



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Office Development Authorization

HEARING DATE: JANUARY 16, 2014

Date: January 9, 2014
Case No.: **2013.0544B**
Project Address: **410 Townsend Street**
Zoning: WMUO (Western SoMa Mixed-Use Office) Zoning District
65-X/85-X Height and Bulk District
Western SoMa Special Use District
Block/Lot: 3785/002A
Project Sponsor: David Silverman, Rueben, Junius & Rose
1 Bush Street, Ste. 600
San Francisco, CA 94104
Staff Contact: Richard Sucre – (415) 575-9108
richard.sucre@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The proposal is to establish 76,000 gross square feet of office use within the existing building at 410 Townsend Street. Currently, the building possesses a total of 76,000 gross square feet (gsf), twenty-four (24) off-street parking spaces (includes one accessible parking space and one van accessible parking space), nineteen (19) Class 1 bicycle parking spaces and three (3) Class 2 bicycle parking spaces--accommodated via interior bicycle parking racks. There are no exterior alterations proposed with this application.

SITE DESCRIPTION AND PRESENT USE

The proposed project is located on a generally rectangular lot (measuring approximately 80-ft by 250-ft for a lot area of 20,000 sq ft) on the north side of Townsend Street between 5th and 6th Streets. The subject lot is a through lot with frontage onto both Townsend and Bluxome Streets. Currently, the subject lot contains a four-story-with-basement, reinforced concrete, light industrial property that currently possesses multimedia (business service) and office uses.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the WMUO (Western SoMa Mixed-Use Office) Zoning District along a largely industrial commercial corridor within the Western SoMA Area Plan. The immediate neighborhood consists of one-to-four-story tall, reinforced-concrete former warehouses (largely converted into office or commercial space) and the Caltrain rail line, which is located along the south side of Townsend Street and I-280. Other properties in the area are either commercial or light industrial in

nature. To the east of the project site is a small one-story commercial building and a five-story residential apartment complex at the northeast corner of Townsend and 5th Streets, while to the west are a series of one-to-two story, reinforced concrete former warehouses that are used for either light industrial or commercial use. Other zoning districts in the vicinity of the project site include: SALI (Services/Arts/Light Industrial); RED-MX (Residential Enclave District-Mixed); MB-O (Mission Bay Office); and, MB-RA (Mission Bay South Redevelopment Plan).

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 Categorical Exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	December 27, 2013	December 27, 2013	20 days
Posted Notice	20 days	December 27, 2013	December 27, 2013	20 days
Mailed Notice	N/A	N/A	December 27, 2013	20 days

The proposal requires a Section 312 neighborhood notification, which was conducted in conjunction with the office allocation process.

PUBLIC COMMENT

- As of January 9, 2013, the Department received one letter in support of this project.

ISSUES AND OTHER CONSIDERATIONS

- Office Development Authorization: The proposed project would establish 76,000 gsf of office use at 410 Townsend Street. As of January 9, 2013, there is approximately 2.2 million square feet of “Large” Cap Office Development available under the Section 321 office allocation program.
- Office Use within WMUO: Per Planning Code Section 845.66, office use is permitted as of right within the Western SoMa Mixed-Use Office (WMUO) Zoning District.
- Central SoMa Area Plan: Based upon the latest information on the Central SoMa Area Plan, the proposed project would not conflict with the Plan’s proposed change in zoning for the subject lot to Mixed-Use Office (MUO). Office use is principally permitted within the MUO Zoning District.
- Development Impact Fees: The Project would be subject to the following development impact fees, which are estimated as follows:

FEE TYPE	PLANNING CODE SECTION/FEE	AMOUNT
----------	---------------------------	--------

FEE TYPE	PLANNING CODE SECTION/FEE	AMOUNT
Transit Impact Development Fee (76,000 gsf – PDR to Office)	411 (@ \$5.84)	\$ 443,840
Jobs-Housing Linkage (76,000 gsf – PDR to Office)	413 (@ \$6.72)	\$510,720
Child Care Development In-Lieu Fee (76,000 gsf – New Office Development)	414 (@ \$1.11)	\$84,360
Eastern Neighborhoods Impact Fee (76,000 gsf - Tier 1; PDR to Non-Residential)	423 (@ \$3.32)	\$252,320
Alternative Means of Satisfying the Open Space Requirement in EN Mixed Use Districts (1,520 sq ft)	426 (@ \$84.06)	\$127,771.20
	TOTAL	\$1,291,240

Please note that these fees are subject to change between Planning Commission approval and approval of the associated Building Permit Application, as based upon the annual updates managed by the Development Impact Fee Unit of the Department of Building Inspection.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must authorize the allocation of office space for the 76,000 gross square feet pursuant to Planning Code Sections 321 and 845.66.

BASIS FOR RECOMMENDATION

The Department believes this project is approvable for the following reasons:

- The Project complies with the applicable requirements of the Planning Code.
- The Project is consistent with the objectives and policies of the General Plan.
- The Project is a principally permitted use under current zoning and is consistent with the proposed zoning under the Central SoMa Area Plan.
- The authorization of the office space will allow the existing businesses to remain in the building, which will continue to contribute to the economic activity in the neighborhood.
- The Project represents an allocation of approximately three percent of the large cap office space currently available for allocation.
- At current rates, the project will produce approximately \$1,291,240 in fees that will benefit the community and City.

RECOMMENDATION: Approval with Conditions

Attachments:

Draft Motion
Parcel Map
Sanborn Map
Zoning Map
Aerial Photographs
Site Photographs
Project Sponsor Submittal
Categorical Exemption
Public Correspondence

Attachment Checklist:

- | | |
|---|---|
| <input type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project Sponsor Submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Community Meeting Notice |
| <input type="checkbox"/> Context Photos | <input type="checkbox"/> Inclusionary Affordable Housing Program:
Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> Zoning Administrator Action Memo |

Exhibits above marked with an "X" are included in this packet

Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Inclusionary Housing (Sec. 315)
- First Source Hiring (Admin. Code)
- Jobs Housing Linkage Program (Sec. 313)
- Child Care Requirement (Sec. 314)
- Downtown Park Fee (Sec. 139)
- Other (Eastern Neighborhoods-Sec. 423 & 426)
- Transit Impact Development Fee (Admin Code)

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Draft Motion

HEARING DATE: JANUARY 16, 2014

Date: January 9, 2014
Case No.: **2013.0544B**
Project Address: **410 Townsend Street**
Zoning: WMUO (Western SoMa Mixed-Use Office) Zoning District
 65-X/85-X Height and Bulk District
 Western SoMa Special Use District
Block/Lot: 3785/002A
Project Sponsor: David Silverman, Rueben, Junius & Rose
 1 Bush Street, Ste. 600
 San Francisco, CA 94104
Staff Contact: Richard Sucre – (415) 575-9108
 richard.sucre@sfgov.org
Recommendation: **Approval with Conditions**

ADOPTING FINDINGS APPROVING ALLOCATION OF OFFICE SQUARE FOOTAGE UNDER THE 2013-2014 ANNUAL OFFICE-DEVELOPMENT LIMITATION PROGRAM FOR THE PROPOSED PROJECT LOCATED AT 410 TOWNSEND STREET THAT WOULD ESTABLISH 76,000 GROSS SQUARE FEET OF OFFICE USE PURSUANT TO PLANNING CODE SECTIONS 321 AND 845.66 ON ASSESSOR'S BLOCK 3785, LOT 002A, IN THE WMUO (WESTERN SOMA MIXED USE OFFICE) ZONING DISTRICT AND WITHIN THE 65-X/85-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On May 2, 2013, David Silverman of Reuben, Junius and Rose, on behalf of SF Office 1, LLC (hereinafter "Project Sponsor"), filed Application No. 2013.0544B (hereinafter "Application") with the Planning Department (hereinafter "Department") for an Office Development Authorization to establish 76,000 gsf of office use at 410 Townsend Street.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 15301 Categorical Exemption.

On January 16, 2014, the Planning Commission ("Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Office Allocation Application No. 2013.0544B.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Office Development requested in Application No. 2013.0544B, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The proposed project is located on a generally rectangular lot (measuring approximately 80-ft by 250-ft for a lot area of 20,000 sq ft) on the north side of Townsend Street between 5th and 6th Streets. The subject lot is a through lot with frontage onto Townsend and Bluxome Streets. Currently, the subject lot contains a four-story-with-basement, reinforced concrete, light industrial property that currently possesses multimedia (business service) and office uses.
3. **Surrounding Properties and Neighborhood.** The project site is located in the WMUO (Western SoMa Mixed-Use Office) Zoning District along a largely industrial commercial corridor within the Western SoMa Community Plan. The immediate neighborhood consists of one-to-four-story tall, reinforced-concrete former warehouses (largely converted into office or commercial space) and the Caltrain rail line, which is located along the south side of Townsend Street and I-280. Other properties in the area are either commercial or light industrial in nature. To the east of the project site is a small one-story commercial building and a five-story residential apartment complex at the northeast corner of Townsend and 5th Streets, while to the west are a series of one-to-two story, reinforced concrete former warehouses that are used for either light industrial or commercial use. Other zoning districts in the vicinity of the project site include: SALI (Services/Arts/Light Industrial); RED-MX (Residential Enclave District-Mixed); MB-O (Mission Bay Office); and, MB-RA (Mission Bay South Redevelopment Plan).
4. **Project Description.** The proposal is to establish 76,000 gross square feet of office use within the existing building at 410 Townsend Street. Currently, the building possesses a total of 76,000 gross square feet (gsf), twenty-four (24) off-street parking spaces (includes one accessible parking space and one van accessible parking space), nineteen (19) Class 1 bicycle parking spaces and three (3) Class 2 bicycle parking spaces--accommodated via interior bicycle parking racks. There are no exterior alterations proposed with this application.

5. **Public Comment.** The Department received one letter in support of this project.
6. **Planning Code Compliance.** The Commission finds and determines that the Project is consistent with the relevant provisions of the Code in the following manner:

- A. **Office Use in WMUO Zoning Districts.** Planning Code Section 845.66 states that office use is permitted as of right within the WMUO Zoning District.

The Project would establish 76,000 gsf of office use within the existing building, and would be permitted as of right within the subject property.

- B. **Open Space.** Planning Code Section 135.3 requires non-residential usable open space for office space in Eastern Neighborhoods Mixed Use Districts at a ratio of one square foot per fifty square feet of new office space. Therefore, the Project is required to provide 1,520 square feet of useable open space for the 76,000 gsf of office use.

Per Planning Code Section 426, the Project shall satisfy the non-residential open space requirement through payment of an in-lieu fee.

- C. **Parking.** Planning Code Section 151.1 outlines the schedule of permitted off-street parking spaces in an Eastern Neighborhood Mixed Use Zoning District. In general, off-street parking shall not be required for any use and the quantities specified in the aforementioned Planning Code section shall serve as the maximum amount of off-street parking spaces. For office use in the WMUO Zoning District, off-street parking is permitted up to seven percent of the gross floor area of such uses. Therefore, the Project is allowed to provide 5,320 square feet dedicated to off-street parking use.

Currently, the existing building contains twenty-four (24) off-street vehicular parking spaces within 11,985 sq ft. Since the existing parking area existed lawfully at the effective date of the establishment of parking maximums and exceeds the amount that would be permitted, the additional parking area is considered to be legally non-complying per Planning Code Section 150(f), and would be subject to Planning Code Sections 180(a)(2) and 188.

- D. **Bicycle Parking Requirement.** Planning Section 155.2 of the Planning Code requires at least one Class 1 bicycle parking space for every 5,000 occupied square feet of office space and a minimum of two Class 2 bicycle parking spaces for any office uses greater than 5,000 gross square feet plus one Class 2 bicycle parking space for each additional 50,000 occupied square feet. Therefore, the Project is required to provide fifteen Class 1 bicycle parking spaces and three Class 2 bicycle parking spaces.

The Project will provide sixteen (16) Class 1 bicycle parking spaces and three (3) Class 2 bicycle parking spaces. Therefore, the Project meets this Planning Code requirement.

- E. **Transportation Management Program.** Planning Section 163 requires the Project Sponsor to execute an agreement with the Planning Department for the provision of on-

site transportation brokerage services and preparation of a transportation management program to be approved by the Director of Planning and implemented by the provider of transportation brokerage services for projects within the WMUO Zoning District, where the gross square feet of new, converted or added floor area for office use equals at least 25,000 square feet.

The Project includes 76,000 gsf of office use, thus the Project Sponsor must execute an agreement to provide on-site transportation brokerage services. The agreement will be reviewed by the Planning Department prior to the issuance of a temporary certificate of occupancy, in accordance with Planning Code Section 163.

- F. **Development Fees.** The Project is subject to the following development fees: Transit Impact Development Feet per Planning Code Section 411, the Jobs-Housing Linkage Fee per Planning Code Section 413, the Child Care Requirement Fee per Planning Code Section 414, and the Eastern Neighborhoods Community Impact Fee per Planning Code Section 423.

The Project Sponsor shall pay the appropriate Transit Impact Development Fee, Jobs-Housing Linkage Fee, Child Care In-Lieu Fee, and Eastern Neighborhoods Community Impact Fees, pursuant to the aforementioned Planning Code Sections, at the appropriate stage of the building permit application process.

7. **Office Allocation.** Planning Code Section 321 establishes standards for San Francisco's Office Development Annual Limit. In determining if the proposed Project would promote the public welfare, convenience and necessity, the Commission considered the seven criteria established by Code Section 321(b)(3), and finds as follows:

I. APPORTIONMENT OF OFFICE SPACE OVER THE COURSE OF THE APPROVAL PERIOD IN ORDER TO MAINTAIN A BALANCE BETWEEN ECONOMIC GROWTH ON THE ONE HAND, AND HOUSING, TRANSPORTATION AND PUBLIC SERVICES, ON THE OTHER.

Since 1998, the existing building has been used for multimedia (business service) use. There is currently more than 2.2 million gross square feet of available "Large Cap" office space in the City. Additionally, the Project is subject to various development fees that will benefit the surrounding community and the city. The Project is located in proximity to many public transportation options, including a number of Muni and transit lines. Therefore, the Project will help maintain the balance between economic growth, housing, transportation and public services.

II. THE CONTRIBUTION OF THE OFFICE DEVELOPMENT TO, AND ITS EFFECTS ON, THE OBJECTIVES AND POLICIES OF THE GENERAL PLAN.

The Project is consistent with the General Plan, as outlined in Section 8 below.

III. THE QUALITY OF THE DESIGN OF THE PROPOSED OFFICE DEVELOPMENT.

The Project is located within an existing building. The proposed office use authorization includes limited interior alterations and no exterior alterations to the existing building, thus maintaining the historic character of the building's exterior, while providing for new interior space for the office use.

IV. THE SUITABILITY OF THE PROPOSED OFFICE DEVELOPMENT FOR ITS LOCATION, AND ANY EFFECTS OF THE PROPOSED OFFICE DEVELOPMENT SPECIFIC TO THAT LOCATION.

- a) Use. *The Project is located within the WMUO (Western SoMa Mixed Use Office) Zoning District, which permits office use as of right as outlined in Planning Code Section 845.66. There are several office and mixed use developments on the adjacent blocks and within the immediate vicinity.*
- b) Transit Accessibility. *The area is served by a variety of transit options. The project site is within a quarter-mile of various Muni routes, including the 10-Townsend, 30-Stockton, 45-Union/Stockton, and 76X-Marin Headlands Express, as well as the N-Judah and KT-Ingleside/Third Street Rail Lines. Further, the project site is located within one block of the Caltrain Station on King and 4th Streets, and the proposed Central Subway.*
- c) Open Space Accessibility. *The Project will pay the in-lieu fee for the required on-site useable open space, and is located within three blocks of open space at South Park.*
- d) Urban Design. *The Project does not include any exterior alterations. The adjacent neighborhood is characterized by light industrial buildings, some of which have been converted into other uses, such as office. The Project would maintain the current character of the surrounding neighborhood.*
- e) Seismic Safety. *The Project would be designed in conformance with current seismic and life safety codes as mandated by the Department of Building Inspection.*

V. THE ANTICIPATED USES OF THE PROPOSED OFFICE DEVELOPMENT IN LIGHT OF EMPLOYMENT OPPORTUNITIES TO BE PROVIDED, NEEDS OF EXISTING BUSINESSES, AND THE AVAILABLE SUPPLY OF SPACE SUITABLE FOR SUCH ANTICIPATED USES.

- a) Anticipated Employment Opportunities. *The Project would result in a total of 76,000 gsf of office space. As noted by the Project Sponsor, this office space will maintain the existing opportunities for employment by providing for legal office space.*
- b) Needs of Existing Businesses. *The Project will supply office space in the eastern portion of the Western SoMa Community Plan in an area which allows office use as of right. As noted by the Project Sponsor, there is substantial demand for multimedia and software office space within the surrounding area. The Project will allow existing business to stay in the existing building.*
- c) Availability of Space Suitable for Anticipated Uses. *The Project will provide quality office space that is suitable for a variety of office uses and sizes. This former industrial building has an open floor plan, which is highly desirable by office tenants.*

VI. THE EXTENT TO WHICH THE PROPOSED DEVELOPMENT WILL BE OWNED OR OCCUPIED BY A SINGLE ENTITY.

Since 1998, the existing building has been occupied by multiple multimedia office. The Project will maintain multiple tenants within the subject property.

VII. THE USE, IF ANY, OF TRANSFERABLE DEVELOPMENT RIGHTS ("TDR's") BY THE PROJECT SPONSOR.

The Project does not include any Transfer of Development Rights.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development which has substantial undesirable consequences that cannot be mitigated.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 1.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

The Project will establish new office use within an area, which allows new office use as of right. Office use is consistent with the surrounding neighborhood, which currently features a mix of uses ranging from office to light industrial.

WESTERN SOMA COMMUNITY PLAN

Land Use Objectives and Policies

OBJECTIVE 1.2:

ENCOURAGE PRESERVATION OF EXISTING AND VIABLY APPROPRIATE NEW LAND USES IN LOCATIONS THAT PROVIDE THE GREATEST OPPORTUNITIES FOR SUCCESS AND MINIMIZE CONFLICT WITH RESIDENTIAL USES.

Policy 1.2.3:

Establish a mid-rise business corridor on Townsend Street designated for office uses and an explicit preference for 21st Century high tech and digital-media uses.

Policy 1.2.6:

Include development impact fees from the Western SoMa SUD in the Eastern Neighborhoods Community Benefit Fund.

The Project will establish office use along the Townsend Street corridor, which has been identified as an office corridor by the Western SoMa Area Plan. The Project will also pay the appropriate development impact fees.

9. **Section 101.1 Priority Policy Findings.** Section 101.1(b)(1-8) establishes Eight Priority Planning Policies and requires review of permits for consistency with said policies.

The Commission finds and determines that the Project is consistent with the eight priority policies, for the reasons set forth below.

- a) That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The Project would not have an impact upon any existing neighborhood-serving retail uses, since there are no retail uses on the subject property. The conversion from multimedia use to office use within the existing building will create additional demand for neighborhood-serving retail use in the building and surrounding neighborhood.

- b) That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project conserves and protects the overall neighborhood character, since the Project does not include any exterior additions to the existing building and will not remove or add any housing. The Project is located in the Western SoMa Community Plan in the South of Market neighborhood, and is located within a zoning district that principally permits office use. Other nearby properties function as either commercial or light industrial spaces; therefore, the proposal is consistent with these uses. An overconcentration is unlikely, and the area will continue to provide a vibrant mix of uses.

- c) The City's supply of affordable housing be preserved and enhanced.

There is no existing affordable or market-rate housing on the Project Site. The development will contribute fees to the Jobs-Housing Linkage Program. Therefore, the Project is consistent with this priority policy.

- d) That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking.

The proposal will not alter the existing commuter traffic patterns. The existing building is well-served by public transportation options. The project site will enable employees and visitors to the building to walk or use public transit.

- e) That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will continue to provide quality office space that is suitable for a variety of office uses and sizes. This office space will help maintain the local resident employment and demand for neighborhood-serving businesses in the area. The proposed project will assist in maintaining a diverse economic base by enhancing a commercial use.

- f) That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will conform to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- g) That landmarks and historic buildings be preserved.

410 Townsend Street is not a designated landmark. Per the South of Market Historic Resource Survey, it has been identified as a contributing resource to the Bluxome and Townsend Warehouse Historic District. The Project does not include exterior alterations; therefore, the Project would preserve the historic property.

- h) That our parks and open space and their access to sunlight and vistas be protected from development.

The Project does not include any exterior additions to the existing building, and there will be no impact to parks, open space, access to sunlight, or vista views.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission finds that granting the Office Development Authorization in this case would promote the public welfare, convenience and necessity of the City for the reasons set forth above.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Office Development Application No. 2013.0544B** subject to the conditions attached hereto as Exhibit A, which is incorporated herein by reference as though fully set forth, in general conformance with the plans stamped Exhibit B and dated September 8, 2013, on file in Case Docket No. 2013.0544B.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Section 321 Office-Space Allocation to the Board of Appeals within fifteen (15) days after the date of this Motion. The effective date of this Motion shall be the date of adoption of this Motion if not appealed (after the 15-day period has expired) OR the date of the decision of the Board of Appeals if appealed to the Board of Appeals. For further information, please contact the Board of Appeals at (415) 575-6880, 1660 Mission, Room 3036, San Francisco, CA 94103.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on January 16, 2014.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: January 16, 2014

EXHIBIT A

AUTHORIZATION

This authorization is for an office allocation to establish 76,000 gross square feet at 410 Townsend Street located at Block 3785, Lot 002A, pursuant to Planning Code Sections 321 and 845.66 within the WMUO Zoning District and a 65-X/85-X Height and Bulk District; in general conformance with plans, dated September 8, 2013, and stamped "EXHIBIT B" included in the docket for Case No. 2013.0544B and subject to conditions of approval reviewed and approved by the Commission on January 16, 2014 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **January 16, 2014** under Motion No XXXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Office Development Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Office Development authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Diligent Pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Extension. All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Conformity with Current Law. No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Development Timeline - Office. Pursuant to Planning Code Section 321(d)(2), construction of an office development shall commence within 18 months of the date of this Motion approving this Project becomes

effective. Failure to begin work within that period or to carry out the development diligently thereafter to completion, shall be grounds to revoke approval of the office development under this Office Allocation authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PARKING AND TRAFFIC

Off-Street Parking. Pursuant to Planning Code Section 150(f) and 151.1, the existing off-street vehicular parking is considered non-complying, and is subject to Planning Code Sections 180(a)(2) and 188.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Bicycle Parking. Pursuant to Planning Code Section 155.2, the Project shall provide no fewer than **16** Class 1 bicycle parking spaces and **3** Class 2 bicycle parking spaces for the 76,000 gsf of office use.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

Transit Impact Development Fee. Pursuant to Planning Code Sections 411 (formerly Chapter 38 of the Administrative Code), the Project Sponsor shall pay the Transit Impact Development Fee (TIDF) as required by and based on drawings submitted with the Building Permit Application. Prior to the issuance of a temporary certificate of occupancy, the Project Sponsor shall provide the Planning Department with certification of fee payment.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Jobs Housing Linkage. Pursuant to Planning Code Sections 413 (formerly 313), the Project Sponsor shall contribute to the Jobs-Housing Linkage Program (JHLP). The calculation shall be based on the net addition of gross square feet of each type of space to be constructed as set forth in the permit plans. The Project Sponsor shall provide evidence that this requirement has been satisfied to the Planning Department prior to the issuance of the first site or building permit by the Department of Building Inspection.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Child Care Requirement. Pursuant to Planning Code Section 414, the Project Sponsor shall comply with the provisions of the Child-Care Requirements for Office and Hotel Development Project through payment of an in-lieu fee pursuant to Article 4 of the Planning Code.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378,

www.sf-planning.org

Eastern Neighborhoods Infrastructure Impact Fee. Pursuant to Planning Code Section 423 (formerly 327), the Project Sponsor shall comply with the Eastern Neighborhoods Public Benefit Fund provisions through payment of an Impact Fee pursuant to Article 4 of the Planning Code.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Revocation due to Violation of Conditions. Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

Sidewalk Maintenance. The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

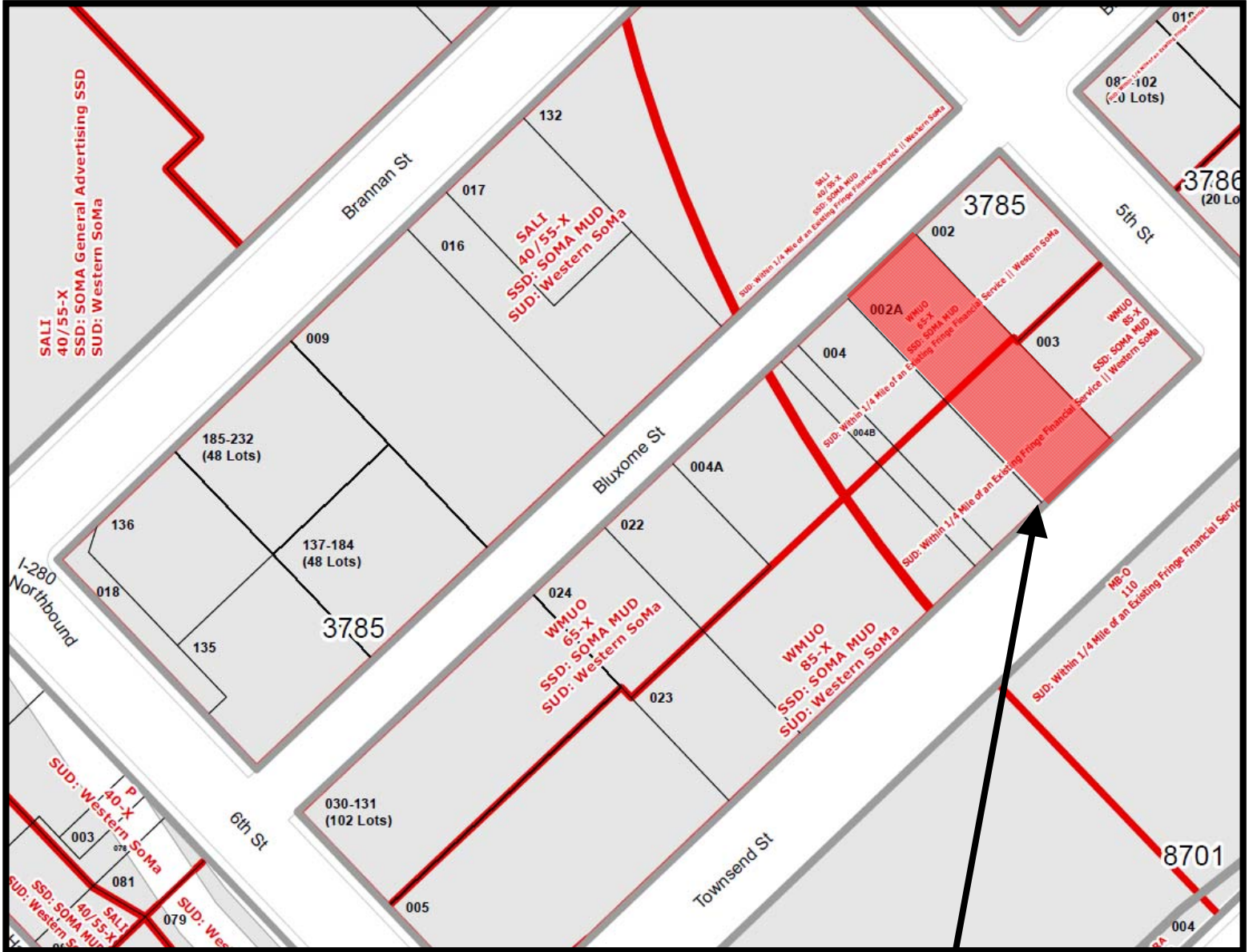
Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

Motion No. XXXXX
Hearing Date: January 16, 2014

CASE NO 2013.0544B
410 Townsend Street

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863,
www.sf-planning.org*

Parcel Map



SUBJECT PROPERTY



Office Development Authorization Hearing
Case Number 2013.0544B
410 Townsend Street

Sanborn Map*

SUBJECT PROPERTY

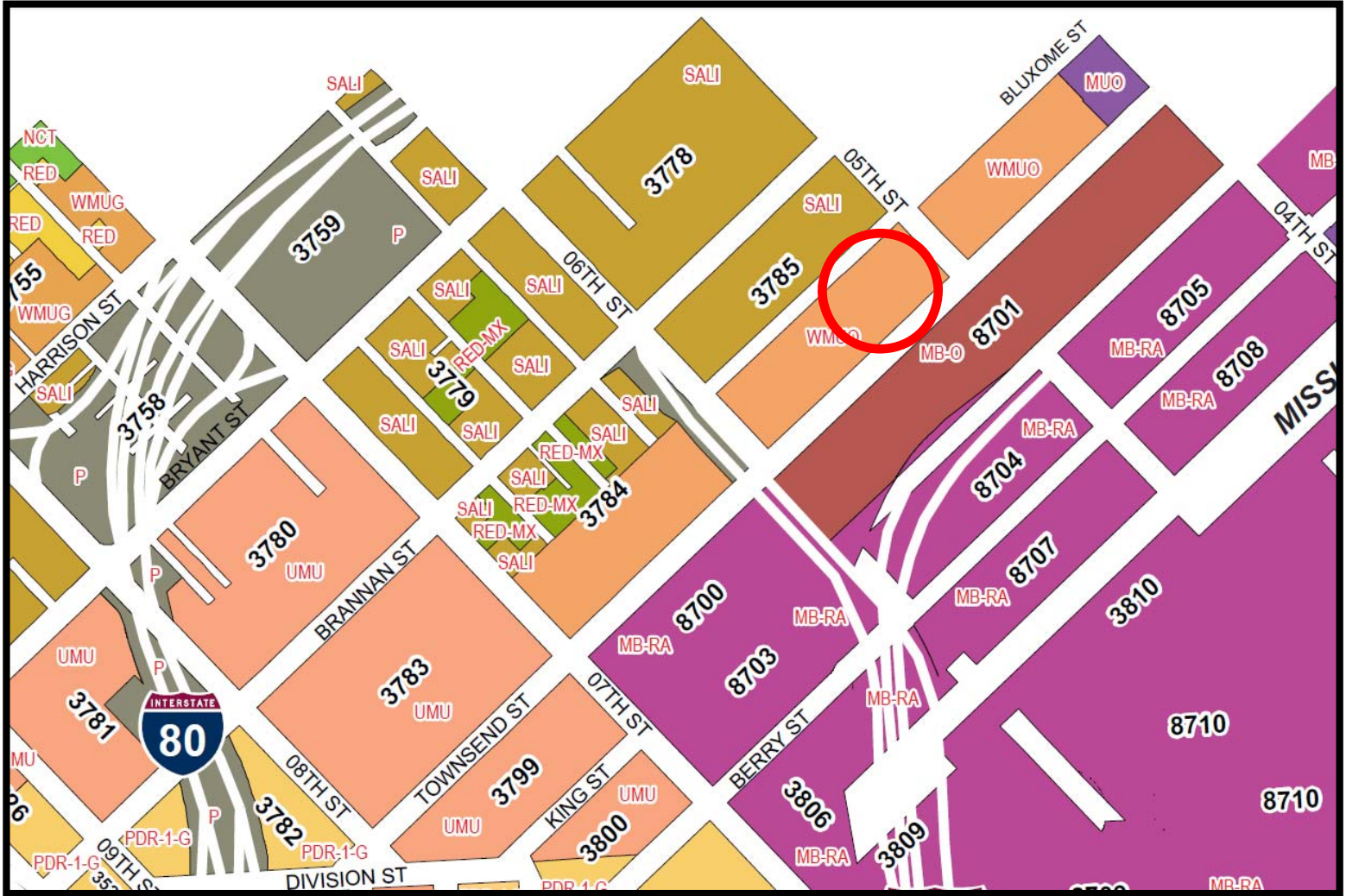


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Office Development Authorization Hearing
Case Number 2013.0544B
410 Townsend Street

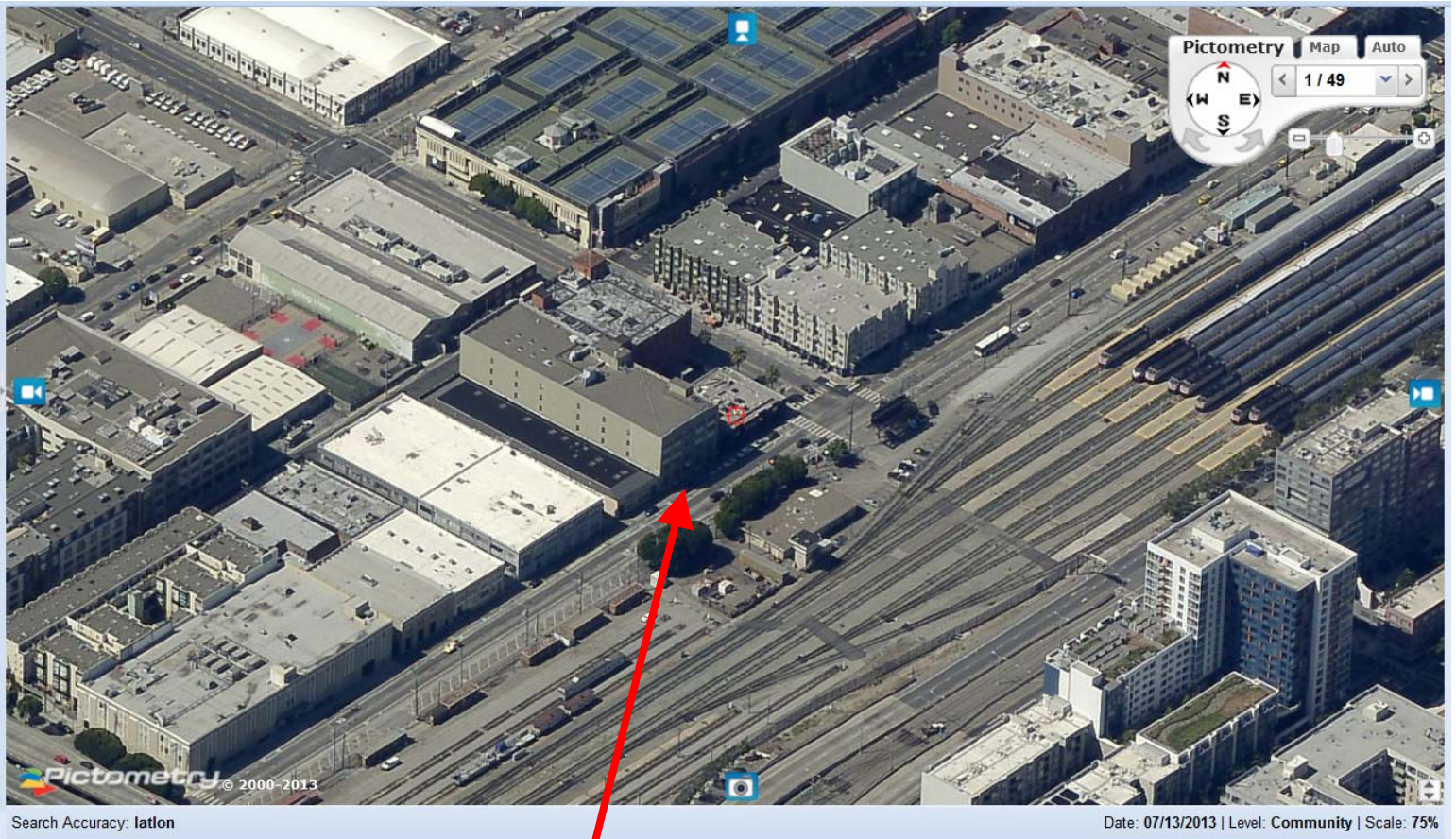


Zoning Map



Office Development Authorization Hearing
Case Number 2013.0544B
410 Townsend Street

Aerial Photo



410 Townsend Street

Office Development Authorization Hearing
Case Number 2013.0544B
410 Townsend Street



Site Photo



410 Townsend Street, View along Townsend Street

Office Development Authorization Hearing
Case Number 2013.0544B
410 Townsend Street

Site Photo



410 Townsend Street, View along Bluxome Street

Office Development Authorization Hearing
Case Number 2013.0544B
410 Townsend Street

**PROJECT SPONSOR'S SUBMITTAL IN SUPPORT OF
OFFICE ALLOCATION APPLICATION**

(PLANNING CODE SECTION 321)

**410 Townsend Street
Block 3785, Lot 002A**

**Project Sponsor: SF Office 1, LLC
Application Filed: May 2, 2013**

Planning Department Case 2013.0544B

Hearing Date: December 19, 2013

Attorneys for Project Sponsor:

REUBEN, JUNIUS & ROSE, LLP

One Bush Street, Suite 600, San Francisco, CA 94104
t] 415 567 9000 f] 415 399 9480

TABLE OF CONTENTS

A. INTRODUCTION 1

B. SITE INFORMATION 1

C. EXISTING SITE CONDITIONS 1

D. COMPLIANCE WITH SECTION 321 CRITERIA 1

E. PRIORITY GENERAL PLAN POLICIES FINDINGS 5

F. CONCLUSION 7

LIST OF EXHIBITS 8

A. INTRODUCTION

SF Office 1, LLC (“Applicant”) seeks an office allocation under Planning Code Section 321 for approximately 76,000 gross square feet at 410 Townsend Street (“Existing Building” or “Property”). Pursuant to the West SoMa Rezoning Ordinance, the Property has been rezoned to WMUO (Western SoMa Mixed Use/Office), which principally permits office use. The multimedia use at the Property was redefined as “office use” in the Planning Code in connection with the Eastern Neighborhoods rezoning. (Planning Code Section 890.70).

Accordingly, the change of use to office is principally permitted by the Planning Code.

B. SITE INFORMATION

Street Address: 410 Townsend Street
Cross Streets: Fourth & Sixth Streets
Assessor’s Block/Lot: 3785/002A
Zoning District: WMUO
Height/Bulk District: 65-X
Floors: Four
Building Area: 76,000 sq. ft.

C. EXISTING SITE CONDITIONS

Applicant owns the Existing Building, which lies in the block bounded by Townsend, Bluxome, Fifth, and Sixth Streets. The Existing Building is situated within the newly adopted West SoMa Mixed Used Office Zoning District.

D. COMPLIANCE WITH SECTION 321 CRITERIA

Under Section 321 of the Planning Code, the Planning Commission may approve office allocations that the Commission determines promote the public welfare, convenience and necessity. (Planning Code Section 321(b)(1).) To determine whether a particular office allocation promotes the public welfare, convenience and necessity, the Planning

Commission must consider seven criteria. (Id. § 321(b)(3).) The requested allocation satisfies each criterion, as follows.

(A) APPORTIONMENT OF OFFICE SPACE OVER THE COURSE OF THE APPROVAL PERIOD IN ORDER TO MAINTAIN A BALANCE BETWEEN ECONOMIC GROWTH, ON THE ONE HAND AND HOUSING, TRANSPORTATION AND PUBLIC SERVICES, ON THE OTHER.

Applicant proposes to allocate 76,000 gross square feet of office space to the City’s office stock, meeting a need for such use in West SoMa. By retaining multimedia workers in the neighborhood, the Existing Building will also continue to ensure the viability of nearby retailers, restaurants and business services.

The economic benefits from the Existing Building to the City are supplemented by the office allocation’s compatibility with other public goals. Applicant would mitigate any effect on the City’s supply of affordable housing by paying \$510,720.00 (\$6.72/sq. ft.) in mitigation fees to the City, pursuant to Planning Code Section 179.1(g)(1)(B), for the Jobs-Housing Linkage Program. The allocation is also designed to minimize any impact on the City’s transportation systems. The Existing Building has excellent access to public transit. Applicant would also pay \$451,440.00 (\$5.94/gross sq. ft) to the City for the City’s Transit Impact Development Fund, to mitigate costs incurred by Muni in meeting peak-period public transit demand pursuant to Planning Code Section 179.1(g)(1)(A). Applicant would also pay three additional mitigation fees: \$252,320.00 (\$3.32/sq. ft.) for Eastern Neighborhoods infrastructure; \$84,360.00 (\$1.11/sq. ft.) for child care; and \$20,520.00 (\$0.24/sq. ft.) for a school district fee and \$127,771.20 for the open space in-lieu fee. Total mitigation fees Applicant will pay to the City are approximately \$1,447,131.20.

(B) THE CONTRIBUTION OF THE EXISTING SPACE TO, AND ITS EFFECTS ON THE OBJECTIVES AND POLICIES OF THE GENERAL PLAN.

The allocation is compatible with the City’s “Transit First” policy. Six different Municipal Railway (“Muni”) transit lines stop within a short walking distance of the Property. Caltrain’s San Francisco terminus is located across the street from the Property, at Townsend Street between Fourth and Fifth Streets. These factors minimize the need of workers to depend on automobile parking facilities.

The location of the Existing Building is the West SoMa subarea of the Eastern Neighborhoods Plan area. The district contains an extraordinary concentration of buildings from almost every period of the City’s maritime history, including both the one-story design popular during the latter part of the 19th Century, and the multi-story buildings that became more common in the early part of the 20th Century. The requested office allocation

contributes to the district by preserving the Existing Building, which was constructed in 1912, and has historic merit. The Existing Building contributes to the district by harmonizing with the other historic buildings found there.

1. Policies of the Commerce and Industry Element.

OBJCTV. 1, Policy 1 Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development which has substantial undesirable consequences that cannot be mitigated.

OBJCTV. 1, Policy 3 Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The Existing Building currently provides office space in an area of the City that is a focus of the multimedia industry. The Property is very well served by public transit lines. Therefore, the allocation is unlikely to impact the City’s public transit system.

OBJCTV. 2, Policy 1 Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

The existing offices will be maintained, in furtherance of this Policy. The complexity and creativity of multimedia technology uses will likely preserve the need of multimedia-related businesses to cluster in the City, where they can interact with one another and find a pool of highly qualified employees and collaborators. Thus, the allocation would help the City to retain existing and future multimedia and software firms and the jobs they provide.

OBJCTV. 4, Policy 11 Maintain an adequate supply of space appropriate to the needs of incubator industries.

The allocation would help the City to maintain an adequate supply of space for its multimedia and software industry, which is a significant source of new jobs in the City.

2. Policies of the Urban Design Element.

OBJCTV. 1, Policy 3 Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJCTV. 2, Policy 6 Respect the character of older development nearby in the design of new buildings.

OBJCTV. 3, Policy 1 Promote harmony in the visual relationships and transitions between new and older buildings.

The Existing Building would respect and preserve the existing character of the district. The Existing Building, constructed in 1912, will be preserved in entirety, thereby ensuring the preservation of a building of historic and architectural merit.

3. Policies of the Transportation Element

Policy 1.6 Ensure choices among modes of travel and accommodate each mode when and where it is most appropriate.

The allocation will advance the City’s “Transit First” policy. Seven different Municipal Railway (“Muni”) transit lines stop within short walking distance of the Existing Building. Caltrain’s San Francisco terminus is located across Townsend Street.

(C) THE QUALITY OF THE DESIGN OF THE EXISTING BUILDING

The Existing Building has historically significant design elements that are characteristic of many other historic buildings in the neighborhood. The Existing Building will be preserved in order to maintain the neighborhood character and architecture.

(D) THE SUITABILITY OF THE OFFICE USE FOR ITS LOCATION, AND ANY EFFECTS OF THE OFFICE USE SPECIFIC TO THAT LOCATION.

There is a high demand for multimedia and software office space in San Francisco. As other services and sectors slow down in the current economic climate, the multimedia and software markets remain strong.

The Existing Building is ideally located to serve the current office use. The allocation would help the City to retain multimedia companies as major employers, thereby continuing to provide jobs for local residents.

1. Location

The district contains an extraordinary concentration of buildings from almost every period of the City’s maritime history, including both the one-story design popular during the latter part of the 19th Century, and the multi-story buildings that became more common in the early part of the 20th Century. The Existing Building would contribute to the district by preserving the existing historic building.

(E) THE ANTICIPATED USES OF THE OFFICE ALLOCATION, IN LIGHT OF EMPLOYMENT OPPORTUNITIES TO BE PROVIDED, NEEDS OF EXISTING BUSINESSES, AND THE AVAILABLE SUPPLY OF SPACE SUITABLE FOR SUCH ANTICIPATED USES.

The office space at the Existing Building would help the City to retain the jobs, in furtherance of this Policy. There is substantial demand for multimedia and software office space in the area. Retailers and business services surrounding the Existing Building will continue to benefit from the continued activity generated by workers using the office space at the Existing Building.

(F) THE EXTENT TO WHICH THE OFFICE SPACE WILL BE OWNED AND OCCUPIED BY A SINGLE ENTITY.

Multimedia offices have occupied the entire building since 1998, or approximately 15 years. The prior zoning permitted multimedia use of the Existing Building from the beginning of their occupancy in 1998.

(G) THE USE, IF ANY, OF TDR BY THE PROJECT SPONSOR.

The Existing Building would not use any TDRs.

E. PRIORITY GENERAL PLAN POLICIES FINDINGS

Planning Code Section 101.1 establishes the following eight priority planning policies and requires review of permits for consistency with said policies. The Project and this Section 321 application are consistent with each of these policies as follows:

1. THAT EXISTING NEIGHBORHOOD-SERVING RETAIL USES BE PRESERVED AND ENHANCED AND FUTURE OPPORTUNITIES FOR RESIDENT EMPLOYMENT IN AND OWNERSHIP OF SUCH BUSINESSES ENHANCED.

The Existing Building will not harm neighborhood-serving retail use within the meaning of this policy. The Planning Code limits the term “neighborhood serving business” to Neighborhood Commercial Zoning Districts. (See Planning Code Section 790). The Existing Building provides office jobs for local residents.

2. THAT EXISTING AND NEIGHBORHOOD CHARACTER BE CONSERVED AND PROTECTED IN ORDER TO PRESERVE THE CULTURAL AND ECONOMIC DIVERSITY OF OUR NEIGHBORHOODS.

The allocation will preserve the neighborhood character. The Existing Building and use will be preserved.

3. THAT THE CITY'S SUPPLY OF AFFORDABLE HOUSING BE PRESERVED AND ENHANCED.

Applicant will pay \$1,447,131.20 to the City in connection with the office allocation, of which \$510,720.00 is for affordable housing.

4. THAT COMMUTER TRAFFIC NOT IMPEDE MUNI TRANSIT SERVICE OR OVERBURDEN OUR STREETS OR NEIGHBORHOOD PARKING.

The level of commuter traffic generated by the Existing Building does not impede Muni transit service or overburden our streets or neighborhood parking. The Existing Building is well served by public transit and freeways. Within several blocks run seven different Muni transit lines. Caltrain's San Francisco terminus is located across Townsend Street.

5. THAT A DIVERSE ECONOMIC BASE BE MAINTAINED BY PROTECTING OUR INDUSTRIAL AND SERVICE SECTORS FROM DISPLACEMENT DUE TO COMMERCIAL OFFICE DEVELOPMENT, AND THAT FUTURE OPPORTUNITIES FOR RESIDENT EMPLOYMENT AND OWNERSHIP IN THESE SECTORS BE ENHANCED.

The allocation will not harm industrial and service sectors by displacing them. The current office use, which has occupied the Building for approximately 15 years, provides employment opportunities for local residents.

6. THAT THE CITY ACHIEVE THE GREATEST POSSIBLE PREPAREDNESS TO PROTECT AGAINST INJURY AND LOSS OF LIFE IN AN EARTHQUAKE.

The Existing Building will help the City to achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

7. THAT LANDMARKS AND HISTORIC BUILDINGS BE PRESERVED.

The Existing historic Building will be preserved in entirety.

8. THAT OUR PARKS AND OPEN SPACE AND THEIR ACCESS TO SUNLIGHT AND VISTAS BE PROTECTED FROM DEVELOPMENT.

The allocation will have no effect on our parks or open spaces and their access to sunlight or vistas. The Existing Building does not impact any vistas from any public park or open space.

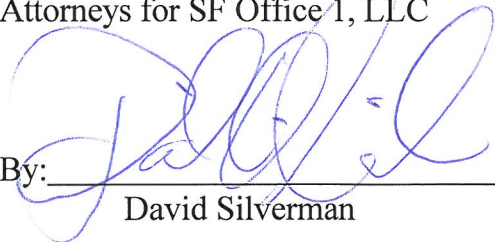
F. CONCLUSION

We respectfully request that the Planning Commission approve the requested office allocation for the following reasons:

1. The allocation promotes the public welfare, convenience and necessity;
2. The allocation satisfies each of the seven criteria to determine public welfare, convenience and necessity provided under Planning Code Section 321;
3. The allocation is consistent with each of the eight General Plan Priority Policies under Planning Code Section 101.1;
4. The allocation provides jobs and contributes significantly to San Francisco's economy; and
5. Approval of the allocation will result in a payment to the City of \$1,447,131.20, including \$510,720.00 for affordable housing.

Thank you for your consideration.

REUBEN, JUNIUS & ROSE, LLP
Attorneys for SF Office 1, LLC

By: 
David Silverman

Dated: December 2, 2013

LIST OF EXHIBITS

- Exhibit A - Floor Plans
- Exhibit B - Photographs of the Existing Building

EXHIBIT A

410 TOWNSEND



BOTO DESIGN ARCHITECTS, INC.
1508 17TH STREET, 1ST FLOOR
SANTA MONICA, CA 90404
TEL 310 453 6400
FAX 310 453 6440

GENERAL DEMO NOTES

- DO NOT SCALE DRAWINGS.
- GC TO ISSUE RFI (REQUEST FOR INFORMATION) FOR ITEMS THAT ARE UNCLEAR, OR CONTRADICTORY. ANY ASSUMPTIONS SHOULD BE IN WRITING & NO DEVIATIONS FROM THE DRAWINGS OR SPECS SHALL BE ACCEPTED UNLESS APPROVED.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- GC TO REMOVE ALL WALLS, WINDOWS, DOORS, MILLWORK, ELECTRICAL, LIGHTING, MECHANICAL FIXTURES, ETC AS REQUIRED TO PERFORM SCOPE OF WORK. CAP ALL EXISTING OUTLETS, VENTS & PIPES BEING ABANDONED.
- GC TO PROTECT, PATCH & REPAIR ALL AREAS ADJACENT TO DEMOLITION AS REQUIRED.
- GC TO MAINTAIN FULLY CHARGED FIRE EXTINGUISHER READILY AVAILABLE DURING DEMOLITION OPERATIONS.
- SPRINKLER SYSTEM TO BE LEFT INTACT AS-IS DURING DEMOLITION. GC RESPONSIBLE FOR SUPPORTING ALL LIFE SAFETY DEVICES IN A MANNER THAT DOES NOT IMPEDE ITS FUNCTION IN ANY WAY IF A STRUCTURE HOLDING THE DEVICE IS REMOVED.
- SAVE ALL BLDG STANDARD DOORS & RETURN TO BLDG STORAGE PER OWNER.

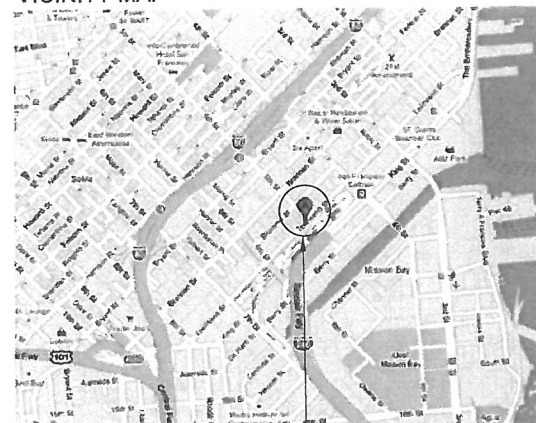
DEMO KEYNOTES

- (E) NON-BEARING PARTITION TO BE REMOVED. RELOCATE STORAGE ITEMS TO (N) STORAGE AREA PER 1/A1.1
- REMOVE (E) STRIPING AS SHOWN DASHED
- REMOVE (E) PAINTED ADA SYMBOL AT THIS STALL ONLY
- REMOVE (E) DOOR & PREP TO BE RE-HINGED
- DEMO PORTION OF NON-BEARING PARTITION
- REMOVE & SET ASIDE (E) DRINKING FOUNTAIN & GRAB BAR
- REMOVE & SET ASIDE (E) PAPER TOWEL DISPENSER
- REMOVE (E) SHELF
- (E) FEMININE NAPKIN DISPENSER
- REMOVE (E) 36" STALL DOOR & PORTION OF (E) PARTITION
- REMOVE & SET ASIDE (E) TOILET PAPER & SEAT COVER DISPENSER

LEGEND

- EXISTING WALL, DOOR OR OTHER STRUCTURE TO REMAIN
- EXISTING WALL, DOOR OR OTHER STRUCTURE TO BE DEMOLISHED AS NOTED
- EXISTING DOOR TO REMAIN

VICINITY MAP



PROJECT LOCATION

SHEET INDEX

ARCHITECTURAL DRAWINGS	
T1.1	COVER SHEET / PROJECT DATA / DEMO PLANS / SHEET INDEX
T2.1	GENERAL NOTES
T2.2	GENERAL NOTES
T2.3	DISABILITY ACCESS NOTES
T2.4	DISABILITY ACCESS SITE DETAILS
A0.1	DEMO PLAN - FLOORS 1-4 RESTROOMS
A2.0	BASEMENT LEVEL FLOOR PLAN & ELEVATOR DETAILS
A2.1	1ST FLOOR PLAN & ELEVATOR LOBBY DETAILS
A2.2	2ND & 3RD FLOOR PATH OF TRAVEL DIAGRAM & KEY PLANS
A2.3	4TH FLOOR PATH OF TRAVEL DIAGRAM & KEY PLAN
A5.1	ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - RESTROOMS
A5.2	ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - MAIN ENTRY & RELATED DETAILS
A5.3	ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - 1ST FLOOR RAMP & 2ND FLOOR SHOWER
A5.4	ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - ELEVATOR LOBBIES AT FLOORS 2-4

PROJECT DIRECTORY

BUILDING OWNER: 410 TOWNSEND, LLC
c/o PMI PROPERTY MANAGEMENT
1000 ROSCOMARE RD
LOS ANGELES, CA 90077
T: (415) 882-7184
CONTACT: CHRIS ECONOMOU

ARCHITECT: BOTO DESIGN ARCHITECTS, INC
1508 17TH STREET, 1ST FLOOR
SANTA MONICA, CA 90404
T: (310) 453-6400 X117
F: (310) 453-6640
CONTACT: ALLISON PAGE

PROJECT SCOPE DESCRIPTION

- DEMOLITION & CONSTRUCTION OF NON-BEARING PARTITIONS AT ALL FLOORS, INCLUDING BASEMENT
- RESTRIP PARKING AREA & INSTALL NEW BOLLARDS & WHEEL STOPS
- REHINGE DOOR AT BASEMENT STAIR
- RELOCATE EXISTING DRINKING FOUNTAINS AT FLOORS 1-4 TO COMPLY WITH ADA/CBC
- REMOVE (E) DOORS AT ADA STALLS AT ALL COMMON RESTROOMS & REINSTALL TO PROVIDE PROPER STRIKESIDE CLEARANCES
- INSTALL GRAB BARS & FOLDDOWN SEAT AT EXISTING ADA SHOWER AT 2ND FLOOR
- CONSTRUCT NEW STORAGE ROOM AT BASEMENT LEVEL

RENOVATION OF EXISTING COMMON AREAS & FACILITIES - INCLUDING EXISTING DRINKING FOUNTAINS & EXISTING PARKING AREA - TO COMPLY WITH CURRENT ACCESSIBILITY & BARRIER-FREE PATH OF TRAVEL REQUIREMENTS.

OTHER COMMON AREAS & FACILITIES OF BUILDING ARE INCLUDED IN THIS SET (I.E. EXISTING SANITARY FACILITIES, EXISTING ELEVATOR LOBBIES, & EXISTING CORRIDORS), BUT DO NOT REQUIRE ANY RENOVATION PER COMPLIANCE CHECKLIST.

PROJECT DATA

SITE ADDRESS: 410 TOWNSEND STREET
SAN FRANCISCO, CA 94107

BLOCK / LOT: 3785 / 002A

ZONING: SL1 - SOMA SERVICE - LIGHT INDUSTRIAL

LOT AREA: 20,000 SQ. FT. (0.46 ACRE)

BUILDING INFORMATION

OCCUPANCY: B, OFFICE (NO CHANGE)

CONSTRUCTION TYPE: III-A (NO CHANGE)

BUILDING AREA: 76,000 SQ. FT. (NO CHANGE)

FIRE SPRINKLER SYSTEM: ENTIRE BUILDING IS PROVIDED WITH FULLY AUTOMATIC & MONITORED SPRINKLER SYSTEM IN ACCORDANCE WITH THE NFPA 13, MODIFIED AS NEEDED BY INTERIOR IMPROVEMENTS

FIRE ALARMS: STROBES & SPEAKERS THROUGHOUT IN ACCORDANCE WITH NFPA 72.

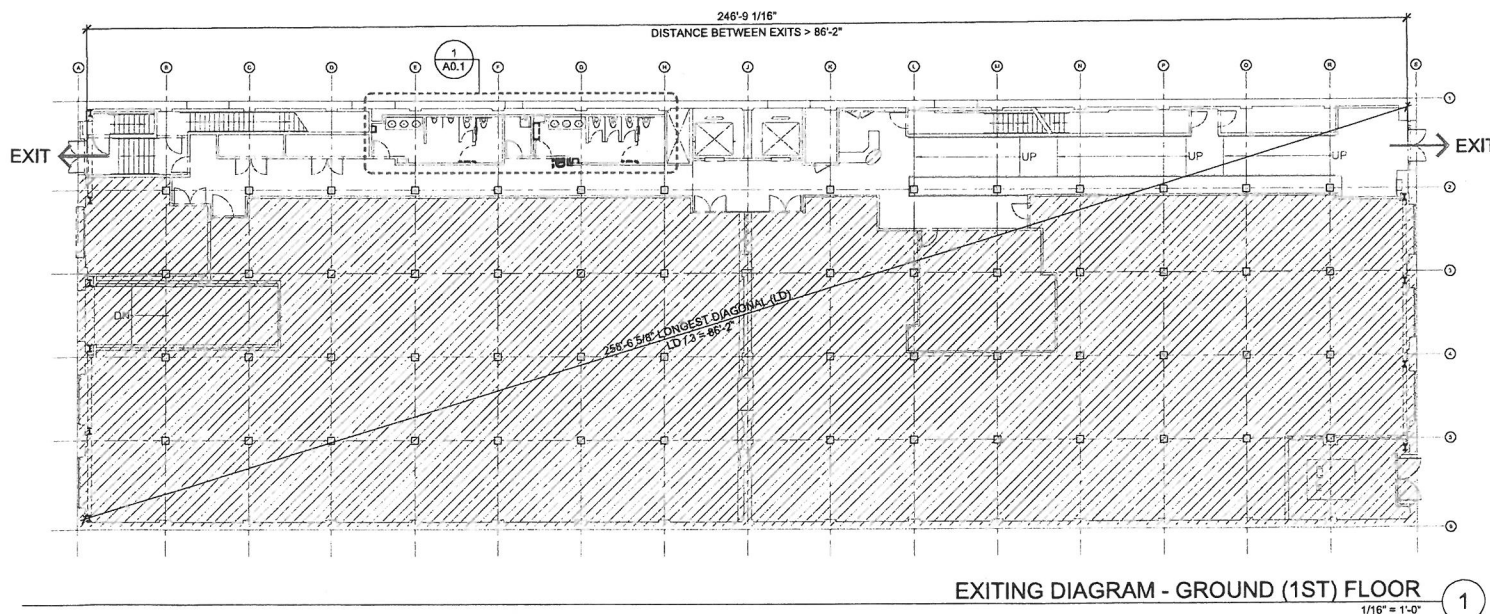
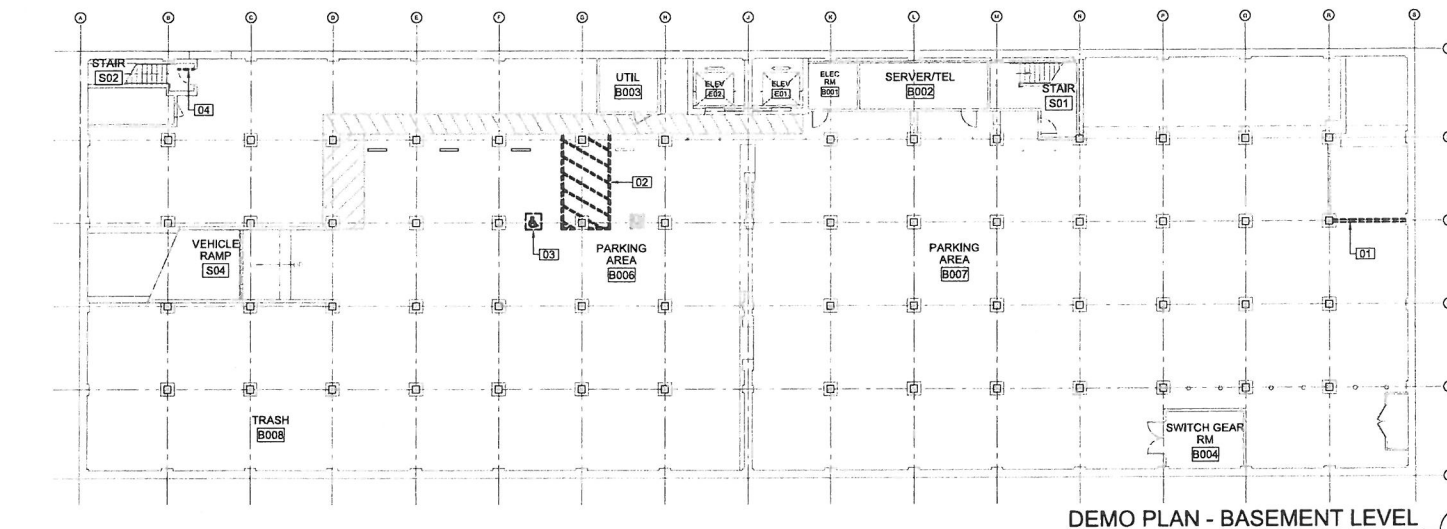
DISABLED ACCESSIBILITY COMPLIANCE CHECKLIST

- Is the proposed use of the premises B - OFFICE (NO CHANGE) (e.g. Retail, Office, Restaurant, etc.)
 - Describe the area of renovation including which floor: **SOFT DEMO & CONSTRUCTION OF NON-BEARING PARTITIONS**
 - The construction cost of this project excluding disabled access upgrades is \$ **150,000.00** which is (check one) more than 7.5% less than 7.5% of the Accessibility Threshold amount of \$180,000.00 based on the 2011 ENR Construction Cost Index. (The cost index & threshold are updated annually.)
 - Is this a City project and/or does it receive public funding? Check one: Yes No. Note: If Yes then see Item 3 on the instructions page for additional forms required.
- Conditions below must be fully documented by accompanying drawings:**
- Have a thorough site analysis and check the most applicable items (see box only):
 - All existing work serving the area of renovation fully comply with current requirements. No further upgrades are required.
 - All existing work serving the area of renovation fully comply with current requirements. Fully upgrade work with new materials.
 - Proposed work at this site will be less than the threshold specified in the checklist. If the project is less than 7.5% of the Accessibility Threshold amount, the project will be exempt from the checklist. If the project is more than 7.5% of the Accessibility Threshold amount, the project will be subject to the checklist. If the project is more than 7.5% of the Accessibility Threshold amount, the project will be subject to the checklist. If the project is more than 7.5% of the Accessibility Threshold amount, the project will be subject to the checklist.
 - Access facilities will either fully comply or be provided with Code-detailed Equivalent Facilities. Submit to Transportation Planning Department (TPD) for the Engineering Department.
 - Handicap spaces for the most accessible spaces (e.g., restrooms, etc.) will be provided in accordance with the applicable code requirements.
 - If existing work at this site is not fully compliant with current requirements, the project will be subject to the checklist. If the project is more than 7.5% of the Accessibility Threshold amount, the project will be subject to the checklist. If the project is more than 7.5% of the Accessibility Threshold amount, the project will be subject to the checklist.

Check all applicable boxes and specify where on the drawings (see which are shown)	Existing Fully Compliant	Existing Not Fully Compliant	Proposed Fully Compliant	Proposed Not Fully Compliant	Notes	Compliance Code	Location of work (include floor no. & room no. if applicable)
1. All accessible routes serving the area of renovation fully comply with current requirements. No further upgrades are required.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			SHEET A5.2
2. All accessible routes serving the area of renovation fully comply with current requirements. Fully upgrade work with new materials.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			1/A2.1 1-3/A5.3 2 & 3/A2.1, SHEET A5.4
3. Proposed work at this site will be less than the threshold specified in the checklist. If the project is less than 7.5% of the Accessibility Threshold amount, the project will be exempt from the checklist. If the project is more than 7.5% of the Accessibility Threshold amount, the project will be subject to the checklist. If the project is more than 7.5% of the Accessibility Threshold amount, the project will be subject to the checklist.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			SHEET A5.1
4. Access facilities will either fully comply or be provided with Code-detailed Equivalent Facilities. Submit to Transportation Planning Department (TPD) for the Engineering Department.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			N/A
5. Handicap spaces for the most accessible spaces (e.g., restrooms, etc.) will be provided in accordance with the applicable code requirements.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			1 & 6/A5.1
6. If existing work at this site is not fully compliant with current requirements, the project will be subject to the checklist. If the project is more than 7.5% of the Accessibility Threshold amount, the project will be subject to the checklist. If the project is more than 7.5% of the Accessibility Threshold amount, the project will be subject to the checklist.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			T2.4, 4/A2.1, 4/A5.2 3/A2.0, A5.1, 5/A5.3, A5.4
7. All accessible routes serving the area of renovation fully comply with current requirements. No further upgrades are required.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			1/A2.0
8. All accessible routes serving the area of renovation fully comply with current requirements. Fully upgrade work with new materials.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			1/A2.0 4 & 5/A5.3

BUILDING DEPARTMENT NOTES

- BUILDING COMPLIES WITH THE FOLLOWING CODES:
2010 SAN FRANCISCO BUILDING CODE AMENDMENTS
2010 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
2010 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
2010 SAN FRANCISCO PLUMBING CODE AMENDMENTS
EMERGENCY REVISIONS TO 2010 CBC, CHAPTER 11B (EFF. 8-1-12)
- * THIS IMPROVEMENT DOES NOT ALTER THE BUILDING'S PRIMARY VERTICAL OR LATERAL LOAD CARRYING STRUCTURAL ELEMENTS.
 - * THIS IMPROVEMENT DOES NOT INFRINGE UPON THE EXISTING LIFE SAFETY SYSTEM FOR THIS BUILDING.
 - * THIS IMPROVEMENT DOES NOT AFFECT THE EXISTING BUILDING'S ENERGY (TITLE 24) COMPLIANCE



CONSULTANT STAMP:

PMI Properties
410 Townsend Street
San Francisco, CA 94107

NO	DATE	SUBMITTAL
12.18.12		CLIENT REVISION
1.2.13		CLIENT REVISION
1.7.13		INITIAL CITY SUBMITTAL

PA / PM: BT / JL
DRAWN BY: AP
PROJECT NUMBER: 212115

COVER SHEET,
PROJECT DATA,
DEMO PLANS,
SHEET INDEX

GENERAL NOTES

- 01. DO NOT SCALE DRAWINGS.
02. THE WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODE, AND ALL OTHER ORDINANCES.
03. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE WORK.
04. SHOULD ANY CONDITION ARISE WHERE THE INTENT ON THE DRAWINGS IS IN DOUBT OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND FIELD CONDITIONS, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, THE ARCHITECT AND STRUCTURAL ENGINEER SHALL BE NOTIFIED AS SOON AS POSSIBLE FOR THE PROCEDURE TO BE FOLLOWED.
05. IN THE EVENT OF CONFLICTING REQUIREMENTS BETWEEN ITEMS ON THE DRAWINGS OR BETWEEN ITEMS IN THE SPECIFICATIONS, OR BETWEEN ITEMS ON THE DRAWINGS AND IN THE SPECIFICATIONS, THE MORE STRINGENT OR COSTLY SHALL GOVERN, UNLESS OTHERWISE DECIDED BY THE ARCHITECT.
06. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY BEFORE PROCEEDING WITH ANY WORK. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. ALL DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.
07. NO DEVIATION FROM THE STRUCTURAL DESIGN WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL AUTHORITY TO DEVIATE FROM THE PLANS OR SPECIFICATIONS.
08. CONTRACTOR SHALL PROVIDE A FIRE PROTECTION SYSTEM DURING CONSTRUCTION.
09. CONTRACTOR SHALL COORDINATE ALL SLAB AND WALL OPENINGS REQUIRED BY MECHANICAL AND ELECTRICAL DRAWINGS.
10. ALL PIPE, DUCTS AND BUS DUCTS THAT PENETRATE FLOOR SLABS SHALL BE INSTALLED IN A MANNER THAT WILL PRESERVE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.
11. ALL MECHANICAL DUCTS PENETRATING FIRE RATED PARTITIONS, CEILING AND SHAFT ENCLOSURES SHALL HAVE FIRE RATED DAMPERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECTURAL DRAWINGS PRIOR TO SUBMISSION OF THE SHOP DRAWINGS.
12. PROVIDE ACOUSTICAL BATT INSULATION AT ALL DUCTS, SHAFTS, TOILET ROOM WALLS AND MECHANICAL ROOM WALLS ADJACENT TO OCCUPIED TENANT SPACES.
13. THE ARCHITECT APPROVAL OF SUCH SHOP DRAWINGS AND PRODUCT SUBMITTALS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OR SUBCONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS UNLESS HE HAS WRITING, CALLED THE ARCHITECT'S ATTENTION TO SUCH DEVIATIONS AT TIME OF SUBMISSIONS, NOR SHALL IT RELIEVE HIM FROM RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.
14. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE BUILDING DEPARTMENT IN COMPLIANCE WITH SECTION 3800 OF THE CALIFORNIA LABOR CODE.
15. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND MAINTAIN WORKMAN'S COMPENSATION INSURANCE.
16. CONTRACTOR SHALL PROVIDE PEDESTRIAN FENCE AND CANOPY AS REQUIRED, A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS IS REQUIRED FOR A PROTECTION FENCE OR CANOPY ON OR OVER STREET OR PUBLIC SPACES, PER SEC 3303 UBC.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SITE SAFETY, CONSTRUCTION METHODS AND TECHNIQUES AND SHALL AT ALL TIMES INSURE THE SAFETY OF WORKERS FROM CONSTRUCTION SITE ACCIDENTS. HE SHALL COMPLY WITH THE PERTINENT HEALTH AND SAFETY REGULATIONS FOR REQUIRED METHODS FOR PROTECTING THE PUBLIC AND CONSTRUCTION WORKER'S HEALTH AND SAFETY DURING THE CONSTRUCTION PERIOD.
18. AN APPROVED SANITARY TOILET IS TO BE INSTALLED BEFORE WORK STARTS AND BE MAINTAINED FOR THE WORKMEN FOR THE DURATION OF THE CONTRACT.
19. THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROTECTION OF EXISTING FACILITIES ON AND ADJACENT TO THE SITE DURING CONSTRUCTION.
20. THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND WILL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUE, SEQUENCES AND PROCEDURES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE OF ANY CONDITIONS WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE AND OF ENSURING PROPER ALIGNMENT ON ALL PLANES OF THE FINAL STRUCTURE.
22. THE CONTRACTOR SHALL GIVE DUE AND LEGAL NOTICE TO ADJACENT PROPERTY OWNERS REGARDING THE PROTECTION OF THEIR PROPERTY AND STRUCTURES, WHICH MAY BE NECESSARY DUE TO EXCAVATION AND CONSTRUCTION INDICATED ON THESE PLANS, IN DUE TIME PRIOR TO THE START OF THE EXCAVATION.
23. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN, MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK OF THE CONTRACT.
24. NOT WITHSTANDING ANY OMISSIONS, IT SHALL BE THE SOLE DUTY AND RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL CONSTRUCTION DETAILS AND FABRICATE AND INSTALL SAID DESIGN IN ACCORDANCE WITH GOOD PRACTICE AND PROCEDURE AND TO LET THE ARCHITECT KNOW AT THE TIME OF BIDDING IF SAID DRAWINGS AND DETAILS ARE NOT PRACTICAL, OR STRUCTURALLY SOUND IN THEIR INTENT AND PURPOSE, OR SUFFICIENTLY COMPLETE FOR CONSTRUCTION PURPOSES.
25. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES; INCLUDING BUT NOT LIMITED TO BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND/OR ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR ENGINEER DURING THE CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH IS FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR ENGINEER, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS, BUT DO NOT GUARANTEE THE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
26. REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DRAWING OR DETAIL.
27. DIMENSIONS SHALL BE AS INDICATED ON THE DRAWINGS. CLARIFICATIONS, IF REQUIRED, SHALL BE OBTAINED FROM THE ARCHITECT. THE DRAWINGS SHALL NOT BE SCALED.
28. THE CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL FLOOR, ROOF, AND WALL OPENINGS WITH ALL OTHER APPLICABLE DRAWINGS.
29. THE CONTRACTOR SHALL VERIFY INSERTS AND EMBEDDED ITEMS WITH ALL APPLICABLE DRAWINGS BEFORE POURING CONCRETE.
30. THE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS WITHOUT THE PERMISSION OF THE ARCHITECT OR THE OWNER.
31. ALL ITEMS MARKED N.I.C. ON THE SPECIFICATIONS AND/OR DRAWINGS MEANS "NOT IN CONTRACT".
32. WORK INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS N.I.C., OR "BY SEPARATE CONTRACTORS", IS NOT PART OF THIS CONTRACT. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL SEPARATE CONTRACTORS EMPLOYED BY THE OWNER.
33. THE OWNER, ARCHITECT, CONSULTANTS AND ALL INSPECTORS FROM PERTINENT AGENCIES SHALL BE PERMITTED ACCESS TO THE JOB SITE AT ALL TIMES DURING NORMAL WORKING HOURS.
34. THE CONTRACTOR SHALL LEAVE THE BUILDINGS IN A LOCKABLE CONDITION DURING THE PERIOD OF THIS WORK WHEN THE CONTRACTOR'S WORKMEN ARE NOT ACTUALLY ON THE JOB.
35. THE SITE AND PREMISES SHALL BE KEPT CLEAN AND HAZARD-FREE. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING HIS EQUIPMENT, MATERIALS AND WORK IN A NEAT, CLEAN, ORDERLY AND SAFE CONDITION AT ALL TIMES.
36. DEACTIVATE ALL UTILITY LINES IN CONTRACT AREA BEFORE STARTING WORK. SECURE PERMISSION FROM THE OWNER PRIOR TO DEACTIVATION.
37. BRACING AND TEMPORARY SUPPORTS SHALL BE PROVIDED AS REQUIRED TO HOLD THE WORK SECURELY IN PLACE AND SUSTAIN ALL LOADS THAT MAY OCCUR DURING ERECTION AND UNTIL SUBSEQUENT CONSTRUCTION IS ADEQUATE TO REPLACE TEMPORARY BRACING.
38. ALL MATERIALS SHALL BE NEW, OR GRADE SPECIFIED AND BE GUARANTEED AGAINST INHERENT AND/OR DEVELOPED DEFECTS.
39. WOOD SILLS AND OTHER WOOD MEMBERS IN CONTACT WITH CONCRETE NEXT TO THE EARTH AND EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED.
40. NO STRUCTURAL MEMBERS SHALL BE CUT FOR PIPES, VENTS, DUCTS AND OTHER SIMILAR OPENINGS EXCEPT AS DETAILED OR SPECIFIED.
41. 2 INCH SOLID BLOCKING SHALL BE PLACED BETWEEN RAFTERS AT ALL POINTS OF SUPPORT UNLESS SPECIFICALLY CALLED OUT TO BE OMITTED.
42. ALL BOLTS SHALL BE FITTED WITH STANDARD CUT WASHERS. HOLES FOR BOLTS IN LUMBER SHALL BE BORED WITH A BIT WHOSE DIAMETER IS 1/32" LARGER THAN THE NOMINAL BOLT DIAMETER.

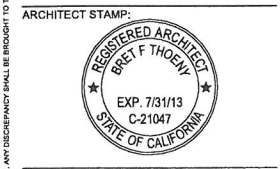
- 43. INSTALL FIRE STOPS AS PER SECTION 714, OF THE U.B.C.
44. INSTALL FLASHING FOR ALL ROOF OPENINGS AS PER SECTION 1516.31 AND 1517.6 OF THE U.B.C.
45. ALL LATH AND PLASTER SHALL COMPLY WITH SECTION 2506 AND 2508 OF THE U.B.C.
46. NON-STRUCTURAL PARTITIONS MAY BE FASTENED TO THE FLOOR SLAB WITH "RAMSET" ICBOM1639, 7/32" X 3-1/2" "TRUSSET" DRIVE PINS WITH DISCS @ 3'-0" O.C. IN LIEU OF 1/2" X 10" BOLTS @ 6'-0" O.C. (1'-0" MINIMUM FROM ENDS).
47. ALL UTILITY SERVICES SHALL BE INSTALLED COMPLETELY READY FOR USE INCLUDING CONNECTIONS TO ALL MAINS, CONFER WITH AND OBTAIN PERMITS FROM ALL UTILITY COMPANIES.
48. WINDOW AND DOOR DIMENSIONS FOR PREFABRICATED WINDOW AND DOOR UNITS HAVE BEEN ROUNDED TO THE NEAREST INCH ON THE DRAWINGS. SPECIFIC DIMENSIONS BY MANUFACTURERS MAY VARY FROM THE DRAWINGS.
49. ALL EXTERIOR DOORS AND WINDOWS SHALL BE WEATHERPROOFED.
50. GLAZING USED FOR DOORS AND PANELS FOR SHOWER AND BATHTUB ENCLOSURES SHALL BE LAMINATED GLASS (1/8" MIN) OR APPROVED PLASTIC.
51. GLASS DOORS, ADJACENT PANELS AND OTHER GLAZED PANELS WITHIN 18" OF THE FLOOR SHALL BE TEMPERED GLASS.
52. SMOKE DETECTORS SHALL BE LOCATED IN ALL SLEEPING ROOMS, AREAS LEADING TO SLEEPING ROOMS AND ALL AREAS REQUIRED TO HAVE A SMOKE DETECTOR IN ACCORDANCE WITH LOCAL CODES. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED TO THE BUILDING AND HAVE A BATTERY BACKUP.
53. IN LIEU OF REQUIRED OPENINGS FOR NATURAL VENTILATION IN BATHROOMS CONTAINING A TUB OR SHOWER OR COMBINATION THEREOF, LAUNDRY ROOMS AND SIMILAR ROOMS, A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING 5 AIR CHANGES AN HOUR SHALL BE PROVIDED. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING. BATHROOMS WHICH CONTAIN ONLY A WATER CLOSET OR LAVATORY OR COMBINATION THEREOF AND SIMILAR ROOMS MAY BE VENTILATED WITH AN APPROVED MECHANICAL RECIRCULATING FAN OR SIMILAR DEVICE DESIGNED TO REMOVE ODORS FROM THE AIR.
54. THE STRUCTURAL PLANS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS AND THE STAMPED APPROVAL ARCHITECTURAL / STRUCTURAL SET OF PLANS SHALL BE KEPT ON THE JOB SITE AND BE MADE AVAILABLE TO AUTHORIZED REPRESENTATIVES FROM THE DEPARTMENT OF BUILDING AND SAFETY.
55. WHERE CONTINUOUS INSPECTION IS REQUIRED IT SHALL BE PERFORMED BY A REGISTERED DEPUTY INSPECTOR WHOSE QUALIFICATIONS AND PERFORMANCE ON THE JOB SHALL BE SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF BUILDING AND SAFETY.
56. HARDWARE CALL OUTS MAY BE SUBSTITUTED BY EQUIVALENT HARDWARE ONLY UPON THE APPROVAL OF THE ENGINEER. ENGINEERING CATALOG OR BROCHURE OF EQUIVALENT HARDWARE MUST BE SUBMITTED TO THE ENGINEER WHEN REQUESTING SUBSTITUTION.
57. NO DEVIATIONS WILL BE MADE FROM THE ARCHITECTURAL / STRUCTURAL PLANS AND DETAILS WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT AND/OR ENGINEER. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND / OR SPECIFICATIONS.
58. THE WORD "TYPICAL", AS IT IS USED ON THESE PLANS, REFERS TO ITEMS OMITTED ON A SPECIFIC DETAIL AND THAT ARE VALID AND REPEAT THEMSELVES IN THE SAME OR SIMILAR DETAILS REFERRED TO IN OTHER AREAS OF THE PLANS.
59. RECESSED LIGHTS AT INSULATED CEILING SHALL BE UL LISTED FOR DIRECT CONTACT WITH INSULATION, (I/O FIXTURES).
60. EXTERIOR STUCCO SHALL COMPLY WITH CHAPTER 25 U.B.C. PROVIDE SEPARATE INSPECTION FOR EACH PHASE OF EXTERIOR PLASTER AS FOLLOWS: SCRATCH COAT, BROWN COAT, AND COLOR COAT.
61. TILE MUST BE APPLIED OVER CEMENT PLASTER BACKING AT SURFACES SUBJECT TO WATER SPLASH, (SHOWERS, TUBS AND COMMERCIAL RESTROOMS, ETC).
62. NO PLASTIC OR GALVANIZED WATER PIPING ALLOWED WITHIN THE BUILDING.
63. PROVIDE MOIST-STOP FLASHING AROUND ALL NEW WINDOWS, DOORS AND OTHER OPENINGS.
64. PROVIDE BUTYDENE AT OTHER NEEDED LOCATIONS SUCH AS INTERSECTING EXTERIOR CONSTRUCTION SURFACES, SMALL EXTERIOR SHELVES AND AT EXTERIOR PENETRATION.
65. PROVIDE A MINIMUM OF 60 MINUTE BUILDING PAPER.
66. PROVIDE ONLY FURRING NAILS AT ALL WIRE LATH THAT SUPPORTS STUCCO.
67. FOLLOW ALL MANUFACTURER'S REQUIREMENTS REGARDING SPECIFICATIONS, ASSEMBLIES, MATERIALS, AND ADVISE ARCHITECT OF ANY DISCREPANCIES OR CONTRADICTIONS WITH THESE DOCUMENTS.
68. EXPANSION ANCHORS BY HILTI SHALL BE AT 4'-0" O.C. MAX. TYPICAL & HAVE L.A. R.R. #23272 & L.C.B.O. #1372
69. SHOT PINS BY HILTI SHALL BE AT 4'-0" O.C. MAX. TYPICAL & SHALL HAVE L.A. R.R. #2582 & L.C.B.O.#1609
70. PROVIDE 2 COATS CLEAR INDUSTRIAL GLOSS ENAMEL OVER PRIMER ON ALL EXPOSED STRUCTURAL STEEL MEMBERS, STEEL SUPPORT, STRUCTURAL RAILINGS, PIPE CHANNELS AND BRACING, U.I.O.
71. UNLESS NOTED OTHERWISE NOTED, ALL CONCRETE SURFACES TO BE PAINTED SHALL RECEIVE A MINIMUM OF THREE COATS OR TWO COATS ON PRIMER. CONCRETE TO BE ONE COAT OVER PRIMER.
72. THE CENTER OF RECEPTACLE OUTLETS SHALL NOT BE LESS THAN 12-INCHES ABOVE THE FLOOR OR WORKING AREA.
73. THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING AND VENTILATION EQUIPMENT, SHALL NOT BE LESS THAN 3-FEET NOR MORE THAN 4-FEET ABOVE THE FLOOR OR WORKING PLATFORM.
74. THE CENTER OF THE FIRE ALARM INITIATION DEVICES (BOXES) IF PROVIDED) SHALL BE LOCATED 48-INCHES ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK.
75. IF EMERGENCY WARNING SYSTEMS ARE REQUIRED THEY SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE.
76. FLOOR SURFACES SHALL BE SLIP RESISTANT MEETING THE REQUIREMENTS OF CALIFORNIA TITLE 24, UBC CHAPTER 31 AND UBC STANDARD NO 31-1.
77. IF TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH ARE REQUIRED, G.C. TO OBTAIN NECESSARY ISSUANCE OF A BUILDING OR GRADING PERMIT.
78. THE CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL CONTRACTOR BEFORE FORMING WALLS, FLOORS, ETC.
79. DEPUTY INSPECTOR SHALL BE REGISTERED WITH THE LOCAL AUTHORITY PRIOR TO INSPECTION OF WORK.
80. AN APPROVED GAS SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 171.874 FOR WORK OVER \$10,000)
81. WATER HEATER MUST BE STRAPPED TO WALL PER SECTION 607.3 UPC.
82. THE CONSTRUCTION SHALL NOT OBSTRUCT A FIVE FOOT CLEAR UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, METERS, APPURTENANCES, ETC) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN 10 FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
83. PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND FAUCETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
84. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS IN ACCORDANCE WITH LOCAL CODES. CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED TO THE BUILDING AND HAVE A BATTERY BACKUP.

ABBREVIATIONS

Table with 4 columns: Abbreviation, Full Name, Abbreviation, Full Name. Includes terms like And, Angle, At, Centerline, Diameter, Number, Existing, Acoustic, Area Drain, Adjustable, Above Finished Floor, Aggregate, Aluminum, Approximate, Architectural, Asbestos, Asphalt, Board, Bituminous, Building, Block, Blocking, Beam, Bottom, Cabinet, Catch Basin, Cement, Ceramic, Cast Iron, Corner Guard, Ceiling, Calking, Closet, Clear, Casced Opening, Column, Concrete, Connection, Construction, Continuous, Corridor, Countersunk, Counter, Double, Department, Drinking Fountain, Detail, Diameter, Dimension, Dispenser, Down, Door Opening, Door, Drawer, Downspout, Dry Standpipe, Drawing, East, Each, Expansion Joint, Elevation, Electrical, Elevator, Emergency, Enclosure, Electrical Panel, Equal, Equipment, Electric Water Cooler, Existing, Exposed, Expansion, Exterior, Exterior Cement Plaster, Pre-cast, Plate, Plastic Laminate, Plaster, Plywood, Pair, Panel, Paper Towel Dispenser, Combination Paper Towel, Partition, Paper Towel Receptacle, Quarry Tile, Riser, Radius, Roof Drain, Reference, Refrigerator, Register, Reinforced, Required, Resilient, Room, Rough Opening, Redwood, Rain Water Leader, South Solid Core, Seat Cover Dispenser, Schedule, Soap Dispenser, Section, Shelf, Shower, Sheet, Similar, Sanitary Napkin Dispenser, Sanitary Napkin Receptacle, Specification, Square, Stainless Steel, Service Sink, Station, Standard, Steel, Storage, Structural, Suspended, Symmetrical, Tempered glazing, Tread, Towel Bar, Top of Curb, Telephone, Terrace, Tongue and Groove, Thick, Tenant Improvement, Top of Pavement, Toilet Paper Dispenser, Top of Sheathing, Television, Top of Wall, Typical, Unfinished, Unless Otherwise Noted, Urinal, Vertical, Vestibule, West, With, Water Closet, Wood, Without, Waterproof, Wainscot, Weight.



BOTO DESIGN ARCHITECTS, INC.
1508 17TH STREET, 1ST FLOOR
SANTA MONICA, CA 90404
TEL 310 453 6400
FAX 310 453 6440



CONSULTANT STAMP:

PMI Properties

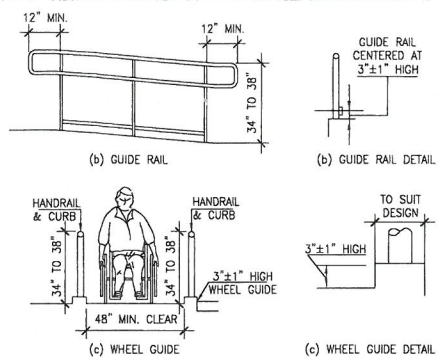
410 Townsend Street
San Francisco, CA 94107

Table with 3 columns: NO, DATE, SUBMITTAL. Rows include 12.18.12 CLIENT REVISION, 1.2.13 CLIENT REVISION, 1.7.13 INITIAL CITY SUBMITTAL.

PA / PM: BT / JL
DRAWN BY: AP
PROJECT NUMBER: 212115

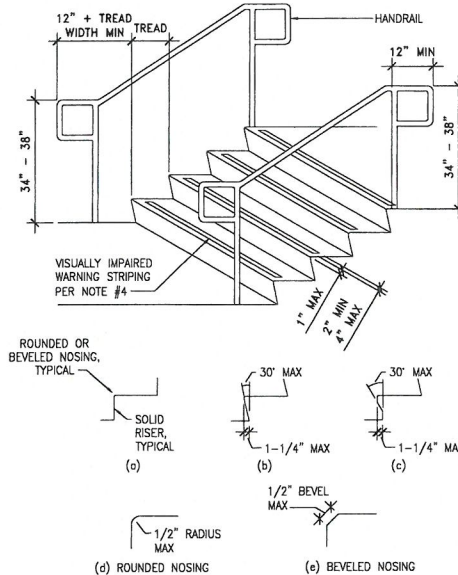
GENERAL NOTES

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF BOTO DESIGN ARCHITECTS & ACoustICS. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF BOTO DESIGN ARCHITECTS & ACoustICS PRIOR TO THE COMMENCEMENT OF ANY WORK.

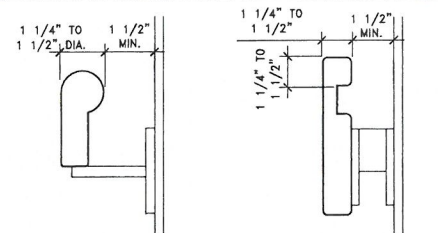


EXTERIOR STAIRWAYS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH CBC, SECTION 1115A. INTERIOR STAIRWAYS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH CBC, SECTION 1123A.

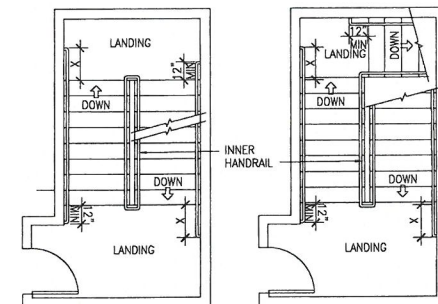
- OPEN RISERS ARE NOT PERMITTED.
- TREADS SHALL BE SLIP RESISTANT, HAVE SMOOTH, ROUNDED, OR CHAMFERED EXPOSED, AND NO ABRUPT EDGES AT THE NOSING (LOWER FRONT EDGES).
- NOSING SHALL NOT PROJECT MORE THAN 1/2" PAST THE FACE OF THE RISER BELOW.
- STRIPING FOR THE VISUALLY IMPAIRED: THE UPPER APPROACH AND THE LOWER TREAD OF EACH STAIR SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR 2" TO 4" WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIP SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIRS. A PAINTED STRIPE SHALL BE ACCEPTABLE. EXTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND ALL TREADS MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST.
- STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE. INTERMEDIATE HANDRAILS SHALL BE LOCATED EQUIDISTANT FROM THE SIDES OF THE STAIRWAY AND COMPLY WITH CBC SECTION 1012.9.



STAIR AND RAMP DETAIL 7
 NOT TO SCALE

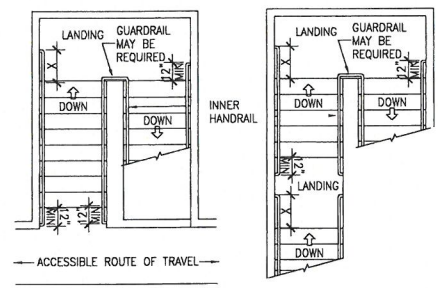


HANDRAIL REQUIREMENTS. HANDRAILS WILL BE REQUIRED TO BE CONTINUOUS FOR THE FULL LENGTH OF THE STAIR TO BE 34-38 INCHES ABOVE THE NOSING OF THE TREADS, AND TO EXTEND AT LEAST 12 INCHES BEYOND THE TOP NOSING AND 12 INCHES PLUS THE TREAD WIDTH BEYOND THE BOTTOM NOSING. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN POSTS. WHERE THE EXTENSION OF THE HANDRAIL WOULD CREATE A HAZARD, THE EXTENSION IS REQ'D. TO BE MADE AT RIGHT ANGLES ON THE FACE OF THE RETURNING WALL. WHERE THE STAIRS ARE CONTINUOUS FROM LANDING TO LANDING, THE INNER RAIL IS REQ'D. TO BE CONTINUOUS AND IS NOT TO EXTEND 12 INCHES OUT ONTO THE LANDING. HANDRAILS ARE REQUIRED TO BE NOT LESS THAN 1-1/4" INCH, NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSIONS, WITH SMOOTH SURFACE & NO SHARP CORNERS. WHERE HANDRAILS PROJECT FROM A WALL, A MIN. 1-1/2" SPACE IS REQUIRED BETWEEN THE RAIL & THE WALL.



NOTE: INNER HANDRAIL AT LANDINGS OF STAIRS THAT DOUBLE BACK OR IMMEDIATELY TURN SHALL BE CONTINUOUS AND SHALL NOT EXTEND INTO LANDING OR ACCESSIBLE ROUTE OF TRAVEL.

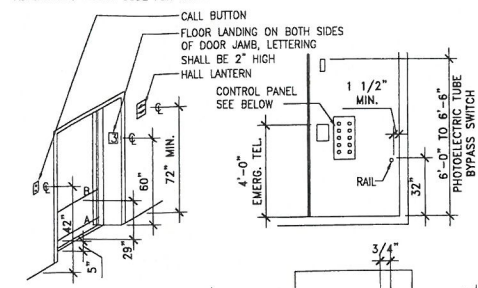
x=EXTENSION OF HANDRAIL SHALL BE EQUAL TO THE TREAD WIDTH PLUS 12 INCHES MINIMUM



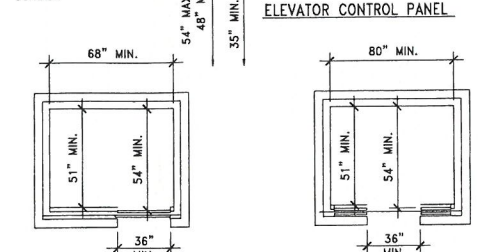
STAIR AND HANDRAIL DETAIL 6
 NOT TO SCALE

ELEVATORS:

PASSENGER ELEVATORS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL BE DESIGNATED AND CONSTRUCTED TO COMPLY WITH CBC SECTION 1116B AND WITH ASME A17.1, SAFETY CODE FOR ELEVATORS AND ESCALATORS.



NOTE: THE AUTOMATIC DOOR REOPENING DEVICE IS ACTIVATED IF AN OBJECT PASSES THROUGH EITHER LINE A OR LINE B. LINE A AND LINE B REPRESENT THE VERTICAL LOCATION OF THE DOOR REOPENING DEVICE NOT REQUIRING CONTACT.



SIDE OPENING DOOR
 CENTER OPENING DOOR

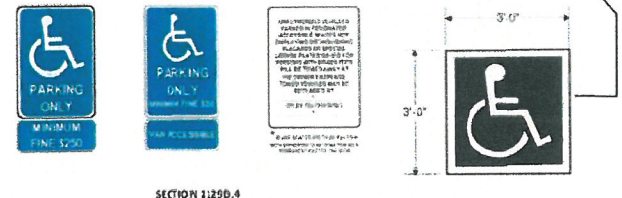
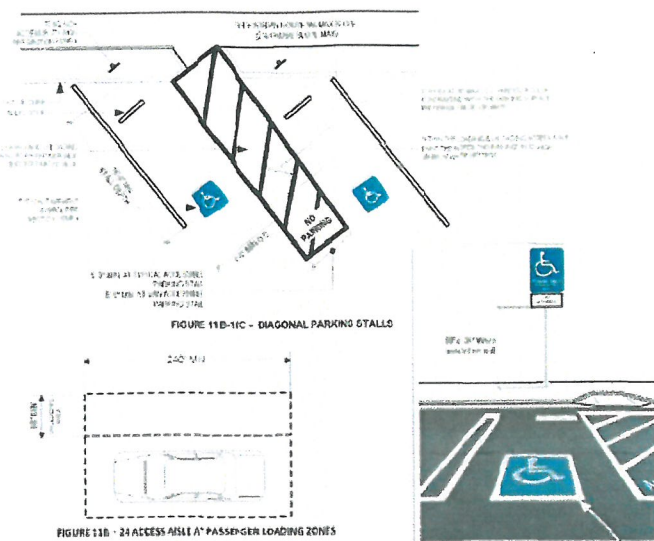
CAR CONTROLS

CBC SECTION 1116B.19 - IDENTIFICATION FOR THE VISUALLY IMPAIRED SHALL BE AS FOLLOWS:

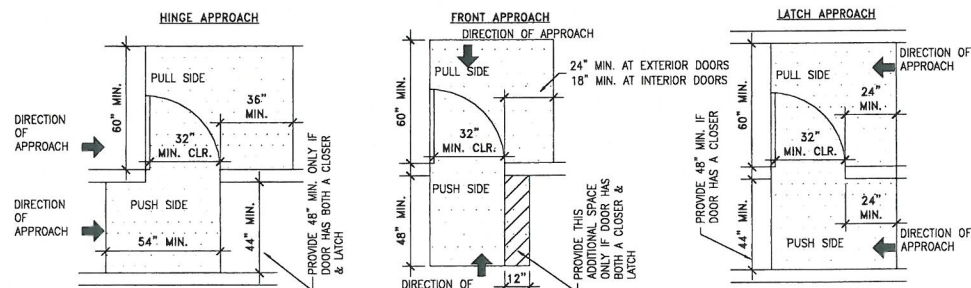
- PASSENGER ELEVATOR CONTROLS SHALL HAVE A MINIMUM DIMENSION OF 3/4 INCHES AND SHALL BE RAISED 1/8 INCH PLUS OR MINUS 1/32 ABOVE THE SURROUNDING SURFACE.
- CONTROL BUTTONS SHALL BE ILLUMINATED, SHALL HAVE SQUARE SHOULDERS AND SHALL BE ACTIVATED BY A MECHANICAL MOTION THAT IS DETECTABLE.
- ALL CONTROL BUTTONS SHALL BE DESIGNATED BY A 5/8 INCH MINIMUM RAISED CHARACTER AND STANDARD RAISED SYMBOL THAT CONFORM TO CBC SECTION 1117B.5.2, 1117B.5.3, 1117B.5.5, 1117B.5.7 IMMEDIATELY TO THE LEFT OF THE CONTROL BUTTON. CONTRACTED (GRADE 2) BRAILLE THAT CONFORMS WITH CBC SECTION 1117B.5.6 SHALL BE LOCATED IMMEDIATELY BELOW THE CHARACTER, OR SYMBOL. A MINIMUM CLEAR SPACE OF 3/8 INCH OR OTHER SUITABLE MEANS OF SEPARATION SHALL BE PROVIDED BETWEEN ROWS OF CONTROL BUTTONS.
- THE RAISED CHARACTERS SHALL BE WHITE ON BLACK BACKGROUND.
- CONTROLS AND EMERGENCY EQUIPMENT IDENTIFIED BY RAISED SYMBOLS SHALL INCLUDE, BUT NOT BE LIMITED TO "DOOR OPEN", "DOOR CLOSED", "ALARM BELL", "EMERGENCY STOP", AND "TELEPHONES". THE CALL BUTTON FOR THE MAIN ENTRY FLOOR SHALL BE DESIGNATED BY A RAISED STAR AT THE LEFT OF THE FLOOR DESIGNATION.

CBC SECTION 1116B.1.14 - PASSENGER ELEVATOR LANDING JAMBS ON ALL ELEVATOR FLOORS SHALL HAVE THE NUMBER OF THE FLOOR ON WHICH THE JAMB IS LOCATED DESIGNATED BY RAISED CHARACTERS THAT ARE A MINIMUM OF 2 INCHES IN HEIGHT AND CONFORM TO CBC SECTION 1117B.5.5 LOCATED 60 INCHES ON CENTER ABOVE THE FLOOR ON THE JAMB PANELS ON BOTH SIDES OF THE DOOR SO THAT THEY ARE VISIBLE FROM WITHIN THE ELEVATOR. ON THE MAIN ENTRY LEVEL A RAISED FIVE-POINTED STAR SHALL BE PLACED TO THE LEFT OF THE RAISED CHARACTER. THE OUTSIDE DIAMETER OF THE STAR SHALL BE 2 INCHES AND ALL POINTS SHALL BE OF EQUAL LENGTH. RAISED CHARACTER, INCLUDING THE STAR, SHALL BE WHITE ON BLACK BACKGROUND. CONTRACTED (GRADE 2) BRAILLE COMPLYING WITH CBC SECTION 1117B.5.6 SHALL BE PLACED BELOW THE CORRESPONDING RAISED CHARACTERS AND THE STAR. THE BRAILLE TRANSLATION FOR THE STAR SHALL BE "MAIN".

ELEVATOR DETAILS 4
 NOT TO SCALE

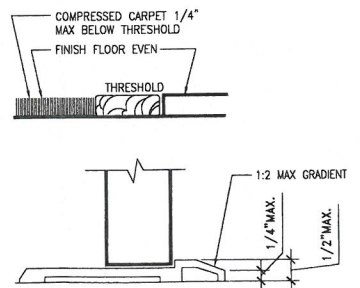


ACCESSIBLE PARKING DETAILS 2
 NOT TO SCALE



THE FLOOR ON EACH SIDE OF A DOORWAY IS REQUIRED TO BE LEVEL AND CLEAR FOR A MINIMUM DEPTH OF 60" ON THE SWING SIDE, MEASURED AT RIGHT ANGLES TO THE OPENING, AND FOR 48" ON THE SIDE AWAY FROM THE DOOR. ON THE SWING SIDE OF THE DOOR, THE LEVEL AND CLEAR AREA IS REQUIRED TO EXTEND FOR 24" ON THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOOR, AND TO EXTEND FOR 18" FOR INTERIOR DOORS. A LEVEL AREA IS DEFINED AS A SURFACE WHICH DOES NOT SLOPE MORE THAN 1/4" IN 1 FOOT IN ANY DIRECTION.

DOOR CLEARANCES 5
 NOT TO SCALE



NEW BUILDING AND FACILITIES INTERIOR AND EXTERIOR THRESHOLDS WILL BE REQUIRED TO BE NO HIGHER THAN 1/2 INCH ABOVE THE ADJACENT FLOOR LEVELS. EACH EXPOSED EDGE OF THRESHOLDS IS REQUIRED TO BE BEVELED OR SLOPED AT AN ANGLE NOT TO EXCEED 45 DEGREES SO THAT NO VERTICAL CHANGE OF ELEVATION EXCEEDS 1/4 INCH.

THRESHOLD DETAIL 3
 1/2" = 1'-0"

EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

ACCEPTABLE DOOR HARDWARE MOUNTING HEIGHT: BETWEEN 30" TO 44" FROM CENTERLINE OF LEVER, PUSH/PULL & PANIC BAR TO FINISH FLOOR.

DOOR SIZE: EVERY REQUIRED EXIT DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3 FEET IN WIDTH AND NOT LESS THAN 6 FEET 8 INCHES IN HEIGHT. WHEN INSTALLED IN EXIT DOORWAYS, EXIT DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF EXIT WAY IS NOT LESS THAN 32 INCHES. IN COMPUTING THE EXIT WIDTH REQUIRED BY SUBSECTION THE NET DIMENSION OF THE EXIT WAY SHALL BE USED.

HINGED DOORS: FOR HINGED DOORS, THE OPENING WIDTH SHALL BE MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90° FROM ITS CLOSED POSITION.

PAIR OF DOORS: WHERE A PAIR OF DOORS IS UTILIZED AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WITH THE LEAF POSITIONED AT AN ANGLE OF 90° FROM ITS CLOSED POSITION.

CONSTRUCTION: THE BOTTOM 10 INCHES OF ALL DOORWAYS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITIONS.

DOOR HARDWARE NOTES 1
 1/2" = 1'-0"



BOTO DESIGN ARCHITECTS, INC.
 1508 17TH STREET, 1ST FLOOR
 SANTA MONICA, CA 90404
 TEL 310 453 6400
 FAX 310 453 6440

ARCHITECT STAMP:



CONSULTANT STAMP:

PMI Properties

410 Townsend Street
 San Francisco, CA 94107

NO.	DATE	SUBMITTAL
12.18.12		CLIENT REVISION
1.2.13		CLIENT REVISION
1.7.13		INITIAL CITY SUBMITTAL

PA / PM: BT / JL
 DRAWN BY: AP
 PROJECT NUMBER: 212115

DISABILITY ACCESS
 SITE DETAILS



BOTO DESIGN ARCHITECTS, INC.
 1508 17TH STREET, 1ST FLOOR
 SANTA MONICA, CA 90404
 TEL 310 453 6400
 FAX 310 453 6440

ARCHITECT STAMP:



CONSULTANT STAMP:

GENERAL DEMO NOTES

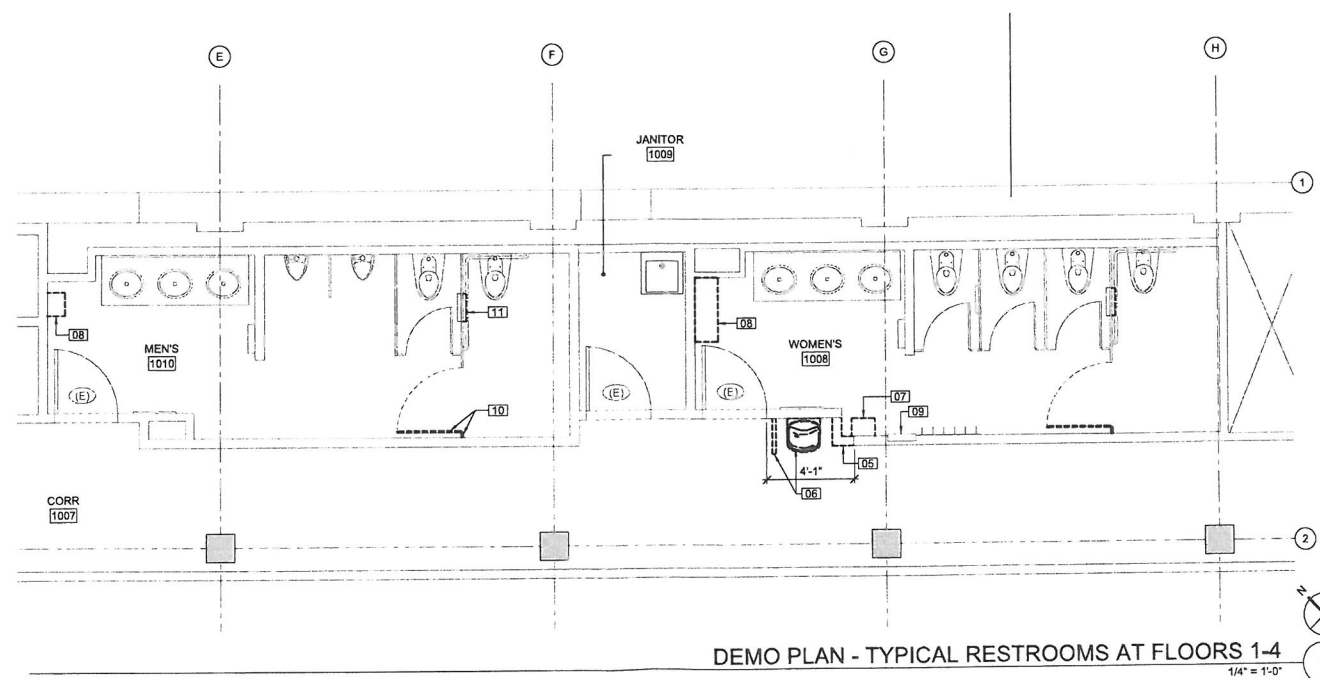
- DO NOT SCALE DRAWINGS.
- GC TO ISSUE RFI (REQUEST FOR INFORMATION) FOR ITEMS THAT ARE UNCLEAR, OR CONTRADICTORY. ANY ASSUMPTIONS SHOULD BE IN WRITING & NO DEVIATIONS FROM THE DRAWINGS OR SPECS SHALL BE ACCEPTED UNLESS APPROVED.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- GC TO REMOVE ALL WALLS, WINDOWS, DOORS, MILLWORK, ELECTRICAL, LIGHTING, MECHANICAL FIXTURES, ETC AS REQUIRED TO PERFORM SCOPE OF WORK. CAP ALL EXISTING OUTLETS, VENTS & PIPES BEING ABANDONED.
- GC TO PROTECT, PATCH & REPAIR ALL AREAS ADJACENT TO DEMOLITION AS REQUIRED.
- GC TO MAINTAIN FULLY CHARGED FIRE EXTINGUISHER READILY AVAILABLE DURING DEMOLITION OPERATIONS.
- SPRINKLER SYSTEM TO BE LEFT INTACT AS-IS DURING DEMOLITION. GC RESPONSIBLE FOR SUPPORTING ALL LIFE SAFETY DEVICES IN A MANNER THAT DOES NOT IMPEDE ITS FUNCTION IN ANY WAY IF A STRUCTURE HOLDING THE DEVICE IS REMOVED.
- SAVE ALL BLDG STANDARD DOORS & RETURN TO BLDG STORAGE PER OWNER.

DEMO KEYNOTES

- (E) NON-BEARING PARTITION TO BE REMOVED. RELOCATE STORAGE ITEMS TO (N) STORAGE AREA PER 1A1.1
- REMOVE (E) STRIPING AS SHOWN DASHED
- REMOVE (E) PAINTED ADA SYMBOL AT THIS STALL ONLY
- REMOVE (E) DOOR & PREP TO BE RE-HINGED
- DEMO PORTION OF NON-BEARING PARTITION
- REMOVE & SET ASIDE (E) DRINKING FOUNTAIN & GRAB BAR
- REMOVE & SET ASIDE (E) PAPER TOWEL DISPENSER
- REMOVE (E) SHELF
- (E) FEMININE NAPKIN DISPENSER
- REMOVE (E) 36" STALL DOOR & PORTION OF (E) PARTITION
- REMOVE & SET ASIDE (E) TOILET PAPER & SEAT COVER DISPENSER

LEGEND

- EXISTING WALL, DOOR OR OTHER STRUCTURE TO REMAIN
- EXISTING WALL, DOOR OR OTHER STRUCTURE TO BE DEMOLISHED AS NOTED
- EXISTING DOOR TO REMAIN



DEMO PLAN - TYPICAL RESTROOMS AT FLOORS 1-4
 1/4" = 1'-0"

PMI Properties
 410 Townsend Street
 San Francisco, CA 94107

NO	DATE	SUBMITTAL
	12.18.12	CLIENT REVISION
	1.2.13	CLIENT REVISION
	1.7.13	INITIAL CITY SUBMITTAL

PA / PM: BT / J.L.
 DRAWN BY: AP
 PROJECT NUMBER: 212115

DEMOLITION PLAN -
 RESTROOMS AT
 FLOORS 1 - 4

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF BOTO DESIGN ARCHITECTS & ACoustICS AND SHALL NOT BE LOANED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BOTO DESIGN ARCHITECTS & ACoustICS. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF BOTO DESIGN ARCHITECTS & ACoustICS PRIOR TO THE COMMENCEMENT OF ANY WORK.



BOTO DESIGN ARCHITECTS, INC.
1508 17TH STREET, 1ST FLOOR
SANTA MONICA, CA 90404
TEL 310 453 6400
FAX 310 453 6440

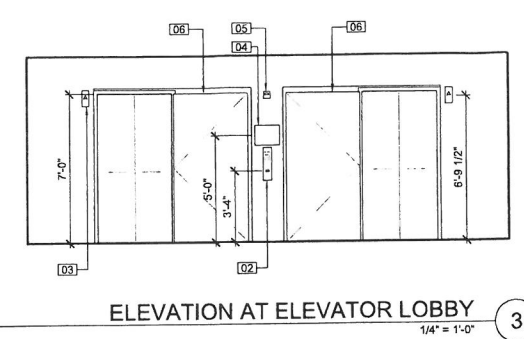
ARCHITECT STAMP:



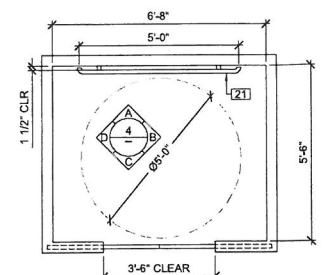
CONSULTANT STAMP:

GENERAL NOTES

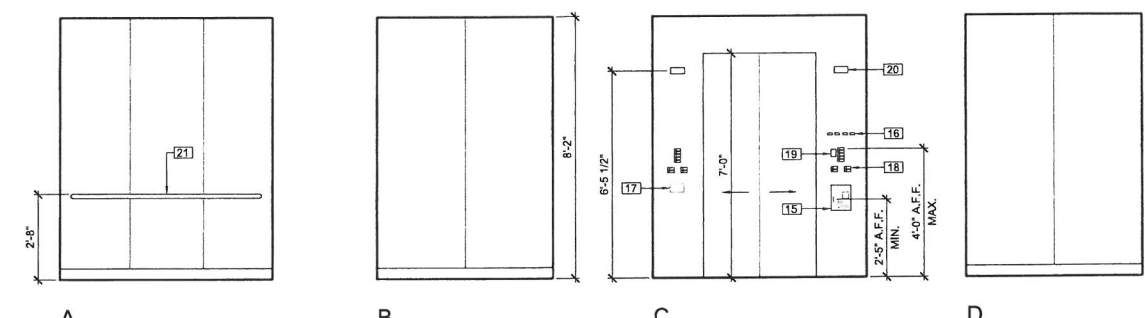
- DO NOT SCALE DRAWINGS
- GC TO ISSUE RFI (REQUEST FOR INFORMATION) FOR ITEMS THAT ARE UNCLEAR OR CONTRADICTORY. ANY ASSUMPTIONS SHOULD BE IN WRITING & NO DEVIATIONS FROM THE DRAWINGS OR SPECS SHALL BE ACCEPTED UNLESS APPROVED.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- ALL DIMENSIONS FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- PROVIDE STRUCTURAL STEEL & WOOD FRAMING PER STRUCTURAL DWGS. GC TO BRING TO ARCHITECTS ATTENTION ANY MAJOR DISCREPANCIES PRIOR TO COMMENCING WORK.
- FIRE SPRINKLER SYSTEM TO BE MODIFIED TO ACCOMMODATE NEW PLAN. SPRINKLER CONTRACTOR TO SUBMIT LAYOUT TO ARCHITECT FOR APPROVAL. SEE FIRE SPRINKLER NOTES, SHEET T2.2 FOR LAYOUT MODIFICATIONS.
- EXISTING BUILDING AND ALL NEW WORK TO FULLY CONFORM WITH TITLE 24 HANDICAP REQUIREMENTS. ANY NON-CONFORMING CONDITIONS TO BE MADE COMPLIANT. SEE DISABILITY ACCESS NOTES SHEET T2.3.
- PREP ALL NEW WALLS FOR PAINT PER INTERIOR SPEC & ENSURE ALL SURFACES ARE FREE OF DEFECTS. PROVIDE MINIMUM 2 COATS PRIMER & ADDITIONAL 2 COATS FINISH PAINT. EGGSHELL FINISH ON WALLS & FLAT FINISH ON CEILINGS. TYPICAL.
- PROVIDE POWER, GAS & WATER FINAL CONNECTIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PER CODE REQUIREMENTS & MFR RECOMMENDATIONS.



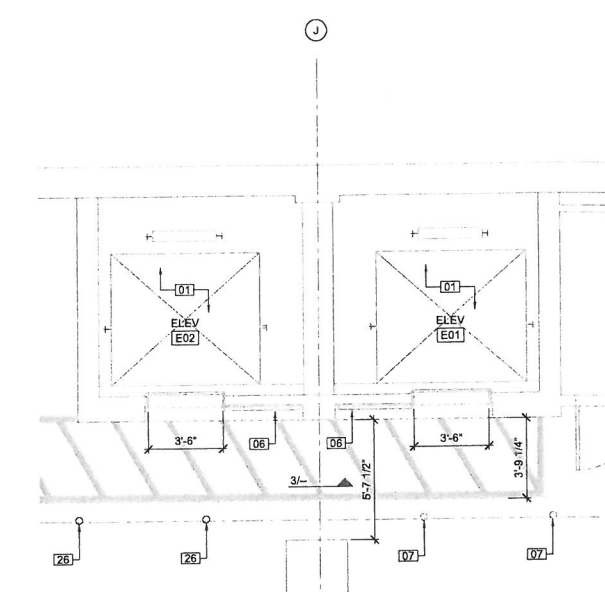
ELEVATION AT ELEVATOR LOBBY
1/4" = 1'-0" 3



ELEVATOR CAB INTERIOR DIMENSIONS
3/8" = 1'-0" 5



INTERIOR ELEVATIONS AT ELEVATOR CAB
3/8" = 1'-0" 4



ENLARGED PLAN @ ELEVATOR LOBBY
1/4" = 1'-0" 2

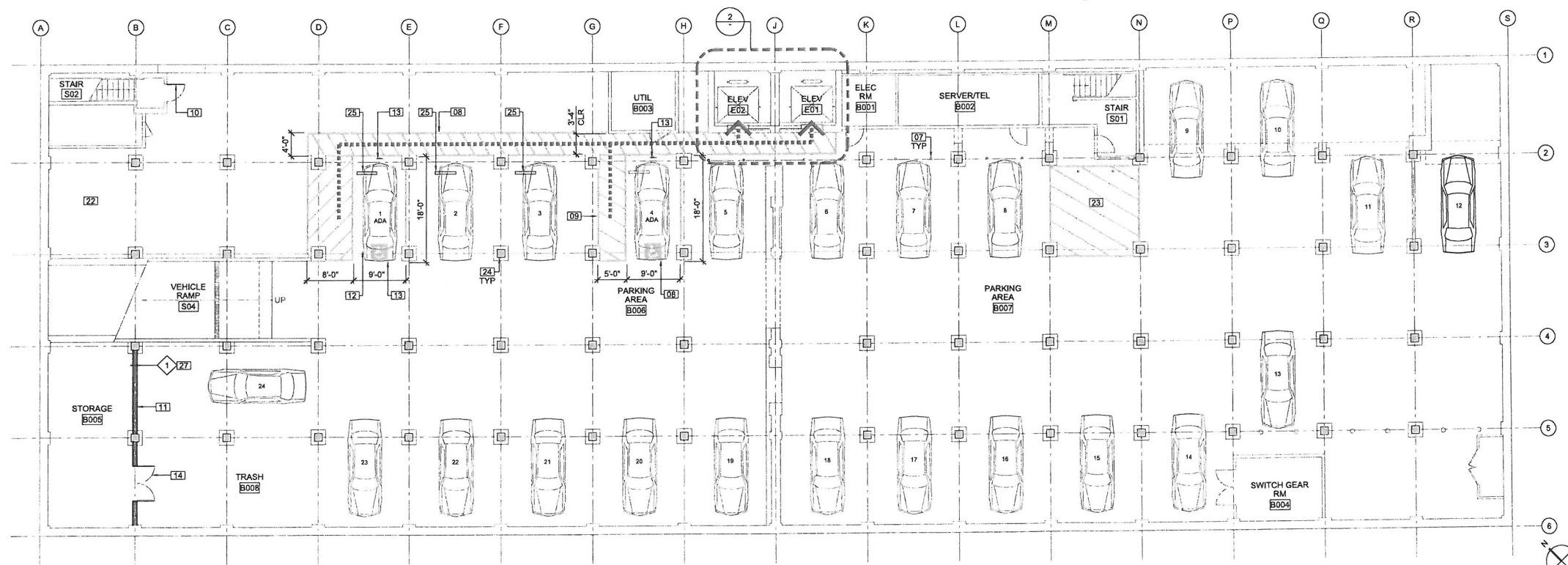
KEYNOTES

- (E) ELEVATOR
- (E) HALL CALL BUTTONS & HOISTWAY ACCESS
- (E) HALL LANTERN
- (E) EVACUATION SIGNAGE
- (E) FIRE ALARM - STROBE & SIREN
- (E) FIRE DOOR W/ HOLDOPEN
- (E) CONCRETE-FILLED BOLLARD
- (E) PARKING STRIPING / SIGNAGE TO REMAIN
- (N) PARKING STRIPING - SEE DETL 2/72.4 FOR MORE INFO
- REINFORCED (E) DOOR
- (N) NON-BEARING PARTITIONS FOR RELOCATED STORAGE ROOM
- RE-ESTABLISHED PARKING STALL PER APPROVED PARKING LAYOUT (PERMIT #9811926)
- (N) ADA PARKING SIGNAGE / PAINTED DECAL PER DETAIL 2/72.4
- (N) DBL 3'-0" X 7'-0" HOLLOW METAL DOORS AT RELOCATED STORAGE ROOM
- (E) EMERGENCY TELEPHONE
- (E) FIRE SERVICE MODULES INCLUDES "CALL CANCEL" BUTTON - COMPLIES WITH CBC 1116B.1.9
- (E) CERTIFICATE FRAME
- (E) 3/4" x 1/2" INTERNALLY ILLUMINATED FLOOR DESTINATION BUTTONS
- (E) CARD READER
- (E) CAR POSITION INDICATOR: DIGITAL DISPLAY LETTERS & NUMBERS INDICATING TRAVEL DIRECTION - COMPLIES WITH CBC 1116.B.1.13
- (E) 01-1/2" GRAB BAR
- (E) BICYCLE PARKING AREA
- (N) STRIPING FOR DEDICATED MOTORCYCLE PARKING
- (E) CONCRETE COLUMN WITH TRUNCATED BASE TO REMAIN
- (N) WHEEL STOP AS REQUIRED
- (N) 04" CONCRETE-FILLED METAL BOLLARD TO MATCH (E)
- WALL TYPE "1" - SEE DETAIL 2/2A.3 FOR PARTITION DETAIL

PARKING COUNT

(AS APPROVED UNDER PERMIT #9811926)

STANDARD NON-ACCESSIBLE PARKING STALLS:	22
STANDARD ACCESSIBLE PARKING STALL:	1
VAN ACCESSIBLE PARKING STALL:	1
TOTAL PARKING STALLS:	24



BASEMENT LEVEL FLOOR PLAN W/ PATH OF TRAVEL & PARKING LAYOUT
3/32" = 1'-0" 1

PMI Properties

410 Townsend Street
San Francisco, CA 94107

NO	DATE	SUBMITTAL
	12.18.12	CLIENT REVISION
	1.2.13	CLIENT REVISION
	1.7.13	INITIAL CITY SUBMITTAL

PA / PM: BT / JL
DRAWN BY: AP
PROJECT NUMBER: 212115

BASEMENT LEVEL FLOOR PLAN & ELEVATOR LOBBY DETAILS



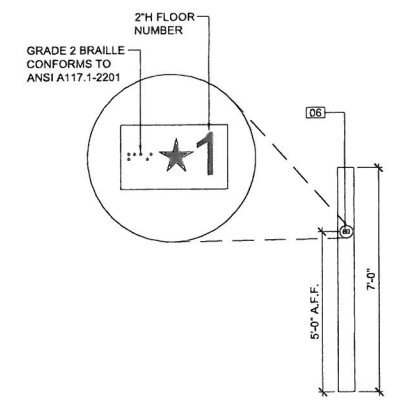
BOTO DESIGN ARCHITECTS, INC.
 1508 17TH STREET, 1ST FLOOR
 SANTA MONICA, CA 90404
 TEL 310 453 6400
 FAX 310 453 6440



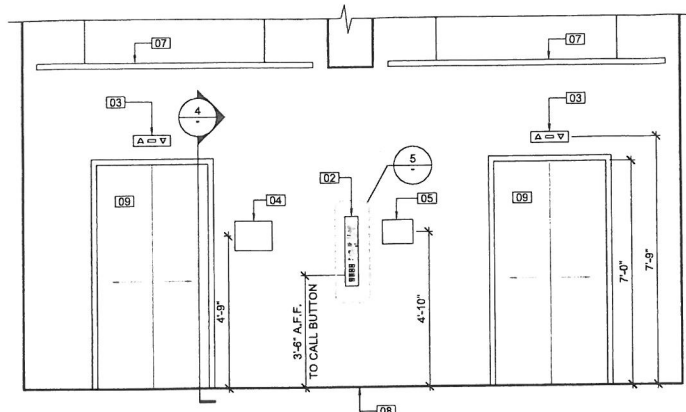
CONSULTANT STAMP:

GENERAL NOTES

- DO NOT SCALE DRAWINGS
- GC TO ISSUE RFI (REQUEST FOR INFORMATION) FOR ITEMS THAT ARE UNCLEAR, OR CONTRADICTORY. ANY ASSUMPTIONS SHOULD BE IN WRITING & NO DEVIATIONS FROM THE DRAWINGS OR SPECS SHALL BE ACCEPTED UNLESS APPROVED.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- ALL DIMENSIONS FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- PROVIDE STRUCTURAL STEEL & WOOD FRAMING PER STRUCTURAL DWGS. GC TO BRING TO ARCHITECTS ATTENTION ANY MAJOR DISCREPANCIES PRIOR TO COMMENCING WORK.
- FIRE SPRINKLER SYSTEM TO BE MODIFIED TO ACCOMMODATE NEW PLAN. SPRINKLER CONTRACTOR TO SUBMIT LAYOUT TO ARCHITECT FOR APPROVAL. SEE FIRE SPRINKLER NOTES, SHEET T2.2 FOR LAYOUT MODIFICATIONS.
- EXISTING BUILDING AND ALL NEW WORK TO FULLY CONFORM WITH TITLE 24 HANDICAP REQUIREMENTS. ANY NON-CONFORMING CONDITIONS TO BE MADE COMPLIANT. SEE DISABILITY ACCESS NOTES SHEET T2.3.
- PREP ALL NEW WALLS FOR PAINT PER INTERIOR SPEC & ENSURE ALL SURFACES ARE FREE OF DEFECTS. PROVIDE MINIMUM 2 COATS PRIMER & ADDITIONAL 2 COATS FINISH PAINT. EGGSHELL FINISH ON WALLS & FLAT FINISH ON CEILINGS. TYPICAL.
- PROVIDE POWER, GAS & WATER FINAL CONNECTIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PER CODE REQUIREMENTS & MFR RECOMMENDATIONS.



(E) JAMB SIGN DETAIL
 3/8" = 1'-0" 4



ELEVATION @ (E) 1ST FLOOR ELEVATOR LOBBY
 3/8" = 1'-0" 3

IN CASE OF FIRE USE STAIRWAY FOR EXIT DO NOT USE ELEVATORS

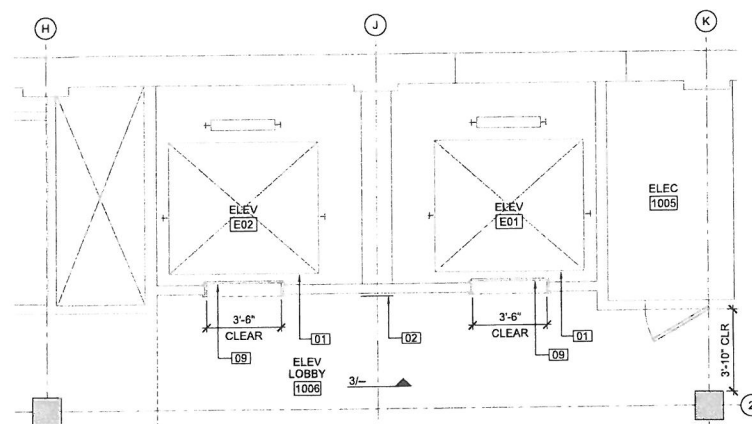
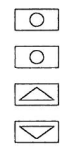
FOR RECALLING ELEVATOR TO POSITION RECALL ELEVATOR BY THE LANDING UP/FLOOR ALLOWING AUTOMATIC ELEVATOR OPERATION

FOR FIRE SERVICE FROM FIRE STATION GAGE TO TRY POSITION

PRESS AND HOLD BUTTON PRESS DOOR OR USE BUTTON TO CLOSE DOOR

PRESS LOCK PROHIBITION TO PREVENT OPERATION

TURN FIRE STATION TO OFF POSITION TO RELEASE BELLS



ENLARGED PLAN @ (E) 1ST FLOOR ELEVATOR LOBBY
 1/4" = 1'-0" 2

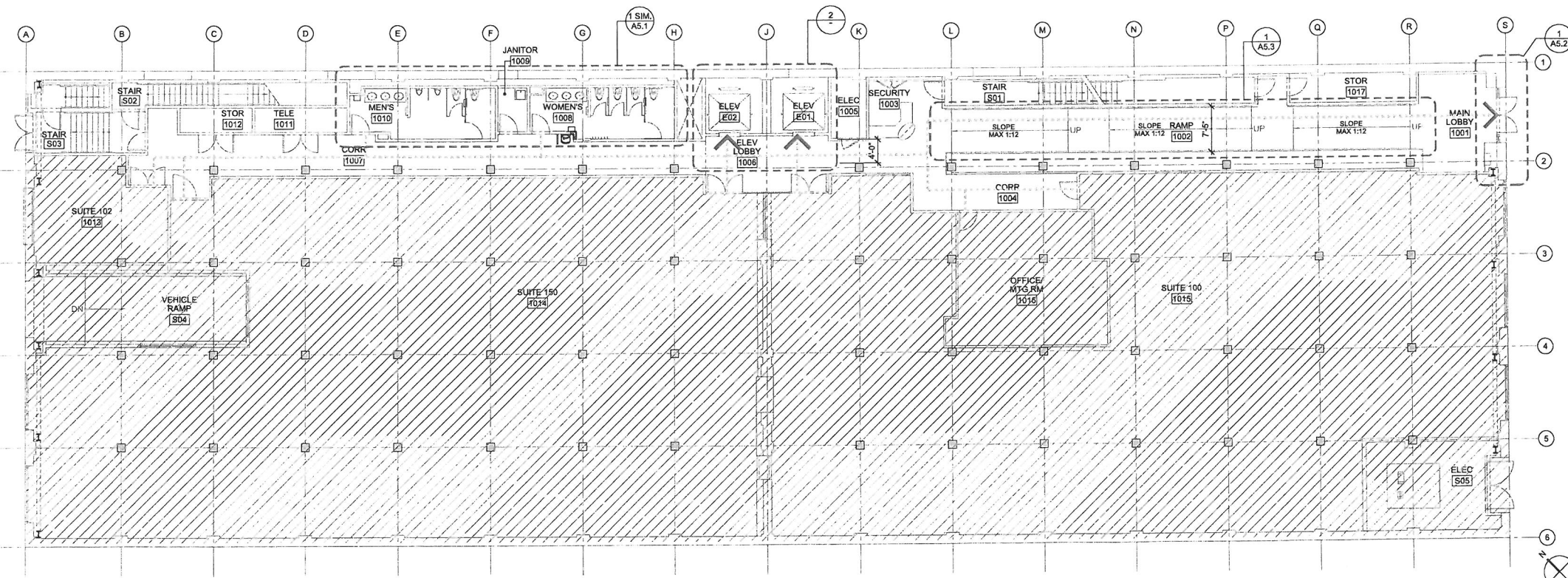
KEYNOTES

- (E) ELEVATOR - SEE SHEET A2.0 FOR INTERIOR CAB DETAILS
- (E) HALL CALL BUTTONS & HOISTWAY ACCESS
- (E) HALL LANTERN
- (E) EVACUATION SIGNAGE
- (E) WAYFINDING SIGNAGE
- (E) LANDING SIGNAGE ON JAMBS
- (E) DROPPED CEILING
- (E) FINISH FLOOR
- (E) ELEVATOR DOORS

ELEVATOR COMPLIANCE GENERAL NOTES

- ELEVATOR CALL BUTTONS, HALL LANTERNS, AND JAMB SIGNS ARE INSTALLED ON ALL FLOORS.
- FIRE DOORS ON HOLDOPENS ARE PROVIDED AT BASEMENT, 2ND, 3RD, AND 4TH FLOORS.
- EACH ELEVATOR IS AUTOMATIC AND IS PROVIDED WITH A SELF-LEVELING FEATURE THAT AUTOMATICALLY BRINGS THE CAR TO THE FLOOR LANDING WITHIN A TOLERANCE OF PLUS OR MINUS HALF AN INCH (1/2") UNDER NORMAL LOADING AND UNLOADING CONDITIONS. THIS SELF-LEVELING IS ENTIRELY AUTOMATIC AND INDEPENDENT OF THE OPERATING DEVICE AND CORRECTS THE OVER-TRAVEL OR UNDER-TRAVEL. THE CAR IS ALSO MAINTAINED APPROXIMATELY LEVEL WITH THE LANDING IRRESPECTIVE OF LOAD. CBC 1116B.1.2
- CAR DOORS AND HOISTWAY DOORS ARE POWER-OPERATED, HORIZONTALLY SLIDING AND OPENED AND CLOSED BY AUTOMATIC MEANS. CBC 1116B.1.3.
- ELEVATOR DOORS ARE PROVIDED WITH A REOPENING DEVICE THAT FUNCTIONS TO STOP AND REOPEN A CAR DOOR AND ADJACENT HOISTWAY DOOR IF THE CAR DOOR IS OBSTRUCTED WHILE CLOSING. THIS REOPENING DEVICE IS ALSO CAPABLE OF SENSING AN OBJECT OR PERSON IN THE PATH OF A CLOSING DOOR WITHOUT REQUIRING CONTACT FOR ACTIVATION AT A NOMINAL 5 INCHES AND 29 INCHES ABOVE THE FLOOR. THE DOOR REOPENING DEVICE REMAIN OPEN FOR 20 SECOND MINIMUM. CBC 1116B.1.5.
- THE EXISTING ILLUMINATION AT THE CAR CONTROLS THRESHOLD AND THE LANDING WHEN THE CAR AND LANDING DOORS ARE OPEN EXCEEDS THE MINIMUM REQUIREMENT OF 5 FOOT-CANDLES. CBC 1116B.1.12.
- PASSENGER ELEVATORS ARE LOCATED ON A MAJOR PATH OF TRAVEL AND ARE ACCESSIBLE AND USABLE AT ALL TIMES THE BUILDING IS OCCUPIED. CBC 1116B.1.15.
- SEE SHEET A2.0 FOR ELEVATOR CAB INTERIOR DIMENSIONS, ELEVATIONS, AND DETAILS.

(E) HALL CALL BUTTON W/ EMERGENCY INSTRUCTIONS
 3" = 1'-0" 5



1ST FLOOR PATH OF TRAVEL PLAN
 3/32" = 1'-0" 1

PMI Properties

410 Townsend Street
 San Francisco, CA 94107

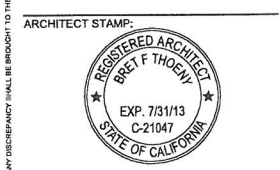
NO	DATE	SUBMITTAL
1	12.18.12	CLIENT REVISION
2	1.2.13	CLIENT REVISION
3	1.7.13	INITIAL CITY SUBMITTAL

PA / PM: BT / JL
 DRAWN BY: AP
 PROJECT NUMBER: 212115

FIRST FLOOR PLAN & ELEVATOR LOBBY DETAILS



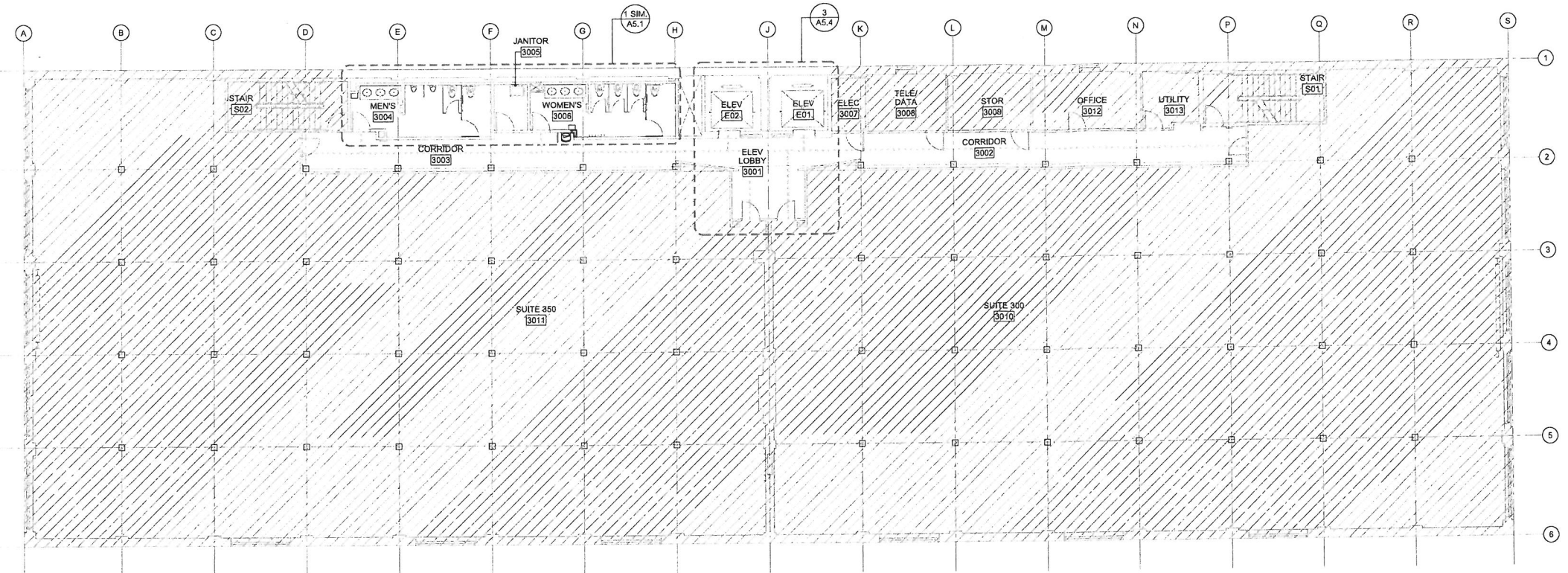
BOTO DESIGN ARCHITECTS, INC.
 1508 17TH STREET, 1ST FLOOR
 SANTA MONICA, CA 90404
 TEL 310 453 6400
 FAX 310 453 6440



CONSULTANT STAMP:

GENERAL NOTES

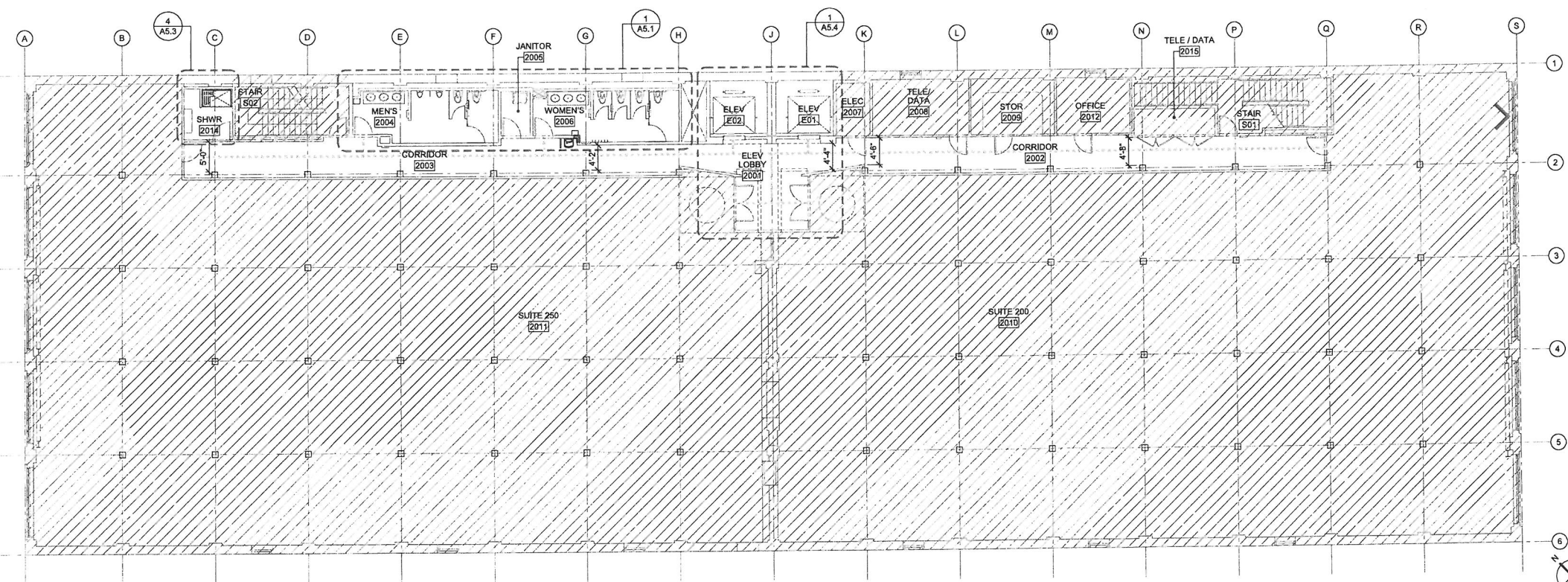
- DO NOT SCALE DRAWINGS
- GC TO ISSUE RFI (REQUEST FOR INFORMATION) FOR ITEMS THAT ARE UNCLEAR OR CONTRADICTORY. ANY ASSUMPTIONS SHOULD BE IN WRITING & NO DEVIATIONS FROM THE DRAWINGS OR SPECS SHALL BE ACCEPTED UNLESS APPROVED.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- ALL DIMENSIONS FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- PROVIDE STRUCTURAL STEEL & WOOD FRAMING PER STRUCTURAL DWGS. GC TO BRING TO ARCHITECTS ATTENTION ANY MAJOR DISCREPANCIES PRIOR TO COMMENCING WORK.
- FIRE SPRINKLER SYSTEM TO BE MODIFIED TO ACCOMMODATE NEW PLAN. SPRINKLER CONTRACTOR TO SUBMIT LAYOUT TO ARCHITECT FOR APPROVAL. SEE FIRE SPRINKLER NOTES, SHEET T2.2 FOR LAYOUT MODIFICATIONS.
- EXISTING BUILDING AND ALL NEW WORK TO FULLY CONFORM WITH TITLE 24 HANDICAP REQUIREMENTS. ANY NON-CONFORMING CONDITIONS TO BE MADE COMPLIANT. SEE DISABILITY ACCESS NOTES SHEET T2.3.
- PREP ALL NEW WALLS FOR PAINT PER INTERIOR SPEC & ENSURE ALL SURFACES ARE FREE OF DEFECTS. PROVIDE MINIMUM 2 COATS PRIMER & ADDITIONAL 2 COATS FINISH PAINT. EGGSHELL FINISH ON WALLS & FLAT FINISH ON CEILINGS, TYPICAL. PROVIDE POWER, GAS & WATER FINAL CONNECTIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PER CODE REQUIREMENTS & MFR RECOMMENDATIONS.



3RD FLOOR PATH OF TRAVEL DIAGRAM 3/32" = 1'-0" 2

LEGEND

- EXISTING WALL TO REMAIN
- NEW FULL HEIGHT NON-BEARING PARTITION



2ND FLOOR PATH OF TRAVEL DIAGRAM 3/32" = 1'-0" 1

PMI Properties

410 Townsend Street
 San Francisco, CA 94107

NO	DATE	SUBMITTAL
	12.18.12	CLIENT REVISION
	1.2.13	CLIENT REVISION
	1.7.13	INITIAL CITY SUBMITTAL

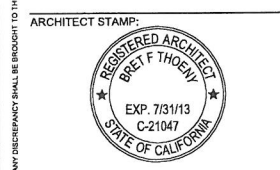
PA / PM: BT / JL
 DRAWN BY: AP
 PROJECT NUMBER: 212115

**2ND & 3RD FLOOR
 PATH OF TRAVEL
 DIAGRAMS**

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF BOTO DESIGN ARCHITECTS & ARCHITECTS. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF BOTO DESIGN ARCHITECTS & ARCHITECTS PRIOR TO THE COMMENCEMENT OF ANY WORK.



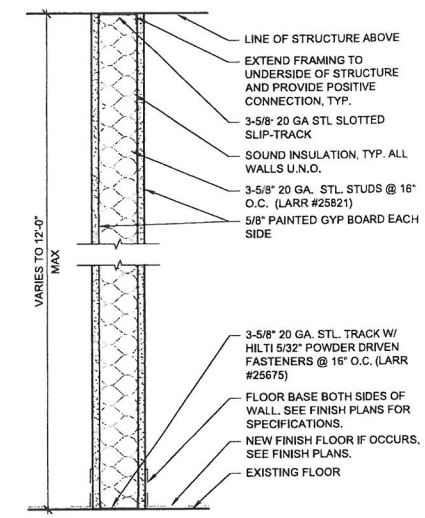
BOTO DESIGN ARCHITECTS, INC.
 1508 17TH STREET, 1ST FLOOR
 SANTA MONICA, CA 90404
 TEL 310 453 6400
 FAX 310 453 6440



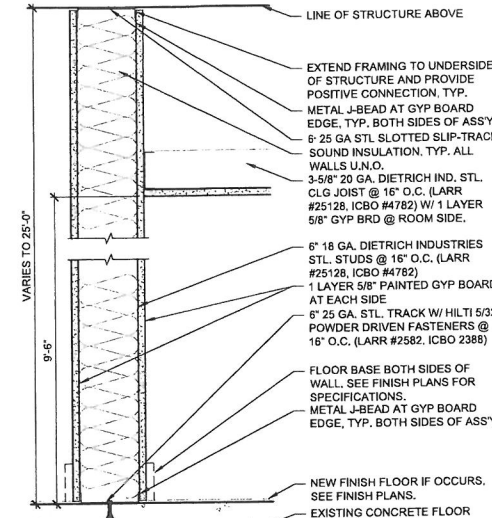
CONSULTANT STAMP:

GENERAL NOTES

- DO NOT SCALE DRAWINGS
- GC TO ISSUE RFI (REQUEST FOR INFORMATION) FOR ITEMS THAT ARE UNCLEAR, OR CONTRADICTORY. ANY ASSUMPTIONS SHOULD BE IN WRITING & NO DEVIATIONS FROM THE DRAWINGS OR SPECS SHALL BE ACCEPTED UNLESS APPROVED.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- ALL DIMENSIONS FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- PROVIDE STRUCTURAL STEEL & WOOD FRAMING PER STRUCTURAL DWGS. GC TO BRING TO ARCHITECTS ATTENTION ANY MAJOR DISCREPANCIES PRIOR TO COMMENCING WORK.
- FIRE SPRINKLER SYSTEM TO BE MODIFIED TO ACCOMMODATE NEW PLAN. SPRINKLER CONTRACTOR TO SUBMIT LAYOUT TO ARCHITECT FOR APPROVAL. SEE FIRE SPRINKLER NOTES, SHEET T2.2 FOR LAYOUT MODIFICATIONS.
- EXISTING BUILDING AND ALL NEW WORK TO FULLY CONFORM WITH TITLE 24 HANDICAP REQUIREMENTS. ANY NON-COMFORMING CONDITIONS TO BE MADE COMPLIANT. SEE DISABILITY ACCESS NOTES SHEET T2.3.
- PREP ALL NEW WALLS FOR PAINT PER INTERIOR SPEC & ENSURE ALL SURFACES ARE FREE OF DEFECTS. PROVIDE MINIMUM 2 COATS PRIMER & ADDITIONAL 2 COATS FINISH PAINT. EGGSHELL FINISH ON WALLS & FLAT FINISH ON CEILINGS, TYPICAL.
- PROVIDE POWER, GAS & WATER FINAL CONNECTIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PER CODE REQUIREMENTS & MFR RECOMMENDATIONS.



WALL TYPE 2: 3-5/8" MTL STUD FULL-HT PARTITION
 3/32" = 1'-0" ③

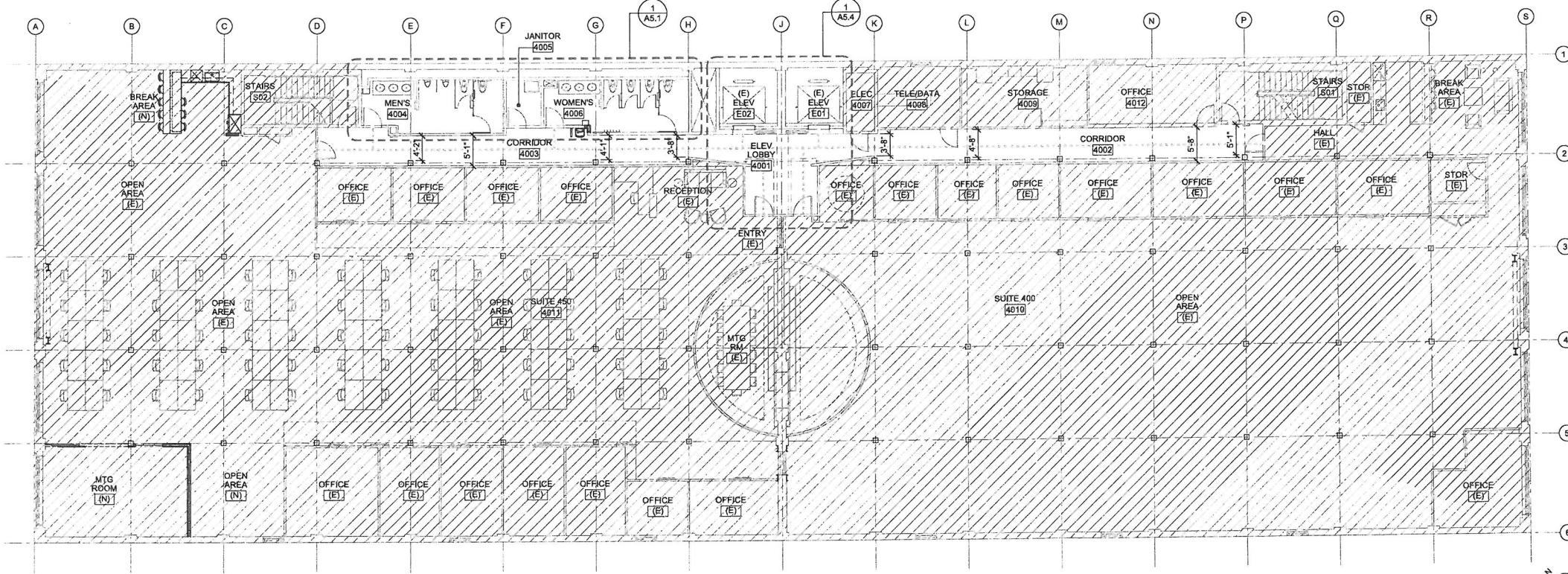


WALL TYPE 1: 6" MTL STUD FULL-HT PARTITION
 1/2" = 1'-0" ②

<OMITTED>
 1/4" = 1'-0" ④

LEGEND

- EXISTING WALL TO REMAIN
- NEW FULL HEIGHT NON-BEARING PARTITION
- SEE A2.3 FOR PARTITION TYPES



4TH FLOOR PATH OF TRAVEL DIAGRAM
 3/32" = 1'-0" ①

PMI Properties

410 Townsend Street
 San Francisco, CA 94107

NO	DATE	SUBMITTAL
	12.18.12	CLIENT REVISION
	1.2.13	CLIENT REVISION
	1.7.13	INITIAL CITY SUBMITTAL

PA / PM: BT / JL
 DRAWN BY: AP
 PROJECT NUMBER: 212115

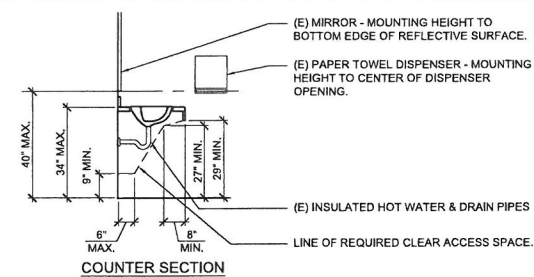
4TH FLOOR PATH OF TRAVEL DIAGRAM & ADDITIONAL DETAILS

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF BOTO DESIGN ARCHITECTS & ACOUSTICS. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF BOTO DESIGN ARCHITECTS & ACOUSTICS IS STRICTLY PROHIBITED. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF BOTO DESIGN ARCHITECTS & ACOUSTICS PRIOR TO THE COMMENCEMENT OF ANY WORK.

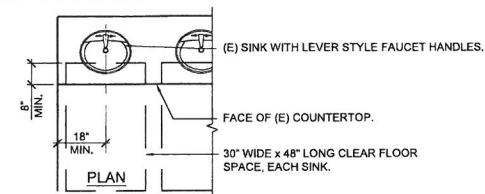
ARCHITECT STAMP:



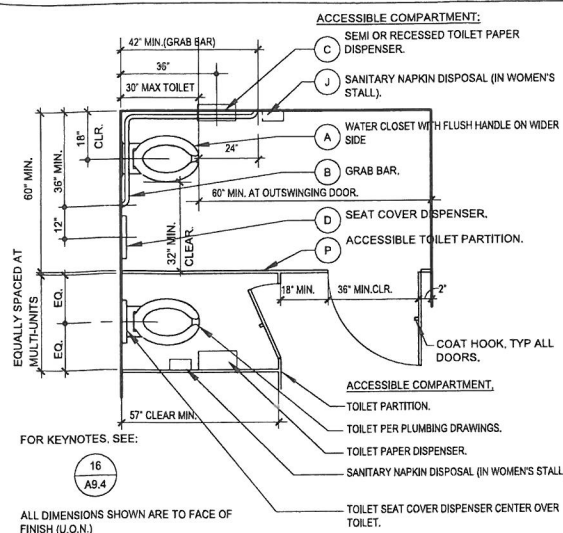
CONSULTANT STAMP:



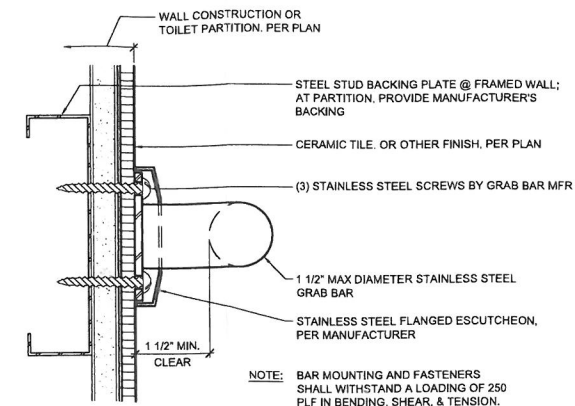
NOTE: ALL OPERABLE PARTS AND ACCESS OPENINGS FOR ALL TOILET ACCESSORIES SHALL BE WITHIN 40" OF THE FINISH FLOOR.



ADA REQUIREMENTS FOR SINK @ COUNTER 8
3/8" = 1'-0"

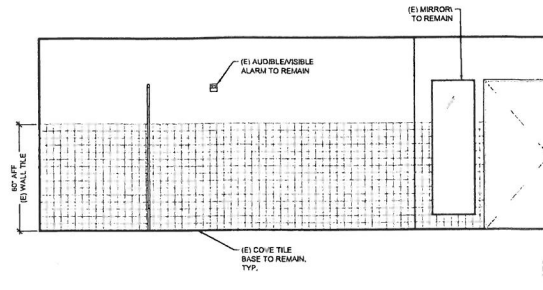
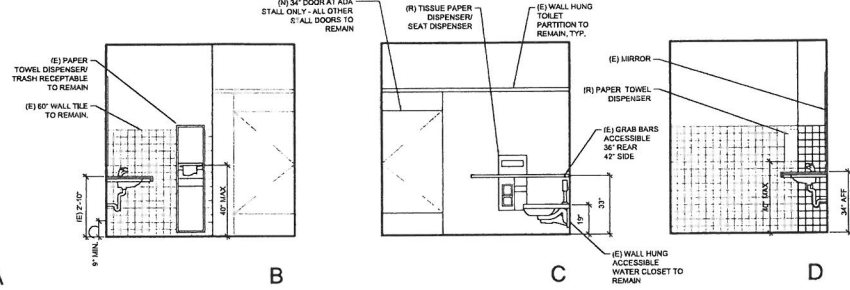
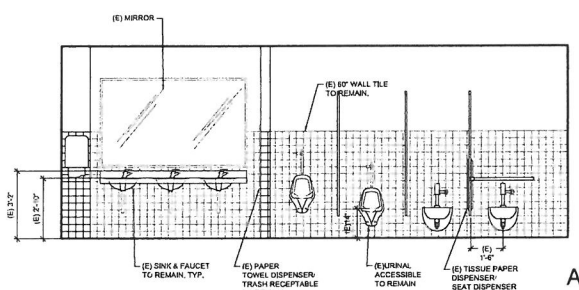


BATHROOM STALL REQUIREMENTS 7
N.T.S.

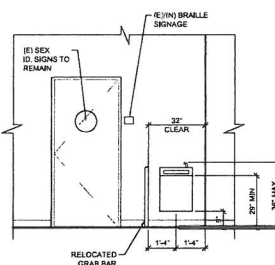


ADA GRAB BAR DETAIL 4
N.T.S.

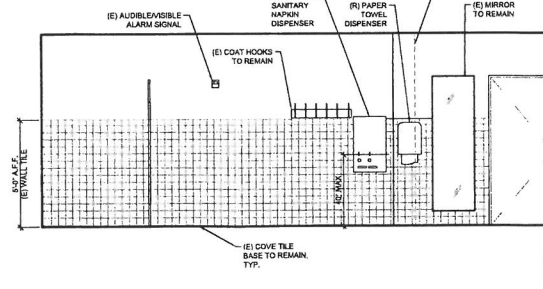
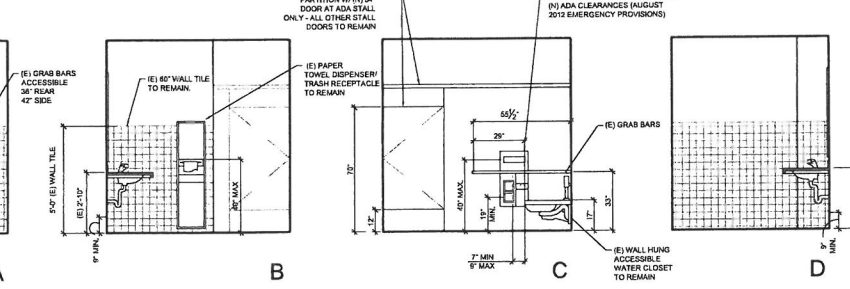
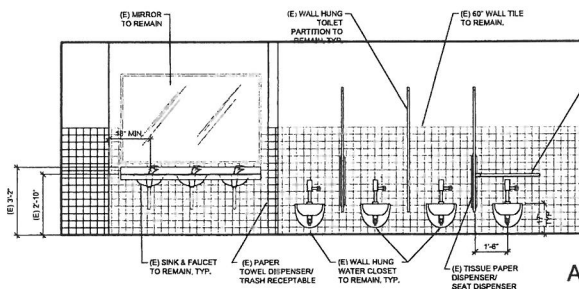
<OMITTED> 9
1/4" = 1'-0"



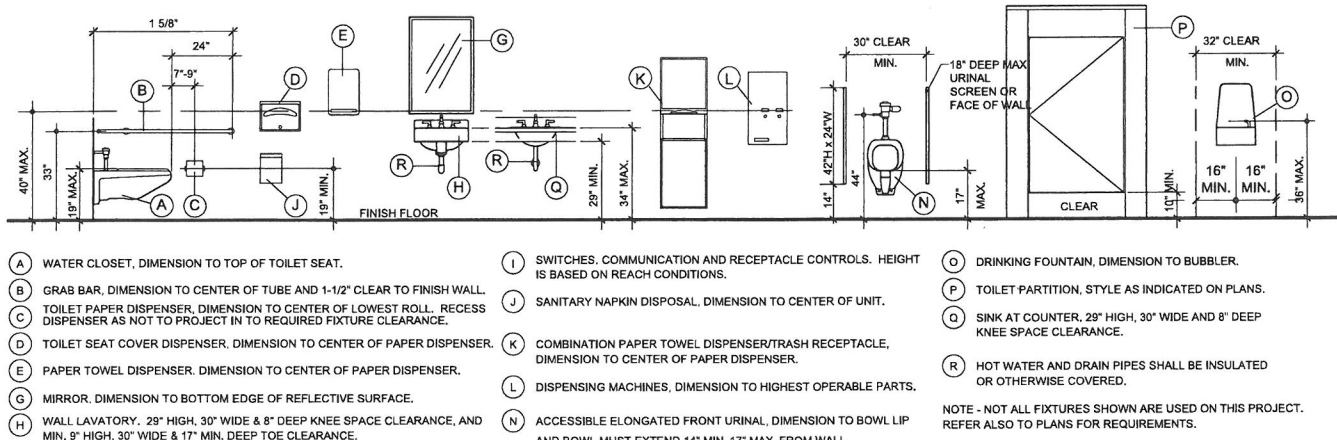
(E) TYPICAL MEN'S RESTROOM INTERIOR ELEVATIONS 3
1/4" = 1'-0"



TYPICAL ELEVATION @ CORRIDOR 6
1/4" = 1'-0"

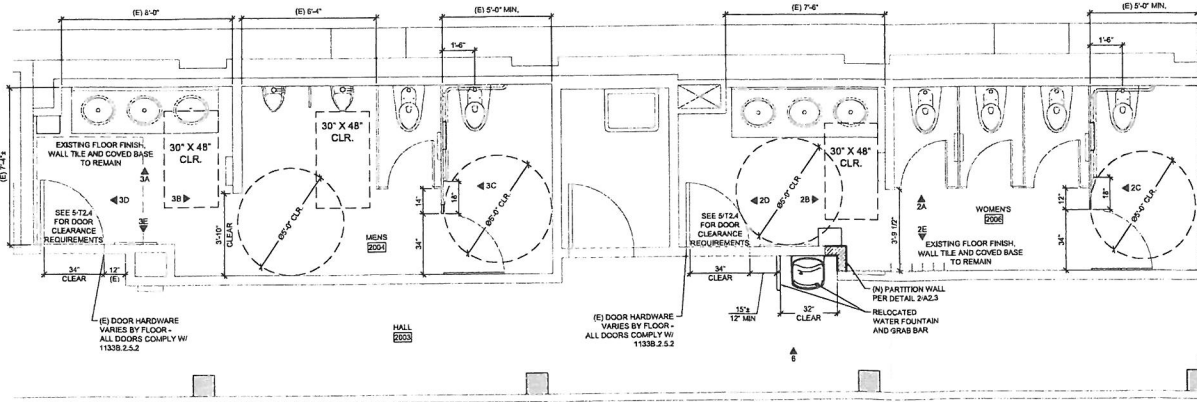


(E) TYPICAL WOMEN'S RESTROOM INTERIOR ELEVATIONS 2
1/4" = 1'-0"



- A WATER CLOSET, DIMENSION TO TOP OF TOILET SEAT.
 - B GRAB BAR, DIMENSION TO CENTER OF TUBE AND 1-1/2" CLEAR TO FINISH WALL.
 - C TOILET PAPER DISPENSER, DIMENSION TO CENTER OF LOWEST ROLL, RECESS DISPENSER AS NOT TO PROJECT IN TO REQUIRED FIXTURE CLEARANCE.
 - D TOILET SEAT COVER DISPENSER, DIMENSION TO CENTER OF PAPER DISPENSER.
 - E PAPER TOWEL DISPENSER, DIMENSION TO CENTER OF PAPER DISPENSER.
 - G MIRROR, DIMENSION TO BOTTOM EDGE OF REFLECTIVE SURFACE.
 - H WALL LAVATORY, 29" HIGH, 30" WIDE & 8" DEEP KNEE SPACE CLEARANCE, AND MIN. 9" HIGH, 30" WIDE & 17" MIN. DEEP TOE CLEARANCE.
 - I SWITCHES, COMMUNICATION AND RECEPTACLE CONTROLS. HEIGHT IS BASED ON REACH CONDITIONS.
 - J SANITARY NAPKIN DISPOSAL, DIMENSION TO CENTER OF UNIT.
 - K COMBINATION PAPER TOWEL DISPENSER/TRASH RECEPTACLE, DIMENSION TO CENTER OF PAPER DISPENSER.
 - L DISPENSING MACHINES, DIMENSION TO HIGHEST OPERABLE PARTS.
 - O DRINKING FOUNTAIN, DIMENSION TO BUBBLER.
 - P TOILET PARTITION, STYLE AS INDICATED ON PLANS.
 - Q SINK AT COUNTER, 29" HIGH, 30" WIDE AND 8" DEEP KNEE SPACE CLEARANCE.
 - R HOT WATER AND DRAIN PIPES SHALL BE INSULATED OR OTHERWISE COVERED.
- NOTE - NOT ALL FIXTURES SHOWN ARE USED ON THIS PROJECT. REFER ALSO TO PLANS FOR REQUIREMENTS.

TYPICAL ADA RESTROOM MOUNTING HEIGHTS & CLEARANCES 5
N.T.S.



ENLARGED PLAN @ 2ND FL. RESTROOMS - TYPICAL AT FLOORS 1, 3, & 4 1
1/4" = 1'-0"

PMI Properties
410 Townsend Street
San Francisco, CA 94107

NO	DATE	SUBMITTAL
	12.18.12	CLIENT REVISION
	1.2.13	CLIENT REVISION
	1.7.13	INITIAL CITY SUBMITTAL

PA / PM: BT / JL
DRAWN BY: AP
PROJECT NUMBER: 212115

ENLARGED PLANS & ELEVATIONS - TYPICAL RESTROOMS



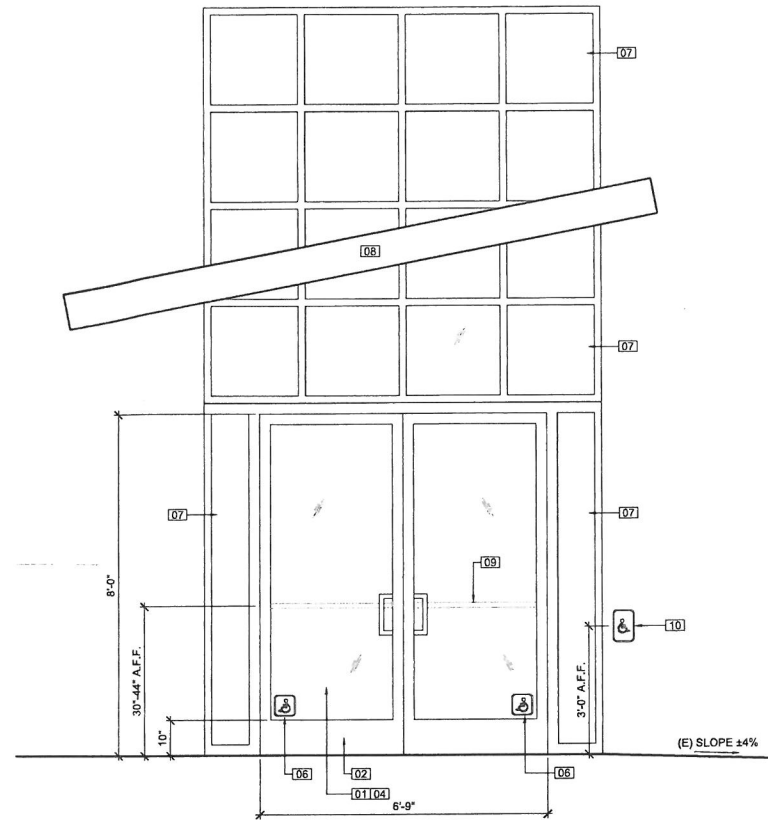
BOTO DESIGN ARCHITECTS, INC.
 1508 17TH STREET, 1ST FLOOR
 SANTA MONICA, CA 90404
 TEL 310 453 6400
 FAX 310 453 6440

GENERAL NOTES

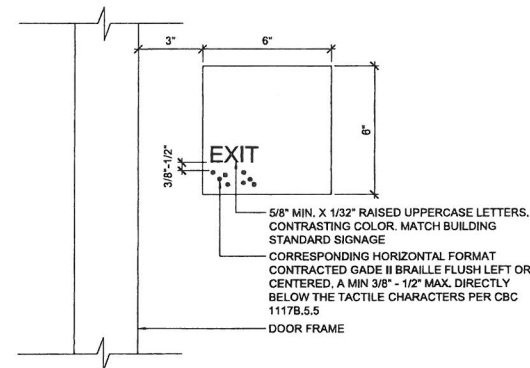
- DO NOT SCALE DRAWINGS
- GC TO ISSUE RFI (REQUEST FOR INFORMATION) FOR ITEMS THAT ARE UNCLEAR, OR CONTRADICTORY. ANY ASSUMPTIONS SHOULD BE IN WRITING & NO DEVIATIONS FROM THE DRAWINGS OR SPECS SHALL BE ACCEPTED UNLESS APPROVED.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- ALL DIMENSIONS FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- EXISTING BUILDING AND ALL NEW WORK TO FULLY CONFORM WITH TITLE 24 HANDICAP REQUIREMENTS. ANY NON-CONFORMING CONDITIONS TO BE MADE COMPLIANT. SEE DISABILITY ACCESS NOTES SHEET T2.3.
- CLEAR OPENINGS MUST BE BETWEEN THE DOOR IN ITS 90° OPENING POSITION AND THE FACE OF THE STOP.
- CONTRACTOR TO FIELD VERIFY ALL PATH OF TRAVEL CONDITIONS PRIOR TO BID SUBMITTAL AND CONSTRUCTION.

KEYNOTES

- (E) EXTERIOR STOREFRONT DOUBLE SWING DOORS
- 10" HIGH KICK PLATE OR SMOOTH AT BASE.
- 1/2" MAX. THRESHOLD, SEE DETAIL 3/72.4.
- GC TO VERIFY EXISTING ENTRY DOORS DO NOT REQUIRE MORE THAN 5 LB OF PRESSURE TO OPERATE & ADJUST AS REQUIRED.
- (E) LANDING - EXTERIOR LANDING NOT TO EXCEED 2% SLOPE. INTERIOR LANDING TO BE LEVEL.
- (E) 6' X 6' MINIMUM INTERNATIONAL SYMBOL OF ACCESSIBILITY ON BOTH SIDES OF ACCESSIBLE DOOR PER CBC 117B.5.8.1.2 AND CBC 117B.5.8.1.1.
- (E) WINDOW TO REMAIN
- (E) STEEL AWNING TO REMAIN
- REPLACE (E) NON-CONFORMING PUSH BAR HARDWARE AT INTERIOR SIDE OF BOTH DOORS TO COMPLY WITH MAX. MOUNTING HEIGHT.
- (N) 6" W X 5" H INTERNATIONAL SYMBOL OF ACCESSIBILITY MOUNTED AT 36" MIN. A.F.F.
- (N) TACTILE/BRAILLE SIGN WITH THE WORD 'EXIT' PER CBC 1011.3.1. SEE DETAIL 3-.



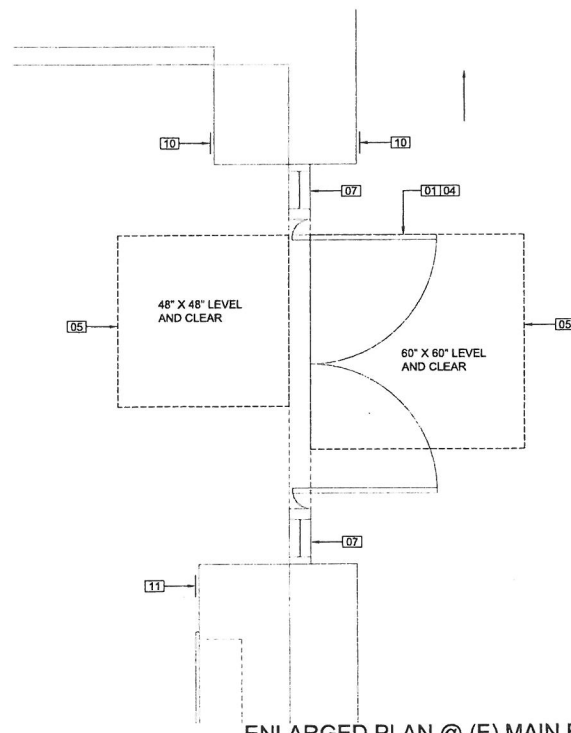
EXTERIOR ELEVATION @ (E) MAIN ENTRY 1/2" = 1'-0" 2



INSTALLED 60" A.F.F. TO CENTERLINE. ALL EXIT SIGNS WITHIN TENANT SUITES SHALL BE CLEAR PLEXIGLASS WITH CONTRASTING LETTERS

LOCATION	SIGN CONTENT	EXPLANATION
SUITE EXIT DOORS	EXIT ROUTE	EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN
STAIR ENTRY DOORS	EXIT STAIR DOWN (OR UP)	EACH EXIT DOOR LEADING TO A GRADE LEVEL EXIT BY MEANS OF A STAIR
STAIR OR EXTERIOR GRADE LEVEL OR EXIT	EXIT	EACH GRADE LEVEL EXIT DOOR

TACTILE EXIT SIGN 3" = 1'-0" 3



ENLARGED PLAN @ (E) MAIN ENTRY 1/2" = 1'-0" 1

ARCHITECT STAMP:



CONSULTANT STAMP:

PMI Properties

410 Townsend Street
 San Francisco, CA 94107

NO	DATE	SUBMITTAL
	12.18.12	CLIENT REVISION
	1.2.13	CLIENT REVISION
	1.7.13	INITIAL CITY SUBMITTAL

PA / PM: BT / JL
 DRAWN BY: AP
 PROJECT NUMBER: 212115

ENLARGED FLOOR PLAN & ELEVATION - (E) MAIN ENTRY



BOTO DESIGN ARCHITECTS, INC.
1508 17TH STREET, 1ST FLOOR
SANTA MONICA, CA 90404
TEL 310 453 6400
FAX 310 453 6440

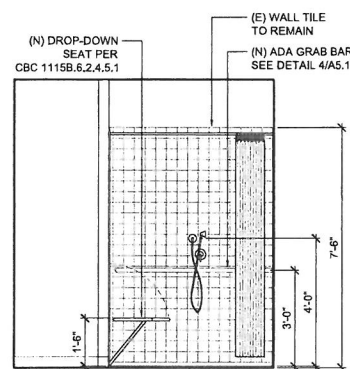
ARCHITECT STAMP:



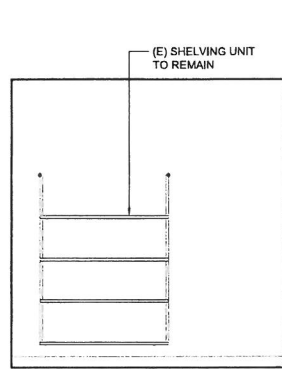
CONSULTANT STAMP:

GENERAL NOTES

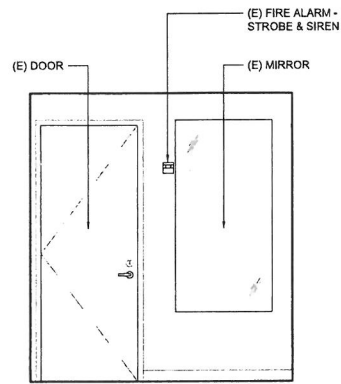
- DO NOT SCALE DRAWINGS
- GC TO ISSUE RFI (REQUEST FOR INFORMATION) FOR ITEMS THAT ARE UNCLEAR, OR CONTRADICTORY. ANY ASSUMPTIONS SHOULD BE IN WRITING & NO DEVIATIONS FROM THE DRAWINGS OR SPECS SHALL BE ACCEPTED UNLESS APPROVED.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- ALL DIMENSIONS FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- PROVIDE STRUCTURAL STEEL & WOOD FRAMING PER STRUCTURAL DWGS. GC TO BRING TO ARCHITECTS ATTENTION ANY MAJOR DISCREPANCIES PRIOR TO COMMENCING WORK.
- ALL STRUCTURAL FRAMING & MEMBERS SHOWN TO INDICATE INTENT ONLY. REFER TO STRUCTURAL DRAWINGS FOR MEMBER SIZING & DETAILS.
- PROVIDE PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS. FOR WALLS WITH ONLY A PORTION DESIGNATED AS A SHEAR PANEL, PROVIDE CDX PLYWOOD TO ENSURE THAT WALL FINISHES ARE SMOOTH & FLUSH ON THE NON-SHEAR PORTION.
- FIRE SPRINKLER SYSTEM TO BE MODIFIED TO ACCOMMODATE NEW PLAN. SPRINKLER CONTRACTOR TO SUBMIT LAYOUT TO ARCHITECT FOR APPROVAL. SEE FIRE SPRINKLER NOTES, SHEET T2.2 FOR LAYOUT MODIFICATIONS.
- EXISTING BUILDING AND ALL NEW WORK TO FULLY CONFORM WITH TITLE 24 HANDICAP REQUIREMENTS. ANY NON-COMFORMING CONDITIONS TO BE MADE COMPLIANT. SEE DISABILITY ACCESS NOTES SHEET T2.3.
- SEE SHEET A12.1 FOR WALL TYPES & DETAILS.



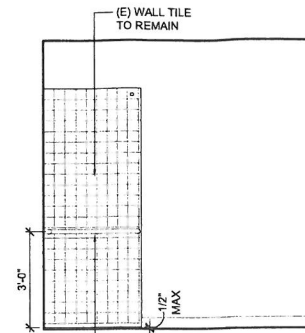
A



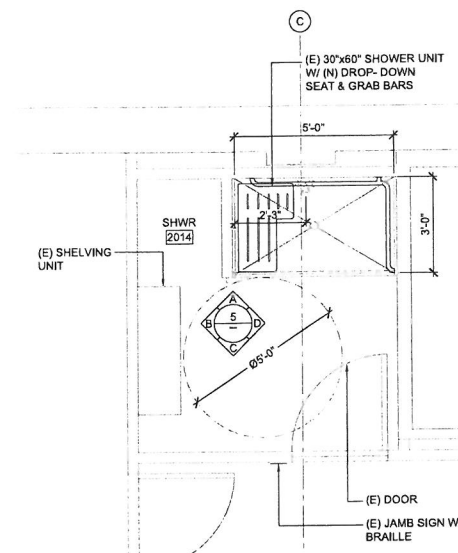
B



C



D

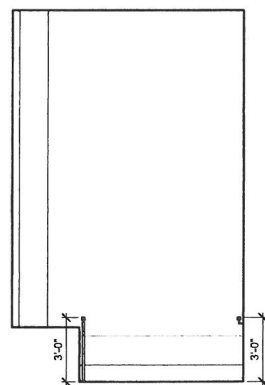


(E) SHOWER @ 2ND FLOOR

3/8" = 1'-0" 4

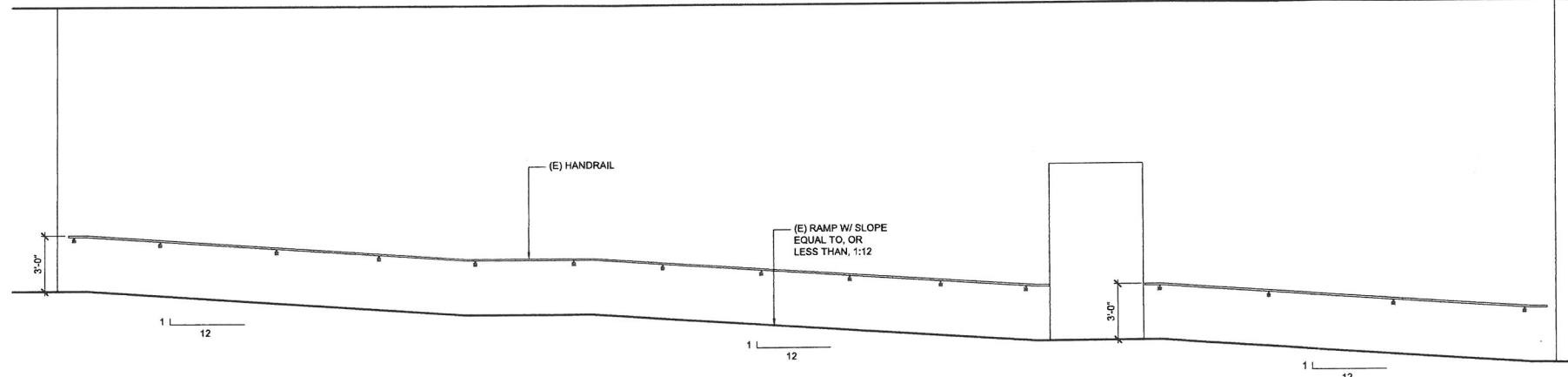
INTERIOR ELEVATIONS @ (E) SHOWER #2014

3/8" = 1'-0" 5



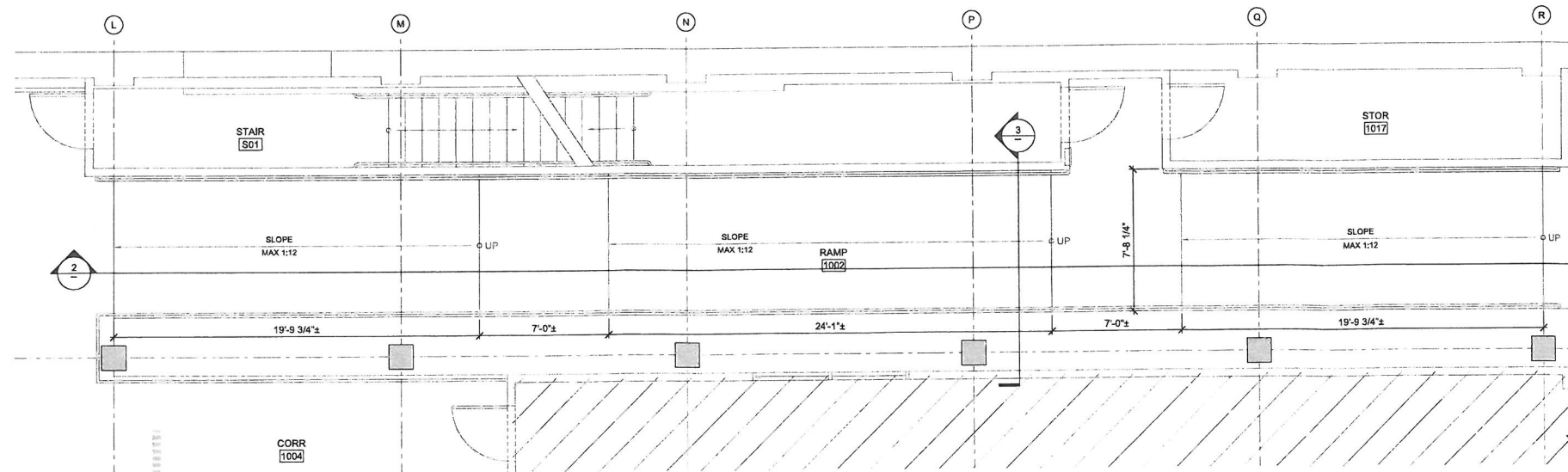
CROSS SECTION @ 1ST FLOOR RAMP

1/4" = 1'-0" 3



SECTION ELEVATION @ 1ST FLOOR RAMP

1/4" = 1'-0" 2



ENLARGED PLAN - 1ST FLOOR RAMP

1/4" = 1'-0" 1

PMI Properties
410 Townsend Street
San Francisco, CA 94107

NO. DATE SUBMITTAL

12.18.12 INITIAL CITY SUBMITTAL



BOTO DESIGN ARCHITECTS, INC.
1508 17TH STREET, 1ST FLOOR
SANTA MONICA, CA 90404
TEL 310 453 6400
FAX 310 453 6440

ARCHITECT STAMP:



CONSULTANT STAMP:

GENERAL NOTES

- DO NOT SCALE DRAWINGS
- GC TO ISSUE RFI (REQUEST FOR INFORMATION) FOR ITEMS THAT ARE UNCLEAR, OR CONTRADICTORY. ANY ASSUMPTIONS SHOULD BE IN WRITING & NO DEVIATIONS FROM THE DRAWINGS OR SPECS SHALL BE ACCEPTED UNLESS APPROVED.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- ALL DIMENSIONS FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- PROVIDE STRUCTURAL STEEL & WOOD FRAMING PER STRUCTURAL DWGS. GC TO BRING TO ARCHITECTS ATTENTION ANY MAJOR DISCREPANCIES PRIOR TO COMMENCING WORK.
- ALL STRUCTURAL FRAMING & MEMBERS SHOWN TO INDICATE INTENT ONLY. REFER TO STRUCTURAL DRAWINGS FOR MEMBER SIZING & DETAILS.
- PROVIDE PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS. FOR WALLS WITH ONLY A PORTION DESIGNATED AS A SHEAR PANEL, PROVIDE CDX PLYWOOD TO ENSURE THAT WALL FINISHES ARE SMOOTH & FLUSH ON THE NON-SHEAR PORTION.
- FIRE SPRINKLER SYSTEM TO BE MODIFIED TO ACCOMMODATE NEW PLAN. SPRINKLER CONTRACTOR TO SUBMIT LAYOUT TO ARCHITECT FOR APPROVAL. SEE FIRE SPRINKLER NOTES, SHEET T2.2 FOR LAYOUT MODIFICATIONS.
- EXISTING BUILDING AND ALL NEW WORK TO FULLY CONFORM WITH TITLE 24 HANDICAP REQUIREMENTS. ANY NON-CONFORMING CONDITIONS TO BE MADE COMPLIANT. SEE DISABILITY ACCESS NOTES SHEET T2.3.
- SEE SHEET A12.1 FOR WALL TYPES & DETAILS.

KEYNOTES

- (E) ELEVATOR - SEE SHEET A2.0 FOR INTERIOR CAB DETAILS
- (E) HALL CALL BUTTONS & HOISTWAY ACCESS
- (E) HALL LANTERN
- (E) EVACUATION SIGNAGE
- NOT USED
- (E) LANDING SIGNAGE ON JAMBS
- NOT USED
- (E) FINISH FLOOR
- (E) ELEVATOR DOORS
- (E) AUDIBLE/VISIBLE ALARM PER CBC 1114B.2.2, & NFPA 72-4-4.2
- (E) BEAM

ELEVATOR COMPLIANCE

GENERAL NOTES

- ELEVATOR CALL BUTTONS, HALL LANTERNS, AND JAMB SIGNS ARE INSTALLED ON ALL FLOORS.
- FIRE DOORS ON HOLD/OPENS ARE PROVIDED AT BASEMENT, 2ND, 3RD, AND 4TH FLOORS.
- EACH ELEVATOR IS AUTOMATIC AND IS PROVIDED WITH A SELF-LEVELING FEATURE THAT AUTOMATICALLY BRINGS THE CAR TO THE FLOOR LANDINGS WITHIN A TOLERANCE OF PLUS OR MINUS HALF AN INCH (1/2") UNDER NORMAL LOADING AND UNLOADING CONDITIONS. THIS SELF-LEVELING IS ENTIRELY AUTOMATIC AND INDEPENDENT OF THE OPERATING DEVICE AND CORRECTS THE OVER-TRAVEL OR UNDER-TRAVEL. THE CAR IS ALSO MAINTAINED APPROXIMATELY LEVEL WITH THE LANDING IRRESPECTIVE OF LOAD. CBC 1116B.1.2
- CAR DOORS AND HOISTWAY DOORS ARE POWER-OPERATED, HORIZONTALLY SLIDING AND OPENED AND CLOSED BY AUTOMATIC MEANS. CBC 1116B.1.3.
- ELEVATOR DOORS ARE PROVIDED WITH A REOPENING DEVICE THAT FUNCTIONS TO STOP AND REOPEN A CAR DOOR AND ADJACENT HOISTWAY DOOR IF THE CAR DOOR IS OBSTRUCTED WHILE CLOSING. THIS REOPENING DEVICE IS ALSO CAPABLE OF SENSING AN OBJECT OR PERSON IN THE PATH OF A CLOSING DOOR WITHOUT REQUIRING CONTACT FOR ACTIVATION AT A NOMINAL 5 INCHES AND 29 INCHES ABOVE THE FLOOR. THE DOOR REOPENING DEVICE REMAIN OPEN FOR 20 SECOND MINIMUM. CBC 1116B.1.5.
- THE EXISTING ILLUMINATION AT THE CAR CONTROLS THRESHOLD AND THE LANDING WHEN THE CAR AND LANDING DOORS ARE OPEN EXCEEDS THE MINIMUM REQUIREMENT OF 5 FOOT-CANDLES. CBC 1116B.1.12.
- PASSENGER ELEVATORS ARE LOCATED ON A MAJOR PATH OF TRAVEL AND ARE ACCESSIBLE AND USABLE AT ALL TIMES THE BUILDING IS OCCUPIED. CBC 1116B.1.15.
- SEE SHEET A2.0 FOR ELEVATOR CAB INTERIOR DIMENSIONS, ELEVATIONS, AND DETAILS.

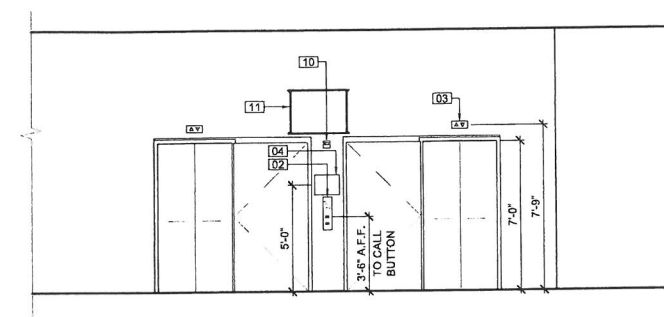
PMI Properties

410 Townsend Street
San Francisco, CA 94107

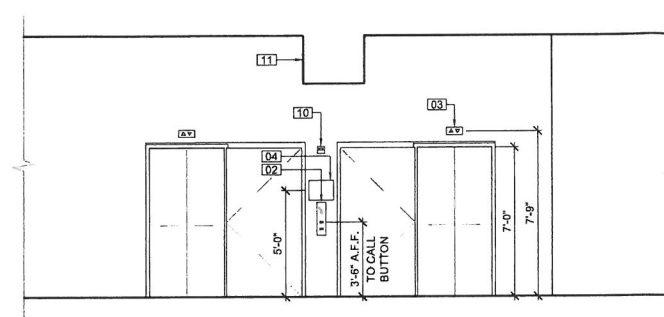
NO	DATE	SUBMITTAL
12.18.12		CLIENT REVISION
1.2.13		CLIENT REVISION
1.7.13		INITIAL CITY SUBMITTAL

PA / PM: BT / JL
DRAWN BY: AP
PROJECT NUMBER: 212115

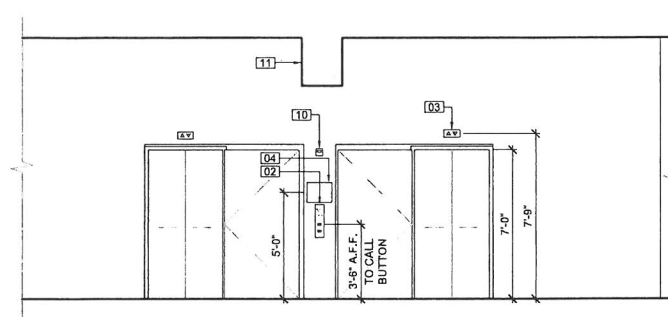
ENLARGED PLANS & ELEVATIONS - ELEVATOR LOBBIES AT FLOORS 2-4



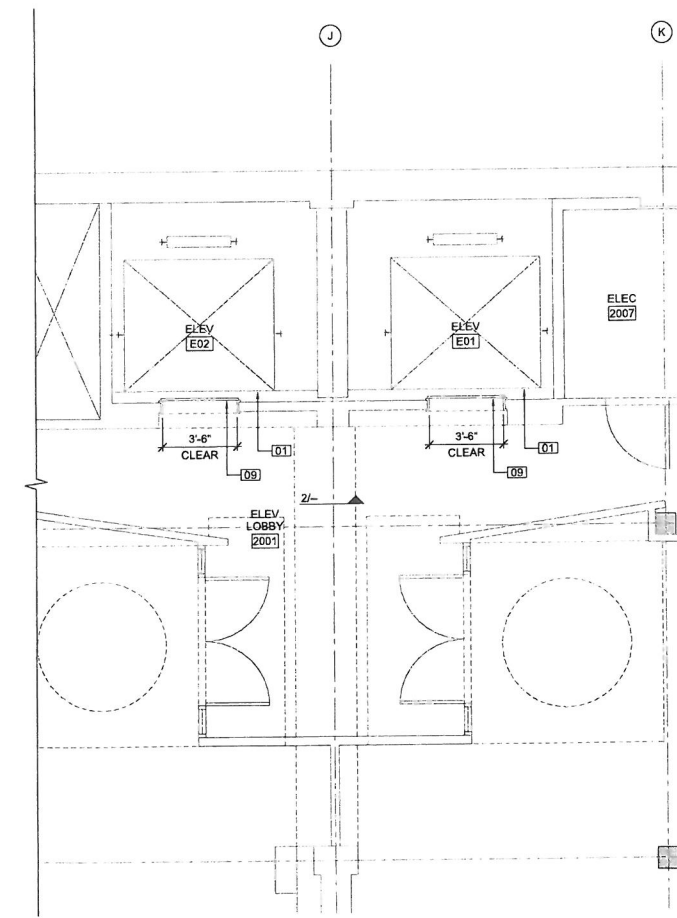
ENLARGED ELEVATION - 2ND FLOOR ELEVATOR LOBBY 2
1/4" = 1'-0"



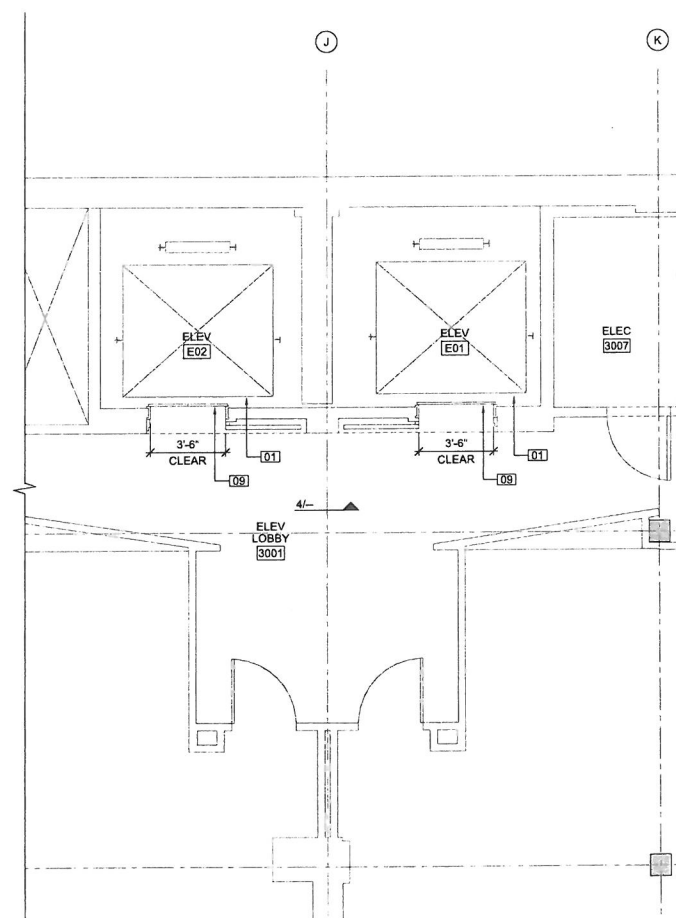
ENLARGED ELEVATION - 3RD FLOOR ELEVATOR LOBBY 4
1/4" = 1'-0"



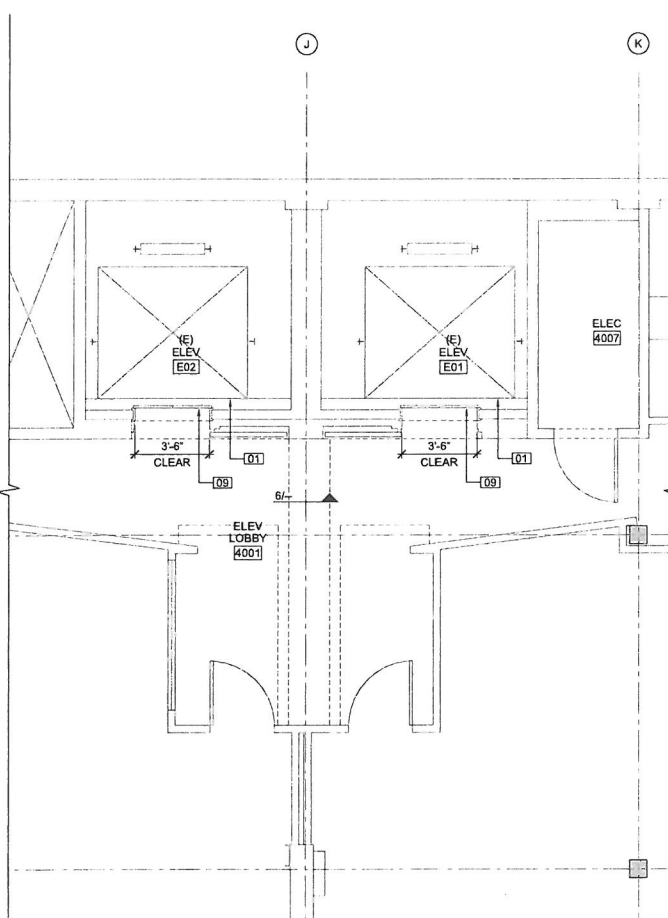
ENLARGED ELEVATION - 4TH FLOOR ELEVATOR LOBBY 6
1/4" = 1'-0"



ENLARGED PLAN - 2ND FLOOR ELEVATOR LOBBY 1
1/4" = 1'-0"



ENLARGED PLAN - 3RD FLOOR ELEVATOR LOBBY 3
1/4" = 1'-0"



ENLARGED PLAN - 4TH FLOOR ELEVATOR LOBBY 5
1/4" = 1'-0"

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF BOTO DESIGN ARCHITECTS & ACCOUSTICS AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH BOTO DESIGN ARCHITECTS & ACCOUSTICS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER RECALCULATED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF BOTO DESIGN ARCHITECTS & ACCOUSTICS PRIOR TO THE COMMENCEMENT OF ANY WORK.

EXHIBIT B

410 Townsend Street
San Francisco, CA





SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
410 Townsend Street		3785/002A	
Case No.	Permit No.	Plans Dated	
2013.0544B			
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 50 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Change in Use of 76,000 gsf from multimedia (business service) use to office use.			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.; change of use if principally permitted or with a CU.
<input type="checkbox"/>	Class 3 – New Construction. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.
<input type="checkbox"/>	Class__

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an air pollution hot spot? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Hot Spots)
<input type="checkbox"/>	Hazardous Materials: Any project site that is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve soil disturbance of any amount or a change of use from industrial to commercial/residential? If yes, should the applicant present documentation of a completed Maher Application that has been submitted to the San Francisco Department of Public Health (DPH), this box does not need to be checked, but such documentation must be appended to this form. In all other circumstances, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment and/or file a Maher Application with DPH. (refer to EP_ArcMap > Maher layer.)

<input type="checkbox"/>	Soil Disturbance/Modification: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading –including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	Serpentine Rock: Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Serpentine)
If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional):	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 50 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 50 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

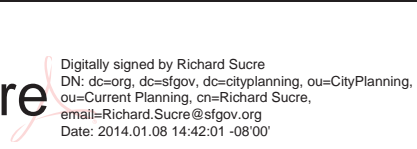
Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	3. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	4. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	5. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	6. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	8. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	9. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

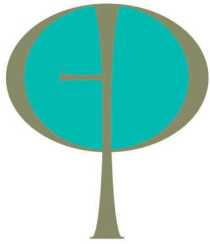
**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Richard Sucre <small>Digitally signed by Richard Sucre DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Richard Sucre, email=Richard.Sucre@sfgov.org Date: 2014.01.08 14:42:00 -0800</small>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name: Rich Sucre	Signature or Stamp: 
	Project Approval Action: Planning Commission Hearing <small>*If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</small>	<small>Digitally signed by Richard Sucre DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Richard Sucre, email=Richard.Sucre@sfgov.org Date: 2014.01.08 14:42:01 -0800</small>
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.		



Greenlight Plan – Land Use Consultants

PO Box 210106
San Francisco, CA 94121
415.314.8185
www.greenlightplan.com

July 20, 2013

San Francisco Planning Commission and Staff
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: 410 Townsend Street – Office Cap Allocation and Change of Use Applications

Dear Commissioners and Staff;

The current application for a **Planning Code Section 321** - Office Allocation at 410 Townsend Street makes both policy and practical sense. For many years I worked as the Planning Department's *Project Manager* for the **Western SoMa Community Plan** and as staff to the *Western SoMa Citizens Planning Task Force*. This application embodies the policies and intent of the adopted **Western SoMa Community Plan** as-well-as conformance with all associated **Planning Code** requirements. Planning Commission approval of this application has great merit in the *Western SoMa Mixed Use Office* (MUO) district.

In the early years of this century, the Board of Supervisors appointed *Western SoMa Citizens Planning Task Force* who conducted regular advertized public meetings in City Hall and numerous planning workshops and neighborhood Town Hall meetings. The Townsend Street corridor, in the "plan area" between 4th and 7th Streets, including the location of 410 Townsend Street (near 5th Street), was carefully evaluated for office uses during years of community discussions. The *Task Force*, for a time, considered restricting the allowable office uses to "digital media" activities as a subset of general office uses. The *Task Force*, however, and after developing draft design standards and evaluating the historic building character of the corridor, recommended Townsend Street height increases and allowances for "general" office in a mixed-use commercial corridor. The Planning Commission and subsequent 2013 Board of Supervisor's approval of this **Western SoMa Community Plan** ratified nearly all the *Task Force* recommendations for this mixed-use office corridor.

Approval of an office allocation at 410 Townsend Street provides environmentally appropriate office space by way of building conversion and preservation of historic neighborhood fabric. Additionally, this office allocation provides highly desirable space for the "knowledge sector." For San Francisco, a flourishing knowledge sector is key in a healthy economic future. This application is clearly worthy of both a positive staff recommendation and Commission approval.

Sincerely,

Paul A. Lord, Jr.
Managing Director