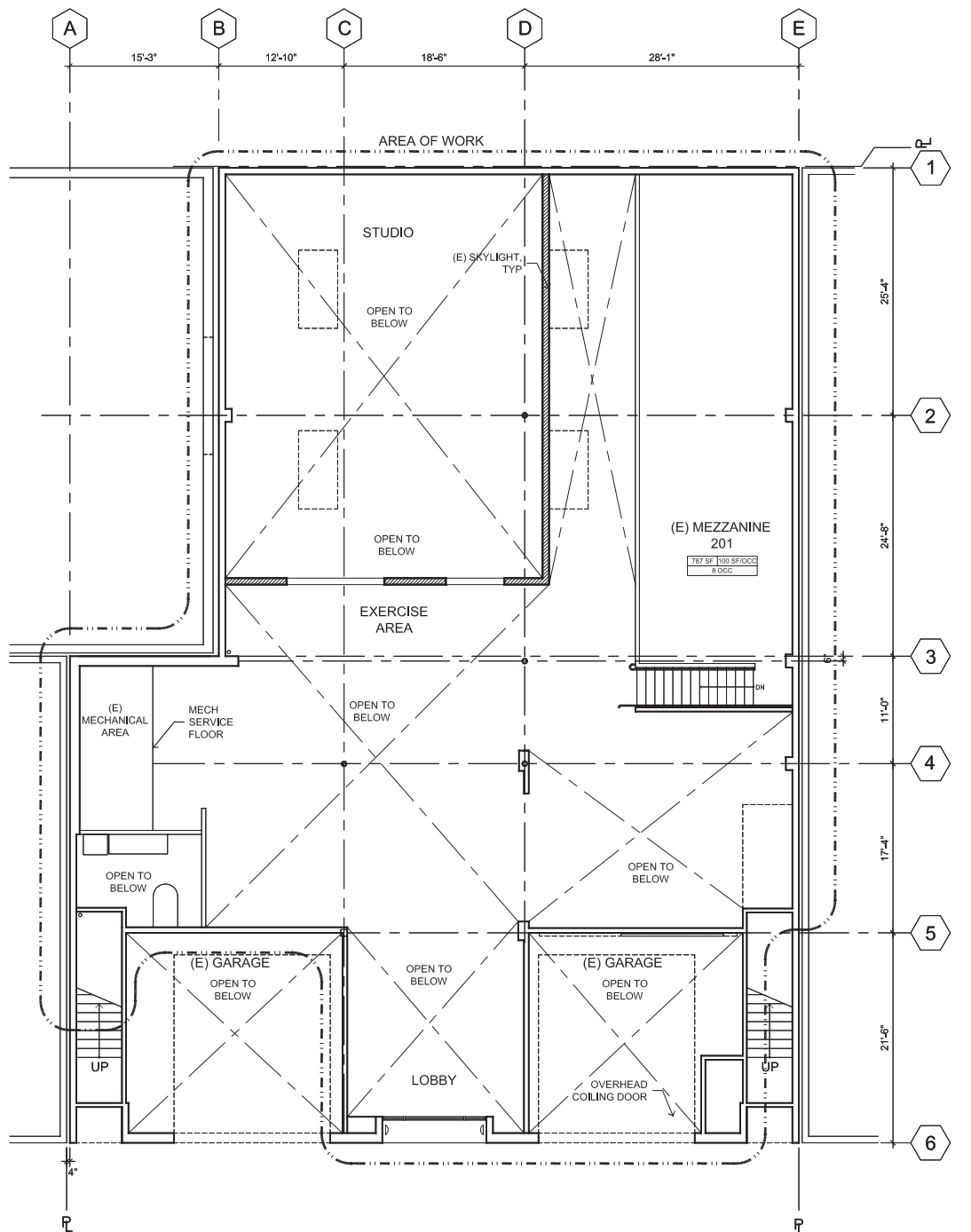
FITNESS URBANO
80 MISSOURI STREET
SAN FRANCISCO, CA 94107
APN BLOCK/LOT: 3951/005

ISSUE	DATE
CHANGE OF USE PERMIT	SEPT 10, 2014
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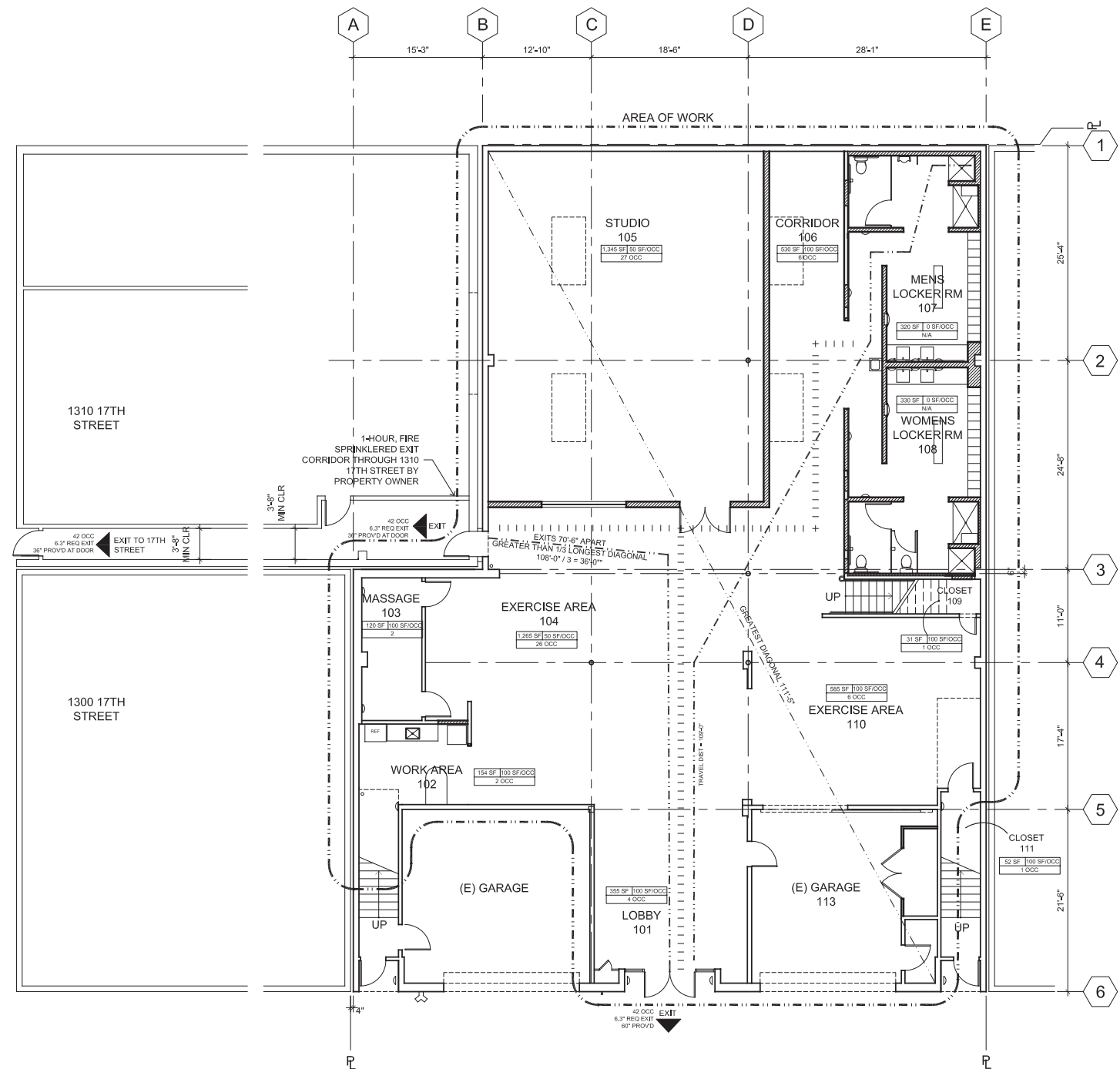
SHEET NAME
**80 MISSOURI ST
CODE SUMMARY**

SHEET NUMBER

A0.2



2



1

EXIT OCCUPANT LOADING

USEABLE SQUARE FOOTAGE IS USED IN DETERMINING BUILDING DEPT OCCUPIABLE AREA

SF PLANNING GROSS SQUARE FOOTAGE IS 6,600 SQ FT, SEE A0.0

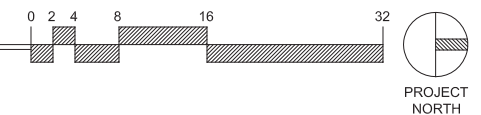
ROOM	SQ FT	OCCUPANTS
101 LOBBY	355	4
102 WORK AREA	154	2
103 MASSAGE	120	2
104 EXERCISE AREA	1,265	26
105 STUDIO	1,345	27
106 CORRIDOR	530	6
107 MENS LOCKER ROOM	320	0
108 WOMENS LOCKER ROOM	330	0
109 (E) CLOSET	31	1
110 EXERCISE AREA	585	6
111 (E) CLOSET	52	1
113 GARAGE	N/A	N/A
201 (E) MEZZANINE	787	8
TOTAL OCCUPANTS	5,874	83

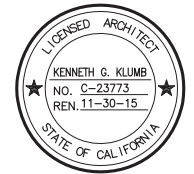
PLUMBING OCCUPANT LOADING

PLMB LOAD	PLMB OCC
200	2
200	1
200	1
200	7
200	7
200	3
0	0
0	0
0	0
200	3
0	0
0	0
200	4
200	24

PLUMBING REQUIREMENTS

FIXTURES	M POP'N	F POP'N	M REQ'D	PROV'D	F REQ'D	PROV'D
WATER CLOSET	12	12	1	1	1	2
URINAL	12	N/A	1	1	N/A	N/A
LAVATORY	12	12	1	2	1	2
B OCCUPANCY			1-50; 1 WC REQ'D		1-15; 1 WC REQ'D	
			1-75; 1 LAV REQ'D		1-50; 1 LAV REQ'D	



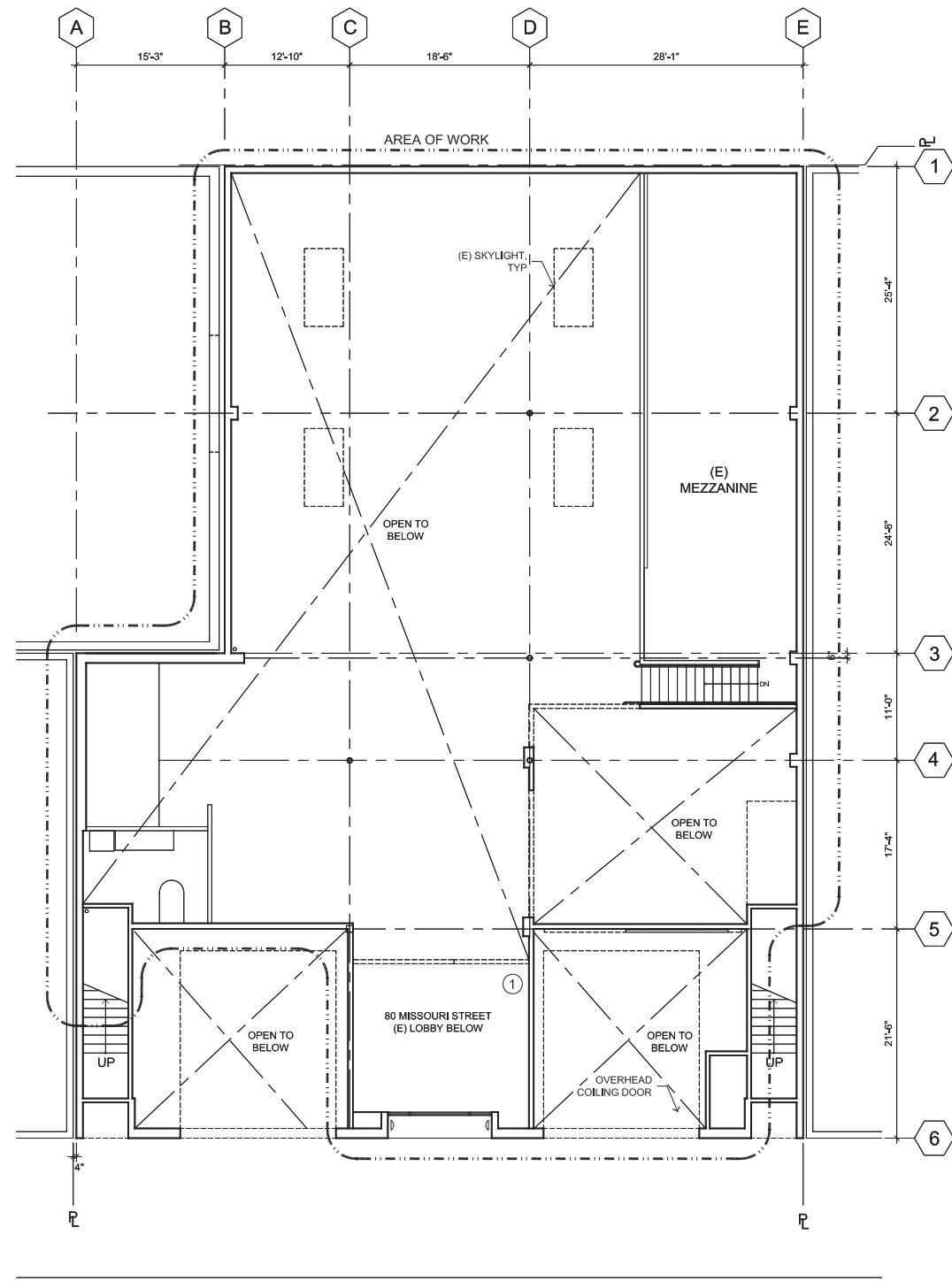


GENERAL NOTES

- a PROTECT EXISTING EQUIPMENT TO REMAIN DURING DEMOLITION

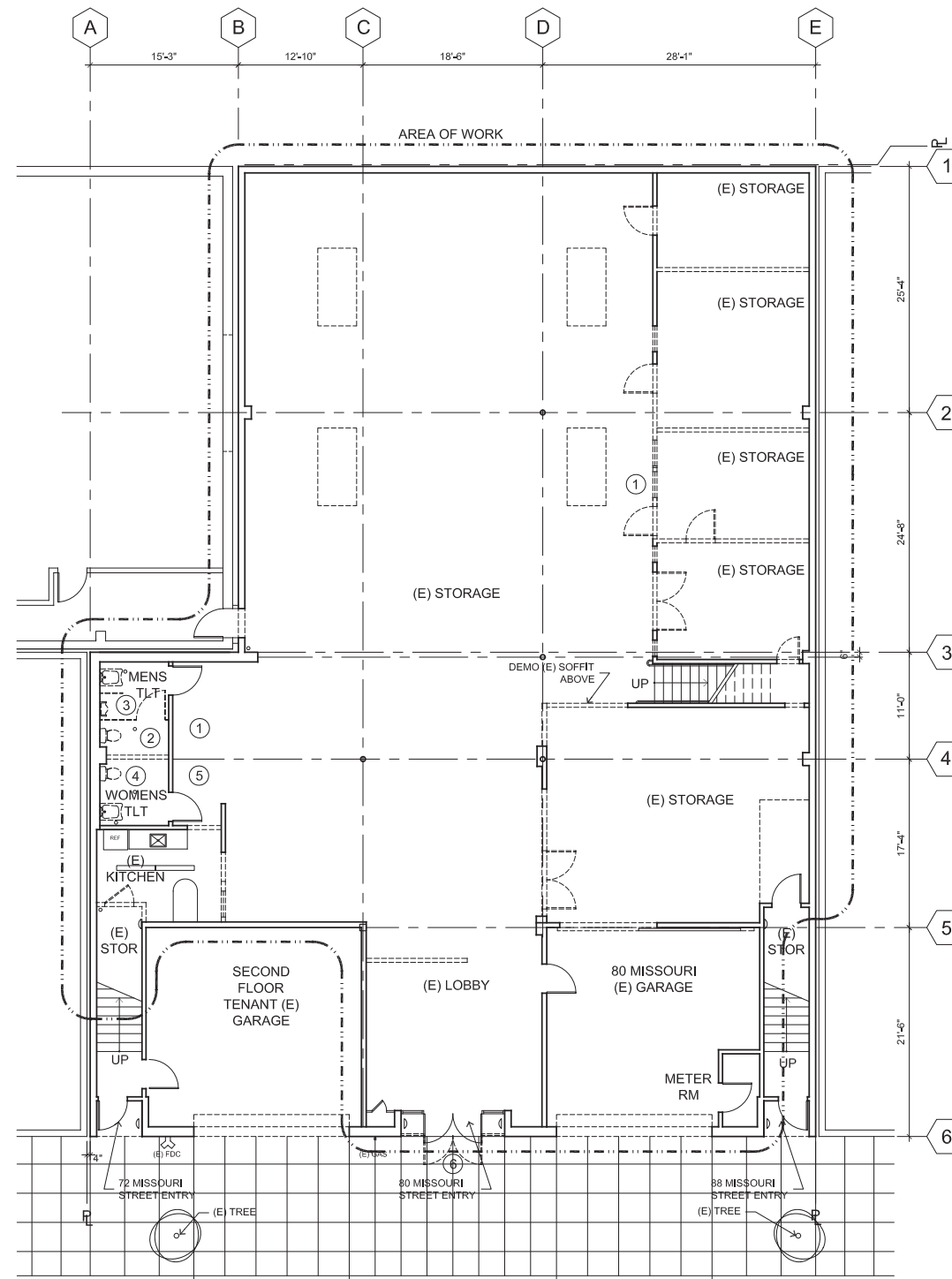
SHEET NOTES

- 1 REMOVE WALL, PROVIDE SHORING UNDER MEZZANINE WHERE NECESSARY
- 2 REMOVE TOILET ROOM FIXTURES
- 3 CAP EXISTING WATER SERVICE NOT USED IN FUTURE WORK
- 4 CAP EXISTING WASTE LINE NOT USED IN FUTURE WORK
- 5 NOT USED
- 6 DEMO (E) 6' H WROUGHT IRON GATE AND FENCE



80 MISSOURI STREET
 (E) MEZZANINE FLOOR PLAN

2 SCALE: 1/8"=1'-0"



80 MISSOURI STREET
 (E) & DEMOLITION GROUND FLOOR PLAN

1 SCALE: 1/8"=1'-0" PROJECT NORTH

FITNESS URBANO
 80 MISSOURI STREET
 SAN FRANCISCO, CA 94107
 APN BLOCK/LOT: 3951/005

ISSUE	DATE
CHANGE OF USE PERMIT	SEPT 10, 2014
PLANNING UPDATE	OCT 27, 2014
PRICING UPDATE	NOV 11, 2014

SHEET NAME
**80 MISSOURI ST
 (E) & DEMOLITION
 PLAN**

SHEET NUMBER

A0.3

GENERAL NOTES

- a PERMISSION FROM FITNESS URBANO TO ROOF AREA IS REQUIRED. ACCESS TO ROOF SHOULD REMAIN LIMITED

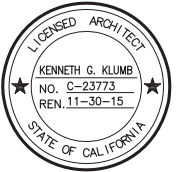
SHEET NOTES

- 1 NO PROPOSED WORK ON EXISTING ROOF OVER 80 MISSOURI STREET

GK architecture, Inc

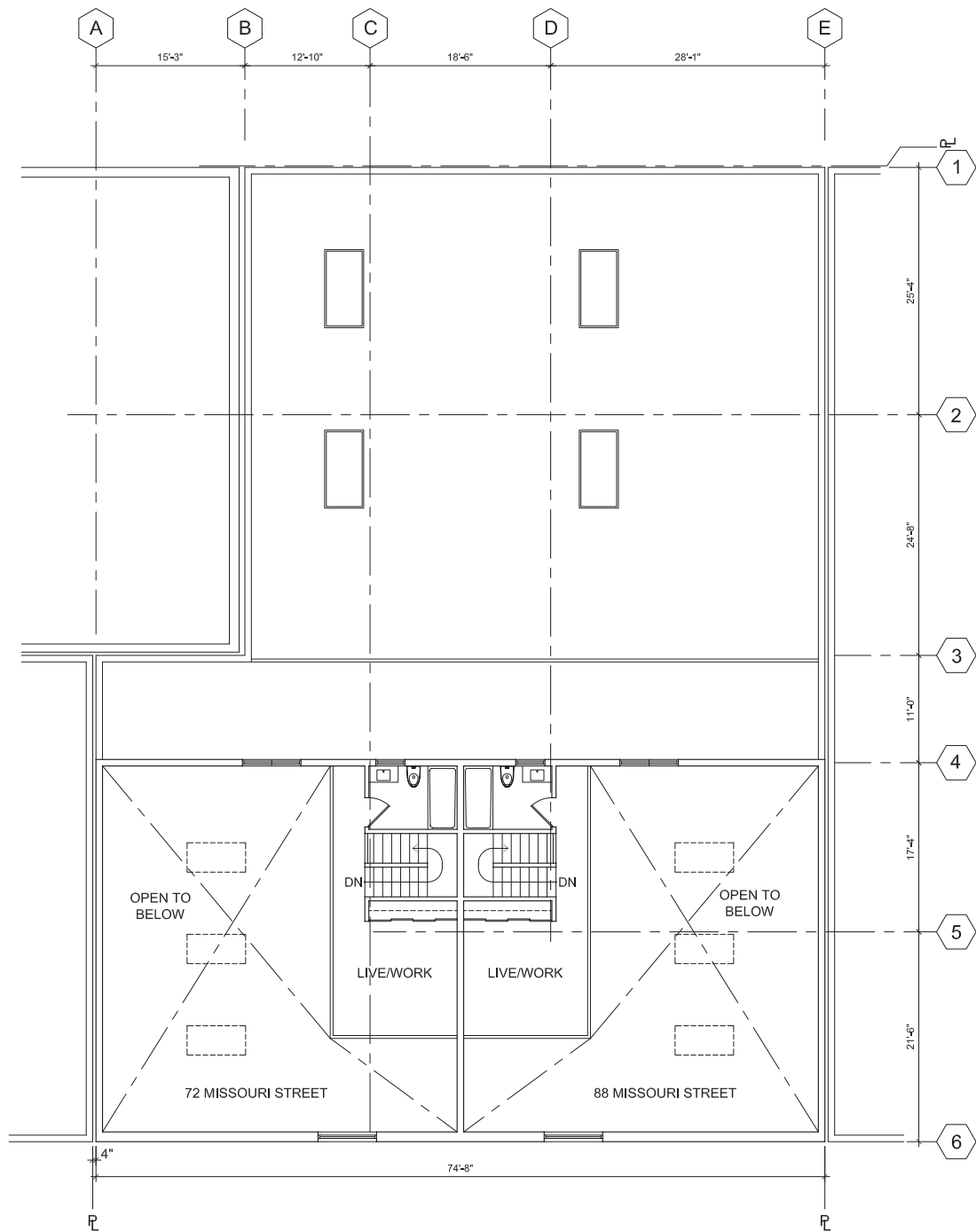
417 30th ST
SAN FRANCISCO, CA
(415) 420-8589
www.gkarchitecture.com

K GEORGE KLUMB, ARCHITECT



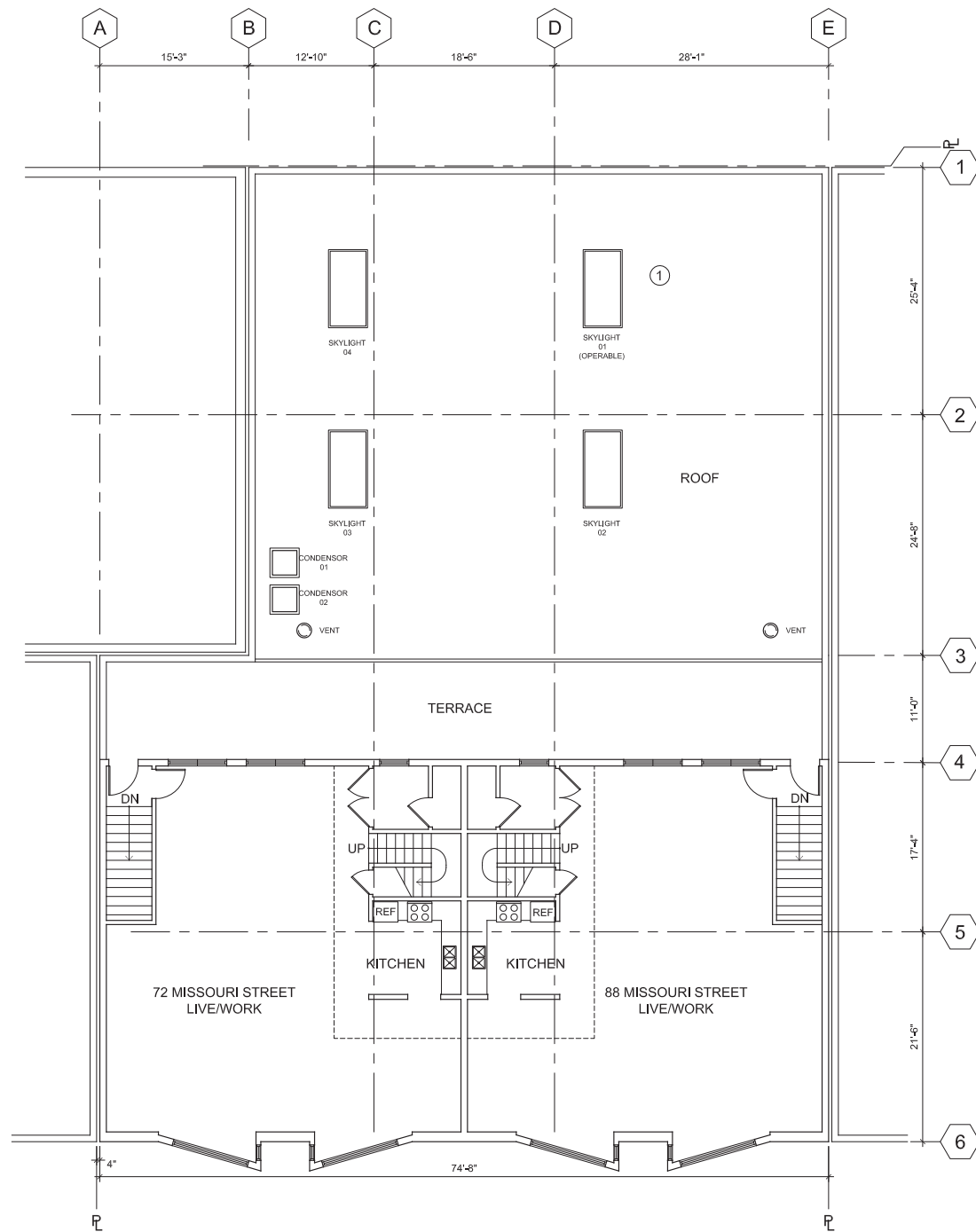
FITNESS URBANO
80 MISSOURI STREET
SAN FRANCISCO, CA 94107
APN BLOCK/LOT: 3951/005

ISSUE	DATE
CHANGE OF USE PERMIT	SEPT 10, 2014
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PRICING UPDATE	NOV 11, 2014



FOR REFERENCE ONLY
EXISTING SECOND FLOOR MEZZANINE FLOOR PLAN

2
SCALE: 1/8"=1'-0"

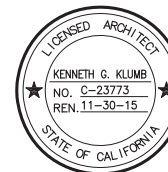


FOR REFERENCE ONLY
EXISTING SECOND FLOOR PLAN

1
SCALE: 1/8"=1'-0"
0 2 4 8 16 32
PROJECT NORTH

SHEET NAME
72 & 88 MISSOURI ST EXISTING PLANS
SHEET NUMBER

A0.4



GENERAL NOTES

- a SEE MECHANICAL DRAWINGS FOR MECHANICAL EQUIPMENT AND DUCTWORK
- b SEE ELECTRICAL DRAWINGS FOR ELECTRICAL EQUIPMENT AND LIGHTING
- c NOTIFY THE ARCHITECT IN WRITING WHEN DIMENSIONS ARE UNCLEAR OR CONTRADICTIONARY. VIF CRITICAL DIMENSIONS
- d PROTECT (E) FIRE SPRINKLERS. SEE FIRE SPRINKLER SUBMITTAL FOR LOCATIONS OF (E) AND (N) FIRE SPRINKLER SYSTEM.
- e CONFIRM ALL FINISH MATERIALS WITH SUBMITTALS TO THE ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. PROVIDE A MINIMUM OF 3 SAMPLES

SHEET NOTES

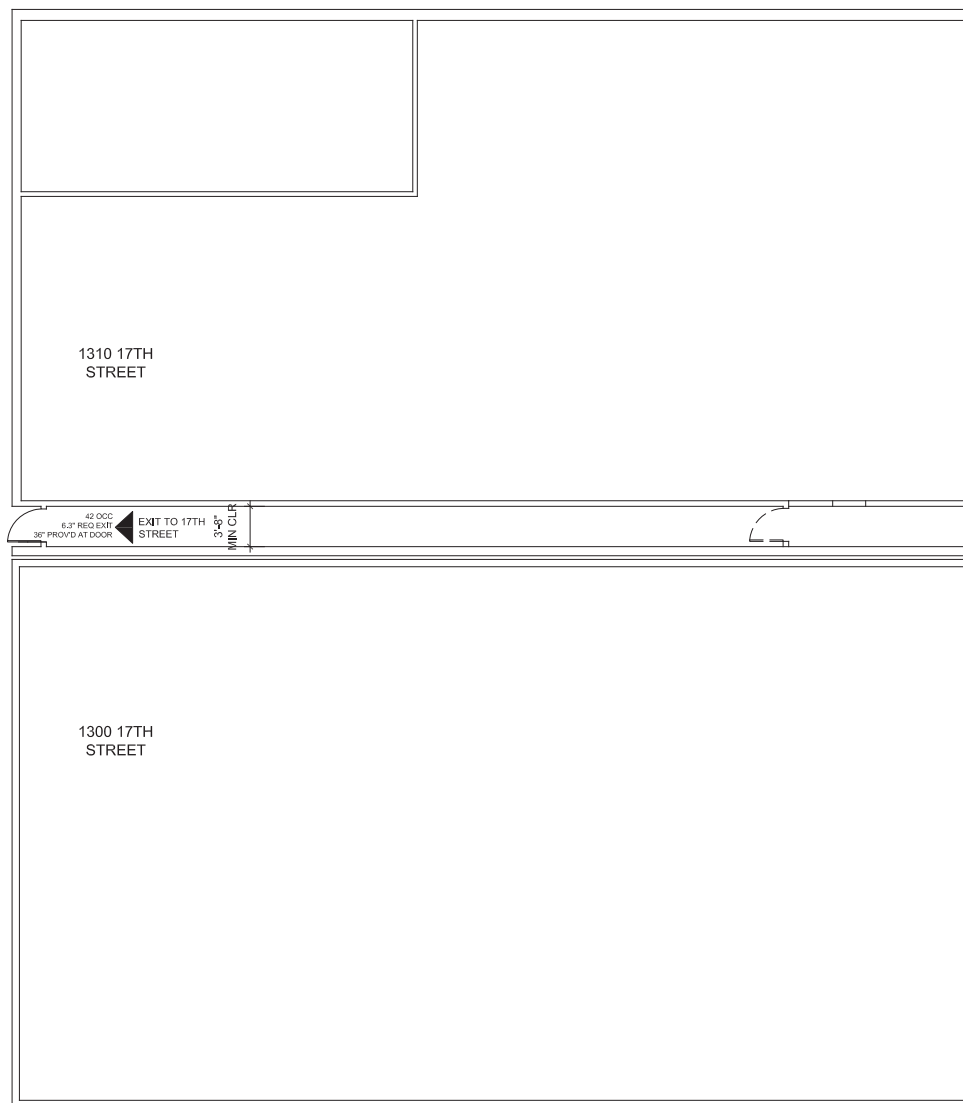
- 1 RESILIENT EXERCISE FLOOR, SEE FINISH SCHEDULE ON A5.1
- 2 SOUND WALL TO CEILING ABOVE WITH 3 5/8" STAGGERED METAL STUDS ON 6" TRACK. PROVIDE BATT INSULATION, ONE LAYER GWB BOTH SIDES. STAGGER PENETRATIONS FOR RECEPTACLES AND DEVICES.
- 3 CLEAR ANODIZED ALUM FRAME WITH DUAL PANE GLASS LIGHT
- 4 GRIND EXTG CONC FLOOR TO PROVIDE EVEN SURFACE. COAT WITH INTERPENETRATING NON-SLIP SEALER.
- 5 ACCESSIBLE DRINKING FOUNTAIN
- 6 ADA SHOWER
- 7 SHOWER
- 8 NOT USED
- 9 PLASTIC LAMINATE COUNTER TOP, TYP
- 10 DOUBLE HIGH LOCKERS WITH WOOD BENCH, TYP
- 11 NOT USED
- 12 NOT USED
- 13 EXIT DOOR, BY OTHERS
- 14 NOT USED
- 15 NOT USED
- 16 NOT USED
- 17 CHAIN LINK FENCING TO 8' HIGH WITH LOCKING GATES
- 18 SKYLIGHT ABOVE
- 19 INSTALL (N) DOOR HARDWARE INCLUDING: LOCKSET W/ DEADBOLT, FLOOR AND HEAD FLUSH BOLT

FITNESS URBANO
80 MISSOURI STREET
SAN FRANCISCO, CA 94107
APN BLOCK/LOT: 3951/005

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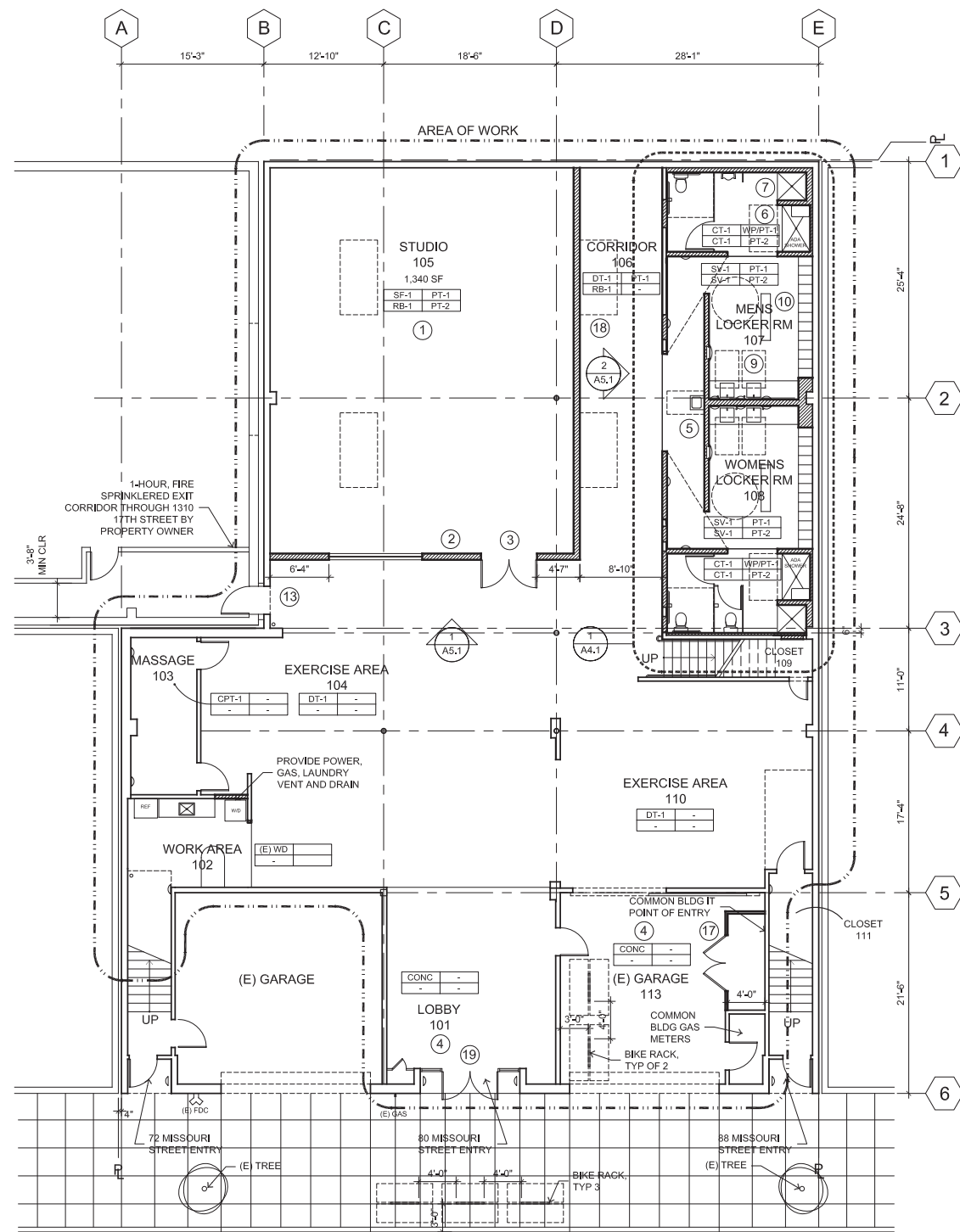
SHEET NAME
**80 MISSOURI ST
GROUND FLOOR
PLAN**
SHEET NUMBER

A1.1



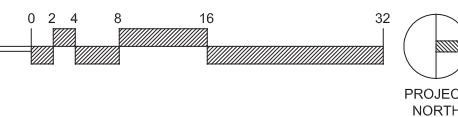
80 MISSOURI STREET
EXIT THROUGH 1310 17TH ST GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"



80 MISSOURI STREET
PROPOSED GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"



2

1

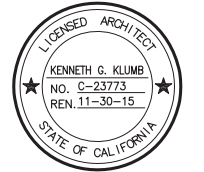
GENERAL NOTES

- a SEE MECHANICAL DRAWINGS FOR MECHANICAL EQUIPMENT AND DUCTWORK
- b SEE ELECTRICAL DRAWINGS FOR ELECTRICAL EQUIPMENT AND LIGHTING
- c NOTIFY THE ARCHITECT IN WRITING WHEN DIMENSIONS ARE UNCLEAR OR CONTRADICTIONARY. VIF CRITICAL DIMENSIONS
- d PROTECT (E) FIRE SPRINKLERS. SEE FIRE SPRINKLER SUBMITTAL FOR LOCATIONS OF (E) AND (N) FIRE SPRINKLER SYSTEM.
- e CONFIRM ALL FINISH MATERIALS WITH SUBMITTALS TO THE ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. PROVIDE A MINIMUM OF 3 SAMPLES

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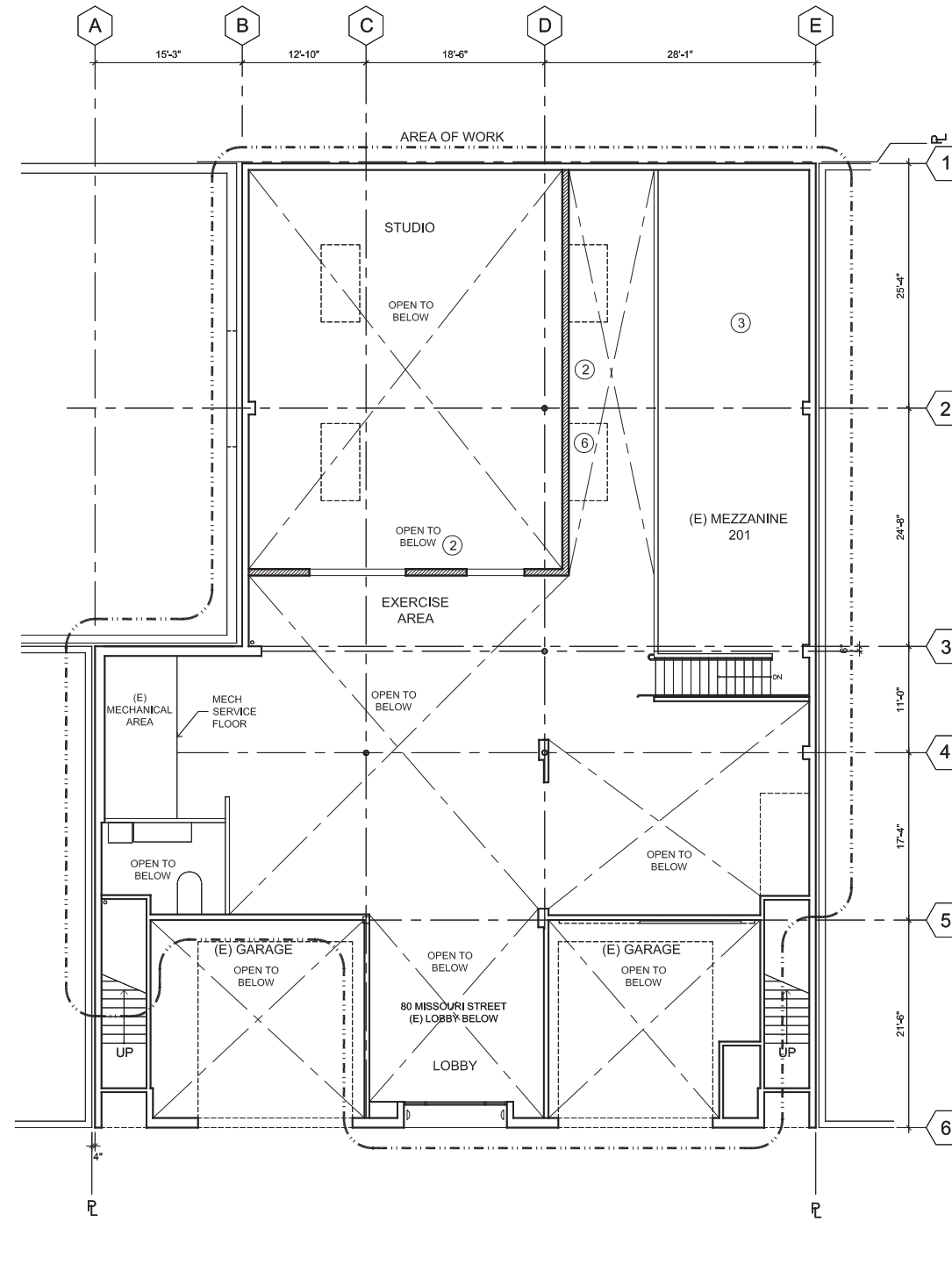
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K GEORGE KLUMB, ARCHITECT

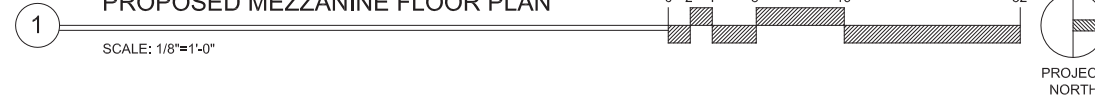


SHEET NOTES

- 1 EXPOSED METAL STUDS TO CEILING
- 2 SOUND WALL TO CEILING ABOVE WITH 3 5/8" STAGGERED METAL STUDS ON 6" TRACK. PROVIDE BATT INSULATION, ONE LAYER GWB BOTH SIDES. STAGGER PENETRATIONS FOR RECEPTACLES AND DEVICES.
- 3 PROTECT (E) CARPET
- 4 NOT USED
- 5 NOT USED
- 6 (E) SKYLIGHT



80 MISSOURI STREET
PROPOSED MEZZANINE FLOOR PLAN



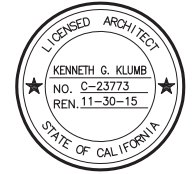
FITNESS URBANO
80 MISSOURI STREET
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APN BLOCK/LOT: 3951/005

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SHEET NAME
**80 MISSOURI ST
MEZZANINE
PLAN**

SHEET NUMBER

A1.2

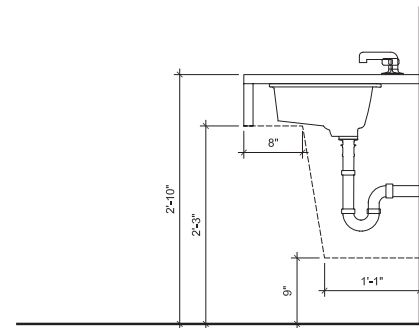


KEY NOTES

- ① METAL LOCKERS
- ② LAVATORY FAUCET, TYP
- ③ UNDERMOUNT SINK, TYP
- ④ SOAP DISPENSER, TYP
- ⑤ URINAL PARTITION
- ⑥ TOILET PARTITION
- ⑦ URINAL
- ⑧ FLOOR MOUNTED TOILET
- ⑨ WALL MOUNTED LIGHT FIXTURE
- ⑩ MIRROR
- ⑪ SHOWER HEAD
- ⑫ FLORESTONE 36"X36" SHOWER INSERT
- ⑬ ADA COMPLIANT FLORESTONE SHOWER INSERT 3PC-35-62H
- ⑭ SHOWER SEAT
- ⑮ FRP WALL PANELLING

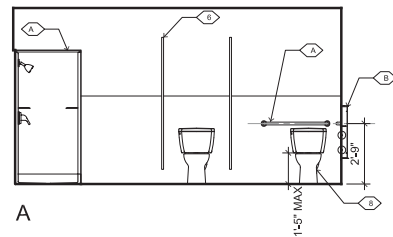
ACCESSORY SCHEDULE

- Ⓐ 36" LONG 1-1/2" DIAMETER STAINLESS STEEL GRAB BAR
- Ⓑ RECESSED MOUNTED TOILET TISSUE AND TOILET SEAT COVER DISPENSER
- Ⓒ SEMI-RECESSED PAPER TOWEL DISPENSER AND WASTEBIN
- Ⓓ NEW 42" LONG 1-1/2" DIAMETER STAINLESS STEEL GRAB BAR



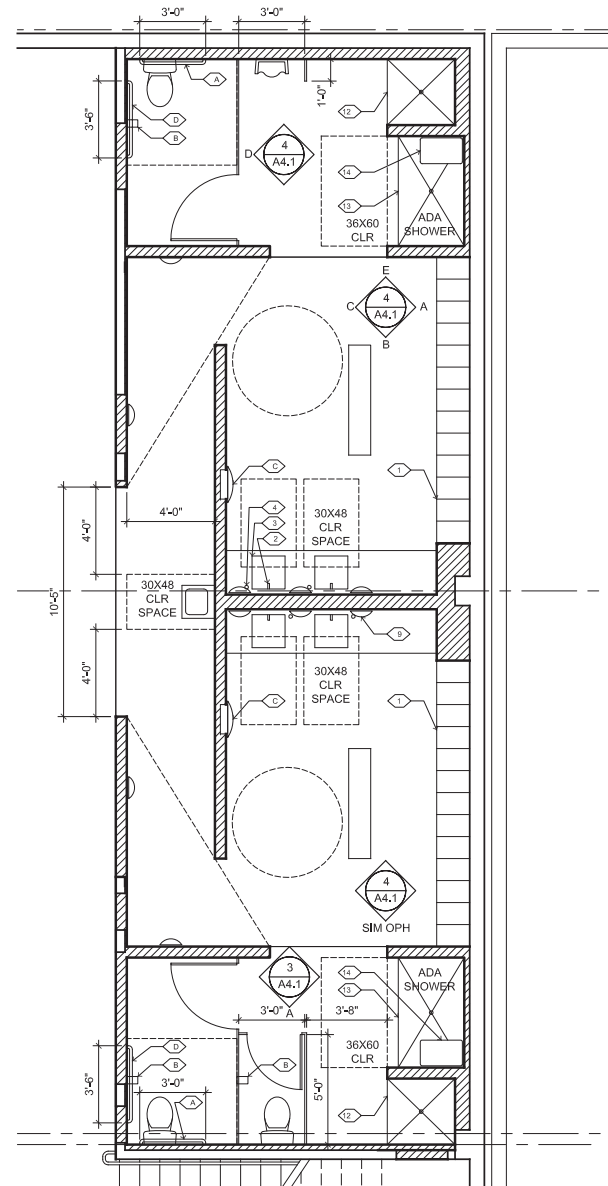
2 CLEARANCE DIMENSIONS @ SINK

SCALE: 1"=1'-0"



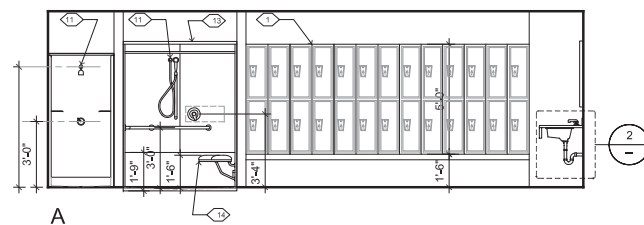
3 INTERIOR ELEVATION @ WOMENS LOCKER ROOM

SCALE: 1/4"=1'-0"



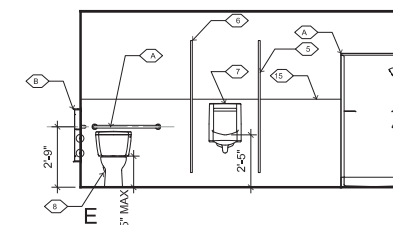
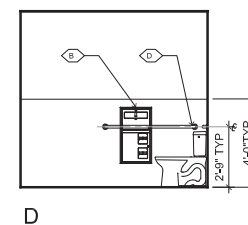
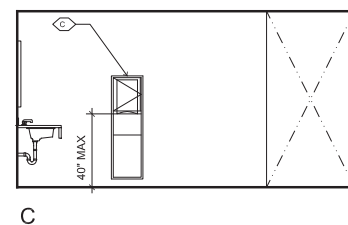
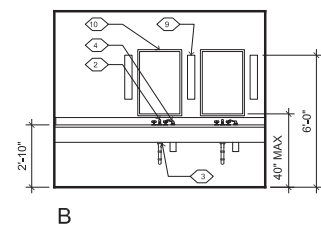
1 ENLARGED LOCKER ROOMS PLAN

SCALE: 1/4"=1'-0"



4 INTERIOR ELEVATIONS @ MENS LOCKER ROOM

SCALE: 1/4"=1'-0"



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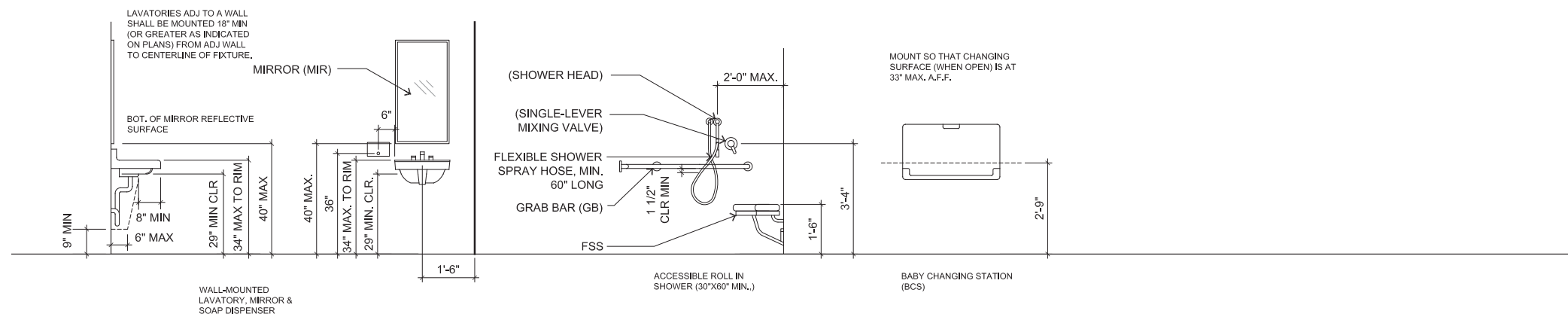
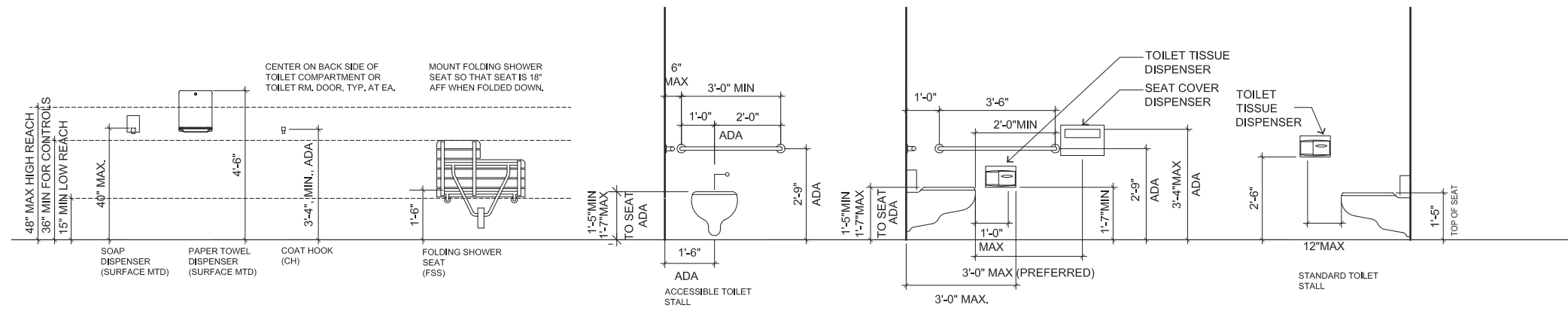
SHEET NAME
ENLARGED TOILET ROOM PLAN & ELEVATIONS

SHEET NUMBER

A4.1

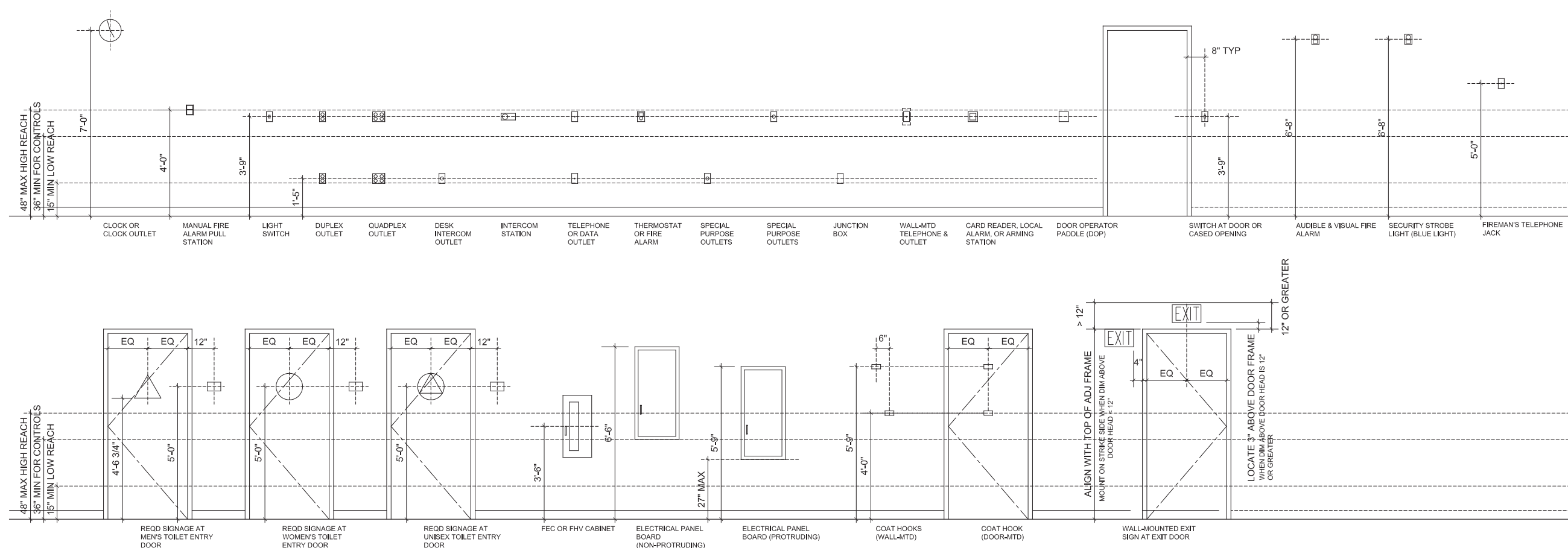
PLUMBING FIXTURES AND TOILET ACCESSORIES - TYPICAL MOUNTING HEIGHTS

NOTES

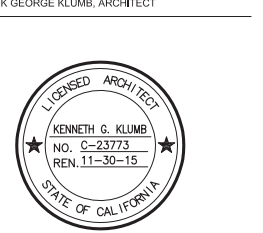


- IT IS THE INTENT OF THE DESIGN THAT ALL ITEMS SHOWN MOUNTED AT TYPICAL HEIGHTS BE ACCESSIBLE TO PERSONS WITH DISABILITIES.
- THE PURPOSE OF THIS SHEET IS TO ILLUSTRATE TYPICAL MOUNTING HEIGHTS AND - WHERE APPLICABLE - TYPICAL MINIMUM OR MAXIMUM CLEARANCES AND/OR TYPICAL MOUNTING CONFIGURATIONS FOR A VARIETY OF ITEMS. CAUTION: THIS SHEET MAY ILLUSTRATE ITEMS OR CONFIGURATIONS WHICH DO NOT OCCUR AS PART OF THE WORK OF THIS PROJECT. REFER TO THE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND SCHEDULES TO DETERMINE WHICH ITEMS AND CONFIGURATIONS APPLY TO THE WORK OF THIS PROJECT.
- THE MOUNTING HEIGHTS, CLEARANCES, AND CONFIGURATIONS SHOWN ON THIS SHEET ARE TYPICAL AND SHALL APPLY TO ALL INSTANCES OF THE ITEM (OR GROUP OF ITEMS) SHOWN UNLESS SPECIFICALLY NOTED OR DIMENSIONED OTHERWISE. TYPICAL DIMENSIONS SHOWN ON THIS SHEET TAKE PRECEDENCE OVER TYPICAL DIMENSIONS SHOWN ON THE ELECTRICAL OR MECHANICAL DRAWINGS UNLESS THE MOUNTING OF ITEMS INSTALLED BY THE ELECTRICAL OR MECHANICAL TRADES.
- SPECIAL OR NON-TYPICAL MOUNTING HEIGHTS OCCUR ONLY WHERE INDICATED BY ANNOTATED SYMBOLS; BY KEY NOTES; BY NOTES ON PLANS, ELEVATIONS, OR DETAILS; OR BY UNIQUE DIMENSIONS ON ELEVATIONS OR DETAILS.
- FOR ADDITIONAL INFORMATION REGARDING THE PRECEDENCE OF DRAWINGS FOR DETERMINING THE EXACT LOCATION OF EACH EXPOSED PART OF THE WORK, REFER TO GENERAL NOTES.
- TYPICAL MOUNTING HEIGHTS FOR ADDITIONAL ITEMS NOT SHOWN ON THIS SHEET MAY BE ILLUSTRATED BY OTHER SHEETS. REFER TO THE DRAWING INDEX FOR ADDITIONAL INFORMATION.
- MOUNTING CONFIGURATION DIAGRAMS ARE ELEVATIONS WHICH ILLUSTRATE TYPICAL RULES GOVERNING THE RELATIONSHIPS BETWEEN - AND PLACEMENT OF - ITEMS WHICH OCCUR IN GROUPS OF RELATED ITEMS (SUCH AS TOILET ACCESSORIES) OR IN CLOSE PROXIMITY TO OTHER PARTS OF THE WORK (SUCH AS SWITCHES AND DOOR FRAMES), UNLESS OTHER MOUNTING CONFIGURATIONS ARE SPECIFICALLY NOTED, DIMENSIONED, OR ELEVATED. THE TYPICAL RELATIONSHIPS, ARRANGEMENTS, AND DIMENSIONS SHOWN BY THE TYPICAL CONFIGURATION DIAGRAMS APPLY THROUGHOUT THE WORK OF THIS PROJECT.
- MOUNTING HEIGHTS, DIMENSIONS, CLEARANCES, AND ACCESS REQUIREMENTS FOR TOILET ACCESSORIES SHOWN ON THIS SHEET ARE BASED UPON SPECIFIC MANUFACTURERS AND MODELS AS INDICATED BY THE SPECIFICATIONS (SECTION 10802), WHEN SIMILAR ACCESSORIES OF OTHER SPECIFIED, ACCEPTABLE MANUFACTURERS (ANY) ARE UTILIZED. MOUNTING HEIGHTS, DIMENSIONS, CLEARANCES, AND ACCESS REQUIREMENTS OF THE SIMILAR ACCESSORIES MAY VARY FROM THOSE SHOWN HERE. WHEN SIMILAR ACCESSORIES ARE UTILIZED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION REQUIRED TO ACHIEVE THE SAME AESTHETIC AND FUNCTIONAL DESIGN INTENT ILLUSTRATED BY THE CONFIGURATION SHOWN ON THE DRAWINGS.

TYPICAL MOUNTING HEIGHTS AND CLEARANCES



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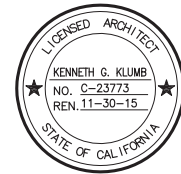


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SHEET NAME
ADA MOUNTING HEIGHT ELEVATIONS
 SHEET NUMBER

A5.0



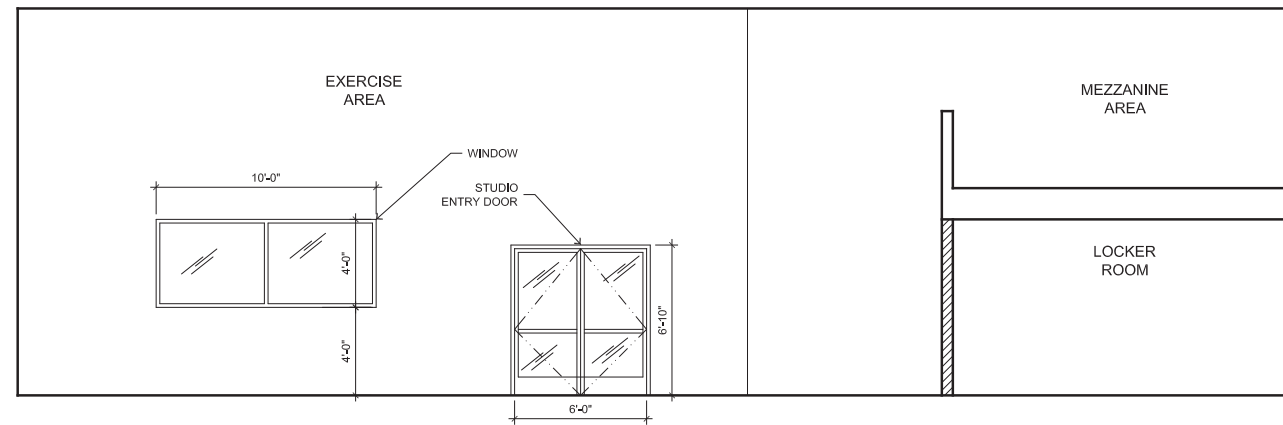
GENERAL NOTES

- a. GWB WALLS TO BE LEVEL 4 FINISH UON TO RECEIVE OTHER FINISH MATERIALS.
- b. PAINT ALL SOFFITS PT-2 UON
- c. ALL COATINGS, PAINTS AND SEALANTS SHALL COMPLY WITH THE ADJACENT TABLE 5.504.4.3
- d. FINISHES OF ADJACENT ROOMS CONTINUE INTO ACCESSORY ROOMS OR CLOSETS
- e. PAINT DOOR FRAMES AND DOORS PT-1 UON

TABLE 5.504.4.3
 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (2, 3)
 Grams of VOC Per Liter of Coating,
 Less Water and Less Exempt Compounds

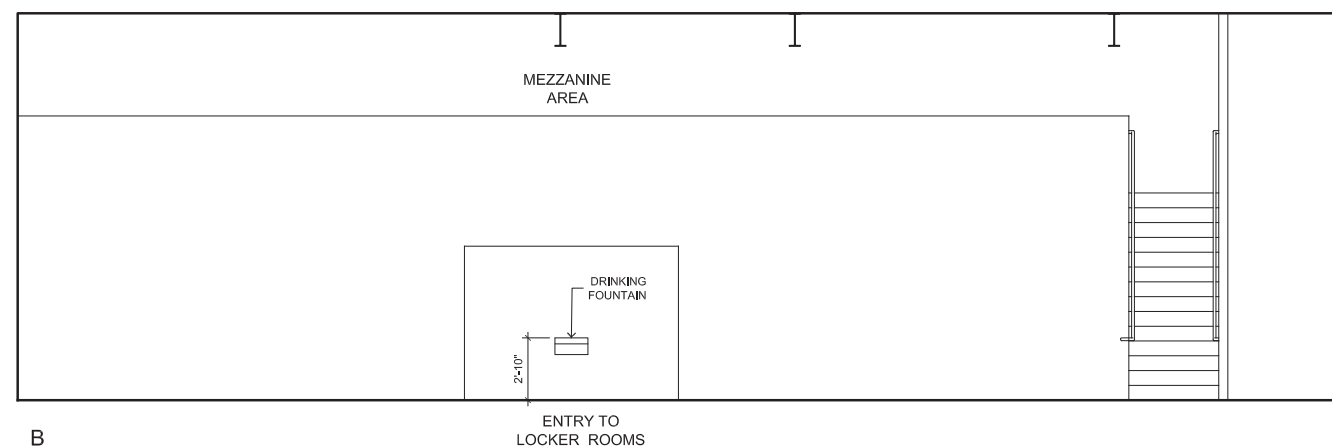
COATING CATEGORY	CURRENT LIMIT
Fat coatings	50
Nonflat coatings	100
Nonflat high gloss coatings	150
Specialty Coatings	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	300
High-temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings ¹	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	300
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	730
Clear	350
Opaque	
Specialty primers sealers and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile re-finish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

1 Grams of VOC per liter of coating, including water and including exempt compounds.
 2 The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
 3 Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings, Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.



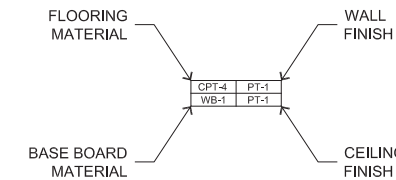
A

1 INTERIOR ELEVATION @ STUDIO
 SCALE: 1/4"=1'-0"



B

2 INTERIOR ELEVATION @ CORRIDOR
 SCALE: 1/4"=1'-0"



FINISH SCHEDULE

CT-1	CERAMIC TILE MFR: TBD COLOR: TBD FINISH: TBD	PT-1	PAINT MFR: BENJAMIN MOORE COLOR: TBD FINISH: EGGSHELL
CT-2	CERAMIC TILE MFR: TBD COLOR: TBD FINISH: TBD	PT-2	PAINT MFR: BENJAMIN MOORE COLOR: TBD FINISH: FLAT
SF-1	TARKETT OMNISPORT 8.3 MM MAPLE	WP	FIBERGLASS REINFORCED PANEL COLOR: TBD FINISH: TBD
DT-1	TARKETT DROP ZONE TILE 8MM	SV-1	SHEET VINYL MFR: TBD COLOR: TBD FINISH: TBD
CONC	(E) CONCRETE FLOOR PREPARED TO ACCEPT NON-SLIP SEALER AND COATING	RB-1	RUBBER BASE MFR: TBD COLOR: TBD FINISH: TBD
CPT-1	CARPET MFR: TBD COLOR: TBD FINISH: TBD		

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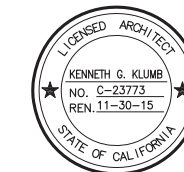
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SHEET NAME

INTERIOR ELEVATIONS

SHEET NUMBER

A5.1

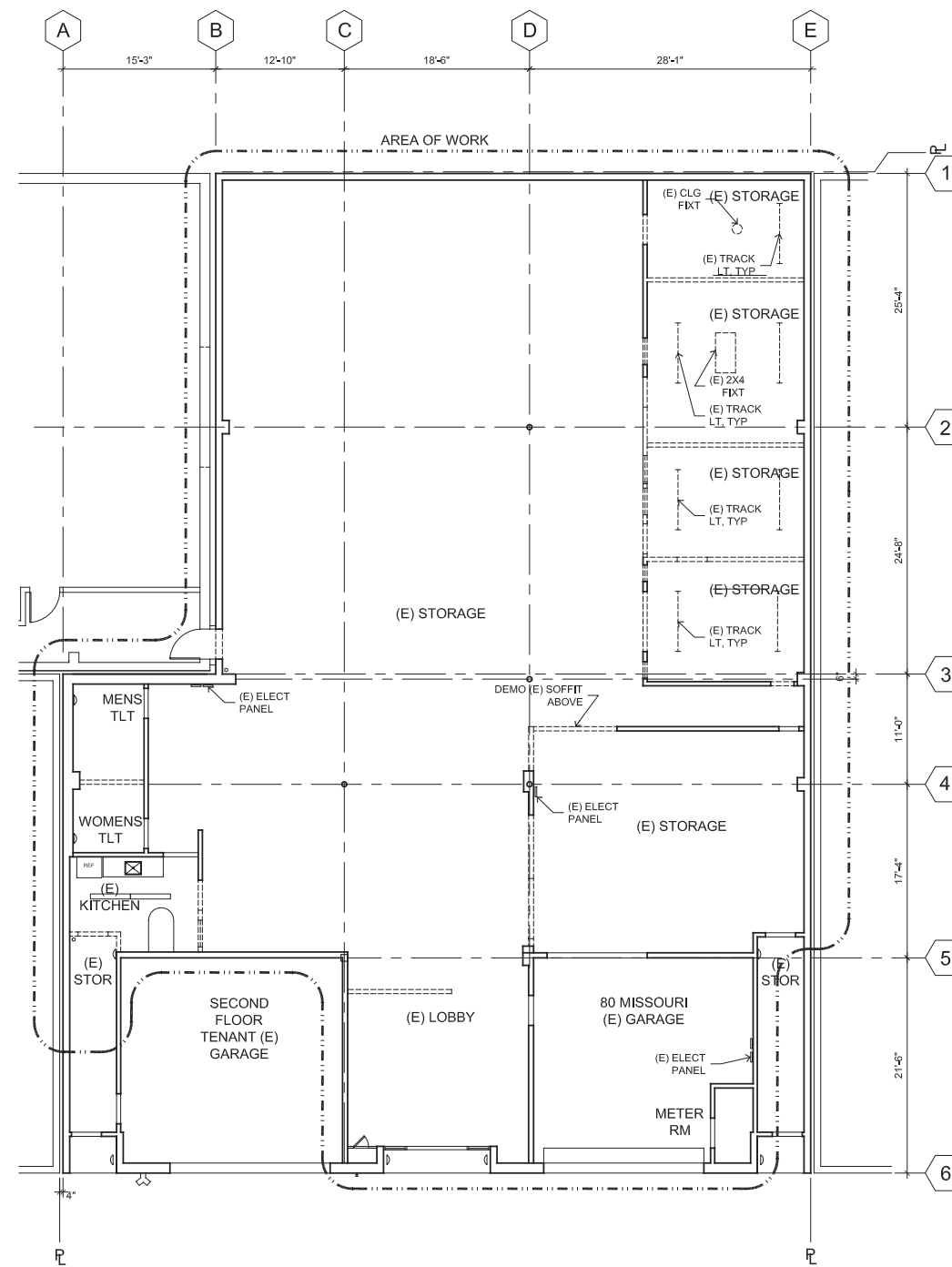
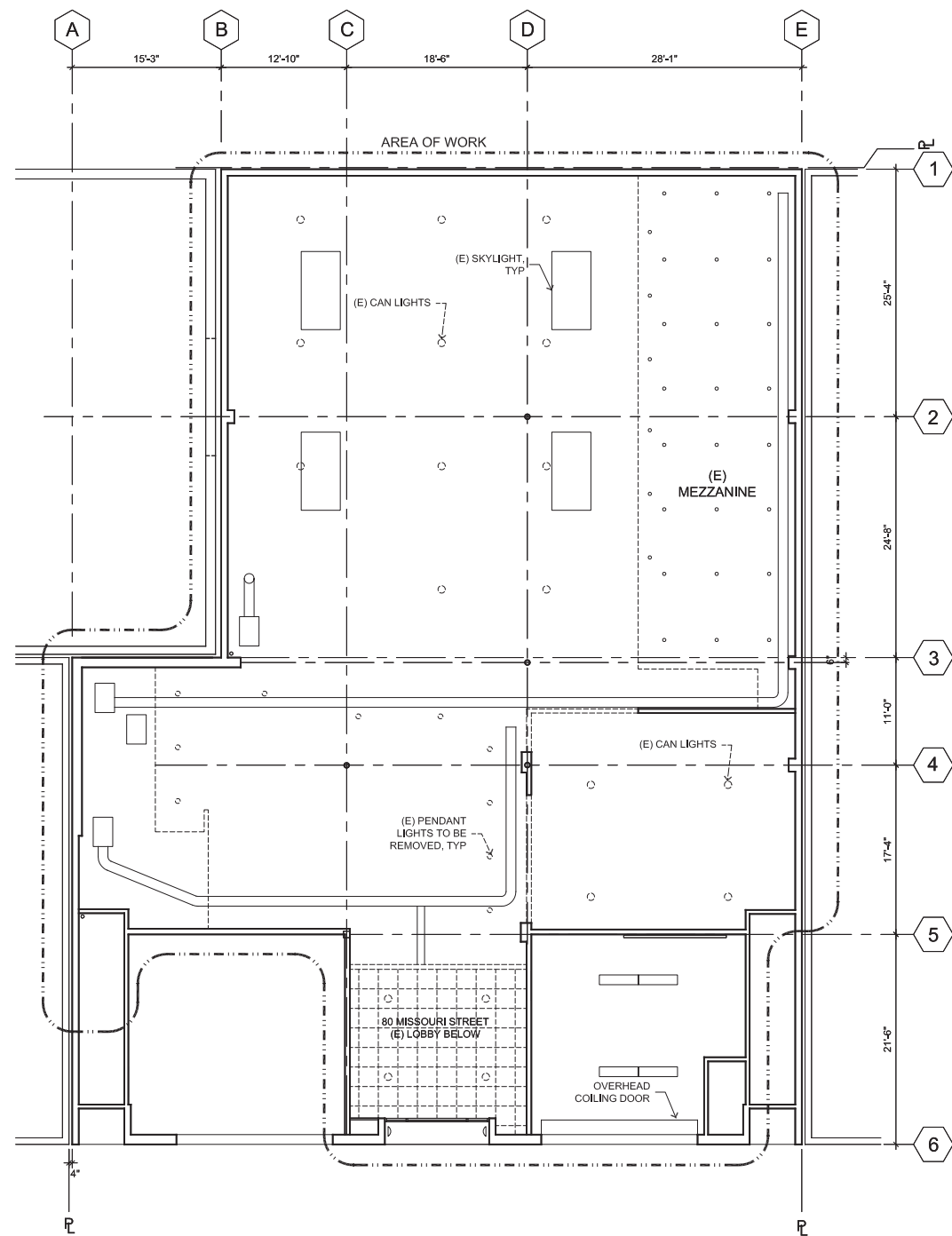


GENERAL NOTES

- a PROTECT EXISTING CEILINGS TO REMAIN DURING DEMOLITION WORK
- b SALVAGE REMOVED LIGHT FIXTURES FOR FUTURE USE AS NECESSARY

FIXTURE LEGEND

- 9" CAN LIGHT TO BE REMOVED
- 48" FLUOR FIXT TO BE REMOVED
- 9" CAN LIGHT
- 9" FLUOR FIXTURE
- (E) STRIP LIGHTING
- DOUBLE 48" FLUOR FIXTURE

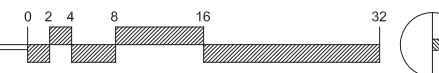


2 80 MISSOURI MEZZANINE (E) REFLECTED CEILING PLAN

SCALE: 1/8"=1'-0"

1 80 MISSOURI ST (E) REFLECTED CEILING PLAN

SCALE: 1/8"=1'-0"



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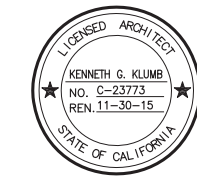
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SHEET NAME

(E) REFLECTED CEILING PLANS

SHEET NUMBER

A6.0



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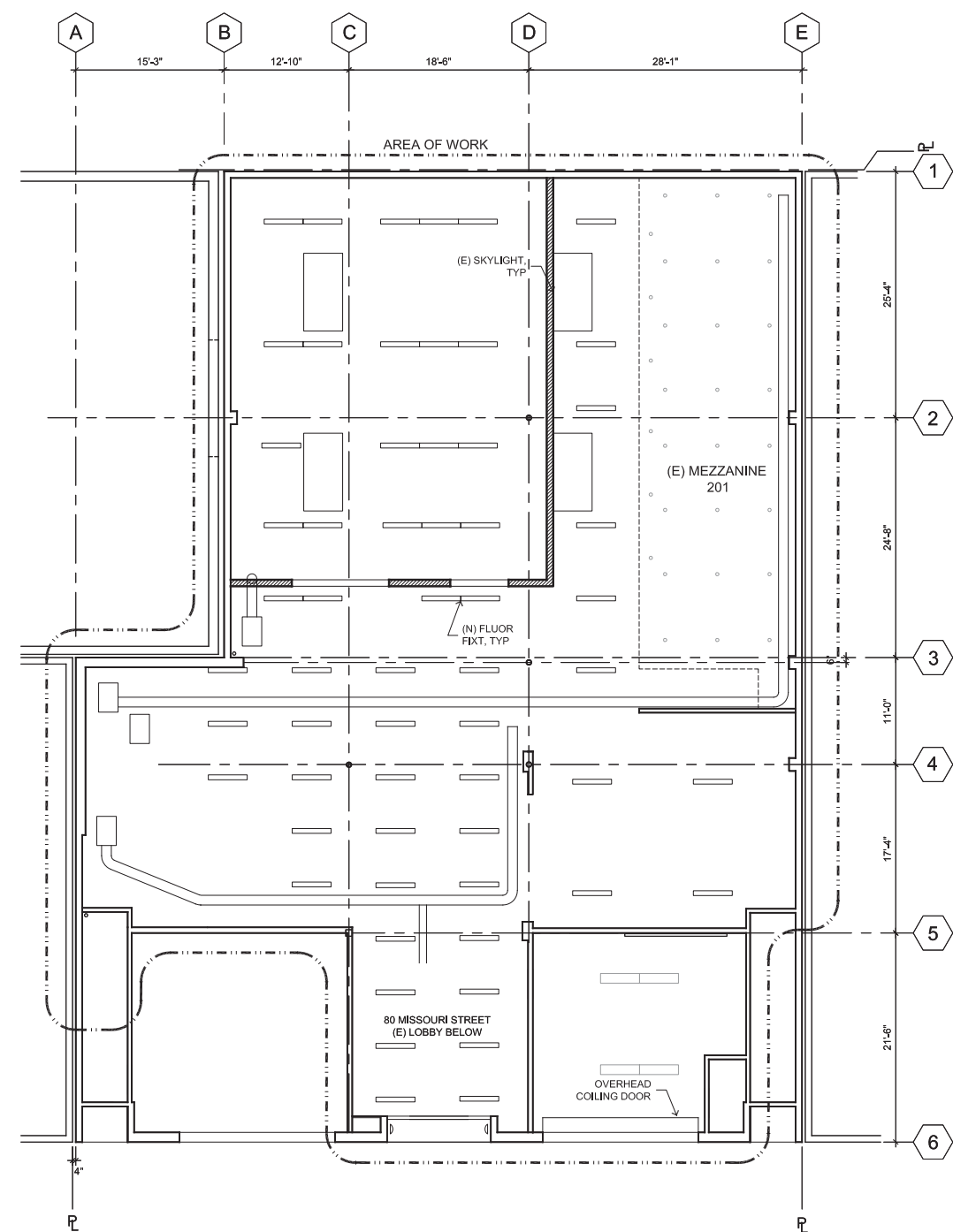
(N) REFLECTED CEILING PLANS

SHEET NUMBER

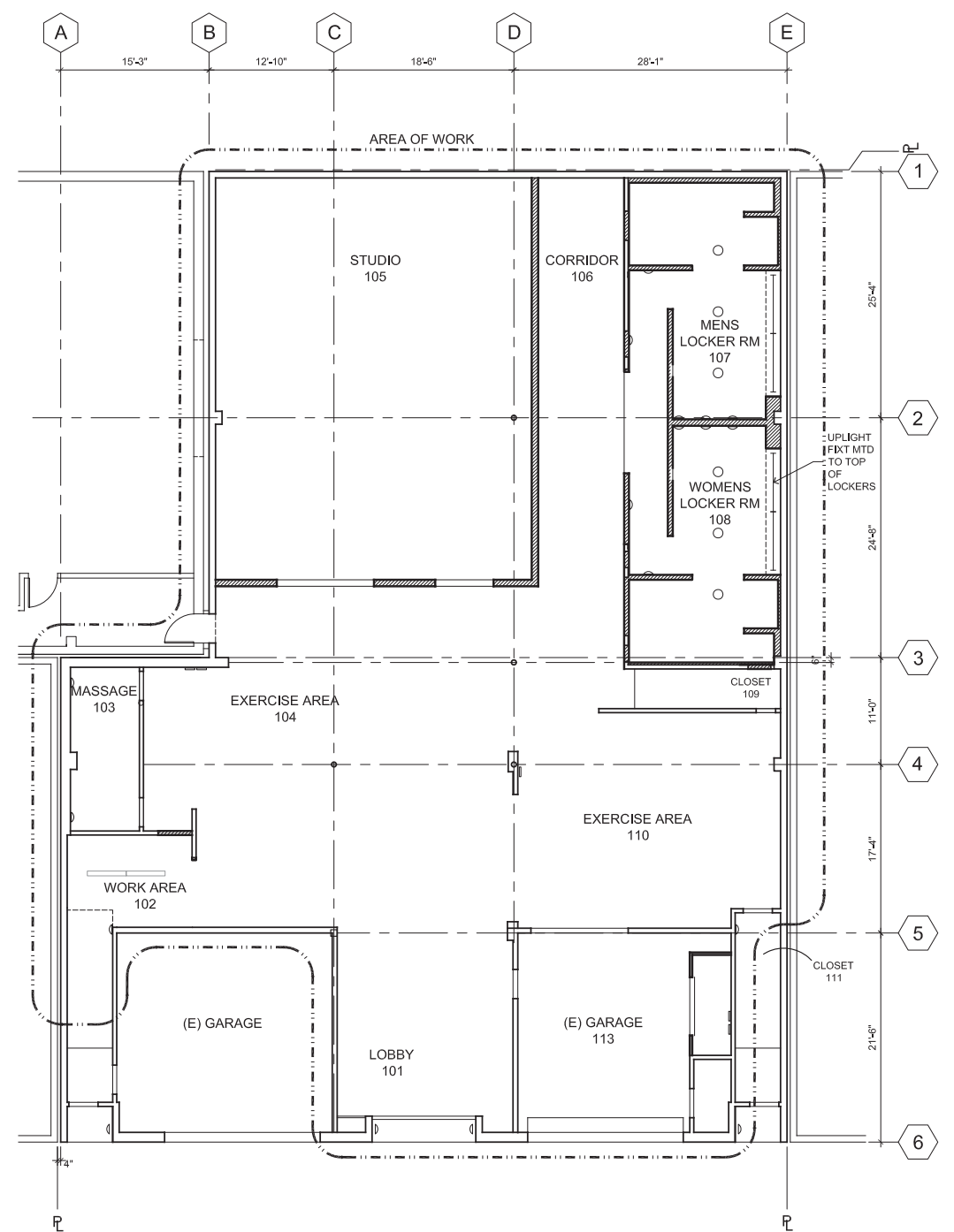
A6.1

- GENERAL NOTES**
- a PAINT CEILINGS PT-1 UON
 - b TOILET ROOM CEILINGS TO BE 5/8" PAINTED GWB
 - c CLEAN SKYLIGHTS AT THE COMPLETION OF CONSTRUCTION
 - d SEE MECHANICAL DRAWINGS FOR NEW DUCT CONFIGURATION

- FIXTURE LEGEND**
- 1' CAN LIGHT TO BE REMOVED
 - 4" FLUOR FIXT TO BE REMOVED
 - 1' CAN LIGHT
 - 9" FLUOR FIXTURE
 - (E) STRIP LIGHTING
 - H-BAY 4" LED FIXTURE
 - WALL SCONCE
 - SURFACE MTD LED FIXT



2 80 MISSOURI MEZZANINE REFLECTED CEILING PLAN
 SCALE: 1/8"=1'-0"



1 80 MISSOURI ST REFLECTED CEILING PLAN
 SCALE: 1/8"=1'-0"

