



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis

Dwelling Unit Merger

HEARING DATE: MARCH 13, 2014

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
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Planning
Information:
415.558.6377

Date: March 6, 2014
Case No.: **2013.1133D**
Project Address: **1070 GREEN STREET**
Permit Application: **2013.07.25.2782**
Zoning: RM-2 (Residential, Mixed, Moderate Density)
40-X Height and Bulk District
Block/Lot: 0121A/031 and 033
Project Sponsor: Gregory Evard
171 Main Street #180
Los Altos, CA 94022
Property Owner: James and Trudy Chiddix
1070 Green Street, Units 1101 and 1103
San Francisco, CA 94133
Staff Contact: Kanishka Burns – (415)575-9112
kanishka.burns@sfgov.org
Recommendation: **Do not take discretionary review and approve as proposed**

PROJECT DESCRIPTION

The proposal is to merge a one bedroom, one bathroom condominium unit (unit 1103/lot 033) with the adjoining two bedroom, one and a half bathroom condominium unit (unit 1101/lot 031) in a 47 unit building (known as the Green Hill Tower) that was constructed in 1961. The resulting unit would consist of three bedrooms, two and a half bathrooms, living room, dining room, kitchen, two new closets and a dressing area. The terrace of unit 1103 would be enlarged by expanding into the existing living space. The proposed merger will accommodate the household that currently resides in unit 1101 and as well as unit 1103, which was purchased in May 2013. Unit 1103 was appraised at \$1.5M on June 24, 2013 and unit 1101 was appraised at \$2.4M on October 17, 2013. Units that appraise below \$1.342M are considered to be financially accessible or demonstrably affordable housing. The units proposed for merger are not financial accessible or demonstrably affordable housing. The proposal is subject to the Section 311 Neighborhood Notification due to the change of use, and was conducted from December 24, 2013 to January 23, 2014.

BACKGROUND

The subject Dwelling Unit Merger application was filed on August 15, 2013 and reviewed against the Dwelling Unit Merger criteria of Planning Code Section 317(e) which was in effect at the time. The Project was determined to qualify for Administrative Approval because it met a supermajority (at least four out of five) of the merger criteria and was demonstrably not affordable or financially accessible housing. The

Section 311 Neighborhood Notification was performed indicating that the Project would be administratively approved unless a request for Discretionary Review was filed by a member of the public. No such request was filed during the notification period of December 24, 2013 to January 23, 2014.

On December 18, 2013 Mayor Lee's Executive Directive 13-01 was issued, requesting that a working group be formed to implement three tasks, one of which was to implement a process for Planning Commission Discretionary Review hearings when a loss of housing is proposed. On January 24, 2014 Planning Code Section 317 was amended to change the merger criteria and remove the provision allowing projects that meet a supermajority of the criteria to have administrative review. Under the Planning Code, administrative review is now only available to units proposed for merger that are demonstrably not affordable or financially accessible housing. On February 4, 2014 the Mayor's Housing Working Group, which included representatives from the Planning Department and Department of Building Inspection, issued recommendations in response to Executive Directive 13-01. One of these recommendations (Task 2) establishes a policy that requires all building permit applications that result in the removal or loss of any dwelling unit in a building with three or more units to be brought before the Planning Commission as a Mandatory Discretionary Review, regardless of whether the units proposed for merger are demonstrably not affordable.

The proposal results in the loss of a demonstrably not affordable dwelling unit in a building with more than three units (it has 47 units). As the Zoning Administrator Action Memo for the Project was not issued prior to the aforementioned Planning Code and policy changes, the Project is now subject to Mandatory Discretionary Review.

SITE DESCRIPTION AND PRESENT USE

The subject property is located on the north side of Green Street, between Leavenworth and Jones Streets, lots 031 and 033 in Assessor's Block 0121A and is located within the RM-2 (Residential Mixed, Moderate Density) District and a 40-X Height and Bulk District. The building is located on a through lot with rear façade on Macondray Lane. The property is developed with a 19 story over two basement levels building that was constructed in 1961 with 48 units and 61 parking spaces. In 1998 two units were merged into one, resulting in the existing 47 unit building. Units were originally designed with individual terraces, many of which have been enclosed since. The building provides nearly full lot coverage with a front setback.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject property is located near the southern boundary of the Russian Hill neighborhood in a mixed density residential area. While the subject property is in the RM-2 Zoning District, it is adjacent to RH-2 and RH-2 Zoning Districts. The Project is adjacent to two and three story residential buildings with five additional residential high-rise buildings located within a one block radius. Planning Code Section 206.2 describes the RM-2 District as follows:

Generally similar to RM-1 Districts, but the overall density of units is greater and the mixture of building types and unit sizes is more pronounced. Building widths and scales remain moderate and considerable outdoor space is still available.

HEARING NOTIFICATION

| TYPE | REQUIRED PERIOD | REQUIRED NOTICE DATE | ACTUAL NOTICE DATE | ACTUAL PERIOD |
|---------------|-----------------|----------------------|--------------------|---------------|
| Posted Notice | 10 days | March 3, 2014 | March 3, 2014 | 10 days |
| Mailed Notice | 10 days | March 3, 2014 | March 3, 2014 | 10 days |

PUBLIC COMMENT

| | SUPPORT | OPPOSED | NO POSITION |
|--|---------|---------|-------------|
| Adjacent neighbor(s) | - | - | X |
| Other neighbors on the block or directly across the street | - | - | X |
| Neighborhood groups | - | - | X |

To date, the Planning Department has received no public comment regarding the proposal.

PROJECT ANALYSIS

DWELLING UNIT MERGER CRITERIA

Below are the seven criteria to be considered by the Planning Commission in evaluating dwelling unit mergers, per Planning Code Section 317:

1. Removal of the unit(s) would only eliminate owner occupied housing.

Project Meets Criteria

According to the Project Sponsor's application, both of the units to be merged have been owner occupied since 1962. Unit 1101 was occupied by the original owner until it was purchased by the current owner in 2004. Unit 1103 was occupied by the original owned until it was purchased in 2013 by the current owner.

2. Removal of the unit(s) and the merger with another is intended for owner occupancy.

Project Meets Criteria

The unit created by the proposed merger would continue to be owner occupied. The proposed merger would create an approximately 2,400 square foot three-bedroom unit intended to be allow the current owners to age in place. The three-bedroom unit will then be a family sized unit for future occupants.

3. Removal of the unit(s) will remove an affordable housing unit as defined in Section 415 of the Planning Code or housing subject to the Rent Stabilization and Arbitration Ordinance.

Project Does Not Meet Criteria

The unit proposed for removal would eliminate a rent stabilized unit. The rent stabilized unit is owner occupied housing and was occupied by the original owner until it was purchased by the current owner in 2013. The building is a predominately owner occupied building.

4. Removal of the unit(s) will bring the building closer into conformance with the prescribed zoning.

Project Meets Criterion

The subject property is within a RM-2 Zoning District which permits one dwelling unit per 600 square feet of lot area. The subject 8,842.5 square foot lot permits up to 14 dwelling units. The Project would reduce the total number of units on the subject site from 47 to 46, bringing the building closer into conformance with the prescribed zoning. It should be noted that the subject building is a high rise condominium building adjacent to two and three story multi-unit residential buildings.

5. If removal of the unit(s) removes an affordable housing unit as defined in Section 401 of the Planning Code or units subject to the Rent Stabilization and Arbitration Ordinance, replacement housing will be provided which is equal to or greater in size, number of bedrooms, affordability and suitability to households with children to the units being removed.

Project Meets Criteria

The merged unit will be greater in size, equal in number of bedrooms, less affordable and more suitable to accommodating children in the household. No additional replacement housing is proposed.

6. The number of bedrooms provided in the merged unit will be equal to or greater than the number of bedrooms in the separate units.

Project Meets Criteria

The units proposed for merger consist of a 1,400 square foot two bedroom unit and a 1,000 square foot one bedroom unit. The unit resulting from the proposed merger will be three bedrooms, equal in number of bedrooms to the separate units.

7. Removal of the unit(s) is necessary to correct design or functional deficiencies that cannot be corrected through interior alterations.

Project Does Not Meet Criteria

No functional deficiencies exist. The existing two flats function as separate units.

GENERAL PLAN COMPLIANCE:

The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 2: RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.2: Retain existing housing by controlling the merger of residential units, except where a merger clearly creates new family housing.

The proposal is to merge two units in order to create a family sized unit for the family that currently resides in Unit 1101. The 12th through 18th floors of the building were originally constructed with three bedroom units, which are in high demand. Two additional mergers in the building have also created three bedroom units. The Project Sponsors desire a larger, family sized unit to accommodate visiting family and a potential future caregiver, as they intend to age in place.

OBJECTIVE 4: FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1: Develop new housing and encourage the remodeling of existing housing, for families with children.

Policy 4.3: Create housing for people with disabilities and aging adults by including universal design principles in new and rehabilitated housing units.

The proposal is to merge two units to accommodate a family that resides in one of the units. The proposal would permit remodeling of existing units to create housing suitable for the current residents as they age. They intend to retire and continue living in San Francisco. The building includes parking and elevators, which will be necessary as they age. The proposed merger would create a unit that could also house an in-home caregiver. In the future, the new three-bedroom unit would be suitable for families with children.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Project complies with these policies as follows:

1. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The proposal does not affect existing neighborhood-serving retail uses. Existing neighborhood serving retail uses will be preserved.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The proposal does not affect the existing neighborhood character. The proposed exterior modifications will occur at the 11th floor of occupancy. Although the proposal involves the loss of one dwelling unit through the merger process, the project results in a new family sized unit.

3. That the City's supply of affordable housing be preserved and enhanced.

The City's affordable housing supply is not affected by this proposal. The existing units are not financially accessible or demonstrably affordable housing. A one-bedroom unit that would be subject to rent control is being removed from the City's housing stock. However, given the appraisal value of the units, it is unlikely that it would be an affordable rental unit.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The proposal will not impede MUNI transit service; overburden our streets or neighborhood parking. The area is well served by public transit. The MUNI 45 and 60 lines stop within a block of the Project site.

5. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The proposal will not affect industrial or service sectors. The units involved in the proposal are residential.

6. The City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The proposal will comply with applicable code standards.

7. Landmarks and historic buildings be preserved.

The subject building is not a landmark. It was constructed in 1961 and is considered a potential historic resource. The exterior alterations have been reviewed by a Preservation Technical Specialist and determined to be Categorical Exempt from CEQA.

8. Parks and open space and their access to sunlight and vistas be protected from development.

The proposal will not negatively affect parks or open spaces.

ENVIRONMENTAL REVIEW

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. A Planning Commission approval will constitute the Approval Action for the Project for the purposes of CEQA, pursuant to San Francisco's Administrative Code Section 31.04(h).

BASIS FOR RECOMMENDATION

- Planning Code Section 317 exempts units that are demonstrably not affordable from Planning Commission hearing and allows them to be approved administratively. This Project would be approved administratively, were it not for the policy response to Executive Order 13-01, stipulating that only demonstrably not affordable units that are in buildings with two or less

units are eligible for administrative approval. This Project is only before the Planning Commission because it is in a building with more than two units. Retention of these demonstrably not affordable units do not address the housing crisis as Executive Order 13-01 intends.

- The Project creates family-sized housing.
- The proposed merger will bring the building closer to conformance with the prescribed density.
- There is no objection from the public to this proposal. The Homeowners Association of Green Hill Towers has voted unanimously to approve the Project.

| |
|--|
| RECOMMENDATION: Do not take DR and approve as proposed |
|--|

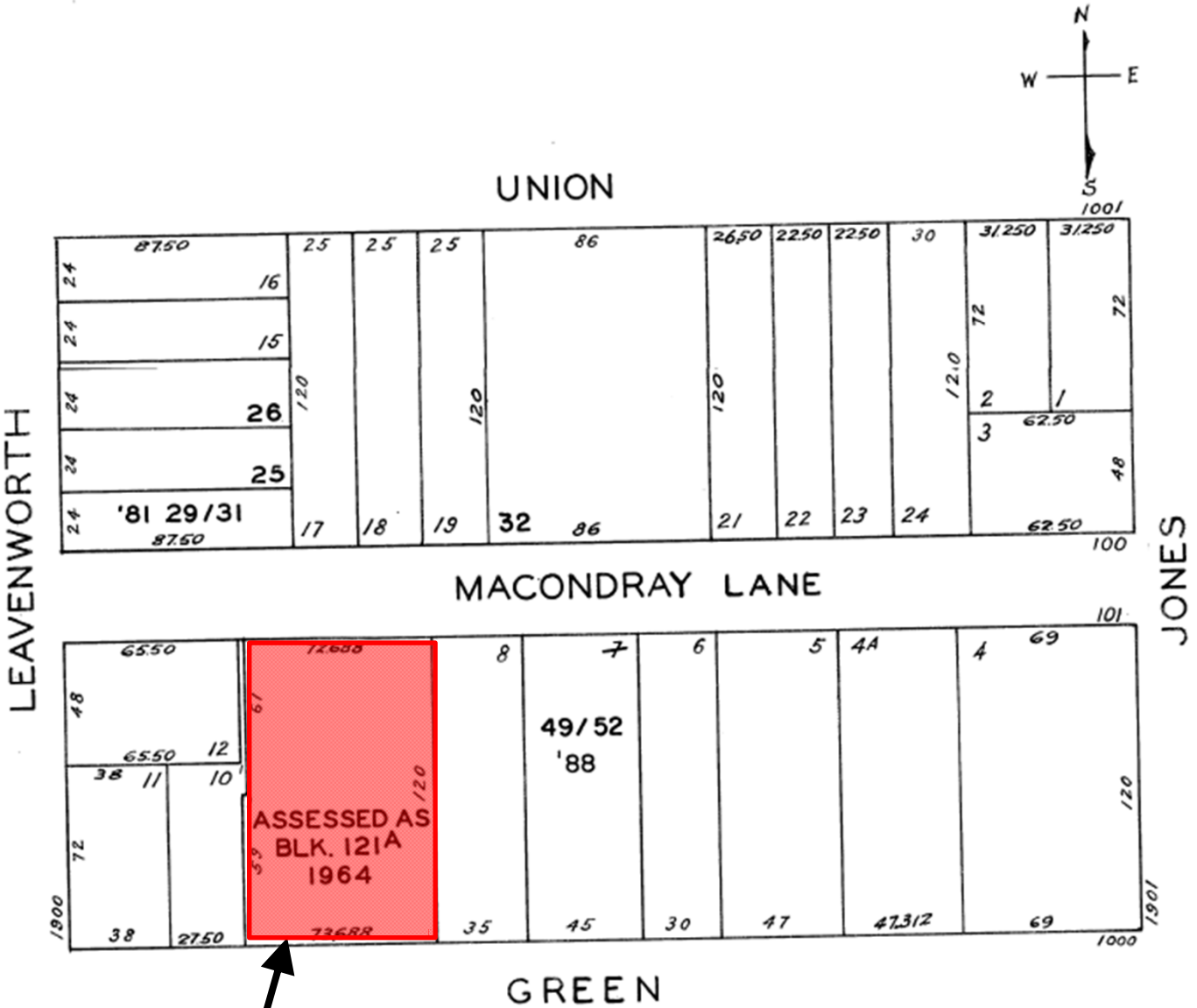
Attachments:

Parcel Map
Sanborn/Dwelling Unit Map
Zoning Map
Aerial Photographs
Site Photographs
Section 311 Notice
Project Sponsor's Submittal

- Response to Dwelling Unit Merger Criteria
- Letter of Support from Green Hill Tower Homeowners Association
- Letter of Support from neighbor
- Photo Rendering
- Reduced Plans

KBG:\Documents\Cases\2013.1133D - 1070 Green St\DR Analysis for DUM.doc

Parcel Map

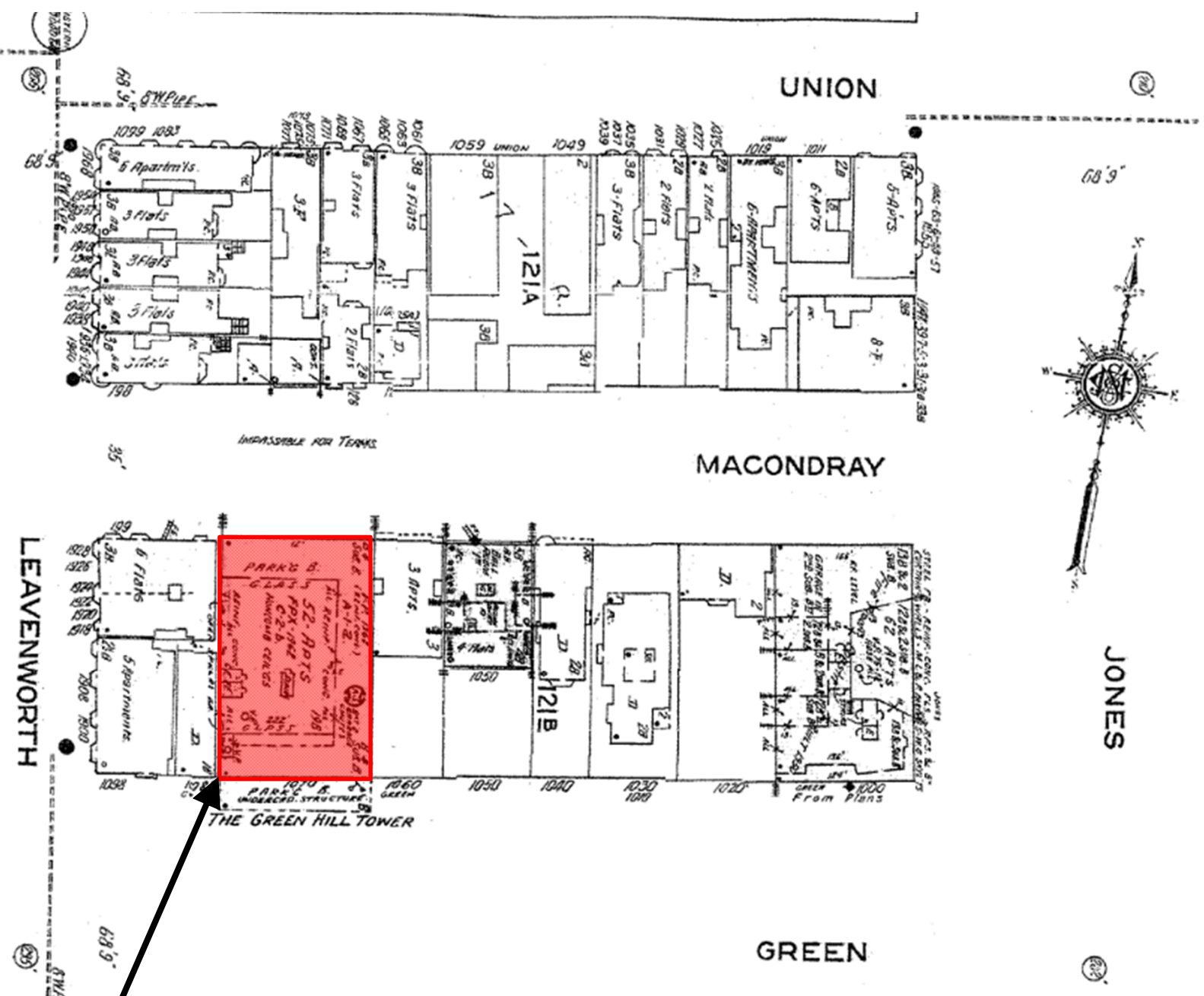


SUBJECT PROPERTY



Discretionary Review Hearing
 Case Number 2013.1133D
 Dwelling Unit Merger
 1070 Green Street, Units 1101 and 1103

Sanborn Map*



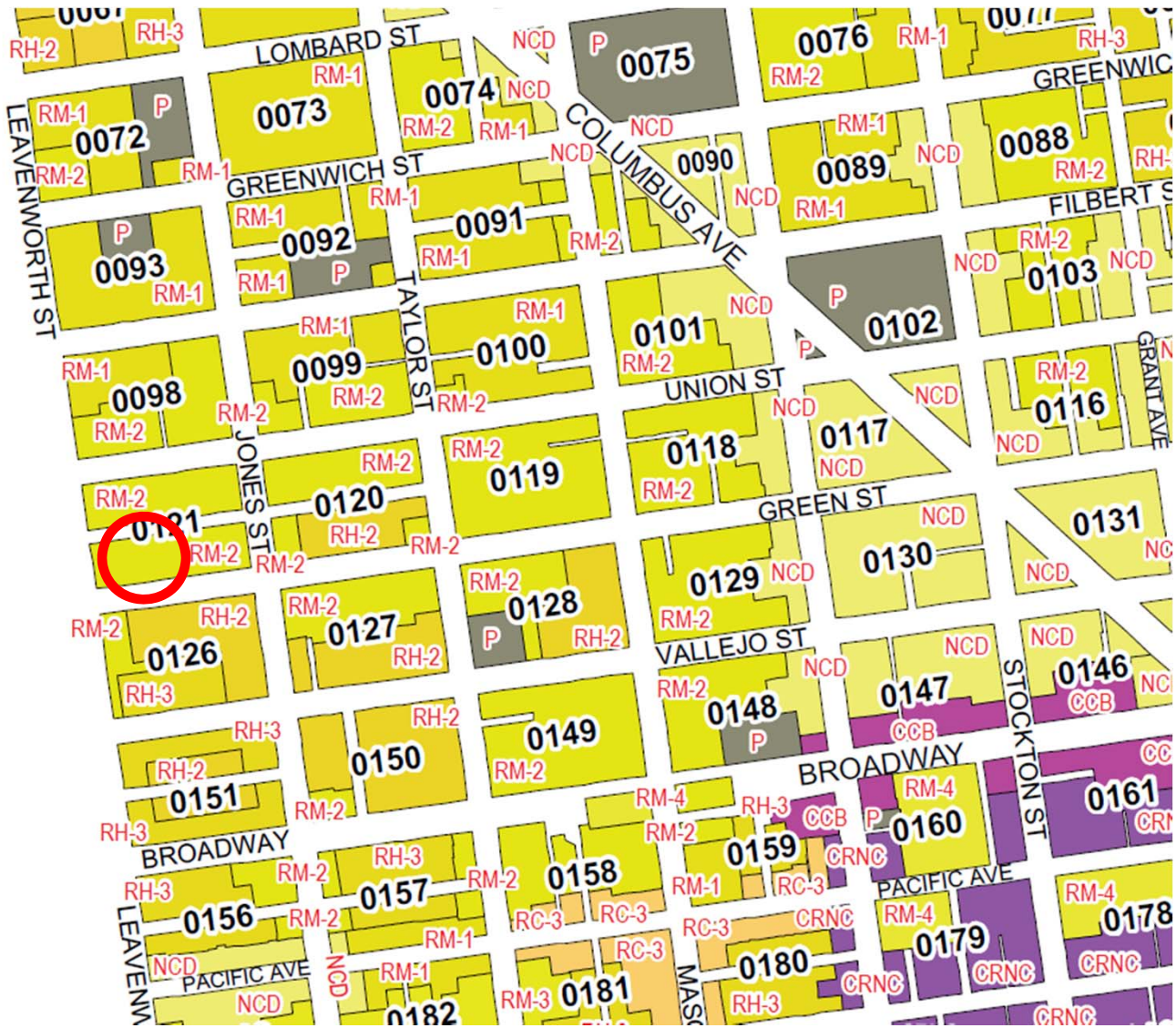
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

SUBJECT PROPERTY



Discretionary Review Hearing
 Case Number 2013.1133D
 Dwelling Unit Merger
 1070 Green Street, Units 1101 and 1103

Zoning Map

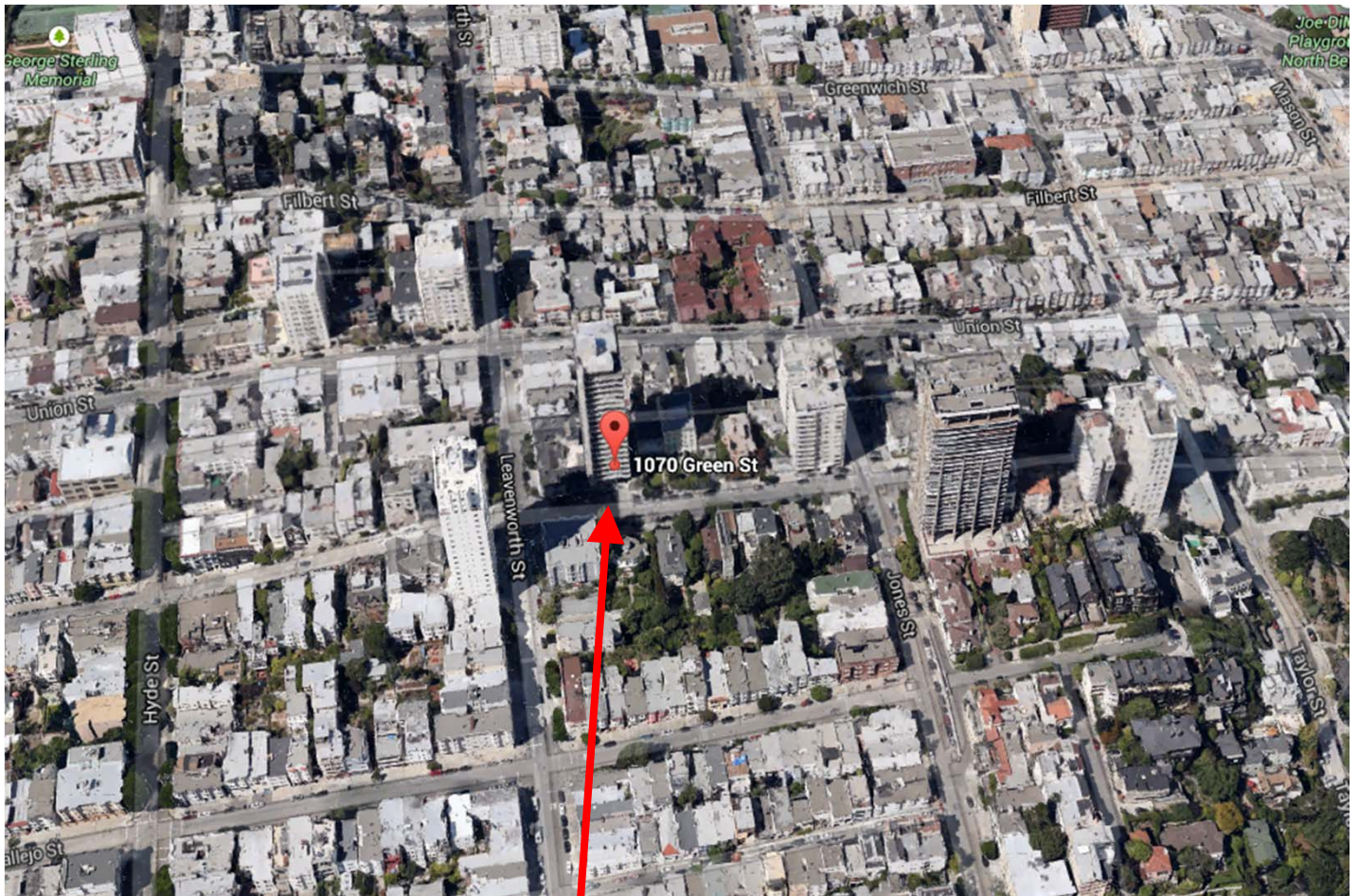


Discretionary Review Hearing
Case Number 2013.1133D

Dwelling Unit Merger

1070 Green Street, Units 1101 and 1103

Aerial Photo (looking north)



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.1133D
Dwelling Unit Merger
1070 Green Street, Units 1101 and 1103

Site Photo



Discretionary Review Hearing
Case Number 2013.1133D
Dwelling Unit Merger
1070 Green Street, Units 1101 and 1103



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **July 25, 2013**, the Applicant named below filed Building Permit Application No. **2013.07.25.2782** with the City and County of San Francisco.

| PROPERTY INFORMATION | | APPLICANT INFORMATION | |
|----------------------|---|-----------------------|-----------------------------|
| Project Address: | 1070 Green Street, Units 1101 & 1103 | Applicant: | Gregory Evard |
| Cross Street(s): | Leavenworth Street / Jones Street | Address: | 171 Main Street #180 |
| Block/Lot No.: | 0121A/031 and 033 | City, State: | Los Altos, CA 94022 |
| Zoning District(s): | RM-2 / 40-X | Telephone: | (650) 948-3600 |

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

| PROJECT SCOPE | | |
|---|--|--|
| <input type="checkbox"/> Demolition | <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Alteration |
| <input checked="" type="checkbox"/> Change of Use | <input checked="" type="checkbox"/> Façade Alteration(s) | <input type="checkbox"/> Front Addition |
| <input type="checkbox"/> Rear Addition | <input type="checkbox"/> Side Addition | <input type="checkbox"/> Vertical Addition |
| PROJECT FEATURES | EXISTING | PROPOSED |
| Building Use | 47 Family Dwelling | 46 Family Dwelling |
| Number of Stories | 20 over 2 basement garage levels | No Change |
| Number of Dwelling Units | 47 | 46 |
| PROJECT DESCRIPTION | | |
| <p>The proposal is to make interior modifications to merge two dwelling units into one. Interior alterations include removing an interior demising wall and cooking facilities in unit 1103. The proposal will result in the elimination of one unit in an existing 47-unit building, which would be subject to Mandatory Discretionary Review under Case No. 2013.1133D. Exterior alterations include increasing the size of the terrace at the 11th floor. The Zoning Administrator determined that the proposed dwelling unit merger meets four out of five criteria outlined in Planning Code Section 317 and neither of the units are demonstrably affordable or financially accessible housing, therefore it does not require a public hearing before the Planning Commission unless a request for Discretionary Review is filed by a member of the public. Should you have any questions, please call the planner at the number listed below.</p> | | |

For more information, please contact Planning Department staff:

Planner: Kanishka Burns
 Telephone: (415) 575-9112
 E-mail: kanishka.burns@sfgov.org

Notice Date: **12/24/2013**
 Expiration Date: **01/23/2014**

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.** **Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

PROPOSED MERGER OF UNITS 1101 & 1103 AT 1070 GREEN STREET
Owners' responses to 317(e) issues:

BOTH UNITS OWNER OCCUPIED - ALWAYS

Unit 1101 - Owner occupied by us (Chiddix family) since 2004 when we purchased it from the Dreyfoos estate. The Dreyfoos family had owned and occupied 1101 since 1962 when Green Hill Tower was constructed.

Unit 1103 - Owner occupied by Donald Loudon from 1962-2013 when Mr. Loudon moved to an assisted living facility and sold 1103 to us. Neither unit has ever been rented and Green Hill Tower is predominantly owner occupied.

MERGER CREATES A FAMILY FRIENDLY 3 BEDROOM DWELLING

Unit 1101 currently has 2 bedrooms and is approximately 1400 square feet.

Unit 1103 currently has 1 bedroom and is approximately 1000 square feet.

We propose to merge these two units into one 3 bedroom unit which will create a dwelling more suitable for children as well as allow us to more comfortably age in place.

HISTORIC PRECEDENT FOR COMBINING THESE UNITS

Two similar unit mergers have been completed at Green Hill Tower; units 501 & 503 and 301 & 303. In addition, Green Hill Tower was constructed with larger units on floors 12 through 18 which have floor plans approximately equivalent in size and configuration to our proposed merger of units 1101 & 1103.

MERGER INCREASES CONFORMITY WITH PRESCRIBED ZONING

Our zoning of RM-2 calls for one family dwelling per 600 square feet. Since Green Hill Tower is a high-rise with much greater density, this merger will bring our neighborhood closer to the RM-2 zoning goals.

COMPLIANCE WITH ALL PLANNING AND ZONING CRITERIA FOR MERGERS

During the last eight months we have:

- Notified neighbors of proposed merger and posted signs. No complaints filed.
- Had appraisals with both units valued higher than Code defines as "affordable."
- Submitted all required documents and plans.

OUR HOPE FOR RETIREMENT - AGING IN PLACE IN SAN FRANCISCO

We purchased our home at Green Hill Tower 10 years ago with the goal of making it our retirement home. We know that eventually old age or illness may mean that we'll need help from family members or a caregiver. Having more space including an extra bedroom will make it easier for us to age in place.

GREEN HILL TOWER HOMEOWNERS ASSOCIATION

1070 GREEN ST

SAN FRANCISCO, CA 94133

TO:

SAN FRANCISCO PLANNING DEPARTMENT

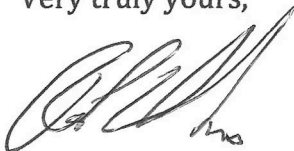
SAN FRANCISCO, CA

This is to inform you that James and Trudy Chiddix, owners of unit #1101 in our building, have applied to the Board of Directors of our Homeowners Association for approval of their proposed project to combine their current unit with the adjacent one, #1103, which they recently purchased.

The Board reviewed the project with Mr. Chiddix at our most recent meeting and voted unanimously to approve the project. We feel that it is in keeping with the character of our building and like the idea that it would increase the number of three-bedroom units in our small community.

Please let us know if we can be helpful in your own review process for this project.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Roman Kownacki', with a stylized flourish at the end.

Roman Kownacki

President

Michèle and Laurence Corash
1070 Green Street, #1900
San Francisco, CA 94133
Ph: 415-673-1315

February 28, 2014

San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: Proposed Merger of Condominium Units at 1070 Green Street

Dear Commissioners:

We are writing with regard to the application that our neighbors, Jim and Trudy Chiddix, have made to the Planning Department to merge two units in our building. We are in favor of allowing this merger, which we believe will be good for the building, the neighborhood and the City.

We have lived at 1070 Green Street for 19 years. One or the other of us has been on the Homeowner's Association's (HOA) board for many of those years. This is predominately an owner-occupied building in which rentals are discouraged and are relatively rare. Many residents live here for many years, as the building is a great place to live as one gets older.

We have known the Chiddixes since they purchased Unit 1101 here nearly ten years ago. They have been active in the community and in this building in various ways. Jim has served on the HOA board for a number of years and was its president for several of those years. They are now seeking to combine Unit 1103, which they have purchased, with their existing unit. We applaud their intention to remain here through their retirement and sympathize with their need for some additional living space. The building has a number of three bedroom units, which are always in demand for family use, including two cases where this identical merger, in terms of floor plan, has been done in the past: Units 301/303 and 501/503.

Merging these two units for their use is good for the building, the environment and the community as it will reduce the building's overall use of resources such as water, parking, electricity and the like, inasmuch as their demand for these will not increase as they spread over a bit more space. We believe that most, probably all, of the residents of the building are in favor of allowing the Chiddix family to do this combination, and look forward to having them as neighbors for many years to come.

Very truly yours,



Michèle B. Corash
Laurence Corash

NORTHEAST ELEVATION

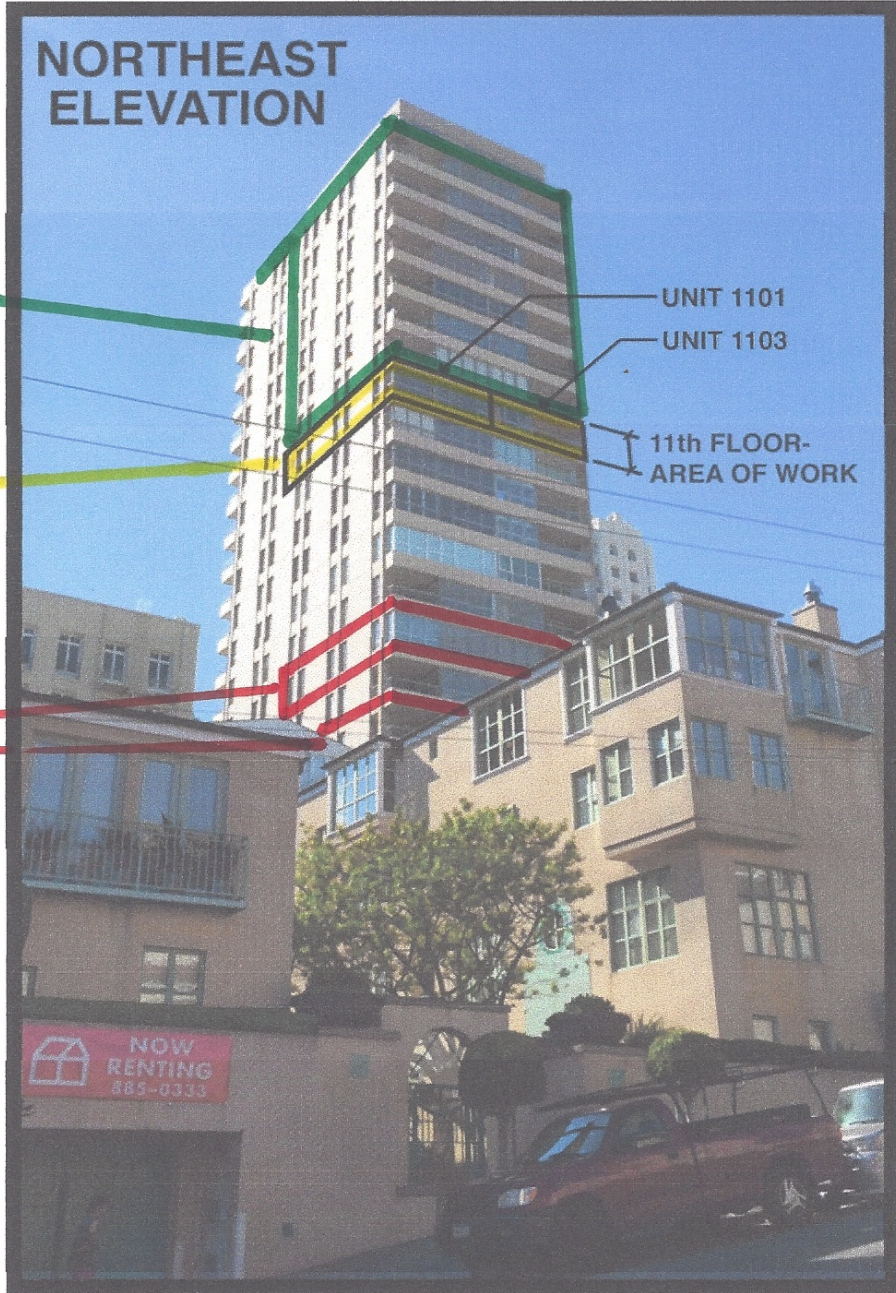
ORIGINALLY
COMBINED
UNITS
1201 TO 1801

PROPOSED
MERGER
1101/1103

PREVIOUSLY
MERGED
UNITS:
501/503
301/303

UNIT 1101
UNIT 1103

11th FLOOR-
AREA OF WORK



| FLOOR OR ROOF CONSTRUCTION | Item Number | CEILING CONSTRUCTION | THICKNESS OF FLOOR OR ROOF SLAB (in inches) | | | | MINIMUM THICKNESS OF CEILING (in inches) | | | |
|---|-------------|--|---|-------|--------|-------|--|--------|--------|--------|
| | | | 4 Hr. | 3 Hr. | 2 Hr. | 1 Hr. | 4 Hr. | 3 Hr. | 2 Hr. | 1 Hr. |
| Steel Joists Constructed with a Reinforced Concrete Slab on Metal Lath Forms or Steel Form Units* | 8 | Perlite or vermiculite gypsum plaster on 1/2" perforated gypsum lath attached to 3/4" cold-rolled channels with approved clips giving continuous support to lath. Channels attached to or suspended below joists and held to bottom chord of joists. | 2 | 2 | 2 | 2 | 1 3/4" | 1 3/4" | 1 3/4" | 1 |
| | 9 | Gypsum plaster on 1/2" perforated gypsum lath attached to 3/4" cold-rolled channels, with approved clips giving continuous support to lath. Channels attached to or suspended below joists and wire tied to bottom chord of joists. | | | 2 | | | | | 1 7/8" |
| | 10 | Ceiling of 1/2" Type "X" wallboard ³ attached to 1/2" deep by 2 1/2" by No. 25 gauge hat-shaped furring channels 12" on center with 1" long No. 6 wallboard screws at 8" on center. Channels wire tied to bottom chord of joists with doubled No. 18 gauge wire or suspended below joists on wire hangers. ⁹ | | | 2 1/2" | | | | | 5/8" |

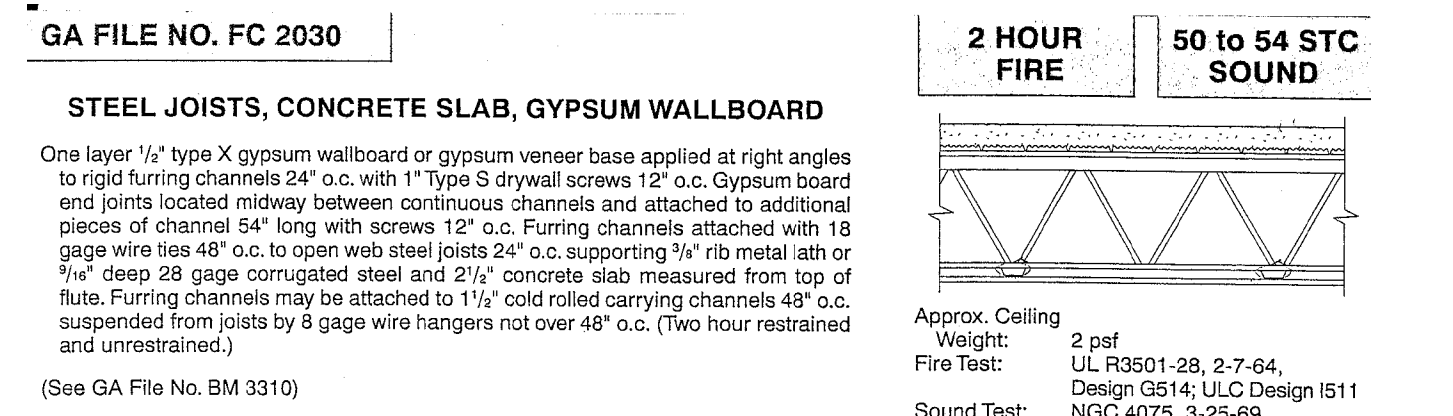
EXISTING CEILING / FLOOR ASSEMBLY

TABLE 6-A—TYPES OF CONSTRUCTION—FIRE-RESISTIVE REQUIREMENTS (In Hours)
For details, see occupancy section in Chapter 3, type of construction sections in this chapter and sections referenced in this table.

| BUILDING ELEMENT | TYPE I | | TYPE II | | TYPE III | | TYPE IV | | TYPE V | |
|----------------------------------|-------------------|-------------------|-------------------|----------------|-------------------|----------------|--------------------|-----------------|-------------------|----------------|
| | Fire-resistive | Noncombustible | Fire-resistive | Noncombustible | Fire-resistive | Noncombustible | Fire-resistive | Noncombustible | Fire-resistive | Noncombustible |
| 1. Bearing walls—exterior | 4 Sec. 602.3.1 | 4 Sec. 603.3.1 | 1 Sec. 603.3.1 | N | 1 Sec. 604.3.1 | N | 1 Sec. 604.3.1 | N | 1 Sec. 605.3.1 | N |
| 2. Bearing walls—interior | 3 | 2 | 1 | N | 1 | N | 1 | N | 1 | N |
| 3. Nonbearing walls—exterior | 4 Sec. 602.3.1 | 4 Sec. 603.3.1 | 1 Sec. 603.3.1 | N | 4 Sec. 604.3.1 | N | 4 Sec. 604.3.1 | N | 4 Sec. 605.3.1 | N |
| 4. Structural frame ¹ | 3 | 2 | 1 | N | 1 | N | 1 or H.T. | 1 | N | N |
| 5. Partitions—permanent | 1 1/2 | 1 1/2 | 1 1/2 | N | 1 | N | 1 or H.T. | 1 | N | N |
| 6. Shaft enclosures ² | 2 | 2 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 7. Floors and floor-ceilings | 2 | 2 | 1 | N | 1 | N | H.T. | 1 | N | N |
| 8. Roofs and roof-ceilings | 2 Sec. 602.5 | 1 Sec. 603.5 | 1 Sec. 603.5 | N | 1 Sec. 604.5 | N | H.T. Sec. 605.5 | 1 Sec. 606.5 | N | N |
| 9. Exterior doors and windows | Sec. 602.3.2 | Sec. 603.3.2 | Sec. 603.3.2 | Sec. 603.3.2 | Sec. 604.3.2 | Sec. 604.3.2 | Sec. 605.3.2 | Sec. 606.3 | Sec. 606.3 | Sec. 606.3 |
| 10. Stairway construction | Sec. 602.4 | Sec. 603.4 | Sec. 603.4 | Sec. 603.4 | Sec. 604.4 | Sec. 604.4 | Sec. 605.4 | Sec. 606.4 | Sec. 606.4 | Sec. 606.4 |

N—No general requirements for fire resistance.
H.T.—Heavy timber.
¹Structural frame elements in an exterior wall that is located where openings are not permitted, or where protection of openings is required, shall be protected against external fire exposure as required for exterior-bearing walls or the structural frame, whichever is greater.
²Fire-retardant-treated wood (see Section 207) may be used in the assembly, provided fire-resistance requirements are maintained. See Sections 602 and 603.
For special provisions, see Sections 304.6, 306.6 and 711.

FIRE RESISTIVE REQUIREMENTS - UBC TABLE 6-A



PROPOSED CEILING/FLOOR ASSEMBLY - GA FILE NO. 2030

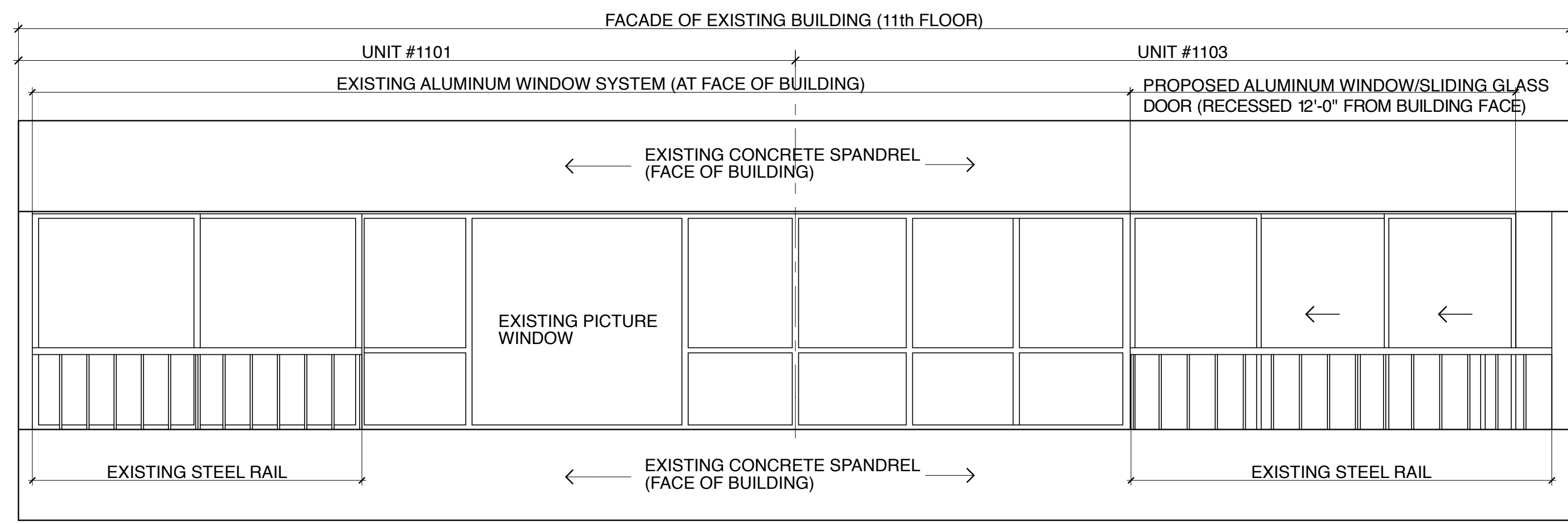
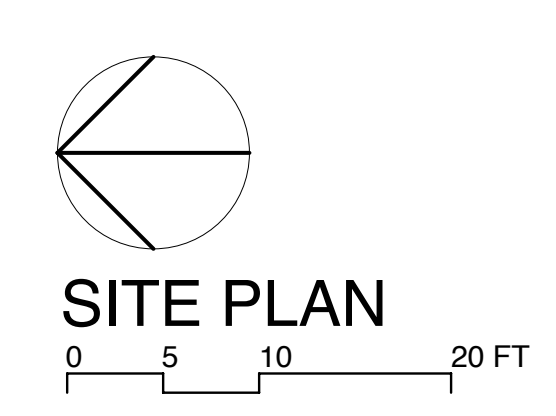
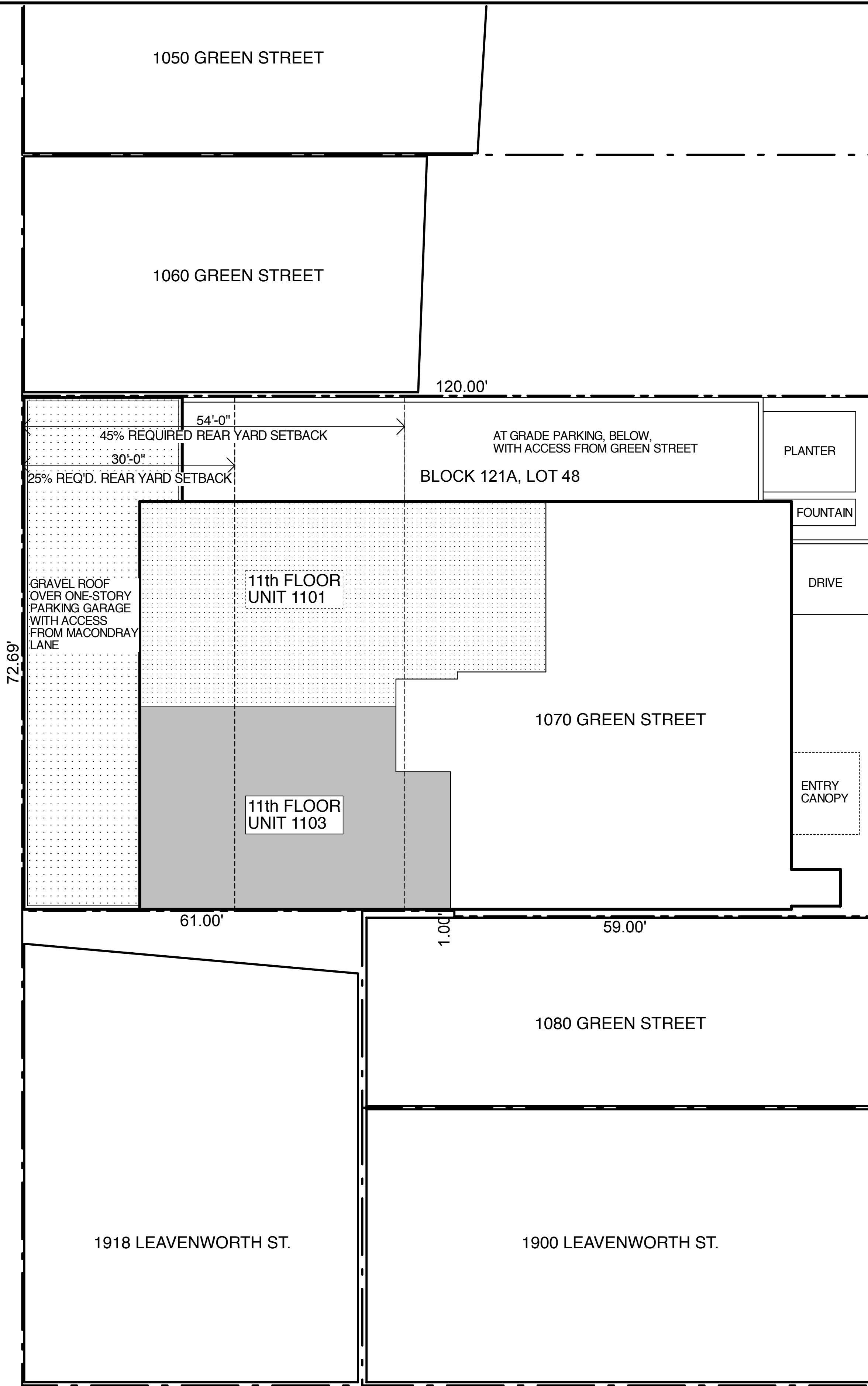
Due to the difficulty of locating and installing new recessed light fixtures in the existing ceiling, we propose to remove and replace portions of the existing ceiling.

The existing ceiling is part of a floor/ceiling assembly rated for two hours, as required by table 6-A of the UBC. This ceiling is composed of 1/2" of plaster on 3/8" "button board" gypsum lath tied onto channels, with the whole assembly suspended on wires below the bar joists, corrugated metal deck and reinforced concrete slab. This system is also described in the attached table from the 1985 UBC table 43-C system #8.

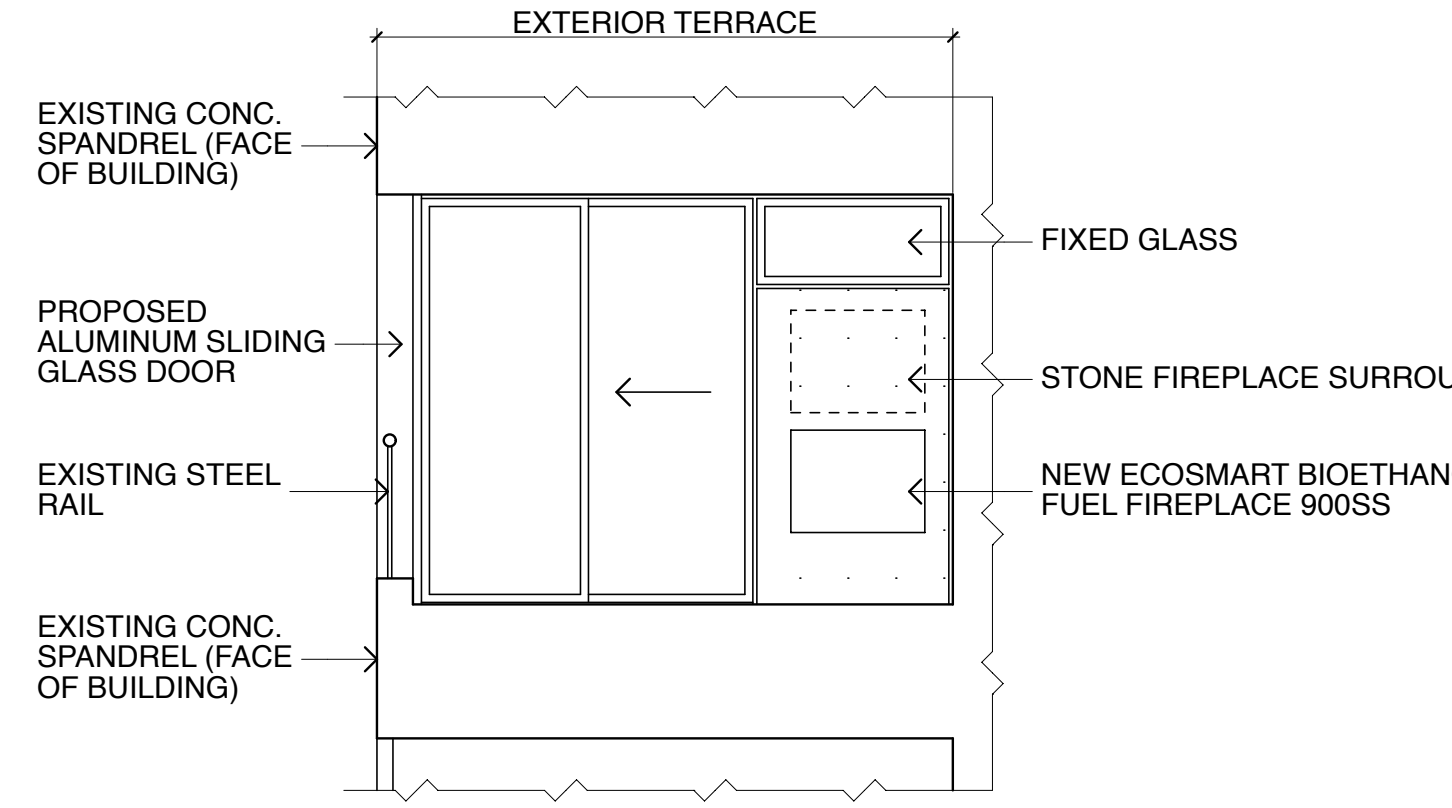
The Fire resistance design manual published by the Gypsum Association describes a similar 2-hour system utilizing one layer of 1/2" type X gypsum wallboard or gypsum veneer base at the ceiling. This system is described in the attached GA File No. FC 2030.

We propose to replace portions of the existing ceiling with this FC 2030 system as shown on the mechanical / electrical / plumbing plan and the reflected ceiling plan. In addition, we propose to use 5/8" type x gypsum board in place of the 1/2" gypsum board. Accordingly, we believe that our proposed ceiling will meet or exceed the fire resistance of the required ceiling system.

CEILING REPLACEMENT DESCRIPTION



NORTH EXTERIOR ELEVATION AT UNITS #1101 AND #1103
SCALE 1/4" = 1'-0"



EAST EXTERIOR ELEVATION AT UNIT #1103 EXTERIOR TERRACE
SCALE 1/4" = 1'-0"

DRAWING INDEX

- A1 SITE PLAN, FIRE-RESISTIVE CONSTRUCTION NOTES
- A2 REMODEL FLOOR PLAN, DEMOLITION PLAN
- A3 PREVAILING DENSITY MAP, EXISTING EXTERIOR ELEVATIONS
- T24 ENERGY COMPLIANCE DOCUMENTATION

PROJECT DESCRIPTION

THE PROJECT ENTAILS THE COMBINATION OF TWO SEPARATE CONDOMINIUM UNITS (#1101 AND #1103) INTO ONE SINGLE UNIT. UNIT #1101 WILL REMAIN AS EXISTING. UNIT #1103 TO BE RECONFIGURED AND ALL FINISHES TO BE REPLACED WITH NEW. EACH UNIT IS ALLOCATED WITH ONE PARKING SPACE.

GENERAL NOTES

PARCEL NUMBER: 0121A033

PROPERTY OWNER: JAMES A. CHIDDIX & TRUDY E. CHIDDIX

CONSTRUCTION TYPE: 1-A

OCCUPANCY: R-2

NO. OF STORIES: 20

NO. OF UNITS: 47

NO. OF BASEMENTS: 2 (PARKING)

APPLICABLE CODES:
2010 CALIFORNIA BUILDING CODE
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA ELECTRICAL CODE
2010 CALIFORNIA ENERGY CODE
CURRENT, LOCAL CITY OF SAN FRANCISCO CODES

Gregory P. Eward
Architect, AIA
171 Main Street, #180
Los Altos, CA 94022-3409
Ph: (650) 948-3900
Fax: (650) 948-3901

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all dimensions and conditions of the Project and the Architect must be notified immediately of any variations from the dimensions and conditions shown by these drawings. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

CHIDDIX RESIDENCE
REMODEL
1070 GREEN STREET, #1101 & #1103, SAN FRANCISCO CA

CHIDDIX RESIDENCE
REMODEL
1070 GREEN STREET, #1101 & #1103, SAN FRANCISCO CA

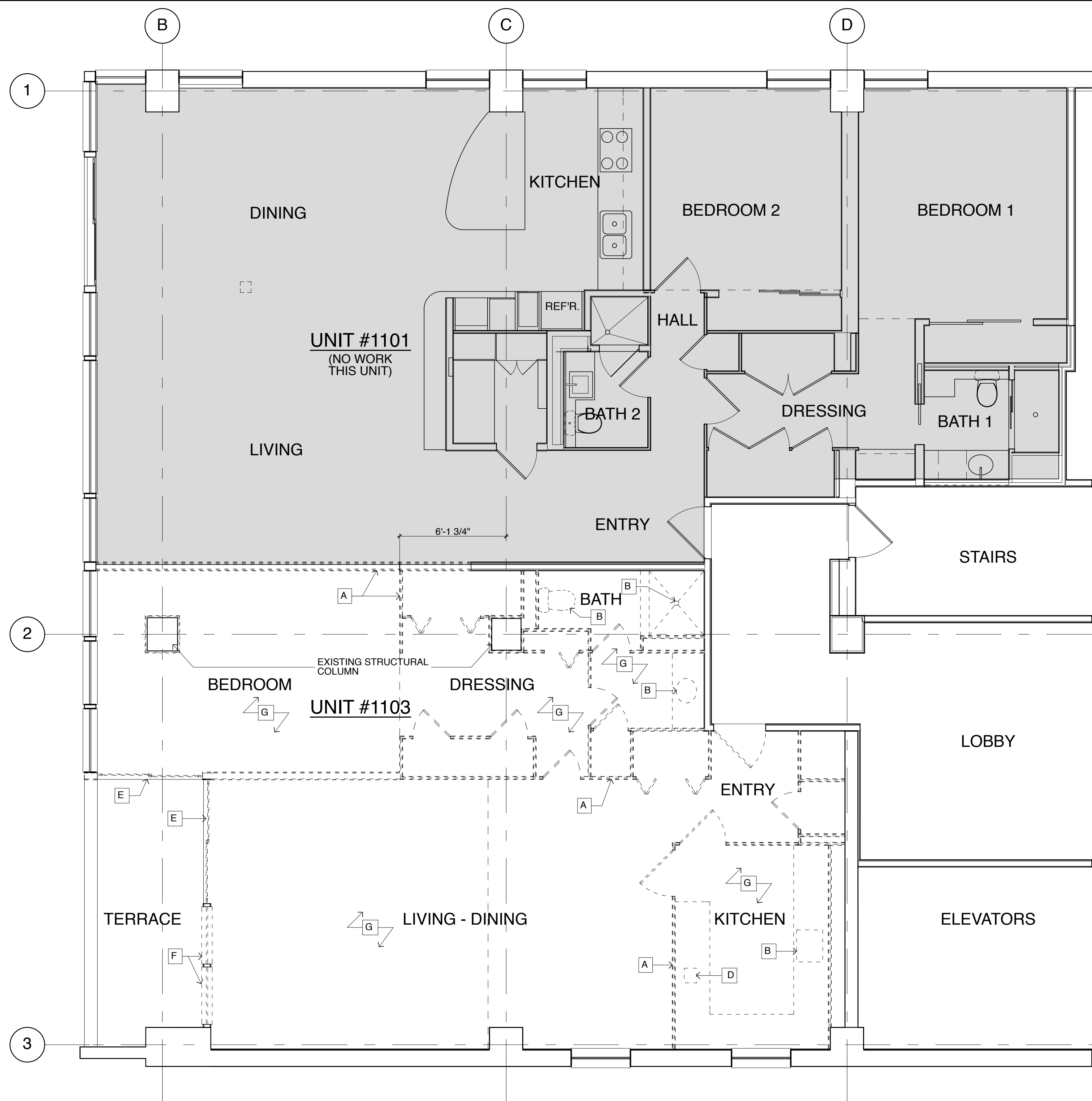
Revisions

| No. | Date |
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| | |
| | |
| | |

Date: Dec. 4, 2013

Project:

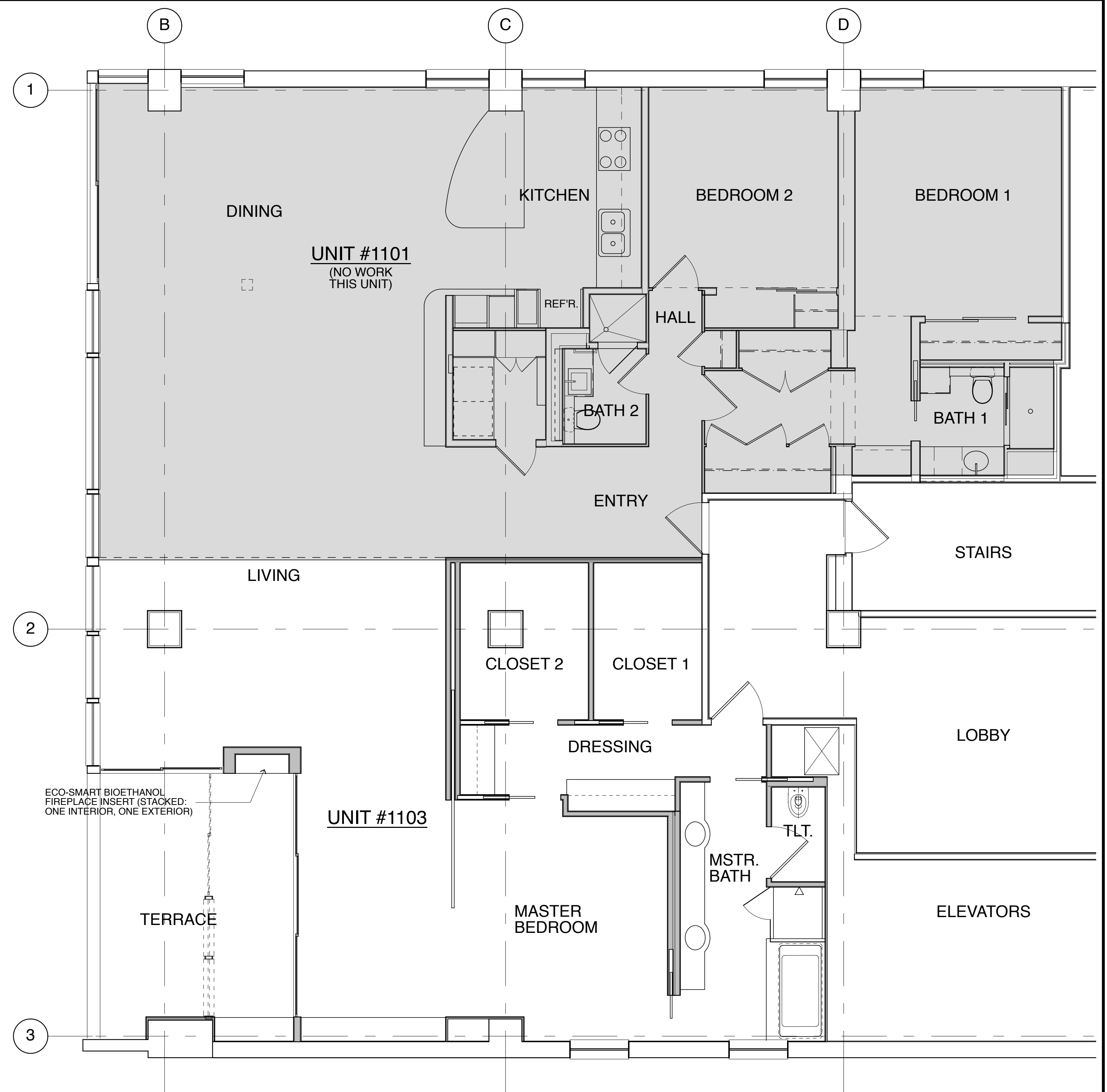
AI



LEGEND
 [---] EXISTING WALLS TO BE REMOVED.
 [—] EXISTING WALLS TO REMAIN.

- KEY NOTES**
- [A] REMOVE EXISTING NON-STRUCTURAL WALLS, TYP.
 - [B] REMOVE EXISTING PLUMBING FIXTURES, CAP PLUMBING SUPPLY LINES AND VENTS, TYP.
 - [C] REMOVE EXISTING CABINETS AND APPLIANCES
 - [D] REMOVE EXISTING VENT HOOD DUCT, CAP AT WALL
 - [E] REMOVE EXISTING SLIDING GLASS DOOR
 - [F] REMOVE EXISTING WINDOWS
 - [G] REMOVE EXISTING FLOOR MATERIALS, TYP.


EXISTING / DEMOLITION PLAN
 SCALE 1/4" = 1'-0"



WALL LEGEND
 [—] EXISTING WALLS TO REMAIN.
 [—] NEW WALLS


FLOOR PLAN - PROPOSED
 SCALE 1/4" = 1'-0"

Gregory P. Eward
 Architect, AIA
 171 Main Street, #180
 Los Altos, CA
 Ph: (650) 948-3400
 Fax: (650) 948-3901

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all dimensions and conditions of the Project and the Architect must be notified immediately of any variations from the dimensions and conditions shown by these drawings. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.

EXISTING UNIT + REMODEL OF ADDITIONAL UNIT
CHIDDIX RESIDENCE
 1070 GREEN STREET, #1101 & #1103, SAN FRANCISCO CA

Revisions

| No. | Date |
|-----|------|
| | |
| | |
| | |

Date: Dec. 4, 2013

Project:

A2

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor will verify and be responsible for all dimensions and conditions of the Project and the Architect must be notified immediately of any variations from the dimensions and conditions shown by these drawings. These drawings and the ideas represented by them are and shall remain the property of the Architect and no part thereof shall be used for any other than this project without the written consent of the Architect.



EXISTING EXTERIOR ELEVATIONS

EXISTING UNIT + REMODEL OF ADDITIONAL UNIT
CHIDDIX RESIDENCE
1070 GREEN STREET, #1101 & #1103, SAN FRANCISCO CA

Revisions

| No. | Date |
|-----|------|
| | |
| | |

Date: Dec. 4, 2013

Project: