



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JULY 18, 2013

Date: July 11, 2013
Case No.: **2013.0259CV**
Project Address: **3771 and 3781 CESAR CHAVEZ STREET**
Zoning: RH-2 (Residential, House, Two-Family) District
40-X Height and Bulk District
Block/Lot: 6577/ 030 and 045
Project Sponsor: Leah Potash
3771 Cesar Chavez Street
San Francisco, CA 94110
Staff Contact: Michael Smith – (415) 558-6322
michael.e.smith@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The project sponsor is seeking Conditional Use authorization pursuant to Sections 209.3(f), 209.3(j), 317, and 303 to increase enrollment at an existing pre-school (d.b.a. Gan Noe Preschool) operating at 3771 and 3781 Cesar Chavez Street and establish a religious facility. Enrollment at the pre-school would increase from a combined enrollment of 22 children to 42 children and the project would result in the removal of the dwelling unit and the existing parking at 3781 Cesar Chavez Street. The proposal does not include any significant alteration or modification to the exteriors of the existing buildings with the exception of minor changes to signage and fencing. The space would also function as a religious facility when the preschool is not in session. The project also requires a parking variance as two parking spaces are required for the use and the existing parking space at 3781 Cesar Chavez Street would be removed. The subject property is located in RH-2 (Residential, House, Two-Family) District and a 40-X Height and Bulk District.

SITE DESCRIPTION AND PRESENT USE

The Project Sites, 3771 and 3781 Cesar Chavez Street are adjacent properties (Assessor's Block 6577, Lots 030 and 045) located on the south side of Cesar Chavez Street, between Dolores and Guerrero Streets at the eastern boundary of the Noe Valley neighborhood. 3771 Cesar Chavez Street is developed with a one and a half story over basement single-family dwelling that was constructed circa 1898. The building is set back towards the rear of the lot with large enclosed landscaped yard at the front and two off-street, surface parking spaces at the front of the lot. The lot is flag shaped with a small yard located to the west of the building. Total building area is approximately 4,064 gross square-feet. A portion of the building is currently used as a preschool/home daycare for 14 children. The owners of the preschool also live at the property. 3781 Cesar Chavez Street is the adjacent property to the west of 3771 Cesar Chavez Street. The property is developed with a one-story over garage, single-family dwelling that was constructed in 1942.

The property is also used as a preschool/home daycare for 8 children. Previously, one of the teachers affiliated with the school also lived at 3781 Cesar Chavez Street and their name appears on the childcare license for that address but that person no longer lives at that address. This dwelling would be converted into the proposed preschool as part of the project. The rear yard is the primary children's play area.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project sites are located on the south side of the two-lane portion of Cesar Chavez Street which serves as the primary arterial for access to the 101 Freeway from Noe Valley. The immediate neighborhood is primarily residential, however, there are two churches and a large surface parking lot located on the north side of the street. There is a three-way signal light at both the east and west ends of the block. The adjacent properties to the west of the project sites are key lots that are much shorter than the average lot within this neighborhood. As a result of the smaller lots these properties also have smaller rear yards.

PROJECT BACKGROUND

Gan Noe Preschool has been operating at 3771 Cesar Chavez Street since 2005 as a home daycare/preschool for 14 or fewer children. In 2010, Gan Noe Preschool purchased 3781 Cesar Chavez Street and began operating a home daycare/preschool for 8 or fewer children at this location as well but under a different licensee. The two properties were licensed for a total of 22 children. In 2011, an enforcement case was opened on 3781 Cesar Chavez Street for the alleged operation of a childcare facility with more than 40 children operating without proper approvals. The Project Sponsor was notified of the enforcement case but it was never investigated by the Department and remains active. According to the Project Sponsor there are only 22 children currently enrolled at the preschool.

The Project Sponsor also operated a preschool within a single-family dwelling at 107 Justin Drive in Bernal Heights at the same time she was operating a preschool at 3771 Cesar Chavez Street. Conditional use authorization was sought for this location to expand its enrollment to 19 children but the application was cancelled in 2009 and the preschool was closed in 2010.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	June 28, 2013	June 26, 2013	22 days
Posted Notice	20 days	June 28, 2013	June 28, 2013	20 days
Mailed Notice	20 days	June 28, 2013	June 28, 2013	20 days

The proposal requires a Section 311-neighborhood notification, which was conducted in conjunction with the conditional use authorization process.

PUBLIC COMMENT

The Department received correspondence in opposition to the project from 20 neighbors including adjacent neighbors Richard and Ashley Rochman and Bill Sommer. These neighbors are concerned about parking and traffic, pedestrian safety, noise, driveway blockage related to the project.

The Project Sponsor submitted a petition signed by 40 people who have no objections to the project and staff received 32 pieces of public correspondence in support of the project.

ISSUES AND OTHER CONSIDERATIONS

- The Project Sites are located on a heavily trafficked arterial street that is the main thoroughfare for access to Highway 101 from Noe Valley. It is unknown how the increase in children would affect traffic on the street but the sponsor has agreed to implement a traffic management plan whereby teachers would help facilitate student dropoff within the driveways and within a new loading zone located between the driveways and implement a staggered pick-up and drop-off.
- The properties located to the west of the subject property are key lots that are much shorter than the average lot depth within the neighborhood. The lack of additional lot depth significantly reduces the depth of the rear yards resulting in a much smaller buffer between the children's play area these residences. To address this concern the Project Sponsor has suggested installing a taller fence within the rear yard to contain the noise. The Planning Code permits a fence within the rear yard with a maximum height of 10 feet above grade. The neighbors have not been receptive to this idea.
- The ground floor of 3781 Cesar Chavez Street would be remodeled into programmatic classroom space for the preschool resulting in the removal of the existing off-street parking space. Pursuant to Section 151 of the Planning Code, the proposed preschool requires two off-street parking spaces. Therefore, the project requires a parking variance for two off-street parking spaces.
- The Project Sponsor is also seeking conditional use authorization for a religious facility (d.b.a. Chabad of Noe Valley). The facility would operate a number of weekly programs with 12 or fewer attendees at any given time. Weekly events include: Saturday morning services, Wednesday night Torah, Bar and Bat Mitzvah lessons and tutoring, and weekly Hebrew classes. Large gatherings would include Rosh Hashana (Fall), Yom Kippur (Fall), Purim Party (Spring), and Passover dinner (Spring).
- The project would result in the removal of the approximately 990 square-foot, one-bedroom, dwelling at 3781 Cesar Chavez Street. The dwelling at 3771 Cesar Chavez Street would remain.

REQUIRED COMMISSION ACTION

Pursuant to Sections 209.3(f), 204.1, 317, and 303 of the Planning Code, Conditional Use Authorization is required respectively for a preschool/childcare facility for 42 children, a religious facility, and the removal of a dwelling unit.

BASIS FOR RECOMMENDATION

- The project would allow an established use to continue to provide a unique service that is currently unmet in the neighborhood.
- Preschool/child care services are difficult to find in the City and those that operate often have long waiting lists. The ability of the City to provide these services will help its ability to attract and retain families in the City. Housing is also a scarce resource in the City. On balance, the need to help preschool/childcare services flourish in the City out weigh the benefit of retaining the existing dwelling unit.
- According to the Project Sponsor, Gan Noe Preschool currently provides services for a total of 22 children. The proposed 20 persons increase in enrollment has been determined to not be significant enough to greatly increase the use’s affect on parking, traffic, and noise in the neighborhood. Furthermore, the proposed traffic management plan will offset any potential parking and traffic increases due to the increased enrollment.
- The proposed preschool would be operated in compliance with state and local regulations regarding preschool facilities.

RECOMMENDATION: Approval with Conditions
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Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | |
| <input checked="" type="checkbox"/> Sanborn Map | |
| <input checked="" type="checkbox"/> Aerial Photo | |
| <input checked="" type="checkbox"/> Formula Retail Map | |
| <input checked="" type="checkbox"/> Context Photos | |
| <input checked="" type="checkbox"/> Site Photos | |

Exhibits above marked with an “X” are included in this packet

_____ MES
Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

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Planning Commission Motion No. **XXXXX**

HEARING DATE: JULY 18, 2013

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Case No.: **2013.0259CV**
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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 209.3(F), 209.3(J), 317, AND 303 OF THE PLANNING CODE TO INCREASE ENROLLMENT AT AN EXISTING PRE-SCHOOL (D.B.A. GAN NOE PRESCHOOL) OPERATING AT 3771 AND 3781 CESAR CHAVEZ STREET AND ESTABLISH A RELIGIOUS FACILITY. ENROLLMENT AT THE PRE-SCHOOL WOULD INCREASE FROM 22 CHILDREN TO 42 CHILDREN AND THE PROJECT WOULD RESULT IN THE REMOVAL OF THE DWELLING UNIT AT 3781 CESAR CHAVEZ STREET. THE SUBJECT PROPERTY IS LOCATED IN A RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On March 8, 2013, Jeremy Paul of Quickdraw Permit Consulting, on behalf of Leah Potash (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Sections 209.3(f), 209.3(j), 317, and 303 to allow an increase in enrollment at a preschool (d.b.a. Gan Noe Preschool) and allow for an accessory religious facility within the preschool, located within a RH-2 (Residential, House, Two-Family) District and a 40-X Height and Bulk District.

On July 18, 2013, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2013.0259C.

The Department determined the Project to be exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2013.0259C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project Sites, 3771 and 3781 Cesar Chavez Street are adjacent properties (Assessor's Block 6577, Lots 030 and 045) located on the south side of Cesar Chavez Street, between Dolores and Guerrero Streets at the eastern boundary of the Noe Valley neighborhood. 3771 Cesar Chavez Street is developed with a one and a half story over basement single-family dwelling that was constructed circa 1898. The building is set back towards the rear of the lot with large enclosed landscaped yard at the front and two off-street, surface parking spaces at the front of the lot. The lot is flag shaped with a small yard located to the west of the building. Total building area is approximately 4,064 gross square-feet. A portion of the building is currently used as a preschool/home daycare that is licensed for 14 children. The owners of the preschool also live at the property. 3781 Cesar Chavez Street is the adjacent property to the west of 3771 Cesar Chavez Street. The property is developed with a one-story over garage, single-family dwelling that was constructed in 1942. The property is also used as a preschool/home daycare that is licensed for 8 children. The rear yard is the primary children's play area.
3. **Surrounding Properties and Neighborhood.** The Project sites are located on the south side of the two-lane portion of Cesar Chavez Street which serves as the primary arterial for access to the 101 Freeway from Noe Valley. The immediate neighborhood is primarily residential, however, there are two churches and a large surface parking lot located on the north side of the street. There is a three-way signal light at both the east and west ends of the block. The adjacent properties to the west of the project sites are key lots that are much shorter than the average lot within this neighborhood. As a result of the smaller lots these properties also have smaller rear yards.

4. **Project Description.** The project sponsor is seeking Conditional Use authorization pursuant to Sections 209.3(f), 209.3(j), 317, and 303 to increase enrollment at an existing pre-school (d.b.a. Gan Noe Preschool) operating at 3771 and 3781 Cesar Chavez Street and establish a religious facility. Enrollment at the pre-school would increase from a combined enrollment of 22 children to 42 children and the project would result in the removal of the dwelling unit and the existing parking at 3781 Cesar Chavez Street. The proposal does not include any significant alteration or modification to the exteriors of the existing buildings with the exception of minor changes to signage and fencing. The space would also function as a religious facility when the preschool is not in session. The project also requires a parking variance as two parking spaces are required for the use and the existing parking space at 3781 Cesar Chavez Street would be removed. The subject property is located in RH-2 (Residential, House, Two-Family) District and a 40-X Height and Bulk District.
5. **Project Background.** Gan Noe Preschool has been operating at 3771 Cesar Chavez Street since 2005 as a home daycare/preschool for 14 or fewer children. In 2010, Gan Noe Preschool purchased 3781 Cesar Chavez Street and began operating a home daycare/preschool for 14 or fewer children at this location as well. The two properties were licensed for a total of 28 children. In 2011, an enforcement case was opened on 3781 Cesar Chavez Street for the alleged operation of a childcare facility with more than 40 children operating without proper approvals. The Project Sponsor was notified of the enforcement case but it was never investigated by the Department and remains active.

The Project Sponsor also operated a preschool within a single-family dwelling at 107 Justin Drive in Bernal Heights at the same time she was operating a preschool at 3771 Cesar Chavez Street. Conditional use authorization was sought for this location to expand its enrollment to 19 children but the application was cancelled in 2009 and the preschool was closed in 2010.

6. **Public Comment.** The Department received correspondence in opposition to the project from 20 neighbors including adjacent neighbors Richard and Ashley Rochman and Bill Sommer. These neighbors are concerned about parking and traffic, pedestrian safety, noise, driveway blockage related to the project.

The Project Sponsor submitted a petition signed by 34 people who have no objections to the project and staff received 32 pieces of public correspondence in support of the project including a letter of support from the Upper Noe Neighbors neighborhood group.

7. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Institutions – Child-Care Facility.** Planning Code Section 209.3(f) requires Conditional Use authorization for child-care facilities providing less than 24 hour care for 15 or more children by licensed personnel and meeting the open space and other requirements of the State of California within the RH-2 Zoning District.

The Project Sponsor seeks Conditional Use authorization to establish a child-care facility providing less than 24-hour care for 15 or more and up to a maximum of 42 children within the RH-2 Zoning District.

- B. **Institutions – Religious Facility.** Planning Code Section 209.3(j) requires Conditional Use authorization for a church or religious facility which has a tax-exempt status as a religious institution granted by the United States Government, and which institution is used primarily for collective worship or ritual or observance of common religious beliefs within the RH-2 Zoning District.

The Project Sponsor seeks Conditional Use authorization to establish a religious facility. The facility would operate a number of weekly programs with 12 or fewer attendees at any given time. Weekly events include: Saturday morning services, Wednesday night Torah, Bar and Bat Mitzvah lessons and tutoring, and weekly Hebrew classes. Large gatherings would include Rosh Hashana (Fall), Yom Kippur (Fall), Purim Party (Spring), and Passover dinner (Spring).

- C. **Off-Street Parking.** Planning Code Section 151 requires one off-street parking space for each 25 children to be accommodated at any one time, where the number of such children exceeds 24.

The proposed child-care facility for a maximum of 42 children would be required to provide a minimum of two off-street parking spaces for the use, pursuant to Planning Code Sections 151 and 153. The Project would not include any required off-street parking space, which would be subject to an off-street parking variance. The Project Sponsor has submitted a Variance Application No. 2013.0259CV. The Zoning Administrator will hold a public hearing on Variance Application while the Planning Commission will consider Conditional Use Application.

- D. **Loss of Dwellings through Conversion.** Conversion of Residential Units shall be prohibited, unless the Planning Commission approves the conversion at a public hearing.

The Planning Commission shall consider these criteria in the review of applications for Conversion of Residential Units;

- (i) Whether conversion of the unit(s) would eliminate only owner occupied housing, and if so, for how long the unit(s) proposed to be removed were owner occupied;

The dwelling to be converted at 3781 Cesar Chavez Street is not owner occupied. The owners of 3781 purchased the property in 2010 and live next door at 3771 Cesar Chavez Street.

- (ii) Whether conversion of the unit(s) would provide desirable new non-residential use(s) appropriate for the neighborhood and adjoining district(s);

The conversion of the dwelling unit at 3781 Cesar Chavez Street would support an existing preschool use. Desirable preschools are important in retaining young families in San

Francisco and those that exist often have long waiting lists for open spaces which is often discouraging. The proposed preschool would serve families that want a preschool that favors Jewish values. There are few preschools in San Francisco that offer similar services and those that do offer it are located outside the neighborhoods that Gan Noe Preschool is trying to service. Therefore, the conversion would provide a desirable new non-residential use.

- (iii) Whether conversion of the unit(s) will bring the building closer into conformance with the prevailing character of its immediate area and in the same zoning district;

The immediate neighborhood is within a RH District. Though there are two religious facilities located on the north side of Cesar Chavez Street however, the immediate neighborhood is primarily residential. Therefore, the conversion will not bring the property into closer conformance with the prevailing character.

- (iv) Whether conversion of the unit(s) will be detrimental to the City's housing stock;

The conversion of the dwelling unit would be detrimental to the City's housing stock because it would result in the loss of a habitable dwelling unit.

- (v) Whether conversion of the unit(s) is necessary to eliminate design, functional, or habitability deficiencies that cannot otherwise be corrected.

The existing dwelling unit is approximately 990 square-feet and contains one-bedroom and one bath. Other than being relatively small, the dwelling has no known design, functional, or habitable deficiencies.

Preschool/child care services are difficult to find in the City and those that operate often have long waiting lists. The ability of the City to provide these services will help its ability to attract and retain families in the City. Housing is also a scarce resource in the City. On balance, the need to help preschool/childcare services flourish in the City outweigh the benefit of retaining the existing dwelling unit.

8. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project would retain the existing buildings on the site and their present configuration. The proposed use is necessary and desirable for the neighborhood because the presence of preschools in San Francisco helps to retain families in the city. At present, preschools are few and far between with desirable preschools experiencing long wait lists for open spaces which discourages some families from attempting to raise their children within the city. Gan Noe is a unique preschool because it offers

preschool services with Jewish values. Every year the school must reject dozens of requests for placement from families due to lack of capacity. Similar preschools are located north of Market Street or on Brotherhood Way, leaving the heart of the city without such services. The proposed expansion would allow Gan Noe to better serve the neighborhoods of Noe Valley, Bernal Heights, Glen Park, and the Mission

Activities related to the proposed religious facility would take place after preschool hours within the same space and according the Sponsor would involve no more than 12 people at a time.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project be detrimental to the health, safety or convenience of those residing or working in the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project would not alter the existing site configuration of the buildings on the site. The children's play area would be located within the rear yard where it is currently located. Neighbors to the west of the subject property who share the same mid-block have expressed concerns about potential noise impacts from the additional children. In response, the Project Sponsor has stated that outdoor playtime will be staggered such that all children would never be in the play area at the same time. By law, the younger children cannot be within the play area at the same time as the older children.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Subject Property is in an established residential neighborhood that is well served by public transit, including 24th Street and the J-Church Muni Metro Line and J-Streetcar within two blocks of the Subject Property. Additionally, the proposed preschool facility is intended to meet the needs of the residents in the immediate neighborhood and should not generate significant amounts of vehicular trips citywide.

The Planning Code requires two off-street parking spaces for the proposed facility; however, the sponsor is seeking a variance from this requirement and would remove the existing garage parking space at 3781 Cesar Chavez Street. The project site is located on a street that is the primary arterial to and from Highway 101. Furthermore, there are signaled intersections at the east and west ends of the block. These factors often lead to traffic congestion within the subject block during commute hours. Neighbors have expressed concern that the proposed increase in enrollment would exacerbate the traffic situation within the block and that current parents park on sidewalks and block adjacent driveways during drop off. In response, the Project Sponsor has The Project Sponsor has agreed to apply for a white passenger loading zone, accommodating two parking spaces, on Sanchez Street in front of the facility's entrance and has agreed to institute a

staggered pick up and drop off that is supervised by staff to reduce traffic congestion during commute hours.

No additional off-street parking is required for the proposed religious facility. Programs related to the facility would include weekly Saturday morning services, weekly Wednesday night Torah study, Bar and Bat Mitzvah lessons and tutoring, and weekly Hebrew classes. Larger religious gatherings include Rosh Hashana (Sept.), Yom Kippur (Sept.), Purim Party (March), and Passover Dinner (April). Many attendees do not drive on the Sabbath or Jewish holidays in accordance with strict Jewish Law which reduces vehicular traffic.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The project would not emit noxious or offensive emissions such noise, glare, dust or odor.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

No additional landscaping is proposed for the site. The Department shall review all lighting and signs proposed for the property in accordance with the Conditions of Approval contained in Exhibit A.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- 9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

The Project would enhance the living and working environment in the City by providing a unique needed preschool service for residents and workers within the Noe Valley, Bernal Height, Glen Park, and Mission

neighborhoods. The Project would also need to comply with State licensing requirements for childcare/preschool facilities further minimizing possible undesirable consequences from such a use.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

Policy 3:

Maintain a favorable social cultural climate in the city in order to enhance its attractiveness as a firm location. .

The Project will enhance an existing preschool facility that has served the surrounding community since 2005 by extending it services to a greater number of people.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 3.1:

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

The Project will provide employment opportunities for nine semi-skilled San Francisco residents.

GOVERNMENT, HEALTH AND EDUCATION SERVICES

Objectives and Policies

OBJECTIVE 7:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL AND REGINAL CENTER FOR GOVERNMENT, HEALTH, AND EDUCATIONAL SERVICES.

Policy 7.2:

Encourage the extension of needed health and educational services, but manage expansion to avoid or minimize disruption of adjacent residential areas.

The proposed child-care facility will offer educational services to pre-school children of San Francisco residents. No exterior alteration will be proposed to the existing buildings. The proposed child-care facility's activities will take place either indoors or within the rear yard. The proposed conditions of approval would help reduce affects on parking and traffic within the neighborhood and ease noise levels during hours of operation.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposal would strengthen an existing neighborhood-serving use that has served the neighborhood since 2005 and provide employment for up to nine people.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The proposed use will retain the existing buildings on the site and the interior alterations to 3781 Cesar Chavez Street are such that they could be easily reversed and the property converted back to residential use.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project would not affect the City's existing supply of affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The proposed use is well served by public transit but it is located a few blocks away. The proposed preschool is not expected to be a destination use that attracts families from outside the immediate neighborhoods. The Sponsor has agreed to seek a passenger loading space in front of the property and implement a pick up and drop off program for families that choose to drive. The loading zone and the program have been included as conditions of approval for the Project.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will not affect the Subject Property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

The Project would not alter the exterior appearance of the buildings in question.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no negative affect on existing parks and open spaces.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2013.0259CV pursuant to Sections 209.3(f), 209.3(j), 317, and 303 of the Planning Code** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, received XXXX, XXXX, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on July 18, 2013.

Jonas P. Ionin
Acting Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: July 18, 2013

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to increase enrollment at preschool (d.b.a. Gan Noe Preschool) from 22 to 42 children and establish a religious facility (d.b.a Chabad of Noe Valley) for the properties at 3771 and 3781 Cesar Chavez Street, Block 6577, Lots 030 and 045, pursuant to Planning Code Sections 209.3(f), 209.3(j), 317, and 303 within a RH-2 (Residential, House, Two-Family) District and a 40-X Height and Bulk District; in general conformance with plans stamped "EXHIBIT B" included in the docket for Case No. 2013.0259CV and subject to conditions of approval reviewed and approved by the Commission on July 18, 2013 under Motion No XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on July 18, 2013 under Motion No XXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of

Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

DESIGN

2. **Signage Program.** Any proposed signage shall be subject to the review and approval of the Planning Department and must comply with Article 6 of the Planning Code. The plans for signage that have been presented to the Commission are for informational purposes only and have not been reviewed for Code compliance. Once submitted staff will share the final signage plan with the Commission as an informational item prior to approval.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

MONITORING

4. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

5. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

6. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works' Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>

7. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org.

For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-1012 or 415-5530123, www.sf-police.org

8. **Community Liaison.** Prior to issuance of a Building Permit to construct the Project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

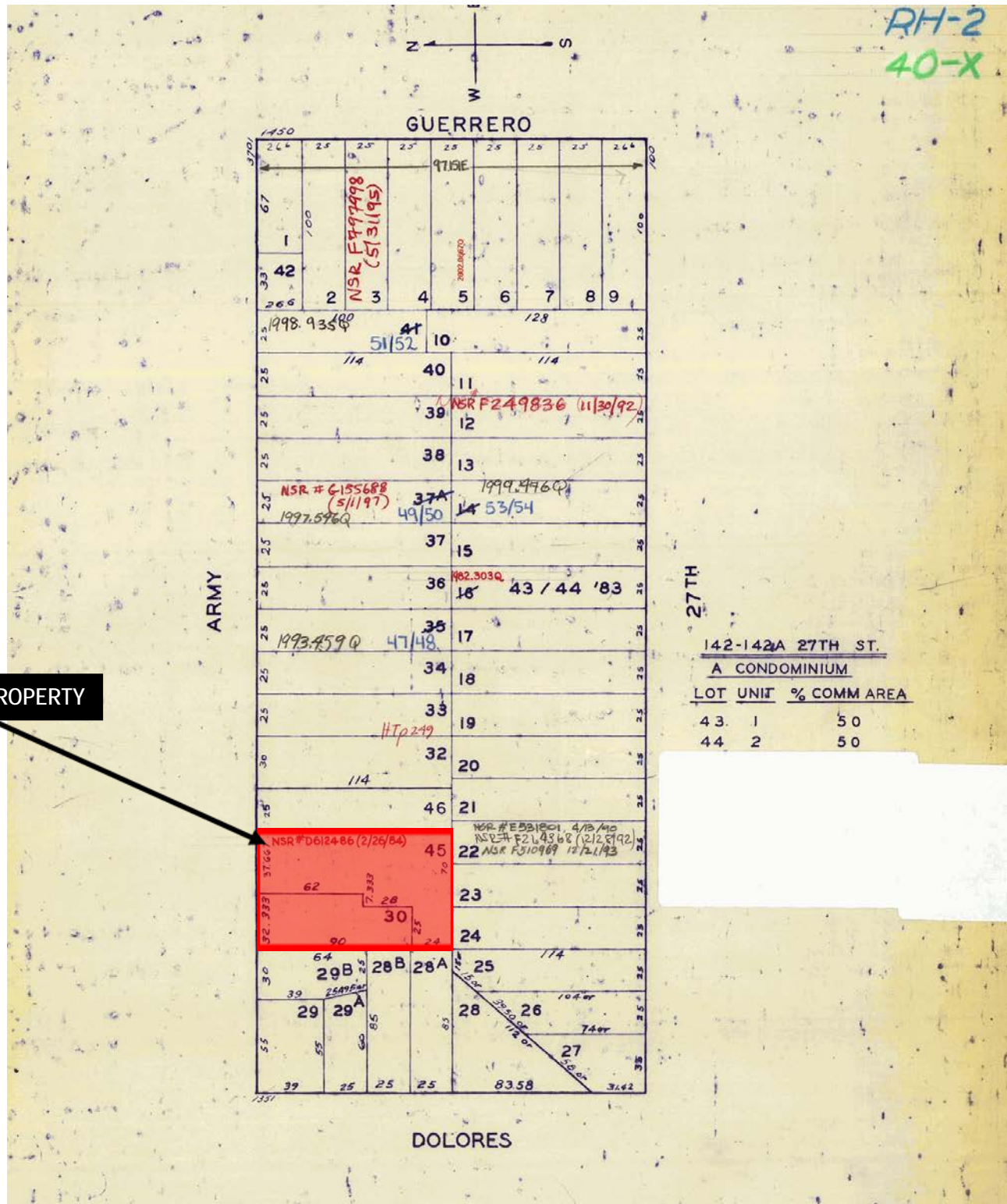
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863

9. **Traffic Plan.** Prior to permit approval, the Project Sponsor shall provide the Department with a morning drop-off and afternoon pick-up plan that will include a white passenger loading zone on Cesar Chavez Street in front of the entrance to the proposed preschool. Additionally, the Sponsor shall monitor the white zone for passenger loading and unloading during morning pick-up and afternoon drop-off hours.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parcel Map

RH-2
40-X



SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2013.0259CV
3771 and 3781 Cesar Chavez Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Authorization
 Case Number 2013.0259CV
 3771 and 3781 Cesar Chavez Street

Aerial Photo

SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2013.0259CV
3771 and 3781 Cesar Chavez Street

Aerial Photo



SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2013.0259CV
3771 and 3781 Cesar Chavez Street

Zoning Map



Conditional Use Authorization
Case Number 2013.0259CV
3771 and 3781 Cesar Chavez Street

Gan Noe Preschool Chabad of Noe Valley San Francisco.png

CU Commission Letter.pdf



Chabad of Noe Valley

3771 Cesar Chavez, San Francisco, CA

Gan Noe Preschool

Parent Login:



[PRESCHOOL HOME](#) [TRIKE-A-THON](#) [AIM CHAI](#) [ABOUT US](#) [CURRICULUM](#) [PROGRAMS](#) [ADMISSIONS & FORMS](#) [SUPPORT](#)

Message from the Director

Welcome to our Preschool!

We are committed to creating a warm, friendly and happy environment for your child.

Sincerely yours,

Leah Potash
Director, Gan Noe Preschool



Watch your child blossom

“ I feel confident that my child is well supervised and getting excellent care while I am at work. It provides me with peace of mind.

- Deborah A. ”



REQUEST A FREE INFORMATION PACKET

ANNOUNCEMENTS



Please note that registration for our annual events can be done by calling our office.



Welcome to our new preschool website! Please have a look around...

Please visit our website at ChabadNoeValley.Org!

UPCOMING EVENTS



There are no upcoming events posted.

LATEST PHOTO



Commission Letter.pdf

Leah pg3 Letter.pdf

Leah pg2 Letter.pdf

CU findings - revised.pdf

PhotoS.pdf



Chabad of Noe Valley

3771 Cesar Chavez Street San Francisco CA 94110

Phone/fax - 415.648.8000

www.chabadnoevalley.org

July 4, 2013

President Rodney Fong

San Francisco Planning Commission

C/O Mr. Michael Smith
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Dear President Fong and Honorable Commissioners,

I hope this letter finds you all well and in good spirits.

I am writing to you as the spiritual leader at Chabad of Noe Valley & Gan Noe Preschool and the sponsor of this Conditional Use Permit request.

At the age of 21 and 24 respectively my wife Leah and I with our 6 month old daughter made a life time commitment to serve the needs of the thousands of Jews living in the Noe Valley, Glen Park, Castro, Diamond Heights, Bernal Heights and Mission neighborhoods.

Following the inspiration and teachings of the late Lubavitcher Rebbe, Rabbi Menachem Schneerson who encouraged young couples to become active members of society establishing Jewish centers and welcoming all in an embracing manner knowing that every human being possesses an inherent divine spark.

We feel deeply privileged to be doing this work in this part of San Francisco, and though we came here to give; something very different occurred and we found we received more than we could give. We came to teach, but we learned more than we could share. This part of San Francisco opened its doors and hearts to us and welcomed us and supported us in such an amazing way.

The result has been that together with the wonderful members of this community we have created a diverse and welcoming center where hundreds of children and adults come to be enriched by the meaningful Jewish traditions and educational opportunities that we offer from weekly sabbath gatherings, to summer camp, to community wide Hanukkah celebrations on 24th Street, Rosh Hashana celebrations in Dolores Park and Gan Noe Preschool just to name a few.

Our community has become a place where the values of diversity and inclusiveness combined with the Hassidic message of optimism and joy have made the teachings and traditions of Judaism accessible to people from all walks of life and backgrounds who now call Chabad of Noe Valley home.

It has not been an easy journey over the passed 13 years for our family, the ongoing financial burden of operating and living in this city has been daunting. But in 2005, with the community's help we were able to purchase our house at 3771 Cesar Chavez. Which serves as our home for my growing family, as well as part of the preschool. In 2010 we were fortunate again to be able to purchase the house next door at 3781 Cesar Chavez where we were able to expand the preschool and hold other community events and celebrations.

The purchase of these two properties and the location were very exciting steps for us as it gave us a permanent place to operate so convenient to the neighborhoods we serve.

We are now at a pivotal juncture in this under-served part town. Ours is the only Jewish preschool on the entire south eastern part of town and we are pained to turn so many young families away for lack of space. Now we seek the opportunity to create something stronger, and more useful for our community. San Francisco is losing far too many young families who feel they must move away to raise their children.

We are therefore asking for you to support the CUP to serve 42 preschool children and allow our religious center to be granted formal permission to act as such.

I understand the concerns presented by our neighbors who are opposed to this application; I am solemnly committed to being respectful of our neighbors. We will do all we can to minimize our impact and be a positive presence on our block.

I firmly believe that your approval of our Conditional Use Permit will make this city and even better place for its families and all its citizens.

Thank you for your consideration and for your dedication to the future of San Francisco.

Sincerely,



Rabbi Gedalia Potash

B*H



3771 Cesar Chavez Street SF CA 94110 ▲ 415.648.8000 ▲ www.gannoe.org

July 4, 2013

President Rodney Fong

San Francisco Planning Commission

C/O Mr. Michael Smith
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Dear President Fong and Honorable Commissioners,

I write to you today to explain why it is of utmost importance that Gan Noe Preschool moves away from the "Home Daycare" model and be approved to increase its capacity to 42 children and operate as a preschool.

I have been involved in early childhood education for over 15 years. I have served as the director of Gan Noe since it opened 8 years ago and I pride myself on the quality of the program. In many areas we have exceeded the home daycare licensing requirements to ensure our program runs professionally and matches the quality young San Francisco families seek. A few examples are:

- Though licensing does not require early childhood education to run a daycare, I spent 2 years studying child development and I became a qualified Preschool Director in 2007.
- Though licensing does not require daycare providers to have early childhood education, every teacher I hire is either licensed by the state of CA as a Preschool Teacher or is in the process.
- Though licensing requires a ratio of 1 to 6 I have always maintained of ration of 1 to 4
- Though licensing does not require continued learning, together with my teachers I continue to expand my early childhood education yearly at the Bing Institute at Stanford University.

Until now, we have been a licensed home daycare with a capacity of 14 children in my home. I have been the director, a teacher, the shopper, the janitor and the program planner.

This model is not sustainable for someone who has a family, as time and financial resources are far too limiting to operate in this way.

In addition, parents are looking for a program that can accommodate all of their preschool years to avoid unnecessary transitions for the child.

A home daycare with 14 children is unable to meet that basic need.

To continue to operate and provide this much needed service in the city, it is imperative that we gain Conditional Use Authorization to allow our capacity be increased to 42 children. Having 42 children will allow us to:

- Offer families their complete preschool need from diapers until kindergarten
- Hire a full time administrator
- Maintain quality teachers with the ability to pay a salary that allows them to live in the city
- Hire a traffic monitor for drop-off and pickup times

I work tirelessly to provide a service that benefits this city and enables families to stay in the city. Many have told us, if not for our program, they would have long moved out of San Francisco. The city lacks quality preschools and it is imperative that quality programming be encouraged to expand in order to keep more families in this wonderful city.

It is my sincere hope that you will support our efforts by approving the CUP for us to serve 42 children, and together we will continue to make this city a better place to raise a family.

Sincerely,


Leah Potash

CONDITIONAL USE PERMIT APPLICATION
UNDER THE CITY PLANNING CODE

APPLICANT: Jeremy Paul
Quickdraw Permit Consulting
1325 California Street
San Francisco, CA 94109

PROPERTY IDENTIFICATION:

3771 - 3781 CESAR CHAVEZ South side near Dolores Street; Lots 30 & 45 in Assessor's Block 6577 in an RH-2 District and a 40-X Height and Bulk District.

DESCRIPTION OF AUTHORIZATION SOUGHT:

CONDITIONAL USE SOUGHT: Gan Noe Preschool proposes to expand their existing Family Daycare and provide services for up to 42 children from infancy to five years of age. Chabad of Noe Valley proposes to serve as a religious institution for the Jewish community of the Mission, Glen Park, the Castro, Bernal and Noe Valley.

This proposal does not include significant alteration or modification of the existing buildings on site, and only proposes minor signage and changes to fencing and sound barrier materials.

The proposed preschool use is defined under Institutions in section 209.3(f) of the San Francisco Planning Code, and is a Conditional Use in the subject zoning district. Chabad of Noe Valley is a religious institution under section 209.3(j).

Pursuant to Planning Code Section 303[c] before approving a conditional use authorization, The Planning Commission needs to find that the facts presented are such to establish the findings stated below.

(1) The proposed use or feature, at the size and intensity contemplated and that the proposed location will provide a development that is necessary or desirable or compatible with the neighborhood or the community

- i. Gan Noe Preschool is situated at the hub of three vibrant San Francisco neighborhoods that have experienced significant increases in family populations in recent years. The difficulty of finding quality child care has been a major reason for working families to leave San Francisco. Every year Gan Noe must reject dozens of requests for placement due to lack of capacity under their state licensing provisions. This Conditional Use Authorization will allow Gan Noe to better serve the needs of the Mission, Noe Valley and Glen Park neighborhoods.
- ii. Chabad of Noe Valley Inc. is a federally recognized 501.c.3 religious nonprofit institution. Chabad of Noe Valley serves the Jewish community of this

district with a number of small programs with 12 or less participant at any time:

- After school Hebrew classes,
- Bar Mitzvah training,
- Adult study
- Small religious gatherings on a weekly basis.

On particular annual holidays larger gatherings are hosted for religious observances and celebration. These are:

- Rosh Hashana (Sept.)
- Yom Kippur (Sept.)
- Purim (March)
- Passover Dinner (April)

Most people in the Chabad community do not drive on the Sabbath or Jewish holidays in accordance with orthodox Jewish Law. Many walk to events as they choose to reside close to the place they participate in religious practice.

(2) That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:

(a)The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

i. The height and bulk of the existing buildings will remain the same and this project will not significantly alter the appearance or character of the buildings or the vicinity. The two parcels have considerable open space between them and allow proper age segregation of play areas and ample interior classroom space, and gathering place for worship and study.

(b)The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

ii. This location is conveniently accessible by foot, bicycle, Muni, school van, and private automobile from the Mission District, Noe Valley, Glen Park and beyond. The Gan Noe community currently makes use of all of these options. The Planning Code does not require parking or loading for the proposed use; however there is sufficient street parking and loading in front of 3771 and 3781 to allow pickup and drop-off. Gan Noe Preschool will institute a supervised pickup and drop-off system to facilitate child retrieval without creating unnecessary burdens on street traffic during peak hours.

iii. Most people in the Chabad community do not drive on the Sabbath or Jewish holidays in accordance with orthodox Jewish Law. Many walk to

events as they choose to reside close to the place they participate in religious practice. The daily observances and learning opportunities at Chabad of Noe are intended for small groups only, rarely exceeding 12 participants thus there is no observable increase in volume of street traffic

or burden on offstreet parking as a result of the religious institution at the subject property.

(c)The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

iv. The Project will not create any noxious or offensive emissions, such as glare, dust or odor. Gan Noe is working closely with our neighbors to fully manage the sound impacts associated with happy children at play. Gan Noe has retained the services of the CM Salter acoustical engineering firm and is working with our neighbors to mitigate noise problems.

v. The religious institution will not create any noxious or offensive emissions.

(d)Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

vi. No changes visible from the street are proposed to such aspects as landscaping and screening, and we will obtain the necessary building permits for any new business signs.

(3) That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the Master Plan.

Under the provisions of Code Section 303, the Commission may authorize a Conditional Use after finding that the proposed use will provide a development that is necessary or desirable for and compatible with the neighborhood or the community; that such use will not be detrimental to the health, safety, welfare, convenience or general welfare of persons residing or working in the vicinity; and that such use will not adversely affect the General Plan.

The Project complies with the criteria of Section 303 of the Code in that: The Project will be compatible and in keeping with the character of the neighborhood because it will not involve any exterior changes to the building, and it will provide a desirable and necessary community service.

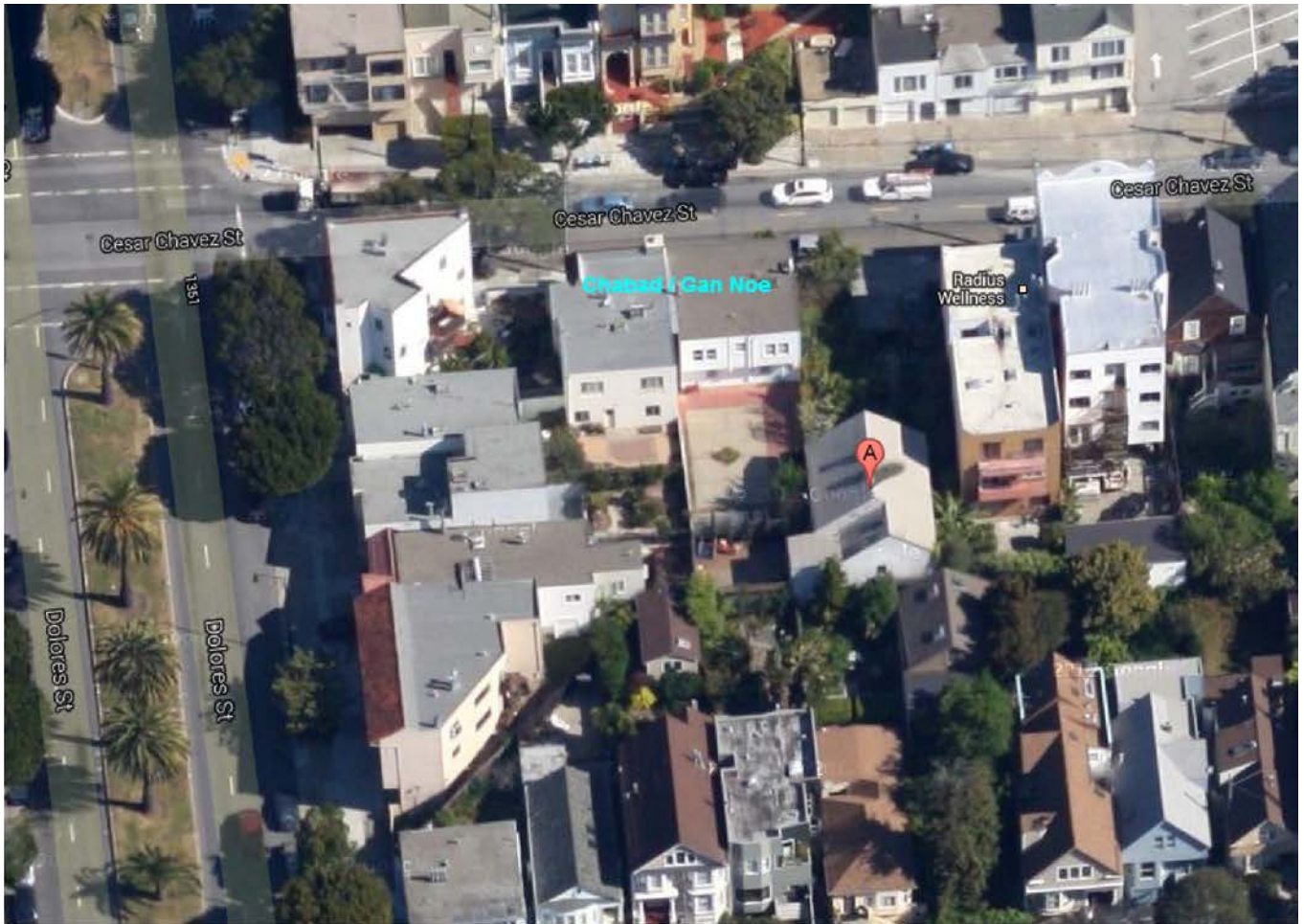
City Planning Code Section 101.1 establishes eight priority planning policies and requires review of permits for consistency with said policies. The project is consistent with the said policies, in that:

1. The Project will provide a service to the neighborhood by providing employment opportunities for neighborhood residents at all skill and experience levels. The preschool employs 9 teachers and support staff and prefers to hire from within the district. After the expansion there will be 13 employees. Chabad of Noe Valley employs 1.
2. The Project will not change the existing housing and neighborhood character; one residential dwelling unit will remain at the adjacent site serving the director of the Gan Noe Preschool, Mrs. Leah Potash and the sole employee of Chabad Noe Valley, Rabbi Gedalia Potash.
3. The Project will be beneficial to the supply of affordable housing as child care for working families is necessary for district housing to be truly affordable.

It is necessary for observant religious Jews to walk to and from the place of worship every week on the Sabbath - providing a place for said worship in a highly residential district is an important asset to the affordability of that district for observant religious people of the Jewish faith.

4. The Project will not significantly impact traffic or create a higher demand for parking spaces than the permitted alternative uses on the site. Gan Noe Preschool is developing an effective traffic management system for peak pickup and drop-off hours at it's increased enrollment.
5. The Project will not displace or alter any elements of the City's industrial or service sectors.
6. Earthquake safety requirements will be considered during review of building permit applications.
7. The Project will have no adverse impact on landmarks or historic buildings
8. The Project will have no adverse impact on parks or open space, or their access to sunlight or vistas.

The project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1 in that, as designed, the project would contribute to the character and stability of the neighborhood and would constitute a beneficial use providing a necessary service in a vibrant family oriented neighborhood.









Rear Yard
Facing South



West



West



3887 Cesar Chavez

3771 CESAR CHAVEZ ST.
SAN FRANCISCO, CA

PROJECT INFORMATION

BLOCK: 6577
LQI: 030
ZONING: RH-1
CONSTRUCTION: TYPE V
OCCUPANCY: R-3/U (SINGLE FAMILY RESIDENTIAL)
BUILDING CODE: 2010 CALIFORNIA BUILDING, MECHANICAL, ELECTRICAL, PLUMBING CODES

STORIES: 2

SYMBOLS

- | | |
|------------------------------|---------------------------|
| Door Tag | Revision Marker |
| Window Tag | Datum Point |
| drawing sheet Section Marker | Interior Elevation Marker |
| drawing sheet Detail Marker | Property Line |
| | Center Line |

SHEET INDEX

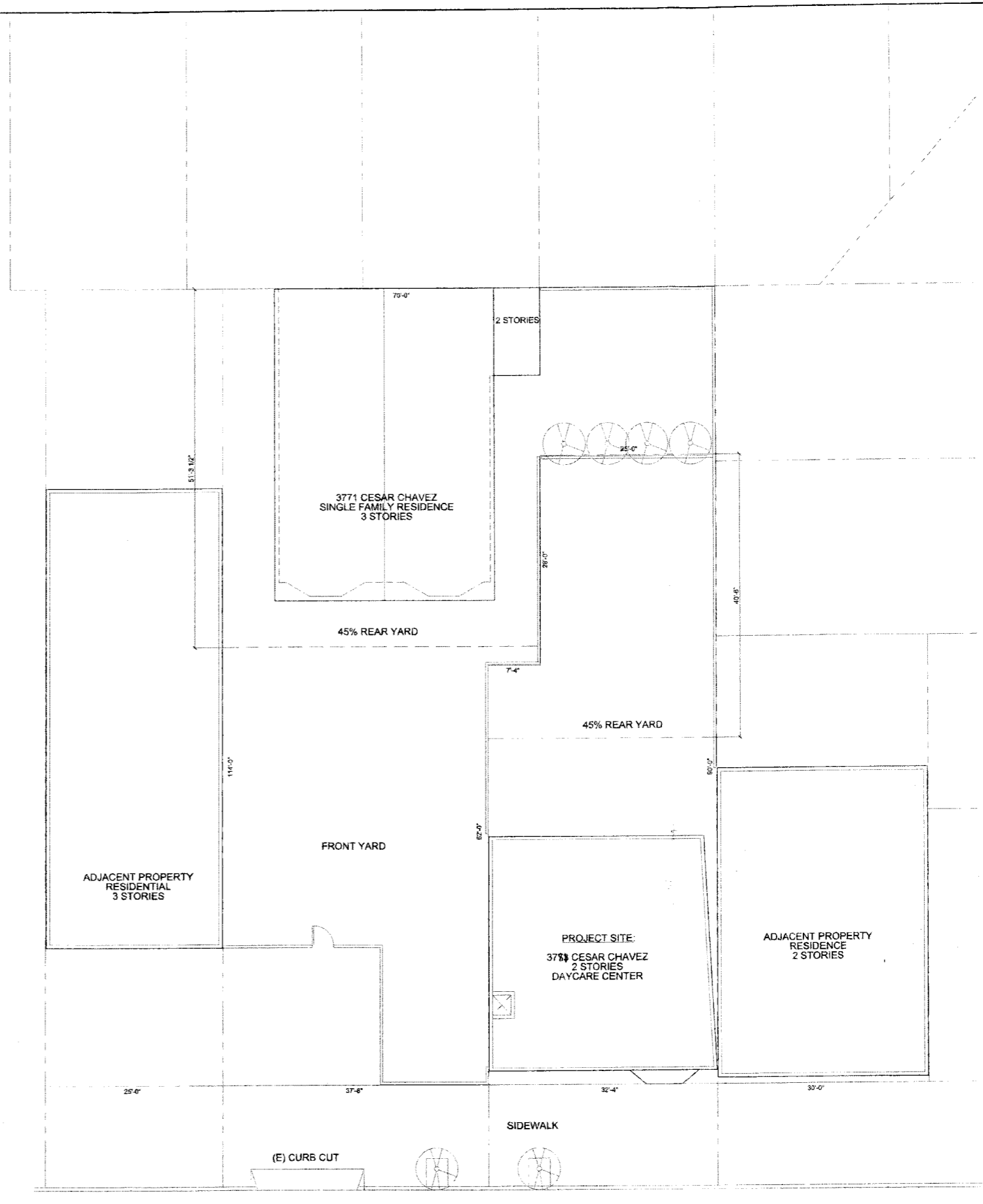
- A-1 SITE/ROOF PLAN, PROJECT INFO.
- A-2 FLOOR PLAN

ABBREVIATIONS

- | | |
|---|-------------------------------|
| A.C. Air Conditioning | QI Over |
| ADJ Adjustable | OC On Center |
| ALUM Aluminum | OD Outer Diameter |
| ARCH Archited | OPNG Opening |
| ASPH Asphalt | P.L. Property Line |
| BD Board | PL Plate |
| BUDG Building | PLYWD Plywood |
| BLK Block | P.T. Pressure Treated |
| BLKG Blocking | PT Point |
| BM Beam | R Radius |
| B.O. Bottom of | RA Radum Air |
| BU Built-up | RDW Rodwood |
| CH Counter Height | REF Reference |
| CLG Ceiling | REF Refrigerator |
| CLR Clear | REG Register |
| CNTL Control | REQ Required |
| COMP Computer | RET Return |
| CONC Concrete | RM Room |
| CONT Continuous | S South |
| CTR Center | SA Supply Air |
| DBL Double | SAD See Architectural Drawing |
| DF Douglas Fir | SED See Electrical Drawing |
| DIM Dimension | SF Square Feet |
| DN Down | SHT Sheet |
| D.O. Double Oven | SHTG Sheeting |
| DS Downspout | SKD See Kitchen Drawing |
| DWG Drawing | SLD See Lighting Drawing |
| (E) Existing | SMD See Mechanical Drawing |
| E East | SPD See Plumbing Drawing |
| EA Each | SG Square |
| ELEC Electrical | SS Stainless Steel |
| EG Equal | SSD See Structural Drawing |
| EXP Exposed | STD Standard |
| EXT Exterior | STL Steel |
| F Furnace | TBD To Be Determined |
| FDN Foundation | T&G Tongue and Groove |
| FF Finish Floor | TEMP Tempered |
| FN Finish | T.C. Top of |
| FL Floor | TOFF Top of Finish Floor |
| FDC Face of Concrete | TOP Top of Plate |
| FFC Face of Finish | TOS Top of Slab |
| POS Face of Steel | TP Toler Paper Holder |
| FOP Face of Plywood | TR Trowl Back |
| | TYP Typical |
| GA Gauge | UON Unless Otherwise Noted |
| GALV Galvanized | VERT Vertical |
| GND Ground | VVF Venty in Flat |
| GYP BD Gypsum Board | W West |
| HB Hosebib | WI With |
| HC Hollow Core | W/O Washer/Oyler |
| HDR Header | W/O Without |
| HVAC Heating, Ventilating, Air Conditioning | WC Water Closet |
| INSUL Insulation | WD Wood |
| INT Interior | WH Water Heater |
| LAM Laminete | WIND Window |
| LT Light | WP Waterproof |
| MANF Manufacturer | |
| MAX Maximum | |
| MC Medicine Chest | |
| MECH Mechanical | |
| MEMB Membrane | |
| MIC Microwave | |
| MIN Minimum | |
| MTL Metal | |
| (N) New | |
| NIC Not in Contract | |
| NO or # Number | |

GENERAL NOTES

1. All work shall be done in conformance with the currently adopted 2010 California Residential Code (CRC), as well as all applicable code and pertinent federal, state, county and municipal ordinances.
2. The Contractor shall verify all dimensions and coordinate the scope of all work with the contract documents and existing conditions before starting construction. Discrepancies between Architect's, Engineer's or Manufacturer's construction details shall be resolved to satisfy the most stringent requirement. Notify the Architect or Engineer of special or unusual conditions before proceeding with the work.
3. All dimensions take precedent over scale. The Contractor shall not scale the drawings with the intent of determining exact placement or location of particular assemblies. All plan dimensions indicated are to column, center-line, to face of concrete, to face of finished gypsum board, or to face of masonry UON.
4. Details as shown are typical. All conditions not specifically detailed on the drawings shall be similar to those shown or implied or shall match existing conditions.
5. The Contractor shall complete and perform all work in a good, professional manner at a level, quality and tolerance consistent with the standards of the construction industry. The Construction Documents are provided to illustrate the design and general intent of construction desired and imply the finest quality of construction, material and workmanship throughout.
6. The Contractor shall maintain the integrity of all scaffolding, shoring and bracing systems as required for the installation of new work and shall provide permanent stability for existing and new facilities.
7. The Contractor shall provide all necessary blocking, backing, framing, hangers and/or other supports for all fixtures, equipment, casework, furnishing and all other items requiring same.
8. When penetrating existing soil substrate, verify depths and locations of adjacent piping and foundations systems. All stumps, roots and vegetation shall be removed from the soil to a depth of at least 12" below grade in an area to be occupied by the building. All wood concrete forms shall be removed from the site. Before completion, loose or casual wood shall be removed from direct ground contact under the building.
9. Contractor shall take suitable measures to prevent interaction between dissimilar metals.
10. Mechanical, Plumbing, Electrical and Fire Code sections of the work shall comply with the 2010 CRC, all well as all applicable reference codes (2010 CMC, 2010 CPC, 2010 CEC and 2010 CFC) and ordinances pertaining. Gauges and sizes, construction methods, and specifications of materials and equipment shown, noted or detailed shall be in accordance with all applicable standards. All fixtures and fittings shall be properly plumbed and vented. The Contractor shall trace all new and existing electrical circuitry falling within the scope of work detailed herein back to the breaker box to ensure proper loading and convenient grouping per leg of service. Where applicable, the Contractor shall coordinate with local utility agencies all work entailing additional service and connections, off- and on-site, and do so in a manner that will neither delay nor encumber the orderly execution of dependent work. Energy Conservation methods and materials shall comply with California administrative code, Title 24 and the 2008 California Energy Code.
11. All revisions, addenda and Change Orders must be reviewed by the Architect and approved by the Owner. Submittals for such review shall be scheduled and coordinated by the Contractor so as not to delay or encumber the orderly execution of all work falling within the scope of the project herein documented.
12. The Contractor shall be solely responsible for safety on the Project Site and shall adhere to the Federal, State, County, Municipal and O.S.H.A. safety regulations.
13. The Contractor shall maintain all proper Worker's Compensation and Liability Insurance throughout the durations of construction.



SITE PLAN
SCALE: 1/8" = 1'-0"



JAMES G. STAVOY
ARCHITECT
AIA

679 Sanchez Street
San Francisco, California
94114
415-551-8696



3771 CESAR CHAVEZ
SAN FRANCISCO, CA

SITE PLAN
SHEET INDEX
PROJECT INFO

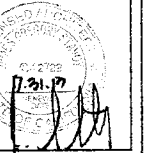
NO. ISSUE PLANNING DATE
1-20-13 PRE-APP MITG 2/19/13

A-1



JAMES G. STAVOY
ARCHITECT
AIA

479 Sanchez Street
San Francisco, California
94114
415-551-8896

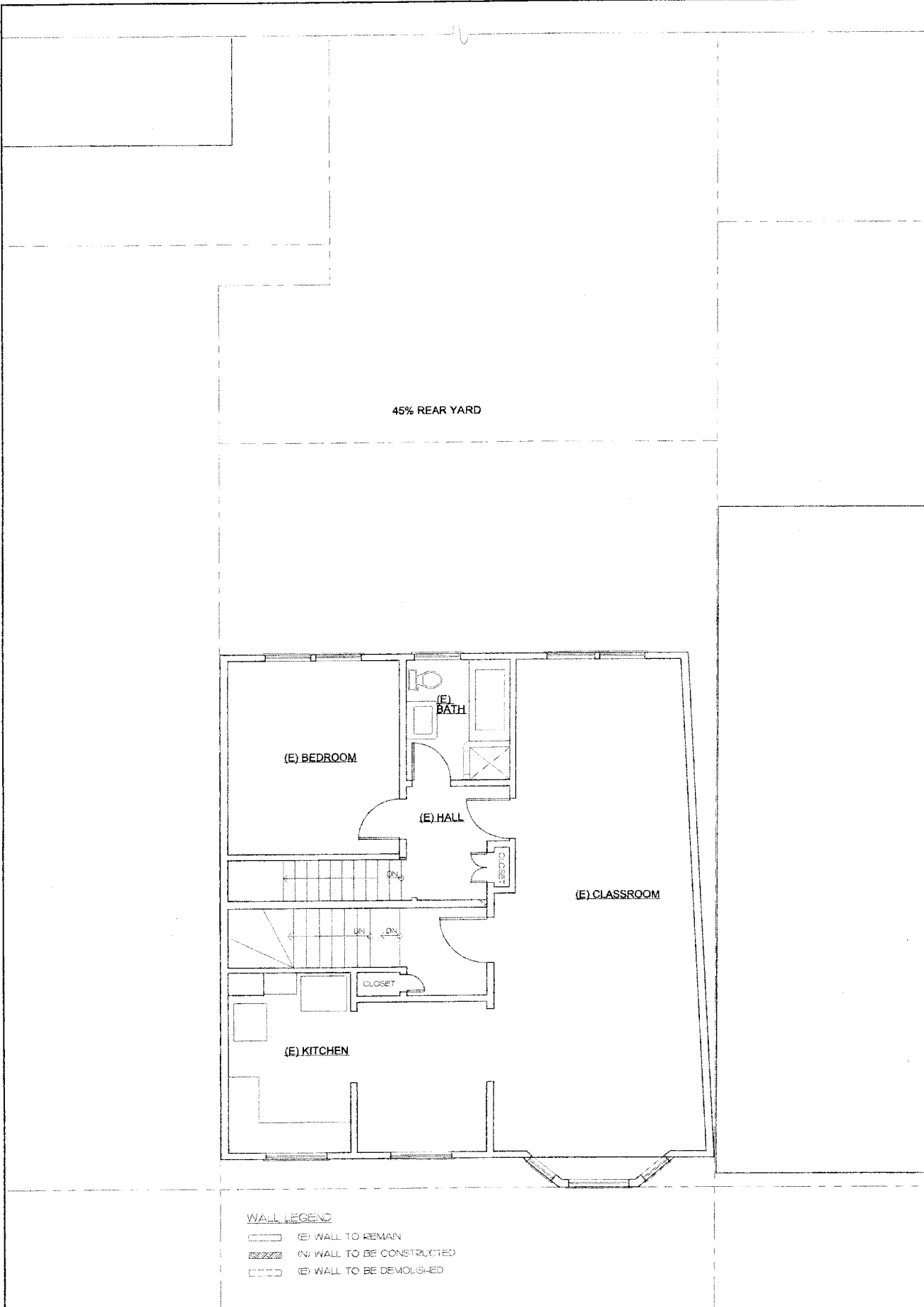


3771 CESAR CHAVEZ ST.
SAN FRANCISCO, CA

PROPOSED
FIRST & SECOND
FLOOR PLANS

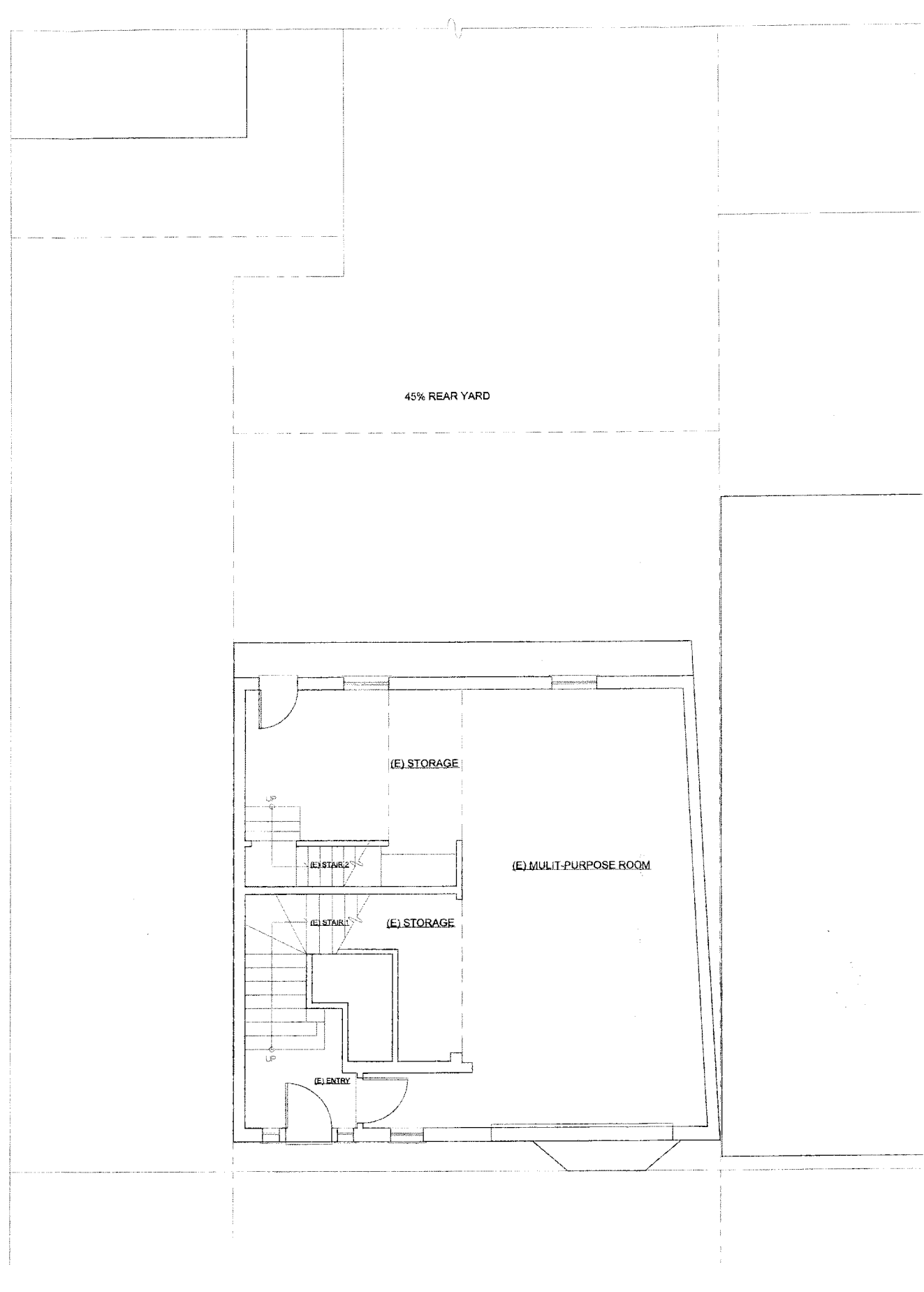
NO. 1
ISSUE
PLANNING
PRE-APP MITG
DATE
2/19/18

A-2

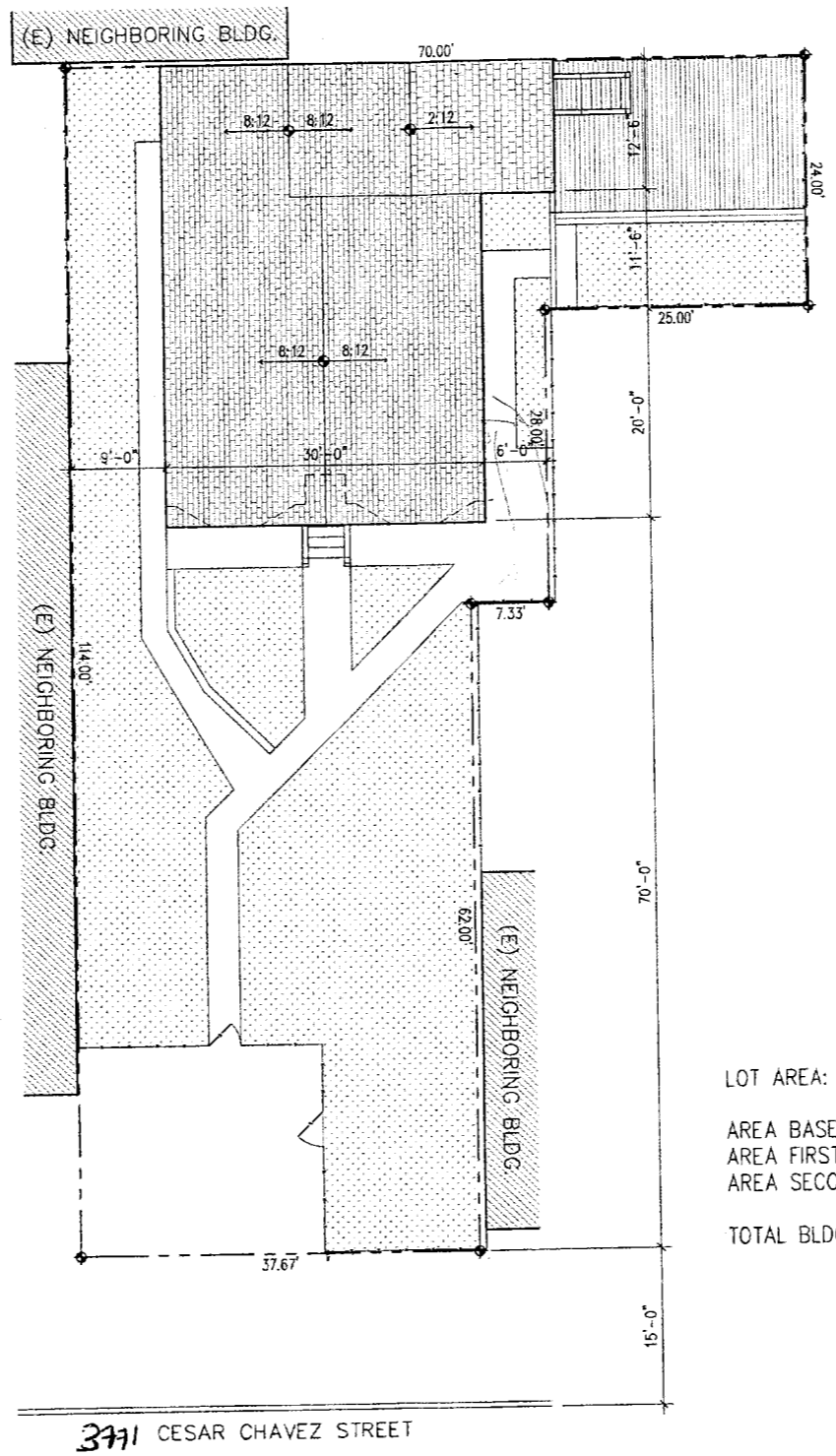


WALL LEGEND
[Solid line] (E) WALL TO REMAIN
[Hatched line] (N) WALL TO BE CONSTRUCTED
[Dashed line] (E) WALL TO BE DEMOLISHED

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 1 5 10 30
NORTH



LOT AREA: 5,275 S.F.
 AREA BASEMENT: 1,399 S.F.
 AREA FIRST FLOOR: 1,399 S.F.
 AREA SECOND FLOOR: 1,266 S.F.
 TOTAL BLDG. AREA: 4,064 S.F.



NO.	ISSUES

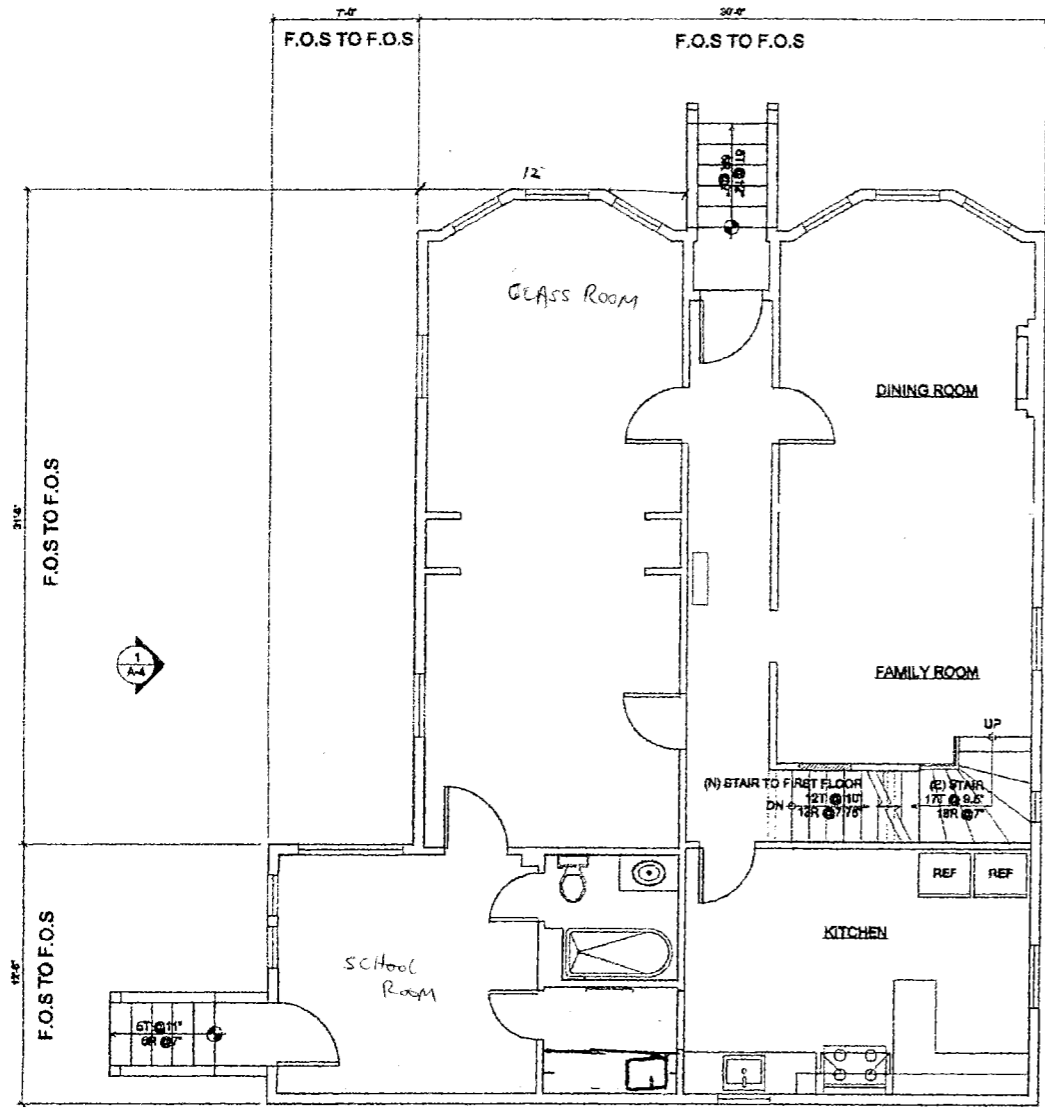
GOLD MAN
 ARCHITECTS

172 RUSS STREET
 SAN FRANCISCO
 CALIFORNIA 94103
 415-391-1339
 415-621-3393

Chabad
 3771 Cesar Chavez Street
 San Francisco, California

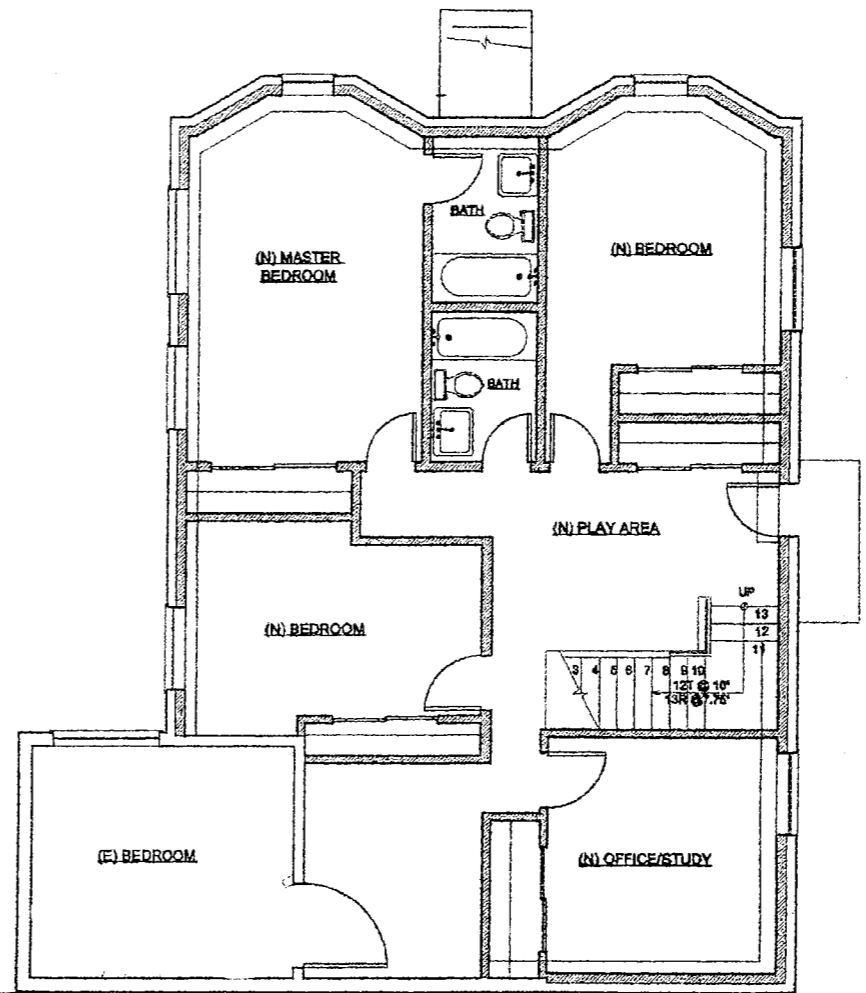
EXISTING CONDITIONS

Date:	11.17.05
Scale:	AS NOTED
Drawn:	-
Job:	GA_0504
Sheet:	1



FIRST FLOOR - EXISTING

SCALE: 1/4" = 1'-0"



BASEMENT - EXISTING

SCALE: 1/4" = 1'-0"

(E) NEIGHBORING BLDG.

(E) NEIGHBORING BLDG.



CHABAD HOUSE
3771 CAESAR CHAVEZ STREET
SAN FRANCISCO, CA

RESIDENTIAL PLAN

NO. ISSUE DATE

2

ISSUES

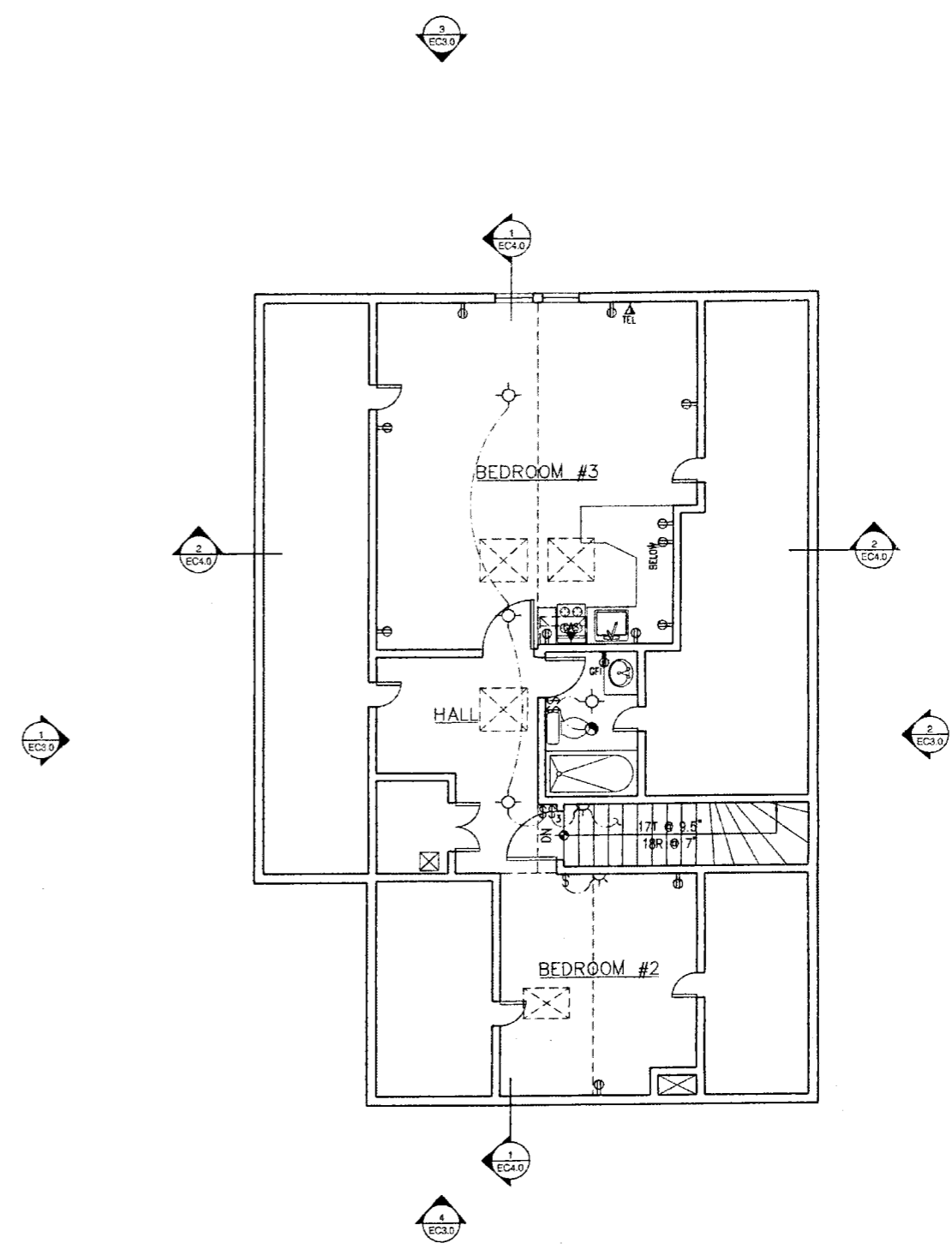
**GOLD
MAN**
ARCHITECTS

172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

Chabad
3771 Cesar Chavez Street
San Francisco, California

EXISTING CONDITIONS

Date	11.17.05
Scale	AS NOTED
Drawn	-
Job	GA_0504
Sheet	3



AREA SECOND FLOOR = 1,266 S.F.

1 SECOND FLOOR PLAN - EXISTING CONDITIONS
EC2.1 Scale: 1/4" = 1'-0"

