



# SAN FRANCISCO PLANNING DEPARTMENT

## Executive Summary Conditional Use

HEARING DATE: JULY 24, 2014

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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Planning  
Information:  
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*Date:* July 17, 2014  
*Case No.:* **2014.0505C**  
*Project Address:* **581 Market Street (aka 88 Stevenson Street)**  
*Zoning:* C-3-O (SD) (Downtown Office (Special Development) District  
300-S Height and Bulk District  
*Block/Lot:* 3708/044  
*Project Sponsor:* Jonathan Needell  
Redwood-Kairos Real Estate Partners  
30342 Esperanza  
Rancho Santa Margarita, CA 92688  
*Staff Contact:* Pilar LaValley – (415) 575-9084  
[pilar.lavalley@sfgov.org](mailto:pilar.lavalley@sfgov.org)  
*Recommendation:* **Approval with Conditions**

### PROJECT DESCRIPTION

The Project is to legalize professional and business offices below the ground floor of the existing 3-story-over-basement building. The approximately 7,000 square foot (sf) office space is located at the basement with primary access from a small lobby at the rear of the ground floor fronting Stevenson Street. The building, formerly occupied by Stacy's Bookstore, contains approximately 8,010sf of retail use (CVS/Pharmacy) on the ground floor and approximately 11,334sf of office space on the 2<sup>nd</sup> and 3<sup>rd</sup> floors.

The Project requires a Conditional Use Authorization for the establishment of an office use below the ground floor, pursuant to Planning Code Section 219(d). A Building Permit authorizing interior tenant improvements for the basement office space was approved by the San Francisco Department of Building Inspection (DBI) on November 26, 2012. On January 16, 2013, DBI issued a Certificate of Final Occupancy for this construction. This permit was never routed to the Planning Department due to an administrative oversight; the requested Conditional Use seeks to legalize this construction and use.

### SITE DESCRIPTION AND PRESENT USE

The Project Site is located on the south side of Market Street, between 1<sup>st</sup> and 2<sup>nd</sup> Streets, Assessor's Block 3708, Lot 044. It is located within the C-3-O (SD) (Downtown Office (Special Development)) Zoning District, Downtown Area Plan, and the 300-S Height and Bulk District.

The Project Site is occupied by a three-story-over-basement building, which was formerly occupied by Stacy's Bookstore. The upper floors of the building currently contain office space, while the ground floor retail space, which fronts on Market and Stevenson Streets, is occupied by CVS/Pharmacy. The basement office space, which is approximately 7,000 square feet, is accessed via a small lobby fronting on Stevenson Street (88 Stevenson Street).

## **SURROUNDING PROPERTIES AND NEIGHBORHOOD**

The surrounding neighborhood consists of a variety of low- to high-rise, mixed-use buildings. The subject property is located within the C-3-O (SD) Zoning District, which is the area south of Market Street and east of 3rd Street that comprises the southern side of the core central business district, and is similar to and generally indistinguishable from the C-3-O District in terms of uses and character. This district permits densities that exceed those in the C-3-O district, is composed of retail, office, hotel, entertainment, institutions, and high-density residential uses, and contains the tallest height limits in the City, reflecting its unparalleled public transportation access and geographically central position in the downtown. Many of these uses have a Citywide or regional function.

Buildings in the immediate vicinity of the Property predominantly contain office uses over ground floor commercial or retail uses. The Property is located within the downtown core, and in an area well-served by a range of public transit options, including BART, AC Transit, Muni Metro and Muni street care lines.

## **ENVIRONMENTAL REVIEW**

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

## **HEARING NOTIFICATION**

<b>TYPE</b>	<b>REQUIRED PERIOD</b>	<b>REQUIRED NOTICE DATE</b>	<b>ACTUAL NOTICE DATE</b>	<b>ACTUAL PERIOD</b>
Classified News Ad	20 days	July 4, 2014	July 2, 2014	22 days
Posted Notice	20 days	July 4, 2014	July 3, 2014	21 days
Mailed Notice	20 days	July 4, 2014	July 3, 2014	21 days

## **PUBLIC COMMENT**

- To date, the Department has received no public comments regarding this project.

## **ISSUES AND OTHER CONSIDERATIONS**

- The building has an active approximately 8,010 sf ground floor retail space with its primary entrance at the Market Street frontage, which ensures that the property has a pedestrian-oriented use along one of the City’s major pedestrian thoroughfares.

## **REQUIRED COMMISSION ACTION**

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization to allow business and professional offices that do not offer on-site services to the general public at the basement, pursuant to Planning Code Section 219(d) and 303.

**BASIS FOR RECOMMENDATION**

- The Project will not alter the existing active ground floor retail use along Market Street.
- The Project will increase the availability of office space within the Downtown core.
- The Project is desirable for, and compatible with, the surrounding neighborhood.

<b>RECOMMENDATION:            Approval with Conditions</b>
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**Attachments:**

Draft Motion

Block Book Map

Sanborn Map

Zoning Map

Aerial Photograph

Sponsor Brief, July 16, 2014, including:

Plans for basement tenant improvement, October 17, 2012

Plans for exterior and interior tenant improvements, October 20, 2011

Photographs of basement

Attachment Checklist

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary   | <input checked="" type="checkbox"/> Project sponsor submittal                              |
| <input checked="" type="checkbox"/> Draft Motion        | Drawings: <u>Existing Conditions</u>   |
| <input type="checkbox"/> Environmental Determination    | <input checked="" type="checkbox"/> Check for legibility                                   |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u>  |
| <input checked="" type="checkbox"/> Height & Bulk Map   | <input type="checkbox"/> Check for legibility  |
| <input checked="" type="checkbox"/> Parcel Map          | 3-D Renderings (new construction or significant addition)                                  |
| <input checked="" type="checkbox"/> Sanborn Map         | <input type="checkbox"/> Check for legibility  |
| <input checked="" type="checkbox"/> Aerial Photo        | <input type="checkbox"/> Wireless Telecommunications Materials                             |
| <input type="checkbox"/> Context Photos                 | <input type="checkbox"/> Health Dept. review of RF levels                                  |
| <input type="checkbox"/> Site Photos                    | <input type="checkbox"/> RF Report   |
|   | <input type="checkbox"/> Community Meeting Notice  |
|   | <input type="checkbox"/> Housing Documents   |
|   | <input type="checkbox"/> Inclusionary Affordable Housing Program: Affidavit for Compliance |
|   | <input type="checkbox"/> Residential Pipeline  |

Exhibits above marked with an "X" are included in this packet

\_\_\_\_\_ PL

Planner's Initials

PL: G:\DOCUMENTS\581 Market St (88 Stevenson)\ExecutiveSummary.docx



# SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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## Planning Commission Draft Motion

HEARING DATE: JULY 24, 2014

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**ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 219(d) AND 303, TO ALLOW PROFESSIONAL AND BUSINESS OFFICES THAT DO NOT OFFER ON-SITE SERVICES TO THE GENERAL PUBLIC BELOW THE GROUND FLOOR OF THE EXISTING THREE-STORY-OVER-BASEMENT BUILDING WITHIN THE C-3-O (SD) (DOWNTOWN OFFICE (SPECIAL DEVELOPMENT)) ZONING DISTRICT AND THE 300-S HEIGHT AND BULK DISTRICT.**

### PREAMBLE

On April 9, 2014, Jonathan Needell (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Section(s) 219(d) and 303 to allow an office use below the ground floor of the existing three-story-over-basement building within the C-3-O (SD) (Downtown Office (Special Development)) District and a 300-S Height and Bulk District.

On July 24, 2014, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2014.0505C.

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2014.0505C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project Site is located on the south side of Market Street, between 1<sup>st</sup> and 2<sup>nd</sup> Streets, Assessor's Block 3708, Lot 044. It is located within the C-3-O (SD) (Downtown Office (Special Development)) Zoning District, Downtown Area Plan, and the 300-S Height and Bulk District. The Project Site is occupied by a three-story-over-basement building, which was formerly occupied by Stacy's Bookstore. The upper floors of the building currently contain office space, while the ground floor retail space that fronts on both Market and Stevenson Streets is occupied by CVS/Pharmacy. The basement office space, which is approximately 7,000 square feet (sf), is accessed via a small lobby fronting on Stevenson Street (88 Stevenson Street).

A Building Permit authorizing interior tenant improvements for the basement office space was approved by the San Francisco Department of Building Inspection (DBI) on November 26, 2012. On January 16, 2013, DBI issued a Certificate of Final Occupancy for this construction. This permit was not routed to the Planning Department due to an administrative oversight; the requested Conditional Use seeks to legalize this construction and use.

3. **Surrounding Properties and Neighborhood.** The surrounding neighborhood consists of a variety of low- to high-rise, mixed-use buildings. The subject property is located within the C-3-O (SD) Zoning District, which is the area south of Market Street and east of 3rd Street that comprises the southern side of the core central business district, and is similar to and generally indistinguishable from the C-3-O District in terms of uses and character. This district permits densities that exceed those in the C-3-O district, is composed of retail, office, hotel, entertainment, institutions, and high-density residential uses, and contains the tallest height limits in the City, reflecting its unparalleled public transportation access and geographically central position in the downtown. Many of these uses have a Citywide or regional function.

Buildings in the immediate vicinity of the subject property predominantly contain office uses over ground floor commercial or retail uses. The project is located within the downtown core, and in an area well-served by a range of public transit options, including BART, AC Transit, Muni Metro and Muni street care lines.

4. **Project Description.** The Project is to legalize professional and business offices below the ground floor of the existing 3-story-over-basement building. The approximately 7,000 square foot (sf) office space is located at the basement with primary access from a small lobby at the rear of the ground floor fronting Stevenson Street. The building, formerly occupied by Stacy's Bookstore, contains approximately 8,010sf of retail use (CVS/Pharmacy) on the ground floor and approximately 11, 334sf of office space on the 2<sup>nd</sup> and 3<sup>rd</sup> floors.

The Project requires a Conditional Use Authorization for the establishment of an office use below the ground floor, pursuant to Planning Code Section 219(d). A Building Permit authorizing interior tenant improvements for the basement office space was approved by the San Francisco Department of Building Inspection (DBI) on November 26, 2012. On January 16, 2013, DBI issued a Certificate of Final Occupancy for this construction. This permit was never routed to the Planning Department due to an administrative oversight; the requested Conditional Use seeks to legalize this construction and use.

5. **Public Comment.** To date, the Department has received no public comment regarding this project.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Use.** Planning Code Sections 219(d) states that professional and business offices that do not provide on-site services to the general public require a Conditional Use Authorization if located at or below the ground floor of a building in the C-3-O (SD) District.

*The Subject Property is located in the C-3-O (SD) District, and pursuant to Planning Code Section 219(d), offices closed to the public are permitted on the ground and basement floors with a Conditional Use Authorization. The Project Sponsor is requesting Conditional Use Authorization in order to legalize an office use that occupies the majority of the basement.*

- B. **Floor Area Ratio.** Planning Code Section 124 establishes basic floor area ratios (FAR) for all zoning districts. FAR is the ratio of the gross floor area of all the buildings on a lot to the total area of the lot. Under Section 124(a), the FAR for the C-3-O (SD) Zoning District is 6.0-to-1.

*The Project will result in no change in overall floor area. The ground and upper floors are not affected by this Project. The Project will result in no change of FAR associated with this building, which is well below the permitted FAR.*

- C. **Loading.** Section 152 requires off-street freight loading for uses above a certain size. Office uses are not required to provide off-street freight loading if they contain less than 100,000 square feet in gross floor area.

*The Project proposes approximately 7,000 gross square feet (gsf) of new office space, which is substantially less than the minimum 100,000 gsf of office space that would trigger provision of a loading space; it is thus exempt from providing any off-street loading.*

- D. **Public Open Space (Section 138).** New buildings or an addition of gross floor area equal to 20 percent or more of an existing building in the C-3 Zoning Districts must include public open space at a ratio of one square foot per 50 gross square feet of all uses, except residential uses, institutional uses, and uses in a predominantly retail/personal services building.

*The project does not trigger the requirement for public open space, since it results in no increase in gross floor area.*

- E. **Street Trees (Sections 138.1).** Section 138.1 requires the installation of street trees in the case of construction of a new building; relocation of a building; the addition of gross floor area equal to 20 percent or more of the gross floor area of an existing building; the addition of a new dwelling unit, a garage, or additional parking; or paving or repaving more than 200 square feet of the front setback.

*The Project does not trigger the requirement for the installation of new street trees since the Project results in no increase in gross floor area.*

- F. **Street Frontage in Commercial Districts: Active Uses (145.1(c)(3)).** Section 145.1(c)(3) of the Planning Code requires that within Downtown Commercial Districts, space for “active uses” shall be provided within the first 25 feet of building depth on the ground floor.

*No change to existing use or to the configuration of the ground floor is proposed as part of the project. The first 25 feet of the ground floor spaces along Market Street and Stevenson Street are developed with “active uses,” consistent with this Code Section.*

- G. **Street Frontage in Commercial Districts: Street-Facing Ground-Level Spaces (Section 145.1(c)(5)).** Section 145.1(c)(5) of the Planning Code requires that within Downtown Commercial Districts, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Such required street-facing entrances shall remain open to the public during business hours.

*No change to existing use or to the configuration of the ground floor is proposed as part of the project. The existing retail space that fronts on both Market and Stevenson Street will remain and is not part of the project. The Market Street retail space, which contains the principle entrance to the retail space, is level with the adjacent sidewalk and will be open to the public during business hours.*

- H. **Street Frontage in Commercial Districts: Ground Floor Transparency (Section 145.1(c)(6)).** Section 145.1(c)(6) of the Planning Code requires that within Downtown Commercial Districts, frontages with active uses that are not residential or PDR must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building.



*No change to existing use or to the configuration of the ground floor is proposed as part of the project. The existing Stevenson Street frontage, which is not proposed to be altered as part of the project, is nonconforming as less than 60 percent of the frontage is fenestrated with transparent glazing. As no work is proposed at this façade, and as the existing “active use” at the ground floor is not proposed to change as part of this project, the existing nonconforming condition may remain.*

- I. **Bicycle Parking (Section 155.5).** Planning Code Section 155.5 requires new and renovated commercial buildings to provide bicycle parking in the amount outlined in the this Section. Renovated buildings include major alterations (expansion and a construction cost of over \$1,000,000), a major change of use (any change of use involving half or more of the building's square footage, or 10,000 or more square feet), or the addition of off-street parking.

*The Project does not trigger the bicycle parking requirement, in that there is no expansion to the building, the construction cost is less than \$1,000,000 (estimated at \$225,000), and the change of use involves less than 10,000 sf (approximately 7,000 sf of new office space at basement).*

- J. **Additional Requirements for Certain Uses in C and M Districts (Section 212).** In order to assure continuity of retail and consumer service uses in the C-3-R District, and in other important commercial streets in C-3 Districts, such as along Market Street, ground-floor commercial frontages must include uses listed in Sections 218 and 221 within the first 20 feet of the building.

*There is an existing retail use, pursuant to Planning Code Section 218, that extends the depth of the building from Market to Stevenson Streets. No change to this ground floor use is proposed as part of the project, thus it complies with this Code Section.*

- K. **Transit Impact Development Fee.** Planning Code Section 411 applies the Transit Impact Development Fee to projects cumulatively creating more than 800 gross square feet of non-residential uses, including Retail/Entertainment, Management, Information and Professional Services, Production/Distribution/Repair, and Visitor Services.

*The proposed project would convert the previous retail use (Retail/Entertainment) to office use (Management, Information, and Professional Services). Provisions of Section 411 provide for a credit for prior uses eliminated on the project site if the prior use was active on the site within five years before the date of the application for a building or site permit for the proposed use. The project shall be subject to fees pursuant to Section 411 with no credit for the previous use if that previous use has been inactive more than 5 years. Determination of applicability of such fees, and amount of such fees, shall be made at time of permit approval.*

- L. **Downtown Park Fee (Section 412).** Section 412 applies to any proposed office development project within the C-3-G Zoning Districts that results in a net addition of gross floor area of office use.

*The Project includes approximately 7,000 gsf of new office space, and is subject to the Downtown Park Fee.*

- M. **Public Art (Section 429).** In the case of construction of a new building or addition of floor area in excess of 25,000 sf to an existing building in a C-3 District, Section 429 requires a project to include works of art costing an amount equal to one percent of the construction cost of the building.

*The Project does not trigger the requirement for the provision of public art, in that the Project does not include an addition of more than 25,000 sf of gross floor area.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The Project is necessary and desirable because it will provide office space that is compatible with the surrounding neighborhood and community. The Property is located within a C-3-O (SD) Zoning District, where office uses are prevalent. Other buildings in the Property's immediate vicinity along Market Street contain similar office uses with ground floor retail space. This area is ideal for such office uses, as it is located within the Downtown Core, and is well-served by local and regional public transit systems. The Project would legalize approximately 7,000 square feet of renovated basement office space without altering the existing ground floor retail space fronting on Market and Stevenson Streets, which complies with the Planning Code's active use street frontage requirements in this area and would continue to contribute to the pedestrian-oriented character of the street. Access to the basement office space is provided at the rear of the building, in an area that is less desirable for retail use due to its lack of visibility from Market Street and low foot-traffic along Stevenson Street. The Project would be of a size and intensity contemplated for and compatible with the surrounding area.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The Project will involve a change of use to the basement of an existing building containing predominantly office uses. The size, shape, and arrangement of the structure are ideal for office use. In addition, the building is located in an area where office uses are prevalent. Access to the basement office space is located at the rear of the building, in an area where the location of retail uses would be undesirable due to a lack of visibility from Market Street and the low foot-traffic along Stevenson Street. Therefore, the location of approximately 7,000 square feet of office space at*

*the basement of the building will not be detrimental to the health, safety, convenience or general welfare of individuals working in the vicinity.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Project proposes to locate approximately 7,000 square feet of professional and business offices not offering on-site services to the general public within the basement of an existing office building. No off-street parking is provided within the existing building, and none would be provided as part of the Project. Additionally, no off-street loading docks are provided within the existing building, and none would be created as part of the Project. As the previous use of this space was retail, the Project would likely decrease the need for ground-floor freight loading access within the building.*

*Moreover, there would continue to be a multitude of public transportation options near the Property that ensure the Project would have minimal adverse effects on traffic and parking in the area. The Property is within the Downtown core and is approximately one half block from the Montgomery BART and MUNI light rail station, and the 5, 6, 9, 9L, 21, 31, 38, 38L, 71, 71L, K-OWL, L-OWL, M-OWL, N-OWL, and T-OWL bus lines all have stops essentially adjacent to the property.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The Project will not produce or include uses that would emit noxious or offensive emissions such as noise, glare, dust and odor. Such uses are inconsistent with the Project Sponsor's objectives.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The Project proposes a change of use at the basement of an existing building. There are no exterior alterations proposed as part of the project.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with Objectives and Policies of the General Plan as detailed below.*

- 8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## COMMERCE AND INDUSTRY ELEMENT

### Objectives and Policies

**OBJECTIVE 1:  
MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE  
TOTAL CITY LIVING AND WORKING ENVIRONMENT.**

**Policy 1.1:**

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

**Policy 1.2:**

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

**Policy 1.3:**

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

*The Project will affirmatively support these policies by increasing foot traffic and employment opportunities in the neighborhood, and by providing desirable goods and services through a retained retail space along Market Street. The existing buildings in the immediate vicinity of the Property contain similar office-over-ground-floor-retail uses. The proposed addition of office space at the Property will therefore be consistent with the existing character of the surrounding area, minimizing any potential undesirable consequences. The Project is also located in an area well-served by public transportation, and therefore little additional traffic or parking demand is expected to be generated as a result of the Project.*

**OBJECTIVE 2:  
MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL  
STRUCTURE FOR THE CITY.**

**Policy 2.1:**

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

*The Project will retain existing commercial activity in the Downtown core.*

**TRANSPORTATION ELEMENT**

**Objectives and Policies**

**OBJECTIVE 1:  
MEET THE NEEDS OF ALL RESIDENTS AND VISITORS FOR SAFE, CONVENIENT AND  
INEXPENSIVE TRAVEL WITHIN SAN FRANCISCO AND BETWEEN THE CITY AND  
OTHER PARTS OF THE REGION WHILE MAINTAINING THE HIGH QUALITY LIVING  
ENVIRONMENT OF THE BAY AREA.**

**Policy 1.3:**

Give priority to public transit and other alternatives to the private automobile as the means of meeting San Francisco's transportation needs, particularly those of commuters.

*The Project directly furthers this policy by creating additional office uses in an area well-served by local and regional public transit systems. The Property is located approximately one block from the Civic Center BART and MUNI light rail station. The 5, 6, 9, 9L, 21, 31, 38, 38L, 71, 71L, K-OWL, L-OWL, M-OWL, N-OWL, and T-OWL bus lines all have stops essentially adjacent to the Property. The numerous public transit options will reduce any adverse effect that the Project may have on traffic patterns in the vicinity of the Property.*

**OBJECTIVE 2:**

**USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.**

**Policy 2.2:**

Reduce pollution, noise and energy consumption.

*The Project specifically and significantly furthers this policy by being located in an area in close proximity to residential communities and well-served by local and regional public transit services. The Property's easy access by public transportation will encourage employees of retail and office uses in the building to utilize public transit, thereby reducing pollution, noise, and energy consumption relating to automobile use.*

**DOWNTOWN AREA PLAN**

**Objectives and Policies**

**OBJECTIVE 1:**

**MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.**

**Policy 1.3:**

Encourage development which produces substantial net benefits and minimizes undesirable consequences. Discourage development which has substantial undesirable consequences which cannot be mitigated.

*The Project will affirmatively support these policies by increasing foot traffic and employment opportunities in the neighborhood. The Project's additional office space would be located in the Downtown core, which encourages dense office uses. Additionally, the existing buildings in the immediate vicinity of the Property contain similar office-over-ground-floor-retail uses. The proposed addition of office space at the Property will therefore be consistent with the existing character of the surrounding area, minimizing any potential undesirable consequences. The Project is also located in an area well-served by public*

*transportation, and therefore little additional traffic or parking demand is expected to be generated as a result of the Project.*

**OBJECTIVE 2:**

**MAINTAIN AND IMPROVE SAN FRANCISCO'S POSITION AS A PRIME LOCATION FOR FINANCIAL, ADMINISTRATIVE, CORPORATE, AND PROFESSIONAL ACTIVITY.**

**Policy 2.1:**

Encourage prime downtown office activities to grow as long as undesirable consequences of such growth can be controlled.

**Policy 2.2:**

Guide location of office development to maintain a compact downtown core and minimize displacement of other uses.

*The Project will affirmatively support these policies by increasing the availability of relatively small-scale office spaces while not displacing any other protected use.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The Project will not displace any existing neighborhood-serving retail uses or related employment opportunities. Ownership of retail businesses will not be affected by this project.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project will not result in removal of any dwelling units from the City's housing stock. In addition, the Project proposes office uses that are consistent with the character of the surrounding neighborhood.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project will not affect the City's supply of affordable housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project will not adversely affect public transit or place a burden on the existing supply of parking in the neighborhood. The area is well-served by public transportation and it is expected that many of the office's employees will walk or take public transit to and from work.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project does not involve any construction activities that will compromise the structural integrity of the existing building. Any future tenant improvements will conform to the structural and seismic safety requirements of the City's Building Code.*

- G. That landmarks and historic buildings be preserved.

*A landmark or historic building does not occupy the Project site.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project, which does not include any physical expansion of the building envelope, will not affect any parks or open spaces, or their access to sunlight.*

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2014.0505C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated October 17, 2012, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on July 24, 2014.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: July 24, 2014



## EXHIBIT A

### AUTHORIZATION

1. This authorization is for a Conditional Use Authorization to allow an office use that does not provide on-site services to the general public at the ground floor and basement of the existing building at 581 Market Street (aka 88 Stevenson Street), Block 3708 in Assessor's Lot 044, pursuant to Planning Code Sections **219(d) and 303**, within the C-3-O (SD) (Downtown Office (Special Development)) Zoning District and a 300-S Height and Bulk District; in general conformance with plans, dated **October 17, 2012**, and stamped "EXHIBIT B" included in the docket for Case No. **2014.0505C** and subject to conditions of approval reviewed and approved by the Commission July 24, 2014, under Motion No. XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

2. Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the Project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **July 24, 2014**, under Motion No. XXXXX.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

3. The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use Authorization and any subsequent amendments or modifications.

### SEVERABILITY

4. The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

5. Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use Authorization.

## Conditions of approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

6. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

7. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

8. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

9. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

10. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## DESIGN – COMPLIANCE AT PLAN STAGE

11. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## PROVISIONS

12. **Transit Impact Development Fee.** Pursuant to Planning Code Section 411, the Project Sponsor shall pay the Transit Impact Development Fee (TIDF) as required by and based on drawings submitted with the Building Permit Application. Prior to the issuance of a temporary certificate of occupancy, the Project Sponsor shall provide the Planning Director with certification that the fee has been paid.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

13. **Downtown Park Fee - C-3 District.** Pursuant to Planning Code Section 412 (formerly 139), the Project Sponsor shall pay the Downtown Park Fee. The fee shall be based on drawings of the net addition of gross floor area of office to be constructed as set forth in the building permit and shall be paid prior to the issuance of a temporary certificate of occupancy.

## MONITORING - AFTER ENTITLEMENT

14. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

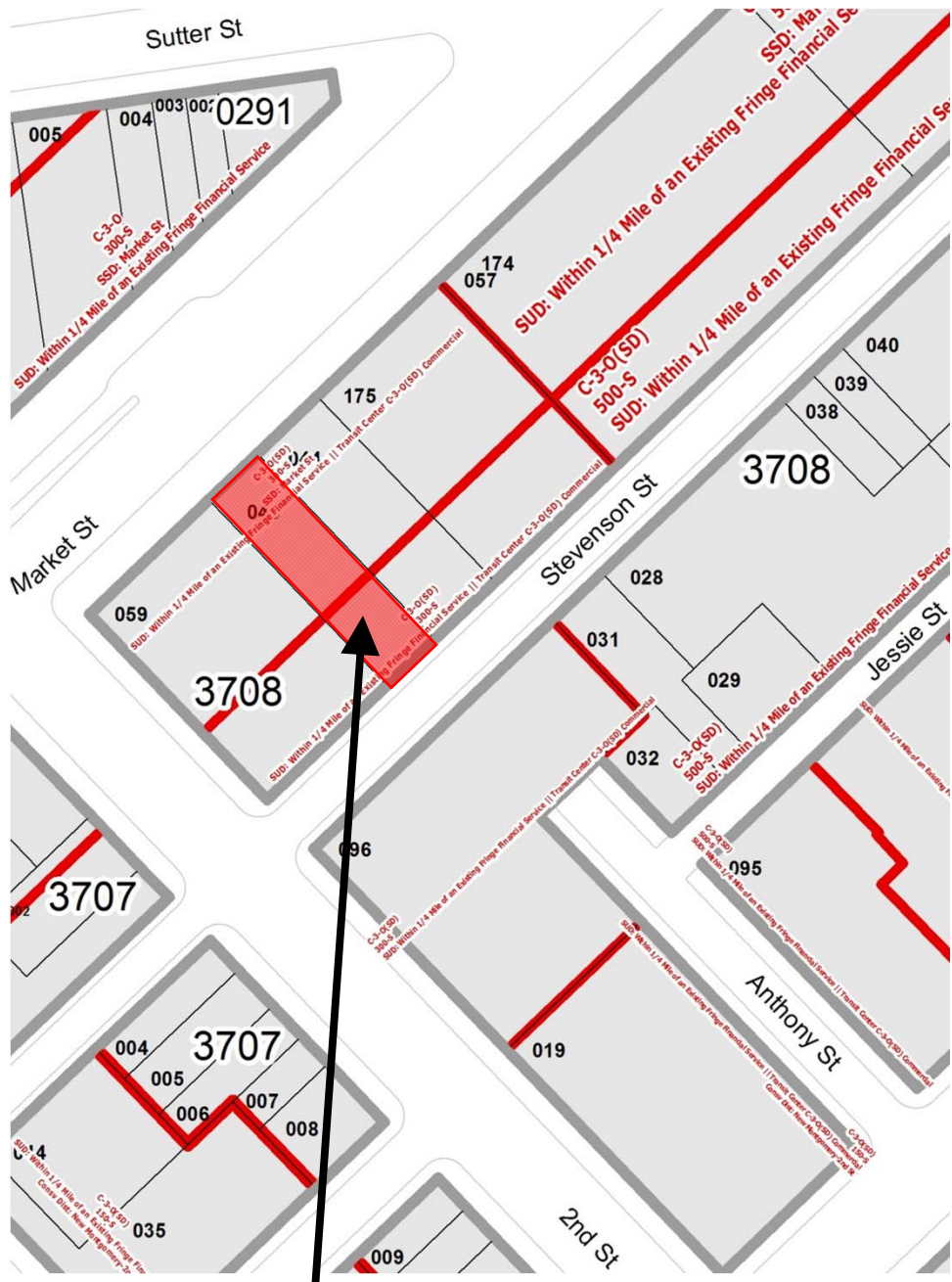
15. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

16. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.  
*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>*
17. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. In addition, the operator shall be responsible for daily monitoring of the sidewalk within a one-block radius of the subject business to maintain the sidewalk free of paper or other litter associated with the business during business hours, in accordance with Article 1, Section 34 of the San Francisco Police Code.  
*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*
18. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.  
*For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, [www.sfdph.org](http://www.sfdph.org)*  
*For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, [www.sfdbi.org](http://www.sfdbi.org)*  
*For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-0123, [www.sf-police.org](http://www.sf-police.org)*
19. **Community Liaison.** Prior to issuance of a building permit to construct the Project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

# Parcel Map

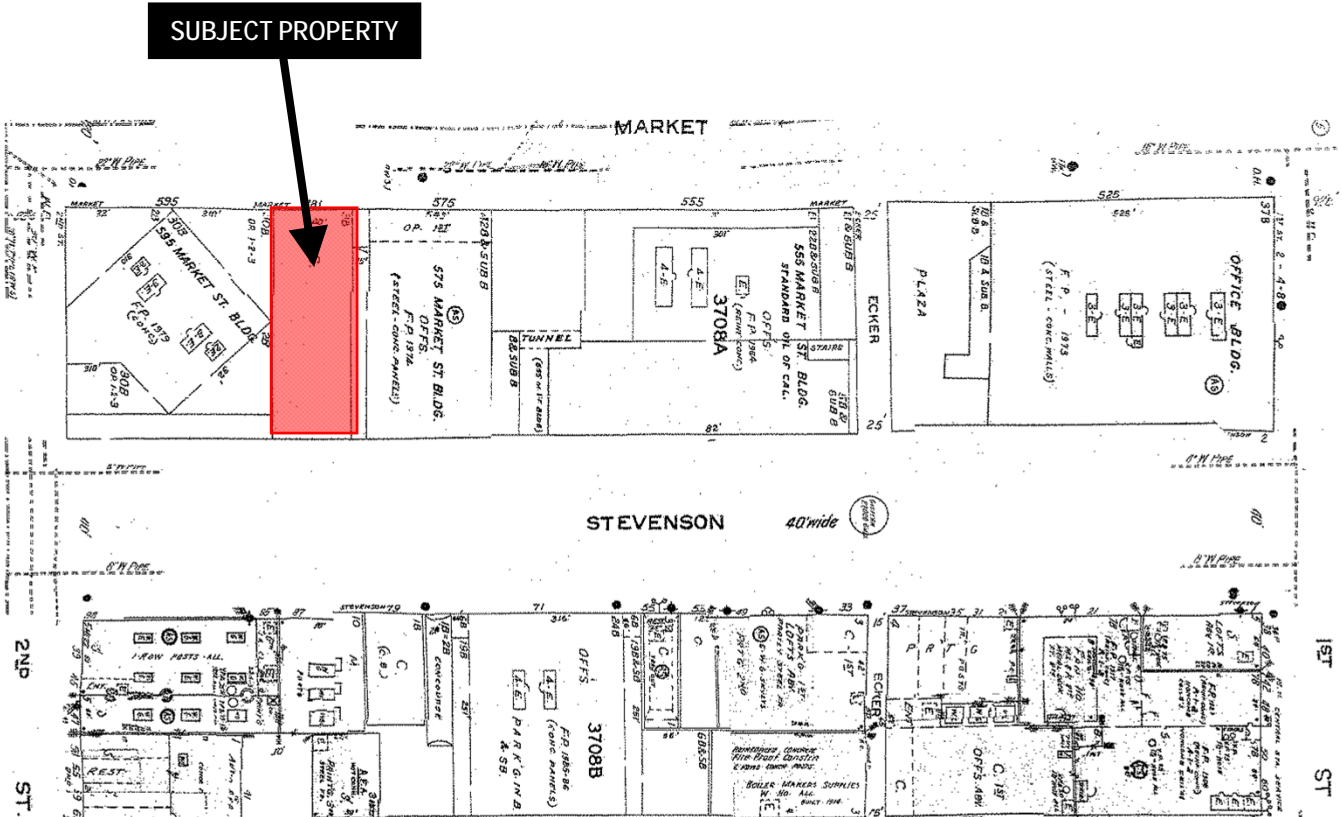


**SUBJECT PROPERTY**



Conditional Use Authorization  
Case Number 2014.0505C  
581 Market Street (aka 88 Stevenson Street)

# Sanborn Map\*

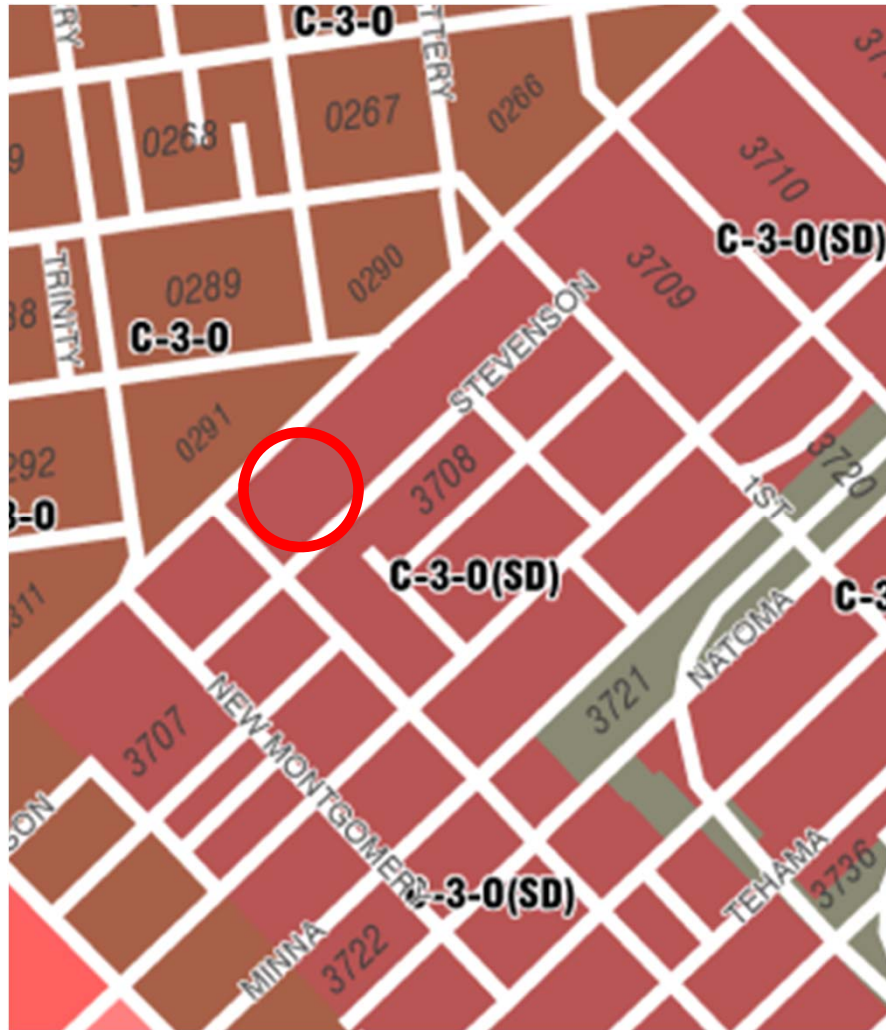


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



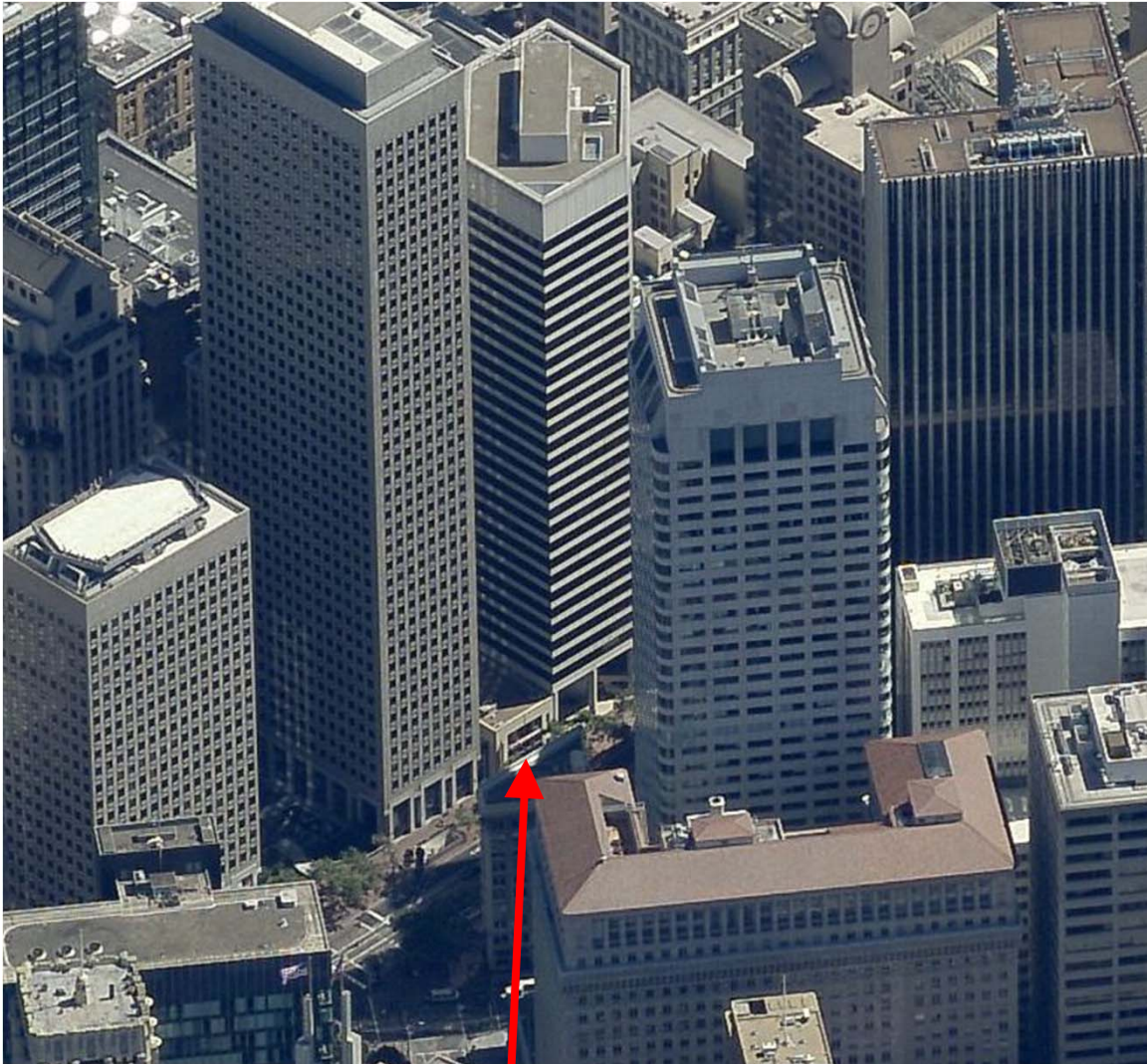
Conditional Use Authorization  
Case Number 2014.0505C  
581 Market Street (aka 88 Stevenson Street)

# Zoning Map



Conditional Use Authorization  
Case Number 2014.0505C  
581 Market Street (aka 88 Stevenson Street)

# Aerial Photo



SUBJECT PROPERTY



Conditional Use Authorization  
Case Number 2014.0505C  
581 Market Street (aka 88 Stevenson Street)



# REUBEN, JUNIUS & ROSE, LLP

July 16, 2014

Cindy Wu, President  
San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

**Re: 581 Market Street  
Planning Case No. 2014.0505C  
Hearing Date: July 24, 2014  
Our File No.: 8150.01**

Dear President Wu and Commissioners:

This office represents Redwood-Kairos Real Estate Partners, the Project Sponsor (“Sponsor”) of a project at 581 Market Street (aka 88 Stevenson). Office space at the lower level of the building was added without conditional use approval because the Department of Building Inspection and the Sponsor thought that such approval was not required. The Sponsor followed all proper Building Department processes, including submission of plans, issuance of permits, inspections, and issuance of a certificate of occupancy. Therefore, the Project needs only conditional use approval for the office space, which is currently occupied. We look forward to presenting the Project to you on July 24, 2014.

## **A. History of the Project**

The Property, which is located in the C-3-O(SD) – Downtown-Office (Special Development) zoning district on Market Street between First Street and Second Street, was previously a Stacey’s Bookstore. In 2012, CVS was installed on the ground floor with a permit. Office space was also added to the second and third floors as a principally permitted use in the C-3-O(SD) District. The Sponsor then sought a permit to construct office space on the lower level, unaware that conditional use approval was needed for lower level office space under Section 219 of the Planning Code. Based on the understanding that office use was permitted, the Sponsor submitted plans for the lower level office to the Department of Building Inspection. Plans for the basement level office are attached as **Exhibit A**. Plans for the earlier remodeled Stevenson entrance and building lobby, through which the basement is accessed, are attached as **Exhibit B**.

The plans were reviewed and approved by the Department of Building Inspection, permits were issued, the office space was built and inspected and received a certificate of occupancy. Photographs of the lower level office space are attached as **Exhibit C**.

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin  
Sheryl Reuben<sup>1</sup> | David Silverman | Thomas Tunny | Jay F. Drake | John Kevin  
Lindsay M. Petrone | Melinda A. Sarjapur | Kendal H. McIntosh | Jared Eigerman<sup>2,3</sup> | John McInerney III<sup>2</sup>

<sup>1</sup> Also admitted in New York <sup>2</sup> Of Counsel <sup>3</sup> Also admitted in Massachusetts

One Bush Street, Suite 600  
San Francisco, CA 94104

tel: 415-567-9000  
fax: 415-399-9480

[www.reubentlaw.com](http://www.reubentlaw.com)

The Sponsor did not learn of the mistake until recently, when the Planning Department contacted the Sponsor, who then immediately submitted a Conditional Use Application for approval of the lower level office space.

### **B. Project Description**

The office space that was created provides approximately 7,000 square feet of fully accessible, attractive, upgraded office space in the heart of the financial district. The space is not visible from the street. Moreover, the building has no parking and is served by numerous public transportation options. Therefore, the office space provides no additional traffic in the area. It is precisely the type of office construction that is encouraged in the C-3-O(SD) District, which seeks to provide high-quality, dense office development, largely accessed by foot traffic, in the area south of Market Street and east of Third Street. (Planning Code Sec. 210.3)

### **C. Summary of Project Benefits**

The Project will provide significant benefits to the City, including the following:

- **Adds office space to the downtown area without eliminating street-facing retail or adding vehicle traffic.** The office space is not visible from the street. Instead, the ground floor CVS provides a lively street-facing retail use. There is no parking at the site. Therefore, vehicle traffic will not be added due to the office space.
- **Maintains the character of the building.** Creation of the office space did not require any changes to the exterior of the building.
- **Upgrades the building's life-safety systems.** Fire protection, fire alarms, egress from the lower level and earthquake preparedness were improved as part of the office construction.
- **Creates jobs.** The space has been occupied since January 2014. Approval of the Conditional Use Application would permit the current tenant to remain in the space.

**D. Required Project Approvals.** The Project requires conditional use approval under Planning Code Section 303.

**E. Conclusion**

The Project adds well-built office space in an area highly accessible by foot and public transportation. The Sponsor would have sought conditional use approval if not for an oversight about the Planning Code made by the Sponsor and the Department of Building Inspection. Therefore, we urge you to support this Project.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Jody Knight

Enclosures

cc: Vice-President Rodney Fong  
Commissioner Michael Antonini  
Commissioner Christine Johnson  
Commissioner Rich Hillis  
Commissioner Kathrin Moore  
Commissioner Bill Sugaya  
Jonas Ionin – Commission Secretary  
John Rahaim – Planning Director  
Scott Sanchez – Zoning Administrator  
Pilar DeValley – Project Planner  
Steve Ritchey – Redwood-Kairos Real Estate Partners  
Jon Needell – Redwood-Kairos Real Estate Partners

One Bush Street, Suite 600  
San Francisco, CA 94104

tel: 415-567-9000  
fax: 415-399-9480

**REUBEN, JUNIUS & ROSE, LLP**

[www.reubenlaw.com](http://www.reubenlaw.com)

# REDWOOD REAL ESTATE PARTNERS

## 88 Stevenson Street - Basement Floor

1557-2101-1102

**SEPARATE BUILDING, MECH, HVAC, and/or ELECTRICAL PERMIT (S) REQUIRED FOR:**  
 1. Part of building.  
 2. Demolition of partitions and doors.  
 3. Construction of new partitions, doors, lighting, electrical, finishes and plumbing.  
 4. Mechanical, life safety and sprinkler system modifications are under separate permit.  
 Unless such permit(s) approved by DBI Mechanical Plan Check Division, NO SUCH CONSTRUCTION IS ALLOWED. Before construction, call District Building Inspector (415) 558-6696.

*Tom C. Hill*  
 Timothy M. Hill, DBI  
 OCT 23 2012

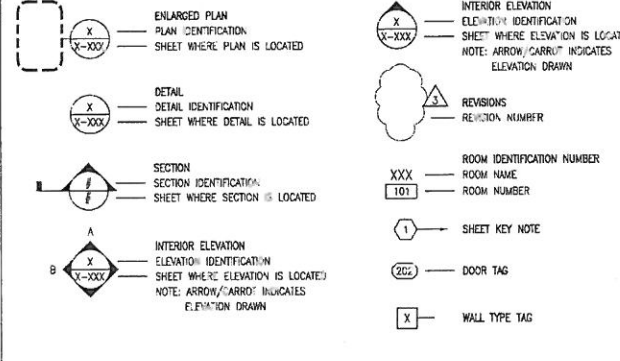
221 Main Street  
 Suite 525  
 San Francisco  
 California  
 94105

nicholsbooth ARCHITECTS

### ABBREVIATIONS

Ø Diameter or Round	CLWG Caulking	E.P. Electrical Panelboard	GR Gride	MT Metal Threshold	R.D. Roof Drain	STRL Structural
⊕ Centerline	CLC Cast	EQ Equal Equipment	GYP Gypsum	MTD Mounted	REF Reference	SUSP Suspended
∠ Angle	CTR Counter	EXP Exposure	GSM Galvanized Sheet Metal	MUL Mulled	REFR Refrigerator	SYM Symmetrical
⊞ Pound or Number	C.O. Cased Opening	EXP Expansion	H.B. Has Bob	N Not in Contract	REQ Required	TND Tread
⊞ (N) Naming	COL Column	EXP Exterior	HWMC Hollow Core	NO or # Number	RESL Resident	T.B. Towel Bar
ACOUS Acoustics	CCN Concrete	F.A. Fire Alarm	HWMC Hardware	NOM Nominal	R.V. Room	T.C. Top of Curb
A.D. Area Drain	CCN Connection	F.B. Fire Alarm	H.M. Hollow Metal	N.T.S. Not To Scale	R.O. Rough Opening	T.C. Telephone
AJ Adjustable	CCN Construction	F.D. Fire Alarm	H.M. Hollow Metal	O.A. Overall	R.W. Redwood	T.G. Tongue and Groove
AGGR Above Finished Floor	CCN Continuous	F.F. Fire Alarm	H.H. Horizontal	O.C. Overall	R.W.L. Rain Water Leader	T.H. This
AL Aluminum	CCN Center	F.E.C. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
APPROX Approximate	DBL Double	F.F.C. Fire Extinguisher Cab.	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
ARCH Architectural	D.F. Drinking Fountain	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
ASPH Asphalt	DIA Diameter	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
BD Board	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
BLK Bituminous	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
BLDG Building	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
BLK Black	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
BLK Blocking	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
BLM Beam	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
BT Bottom	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
BW Bottom of Well	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
CB Cabinet	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
C.B. Catch Basin	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
CEM Cement	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
CL Ceramic	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
CL Cast Iron	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
C.G. Corner Guard	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This
CLD Ceiling	DISP Dispenser	F.F. Fire Extinguisher	H.H. Horizontal	O.C. Overall	R.V. Room	T.H. This

### DRAFTING SYMBOLS



### PROJECT SCOPE

TENANT IMPROVEMENT ON EXISTING FULL-FLOOR TENANT ON THE BASEMENT LEVEL. DEMOLITION OF PARTITIONS AND DOORS. CONSTRUCTION OF NEW PARTITIONS, DOORS, LIGHTING, ELECTRICAL, FINISHES AND PLUMBING. MECHANICAL, LIFE SAFETY AND SPRINKLER SYSTEM MODIFICATIONS ARE UNDER SEPARATE PERMIT.

### PATH OF TRAVEL / ACCESSIBILITY SCOPE

SEE SHEET RE-1 FOR EXISTING MAIN ENTRY DOOR AND ELEVATOR. SEE SHEET G-103 FOR NEW BASEMENT FLOOR RESTROOM.

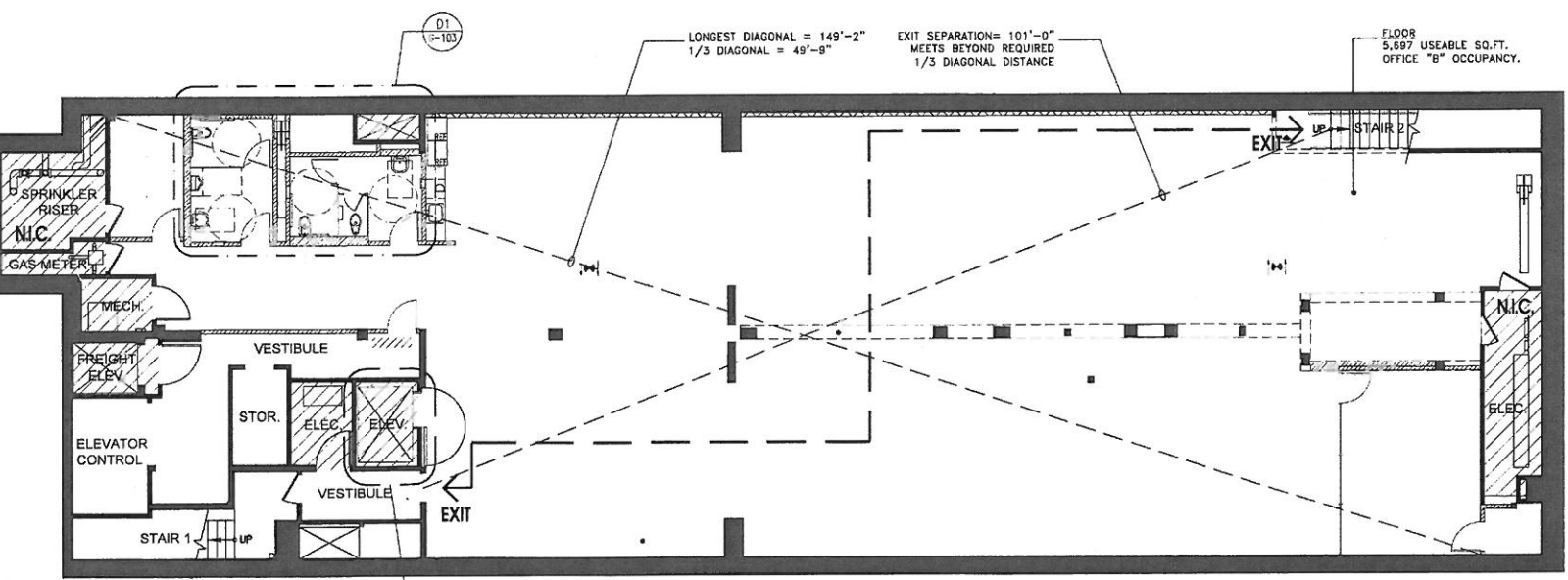
### DEFERRED SUBMITTAL

ELECTRICAL, LIFE SAFETY AND SPRINKLER SYSTEMS MODIFICATIONS. MECHANICAL & PLUMBING WILL BE DESIGN BUILD.

### ISSUE INFORMATION

No.	Date	Issue	Drawn Check
1	09/12	REVIEW	FD W
2	09/11/12	REVISD BACKGROUND	FD W
3	09/11/12	REVISD BACKGROUND	FD W
4	09/11/12	REVIEW	FD W
5	09/14/12	PERMITTING	FD W
6	10/10/12	REVISION	FD W
7	10/17/12	PERMITTING	FD W

### EXITING PLAN



**APPROVED**  
 Dept. of Building Insp.  
 OCT 26 2012  
 Tom C. Hill  
 TOM C. HILL, S.E.  
 ACTING DIRECTOR  
 DEPT. OF BUILDING INSPECTION



### 1 BASEMENT FLOOR PLAN

1/8" = 1'-0"

### OCCUPANT LOAD

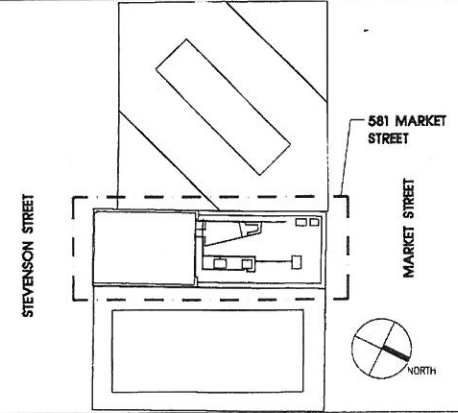
OFFICE		CONFERENCE ROOM		TOTALS	
SQ. FT.	OCC.	SQ. FT.	OCC.	SQ. FT.	OCC.
5,437	54	200	17	5,697	71

TOTAL FLOOR OCCUPANCY = 52

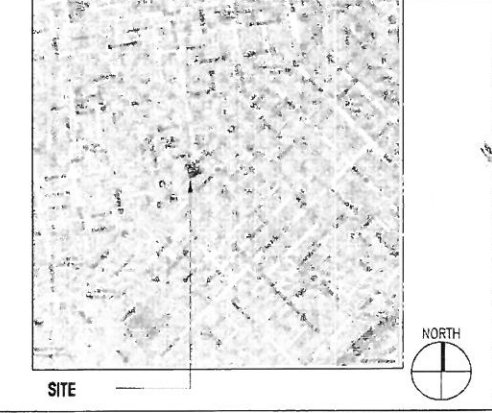
WHEN OCCUPANCY IS 50 OR GREATER:  
 - 2 EXIT SEPARATIONS IS REQUIRED WITH MINIMUM 1/3 DIAGONAL OF THE LONGEST DISTANCE APART

THEREFORE THIS FLOOR PROVIDES:  
 - 2 EXIT SEPARATIONS THAT MEETS BEYOND THE REQUIRED MINIMUM 1/3 DIAGONAL OF THE LONGEST DISTANCE APART AS SHOWN ON 1/8" EXITING PLAN ABOVE

### SITE PLAN



### VICINITY MAP



### SHEET INDEX

ARCHITECTURAL	ELECTRICAL
G-100 COVER SHEET & EXITING PLAN	E-001 SYMBOL LEGEND, WIRING CRITERIA, ABBREVIATIONS, DRAWING INDEX, SINGLE LINE DIAGRAM
G-102 O.A. CHECKOUT	E-002 GENERAL NOTES, WIRING CRITERIA
G-103 NEW BASEMENT FLOOR RESTROOM	E-101 BASEMENT DEMOLITION PLANS
RE-1 PATH OF TRAVEL - FOR REFERENCE ONLY	E-201 BASEMENT LIGHTING, POWER & SIGNAL PLANS
A-100 DEMOLITION PLAN	E-301 SCHEDULES
A-101 CONSTRUCTION PLAN	E-401 TITLE 24
A-102 POWER & SIGNAL PLAN	E-402 TITLE 24
A-103 REFLECTED CEILING PLAN	E-501 DETAILS AND DIAGRAMS
A-104 FINISH PLAN	
A-401 ENLARGED STAIR PLAN, ELEVATIONS & DETAILS	
A-402 MILLWORK ELEVATION & DETAILS	
A-601 PARTITION, CEILING & TRANSITION DETAILS	
A-601 DOOR SCHEDULES	

**RECEIVED**  
 OCT 22 2012  
 DEPT. OF BUILDING INSPECTION  
 THE PLAN MEETS THE QUALITY STANDARDS OF THE DEPARTMENT

88 STEVENSON STREET  
 San Francisco, CA

REDWOOD REAL ESTATE PARTNERS

BASEMENT FLOOR

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE JOB AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS BETWEEN DIMENSIONS OF THE ACTUAL WORK AND THOSE SHOWN IN THE DOCUMENTS OR ARCHITECT'S APPROVED SHOP DRAWINGS. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL QUANTITIES OF MATERIAL OR EQUIPMENT CALLED FOR TO PROPERLY COMPLETE THE WORK.

SHEET TITLE  
**COVER SHEET & EXITING PLAN**

JOB NUMBER  
 RED581.1205.00

DRAWN BY  
 TD

SCALE  
 1/8" = 1'-0"

FILE NAME  
 1557-2101-1102-100-01-100 COVER & EXITING PLAN

2012-1022-2591

221 Main Street  
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ISSUE INFORMATION

No.	Date	Issue	Drawn	Check
1	09.12	REVIEW	FD	WM
2	09.11.12	REVISED BACKGROUND	FD	WM
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5	09.14.12	PERMIT/SD	FD	WM
6	10.10.12	REVISION	FD	WM
7	10.17.12	PERMIT/PRICING	FD	WM



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BASEMENT FLOOR

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE JOB AND SHALL BE RESPONSIBLE FOR ALL DISCREPANCIES BETWEEN DIMENSIONS OF THE ACTUAL WORK AND THOSE SHOWN IN THE DOCUMENTS OR ARCHITECT'S APPROVED SHOP DRAWINGS. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL QUANTITIES OF MATERIAL OR EQUIPMENT CALLED FOR TO PROPERLY COMPLETE THE WORK.

SHEET TITLE

**NEW BASEMENT FLOOR RESTROOMS** BY JERRY CHEUNG, DBI  
OCT 23 2012

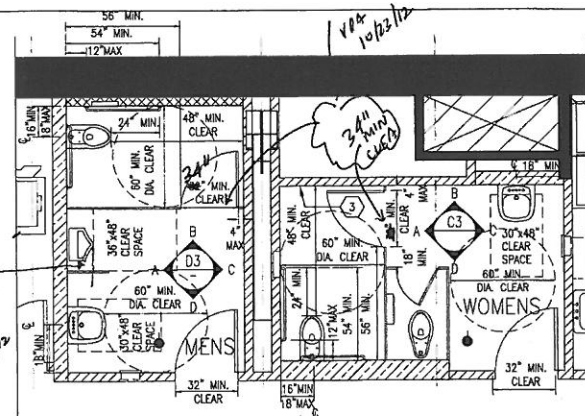
JOB NUMBER  
RED581.1205.00

DRAWN BY  
FD

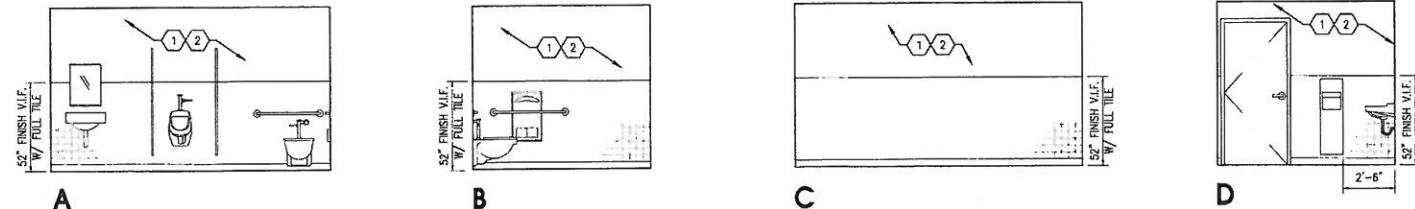
SCALE  
AS NOTED

FILE NAME **G-103**

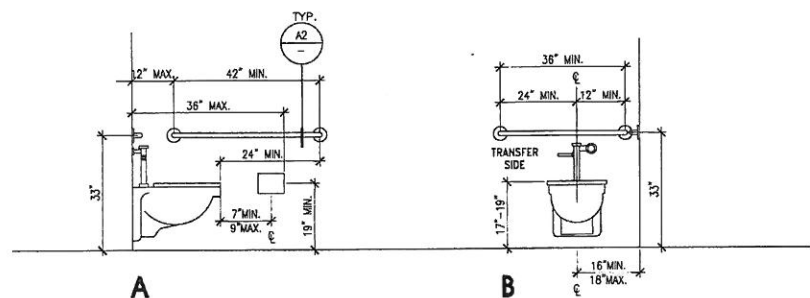
P:\881 Market\Drawings\Basement\CD3\4. G-103 BASEMENT FL RESTROOM



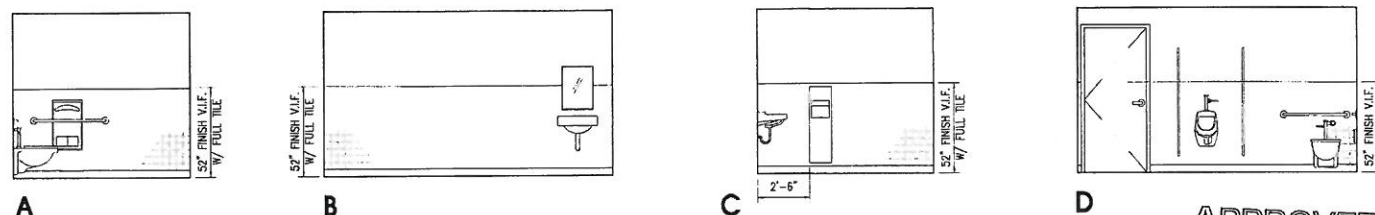
**D1 ACCESSIBLE RESTROOMS**  
1/4"=1'-0"



**D3 RESTROOM ELEVATIONS - MENS**  
1/4"=1'-0"



**C1 TYPICAL ADA STALL MOUNTING HEIGHTS**  
N.T.S.

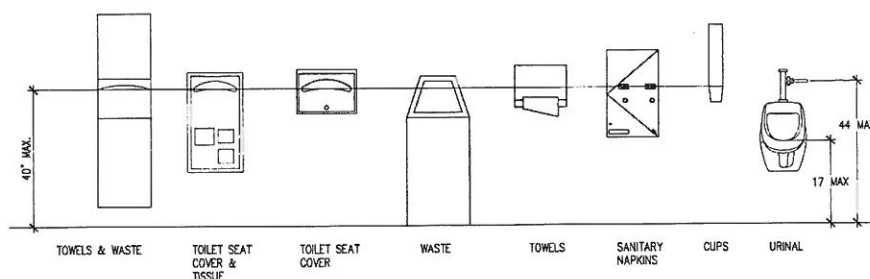


**C3 RESTROOM ELEVATIONS - WOMENS**  
1/4"=1'-0"

**APPROVED**  
Dept. of Building Insp.

OCT 26 2012

Tom C. Hui  
ACTING DIRECTOR  
DEPT. OF BUILDING INSPECTION



**B1 STANDARD MOUNTING HEIGHTS**  
N.T.S.

**BASEMENT FLOOR RESTROOMS**

TABLE 2902.1 2010 SAN FRANCISCO BUILDING CODE

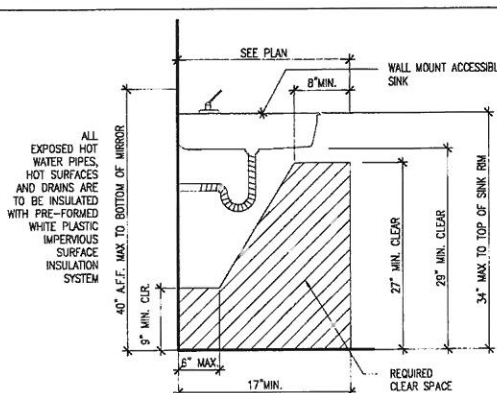
GROUP B	200 SQFT/ OCCUPANT	MALE	FEMALE
OFFICES ON PUBLIC BUILDINGS	5,697 SF/ 200 = 29	15	15
REQUIRED NUMBER OF WATER CLOSETS		2	2
PROVIDED		2	2
REQUIRED NUMBER OF LAVATORIES		1	1
PROVIDED		1	1

**SHEET NOTES**

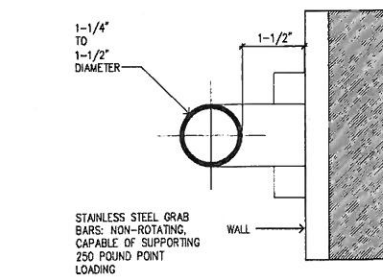
- BASEMENT FLOOR RESTROOM FINISHES TO MATCH EXACTLY WITH EXISTING 2ND FLOOR RESTROOMS.
- TOILET ROOM EQUIPMENT - TOILET TISSUE DISPENSER, BRUSHED ALUMINUM/ STAINLESS STEEL, RECESSED MOUNTED.
- PAPER TOWEL DISPENSER WITH INTEGRAL TRASH RECEPTACLE, RECESSED MOUNTED. BRUSHED ALUMINUM/ STAINLESS STEEL.
- LIQUID SOAP DISPENSER, SURFACE MOUNTED.
- HANDICAP ACCESSIBLE GRAB BARS 1-1/2" DIA. 36" & 48" LONG WITH 1-1/2" SPACE TO WALL.
- WATER CLOSET, HANDICAP ACCESSIBLE LAVATORY, WALL MOUNTED TYPE WITH HANDICAP ACCESSIBLE FAUCETS. ACCESSIBILITY AS REQUIRED BY TITLE 24 AND ADA REQUIREMENTS.
- WALL MOUNTED MIRROR.
- TOP MOUNTED EXHAUST FAN.
- HOT WATER - OPTION 1 CONNECT TO GAS WATER HEATER. ALTERNATE: INSTALL INSTA-HOT (1/4" COPPER WATER LINE).

**KEY NOTES**

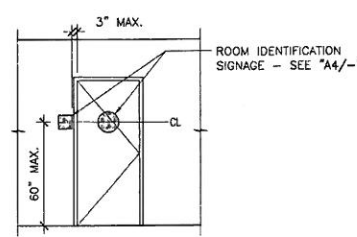
- ALL NEW FIXTURES AND ACCESSORIES TO MATCH EXISTING 2ND FLOOR RESTROOMS. REFER TO DETAILS A1, B1 AND C1 FOR MOUNTING HEIGHTS
- ALL RESTROOM FINISHES TO MATCH EXISTING 2ND FLOOR RESTROOMS. TILE SPEC: DAL-TILE FABRIQUE SERIES, NOIR LINEN P689.
- INSTALL ACCESS PANEL IN UPPER LEFT CORNER OF WALL.



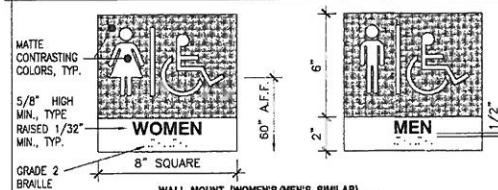
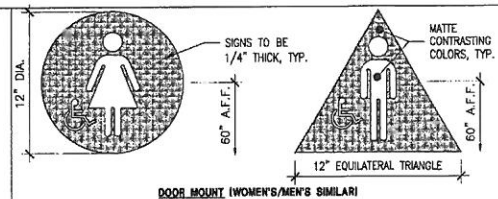
**A1 ACCESSIBLE LAVATORY SINK**  
1"=1'-0"



**A2 GRAB BAR**  
6" = 1'-0"



**A3 RESTROOM SIGNAGE ELEVATION**  
N.T.S.



**A4 ACCESSIBLE RR SIGNAGE**  
SCALE = N.T.S.

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**LEGEND**

- NO WORK IN THIS AREA
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING WALL TELE/DATA OUTLET TO BE DEMOLISHED
- (E) 2'x4' SURFACE MOUNT FLUORESCENT LIGHT FIXTURE TO BE REMOVED/ RELOCATED
- (E) 2'x4' SURFACE WALL MOUNTED FLUORESCENT LIGHT FIXTURE TO BE REMOVED. RETURN TO BUILDING ENGINEER
- (E) TRACK LIGHT TO BE REMOVED

**EXISTING CONDITION KEYNOTES**

- (E1) EXISTING DIAGONAL STEEL BRACING TO REMAIN. CLEAN SURFACES
- (E2) NOT USED
- (E3) EXISTING COLUMN SUPPORT TO REMAIN THROUGHOUT OPEN SPACE, TYPICAL.
- (E4) EXISTING BRICK WALL TO REMAIN "AS IS."
- (E5) EXISTING WHITE PAINTED BRICK WALL TO BE REPAINTED
- (E6) EXISTING AND NEW PANELS. SEE ELECTRICAL DRAWINGS
- (E7) EXISTING FIRE EXTINGUISHER TO REMAIN.
- (E8) EXISTING WALL-MOUNTED EXIT SIGN TO REMAIN.
- (E9) NOT USED
- (E10) EXISTING NON-PAINTED BRICK WALL AT LOCATION TO BE PREP TO RECEIVE NEW PAINT ABOVE NEW PARTIAL HEIGHT WALL
- (E11) EXISTING BRICK WALL TO BE REPAINTED

**ISSUE INFORMATION**

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6	10.10.12	REVISION	FD	WM
7	10.17.12	PERMIT/PRICING	FD	WM

**APPROVED**  
Dept. of Building Insp.

OCT 26 2012

Tom C. Hui  
TOM C. HUI, S.E.  
ACTING DIRECTOR  
DEPT. OF BUILDING INSPECTION



**DEMOLITION KEY NOTES**

- (D1) REMOVE ALL (E) FLOOR FINISH: CARPET AND BASE THROUGHOUT SPACE, U.O.N.
- (D2) PATCH ALL AREAS AFFECTED BY DEMOLITION AND PREP SURFACE TO RECEIVE NEW FINISH.
- (D3) REMOVE ALL (E) SURFACE MOUNTED LIGHTING IN OPEN SPACE AREA AND RETURN TO BUILDING STORAGE. COORDINATE WITH BUILDING ENGINEER.
- (D4) REMOVE (E) REMAINING DOOR FRAME.
- (D5) REMOVE (E) DOOR, FRAME, AND PANIC HARDWARE. SALVAGE FOR REUSE.
- (D6) REMOVE AND RELOCATE (E) WALL-MOUNTED EXIT SIGN AS REQUIRED
- (D7) NOT USED
- (D8) REMOVE (E) RAILING BELOW BRACING IF IN CONFLICT WITH NEW WALL LAYOUT.
- (D9) NOT USED
- (D10) (E) HEADER ACROSS COLUMNS TO REMAIN.
- (D11) NOT USED
- (D12) REMOVE DOOR AND DOOR FRAME. PATCH DRYWALL

**DEMOLITION SHEET NOTES**

- PLAN SHOWS EXISTING CONDITIONS, U.O.N. REFER TO KEY NOTES FOR DEMOLITION ITEMS.
- FOR CEILING DEMOLITION ITEMS, SEE RCP, REFLECTED CEILING PLAN, SHEET A-103.

**RECEIVED**  
OCT 22 2012  
DEPT. OF BUILDING INSPECTION  
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STANDARD FOR IMAGING

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BASEMENT FLOOR

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SHEET TITLE  
**DEMOLITION PLAN**

By JIMMY CHEUNG, DBI  
OCT 23 2012

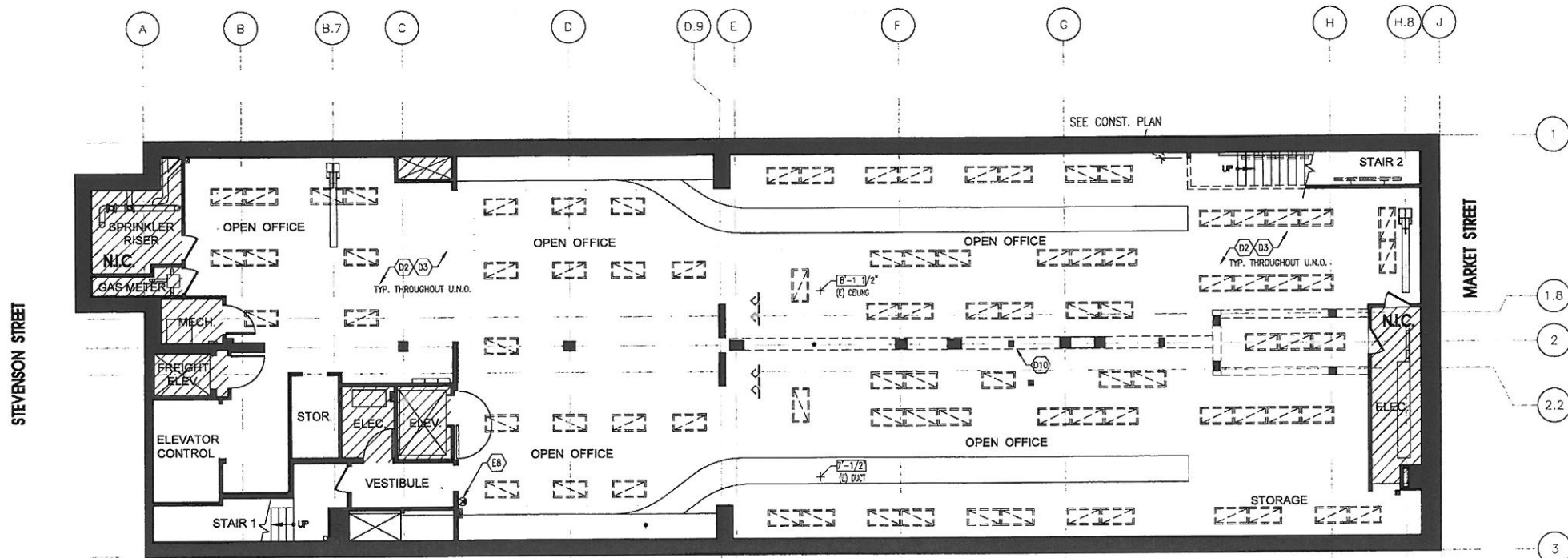
JOB NUMBER  
RED581.1205.00

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FD

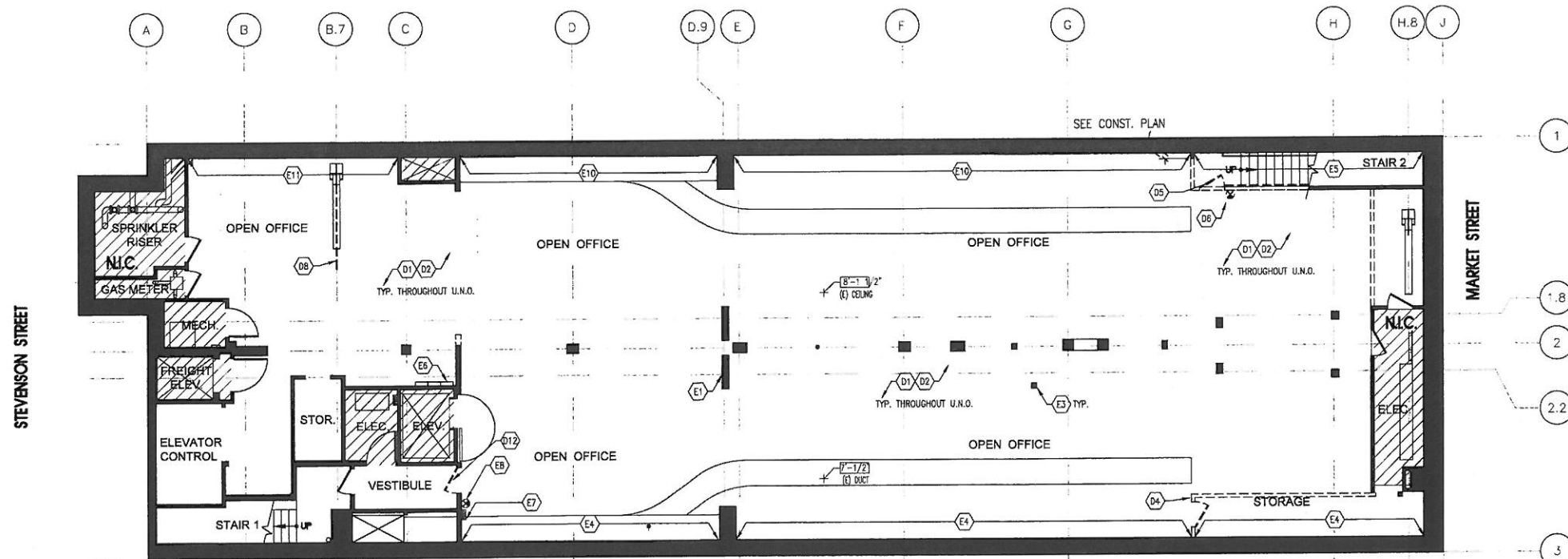
SCALE  
1/8" = 1'-0"

FILE NAME **A-100**

F:\081 Market\Drawings\Basement\002\16. A-100 DEMOLITION PLAN



**2 BASEMENT FLOOR - DEMOLITION CEILING PLAN**  
1/8"=1'-0"



**1 BASEMENT FLOOR - DEMOLITION PLAN**  
1/8"=1'-0"

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**LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- NO WORK IN THIS AREA
- NEW MILLWORK
- NEW BUILDING STANDARD CEILING HEIGHT PARTITION. SEE A5/A-501.
- NEW PARTIAL HEIGHT PARTITION. SEE C5/A-501
- NEW BUILDING STANDARD CEILING HEIGHT PLUMBING PARTITION. USE 6" STUD WHERE PLUMBING OCCURS, USE 3 5/8" U.O.N. SEE DETAIL A5/A-501 SIM.
- DOOR TAG NUMBER, SEE SHEET A-601 DOOR SCHEDULES
- (E) EXISTING ITEM, TO REMAIN
- REF REFRIGERATOR, SEE SHEET NOTE 1/A-102
- ALIGN
- NEW CLEAR ANODIZED ALUMINUM GLAZING SYSTEM

**CONSTRUCTION SHEET NOTES**

1. PARTITION TO BE TAPED SMOOTH AND SANDED WITH A MINIMUM LEVEL 4 FINISH. TO RECEIVE PAINT OR WALL COVERING.
2. ALL EXTERIOR CORNERS TO BE FINISHED WITH METAL CORNER BEADS AND ALL EXPOSED EDGES FINISHED WITH METAL TRIM.
3. ALL INTERIOR PARTITION WALLS SHALL BE BUILT TO THE UNDERSIDE OF ROOF STRUCTURE, U.O.N.
4. 5/8" TYPE "X" GYPSUM WALLBOARD, ONE LATER EACH SIDE OF STUDS. NON-FIRE RATED (MAY USE TYPE "X" RATED OPTIONAL, EXCEPT AT BATHROOM WALLS AND BEHIND SINKS AND DISHWASHER WHERE MOISTURE RESISTANT 'GREEN' GYPSUM BOARD IS TO BE USED. PAINT.
5. REPLACE AND REPAIR AS NEEDED FIRE EXTINGUISHER CABINETS TO MATCH EXISTING WHERE REQUIRED TO ACCOMMODATE NEW WORK. INSTALL NEW ONE(S) AS REQUIRED. COORDINATE LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.

**APPROVED**  
Dept. of Building Insp.

OCT 26 2012

Tom C. Hill  
ACTING DIRECTOR  
DEPT. OF BUILDING INSPECTION

**ISSUE INFORMATION**

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6	10.10.12	REVISION	FD	VM
7	10.17.12	PERMIT/PRICING	FD	VM



**CONSTRUCTION KEY NOTES**

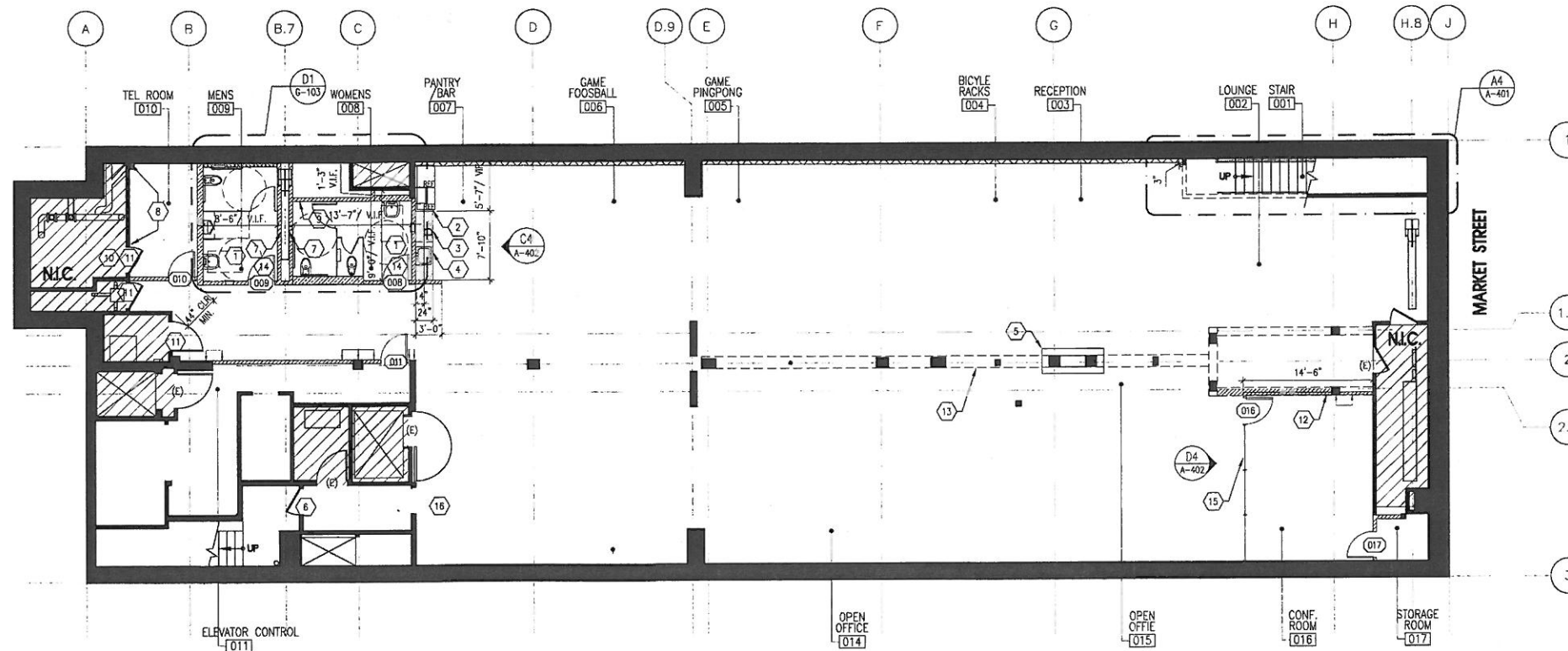
- 1 BUILD-OUT OF NEW RESTROOM, SEE SHEET G-103. ALL FIXTURES, FAUCETS, AND ACCESSORIES TO MATCH 2ND FLOOR RESTROOM.
- 2 (N) REFRIGERATOR (W/ 1/4" COPPER WATER LINE AND SHUT OFF VALVE AT WALL FOR ICE MAKER), DISHWASHER, GARBAGE DISPOSAL, AND WATER HEATER.
- 3 LOWER AND UPPER CABINETS. PROVIDE BLOCKING IN WALL FOR CABINETS, TYPICAL.
- 4 PROVIDE FIXTURE AND FAUCETS AT PANTRY MILLWORK. SEE BELOW FOR MORE INFO.
- 5 PATCH DRYWALL AT TOP OF BEAM. LEAVE WOOD STUDS EXPOSED
- 6 GENERAL CONTRACTOR TO VERIFY DOOR HARDWARE FUNCTION. DOOR SHOULD BE LOCKED FROM STAIRWAY SIDE AND UNLOCK FROM TENANT SIDE. RETROFIT AS REQUIRED
- 7 BUILD-OUT WALL AROUND EXISTING DIAGONAL STEEL BRACING. ARCHITECT TO VERIFY RESTROOM WALLS LAYOUT PRIOR TO CONSTRUCTION
- 8 INSTALL PLYWOOD ON AS REQUIRED FOR TEL/DATA PANELS. PAINT PLYWOOD TO MATCH WALL.
- 9 INSTALL ACCESS PANEL IN UPPER LEFT CORNER OF WALL.
- 10 PRICE NEW SEWAGE PUMP AS NECESSARY
- 11 GC TO VERIFY DOOR HARDWARE FUNCTION. DOOR TO HAVE A LOCK. RETROFIT AS REQUIRED
- 12 REVIEW LAYOUT WITH ARCHITECT PRIOR TO CONSTRUCTION. PATCH/EXTEND SOFFIT AS REQUIRED
- 13 EXISTING HEADER ACROSS COLUMNS TO REMAIN
- 14 GC TO COORDINATE WITH DESIGN BUILD MEP TO USE EXISTING DAYLIGHT AREA FOR BATHROOM EXHAUST
- 15 NEW BUTT JOINT GLASS W/HT GLASS DOOR
- 16 PATCH OPENING WITH DRYWALL

**FIXTURES & FAUCETS @MILLWORK**

1. DUAL COMPARTMENT, STAINLESS STEEL SINK. SPEC: ELKAY-LRAD & LRADQ SERIES, SIZE: 29"W x 18"D.
2. SINK FIXTURE TO BE SINGLE HANDLED, CHROME FINISH. SPEC: ELKAY-LRAD & LRADQ SERIES, SIZE: 29"W x 18"D.
3. GARBAGE DISPOSAL TO BE IN-SINK-ERATOR, 3/4 HP, 120V.
4. INCLUDED IS A WATER LINE FOR AN ICEMAKER.
5. HOT WATER - OPTION 1 CONNECT TO GAS WATER HEATER. ALTERNATE: INSTALL INSTA-HOT (W/ 1/4" COPPER WATER LINE)

**RECEIVED**  
OCT 22 2012

DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR IMAGING



**1 BASEMENT FLOOR - CONSTRUCTION PLAN**  
1/8" = 1'-0"

Timothy Nigata, DBI  
OCT 23 2012

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BASEMENT FLOOR

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SHEET TITLE  
**CONSTRUCTION PLAN**

BY: JIMMY CHEUNG, DBI  
OCT 23 2012

JOB NUMBER  
RED581.1205.00

DRAWN BY  
FD

SCALE  
1/8" = 1'-0"

FILE NAME **A-101**

F:\581 Market\Drawings\Basement\COB\1. A-101 CONSTRUCTION PLAN

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7	10.17.12	PERMIT/PRICING	FD	WM



**APPROVED**  
Dept. of Building Insp.

OCT 26 2012

Tom C. Hui  
TOM C. HUI, S.E.  
ACTING DIRECTOR  
DEPT. OF BUILDING INSPECTION

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SHEET TITLE

REFLECTED CEILING PLANS

BY JIMMY CHEUNG, DBI  
OCT 23 2012

JOB NUMBER

RED581.1205.00

DRAWN BY

FD

SCALE

1/8" = 1'-0"

FILE NAME **A-103**

F:\S1\Market\Drawings\Basement\CO'S\A-103 REFLECTED CEILING PLAN

LEGEND

- EXISTING GYP. BD CEILING THROUGHOUT TO REMAIN
  - NO WORK IN THIS AREA
  - NEW AND/OR RELOCATED BUILDING STANDARD EXIT SIGN
  - L1 NEW SURFACE MOUNTED BARTICO SINGLE LAMP WITH INTEGRAL BALLAST AND PERFORATED DIFFUSERS - 4' AND 8' LENGTH.
  - L2 BRUCK LIGHTING BY YLIGHTING LEDRA CHROMA II SPOT UNI-LIGHT FIXTURE. MATTE CHROME LED LAMP
  - L3 NEW AND/OR RELOCATED 2'X4' BUILDING STANDARD SURFACE MOUNT FLUORESCENT LIGHT FIXTURE.
  - L4 NEW SURFACE MOUNTED DOWNLIGHT OMEGA 8" PARABOLOID LOUVERED REFLECTOR CYLINDER WITH REMOTE ACCESS BALLAST JUNCTION BOX SHALL BE RECESSED IF NOT GC SHALL COORDINATE WITH ARCHITECT FOR APPROVAL OF A SUBSTITUTE LIGHT FIXTURE.
  - ALIGN
  - E INDICATES EXISTING TO REMAIN
  - R INDICATES RELOCATED
  - N INDICATES NEW
  - RR INDICATES REMOVE AND RELOCATE
- NOTE: HATCH PATTERN IN FIXTURE INDICATES EMERGENCY LIGHTING. REFER TO ELECTRICAL ENGINEER'S DRAWINGS

RCP KEY NOTES

- 1 EXISTING DUCT TO REMAIN.
- 2 WALL MOUNTED BARTICO FIXTURES - 4'-0". SEE ELEVATIONS
- 3 MOTION SENSOR TO BE INSTALLED AS REQUIRED BY TITLE-24.
- 4 WALL MOUNT FIXTURE

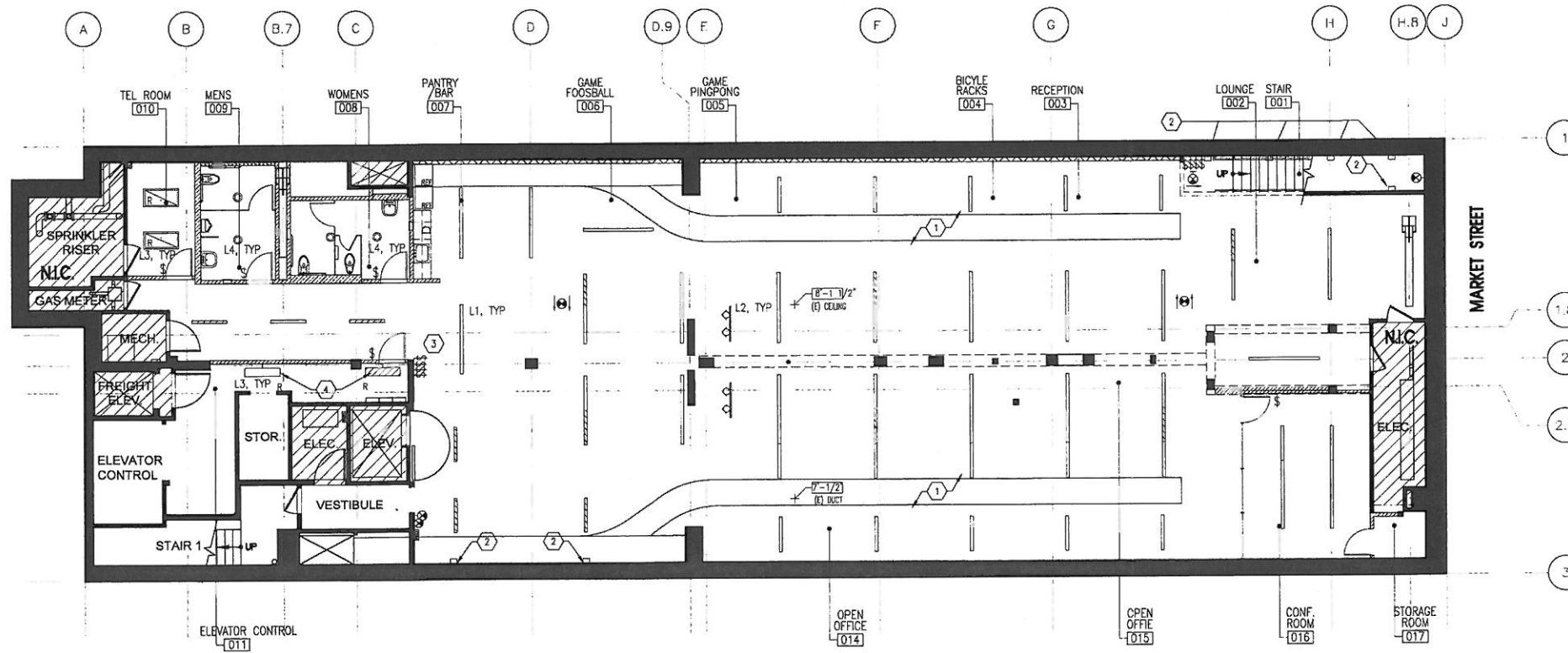
RCP SHEET NOTES

1. FIRE EXTINGUISHER CABINETS TO MATCH EXISTING WHERE REQUIRED. G.C. TO COORDINATE LOCATION WITH ARCHITECT PRIOR TO INSTALLATION
2. TENANT EXIT SIGNS BUILDING STANDARD CEILING/WALL MOUNT. GREEN LETTERS PER CODE.
3. TENANT EXTERIOR SIGN, IF ALLOWED - SIGN AND INSTALLATION TO BE PROVIDED BY THE TENANT AND INCLUDE CITY REQUIRED APPLICATION AND PERMIT.
4. ALL APPROPRIATE FIXTURES TO INCLUDE OR BE EQUIPPED WITH DAYLIGHT SENSORS AS REQ'D. BY TITLE 24
5. HEAT AND AIR CONDITIONING WILL BE PROVIDED BY EXISTING ROOFTOP UNITS.
6. ALL HEATING AND AIR CONDITIONING DUCT LOCATIONS AND ZONING TO BE "AS IS" EXCEPT THAT ADDITIONAL SUPPLY AND RETURN DUCTS WILL BE MOVED ADDED OR MOVED AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.
7. THE TOILET ROOMS ARE HANDLED BY INDIVIDUAL EXHAUST SYSTEMS, AND THEY MAY BE INTERLOCKED WITH THE CORRESPONDING MAIN A/C SYSTEM.
8. 2'X2' RETURN AIR GRILLES, PERFORATED FACE DIFFUSER FOR ACOUSTIC CEILING TILE AND OR SLOT DIFFUSERS FOR DRYWALL CEILINGS TO BE INDICATED AS REQUIRED FOR ALL SPACES PER APPROVED CONSTRUCTION DRAWINGS.
9. THERMOSTATS LOCATED PER ZONE REQUIREMENTS, 42" A.F.F. TO CENTERLINE.
10. ALL ADDITIONAL TENANT REQUESTS OR REQUIREMENTS, ADDITIONAL SUPPLY/RETURN DUCTS, EXHAUST FANS, ETC., WILL BE TENANT'S RESPONSIBILITY AND ABOVE STANDARD WORK AT TENANT'S EXPENSE.
11. THE BUILDING IS TYPE II-1HR WITH A FIRE SUPPRESSION SYSTEM. FIRE SPRINKLER TO BE DESIGNED AND INSTALLED PER LOCAL CODE.
12. REPLACE AND REPAIR AS NEEDED TO ACCOMMODATE NEW WORK ON FIRE LIFE SAFETY - INSTALL FIRE MANAGEMENT SPEAKERS, STROBES, AND SMOKE DETECTORS PER CODE. - CONNECT TO EXISTING CORE FIRE/LIFE SAFETY SYSTEM.

RECEIVED

OCT 22 2012

DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
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ACCEPTED



1 BASEMENT FLOOR - REFLECTED CEILING PLAN  
1/8"=1'-0"

343 Brown

Timothy Nugala, DBI  
OCT 23 2012





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SHEET TITLE

FINISH PLAN

BY JIMMY CHEUNG, LEED  
OCT 23 2012

JOB NUMBER  
RED581.1205.00

DRAWN BY  
FD

SCALE  
1/8" = 1'-0"

FILE NAME **A-104**

F:\581 Market\Drawings\Basement\CD\10\_A-104 FINISH PLAN

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NO WORK IN THIS AREA
- CHANGE OF FLOOR FINISH

FINISH SCHEDULE

MATERIAL	TAG	MANUF.	STYLE / COLOR
CARPET	C-1	SEE FINISH SHEET NOTE 1	STYLE: TBD COLOR: TBD
CARPET	C-2	MATCH 2ND FL LOBBY	
WOOD	WD-1	SEE FINISH SHEET NOTE 1	
VINYL FLOOR	VT-1	SEE FINISH SHEET NOTE 2	
RUBBER BASE	B-1	BURKE	727 THUNDER
PAINT	P-1	SHERWIN WILLIAMS	WHITE FLOUR SW 7102
PAINT-ACCENT	P-2	SHERWIN WILLIAMS	STEELY GRAY SW 7664
PAINT-ACCENT	P-3	SHERWIN WILLIAMS	TBD
PAINT-ACCENT	P-4	SHERWIN WILLIAMS	CAYENNE SW 6881
PAINT-ACCENT	P-5	MATCH 2ND FLOOR RESTROOMS	
PAINT-ACCENT	P-6	STAIR	TBD
PAINT-ACCENT	P-7	STAIR HANDRAIL	TBD
PLASTIC LAMINATE	PL-1	FORMICA VERTICAL SURFACES	5884-58 - CHESTNUT WOODLINE MATTE FINISH
PLASTIC LAMINATE	PL-2	FORMICA - HORIZONTAL SURFACES & BACKSPLASH	949 WHITE MATTE FINISH

FINISH KEY NOTES

- 1 PAINT GYP BOARD CEILING AND SOFFITS TO MATCH EXISTING WHITE COLOR.
- 2 NO PAINT ALLOWED ON (E) BRICK WALLS, U.O.N.
- 3 REPAINT STAIRWELL ALL FLOORS INCLUDING RAILINGS
- 4 WALL IN TRASH ROOM TO HAVE FRP PANELS SMOOTH FINISH, HEIGHT 4'-0".
- 5 CLEAN EXISTING SURFACES. NO PAINT

FINISH SHEET NOTES

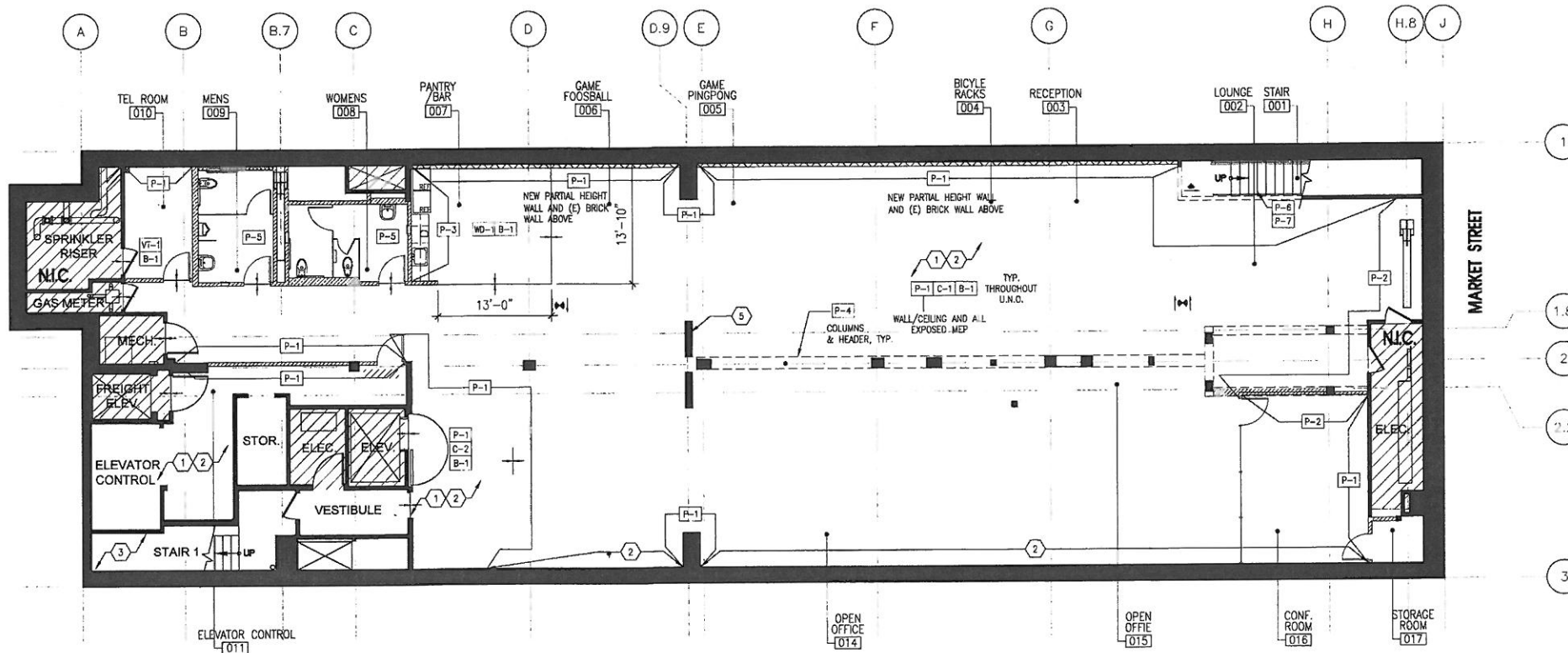
1. CARPET TO BE \$30 INSTALLED CONTACT: LUNNY LUNDSTROM 415 720 1414  
 CARPET C1 TO BE: INTERFACE FLOOR STYLE: 1452102500  
 PRIMARY STITCH COLOR: 102423 SERPENTINE ACCENT  
 WOOD SPEC - KRONO WILMINGTON JASPER OAK 8MM K2765  
 CONTACT: BERONID - 2525 MARIN STREET - SAN FRANCISCO  
 BILL FOSSETT - 415-824-4300  
 PAD: UL6 VECTOR ACOUSTICAL ROLL
2. VCT FLOORING TO BE MANNINGTON COMMERCIAL ESSENTIAL 111 DALMATIAN QUARTER TURN INSTALLATION
- PAINT  
 - 2 COATS OF EGGSHELL OR SATIN SHEEN FINISH LATEX PAINT OVER PRIMER. PAINT USED ON ALL WALLS THROUGHOUT UNLESS NOTED OTHERWISE.  
 - 2 COATS OF EGGSHELL OR SATIN LATEX PAINT OVER PRIMER PAINT USED ON ALL GYP. BOARD CEILINGS.
- FLOOR  
 - RESTROOMS: TILE, BASEMENT FL. RESTROOM TILE TO MATCH EXISTING BATHROOMS ON 2ND FL. DALTILE FABRIQUE SERDES, NOIR LINEN, P889.  
 - SERVICE: VCT, BY MANNINGTON COMMERCIAL OR EQUAL.  
 VCT FLOOR TO BE SEALED PER MFG'S RECOMMENDATION.
- GYPSUM BOARD SURFACES TO TAPED, SANDED, FLOATED, READY FOR PAINT.  
 - PROVIDE 4" BASE, VINYL OR RUBBER TOPSET TOELESS BASE AT ALL CARPETED AREAS AND COVERED BASE AT ALL AREAS RECEIVING RESILIENT FLOORING.
- MILLWORK: COUNTER & CABINETS  
 - VERTICAL AND HORIZONTAL SURFACES: PLASTIC LAMINATE  
 - INTERIOR CABINET FACES: MELAMINE  
 - CABINET DOOR AND DRAWER PULLS  
 - FLUSH FRONTS  
 - CABINET DOOR, DRAWER PULLS, AND SELF CLOSING HARDWARE  
 - ALL PLASTIC LAMINATE MILLWORK SUBSTRATES TO CONSIST OF MICRO DENSITY FIBERBOARD.

APPROVED  
Dept. of Building Insp

OCT 26 2012

Tom C. Hill  
Tom C. Hill, S.E.  
ACTING DIRECTOR  
DEPT. OF BUILDING INSPECTION

RECEIVED  
OCT 22 2012  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR IMAGING  
ACCEPTED



1 BASEMENT FLOOR - FINISH PLAN  
1/8"=1'-0"

221 Main Street  
Suite 525  
San Francisco  
California  
94105

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ARCHITECTS

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ISSUE INFORMATION			
No.	Date	Issue	Drawn Check
1	09.12	REVIEW	FD WM



88  
STEVENSON  
STREET  
San Francisco, CA  
BASEMENT FLOOR

READWOOD  
REAL ESTATE PARTNERS

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE JOB AND SHALL BE RESPONSIBLE FOR ALL DISCREPANCIES BETWEEN DIMENSIONS OF THE ACTUAL WORK AND THOSE SHOWN IN THE DOCUMENTS OR ARCHITECT'S APPROVED SHOP DRAWINGS. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL QUANTITIES OF MATERIAL OR EQUIPMENT CALLED FOR TO PROPERLY COMPLETE THE WORK.

SHEET TITLE  
**ENLARGED STAIR PLAN,  
ELEVATIONS & DETAILS**

By: JERRY CHEUNG, DBI  
OCT 23 2012

JOB NUMBER  
REDS81.1205.00

DRAWN BY  
FD

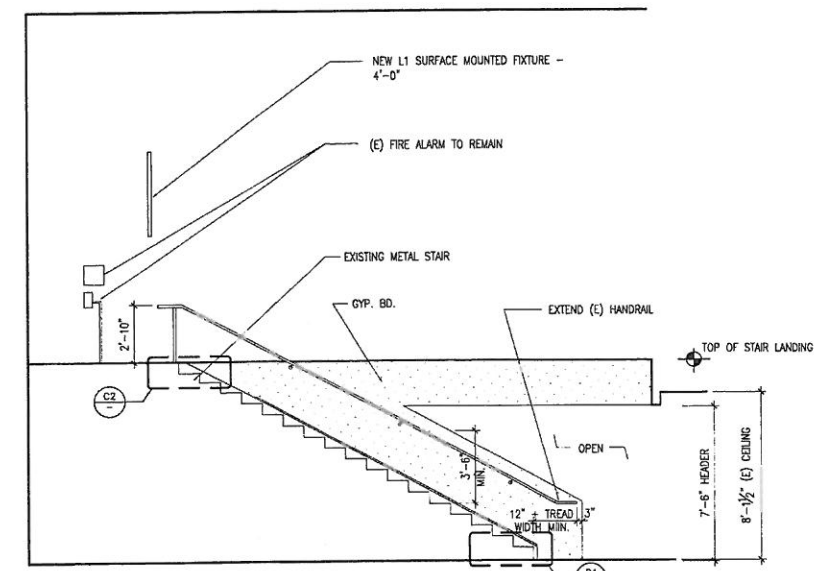
SCALE  
AS NOTED

FILE NAME **A-401**

F:\81 Market\Drawings\Basement\CD\11. A-401 ELEVATIONS & DETAILS

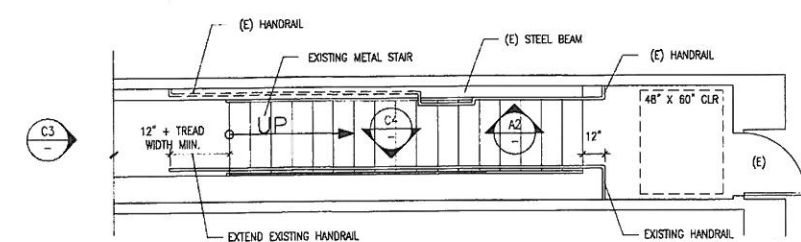
**APPROVED**  
Dept. of Building Insp.  
OCT 26 2012  
Tom C. Han  
Acting Director  
DEPT. OF BUILDING INSPECTION

**RECEIVED**  
OCT 22 2012  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR IMAGING  
ACCEPTED

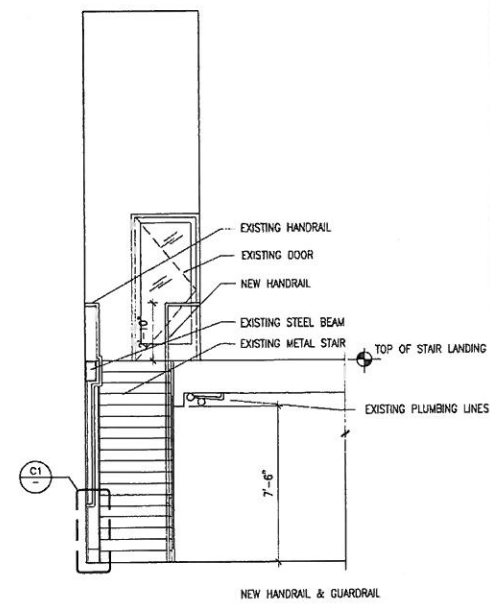


**C4 STAIR ELEVATION**  
1/4" = 1'-0"

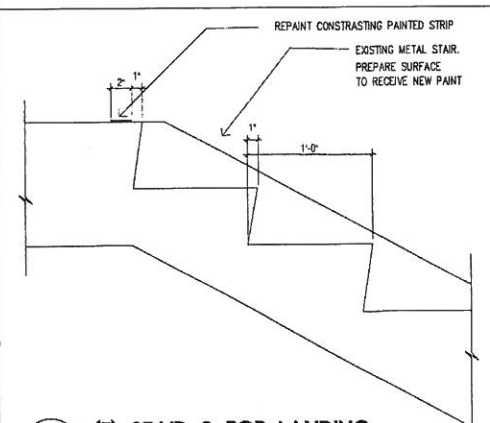
**B4 STAIR ELEVATION**  
1/4" = 1'-0"



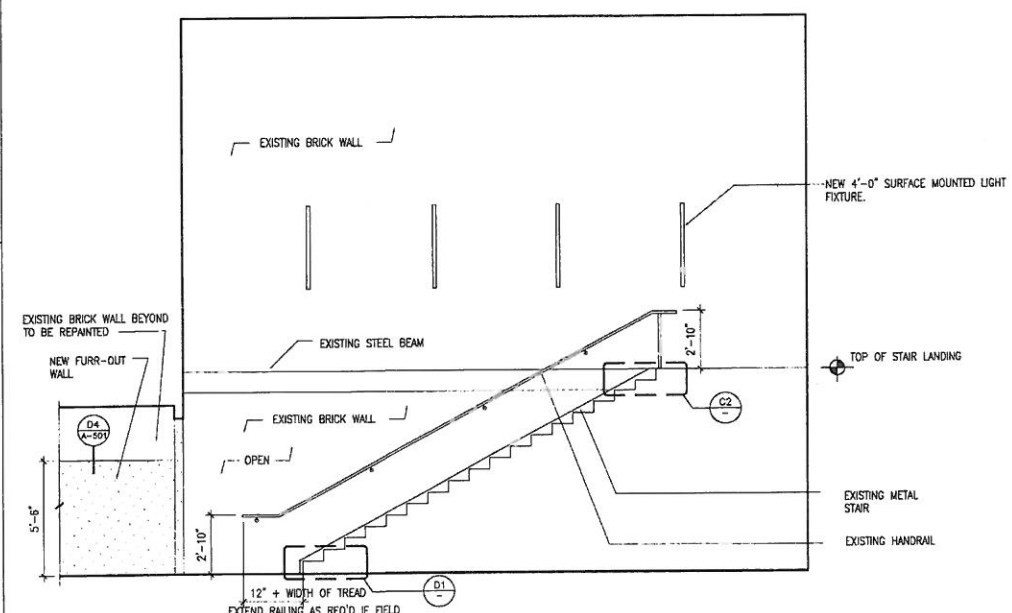
**A4 ENLARGED STAIR PLAN**  
1/4" = 1'-0"



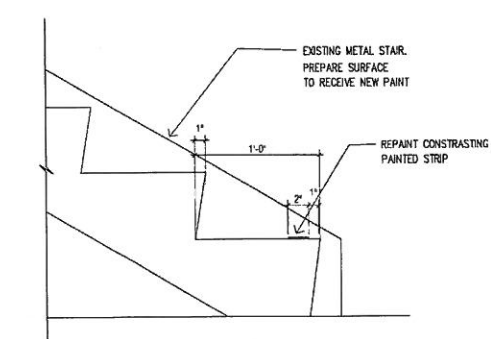
**C3 STAIR ELEVATION**  
1/4" = 1'-0"



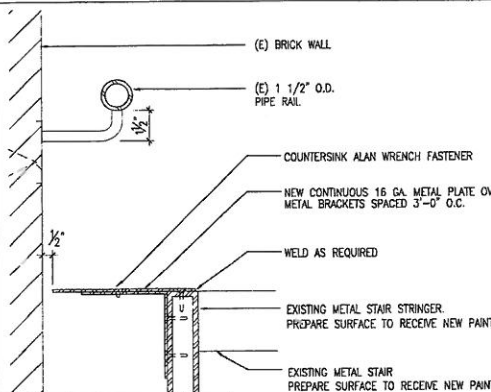
**C2 (E) STAIR @ TOP LANDING**  
SCALE: 1-1/2" = 1'-0"



**A2 STAIR ELEVATION**  
1/4" = 1'-0"



**D1 (E) STAIR @ BOTTOM LANDING**  
SCALE: 1-1/2" = 1'-0"



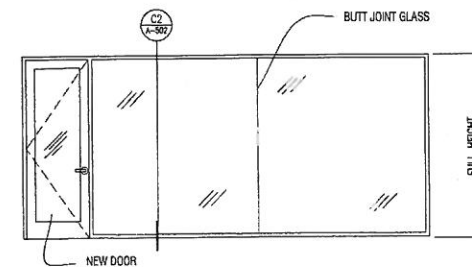
**C1 STRINGER DETAIL @ (E) BRICK WALL**  
SCALE: 3" = 1'-0"

221 Main Street  
Suite 525  
San Francisco  
California  
94105

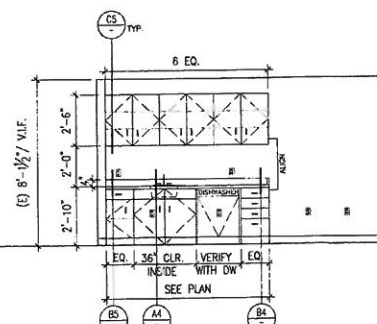
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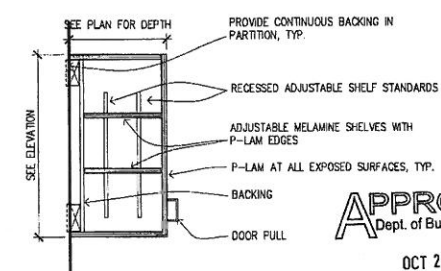
ISSUE INFORMATION			
No	Date	Issue	Drawn Check
1	09.12	REVIEW	FD WM



**D4 ELEVATION AT CONFERENCE - O16**  
SCALE: 1/4" = 1'-0"



**C4 ELEVATION AT PANTRY-007**  
SCALE: 1/4" = 1'-0"



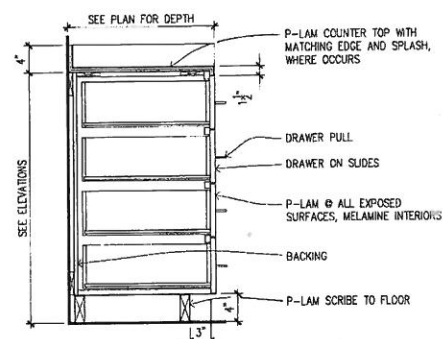
**C5 UPPER CABINET**  
SCALE: 1" = 1'-0"

**APPROVED**  
Dept. of Building Insp.  
OCT 26 2012  
Tom C. Hill  
ACTING DIRECTOR  
DEPT. OF BUILDING INSPECTION

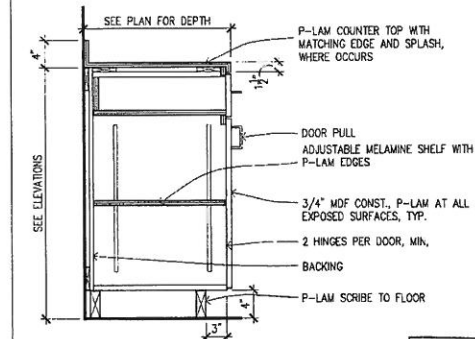


88  
STEVENSON  
STREET  
San Francisco, CA  
BASEMENT FLOOR

READWOOD  
REAL ESTATE PARTNERS



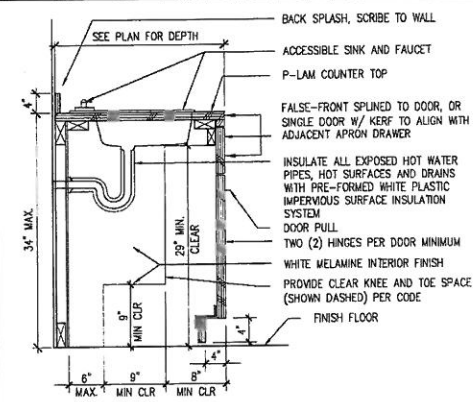
**B4 CABINET W/ 4 DRAWERS**  
SCALE: 1" = 1'-0"



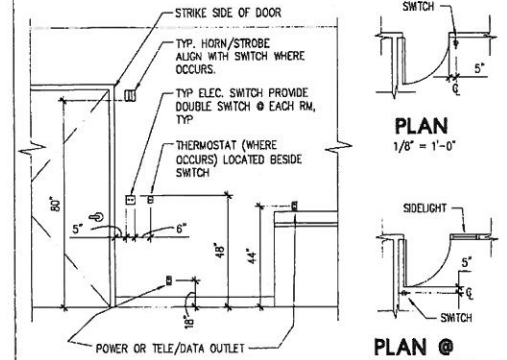
**B5 LOWER CABINET**  
SCALE: 1" = 1'-0"

**RECEIVED**  
OCT 22 2012  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR MARKING  
ACCEPTED.

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE JOB AND SHALL BE RESPONSIBLE FOR ALL DISCREPANCIES BETWEEN DIMENSIONS OF THE ACTUAL WORK AND THOSE SHOWN IN THE DOCUMENTS OR ARCHITECT'S APPROVED SHOP DRAWINGS. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL QUANTITIES OF MATERIAL OR EQUIPMENT CALLED FOR TO PROPERLY COMPLETE THE WORK.



**A4 ADA SINK**  
SCALE: 1" = 1'-0"



**A5 TYP. MOUNTING HEIGHTS**  
SCALE: 3/8" = 1'-0"

**SHEET TITLE**  
MILLWORK ELEVATION  
AND DETAILS

by JIMMY CHEUNG, DBT  
OCT 23 2012

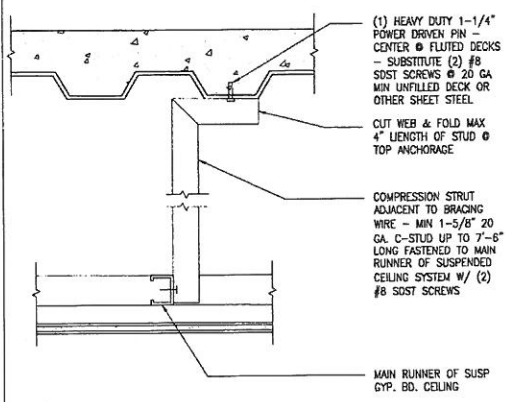
JOB NUMBER  
REDS91.1205.00

DRAWN BY  
FD

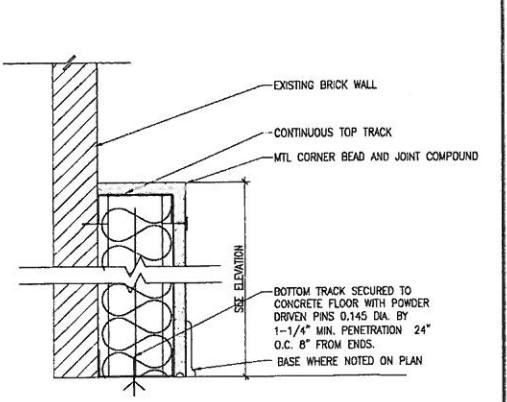
SCALE  
AS NOTED

FILE NAME **A-402**

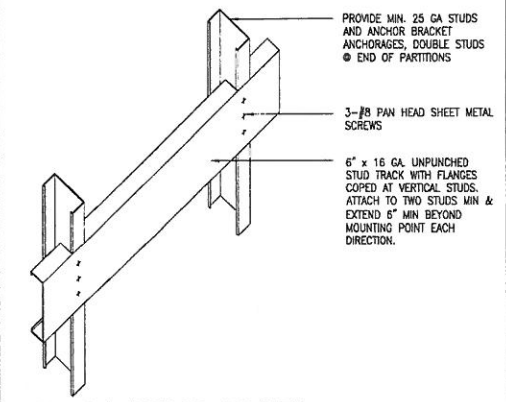
F:\S81 Market\Drawings\Basement\CD\5\11\_A-401 ELEVATIONS & DETAILS



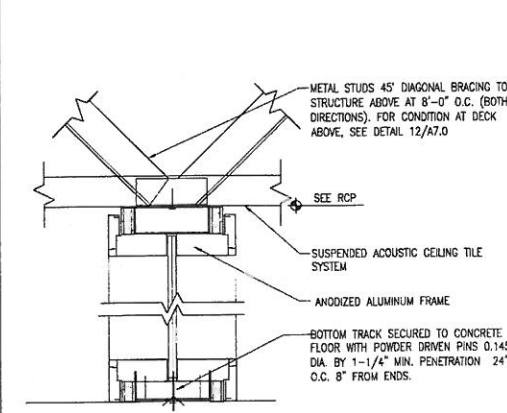
**D3 TYPICAL SEISMIC COMPRESSION STRUT**  
N.T.S.



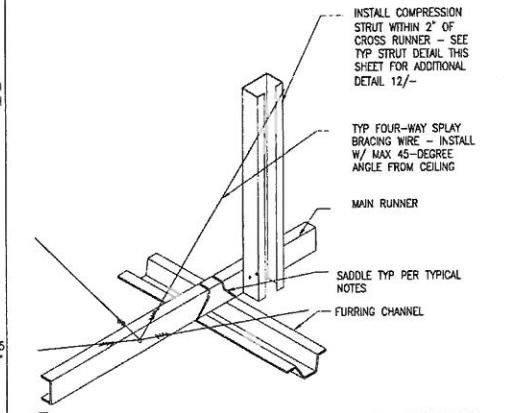
**D4 NON-RATED PARTIAL HEIGHT PARTITION**  
N.T.S.



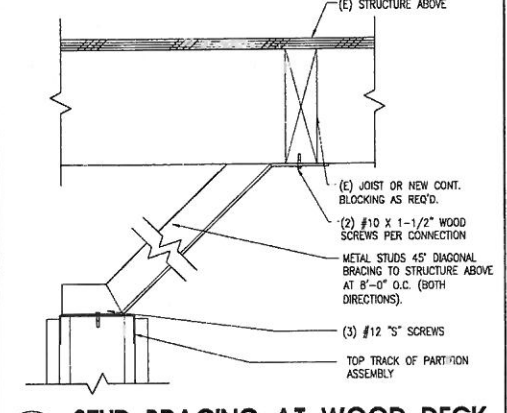
**D5 BACKING PLATE**  
NOT TO SCALE



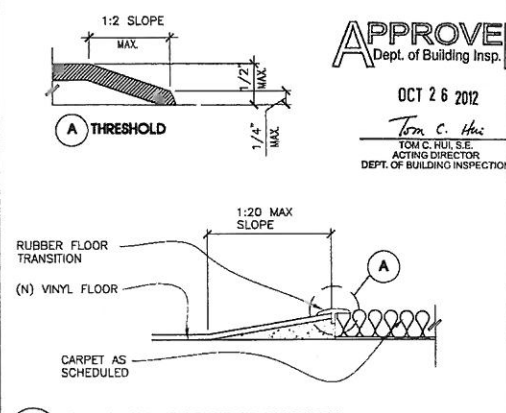
**C2 GLAZING @ CEILING HEIGHT PARTITION**  
N.T.S.



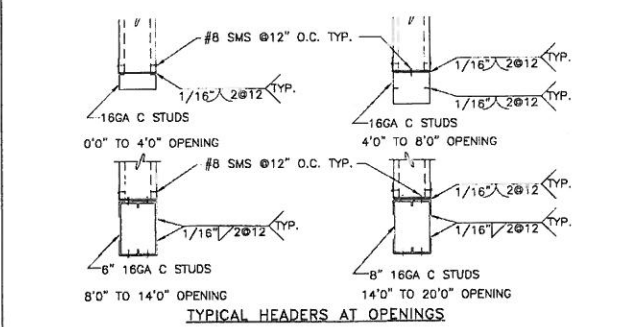
**C3 TYP. SUSP. GYP. BD. CLG BRACING/STRUT**  
N.T.S.



**C4 STUD BRACING AT WOOD DECK**  
N.T.S.

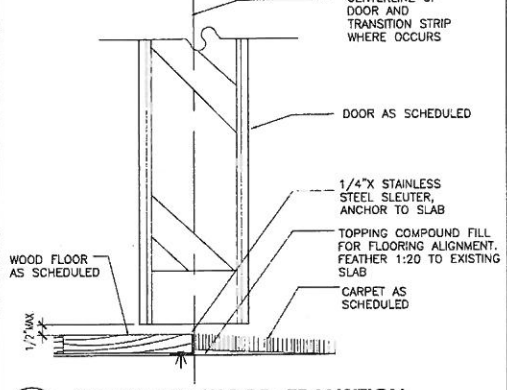


**C5 VINYL TO CARPET TRANSITION**  
SCALE: 3\"/>

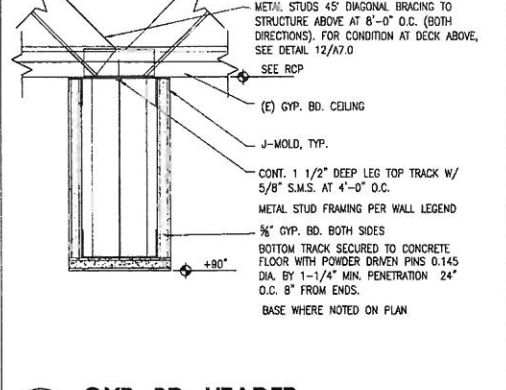


**TYPICAL HEADERS AT OPENINGS**

- NOTES**
- WHERE ONE LAYER OF 5/8\"/>
  - PROVIDE CONTROL JOINT IN ALL GYP. BD. PARTITIONS, AREA SEPARATION WALLS AND RATED GYP. BD. CEILINGS. DISTANCE BETWEEN JOINTS NOT TO EXCEED 30'. SEE DETAIL D5/A-501.
  - PROVIDE BRACING, 2-1/2\"/>
  - PROVIDE SAFETY GLASS PER CBC 2406. EACH LIGHT SHALL BE IDENTIFIED WITH A PERMANENT LABEL THAT STATES THE NAME OF THE MANUFACTURER OR INSTALLER AND THAT SAFETY GLAZING HAS BEEN UTILIZED.



**B4 CARPET TO WOOD TRANSITION**  
SCALE: 3\"/>



**B5 GYP. BD. HEADER**  
N.T.S.

**WALL TYPES**

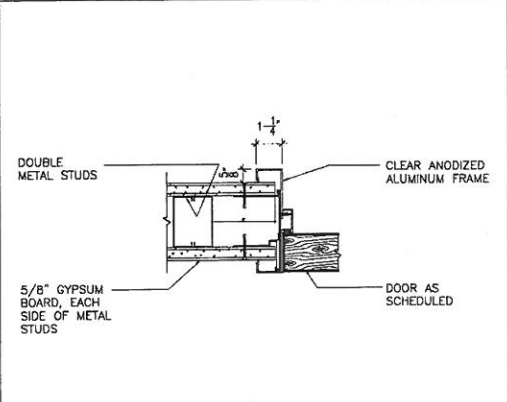
ALL METAL STUDS SHALL BE 2-1/2\"/>

- A** INSULATED GYPSUM BOARD PARTITION. 5/8\"/>

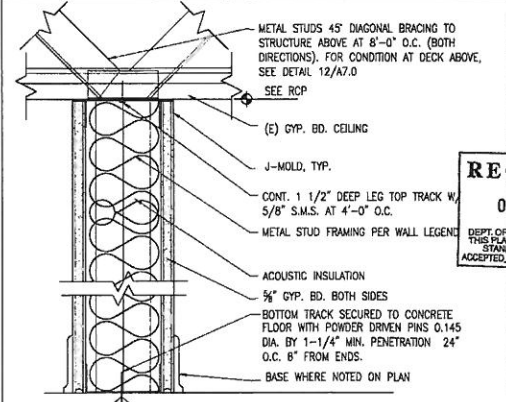
**TYPICAL LIMITING HEIGHTS FOR INTERIOR PARTITIONS MAX DEFLECTION 1/240**

25 GAUGE STUDS					22 GAUGE STUDS					20 GAUGE STUDS				
STUD WIDTH	STUD SPACING	GYP. BD. 1 LAYER 2 SIDES	GYP. BD. 2 LAYERS 2 SIDES	GYP. BD. ONE SIDE	STUD WIDTH	STUD SPACING	GYP. BD. 1 LAYER 2 SIDES	GYP. BD. 2 LAYERS 2 SIDES	GYP. BD. ONE SIDE	STUD WIDTH	STUD SPACING	GYP. BD. 1 LAYER 2 SIDES	GYP. BD. 2 LAYERS 2 SIDES	GYP. BD. ONE SIDE
2-1/2"	16"	12'-6"	13'-8"	11'-0"	2-1/2"	16"	13'-0"	14'-0"	12'-0"	2-1/2"	16"	13'-10"	16'-1"	13'-0"
	24"	10'-9"	11'-3"	9'-9"		24"	11'-6"	12'-3"	10'-6"		24"	12'-0"	13'-5"	11'-6"
3-5/8"	16"	16'-0"	16'-9"	14'-6"	3-5/8"	16"	17'-3"	18'-0"	16'-0"	3-5/8"	16"	17'-11"	20'-2"	17'-3"
	24"	13'-6"	13'-8"	12'-9"		24"	15'-0"	15'-9"	14'-0"		24"	15'-7"	17'-8"	15'-0"
4"	16"	17'-3"	17'-3"	15'-9"	4"	16"	18'-6"	19'-3"	17'-3"	4"	16"	19'-2"	21'-7"	18'-9"
	24"	14'-3"	14'-3"	13'-9"		24"	16'-3"	16'-9"	15'-0"		24"	16'-10"	18'-11"	16'-3"
6"	16"	20'-0"	20'-0"	20'-0"	6"	16"	25'-3"	26'-0"	23'-9"	6"	16"	28'-1"	28'-6"	25'-6"
	24"	15'-0"	15'-0"	15'-0"		24"	22'-0"	22'-9"	20'-9"		24"	22'-10"	24'-11"	22'-3"

**A3 WALL TYPES**  
SCALE: NOT TO SCALE



**A4 ALUMINUM DOOR HEAD/JAMB**  
SCALE: 3\"/>



**A5 CEILING HIGH PARTITION**  
N.T.S.

**APPROVED**  
Dept. of Building Insp.  
OCT 26 2012  
Tom C. Hu  
TOM C. HU, S.E.  
ACTING DIRECTOR  
DEPT. OF BUILDING INSPECTION

**ISSUE INFORMATION**

No	Date	Issue	Drawn	Check
1	09.12	REVIEW	FD	VM
2	09.11.12	REVISED BACKGROUND	FD	VM
3	09.11.12	REVISED BACKGROUND	FD	VM
4	09.11.12	REVIEW	FD	VM
5	09.14.12	PERMIT/FBD	FD	VM
6	10.10.12	REVISION	FD	VM
7	10.17.12	PERMIT/PRICING	FD	VM



88  
STEVENSON  
STREET  
San Francisco, CA

REDWOOD  
REAL ESTATE PARTNERS

BASEMENT FLOOR

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS @ THE JOB AND SHALL BE RESPONSIBLE FOR ALL DISCREPANCIES BETWEEN DIMENSIONS OF THE ACTUAL WORK AND THOSE SHOWN IN THE DOCUMENTS OR ARCHITECT'S APPROVED SHOP DRAWINGS. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL QUANTITIES OF MATERIAL OR EQUIPMENT CALLED FOR TO PROPERLY COMPLETE THE WORK.

**SHEET TITLE**  
PARTITION, CEILING & TRANSITION DETAILS

**RECEIVED**  
OCT 22 2012  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY STANDARDS FOR IMAGING ACCEPTED.  
BY JIMMY CHREWS, EBT  
OCT 23 2012

**JOB NUMBER**  
RED581.1205.00

**DRAWN BY**  
FD

**SCALE**  
AS NOTED

**FILE NAME**  
A-501  
P:\081 Market\Drawings\Basement\08112\_A-501 DETAILS

ISSUE INFORMATION

No.	Date	Issue	Drawn	Check
1	09.12	REVIEW	FD	VM
2	09.11.12	REVISED BACKGROUND	FD	VM
3	09.11.12	REVISED BACKGROUND	FD	VM
4	09.11.12	REVIEW	FD	VM
5	09.14.12	PERMITS/BD	FD	VM
6	10.10.12	REVISION	FD	VM
7	10.17.12	PERMIT/PRICING	FD	VM



88  
STEVENS  
STREET  
San Francisco, CA

REDWOOD  
REAL ESTATE PARTNERS

BASEMENT FLOOR

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE JOB AND SHALL BE RESPONSIBLE FOR ALL DISCREPANCIES BETWEEN DIMENSIONS OF THE ACTUAL WORK AND THOSE SHOWN IN THE DOCUMENTS OR ARCHITECT'S APPROVED SHOP DRAWINGS. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL QUANTITIES OF MATERIAL OR EQUIPMENT CALLED FOR TO PROPERLY COMPLETE THE WORK.

SHEET TITLE  
**DOOR SCHEDULES**

RECEIVED

OCT 22 2012

DEPT. OF BUILDING INSPECTION  
THESE PLANS MEET THE QUALITY  
STANDARD FOR IMAGING  
ACCEPTED

JOB NUMBER  
REDS81.1205.00

DRAWN BY  
FD

SCALE  
AS NOTED

FILE NAME  
**A-601**

F:\381 Market\Drawings\Basement\CD\513\_A-601 DOOR SCHEDULES

By JAMMY CHENG DBI  
OCT 23 2012

**DOOR & FRAME SCHEDULE**

DOOR NO.	ROOM NAME	(N) OR (R)	TYPE	DOOR SIZE			MATL	FINISH	FRAME MATL	FIRE RATING LABEL	HARDWARE GROUP	NOTES
				WD	HGT	THK						
<b>BASEMENT FLOOR</b>												
008	MENS	(N)	A	3'-0"	FULL HEIGHT	1-3/4"	SC WD	PAINT	AL		3	
009	WOMENS	(N)	A	3'-0"	FULL HEIGHT	1-3/4"	SC WD	PAINT	AL		3	
010	TEL ROOM	(N)	A	3'-0"	FULL HEIGHT	1-3/4"	SC WD	PAINT	AL		1	
011	ELEVATOR CONTROL	(N)	A	3'-0"	FULL HEIGHT	1-3/4"	SC WD	PAINT	AL		2	
012	VESTIBULE	(N)	A	3'-0"	FULL HEIGHT	1-3/4"	SC WD	PAINT	AL		5	
016	CONFERENCE	(N)	C	3'-0"	FULL HEIGHT	1-3/4"	WOOD/GLASS	CLEAR WOOD FINISH	AL		6	
017	STORAGE	(N)	A	3'-0"	FULL HEIGHT	1-3/4"	SCWD	PAINT	AL		7	

- GL: BUILDING STANDARD GLASS DOOR.
- SC WD: SOLID CORE WHITE OAK DOOR, A GRADE, QTT. SHOP MORTISED

ALL NEW DOORS AND FRAMES SHALL BE CLEAR ANODIZED.  
ALL EXISTING DOORS/FRAMES SHALL BE PREPARED TO RECEIVE NEW PAINT, BOTH SIDES

**APPROVED**  
Dept. of Building Insp.

OCT 26 2012

Tom C. Hui  
TOM C. HUI, S.E.  
ACTING DIRECTOR  
DEPT. OF BUILDING INSPECTION

**SECURITY ACCESS CONTROL SYSTEM REQ'S**

REFER TO CRUNCHYROLL PERMIT/BD DRAWINGS

**DOOR & FRAME NOTES**

- ALL RATED DOOR & FRAMES SHALL MEET POSITIVE PRESSURE TEST REQUIREMENTS AS PER THE 1997 UBC STANDARD 7-2 AND SHALL HAVE A "S" LABEL.
- ALL DOOR AND SIDELIGHT GLAZING SHALL BE IDENTIFIED BY PERMANENT LABEL THAT SPECIFIES THE LABELER WHETHER THE MANUFACTURER OR INSTALLER AND STATE THAT SAFETY GLAZING MATERIAL HAS BEEN UTILIZED IN SUCH INSTALLATION PER UBC STANDARD 24-2 SAFETY GLAZING SECTION.
- ALL INTERIOR DOORS & GLAZING TO BE FROM BUILDING STOCK, UNLESS IDENTIFIED AS NEW. REFER TO SHEET A-105 FOR FINISH INFORMATION.
- LABELS FOR FIRE DOORS USED TO PROTECT OPENING INTO EXIT ENCLOSURES SHALL INDICATE THAT THE TEMPERATURE RISE ON THE UNEXPOSED SURFACE DOES NOT EXCEED 450 DEGREES F (232 DEGREES C) ABOVE AMBIENT AT THE END OF 30 MINUTES OF THE FIRE EXPOSURE SPECIFIED IN UBC STANDARD 7-2 TO SHOW COMPLIANCE WITH SECTION 1005.3.
- ALL NEW DOORS TO BE PAINT GRADE WOOD DOORS TO MATCH EXACTLY THE BUILDING STANDARD DOORS THROUGHOUT THE FLOOR U.N.O.
- ALL NEW DOORS TO BE NEW BUILDING STANDARD ALUM. FRAMES U.N.O.

**HARDWARE MANUFACTURERS**

PASSAGE LATCHSET: SCHLAGE "S" SERIES W/ SATURN LEVER - FINISH: 626

LOCKSET: SCHLAGE "S" SERIES W/ SATURN LEVER - FINISH: 626

HINGES: 4-1/2" x 4-1/2" MCKINNEY FULLY MORTISED STEEL HINGE PIN USE INTERMEDIATE BUTT HINGES (1-1/2 PAIRS PER LEAF)  
FINISH: 26D TO MATCH EXISTING.

DOORSTOP: FLOOR MOUNTED DOME STOP. RISER AS REQUIRED.  
FINISH: MATCH EXISTING

CLOSER: LCN 4040 PARALLEL ARM DOOR CLOSER.  
FINISH: TO SILVER TO MATCH EXISTING.

RESTROOM DOORS TO BE PROVIDED WITH SCHLAGE S SERIES PRIVACY LATCH FOR SINGLE USE.  
HARDWARE TO MEET ADA AND ANSI REQUIREMENTS.

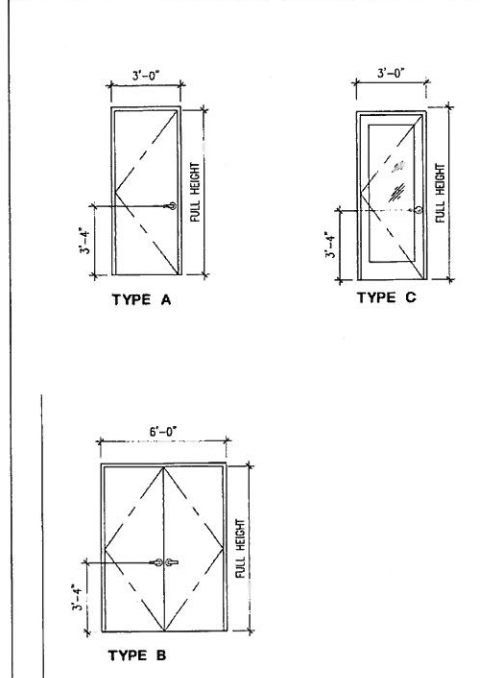
**HARDWARE NOTES**

- HARDWARE TO BE RELOCATED WHERE POSSIBLE. COORDINATE KEYING AND LOCK FUNCTION WITH TENANT. IF THERE ARE INSUFFICIENT LOCKSETS AVAILABLE FOR RELOCATION, PROVIDE NEW LOCKSET. VERIFY ALL EXISTING LOCKSETS AND LATCHSETS FUNCTION CORRECTLY.
- ALL UL LISTED HARDWARE SHALL BE SUPPLIED AND INSTALLED AS AN ASSEMBLY AND SHALL INCLUDE ALL NECESSARY COMPONENTS SUCH AS STRIKES, MOUNTING SCREWS AND INSTALLATION INSTRUCTIONS.
- HARDWARE FINISH TO MATCH BUILDING STANDARD U.N.O.

**HARDWARE SETS**

<b>GROUP 1: TEL ROOM</b>	
	BUTT HINGES
1	BUILDING STANDARD LOCKSET
1	CLOSER - PULL SIDE
1	DOORSTOP
<b>GROUP 2: ELEVATOR CONTROL</b>	
	BUTT HINGES
1	BUILDING STANDARD LOCKSET
1	CLOSER - PUSH SIDE
1	FLOOR STOP
<b>GROUP 3: RESTROOMS</b>	
	BUTT HINGES
1	PUSH PLATE OUTSIDE/PULL HANDLE INSIDE
1	CLOSER - PULL SIDE
1	FLOOR STOP
<b>GROUP 4: CLOSET</b>	
	BUTT HINGES
1	PAIR MANUAL FLUSHBOLTS
1	SET DUMMY TRIM
1	LOCKSET
<b>GROUP 5: VESTIBULE</b>	
	BUTT HINGES - ELECTRIFIED - MC KINNEY
1	CLOSER PUSH SIDE LCN 4040 HINGE
1	SCHLAGE D SERIES 24 VOLT, INSIDE TO REMAIN UNLOCKED
1	FLOOR STOP
<b>GROUP 6: CONFERENCE ROOM</b>	
	BUTT HINGES
1	BUILDING STANDARD LATCHSET
1	DOORSTOP
1	GLASS PULL - CR. STRAIGHT LADDER PULLS 24" - 24LPS-BRUSHED STAINLESS STEEL
<b>GROUP 7: STORAGE</b>	
	BUTT HINGES
1	BUILDING STANDARD LATCHSET
1	FLOOR STOP

**DOOR ELEVATIONS**



UL SYSTEM NO. C-AJ-1116  
F RATING - 3HR  
T RATING - 0HR

- Floor or Wall Assembly** - Minimum 4-1/2 in. thick reinforced lightweight or normal weight concrete. Floor may also be constructed of any min. 6 in. thick UL Classified hollow-core Precast Concrete Units\*. Wall may also be constructed of any UL Classified Concrete Blocks\*. Max. dia. of opening is 6-5/8 in. See Concrete Blocks (CAZT) and Precast Concrete Units (CFTV) categories in the Fire Resistance Directory for names of manufacturers.
- Metallic Sleeve (optional)** - Nom. 6 in. dia. (or smaller) Schedule 40 steel pipe cast or grouted into floor or wall assembly, flush with floor or wall surfaces.
- Through Penetrants** - One metallic pipe or tubing to be centered within the firestop system. Pipe or tubing to be rigidly supported on both sides of floor or wall assembly. The annular space within the firestop system shall be a nom 3/4 in. The following types and sizes of metallic pipes or tubing may be used:
  - Steel Pipe - Nom. 3 in. dia. (or smaller) Schedule 5 (or heavier) steel pipe.
  - Iron Pipe - Nom. 3 in. dia. (or smaller) cast or ductile iron pipe.
  - Conduit - Nom. 4 in. dia. (or smaller) steel electrical metallic tubing or steel conduit.
  - Copper Tubing - Nom. 3 in. dia. (or smaller) type L (or heavier) copper tubing.
  - Copper Pipe - Nom. 3 in. dia. (or smaller) Regular (or heavier) copper pipe.
- Firestop System** - The firestop system shall consist of the following:
  - Packing Material** - Min. 4 in. thickness of min. 4 pcf mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material. When the floor is constructed of hollow-core precast concrete units, packing material shall be recessed from both surfaces of floor to accommodate the required thickness of fill material.
  - AD FIREBARRIER Mineral Wool**
  - Fill, Void or Cavity Material\*** - Sealant - Min. 1/2 in. thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall. When the floor is constructed of hollow-core precast concrete units, fill material shall be installed symmetrically on both sides of floor, flush with floor surface.
  - AD FIREBARRIER Silicone (SL (floor only) or GG (floor, hollow-core precast concrete units or walls)).**
  - AD FIRE PROTECTION SYSTEMS INC.**

\*Bearing the UL Classification Marking Not to scale.

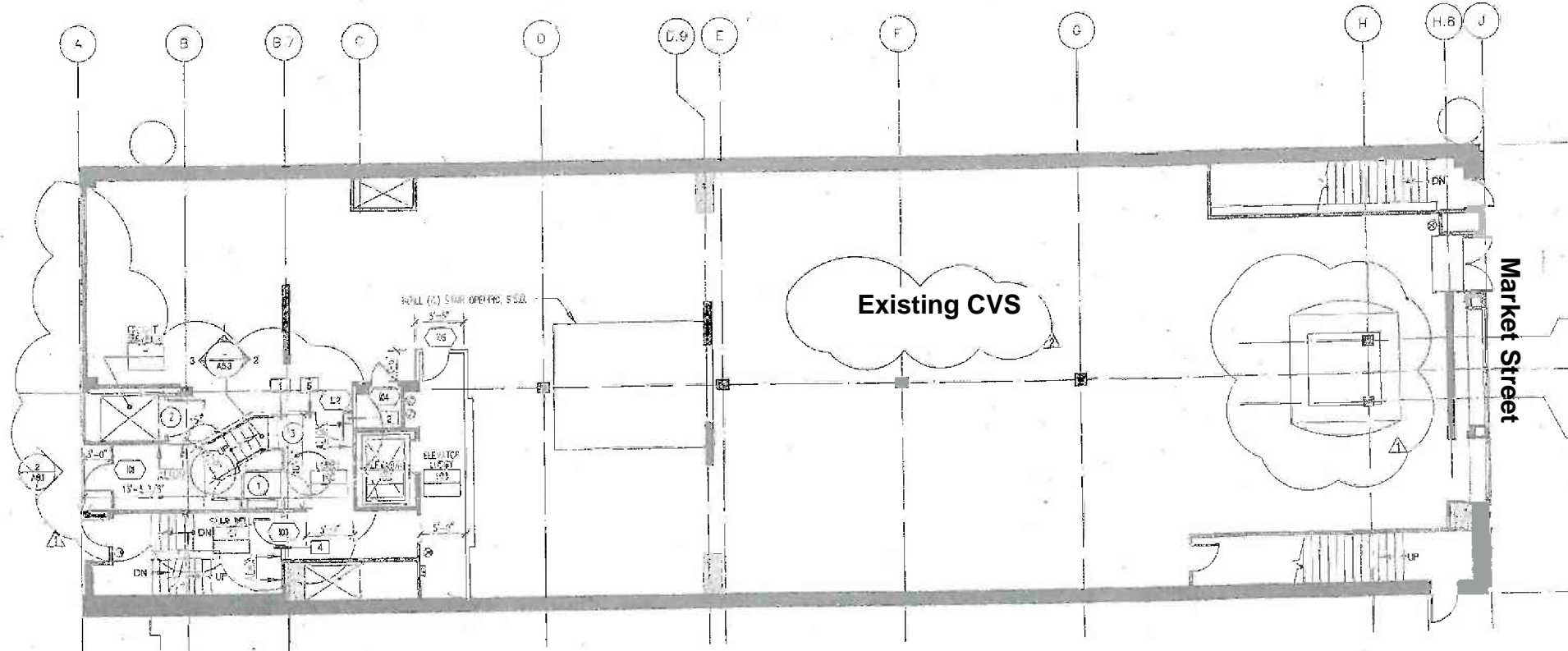
AID FIRE PROTECTION SYSTEMS  
420 Tapscott Rd., Scarborough, ON M1B 1Y4  
Tel: (416) 292-2361 USA: (800) 283-0887 Fax: (416) 298-4087  
Visit our internet site: www.aidfr.com

**FLOOR PENETRATION FIREPROOFING**

Lead table	allow	base	allowable	allowable
type	in	in	in	in
toggle bolt or toggle	1/2"	3/4"	30	40
wall anchor	1/2"	3/4"	40	50
no. 8 sheet metal screw	1/2"	3/4"	70	100
Type B single head screw	1/2"	3/4"	155	175
Type S-12 single head screw	3/8"	1/2"	50	60
Type S-12 pan head screw	3/8"	1/2"	70	80
two bolts welded to steel head	1/4"	5/8"	200	250
two bolts welded to 1/2" stem	1/4"	5/8"	200	250

**FIXTURE ATTACHMENT DETAIL**

Stevenson Street



CONSTRUCTION GENERAL NOTES

1. REFER TO A0.2 FOR GENERAL NOTES
2. REFER TO A0.3 FOR SYMBOL LEGEND
3. REFER TO A1.2 FOR DIMENSIONS
4. SEE A6.0 AND A6.1 FOR GENERAL PARTITION DETAILS
5. LOCATE NEW PARTITIONS ON CENTER LINE OF MILLION OR ALIGNED WITH COLUMN OR WALL LINE. SEE TYPICAL PARTITION DETAILS ON SHEET A6.1.
6. ALL PARTITIONS SHALL BE TYPE 1 GUN.
7. ALL GLAZING SHALL BE TYPE 4 LGN. PROVIDE GLAZING SEALANT COLOR SAMPLE FOR ARCHITECT'S REVIEW. GLAZING STOP COLOR TO MATCH FRAME.
8. REPAIR OR REPLACE DAMAGED OR MISSING GYPSUM BOARD ON EXISTING PARTITIONS AND COLUMNS TO REMAIN. MATCH EXISTING PARTITION TYPE AND FINISHES.
9. PROVIDE BACKING AS NEEDED TO SUPPORT WALL HUNG ITEMS INCLUDING, BUT NOT LIMITED TO, SIGNAGE, RESIPROM ACCESSORIES, GRAB BARS, EQUIPMENT, AND FURNITURE. SEE 02-A3.1 AND A/M DRAWINGS FOR ADDITIONAL SPECIFICATION AND LOCATIONS.
10. PROVIDE NEW FULLY RECOGNIZED FIRE EXTINGUISHER CABINETS (FEC) AS INDICATED ON PLAN. NEW CABINETS TO BE LARSEN ARCHITECTURAL SERIES, STAINLESS STEEL FINISH, FLAT TRIM, LABELED WITH VERTICAL BLACK LETTERING. SEE DETAIL 19-10.1.
11. GC SHALL FIELD PUT MILLWORK AS NECESSARY TO ALLOW ACCESS TO WALL TOBERS AND SIGNAL LOCATIONS. FIELD W/FLY CONDITIONS.
12. ALL STORAGE IS BY TENANT'S VENDOR.
13. PLASTIC LAMINATE MILLWORK PULLS TO BE 3 1/2" WIRE PULLS.
14. ALL DOORS ARE EXISTING U.D.M.

581  
MARKET  
STREET

PROJECT NUMBER 108180.00

DESCRIPTION	DATE	BY
PERMIT ISSUE	06/13/2011	JK
FOR PRICING	09/30/2011	DD
FOR RESUBMITTAL	10/20/2011	DD

FLOOR PLAN KEY NOTES

1. WHEELCHAIR RISE TO MEET ADA REQUIREMENTS
2. PATCH (E) FREIGHT SHAFT AS NEEDED TO MAINTAIN REQUIRED FIRE RATING
3. PROVIDE CONTRASTING STRIPE AT TOP & BOTTOM OF STAIRS



AS BUILT'S  
SHAMES CONSTRUCTION  
*Daniel R. Pollack*

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Pollack@pollack.com

A1.1

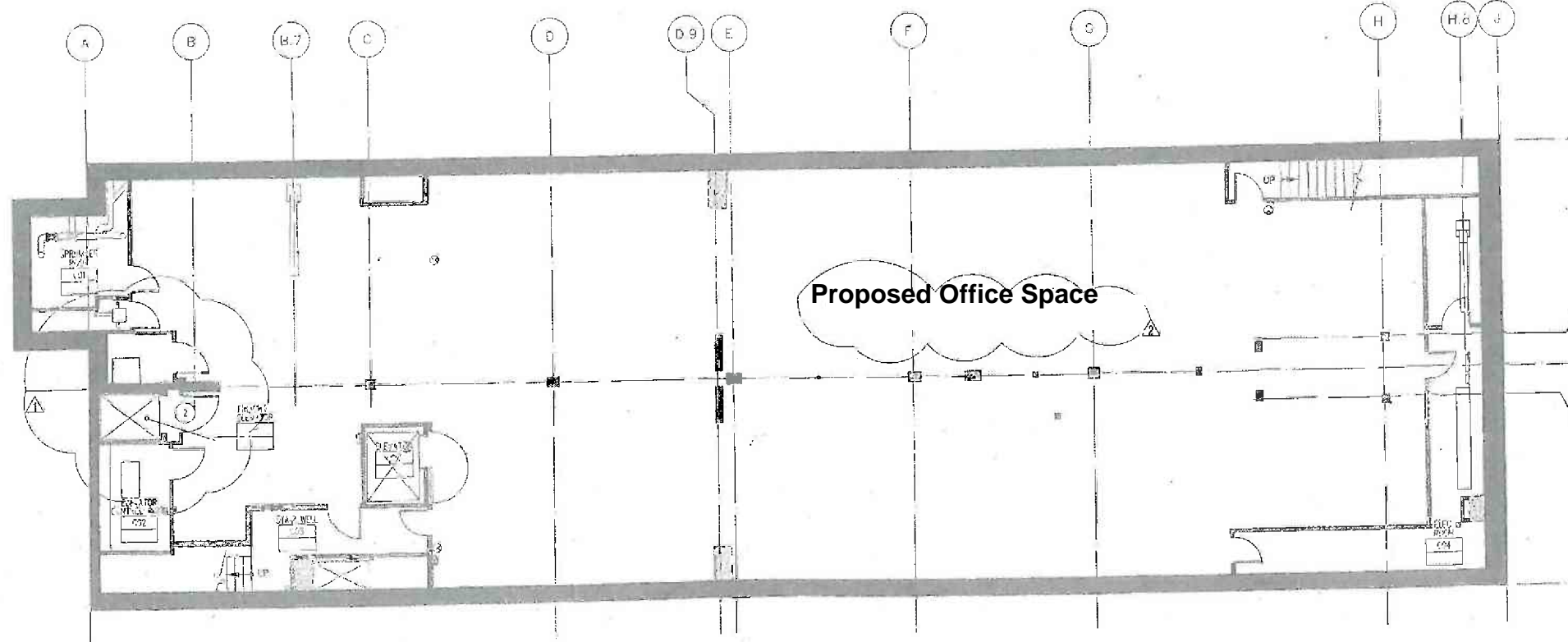
GLAZING SCHEDULE

TYPE	DESCRIPTION	DETAIL
1	3/8" THICK FULLY TEMPERED FRAMED GLAZING	

CONSTRUCTION PLAN -  
BASEMENT AND FIRST  
FLOORS

ALL DIMENSIONS AND FINISHES TO BE AS SHOWN UNLESS OTHERWISE SPECIFIED. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

2 CONSTRUCTION PLAN - FIRST FLOOR  
1/8" = 1'-0"



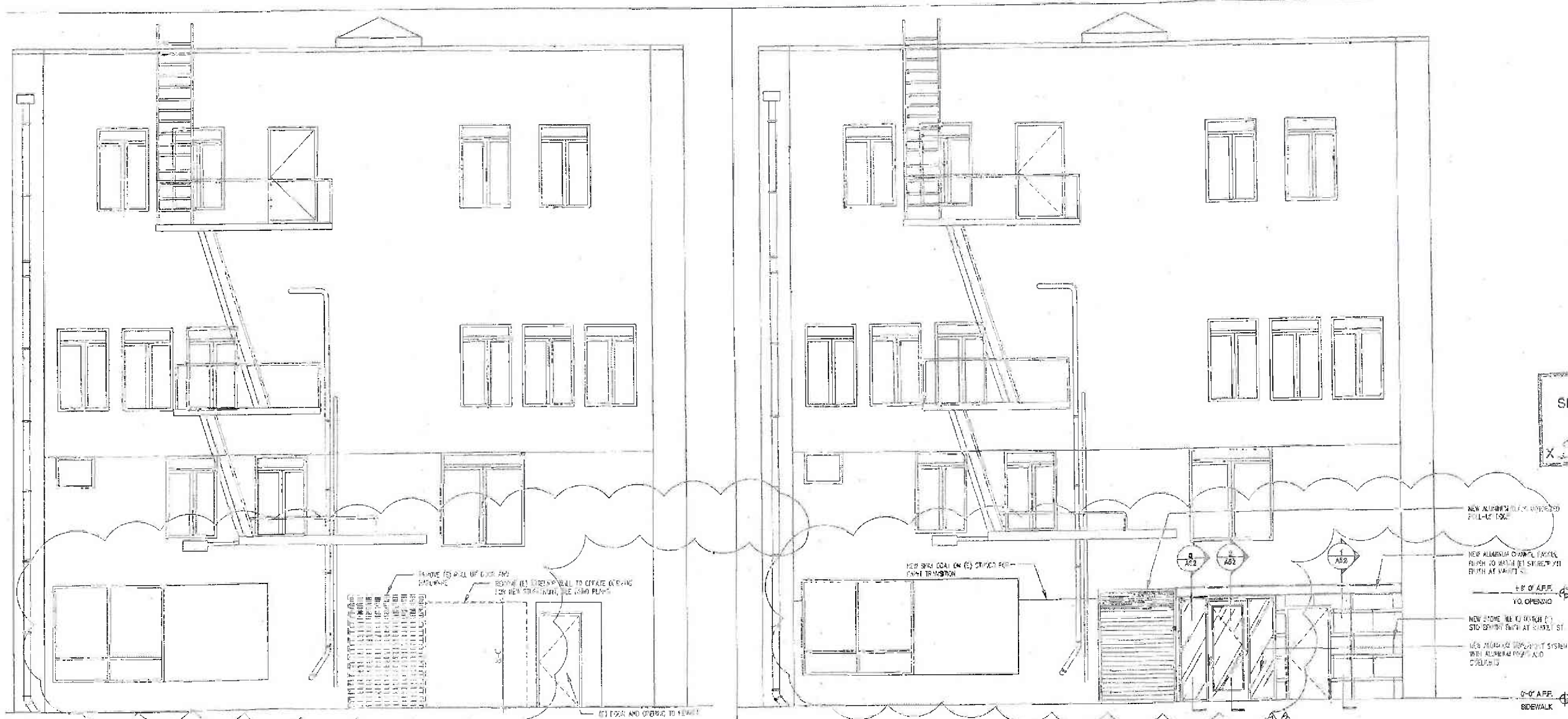
1 CONSTRUCTION PLAN - BASEMENT  
1/8" = 1'-0"

# 581 MARKET STREET

PROJECT NUMBER 103180.00

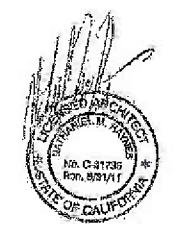
DESCRIPTION	DATE	BY
PERMIT ISSUE	05/13/2011	IK
FOR PRICING	08/23/2011	DD
FOR RESUBMITTAL	10/20/2011	DD

## Stevenson Elevation



① EXTERIOR ELEVATION - DEMOLITION  
1/4" = 1'-0"

② EXTERIOR ELEVATION - NEW CONSTRUCTION  
1/4" = 1'-0"



AS BUILTS  
SHAMES CONSTRUCTION  
*x. Daniel*

**POLLACK**  
architecture  
401 S. 2nd St., Suite 200, San Francisco, CA 94107  
415.774.1111

**A5.1**  
EXTERIOR ELEVATIONS

ALL NOTES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ARCHITECTURAL BOARD'S STANDARDS AND PRACTICES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE DRAWINGS.









