



# SAN FRANCISCO PLANNING DEPARTMENT

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## Memo to the Planning Commission

### Discretionary Review Full Analysis

HEARING DATE: DECEMBER 13, 2012

CONTINUED FROM SEPTEMBER 20, 2012; OCTOBER 18, 2012; NOVEMBER 8, 2012

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Date:* December 6, 2012  
*Case No.:* **2012.0928DDD**  
*Project Address:* **2000 20<sup>th</sup> Street**  
*Permit Application:* 2010.12.01.5856  
*Zoning:* RM-1 (Residential, Mixed, Low Density) Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 4072/023  
*Project Sponsor:* Kennedy Chan  
2000 20<sup>th</sup> Street  
San Francisco, CA 94107  
*Staff Contact:* Richard Sucre – (415) 575-9108  
[Richard.Sucre@sfgov.org](mailto:Richard.Sucre@sfgov.org)  
*Recommendation:* **Do Not Take DR & Approve the Project As Proposed.**

### BACKGROUND

On October 18, 2012, the Planning Commission first reviewed the Discretionary Review request for the proposed project at 2000 20<sup>th</sup> Street.

On November 1, 2012, the Project Sponsor produced new architectural drawings and renderings for the proposed project in response to comments on the adequacy of the architectural drawings from the October 18, 2012 Planning Commission Hearing.

Subsequently, on November 6<sup>th</sup>, 2012, the Project Sponsor and two of the DR Requestors, Michael Bastach and Maria Cristini, underwent mediation to revise the design of the project at 2000 20<sup>th</sup> Street. The last DR Requestor, Gina Emmett, did not attend or participate in the mediation.

As a result of the mediation, the Department received revised architectural drawings on December 3, 2012 and transmitted an electronic pdf copy to all DR Requestors on December 5, 2012.

### CURRENT PROPOSAL

Based upon the revised drawings provided by SMA Architects dated December 3, 2012, the proposed project has been reduced in size and scale and has been redesigned, as compared to the last set of revisions dated November 1, 2012. The updated drawings include the following revisions:

- Slight reduction in floor area in the one-story vertical addition (east façade no longer contains accordion-style plate glass windows; second floor addition reduced from 1552 sf to 1520 sf);
- Redesign of the one-story vertical addition to include design elements that closely match the existing building, such as a projecting eave, aluminum panels, clerestory windows, and aluminum-sash windows;
- Reduction in the size of the 2<sup>nd</sup> floor roof deck along the west façade to include a chamfered edge along the northern edge;
- Reduction in the size of the rooftop deck, which has been revised to be rectangular in shape and further setback from the building edge;
- Addition of three open-air skylights on the roof along the northern edge;
- Redesigned roof access from a stair penthouse to a glass-and-metal-frame retractable roof hatch (rising to 42-inches above the roof);
- Revised guardrails from a cable rail to a galvanized metal rail; and,
- Revised roof design with standing seam metal roof.

The Department has no issue with the revised project and finds that these refinements reflect the Project Sponsor's willingness to address DR Requestors concerns.

Although the refinements have been made to the proposed project, none of the DR Requestors have withdrawn their Discretionary Review requests. However, the Department understands that two of the DR Requestors, Michael Bastach and Maria Cristini, are in agreement with the revisions to the proposed project.

The architectural drawings and renderings produced by SMA Architecture (dated December 3, 2012) represent the project, as currently proposed (See Attached).

## **PUBLIC COMMENT**

Between November 1, 2012 and December 6, 2012, the Department received one additional public correspondence on the proposed project. On November 5, 2012, the Project Sponsor provided a petition signed by a number of individuals expressing support for the proposed project and against Discretionary Review.

Therefore, as of December 6, 2012, the Department has received a total of thirty letters of opposition to the proposed project and one petition in support of the proposed project.

Copies of this correspondence have been included as an attachment to this memo.

### **Attachments:**

Reduced Architectural Drawings & Rendering (dated 12/03/12)

Updated DR Response

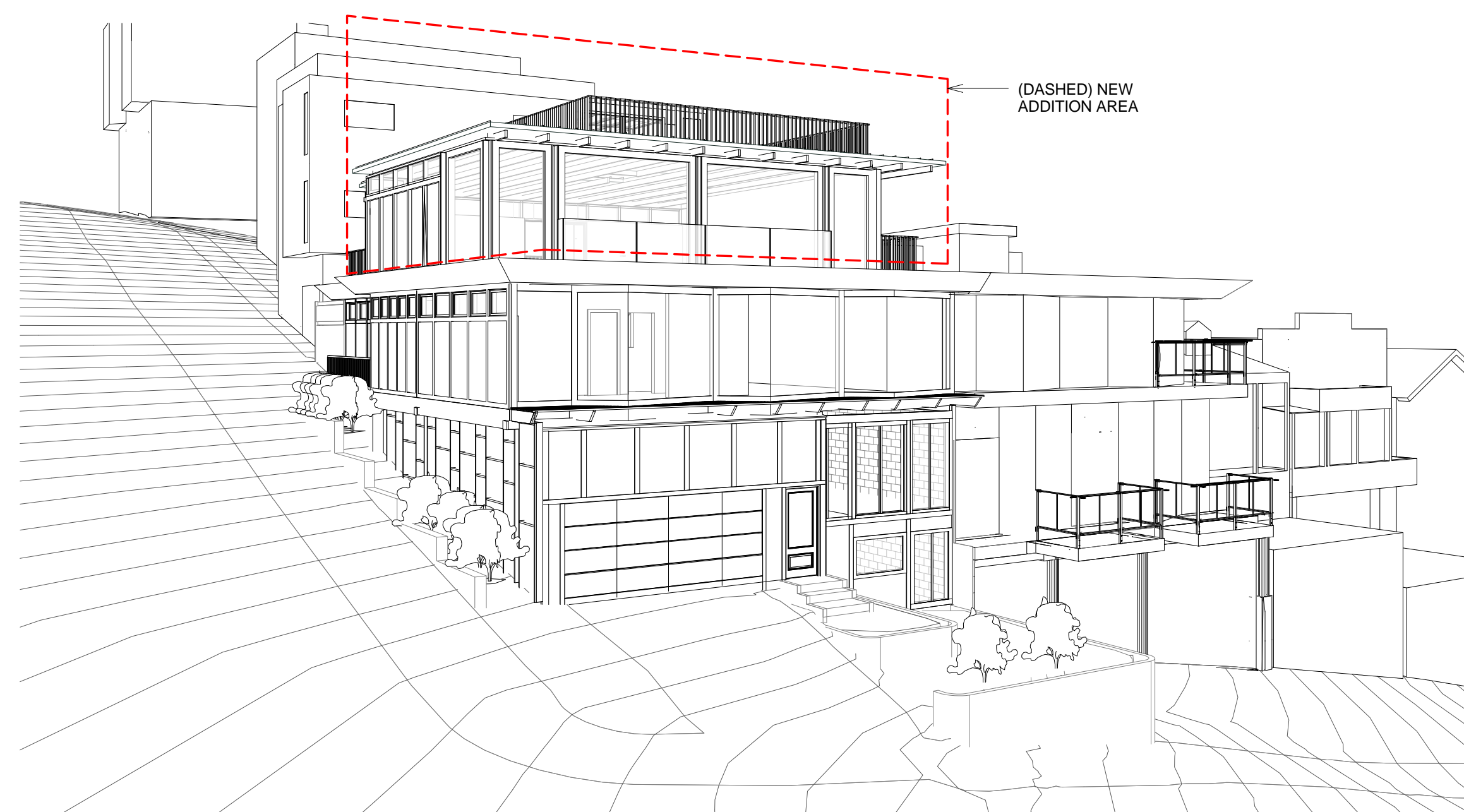
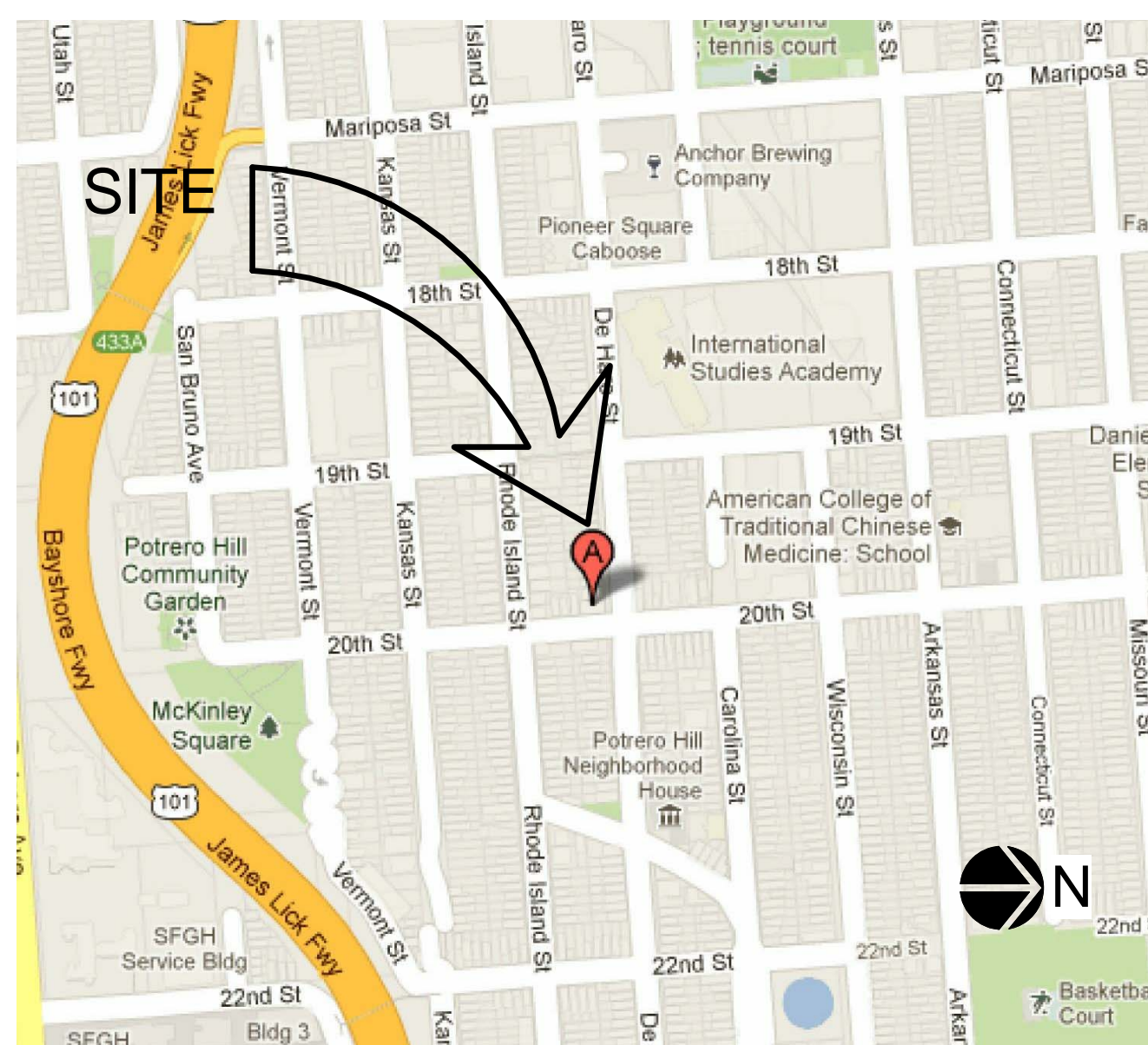
Public Correspondence received between November 2, 2012 and December 6, 2012

# PROPOSED ADDITION - CHAN RESIDENCE

2000 20TH STREET,  
SAN FRANCISCO, CA

SCHEMATIC DESIGN - DECEMBER 03, 2012

## VICINITY MAP NOT TO SCALE



## PROJECT TEAM

**Owner:** Kennedy Chan  
2000 20th Street  
San Francisco, CA  
Contact: Kennedy Chan  
Tel: 650.995.6109

**Architect:** SMA  
703 Market Street, Suite 450  
San Francisco, CA 94103  
Contact: Scott A. Mullen, AIA  
Tel: 415.894.1300  
Fax: 415.894.1310  
www.sma-arch.com

**Design Consultant:** Pierluigi Serraino Architecture,  
Pierluigi Serraino, AIA  
502 Lagunaria Lane, Alameda, CA 94502  
Tel. 415 902 2595  
Fax. 510 864 4030  
www.pierluigiserraino.com

**Structure:** A&J Design Associates, Inc.  
2328 Taraval Street  
San Francisco, CA 94116  
Contact: Joyce Cheng, P.E.  
Tel: 415.682.8683

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	12/03/12	SCHEMATIC DESIGN	SM

SEAL



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Fax: (415)894-1301  
Web: www.sma-arch.com

## DRAWING INDEX

ARCHITECTURAL	
Sheet Number	Sheet Name
A0	Cover Sheet
A0.1	Material Palette
A1	Existing Elevations
A1.1	Plot Plan
A2	Existing Plans
A3	Proposed Plans
A4	Proposed Plans
A5	Proposed Elevations
A6	Proposed Elevations
A7	Proposed Elevations

## 3D VIEWS



## PROJECT DATA SUMMARY

SINGLE FAMILY RESIDENCE OCCUPANCY:  
CONSTRUCTION TYPE: 5B  
OCCUPANCY GROUP: R3

SCOPE OF WORK:  
PROPOSED ALTERATION AND VERTICAL ADDITION

ALL CONSTRUCTION SHALL COMPLY WITH 2010 C.B.C. STATE CODES, 2010 C.M.C., 2010 C.P.C., 2010 N.E.C., ALL LOCAL AMMENDMENTS/ORDINANCES and ALL LOCAL SUB-TRADE CODES.

TRACT MAP:  
BLOCK - 4072  
LOT - 23

NOT FOR CONSTRUCTION

SCHEMATIC DESIGN

PROJECT NAME  
PROPOSED ADDITION TO  
CHAN RESIDENCE

PROJECT ADDRESS  
2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23

SHEET TITLE

Cover Sheet

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A0
CHECKED	SM	
APPROVED	-	
DATE	12/03/12	
JOB NO	CHAN 01	

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SCHEMATIC DESIGN NOT FOR CONSTRUCTION

PROJECT NAME

PROPOSED ADDITION TO  
CHAN RESIDENCE

PROJECT ADDRESS

2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23

SHEET TITLE

Material  
Palette

SCALE	AS NOTED	SHEET NO.
DRAWN	Author	A0.1
CHECKED	Checker	
APPROVED	Approver	
DATE	12/03/12	
JOB NO	CHAN 01	

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PROJECT NAME  
**PROPOSED ADDITION TO  
CHAN RESIDENCE**

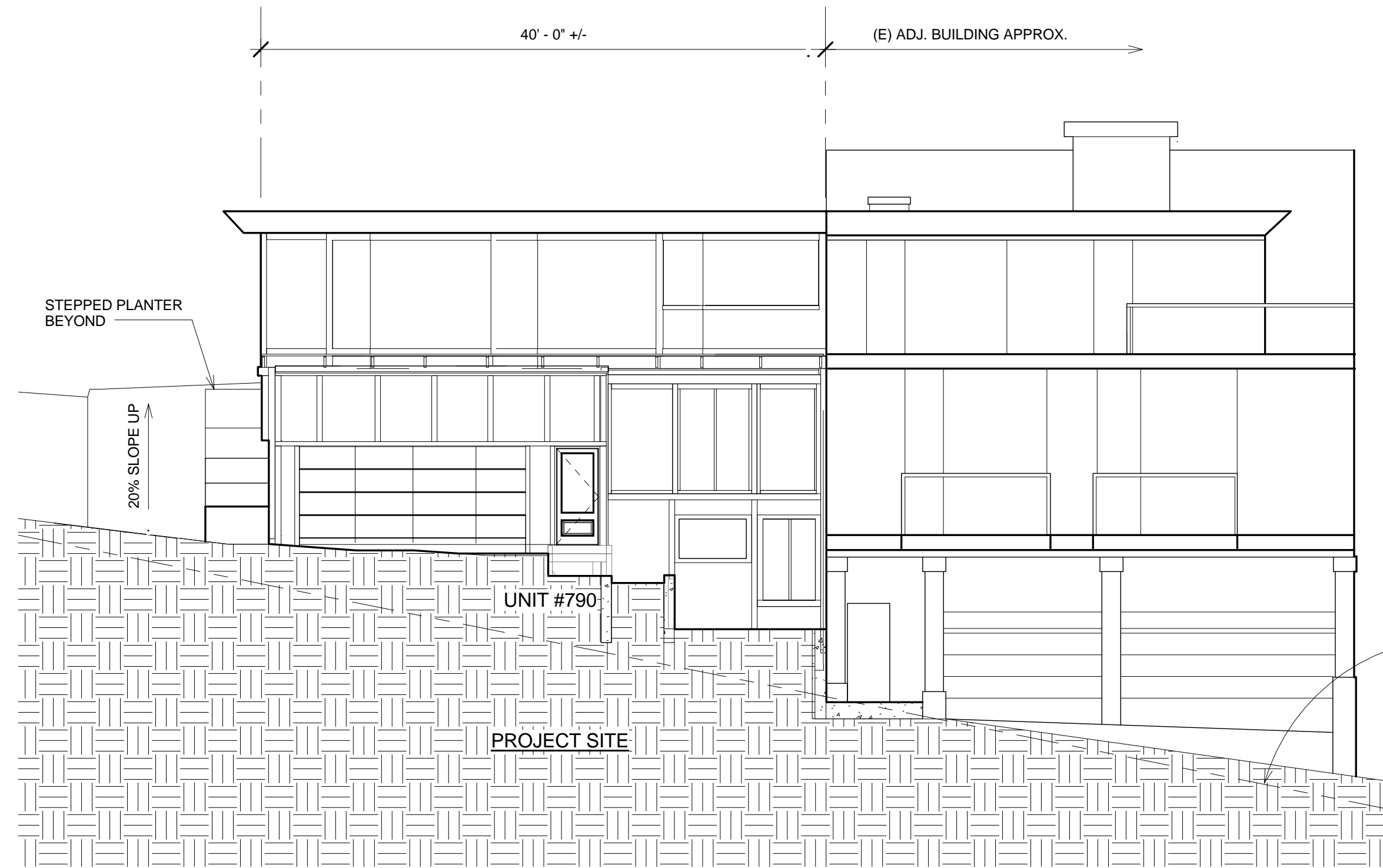
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**2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23**

SHEET TITLE

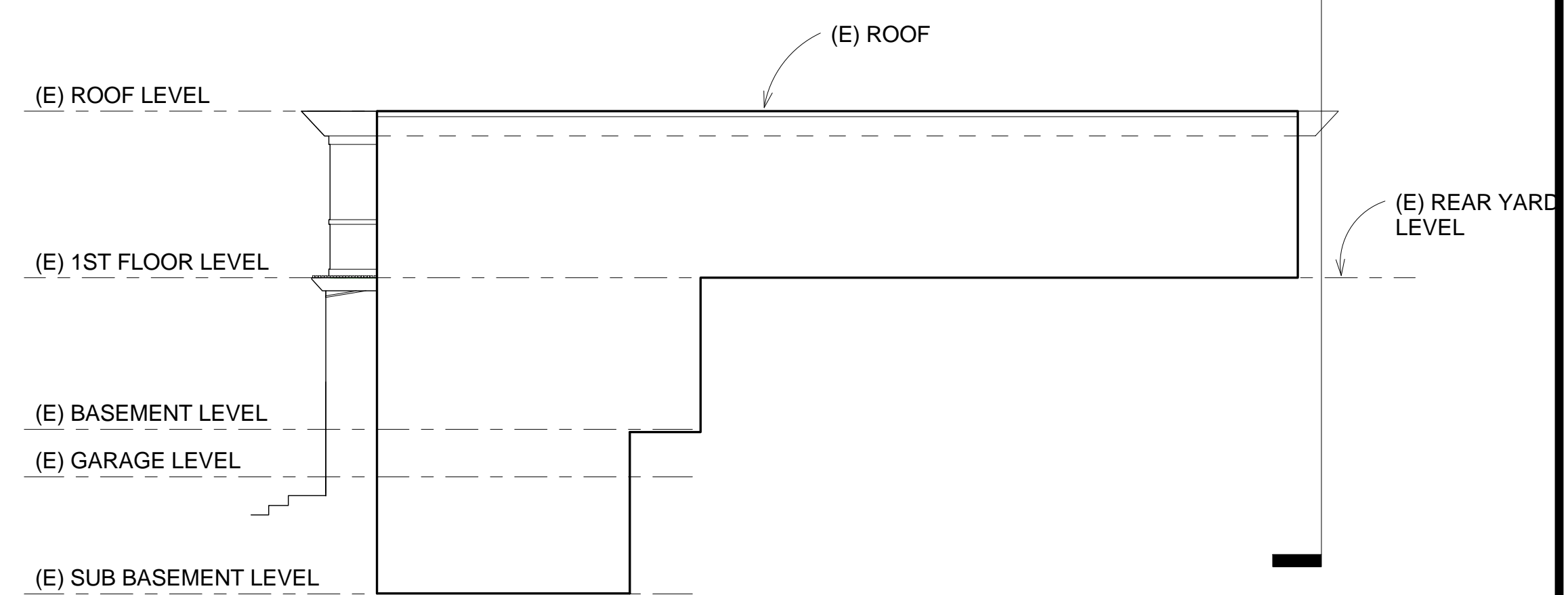
**Existing  
Elevations**

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DATE	12/03/12	
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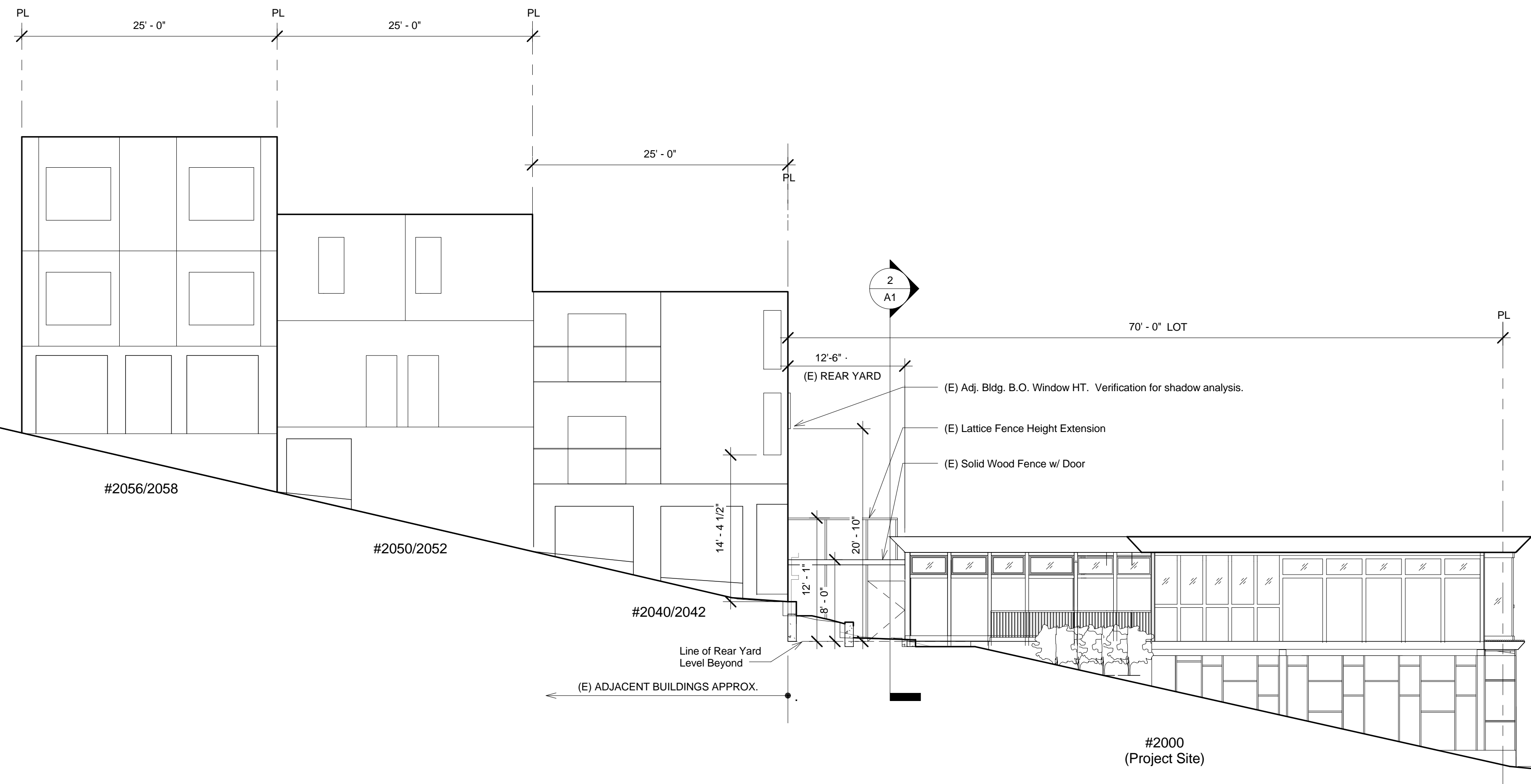
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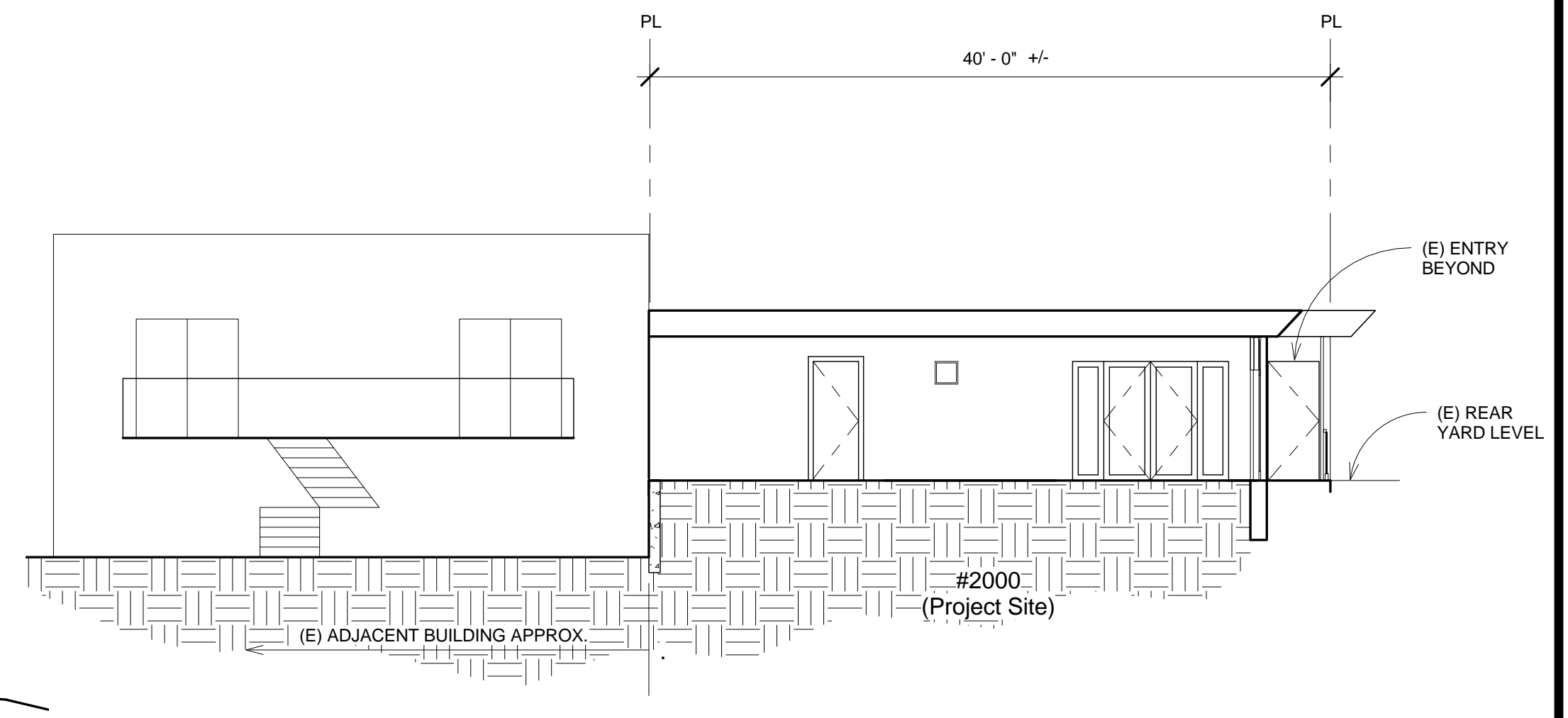
3 Existing East Elevation (On De Haro Street)  
1/8" = 1'-0"



4 Existing North Elevation  
1/8" = 1'-0"



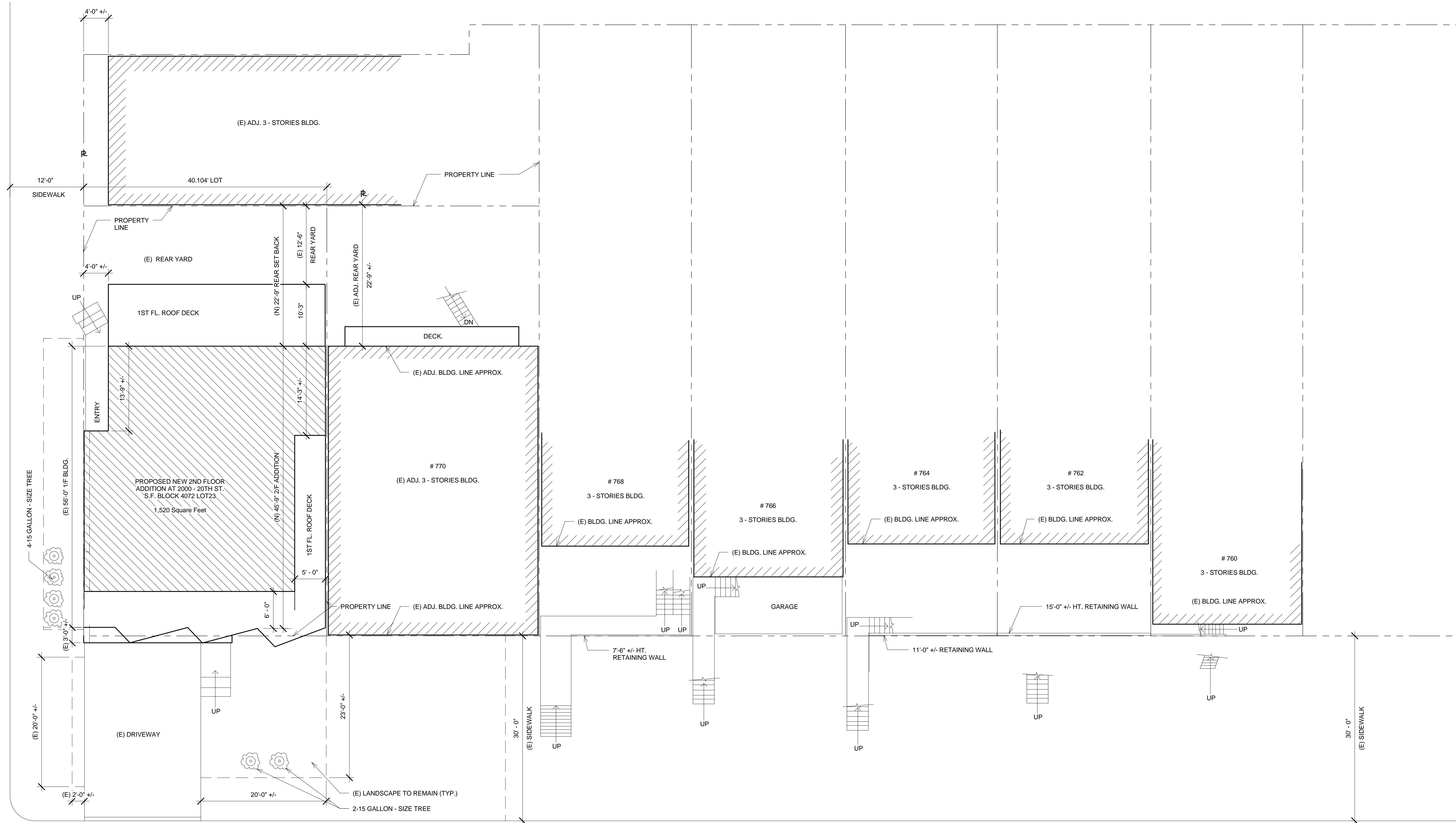
1 Existing South Elevation (On 20th Street)  
1/8" = 1'-0"



2 Existing West Elevation  
1/8" = 1'-0"

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DE HARO STREET

1 Plot Plan  
 1/8" = 1'-0"

2010 - 12 - 01 - 5856

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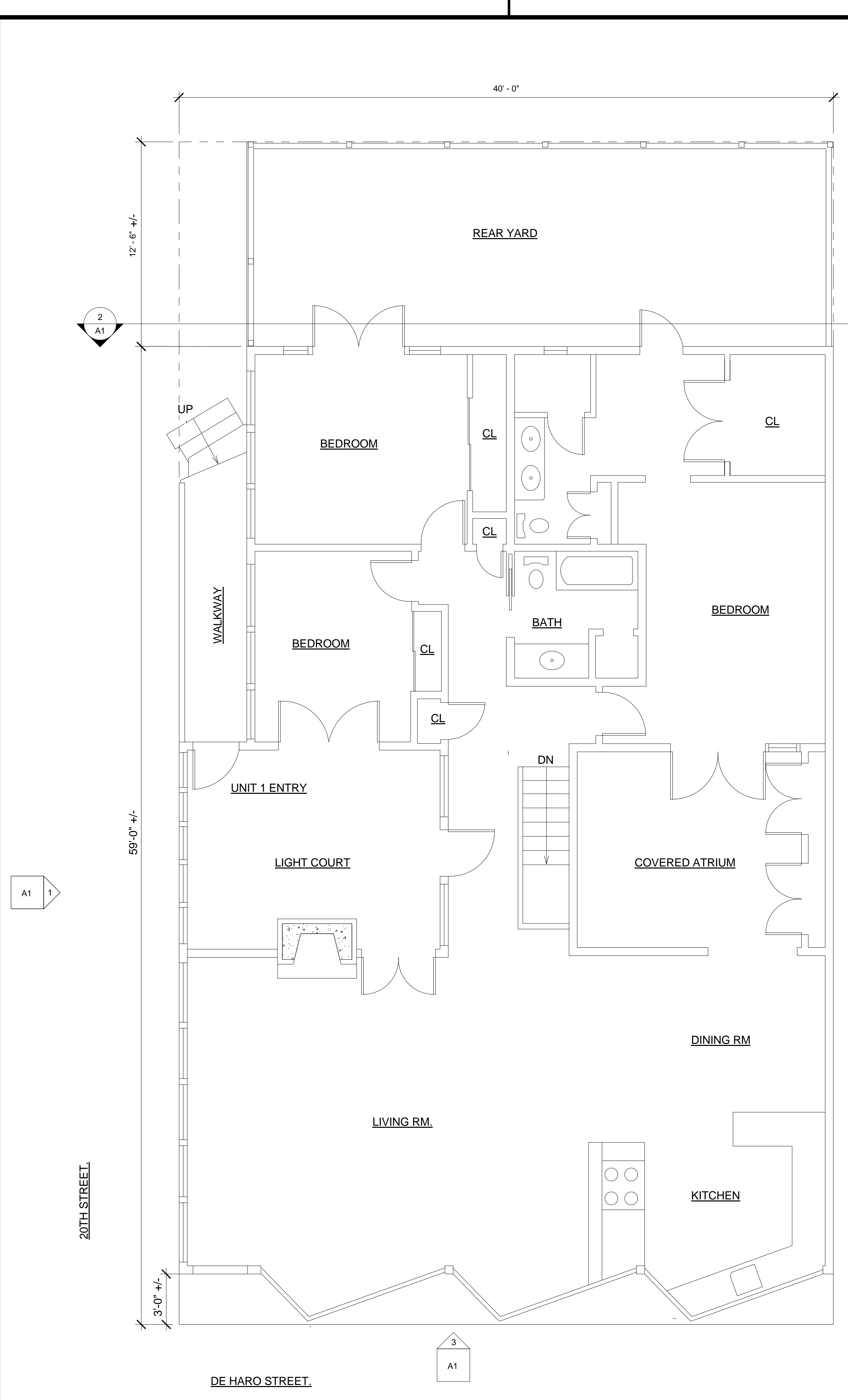
PROJECT NAME  
 PROPOSED ADDITION TO  
 CHAN RESIDENCE

PROJECT ADDRESS  
 2000 20TH ST.,  
 SAN FRANCISCO, CA  
 BLOCK 4072 LOT 23

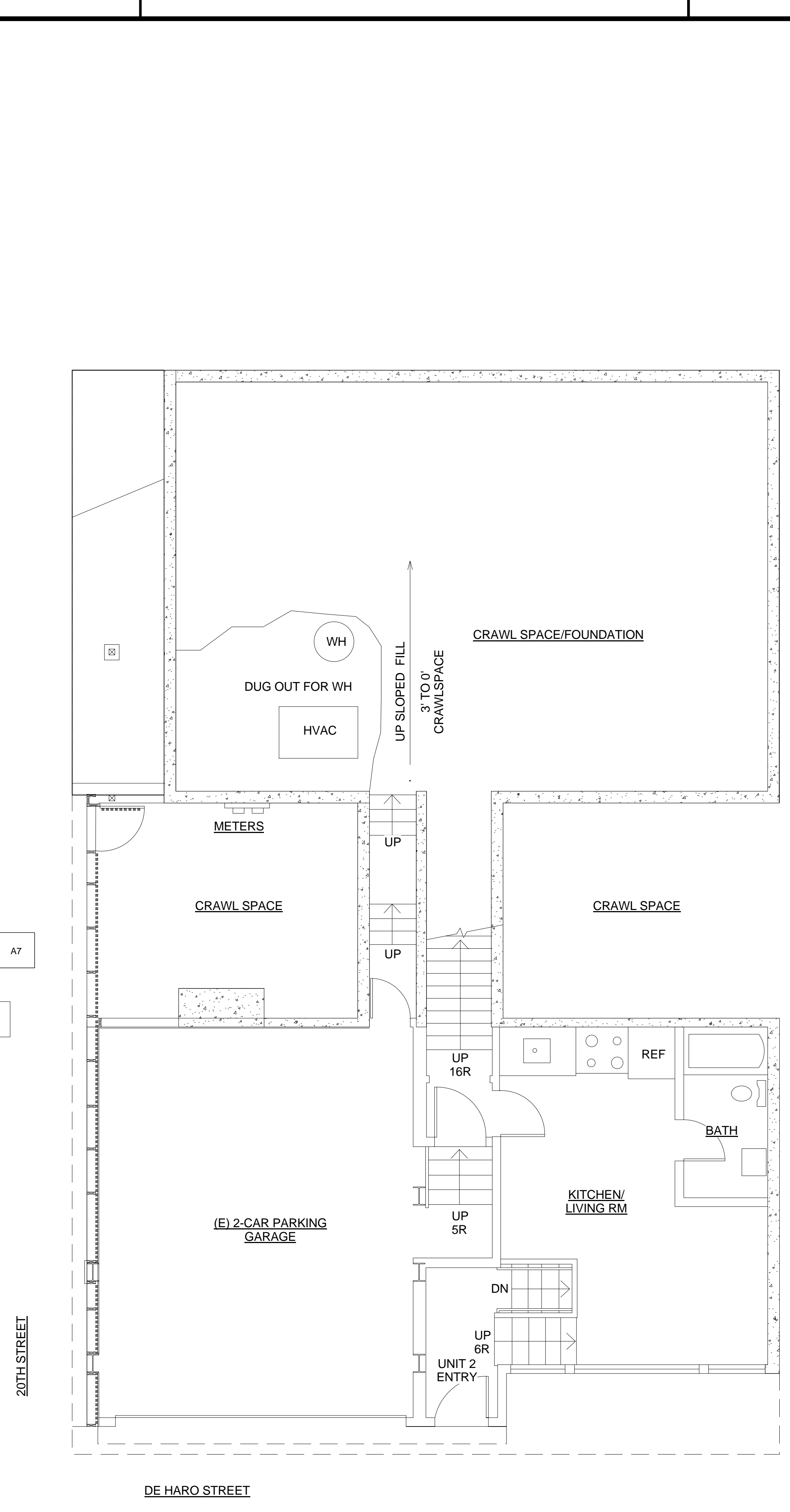
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 Plot Plan

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CHECKED	SM	
APPROVED	-	
DATE	12/03/12	
JOB NO	CHAN 01	

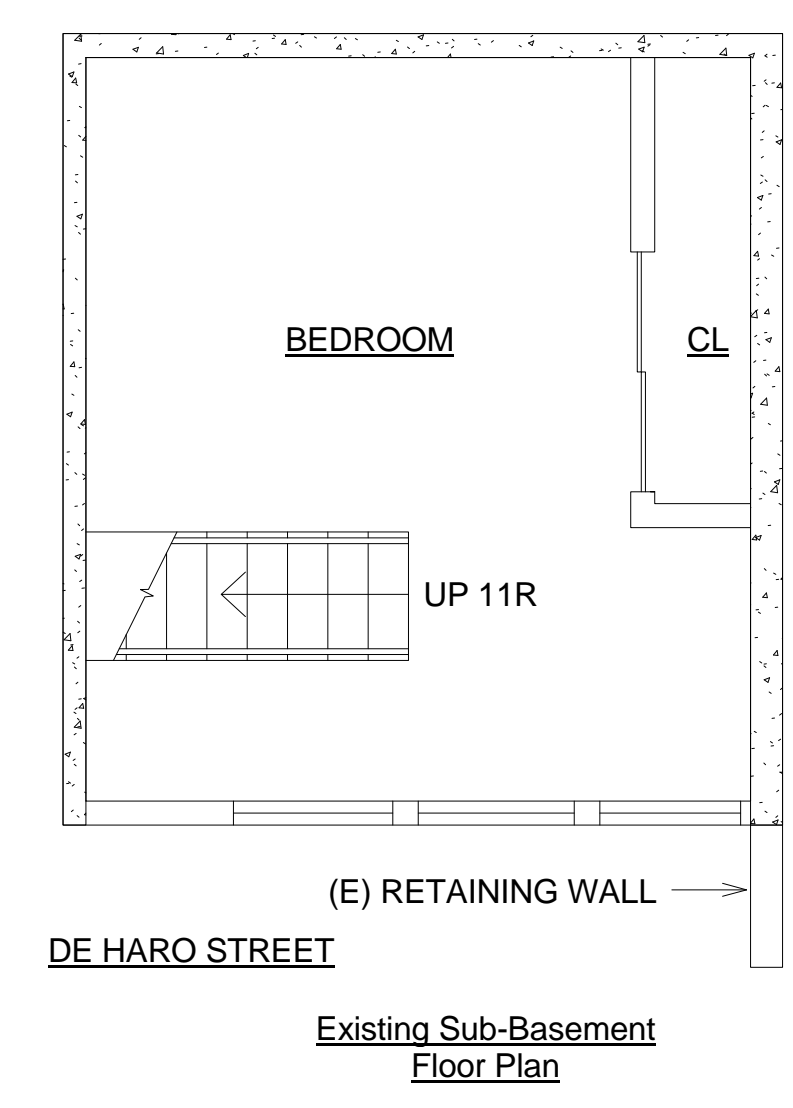
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2 Existing First Floor Plan  
1/4" = 1'-0"

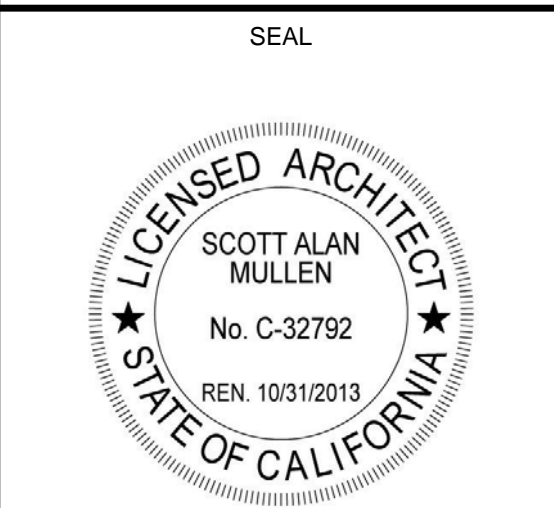


1 Existing Basement Floor Plan  
1/4" = 1'-0"



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PROJECT ADDRESS  
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SHEET TITLE  
Existing Plans

SCALE	AS NOTED	SHEET NO.
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DATE	12/03/12	
JOB NO	CHAN 01	

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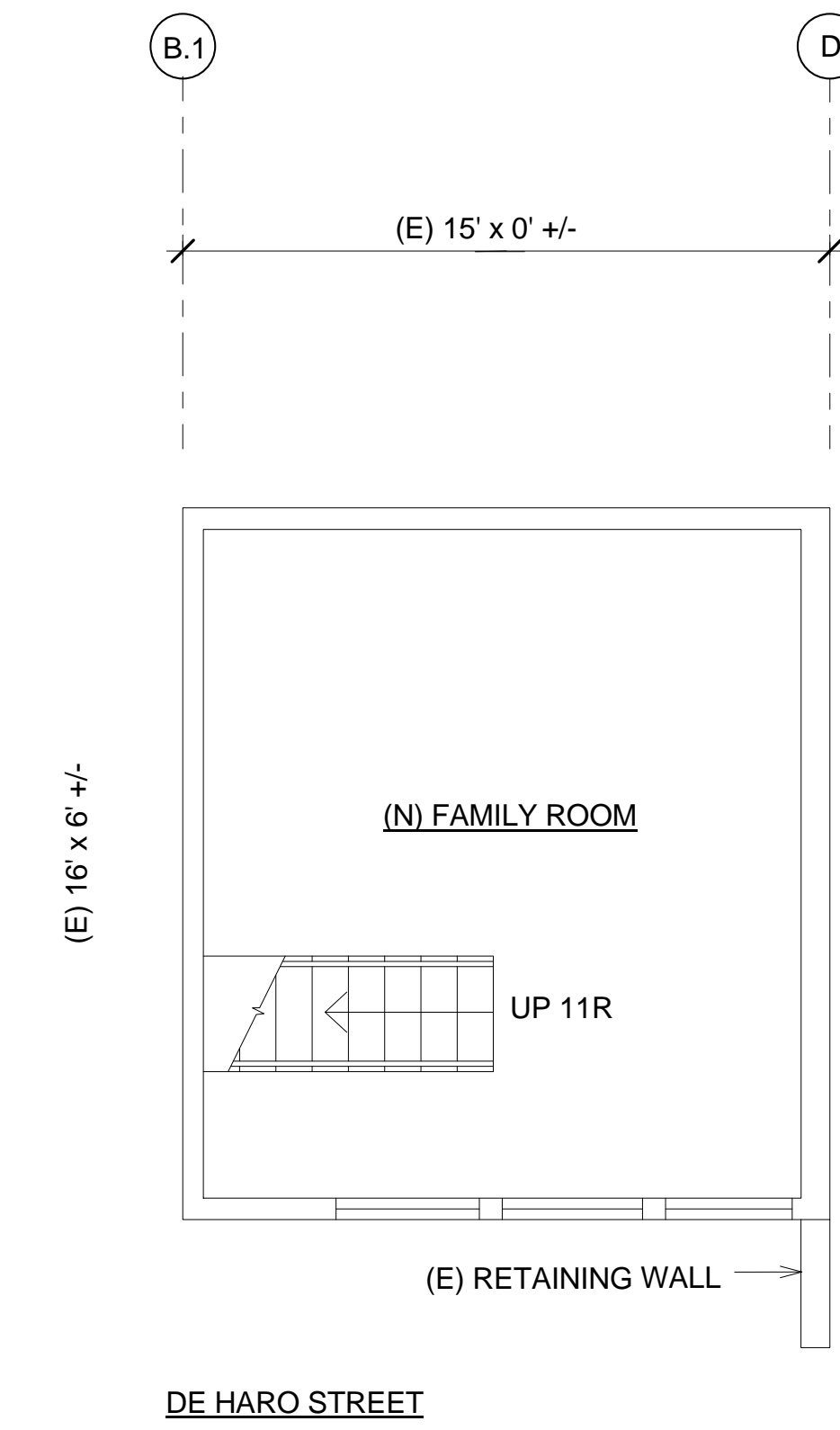
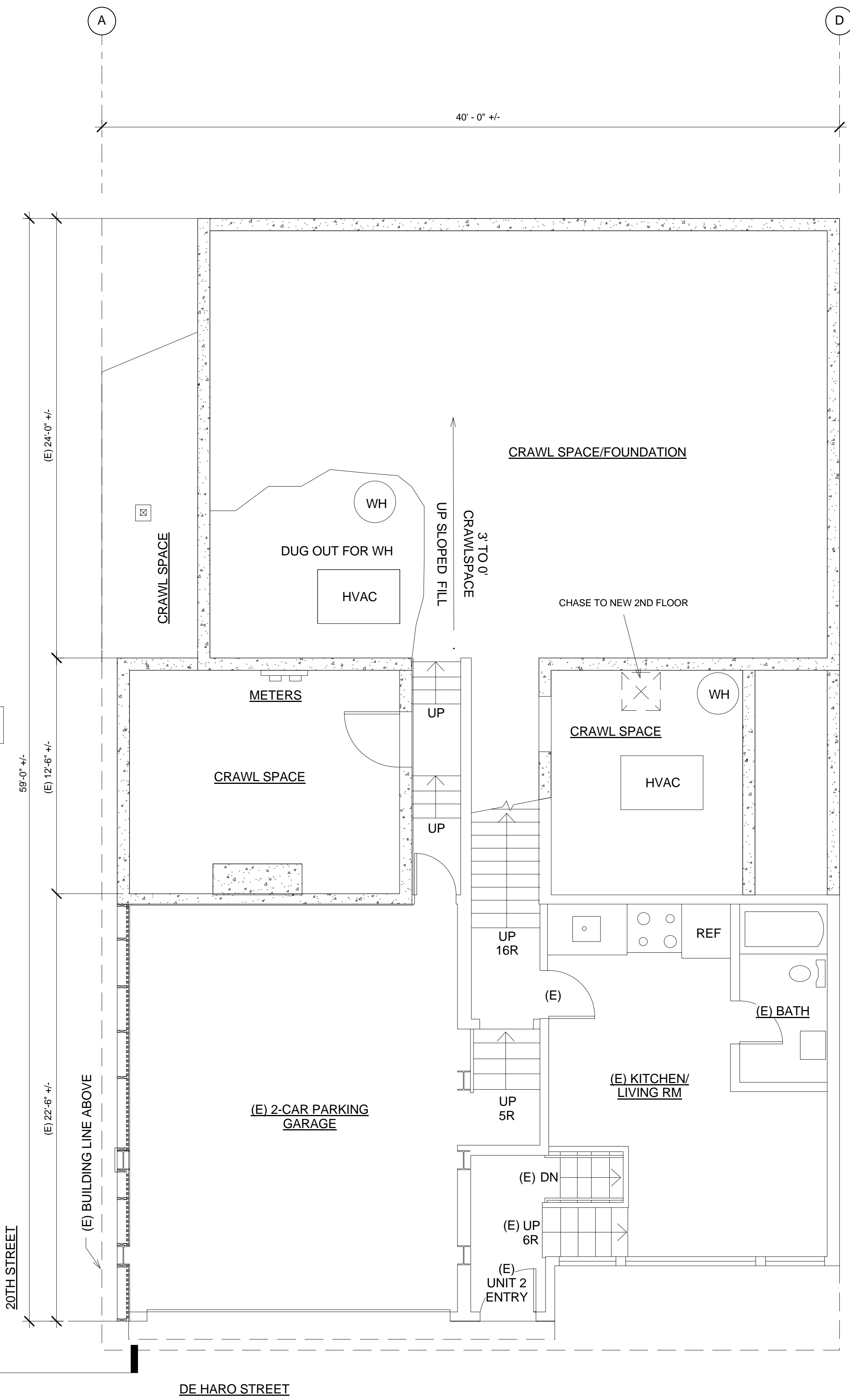
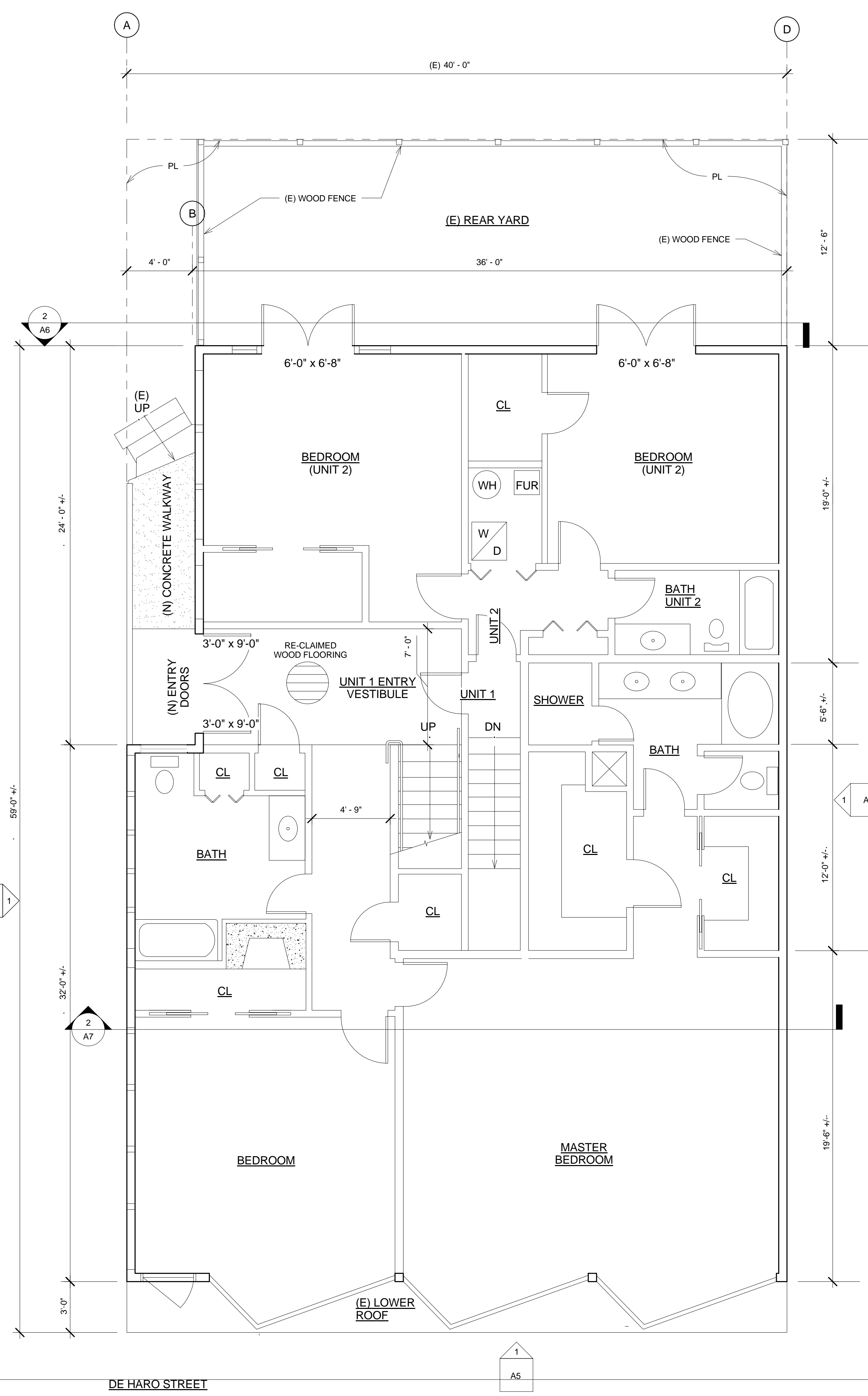
PROJECT NAME  
**PROPOSED ADDITION TO  
CHAN RESIDENCE**

PROJECT ADDRESS  
**2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23**

SHEET TITLE

**Proposed  
Plans**

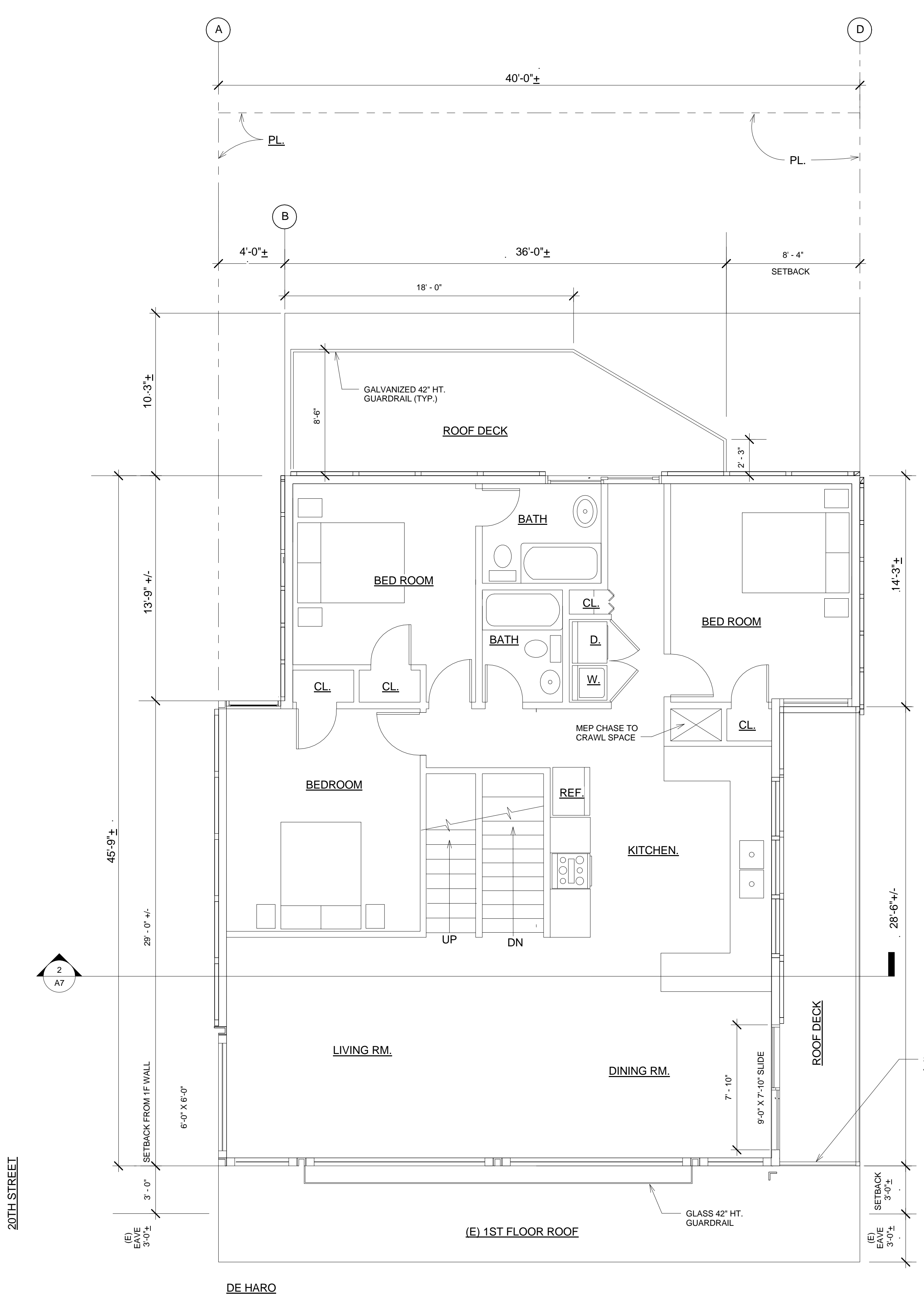
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APPROVED	-	
DATE	12/03/12	
JOB NO	CHAN 01	



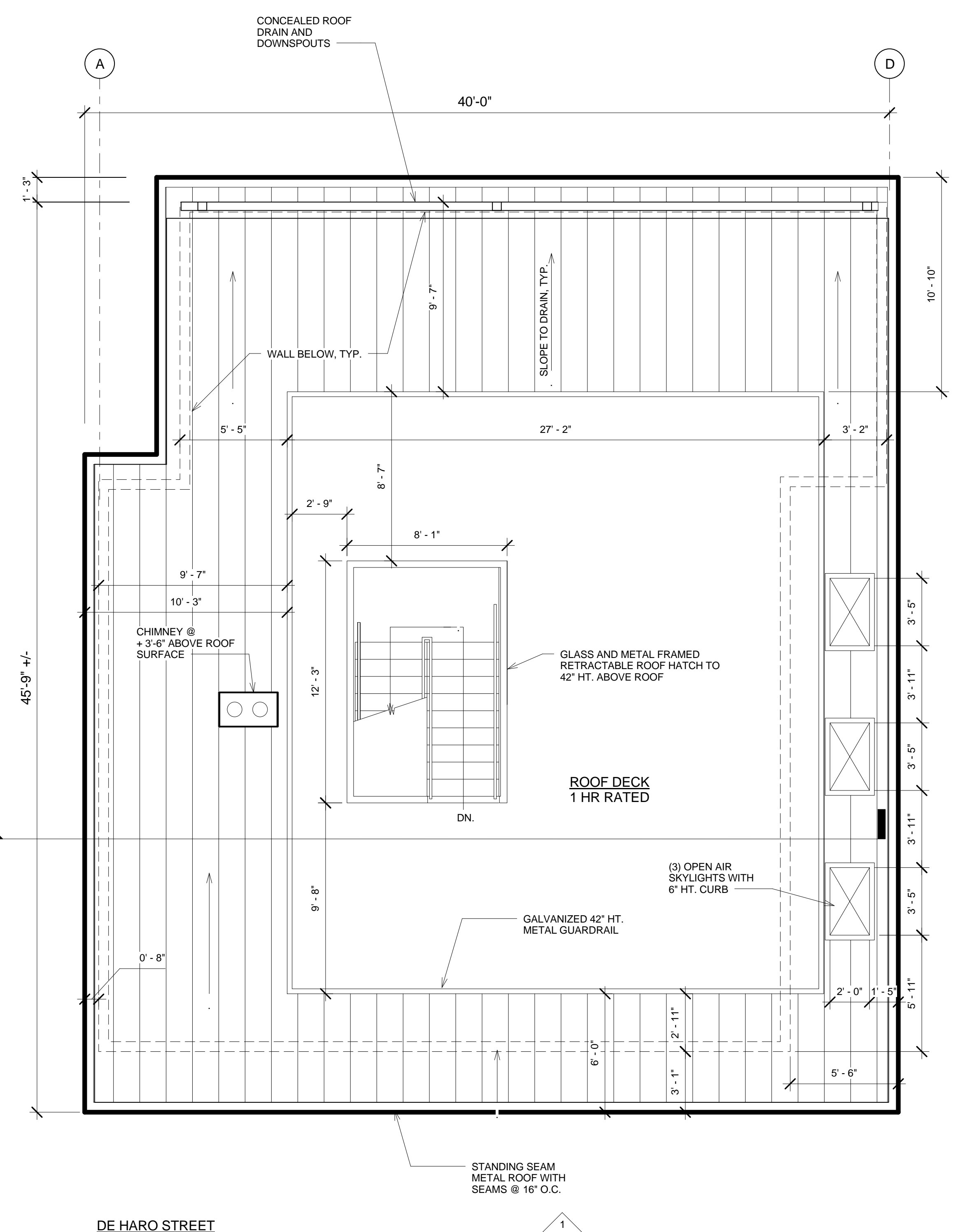
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1 Proposed New Second Floor Plan  
1/4" = 1'-0"



2 Proposed Roof Plan  
1/4" = 1'-0"

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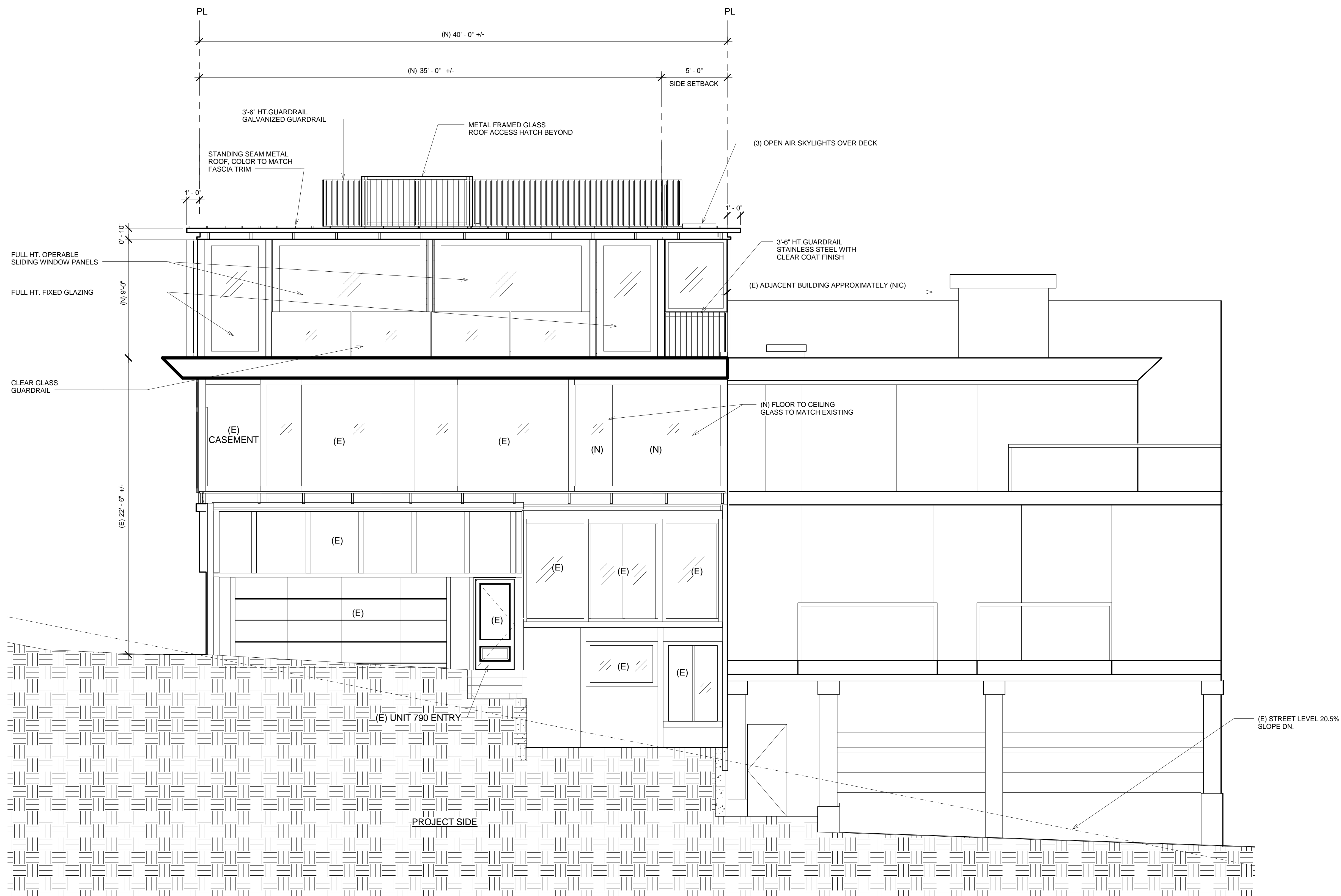
PROJECT NAME  
PROPOSED ADDITION TO  
CHAN RESIDENCE

PROJECT ADDRESS  
2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23

SHEET TITLE

Proposed  
Plans

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A4
CHECKED	SM	
APPROVED	-	
DATE	12/03/12	
JOB NO	CHAN 01	



1 Proposed East Elevation  
1/4" = 1'-0"

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PROJECT NAME

PROPOSED ADDITION TO  
CHAN RESIDENCE

PROJECT ADDRESS

2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23

SHEET TITLE

Proposed  
Elevations

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A5
CHECKED	SM	
APPROVED	-	
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JOB NO	CHAN 01	

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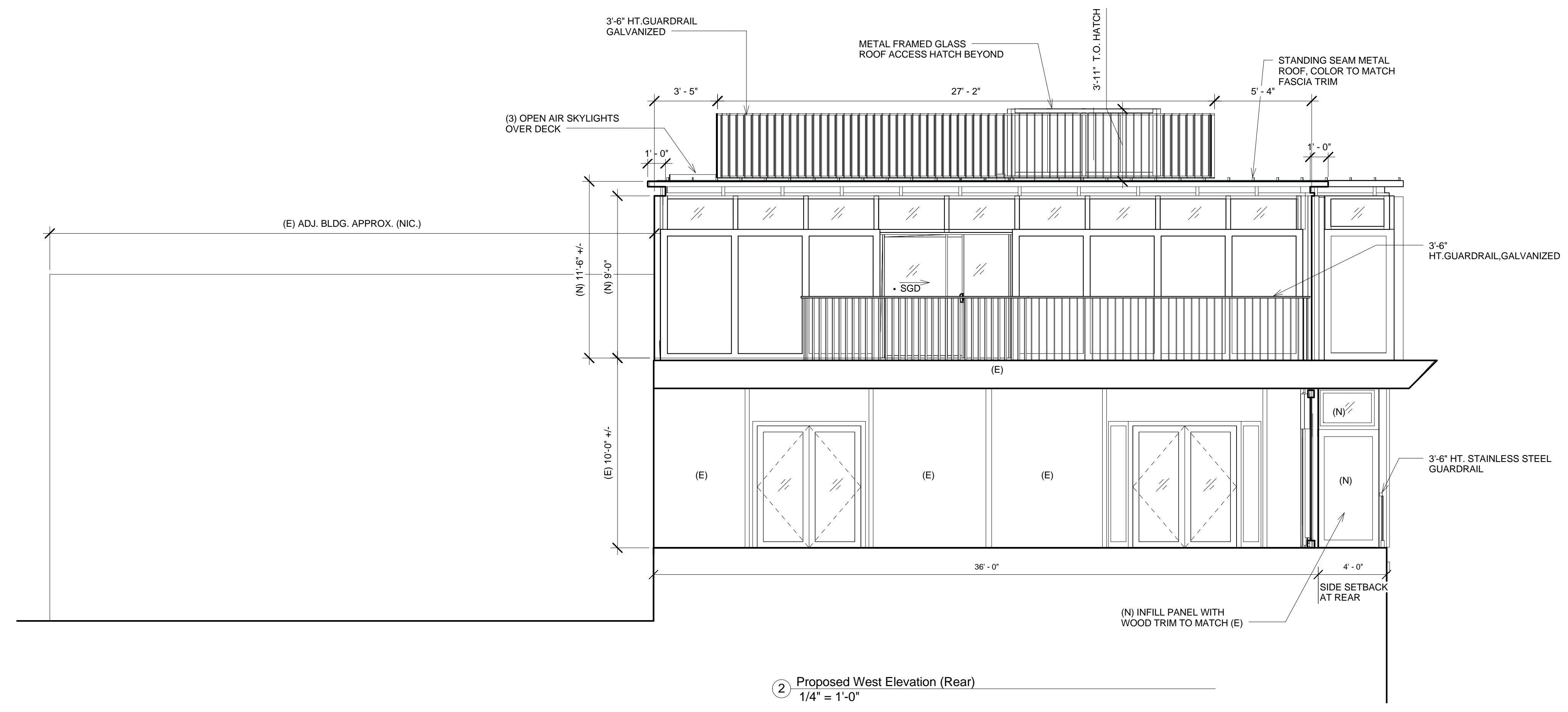
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PROJECT NAME  
**PROPOSED ADDITION TO  
CHAN RESIDENCE**

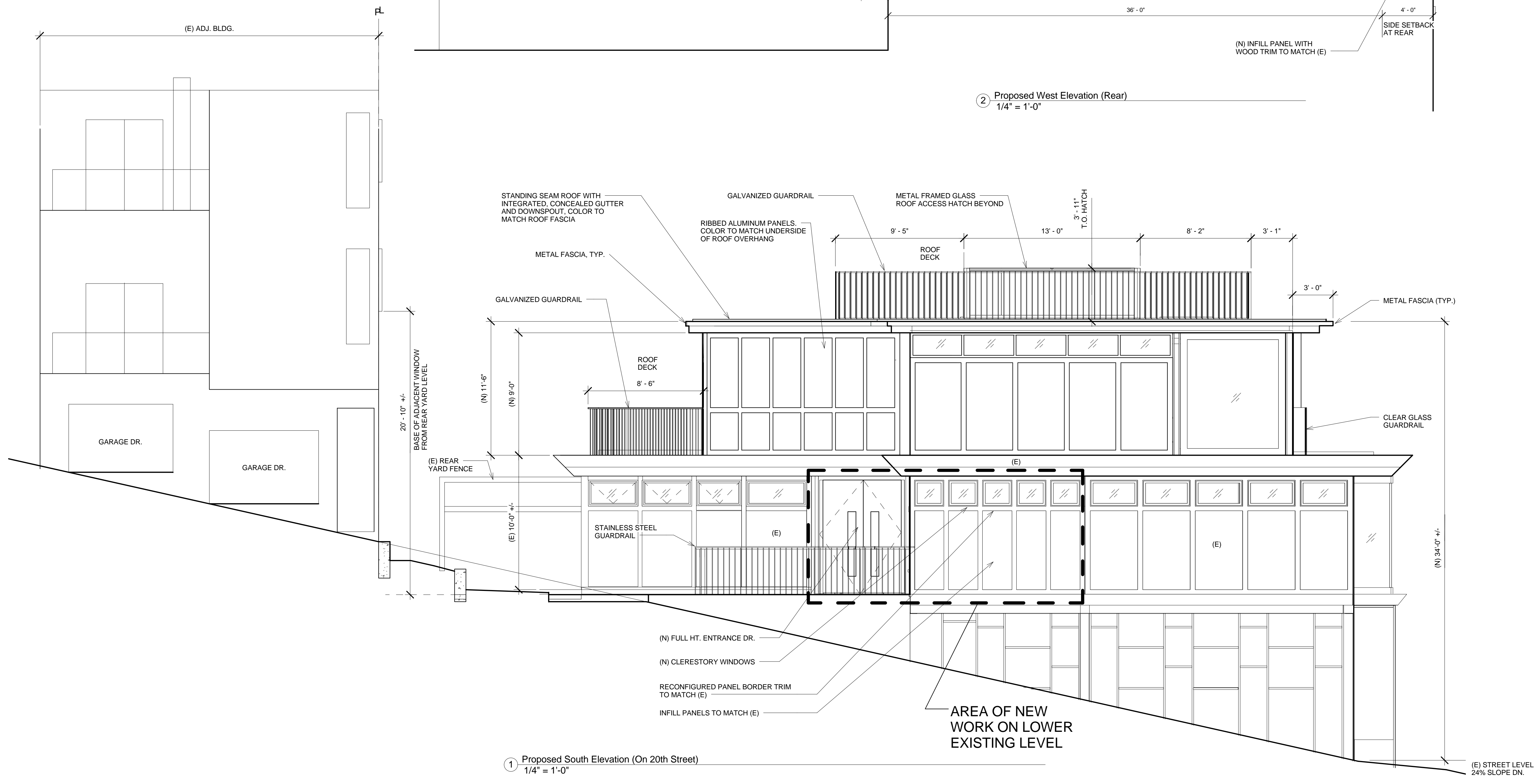
PROJECT ADDRESS  
**2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23**

SHEET TITLE  
**Proposed  
Elevations**

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	<b>A6</b>
CHECKED	SM	
APPROVED	-	
DATE	12/03/12	
JOB NO	CHAN 01	



② Proposed West Elevation (Rear)  
1/4" = 1'-0"



① Proposed South Elevation (On 20th Street)  
1/4" = 1'-0"

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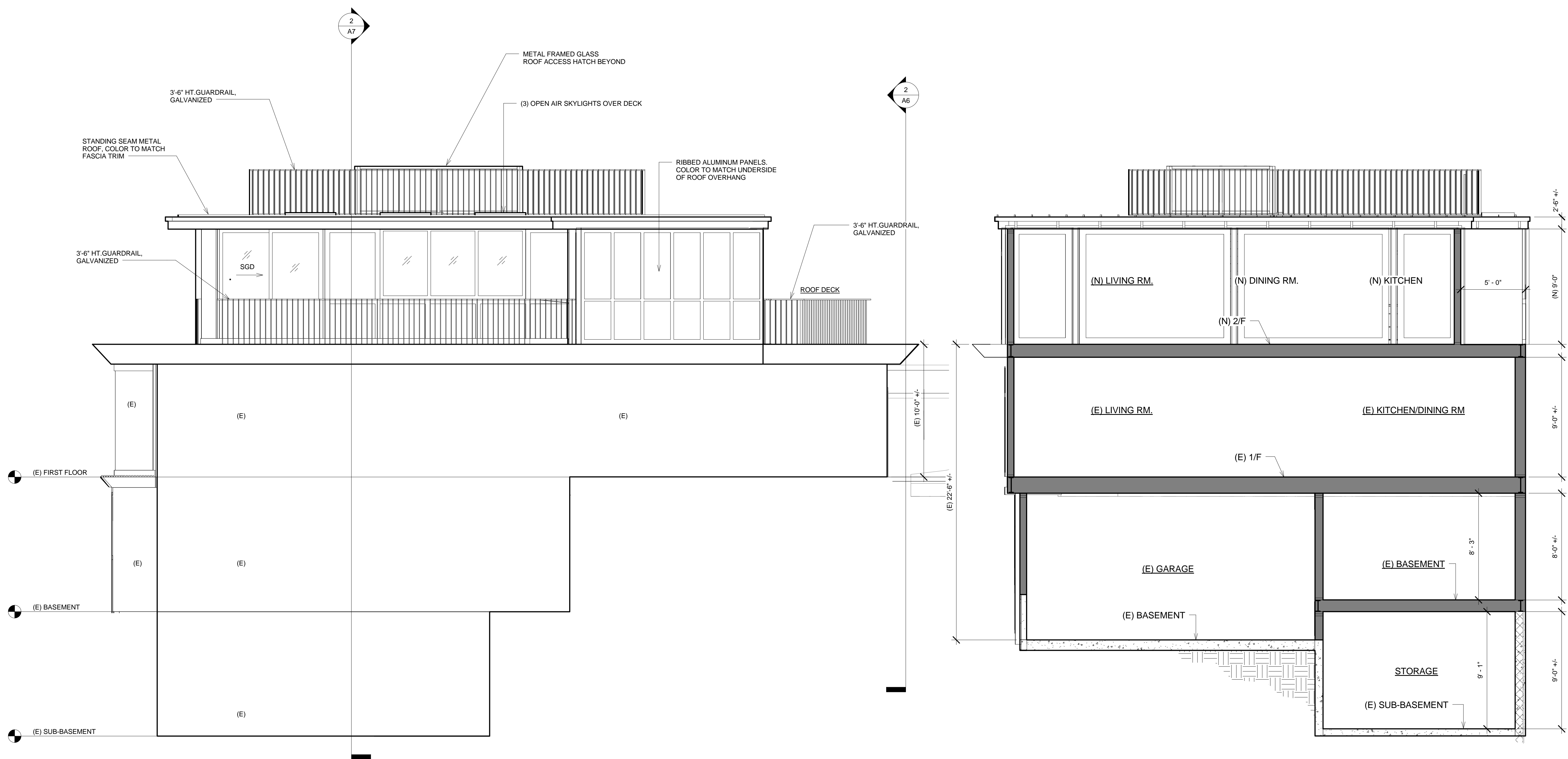
SCHEMATIC DESIGN

PROJECT NAME  
**PROPOSED ADDITION TO  
CHAN RESIDENCE**

PROJECT ADDRESS  
**2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23**

SHEET TITLE  
**Proposed  
Elevations**

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A7
CHECKED	SM	
APPROVED	-	
DATE	12/03/12	
JOB NO	CHAN 01	



1 Proposed North Elevation  
1/4" = 1'-0"

2 Section A  
1/4" = 1'-0"

12/3/2012 11:50:30 AM C:\Users\Admin\Documents\Chan\_House New Design\_Admin.rvt



# SAN FRANCISCO PLANNING DEPARTMENT

## RESPONSE TO DISCRETIONARY REVIEW

Case No.: 12.0928D  
Building Permit No.: 2010.12.01.5856  
Address: 2000 20<sup>th</sup> Street

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

Project Sponsor's Name: Kennedy Chan

Telephone No.: (650) 995-6109 (for Planning Department to contact)

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.

Please see attached response.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

Please see attached response.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Please see attached response.

## Response to Discretionary Review

#1. **1<sup>st</sup> Meeting** - We met with the neighbors for the first time on September 2010 to introduce our project and noted some of their concerns. For the next 18 months, we worked with Rich Sucre, from the Planning Department to scale down the project by eliminating one (1) complete floor and modified the project to obtain planning department acceptance / approval. The 311 notice was filed and posted on June 19<sup>th</sup>, 2012.

**2<sup>nd</sup> Meeting** - We met with the neighbors on July 3<sup>rd</sup>, 2012 to show them the changes on the project. They requested a 3-dimensional perspective and a shadow study if possible to gain a better understanding of the project. Therefore I hired, SMA Architect for the shadow study and 3D rendering, which they completed, and sent copies to all concerned parties.

**3<sup>rd</sup> Meeting** - On August 13, 2012, Scott Mullen and Sharmila Subramaniam from SMA Architects were present to explain the shadow studies and answer any questions that needed clarifications for the neighbors. The meeting lasted about 1 hour.

**4<sup>th</sup> Meeting** - We had our next meeting on September 6, 2012 at SMA Architect office to continue to discuss shadow studies and issued a detailed report dated September 4, 2012 to Gina and Maria. (See attached Report "A".) The meeting lasted about 1.5 hours.

**5<sup>th</sup> Meeting** - On September 13, 2012 we had our meeting at SMA Architect office to present a 3-dimensional perspective / rendered model comprising of the key components to show the materials and finishes on the building. The meeting lasted for about 1.5 hours. There were some additional agreements regarding changes to the project as listed within line item #2 and submitted new 2D drawing from A & J Design.

**6<sup>th</sup> Meeting** – On November 6<sup>th</sup>, 2012, we had our meeting at SMA Architect office. Chris Cole (neighbor) suggested to hire a mediator, Jack C. Tjeerdsma to help facilitate the approval from the neighbors for this project. All three (3) D.R. Requestors were invited – Michael Bastasch and Maria Cristini were present. Gina Emett did not attend the mediation. The mediation started at 6:15pm and concluded at 12:50am with an agreement in place.

**7<sup>th</sup> Meeting** – On November 14<sup>th</sup>, 2012, another meeting was held at SMA's office to discuss new exterior architectural designs with the D.R. Requestors' Architect, Pierluigi Serraino. The meeting lasted for about 2 hours.

**8<sup>th</sup> Meeting** – On November 19, 2012, at SMA office, further architectural layout and details were discussed with Pierluigi Serraino. The meeting concluded after about 2 hours. With multiple emails and diligent work from both architects, the final schematic designs were signed off on December 3<sup>rd</sup>, 2012 by Michael Bastasch and Maria Cristini with acceptance / approval of the new addition. See attachment D

Our project should be approved, not only because we have met the standards of the planning code and the residential design guidelines. The three opposite corner buildings are 33' – 40' in height and the immediate adjacent buildings are 33' – 35' in height. (See attachment "C"). We also tried in due diligence to work with the neighbors the best that we can without destroying the project.

**#2. The following alternatives or changes to the proposed project:**

- A. Eliminating one (1) complete floor and working with the Planning Department to obtain approval. (Before Application)
- B. Guardrails would be set back 48"-72" from perimeter (After application)
- C. Exterior Facade had been redesigned to be more modern and compatible. See attached 3D / Rendering "B" (After application)
- D. Stair penthouse will be reduced to 42" in height and setback middle of the building (After application)
- E. New Addition set back 5' x 31' from 770 De Haro street – North property line to provide additional sunlight for 770 De Haro street lower roof skylight.  
(Before application)
- F. 3-dimensional perspective / rendering to show mass and scale to the existing building on 20<sup>th</sup> street and De Haro street. See attached Rendering "B"(After application)
- G. Shadow Studies Conclusion: (After application)
  - a. 2040-2042 20<sup>th</sup> Street – minimum shadow impact in the morning between 6:30am – 8:00am, 2<sup>nd</sup> level only including stair penthouse and cable guardrails
  - b. 770 De Haro Street – Minimum shadow impact for the three (3) large skylights and large atrium. The kitchen 3' x 3' skylight closest to property line will have impact various times in the morning.
  - c. See attached report from SMA "A" including stair penthouse and guardrails.
- H. Front setback 3' from De Haro Street (After application)
- I. Discussed noise impact – construction commences between 8:00 am – 6:00pm  
(After application)
- J. Structural design will meet all City Building Department requirements –  
designed by licensed engineer (After application)



#3. Please see major changes from line item #2.

Unit #1 – 2000 20<sup>th</sup> Street

We are a family of five (5) plus my mother-in-law. After the addition, this main unit will have five (5) bedrooms and four (4) bathrooms.

Unit #2 – 790 De Haro Street

After the addition, will have two (2) bedrooms and two (2) bathrooms.

I will not have any adverse effect on the surrounding properties or neighborhood according to scale or design. See attached “C” Photos of new construction / renovation of corner building larger in size or similar in the radius of eight (8) blocks.

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

4. Please supply the following information about the proposed project and the existing improvements on the property.

<u>Number of</u>	<u>Existing</u>	<u>Proposed</u>
Dwelling units (only one kitchen per unit –additional kitchens count as additional units) .....	<u>2</u>	<u>2</u>
Occupied stories (all levels with habitable rooms) ...	<u>2</u>	<u>3</u>
Basement levels (may include garage or windowless storage rooms) .....	<u>1</u>	<u>1</u>
Parking spaces (Off-Street) .....	<u>2</u>	<u>2</u>
Bedrooms .....	<u>4</u>	<u>7</u>
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas....	<u>2850±</u>	<u>4430±</u>
Height .....	<u>22' 6"±</u>	<u>34' 0"±</u>
Building Depth .....	<u>59' - 0"</u>	<u>59' - 0"</u>
Most recent rent received (if any) .....	<u>0</u>	<u>0</u>
Projected rents after completion of project .....	<u>0</u>	<u>\$2,000<sup>00</sup></u>
Current value of property .....	<u>\$ 1,630,000<sup>00</sup></u>	
Projected value (sale price) after completion of project (if known) .....	<u>\$ 1,888,000<sup>00</sup></u>	

I attest that the above information is true to the best of my knowledge.

JOYCE CHENG      12/3/12      JOYCE CHENG  
 Signature                      Date                      Name (please print)



Architecture . Planning . Interiors



4 September 2012

Mr. Kennedy Chan  
2000 20<sup>th</sup> Street  
San Francisco, CA 94107

Project 127033.00 - Private residence seasonal shadow study @ 2000 20<sup>th</sup> Street San Francisco and adjacent properties 2040 20<sup>th</sup> Street and 770 DeHaro Street.

Dear Mr. Chan:

This letter provides a summary of the results of the graphic shadow study we conducted for the above named project address to determine the effects of shadows produced by a 2<sup>nd</sup> floor addition to your current residence.

**1. BACKGROUND:**

On 7/16/12 SMA was contacted by, and met with, Joyce Cheng P.E. and her client Kennedy Chan and asked to perform a digital shadow analysis for the above named project. The purpose of this study is to provide a quantitative measure of hours that shadows from the new design by A & J Design for Mr Chan will affect the addresses of 2040 20<sup>th</sup> Street and 770 DeHaro Street.

**2. MODEL DESCRIPTION:**

SMA created a 3d model of the subject properties using a combination of Sketch-up Professional and Google Earth. The current industry standard software amongst design professionals for study of pre-design and schematic design solar dynamics is Sketch-up. SMA performed several verification exercises of the Sketch-up model by setting up the same modeling environment in both Revit Architecture 2012 and Ecotect Analysis 2011, the results of which showed Sketch-up to be reliable.

**Site data is as follows:**

Geo Location;  
2000 20<sup>th</sup> Street, San Francisco,  
California, USA  
Latitude: 37.759857N  
Longitude: 122.401381W

### 3. ANALYSIS RESULTS:

#### Gina's House

The **Table 1** document presents the results of our modeling on the residence @ 2040 20<sup>th</sup> Street.

It shows hours of shading in terms of best case, and worst case as measured in a "per day" total shadow affect and then the annual totals as the sum of each days shadow.

Best Case: 0 hours during July

Worst Case: 15 hours during early morning hours of June

Total annual as demonstrated in attached Table 1 chart across an entire year is: 106 hours

#### Maria's House

The **Table 2** document presents the results of our modeling on the **Large Skylight** and upper roof small skylights of 770 De Haro Street.

It shows hours of shading in terms of best case, and worst case as measured in a "per day" total shadow affect and then the annual totals as the sum of each day's shadow.

Best Case: 0 hours during months of February to October

Worst Case: 63 hours over the 3 months of November, December and January

Total annual as demonstrated in attached Table 2 chart across an entire year is: 63 hours

The **Table 3** document presents the results of our modeling on the **Small Skylight** @ Roof of 770 De Haro Street.

It shows hours of shading in terms of best case, and worst case as measured in a "per day" total shadow affect and then the annual totals as the sum of each day's shadow.

Best Case: 0 hours during months of April to August

Worst Case: 1,147.5 hours over the 7 months of September thru March

Total annual as demonstrated in attached Table 3 chart across an entire year is: 1,147.5 hours

### 4. Discussion and Conclusion:

It is important to view the results of this analysis by considering the graphic image package and the attached Tables 1, 2 & 3 as well as this report to see the varying affects throughout each month. The Tables reference the graphic model image booklet with corresponding page number and image letter, i.e. image reference 7a is found on page 7, image "A".

Sincerely,



Scott A. Mullen, AIA, LEED AP  
California Architect Lic. # C 32792  
President

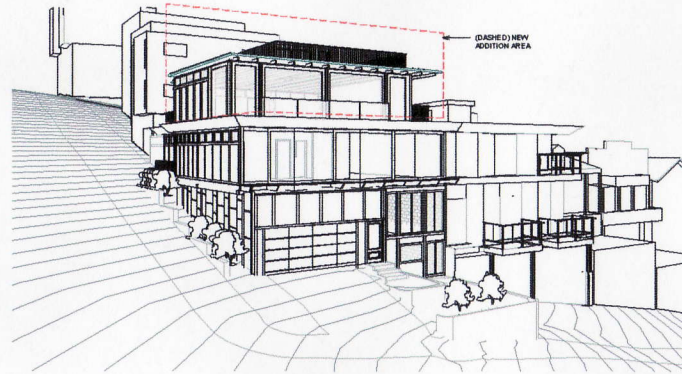
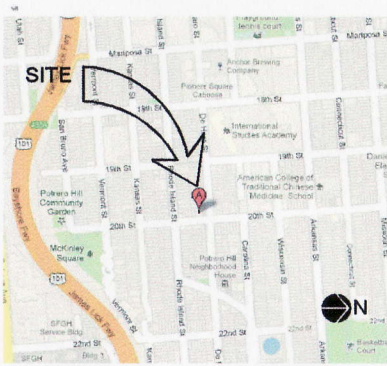
ATTACH "B"

# PROPOSED ADDITION - CHAN RESIDENCE

2000 20TH STREET,  
SAN FRANCISCO, CA

SCHEMATIC DESIGN - DECEMBER 03, 2012

## VICINITY MAP NOT TO SCALE



## PROJECT TEAM

**Owner:** Kennedy Chan  
2000 20th Street  
San Francisco, CA  
Contact: Kennedy Chan  
Tel: 650.995.6109

**Architect:** SMA  
703 Market Street, Suite 450  
San Francisco, CA 94103  
Contact: Scott A. Mullen, AIA  
Tel: 415.894.1300  
Tel: 415.894.1310  
www.sma-arch.com

**Design Consultant:** Pierluigi Serraino Architecture,  
Pierluigi Serraino, AIA  
502 Lagunaria Lane, Alameda, CA 94502  
Tel. 415.902.2595  
Fax. 510.864.4030  
www.pierluigiserraino.com

**Structure:** A&J Design Associates, Inc.  
2328 Taraval Street  
San Francisco, CA 94116  
Contact: Joyce Cheng, P.E.  
Tel: 415.682.8683

## DRAWING INDEX

ARCHITECTURAL	
Sheet Number	Sheet Name
A0	Cover Sheet
A0.1	Material Palette
A1	Existing Elevations
A1.1	Plot Plan
A2	Existing Plans
A3	Proposed Plans
A4	Proposed Plans
A5	Proposed Elevations
A6	Proposed Elevations
A7	Proposed Elevations

## 3D VIEWS



## PROJECT DATA SUMMARY

### SINGLE FAMILY RESIDENCE OCCUPANCY:

CONSTRUCTION TYPE: 5B  
OCCUPANCY GROUP: R3

### SCOPE OF WORK:

PROPOSED ALTERATION AND VERTICAL ADDITION

ALL CONSTRUCTION SHALL COMPLY WITH 2010 C.B.C. STATE CODES,  
2010 C.M.C., 2010 C.P.C., 2010 N.E.C., ALL LOCAL AMMENDMENTS/  
ORDINANCES and ALL LOCAL SUB-TRADE CODES.

### TRACT MAP:

BLOCK - 4072  
LOT - 23

SCHEMATIC DESIGN NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY
1203/12		SCHEMATIC DESIGN	SM

SEAL

**SMA**  
Architecture - Planning - Interiors  
703 Market Street, Suite 450,  
San Francisco, CA 94103  
Phone: (415) 894-1300  
Fax: (415) 894-1301  
Web: www.sma-arch.com

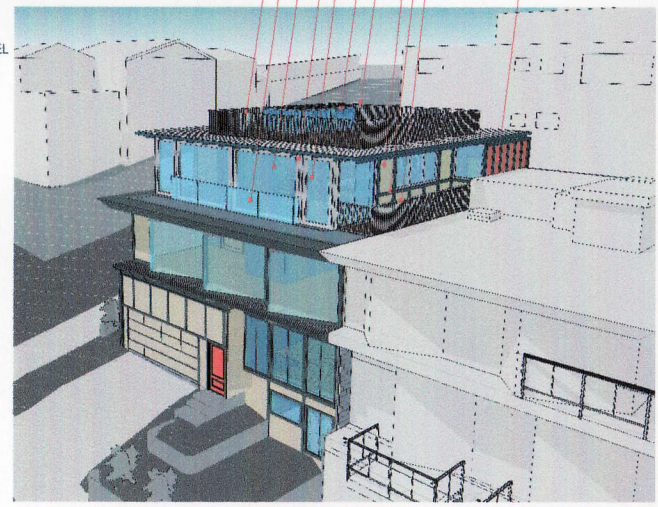
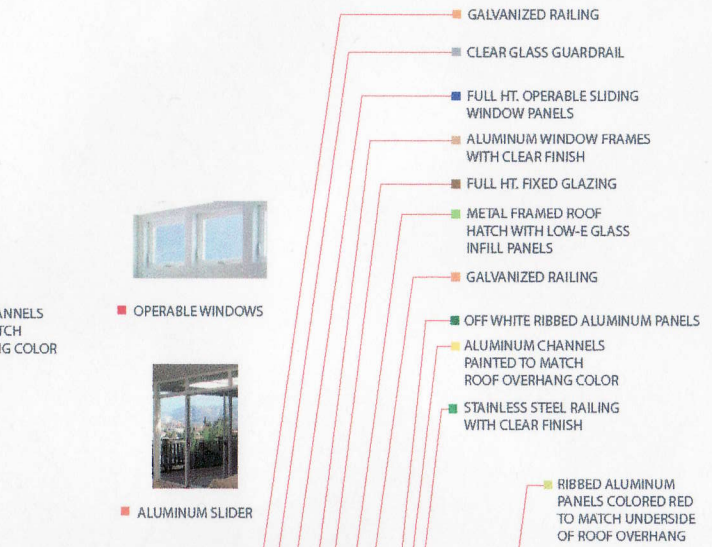
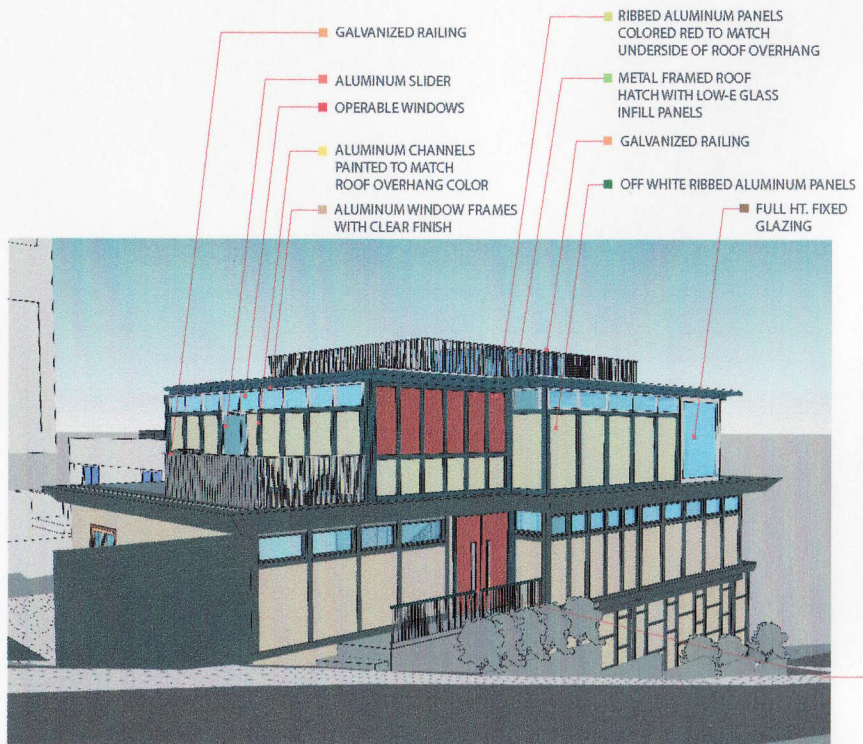
PROJECT NAME  
PROPOSED ADDITION TO  
CHAN RESIDENCE

PROJECT ADDRESS  
2000 20TH ST.  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23

SHEET TITLE  
Cover Sheet

SCALE	AS NOTED	SHEET NO.
DRAWN	1/8"	A0
CHECKED	SM	
APPROVED	-	
DATE	12/03/12	
JOB NO	CHAN 01	

ATTACH "B"



The Architect warrants that the drawings and specifications are true and correct and that the construction shall conform to the same. The Architect shall not be responsible for any errors or omissions in the drawings and specifications or for any consequences arising therefrom. The Architect shall not be responsible for any delays or interruptions in the construction or for any consequences arising therefrom. The Architect shall not be responsible for any damages or injuries to persons or property resulting from the construction or for any consequences arising therefrom.

NO.	DATE	REVISION	BY
1	12/03/12	SCHEMATIC DESIGN	SM



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 Architecture, Planning, Interiors  
 703 Market Street, Suite 450,  
 San Francisco, CA 94103  
 Phone: (415) 994-1300  
 Fax: (415) 994-1301  
 Web: www.sma-arch.com

NOT FOR CONSTRUCTION

PROJECT NAME  
**PROPOSED ADDITION TO CHAN RESIDENCE**

PROJECT ADDRESS  
 800 20TH ST.  
 SAN FRANCISCO, CA  
 BLOCK 4072 LOT 23

SHEET TITLE

**Material Palette**

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DRAWN	Author	A0.1
CHECKED	Checker	
APPROVED	Approver	
DATE	12/03/12	
JOB NO	CHAN 01	

C:\Users\AlanM\Documents\Chan\_House\_Her\_Design\_Arch\12

ATTACHMENT  
"C"



**Front Elevation**

**2000 20<sup>th</sup> Street  
(X De Haro Street)**

**Propose Project**



**Front Elevation  
2001 20<sup>th</sup> Street  
(X De Haro Street)**

**Across the Street from Propose Project**





**Front Elevation**

**799 De Haro Street**

**( X 20 Street)**

**Across Street from Proposed Project**



**Front Elevation**



**Side Deck**

**740 De Haro Street**

**(X 20<sup>TH</sup> Street)**

**Adjacent Building from Proposed Project**



**Front Elevation**

**2040 20<sup>th</sup> Street**

**(X De Haro Street)**

**Adjacent Building from Proposed Project**



**Front Elevation**

**787 Rhode Island Street  
(X 20<sup>TH</sup> Street)**



**Front Elevation**

**740 Vermont Street**

**(X 20<sup>th</sup> Street)**



**Front Elevation**

**791 San Bruno Street**

**(X 20<sup>th</sup> Street)**



**Front Elevation**

**492 Pennsylvania Street  
(X 20<sup>th</sup> Street)**



**Front Elevation**



**Roof Deck**

**500 Pennsylvania Street  
(X 20<sup>th</sup> Street)**





**Front Elevation**



**Roof Deck**

**840 De Haro Street  
(X 20<sup>th</sup> Street)**



**Front Elevation**

**698 Arkansas Street**

**(X 21<sup>st</sup> Street)**



**Front Elevation**

**900 Carolina Street  
(X 22<sup>nd</sup> Street)**



**Front Elevation**

**1200 19<sup>th</sup> Street**

**(X Mississippi Street)**



**Front Elevation**

**1200 19<sup>th</sup> Street**

**(X Mississippi Street)**



**Front Elevation**

**2001 19<sup>th</sup> Street**

**(X Rhode Island Street)**



**Front Elevation**

**398 Pennsylvania Street  
(X 19<sup>th</sup> Street)**



**Front Elevation**



**Roof Deck**

**2101 18<sup>th</sup> Street  
(X Kansas Street)**





**Front Elevation**

**604 Rhode Island Street  
(X 18 Street)**



**Front Elevation**



**Roof Deck**

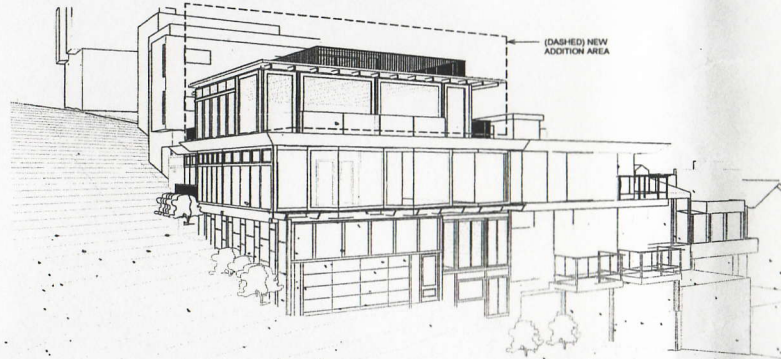
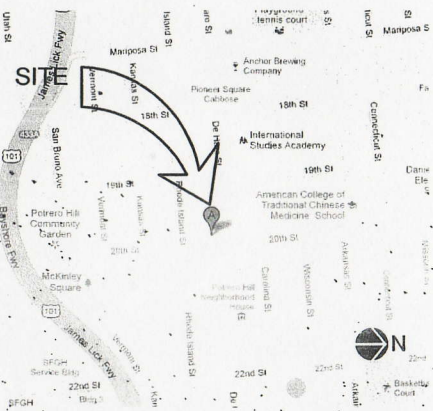
**440 Kansas Street  
(X 17<sup>th</sup> Street)**

# PROPOSED ADDITION - CHAN RESIDENCE

2000 20TH STREET,  
SAN FRANCISCO, CA

SCHEMATIC DESIGN - DECEMBER 03, 2012

## VICINITY MAP NOT TO SCALE



## PROJECT TEAM

**Owner:** Kennedy Chan  
2000 20th Street  
San Francisco, CA  
Contact: Kennedy Chan  
Tel: 650.995.6109

**Architect:** SMA  
703 Market Street, Suite 450  
San Francisco, CA 94103  
Contact: Scott A. Mullen, AIA  
Tel: 415.894.1300  
Fax: 415.894.1310  
www.sma-arch.com

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**SINGLE FAMILY RESIDENCE OCCUPANCY:**

CONSTRUCTION TYPE: 5B  
OCCUPANCY GROUP: R3

**SCOPE OF WORK:**

PROPOSED ALTERATION AND VERTICAL ADDITION

ALL CONSTRUCTION SHALL COMPLY WITH 2010 C.B.C. STATE CODES,  
2010 C.M.C., 2010 C.P.C., 2010 N.E.C., ALL LOCAL AMMENDMENTS/  
ORDINANCES and ALL LOCAL SUB-TRADE CODES.

**TRACT MAP:**

BLOCK - 4072  
LOT - 23

*Richard Peterson*  
*Maria Castro*  
*W. Mullen*

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NO.	DATE	REVISION
	12/03/12	SCHEMATIC DESIGN



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703 Market Street, Suite 450  
San Francisco, CA 94103  
Phone: (415) 894-1300  
Fax: (415) 894-1301  
Web: www.sma-arch.com

PROJECT NAME  
PROPOSED ADDITION T  
CHAN RESIDENCE

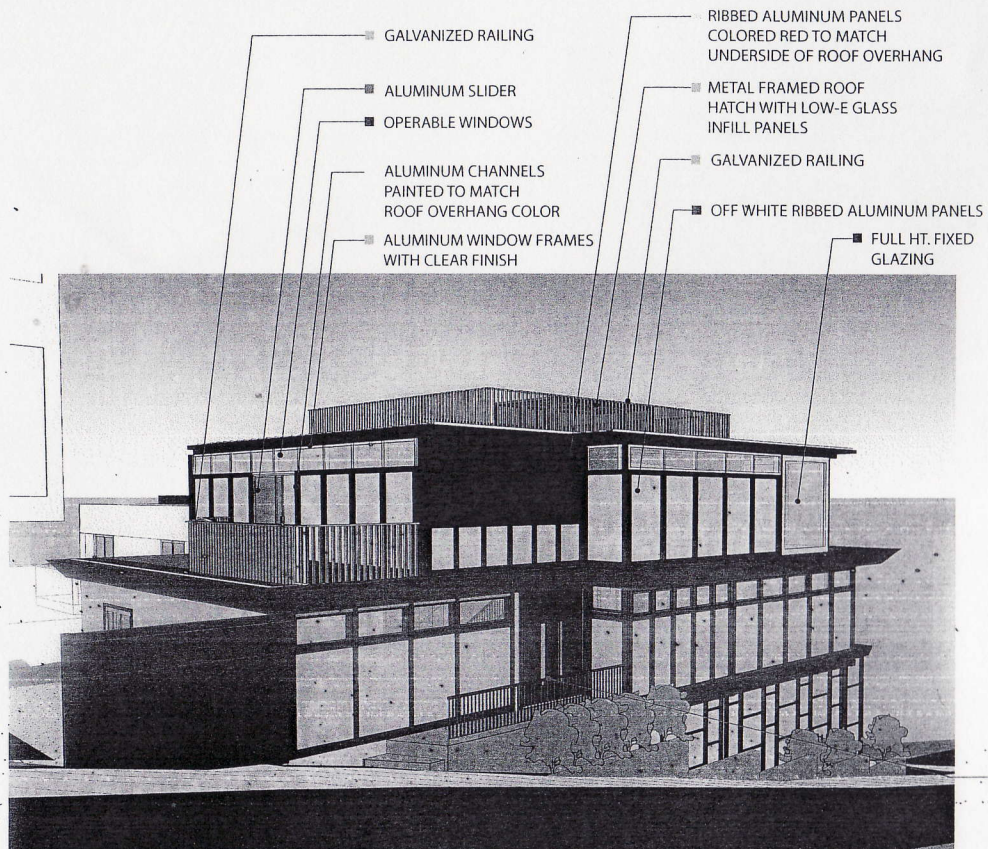
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SAN FRANCISCO, CA  
BLOCK 4072 LOT 23

SHEET TITLE  
Cover Sheet

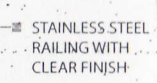
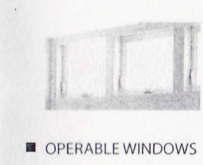
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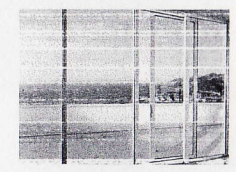
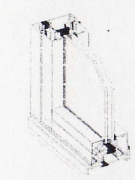
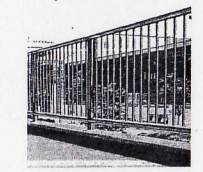
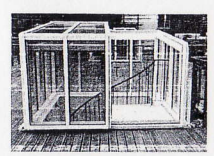
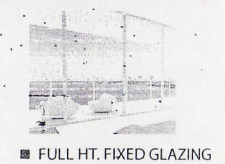
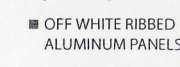
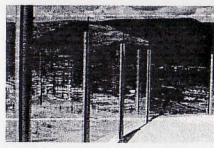
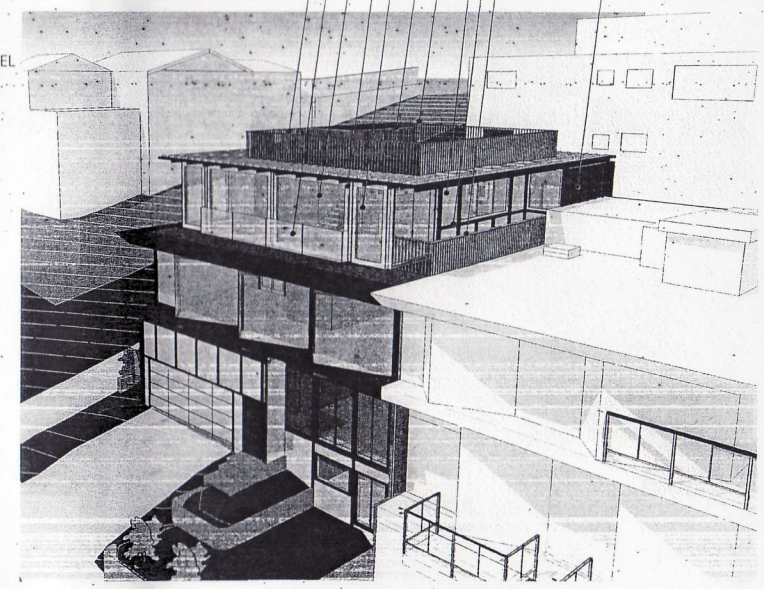
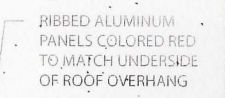
*Material Palette of Chan Residence*  
*Mania Custom*  
*Heranub*  
*Vanni Chan*



- GALVANIZED RAILING
- ALUMINUM SLIDER
- OPERABLE WINDOWS
- ALUMINUM CHANNELS PAINTED TO MATCH ROOF OVERHANG COLOR
- ALUMINUM WINDOW FRAMES WITH CLEAR FINISH
- RIBBED ALUMINUM PANELS COLORED RED TO MATCH UNDERSIDE OF ROOF OVERHANG
- METAL FRAMED ROOF HATCH WITH LOW-E GLASS INFILL PANELS
- GALVANIZED RAILING
- OFF WHITE RIBBED ALUMINUM PANELS
- FULL HT. FIXED GLAZING



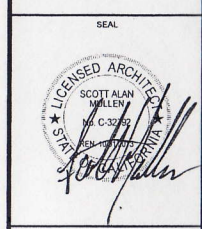
- GALVANIZED RAILING
- CLEAR GLASS GUARDRAIL
- FULL HT. OPERABLE SLIDING WINDOW PANELS
- ALUMINUM WINDOW FRAMES WITH CLEAR FINISH
- FULL HT. FIXED GLAZING
- METAL FRAMED ROOF HATCH WITH LOW-E GLASS INFILL PANELS
- GALVANIZED RAILING
- OFF WHITE RIBBED ALUMINUM PANELS
- ALUMINUM CHANNELS PAINTED TO MATCH ROOF OVERHANG COLOR
- STAINLESS STEEL RAILING WITH CLEAR FINISH



SCHEMATIC DESIGN NOT FOR CONSTRUCTION

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NO.	DATE	REVISION	BY
1203/12		SCHEMATIC DESIGN	SM



**SMA**  
 Architecture · Planning · Interiors  
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 San Francisco, CA 94103  
 Phone: (415)894-1300  
 Fax: (415)894-1301  
 Web: www.sma-arch.com

PROJECT NAME  
**PROPOSED ADDITION TO CHAN RESIDENCE**

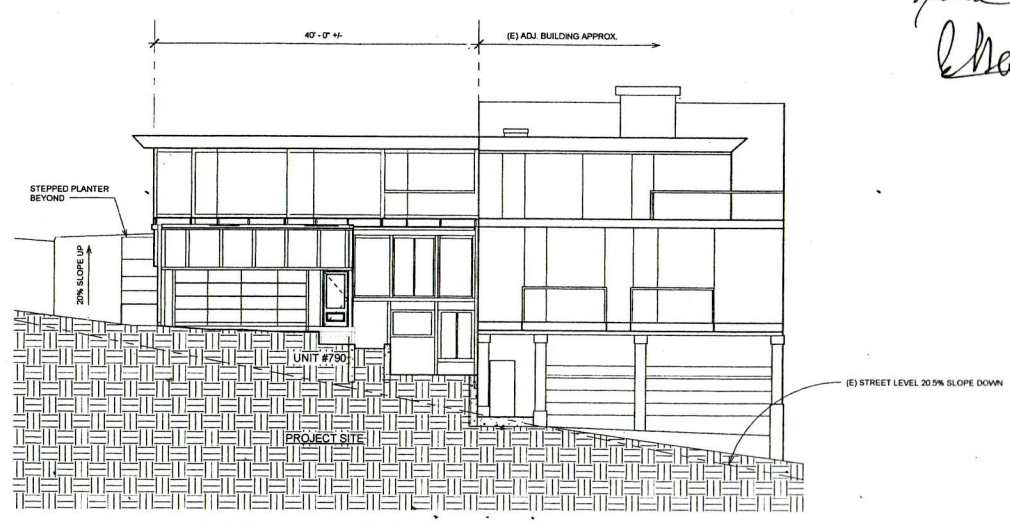
PROJECT ADDRESS  
 2000 20TH ST.,  
 SAN FRANCISCO, CA  
 BLOCK 4072 LOT 23

SHEET TITLE  
**Material Palette**

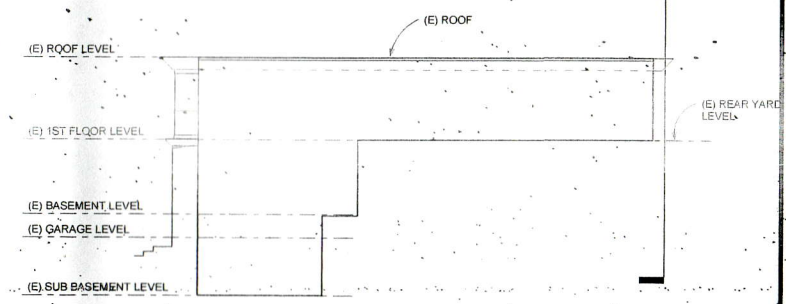
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DRAWN	Author	A0.1
CHECKED	Checker	
APPROVED	Approver	
DATE	12/03/12	
JOB NO.	CHAN 01	

*Richard Pastorek and  
Maia Custer  
Maurice*

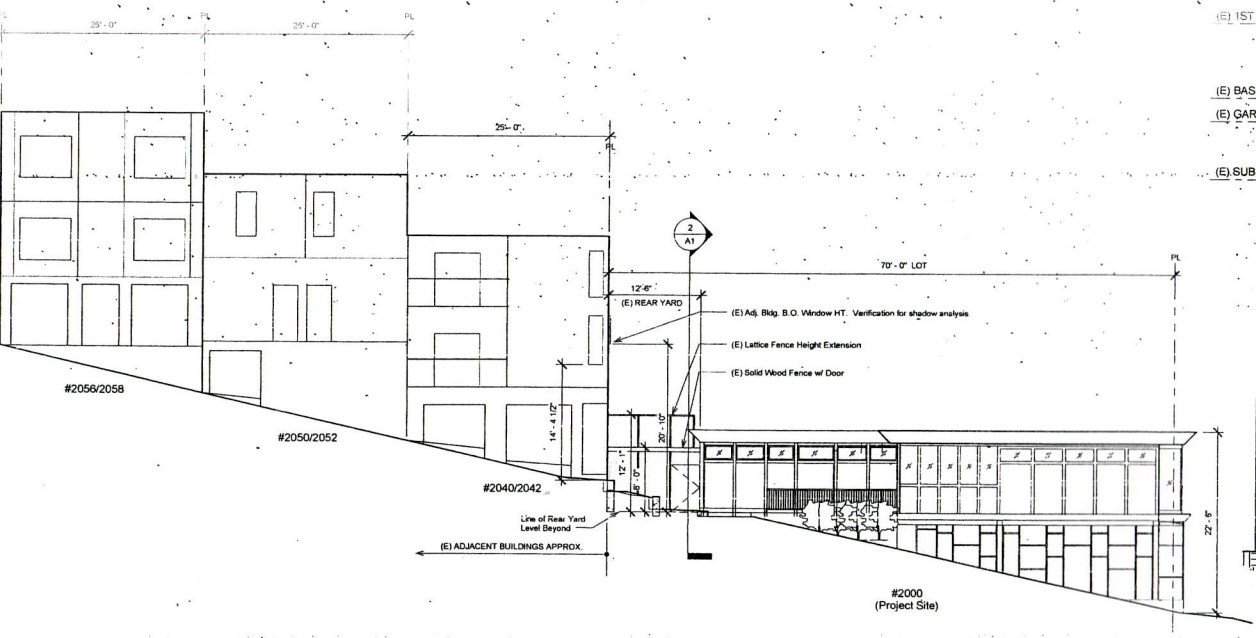
*Naomi Chan*



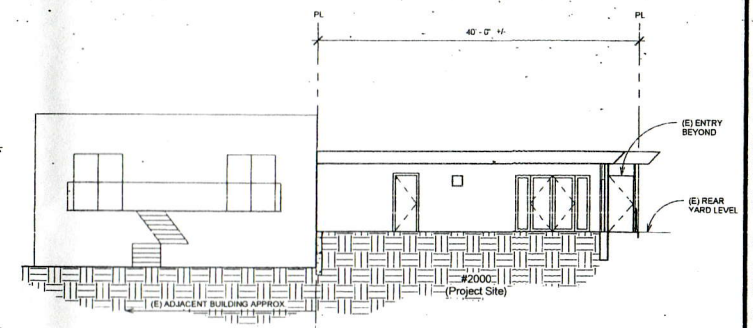
3 Existing East Elevation (On De Haro Street)  
1/8" = 1'-0"



4 Existing North Elevation  
1/8" = 1'-0"



1 Existing South Elevation (On 20th Street)  
1/8" = 1'-0"



2 Existing West Elevation  
1/8" = 1'-0"

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NO.	DATE	REVISION	BY
1	12/03/12	SCHEMATIC DESIGN	SM

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SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

PROJECT NAME  
PROPOSED ADDITION TO  
CHAN RESIDENCE

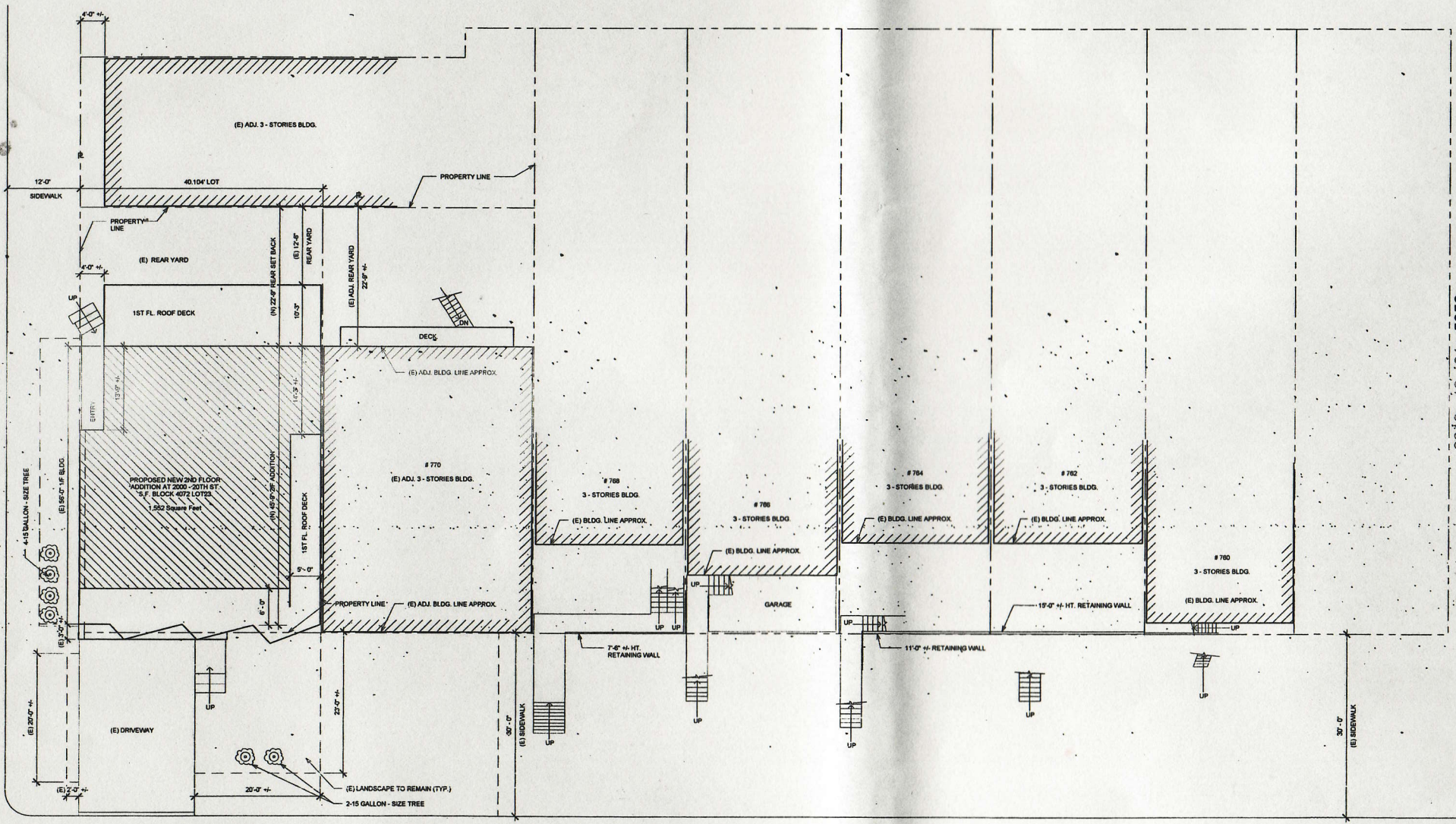
PROJECT ADDRESS  
2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23

SHEET TITLE  
Existing Elevations

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A1
CHECKED	SM	
APPROVED		
DATE	12/03/12	
JOB NO	CHAN 01	

Richard Pastorek MD  
 Maria Custum  
 [Signature]

[Signature]  
 Maria Chan



20TH STREET

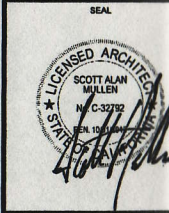
DE HARO STREET

2010 - 12 - 01 - 5856

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PROJECT NAME  
**PROPOSED ADDITION TO CHAN RESIDENCE**

PROJECT ADDRESS  
 2000 20TH ST.,  
 SAN FRANCISCO, CA  
 BLOCK 4072 LOT 23

SHEET TITLE

**Plot Plan**

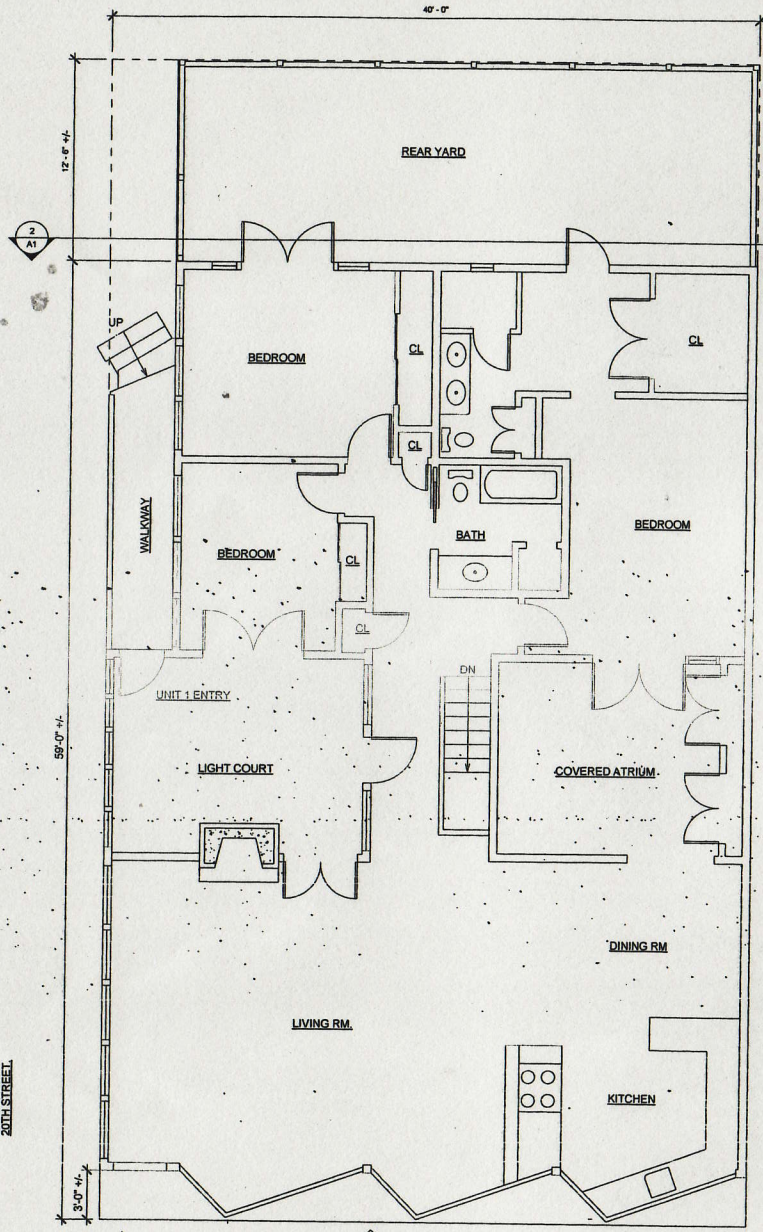
SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A1.1
CHECKED	SM	
APPROVED		
DATE	12/03/12	
JOB NO.	CHAN 21	

Plot Plan  
 1/8" = 1'-0"

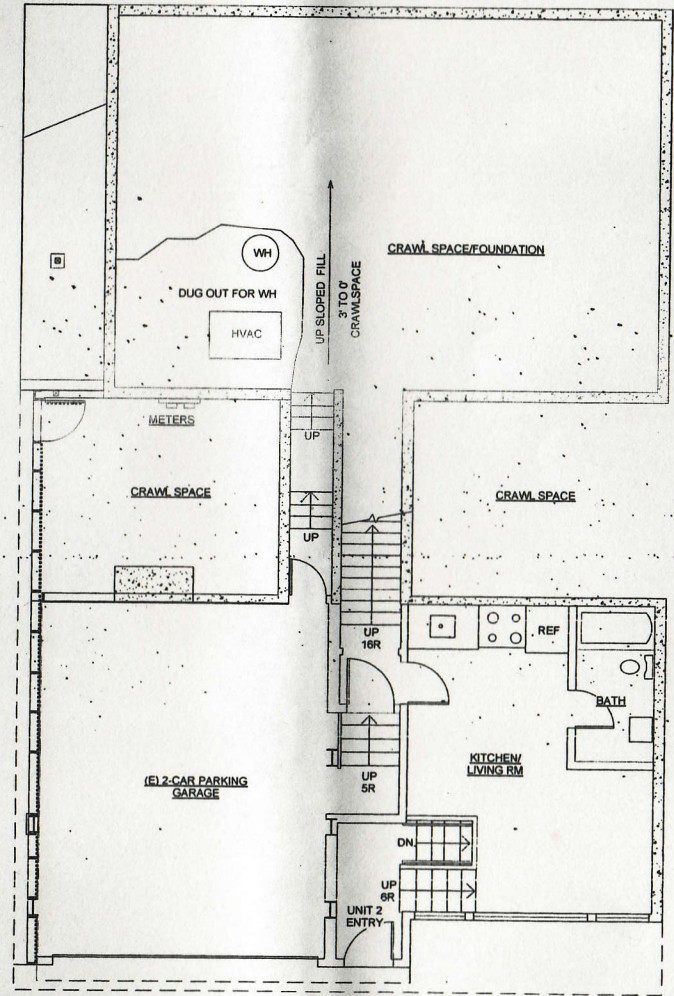
1/20/2013 11:48:23 AM C:\Users\AlanM\Documents\Chan House New Design Admin.dwg

*Richard Sastal of*  
*Maria Costello*  
*McNamara*

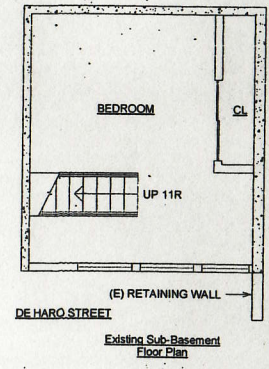
*Admiri Chan*



2 Existing First Floor Plan  
 1/4" = 1'-0"

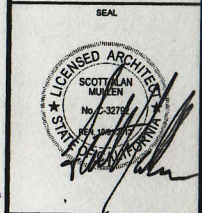


1 Existing Basement Floor Plan  
 1/4" = 1'-0"



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PROJECT NAME  
**PROPOSED ADDITION TO CHAN RESIDENCE**

PROJECT ADDRESS  
 2000 20TH ST.,  
 SAN FRANCISCO, CA  
 BLOCK 4072 LOT 23

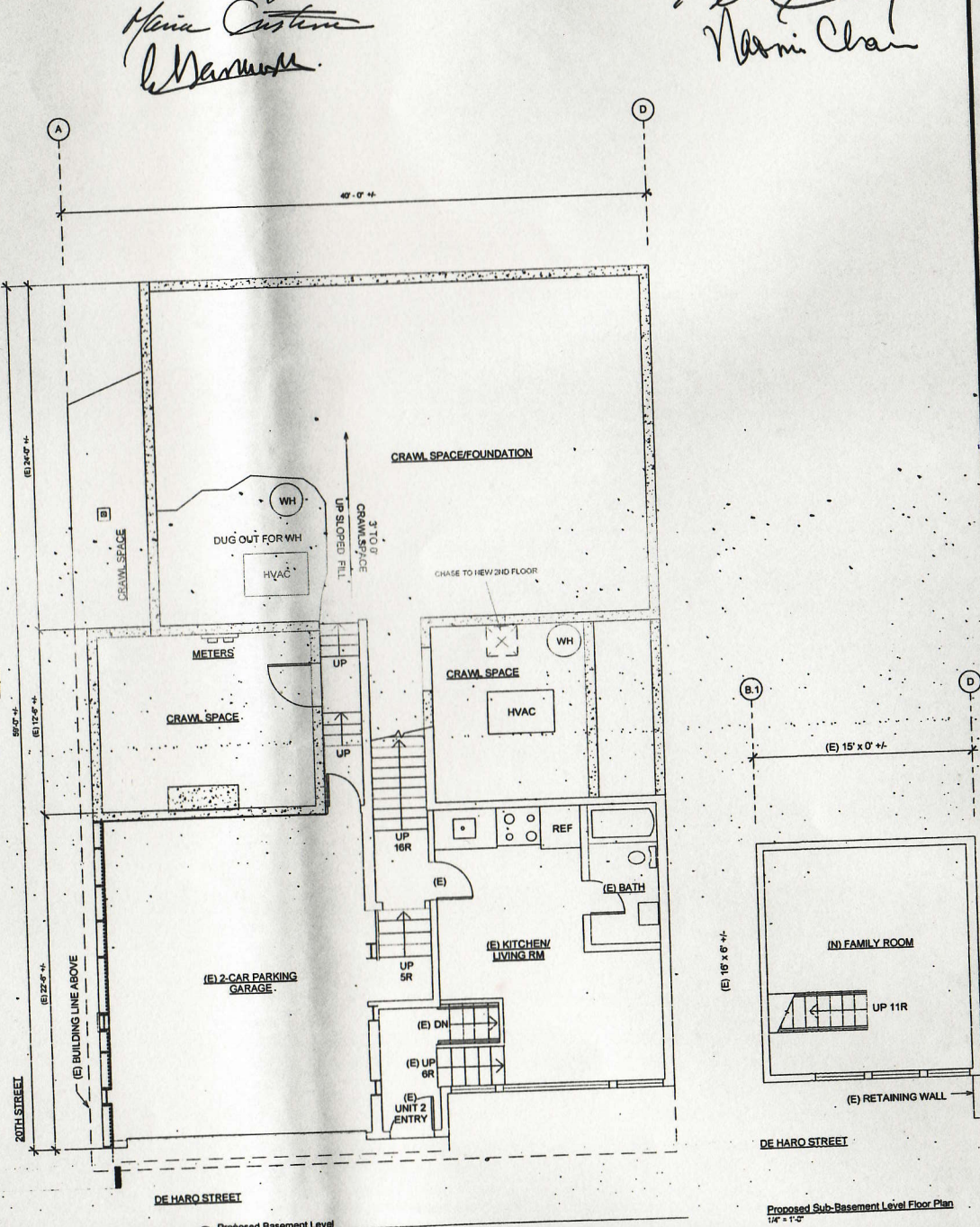
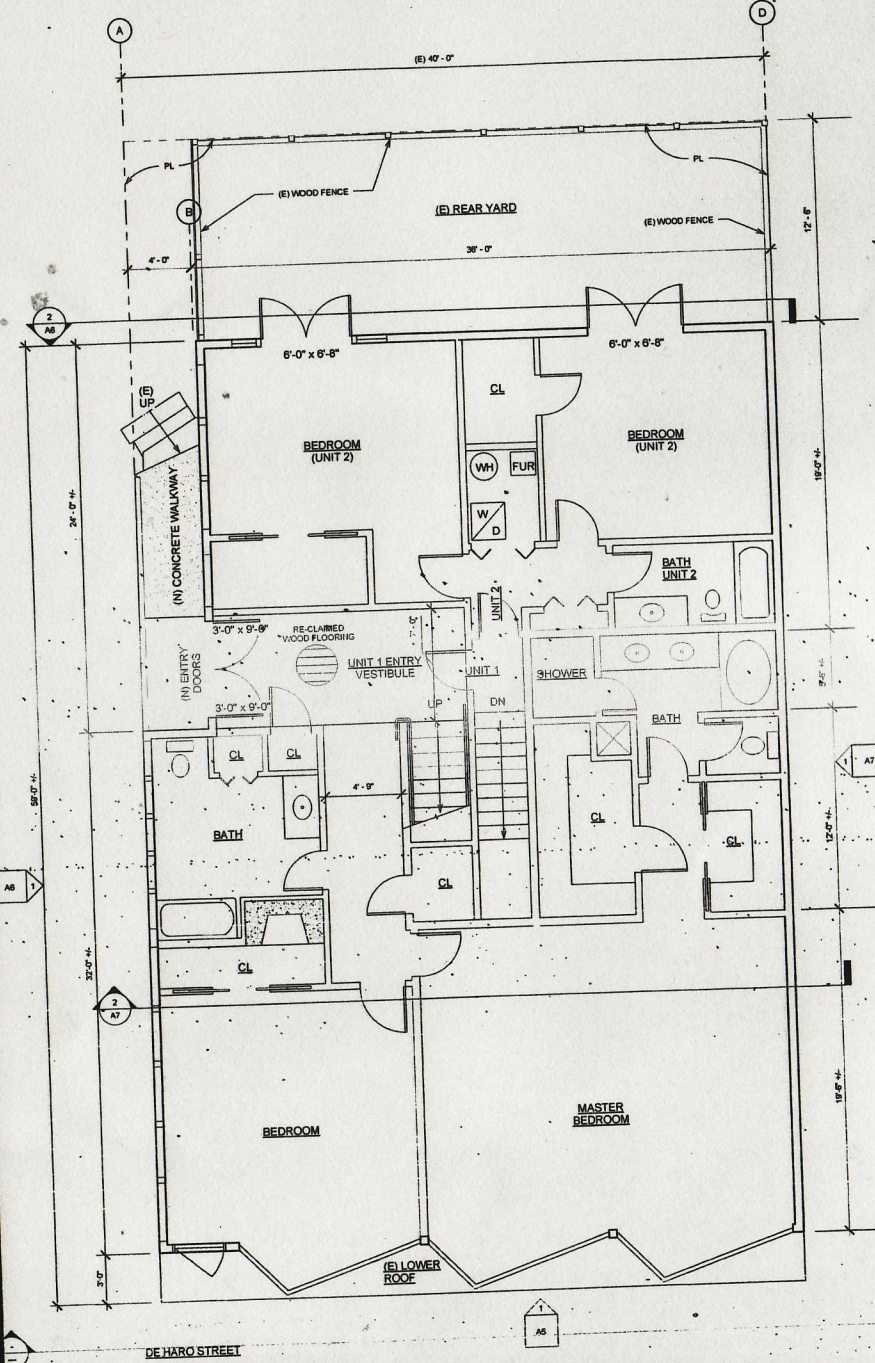
SHEET TITLE  
**Existing Plans**

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A2
CHECKED	SM	
APPROVED		
DATE	12/03/12	
JOB NO	CHAN 01	

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Richard Sarsusel MD  
 Maria Custum  
 L. Marquis

*[Signature]*  
 Nami Chan



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LICENSED ARCHITECT  
 SCOTT ALAN MALLIN  
 N.C. 3275  
 STATE OF CALIFORNIA

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PROJECT NAME  
**PROPOSED ADDITION  
 CHAN RESIDENCE**

PROJECT ADDRESS  
 2009 20TH ST.,  
 SAN FRANCISCO, CA  
 BLOCK 4072 LOT 23

SHEET TITLE  
**Proposed  
 Plans**

SCALE AS NOTED SHEET NO.  
 DRAWN RS  
 CHECKED SM  
 APPROVED SMA  
 DATE 12/03/12  
 JOB NO CHAN 01

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*Richard Patrick up*  
*Maria Cristina*  
*R. Mesnick*

*Scott Alan Maalen*  
*Thomi Chan*

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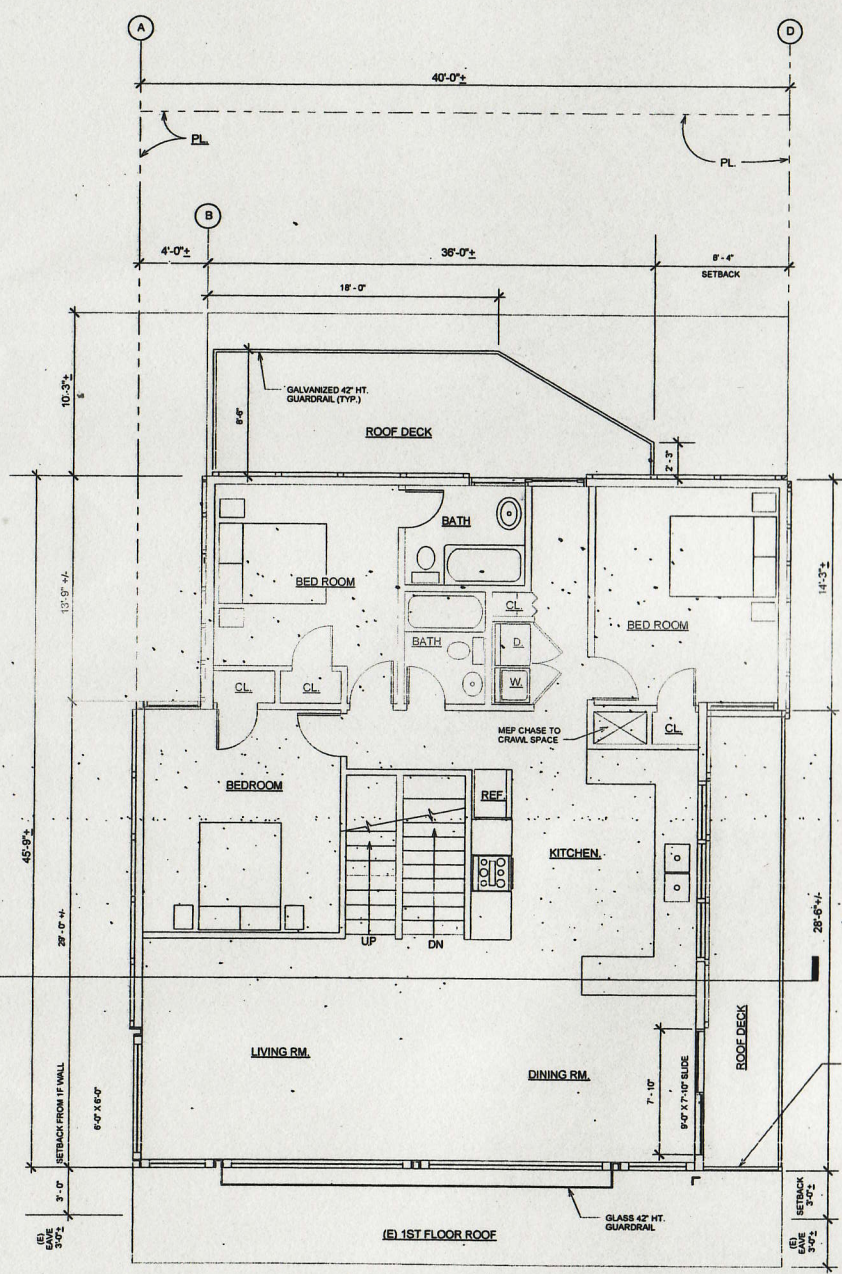
PROJECT NAME  
**PROPOSED ADDITION TO  
 CHAN RESIDENCE**

PROJECT ADDRESS  
 2000 20TH ST.,  
 SAN FRANCISCO, CA  
 BLOCK 4072 LOT 23

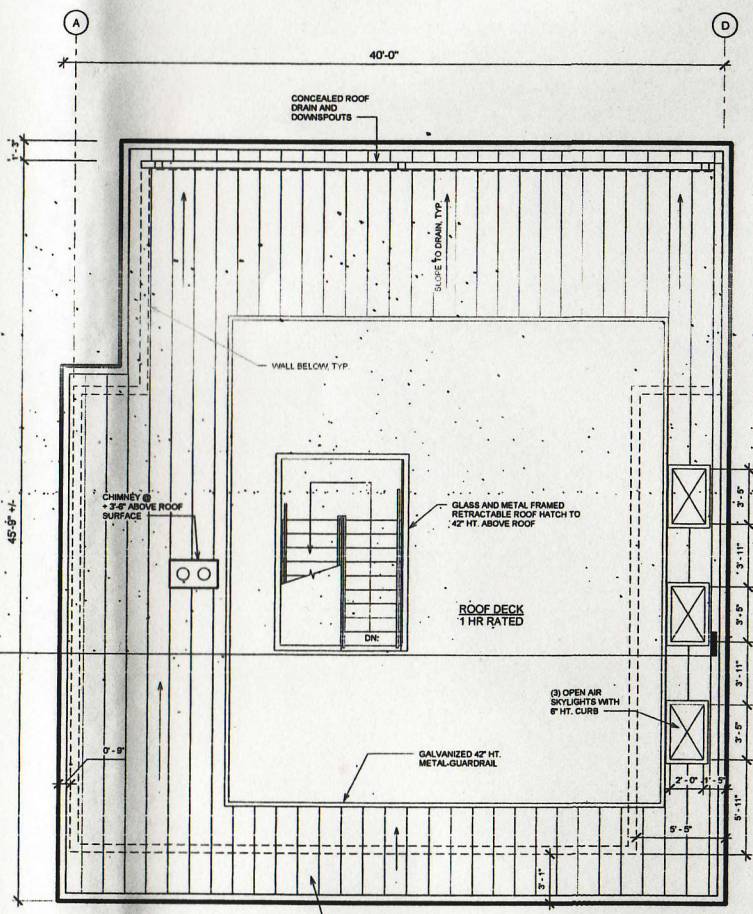
SHEET TITLE  
**Proposed  
 Plans**

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A4
CHECKED	SM	
APPROVED		
DATE	12/03/12	
JOB NO.	CHAN 01	

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1 Proposed New Second Floor Plan  
 1/4" = 1'-0"



2 Proposed Roof Plan  
 1/4" = 1'-0"

20TH STREET

20TH STREET

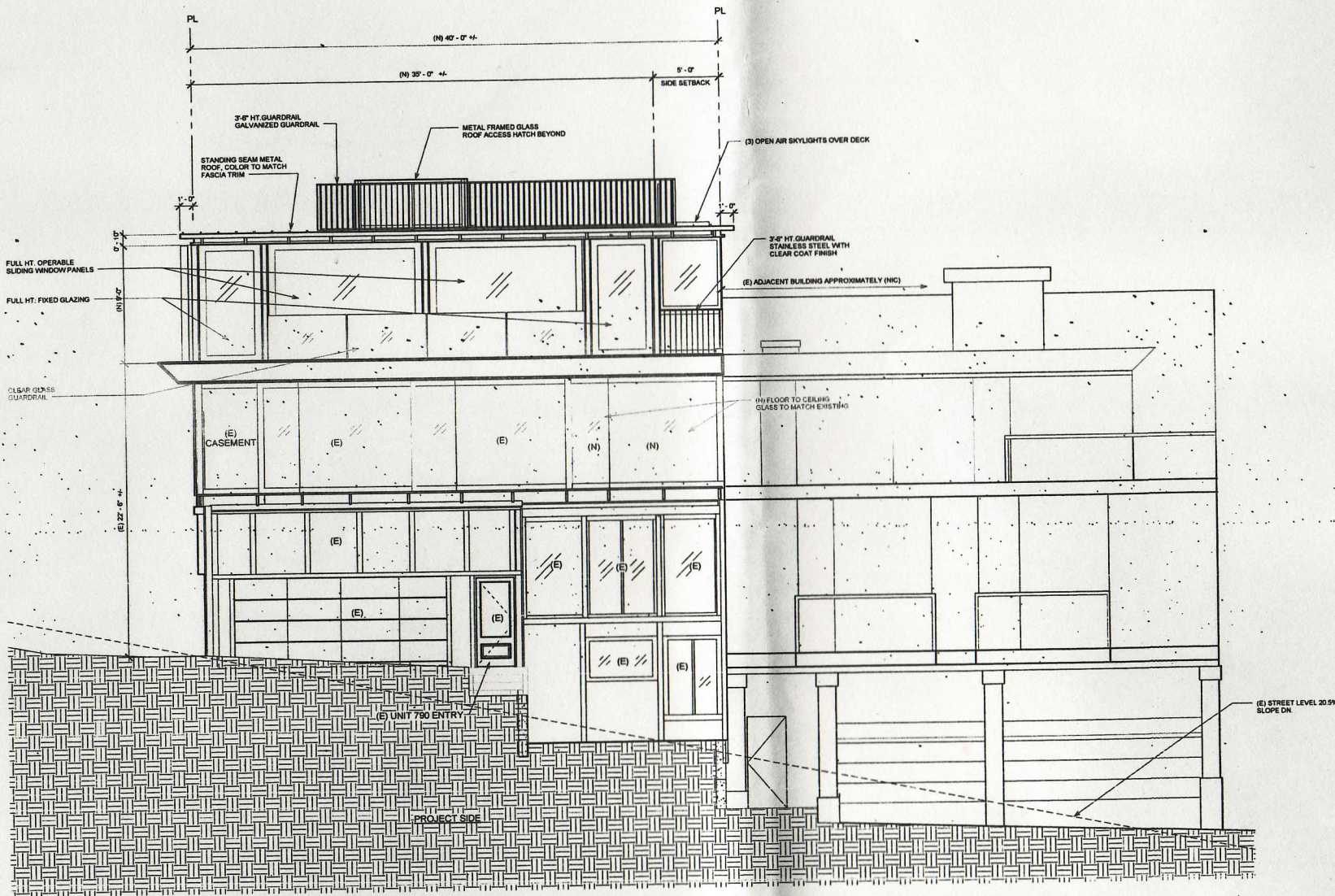
DE HARO STREET

DE HARO

1/29/2013 11:48:30 AM C:\Users\Alan\Documents\Chan\_House New Design\_Admin.rvt

*Richard Patrick MD*  
*Maina Costrum*  
*E. Harwood*

*Joseph Chan*  
*Joseph Chan*



① Proposed East Elevation  
 1/4" = 1'-0"

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SCOTT ALAN CHAN  
 No. 52702  
 State of California

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PROJECT NAME  
**PROPOSED ADDITION TO  
 CHAN RESIDENCE**

PROJECT ADDRESS  
 2000 20TH ST.,  
 SAN FRANCISCO, CA  
 BLOCK 4072 LOT 23

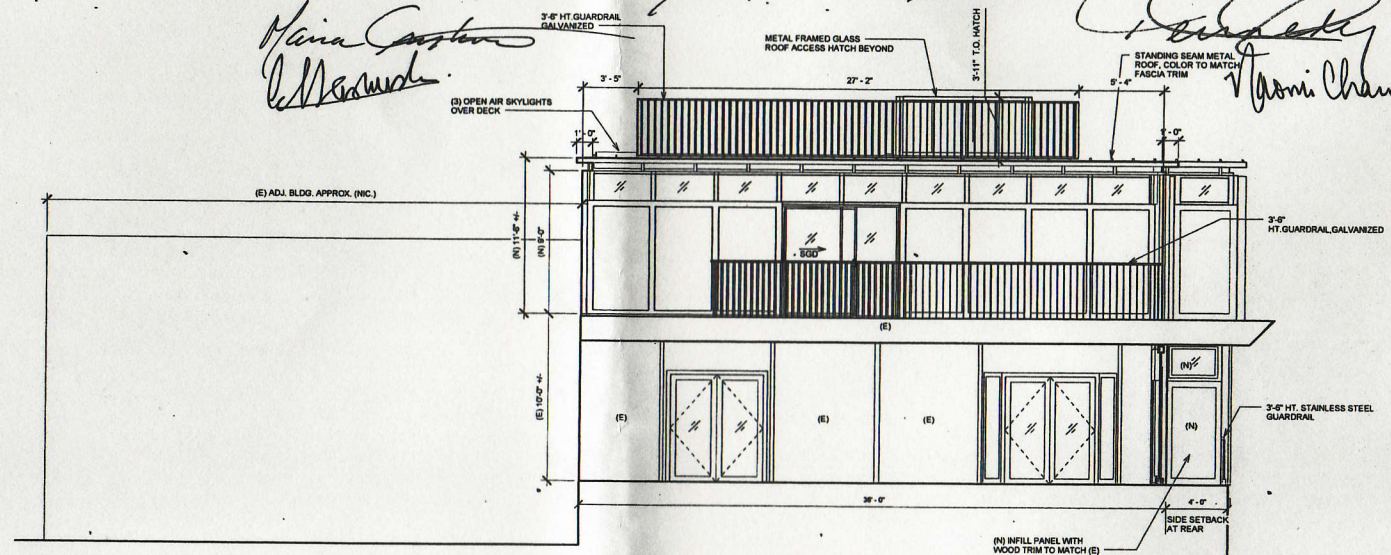
SHEET TITLE  
**Proposed  
 Elevations**

SCALE	AS NOTED	SHEET NO.	
DRAWN	RS		
CHECKED	SM		
APPROVED			
DATE	12/03/12		
JOB NO.	CHAN 01		

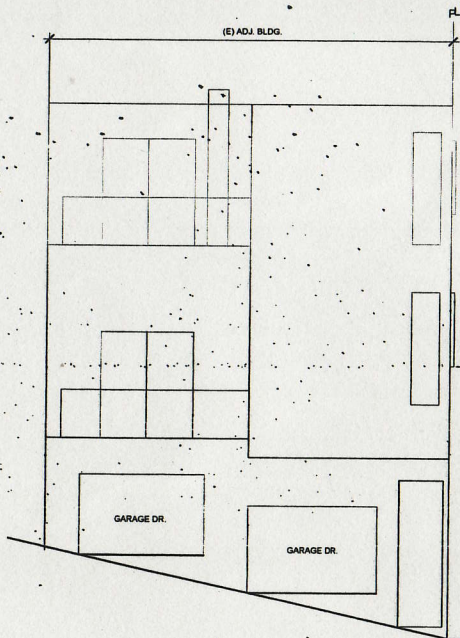
A5

SCHEMATIC DESIGN

*Richard Samuel*  
*Mina Costello*  
*Charmaine*  
*Hanni Chan*



2 Proposed West Elevation (Rear)  
 1/4" = 1'-0"



1 Proposed South Elevation (On 20th Street)  
 1/4" = 1'-0"

AREA OF NEW WORK ON LOWER EXISTING LEVEL

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PROJECT NAME  
**PROPOSED ADDITION  
 CHAN RESIDENCE**

PROJECT ADDRESS  
 2008 20TH ST.,  
 SAN FRANCISCO, CA  
 BLOCK 4072 LCT 23

SHEET TITLE

**Proposed  
 Elevations**

SCALE	AS NOTED	SHEET NO.
DRAWN	RE	
CHECKED	SM	
APPROVED		
DATE	12/03/12	
JOB NO.	CHAN 01	

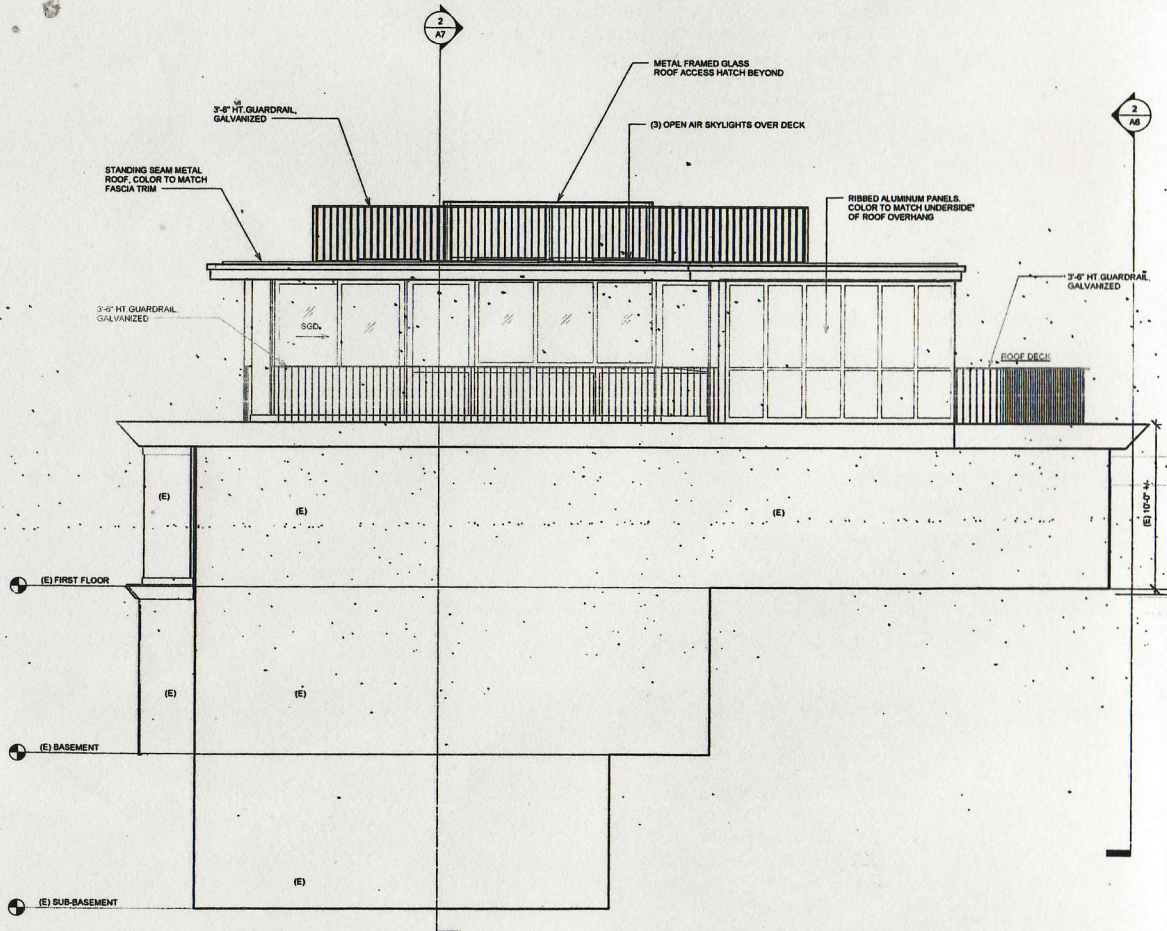
**A6**

SCHEMATIC DESIGN NOT FOR CONSTRUCTION

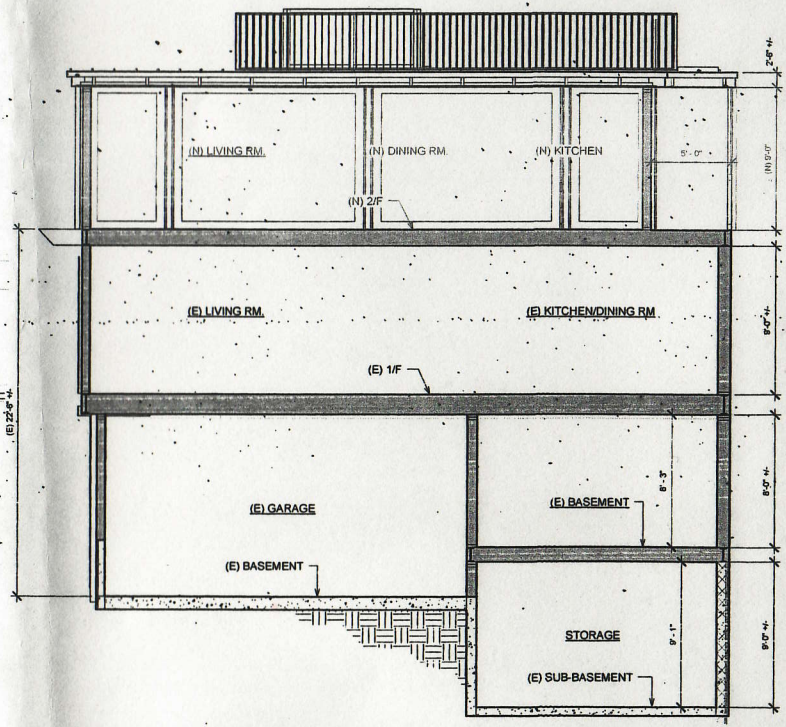
C:\Users\Admin\Documents\Chan\_House New Design\_Admin.rvt 12/3/2012 11:50:17 AM

*Richard Sargent AD*  
*Maria Chan*  
*Architect*

*Maria Chan*



1 Proposed North Elevation  
 1/4" = 1'-0"



2 Section A  
 1/4" = 1'-0"

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PROJECT NAME  
 PROPOSED ADDITION TO  
 CHAN RESIDENCE

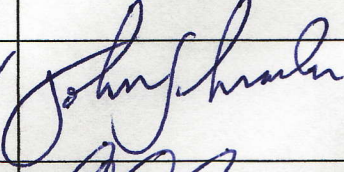
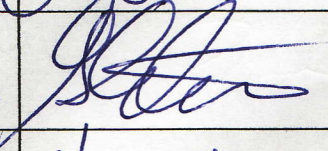
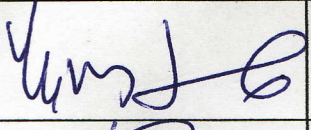
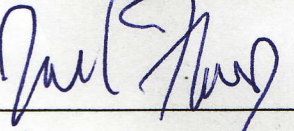
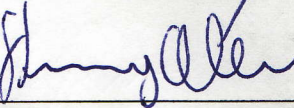

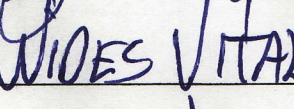
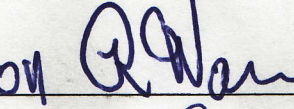
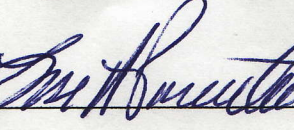

PROJECT ADDRESS  
 2000 28TH ST.,  
 SAN FRANCISCO, CA  
 BLOCK 4072 LOT 23

SHEET TITLE  
 Proposed Elevations

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A7
CHECKED	SM	
APPROVED		
DATE	12/29/12	
JOB NO.	CHAN 01	

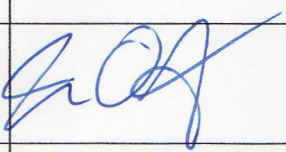


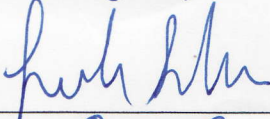
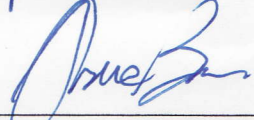


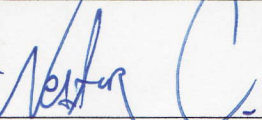
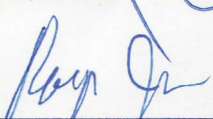
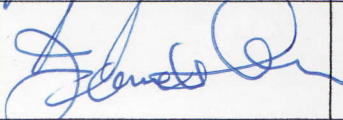
**2000 – 20<sup>th</sup> Street Residential Addition**

I have reviewed the plans proposed by the owner Kennedy Chan for the construction of a one-story addition to an existing two-story residence at 2000 – 20<sup>th</sup> Street. I support the design of this project and the addition of a dwelling unit which is in keeping with the surrounding neighborhood.

Name (printed)	Signature	Date	Address
John Schrader		11-2-12	439 Arkansas
Glen Daus		"	437 Arkansas
Emily Huo		11/2/12	409 Arkansas 94107
Joel Floyd		11/2/12	660 King St. #336
Flannery Alber		11/2/12	359 Texas St. 94107
Francisco Martin		11/3/12	251 Rte 1c Island 9407
Richard Vital		11/3/12	890 DE HARO 94103 290 DE HARO 94103
RICHARD WASHINGTON		11-3-12	
Lise Parenteau		11-3-12	524 Kanawha St 94107
Justin		11/3/12	921 Leavenworth St,

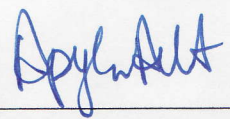

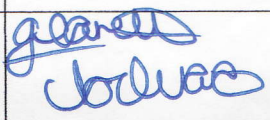
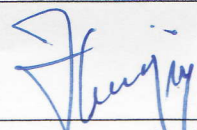
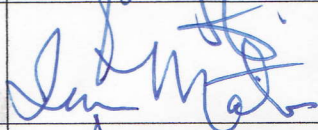
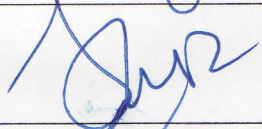
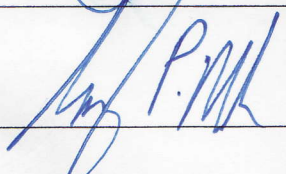
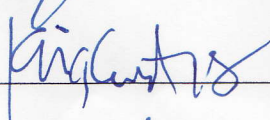
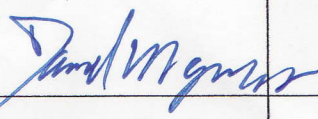
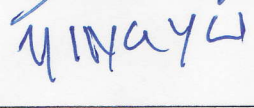
### 2000 – 20<sup>th</sup> Street Residential Addition

I have reviewed the plans proposed by the owner Kennedy Chan for the construction of a one-story addition to an existing two-story residence at 2000 – 20<sup>th</sup> Street. I support the design of this project and the addition of a dwelling unit which is in keeping with the surrounding neighborhood.

Name (printed)	Signature	Date	Address
John Offenhartz		10/3/12	611 San Bruno Ave SF
Liron Maxime		10/3/12	25 Sierra street
Victoria Offenhartz		11/3/12	611 SAN BRUNO SF. CA. 94107
Leda Schuman		11/3/12	791 San Bruno S.F. CA, 94107
Dane Bannan		11/3/12	791 San Bruno SF CA 94107
Cort Foo		11/3/12	342 Arkansas SF CA 94107
Aaron Bastin		11/3/12	342 Arkansas SF CA 94107
Nestor Canchola		11/3/12	55 Lydia Ave SF CA 94118
Poge Jones		11/3/12	742 San Bruno SF CA 94107
Jeannette Au		11.3.12	732 Missoula 94107

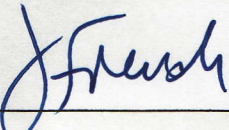





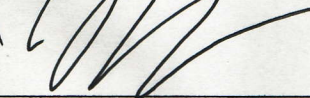
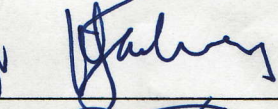

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Name (printed)	Signature	Date	Address
Apnyl von Arlt		11/3/12	618 20 <sup>th</sup> St.
MICHAEL ETTINGER		11/3/12	1053 Mississippi St.
Jeanette TALAS		11/3/12	1077 Connecticut St.
Feliciano C.		11-03-12	63 Edgewood ST DALY CITY
IAN M		11-03-12	619 Mississippi
Steph R		11-03-12	573 Convent.
Greg Mohr		11/3/12	588 Arkansas St
KIRA CURTIS		11/3/12	906 Carolina St.
David Magdalena		11/3/12	1101 Carolina St.
MINA YU		11/3/12	706 MISSOURI ST

## 2000 – 20<sup>th</sup> Street Residential Addition


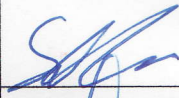

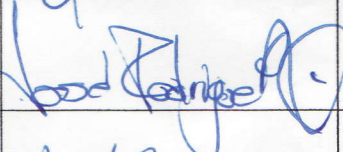


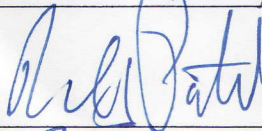

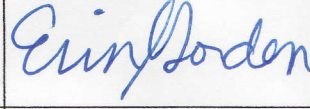

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Name (printed)	Signature	Date	Address
J FRENCH		3 Nov. '12	764 Arkansas SF 94107
Brian Leach		3 Nov. '12	1111 8 <sup>th</sup> St.
Karen Larsen	Karen Larsen	Nov 3 2012	1096 Carolina
Cheryl Rouse		11/3/2012	1471 Kuhle Island
Vinny Valentine		11/3/2012	859 Missouri <sup>st</sup>
Travens Flynn		11/3/2012	2023 18 <sup>th</sup> St
Mike Hamburg		11/3/2012	658 Missouri
WLS Doroth		11/3/2012	801 Arkansas St.
Romulo Santiago		11/3-1/12	801 Arkansas
Theodore Poshong		Nov 3 <sup>rd</sup> 2012	2321 Bryant St




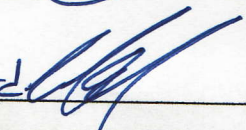
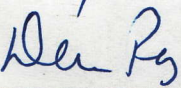
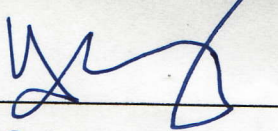
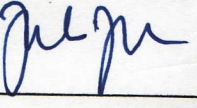

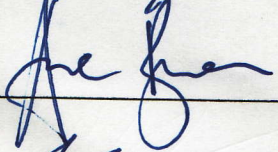

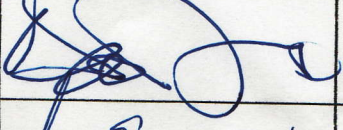
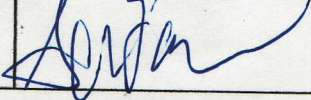
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Name (printed)	Signature	Date	Address
Leticia Serrano		11-03-2012	613 Wisconsin
Sylvan Fiss		12-03-2012	149 ARKANSAS
Esate Carlos		11-03-2012	1449 Connecticut
Jose Rodriguez		11-03-2012	550 DeHaro St.
Joel Barnes		11-03-2012	1812 20th St
DEVON FOX		11-03-2012	466A ARKANSAS ST
RASHATA		11-03-12	612 Connecticut
Piera Mari Kon		11/3/12	559 Arkansas
Erin Gordon		11/3/12	443 Connecticut St #5
Thierry Chauvin		11/3/12	535 Missouri St St 99 lot.

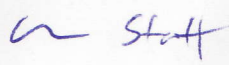

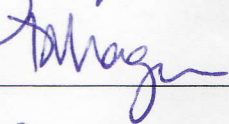
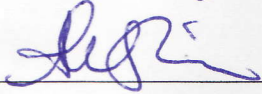
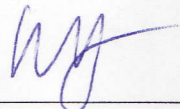



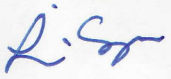
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Name (printed)	Signature	Date	Address
Terisha Mooring Guard		11-3-12	997 Connecticut St SF, CA 94107
Ulysses Mooring Guard		11-3-12	997 Connecticut St SF, CA 94107
David Page		11/3/12	322 Missouri,
Rachel Nagerberg		11/3/12	1704 20th Street SF CA 94107
Julia Flood		11/3/12	866 Wisconsin 94107
Mike Whelpley		11/3/12	230 Texas St 94107
Anne Brennan		11.3.2012	467 ARKANSAS ST. 94107.
Chris Solis		11/3/2012	1527 25th St.
GREG JENNINGS		11/3/2012	150 Lombard St. 509 S.F. 94111
Susana Thompson		11-3-2012	710 Missouri St


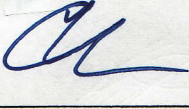




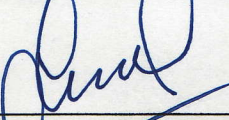

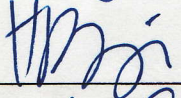

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Name (printed)	Signature	Date	Address
CALLUM STOTT		11/3/12	626 CONNECTICUT ST, SAN FRANCISCO 94107
Zach Inoue		11/3/12	947 Vermont St SF CA 94107
Daphne Magnawa		11/3/12	306 Utah St. SF CA 94103
Angie Pak		11/3/12	1000 Pennsylvania Ave. 94107
William Lin		11/3/12	631 WISCONSIN 94107
Cal Cullen		11/3/12	1818 23 <sup>rd</sup> St. 94107
Skip Cullen		11/3/12	1818 23 <sup>rd</sup> St. 94107
MIR MATAJON		11/3/12	451 Kansas St #284 94107
Lindsay Spangler		11/3/12	1301 20th St. Apt. 2
JEAN-CLAUDE NICOD		11/3/12	422 Missouri St 94107


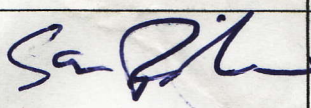

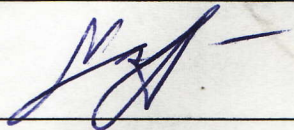

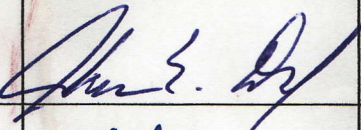
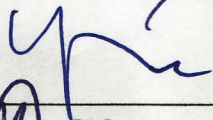
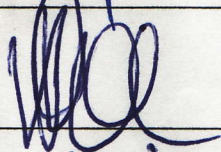
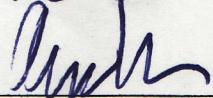
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Name (printed)	Signature	Date	Address
Larry Bailey		11-3-12	1405 20th St.
Craig MacKinnon		11-3-12	431 Peab. Ave. #4 S.F. 94107
Donato		11/3/12	740 MISSOURI ST
Daniel White		11-3-12	619 Missouri St.
Shadi's Waleh		11-3-12	609 MISSOURI ST.
Nick Petis		11/3/12	609 Mississippi St #103
Regan Smith		11/3/12	1275 20th St
Alyana DeBorja		11/3/12	25 Dakota
Heidi Bis		11/3/12	507 Natuna St. SF CA 94103
ALPHANIE WONG		11/3/12	733 VERMONT ST. SF, 94107






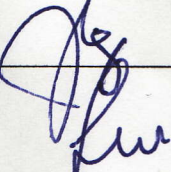
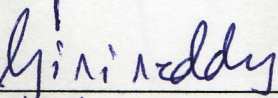

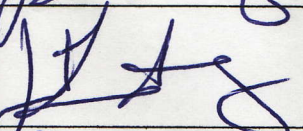
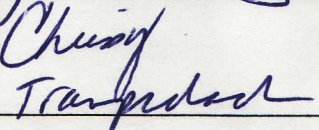
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Name (printed)	Signature	Date	Address
THU NGUYEN		11/03/12	1701 20TH ST SF CA 94107
Sam <sup>Darwish</sup>		11/03/12	1601 20th S.F 94107
Maeen		11/03/2012	1607 20TH S.F 94107
Natalie		11/03/2012	1707 20 <sup>th</sup> ST SF, CA 94107
Yoway Buoru		11/3/2012	25th & WISCONSIN 94107
Cori Torzic	Cori Torzic	11/3/12	1631 20 <sup>th</sup> ST. 94107
Tom Drubster		11/3/12	86 CAIRE Terrace SF 94107
Yuenlingeth		11/3/12	1503 20th S.F. 94107
Viviana Mendoza		11/3/12	1447 20th St 94107
Andrew Hinman		11/3/12	1012 McHardy St 94107

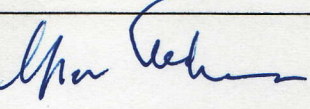

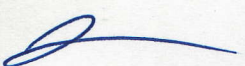


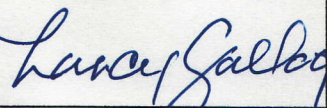

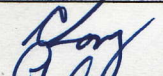
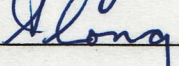


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Name (printed)	Signature	Date	Address
MARIE CROSS		11/3/12	2106 18 <sup>TH</sup> ST 94107
KANOK KAVANEY		11/3/12	149 ARKANSAS ST. 94107
Alex Bettrams		11/3/12	380 ARKANSAS ST. 94107
Charles Lawson		11-3-12	1525 18 <sup>th</sup> Street
Jan Gallego		11/3/12	1415 18 <sup>th</sup> St 94107
SEGUI		11/3/12	1401 18 <sup>th</sup> 94107
Gini REDDY		11/3/12	244 TEXAS ST 94107
Jennifer Lindsay		11/3/12	401 Carolina Street.
Yield Wine Bar		11/3/12	2490 3rd Street
Chrissy Trampedach		11/3/12	636 Wisconsin St.



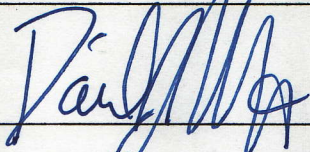
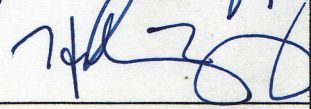


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Name (printed)	Signature	Date	Address
Meghan Lochran		12/3/12	811 Caroline St. 94107
Desirée Stanley		11/13/12	721 Wisconsin St.
Joshua Bays		11/13/12	721 Wisconsin St.
maria wood		11/13/12	888 Carolina St
DAN REDMONA		11/13/12	760 Delta St
Nancy Gallagher Nancy Gallagher		11/13/12	575 Pennsylvania
DANIEL R. BOHES		11/04/2012	548 Pennsylvania
CARRAN Long THERESA Long	 	11/4/12 11/4/12	660 Connecticut St. 660 Connecticut St.
DAVID GROSS BLUM		11/4/12	2010 3 <sup>rd</sup> St #10 94107
Lester Gross Blum		11/4/12	2010 3 <sup>rd</sup> St #10 94107

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Name (printed)	Signature	Date	Address
Jarel Canales		11/3/2012	451 Kansas St #396 SF CA 94107
Carry Wang		11/3/12	312 Arkansas SF 94107
Dan Wright		11/3/12	297 Cann. St. SF 94107
Helen Zeng		11/03/2012	1816 23rd Street San Francisco CA
Awad Sayeed		11/3/12	1816 23rd Street San Francisco CA
Jeffrey Gee		11/3/12	1536 20th Street





# SAN FRANCISCO PLANNING DEPARTMENT

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## Memo to the Planning Commission

### Discretionary Review Full Analysis

HEARING DATE: NOVEMBER 8, 2012  
CONTINUED FROM SEPTEMBER 20, 2012; OCTOBER 18, 2012

*Date:* November 1, 2012  
*Case No.:* 2012.0928DDD  
*Project Address:* 2000 20<sup>th</sup> Street  
*Permit Application:* 2010.12.01.5856  
*Zoning:* RM-1 (Residential, Mixed, Low Density) Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 4072/023  
*Project Sponsor:* Kennedy Chan  
2000 20<sup>th</sup> Street  
San Francisco, CA 94107  
*Staff Contact:* Richard Sucre – (415) 575-9108  
[Richard.Sucre@sfgov.org](mailto:Richard.Sucre@sfgov.org)  
*Recommendation:* **Do Not Take DR & Approve the Project As Proposed.**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### BACKGROUND

In response to comments from the Commission from the Planning Commission Hearing on October 18, 2012, the Project Sponsor produced new architectural drawings and renderings for the proposed project, which accurately reflect the latest project description. These new architectural drawings and renderings feature an appropriate scale and dimension, and appear to accurately reflect the conditions of the existing site.

The Department received these updated architectural drawings on November 1, 2012 and transmitted an electronic pdf copy to the DR Requestors on the same day.

### CURRENT PROPOSAL

The proposed project remains generally the same, and includes the refinements agreed to by Project Sponsor and DR Requestors on October 9, 2012. These refinements include:

- Change in the material and design of the guardrail of the new roof deck from glass to a steel cable rail;
- Reduction in the height of the new rooftop penthouse to 6 ft-11 in;
- Change in the glazing in the sliding glass door and windows along the west façade to translucent or frosted glass.

The Department has no issue with the refinements in the proposed project and finds that these refinements reflect the Project Sponsor's willingness to address neighbor concerns. Although the refinements have been made to the proposed project, the Project Sponsors have not withdrawn their Discretionary Review requests, since these refinements do not address all of their issues with the proposed project.

The architectural drawings and renderings produced by SMA Architecture (dated November 1, 2012) represent the project, as currently proposed (See Attached).

## **PUBLIC COMMENT**

Between October 10, 2012 and November 1, 2012, the Department received two additional letters in opposition to the proposed project.

Therefore, as of November 1, 2012, the Department has received a total of thirty letters of opposition to the proposed project. Copies of this correspondence have been included within the Commissioner packets.

### **Attachments:**

Reduced Architectural Drawings & Rendering (dated 11/01/12)

Additional Correspondence – DR Requestor Maria Cristini (dated 10/31/12)

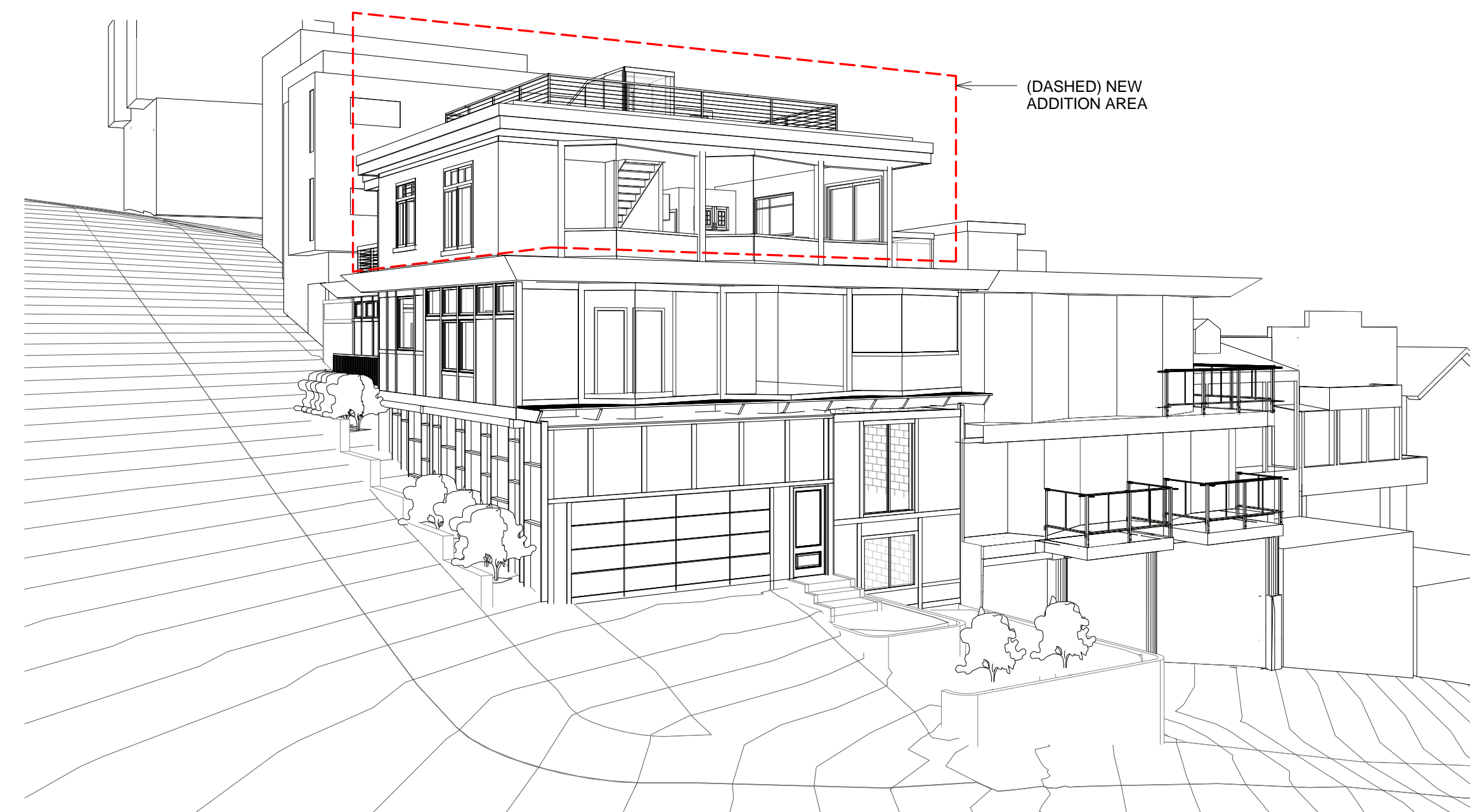
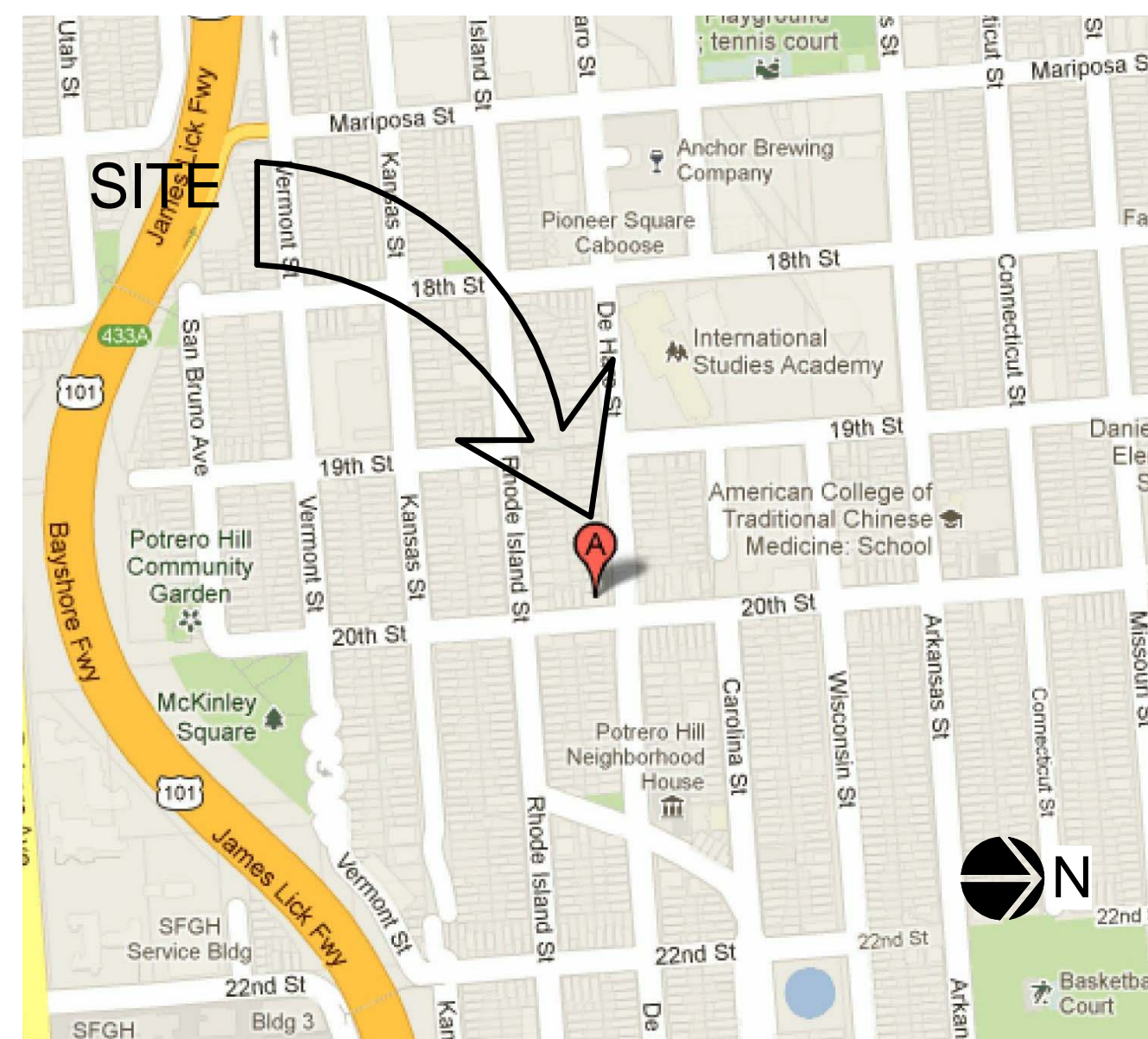
Public Correspondence received between October 10, 2012 and November 1, 2012

# PROPOSED ADDITION - CHAN RESIDENCE

2000 20TH STREET,  
SAN FRANCISCO, CA

SCHEMATIC DESIGN - NOVEMBER 01, 2012

## VICINITY MAP NOT TO SCALE



## PROJECT TEAM

**Owner:** KENNEDY CHAN  
2000 20th Street  
San Francisco, CA  
  
Contact: Kennedy Chan  
Tel: 650.995.6109

**Architectural:** SMA  
703 Market Street, Suite 450  
San Francisco, CA 94103  
  
Contact: Scott A. Mullen, AIA  
Tel: 415.894.1300  
Fax: 415.894.1310  
www.sma-arch.com

**Structural:** A&J Design Associates, Inc.  
2328 Taraval Street  
San Francisco, CA 94116  
  
Contact: Joyce Cheng, P.E.  
Tel: 415.682.8683

## DRAWING INDEX

ARCHITECTURAL	
Sheet Number	Sheet Name
A0	Cover Sheet
A0.1	Material Palette
A1	Existing Elevations
A1.1	Plot Plan
A2	Existing Plans
A3	Proposed Plans
A4	Proposed Plans
A5	Proposed Elevations
A6	Proposed Elevations
A7	Proposed Elevations

## 3D VIEWS



## PROJECT DATA SUMMARY

SINGLE FAMILY RESIDENCE OCCUPANCY:

CONSTRUCTION TYPE: 5B  
OCCUPANCY GROUP: R3

SCOPE OF WORK:

PROPOSED ALTERATION AND VERTICAL ADDITION

ALL CONSTRUCTION SHALL COMPLY WITH 2010 C.B.C. STATE CODES, 2010 C.M.C., 2010 C.P.C., 2010 N.E.C., ALL LOCAL AMMENDMENTS/ ORDINANCES and ALL LOCAL SUB-TRADE CODES.

TRACT MAP:

BLOCK - 4072  
LOT - 23

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PROPOSED ADDITION TO  
CHAN RESIDENCE

PROJECT ADDRESS  
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BLOCK 4072 LOT 23

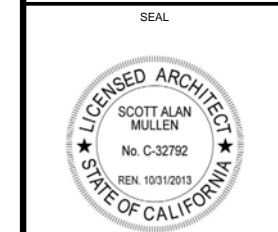
SHEET TITLE

Cover Sheet

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A0
CHECKED	SM	
APPROVED	-	
DATE	11/01/12	
JOB NO	CHAN 01	

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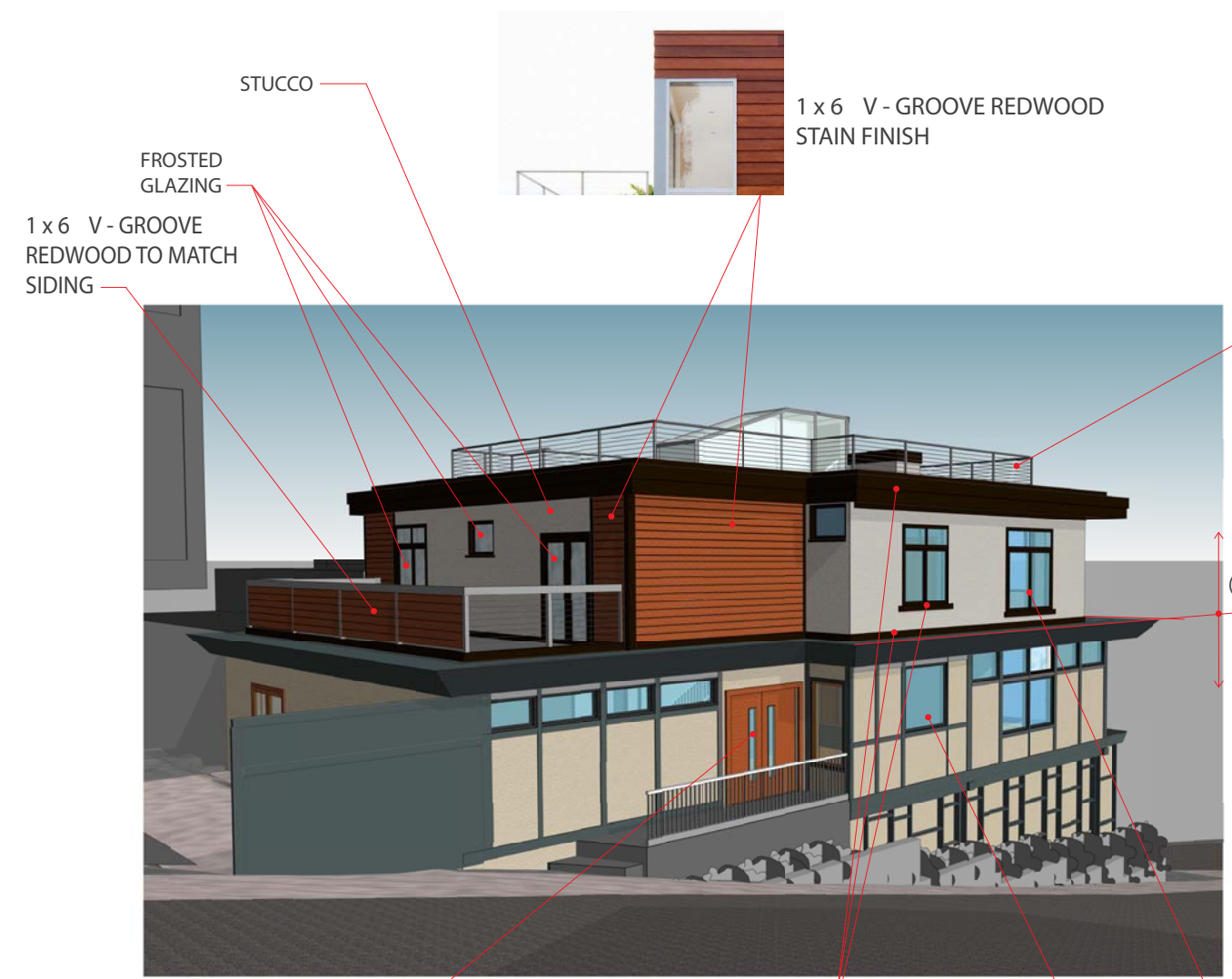
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PROJECT NAME  
**PROPOSED ADDITION TO CHAN RESIDENCE**

PROJECT ADDRESS  
**2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23**

SHEET TITLE  
**MATERIAL PALETTE**

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	<b>A0.1</b>
CHECKED	SM	
APPROVED	-	
DATE	11/01/12	
JOB NO	CHAN 01	



STUCCO

FROSTED GLAZING

1 x 6 V-GROOVE REDWOOD TO MATCH SIDING

1 x 6 V-GROOVE REDWOOD STAIN FINISH

3'-6" HT. GUARDRAIL, 3/16" DIA. STAINLESS STEEL CABLES WITH THIN PROFILE METAL FRAME

STUCCO - LA HABRA BAY RIDGE

(N) 2nd Flr

(E) Color Palette (no change)

Bay Ridge  
81593 (32)  
Base 100

BURNISHED BRONZE BASE TRIM AT DEHARO WINDOWS

NEW CUSTOM CONTEMPORARY EXTERIOR DOOR

DARK BROWN DUNN EDWARDS

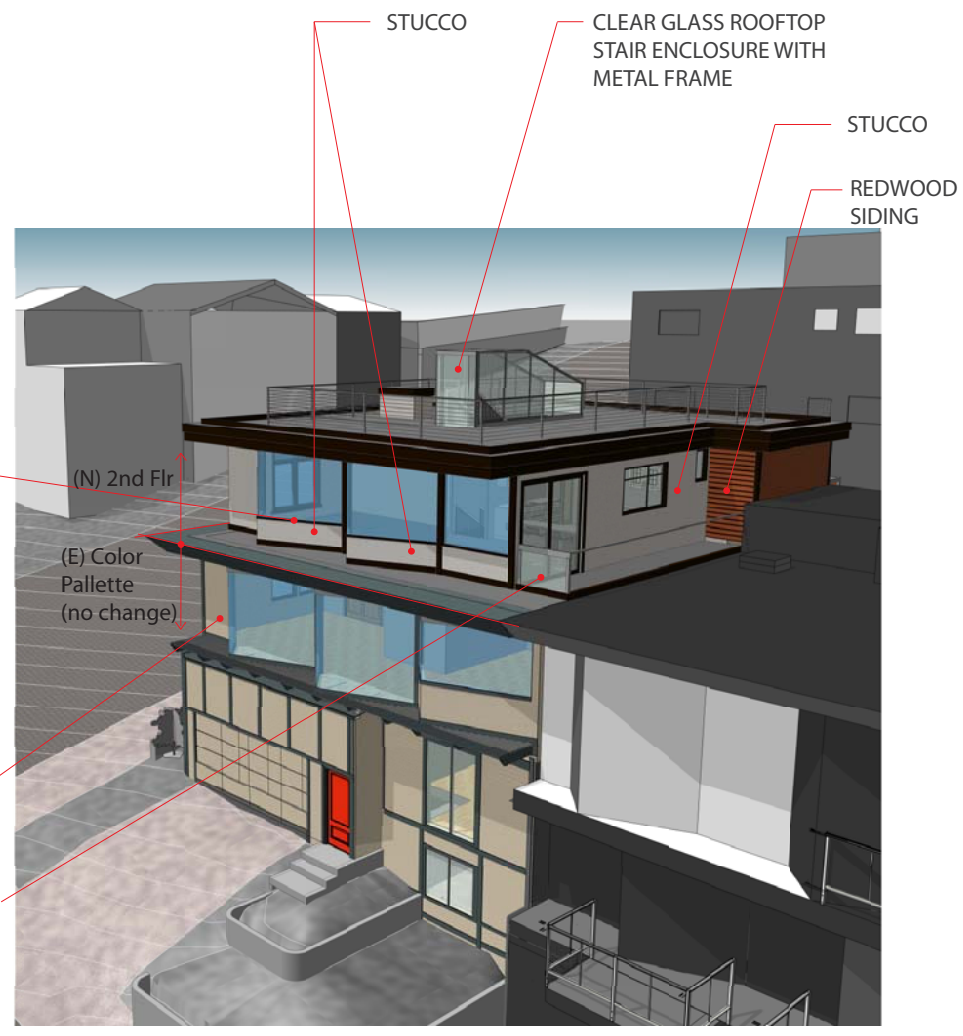
NEW WINDOW & INFILL PANELS

CONTEMPORARY EAVE

CONTEMPORARY WOOD CLAD WINDOWS

NEW PANEL

NEW GLASS GUARDRAIL



STUCCO

CLEAR GLASS ROOFTOP STAIR ENCLOSURE WITH METAL FRAME

STUCCO

REDWOOD SIDING

(N) 2nd Flr

(E) Color Palette (no change)

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PROJECT NAME  
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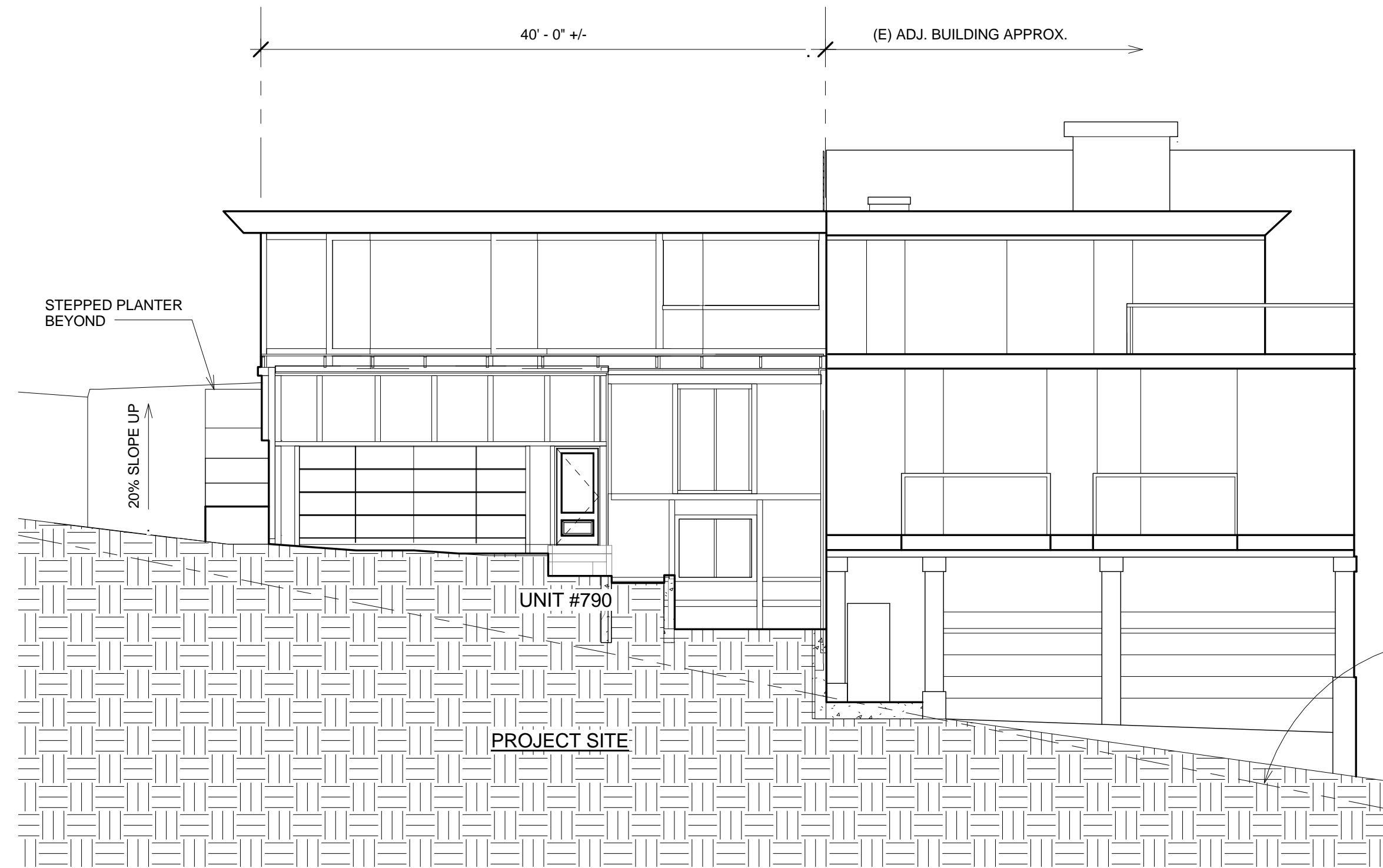
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SAN FRANCISCO, CA  
BLOCK 4072 LOT 23**

SHEET TITLE

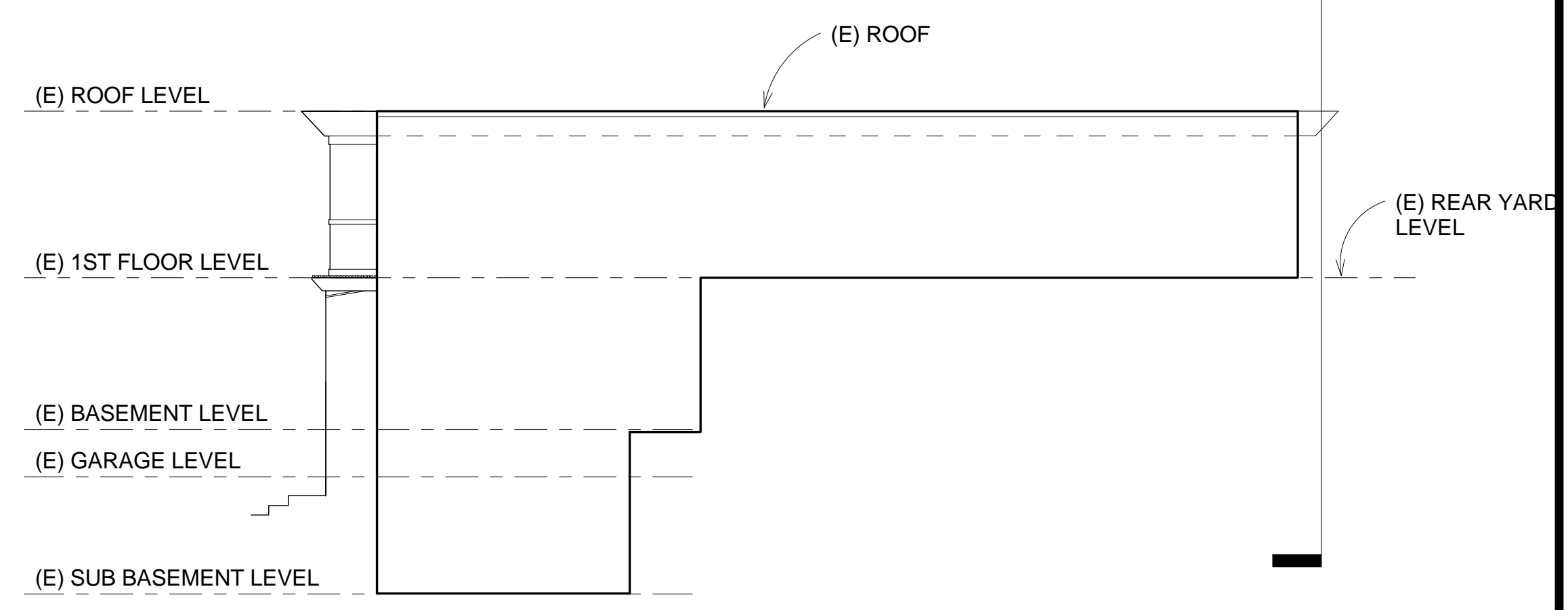
**Existing  
Elevations**

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	<b>A1</b>
CHECKED	SM	
APPROVED	-	
DATE	11/01/12	
JOB NO	CHAN 01	

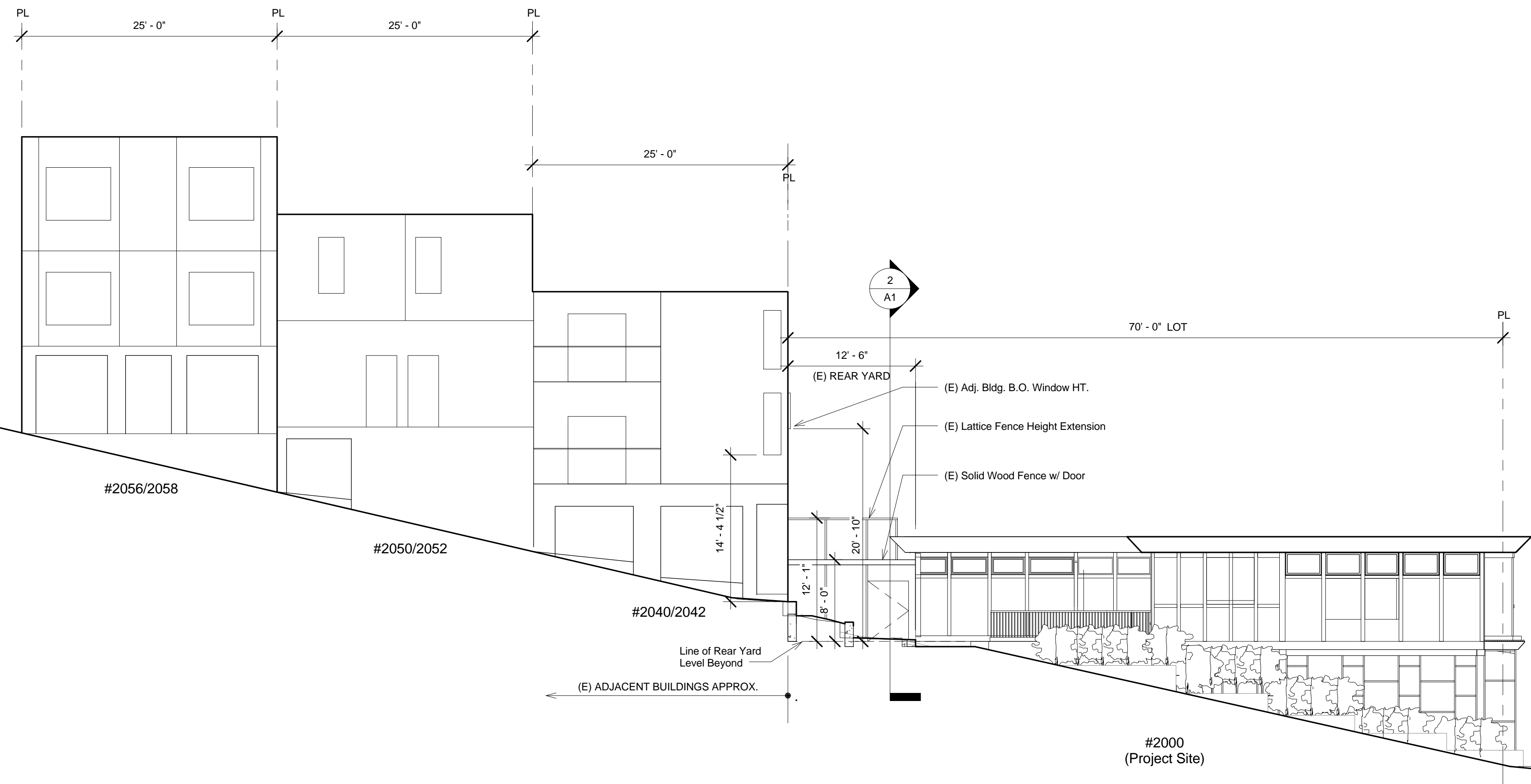
SCHEMATIC DESIGN NOT FOR CONSTRUCTION



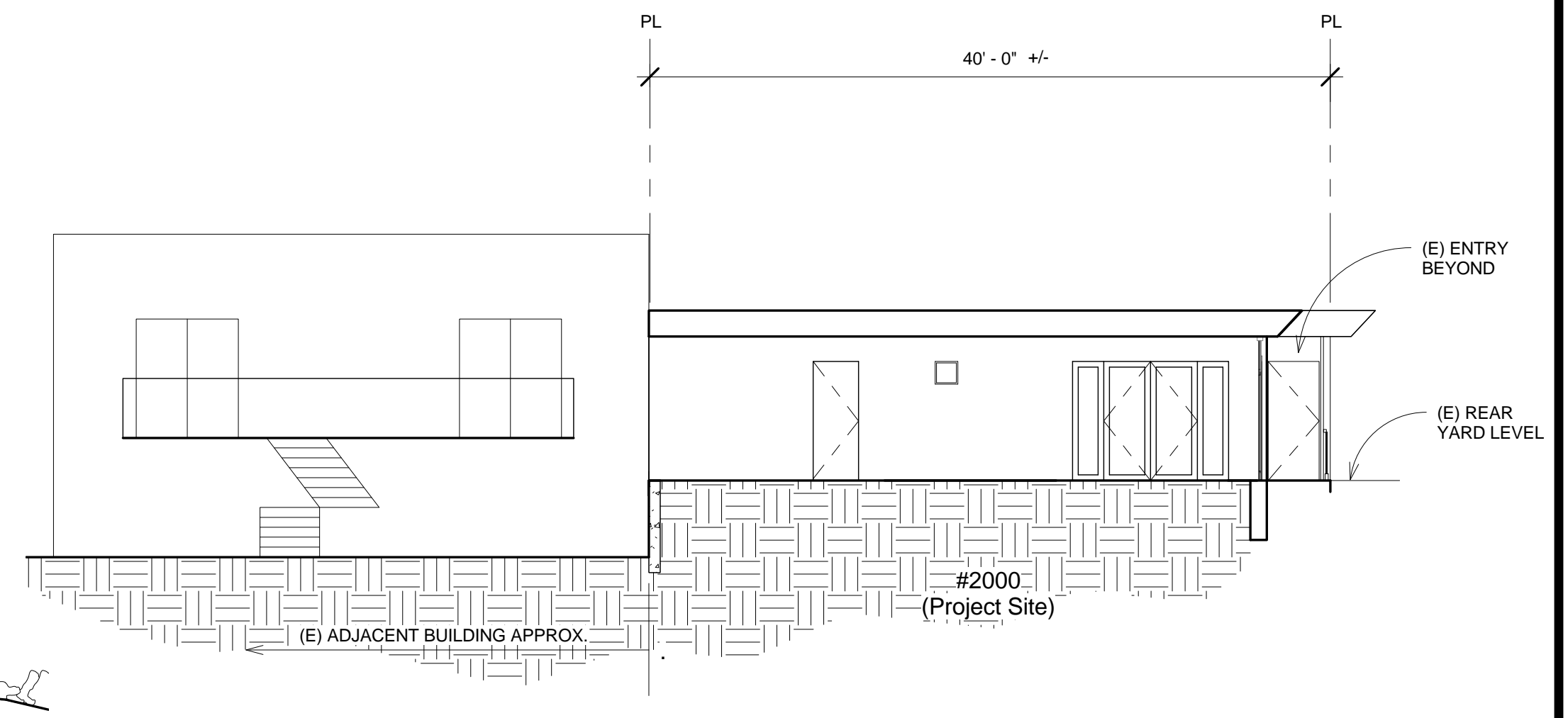
3 Existing East Elevation (On De Haro Street)  
1/8" = 1'-0"



4 Existing North Elevation  
1/8" = 1'-0"



1 Existing South Elevation (On 20th Street)  
1/8" = 1'-0"



2 Existing West Elevation  
1/8" = 1'-0"

10/31/2012 5:35:51 PM C:\Users\Admin\Documents\Chan\_House\_Admin.rvt

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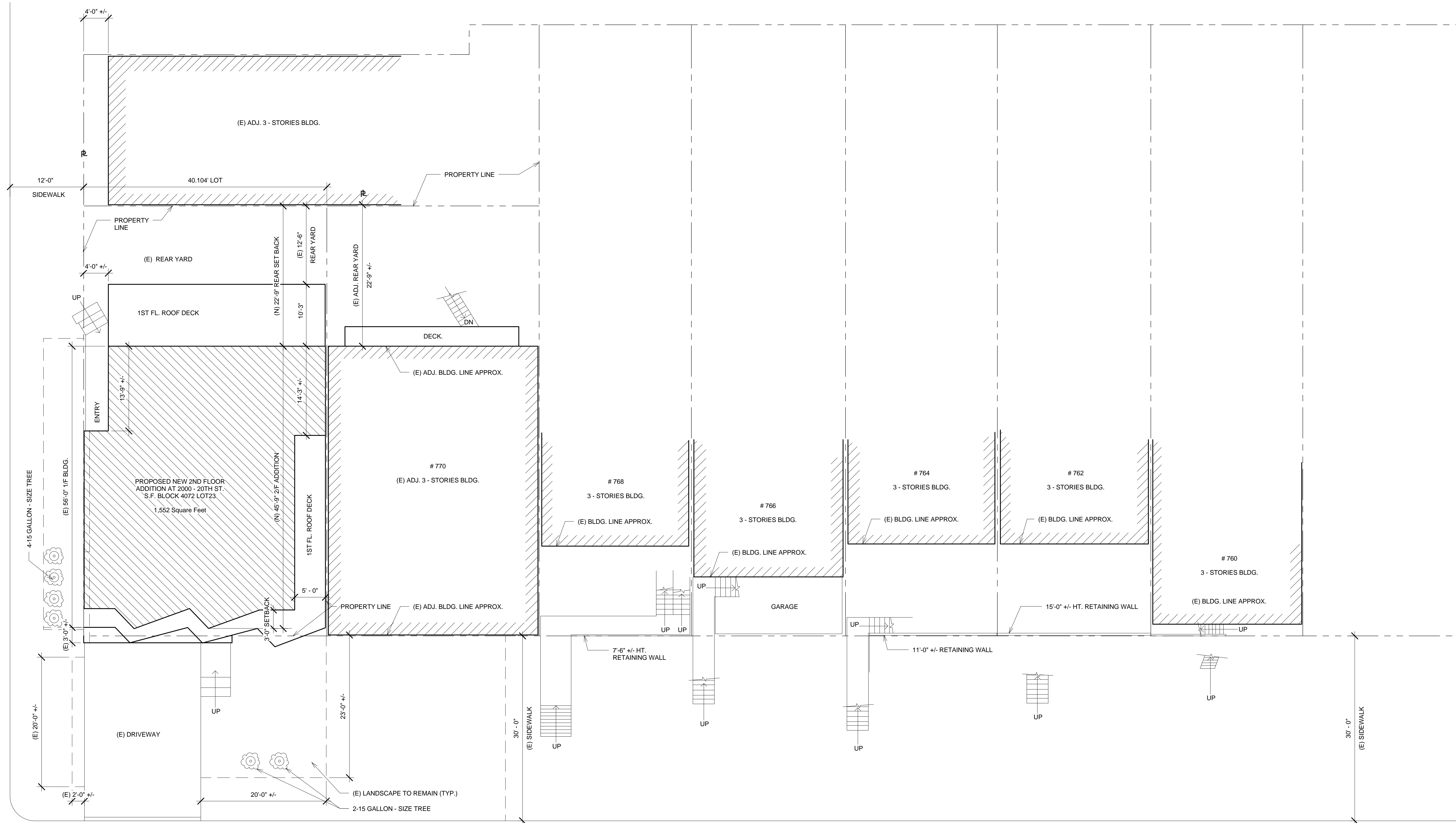
PROJECT ADDRESS

2000 20TH ST.,  
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BLOCK 4072 LOT 23

SHEET TITLE

Plot Plan

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A1.1
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DATE	11/01/12	
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20TH STREET



1 Plot Plan  
1/8" = 1'-0"

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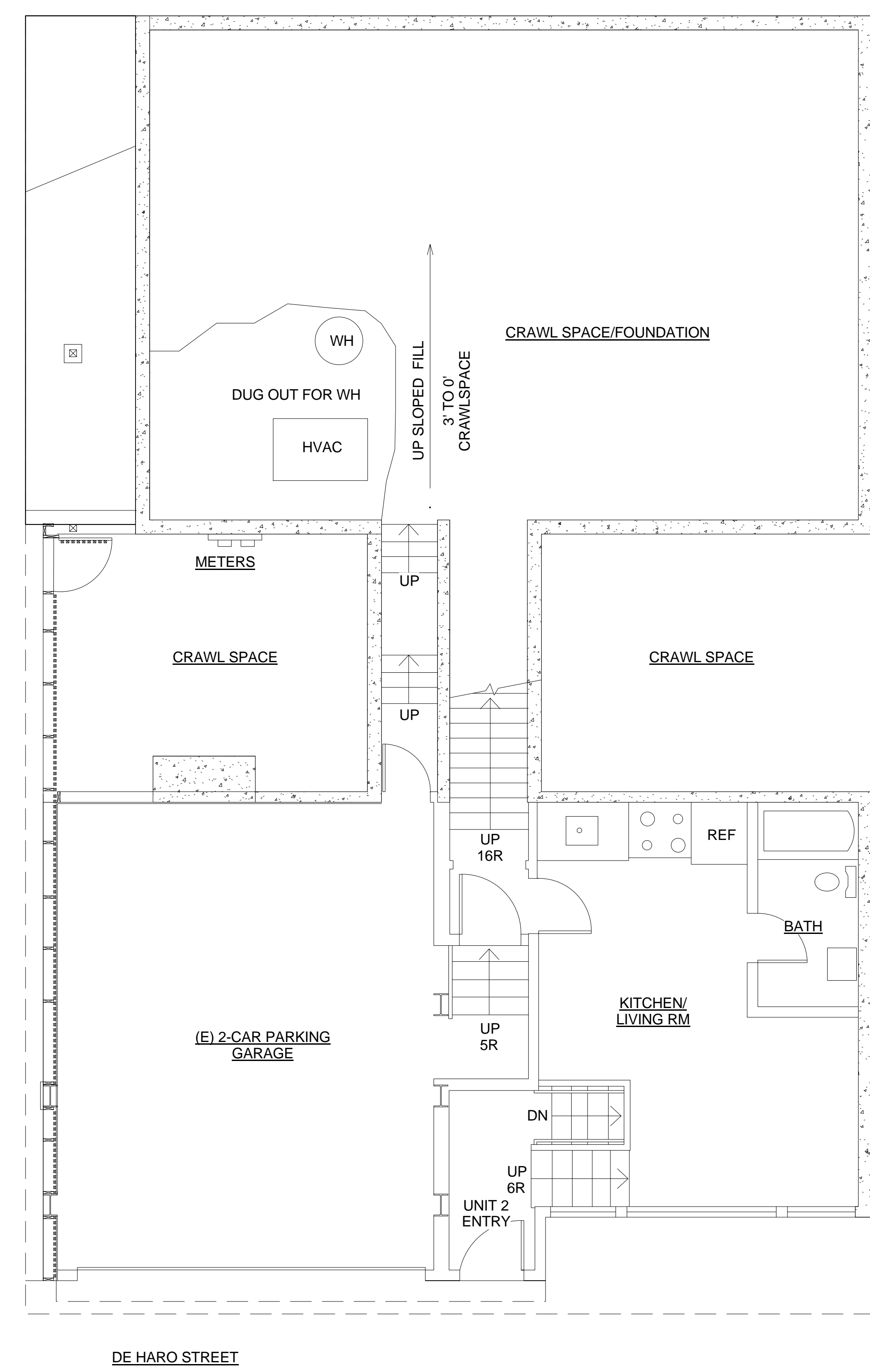
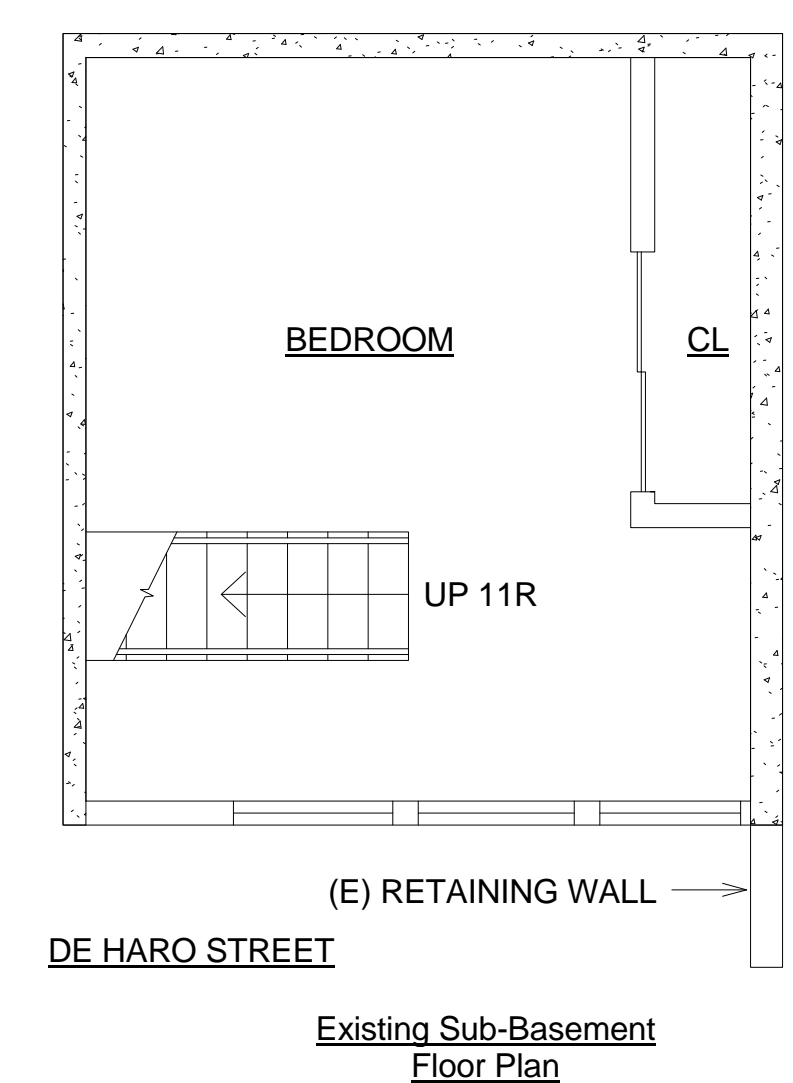
PROJECT NAME  
**PROPOSED ADDITION TO  
CHAN RESIDENCE**

PROJECT ADDRESS  
**2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23**

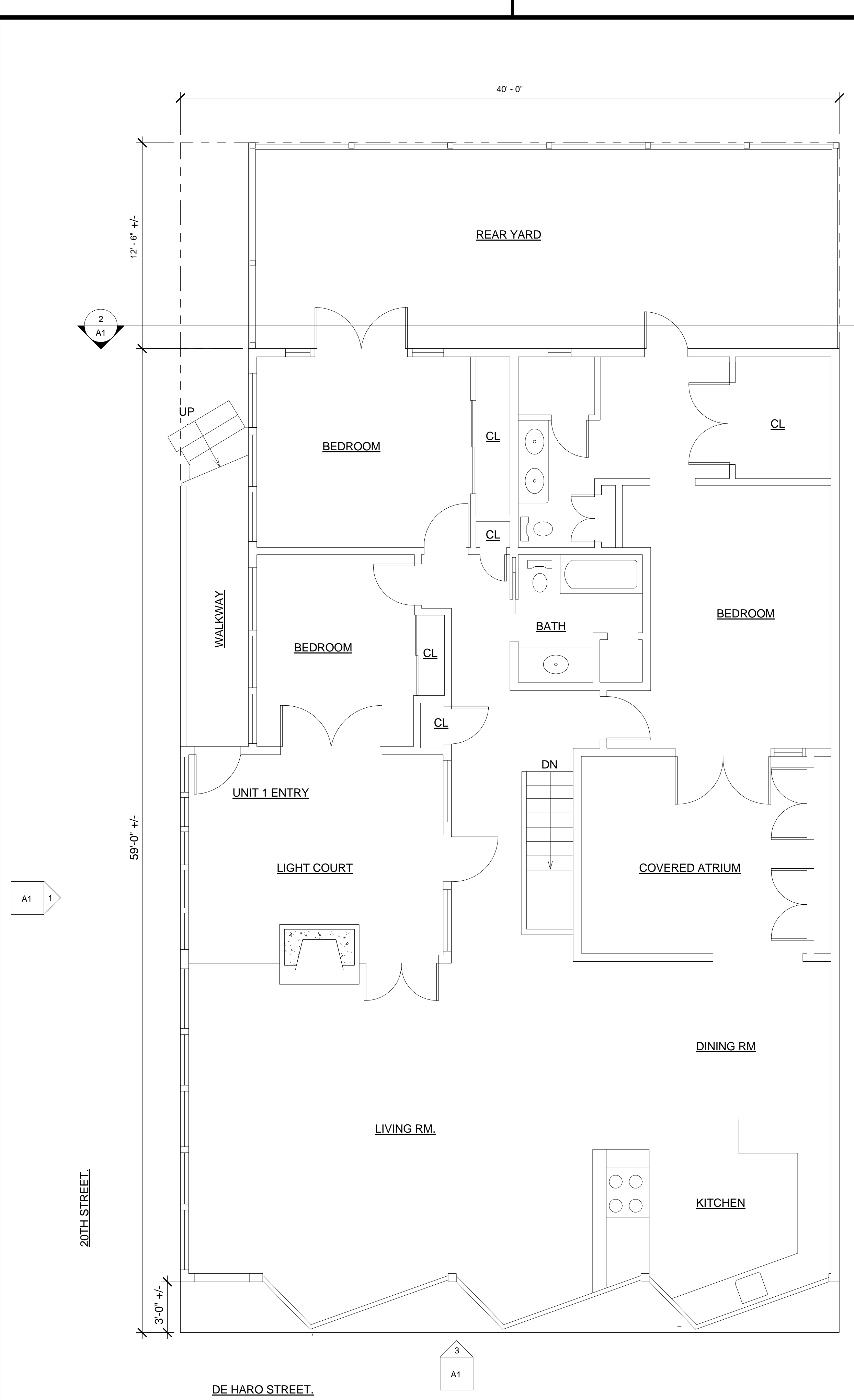
SHEET TITLE

**Existing Plans**

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	<b>A2</b>
CHECKED	SM	
APPROVED	-	
DATE	11/01/12	
JOB NO	CHAN 01	



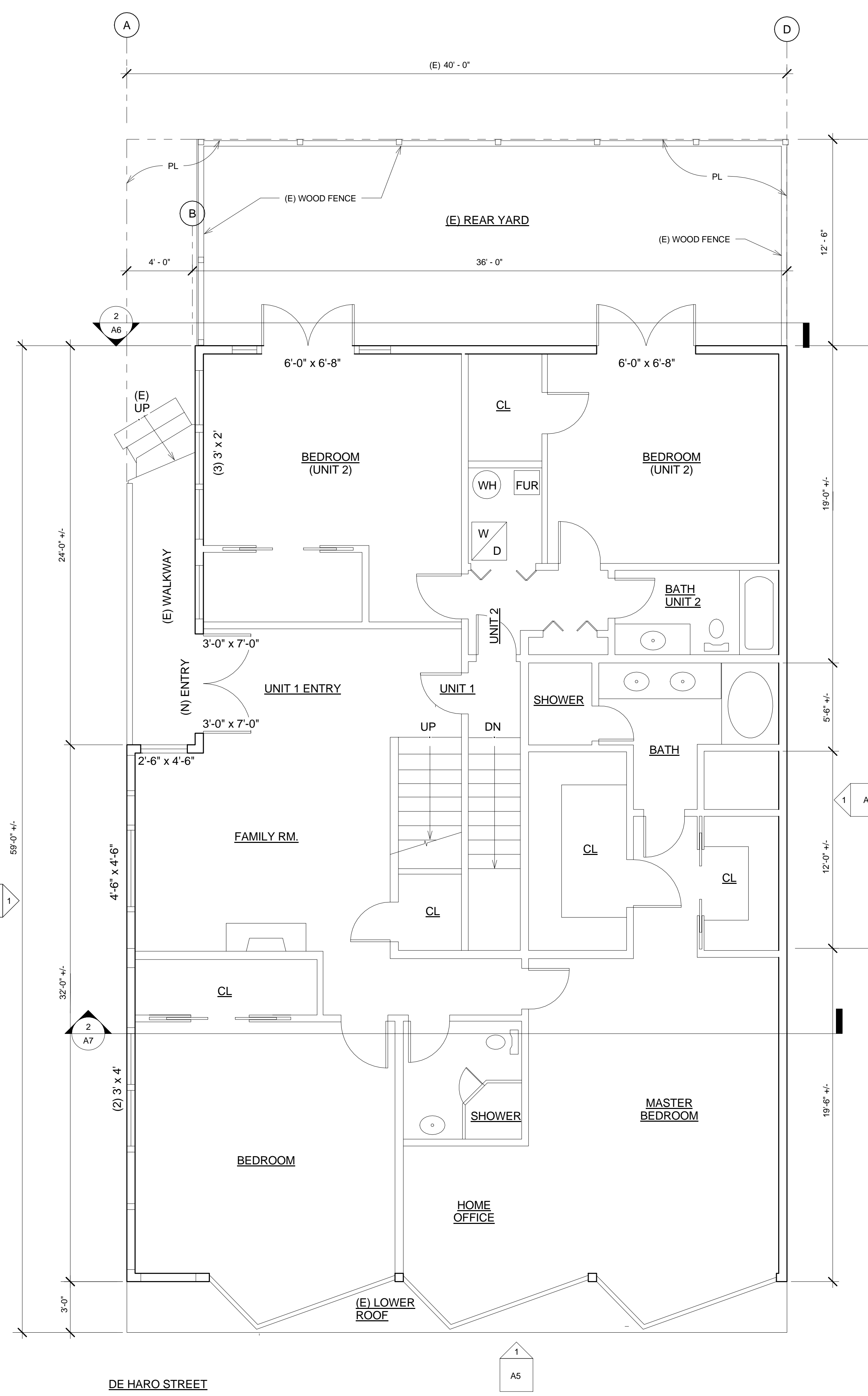
1 Existing Basement Floor Plan  
1/4" = 1'-0"



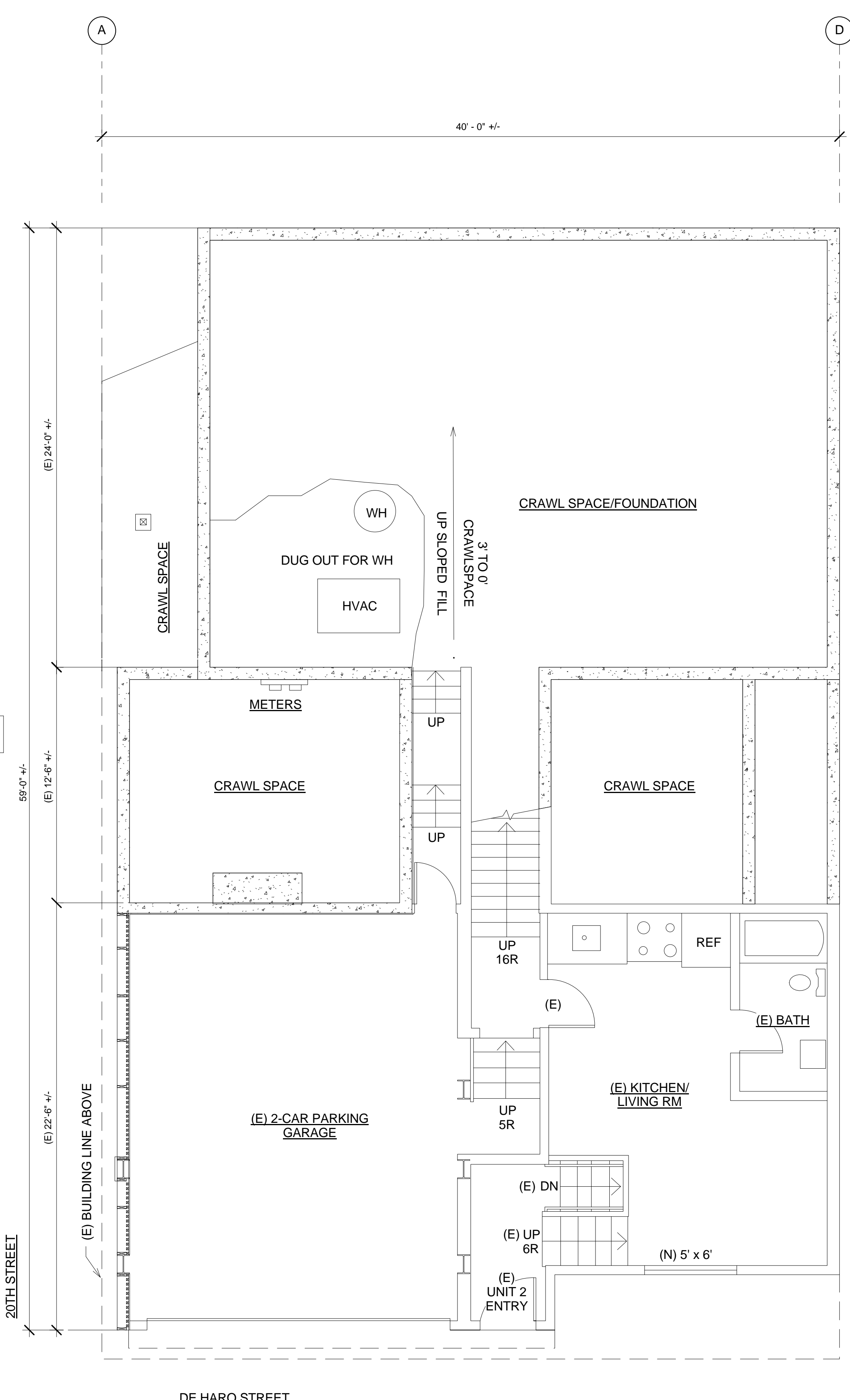
2 Existing First Floor Plan  
1/4" = 1'-0"

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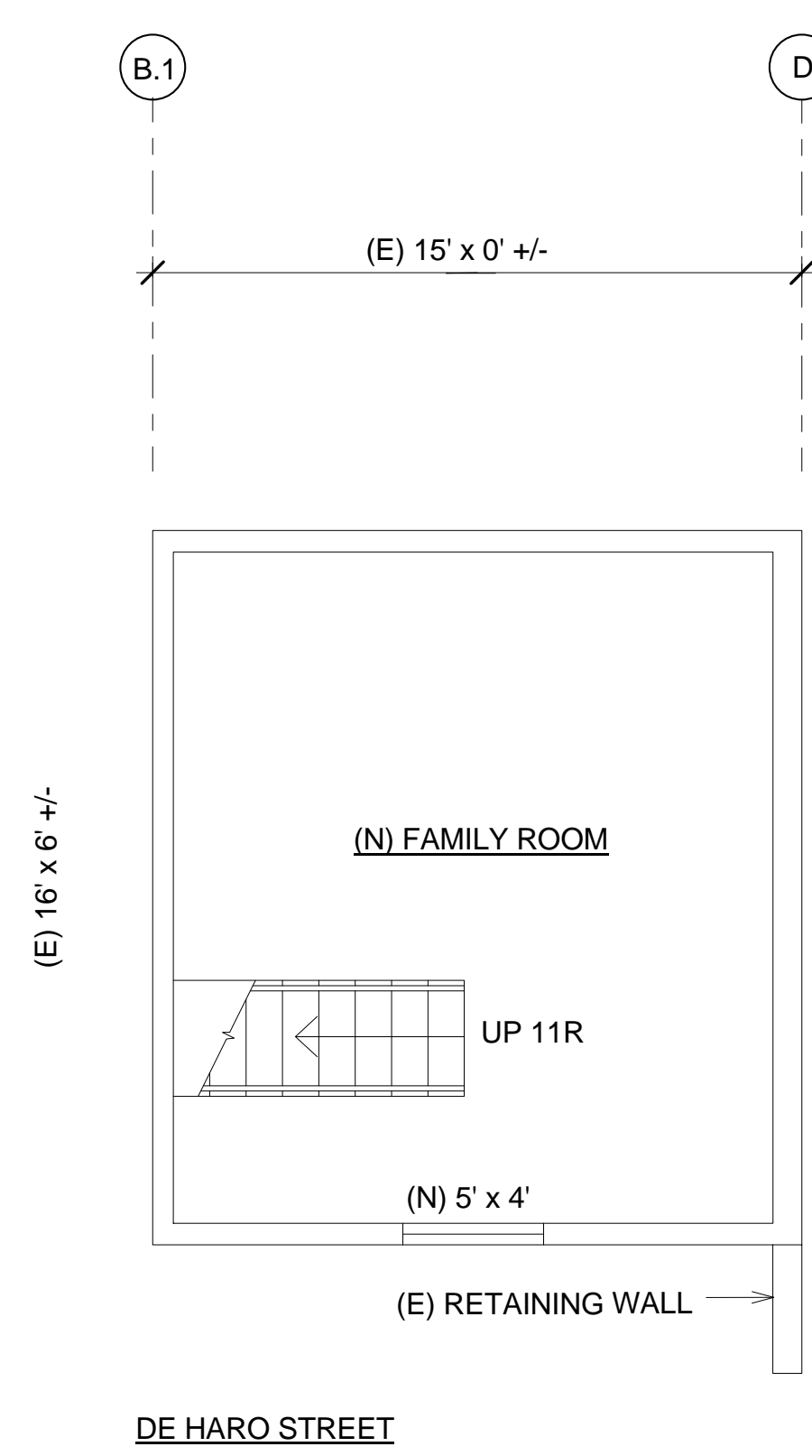
10/31/2012 5:36:51 PM C:\Users\Administrator\Documents\20TH STREET House\_Admin.rvt



1 Proposed First Floor  
1/4" = 1'-0"



2 Proposed Basement Level  
1/4" = 1'-0"



Proposed Sub-Basement Level Floor Plan  
1/4" = 1'-0"

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**PROPOSED ADDITION TO  
CHAN RESIDENCE**

PROJECT ADDRESS  
**2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23**

SHEET TITLE  
**Proposed  
Plans**

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	<b>A3</b>
CHECKED	SM	
APPROVED	-	
DATE	11/01/12	
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CHAN RESIDENCE**

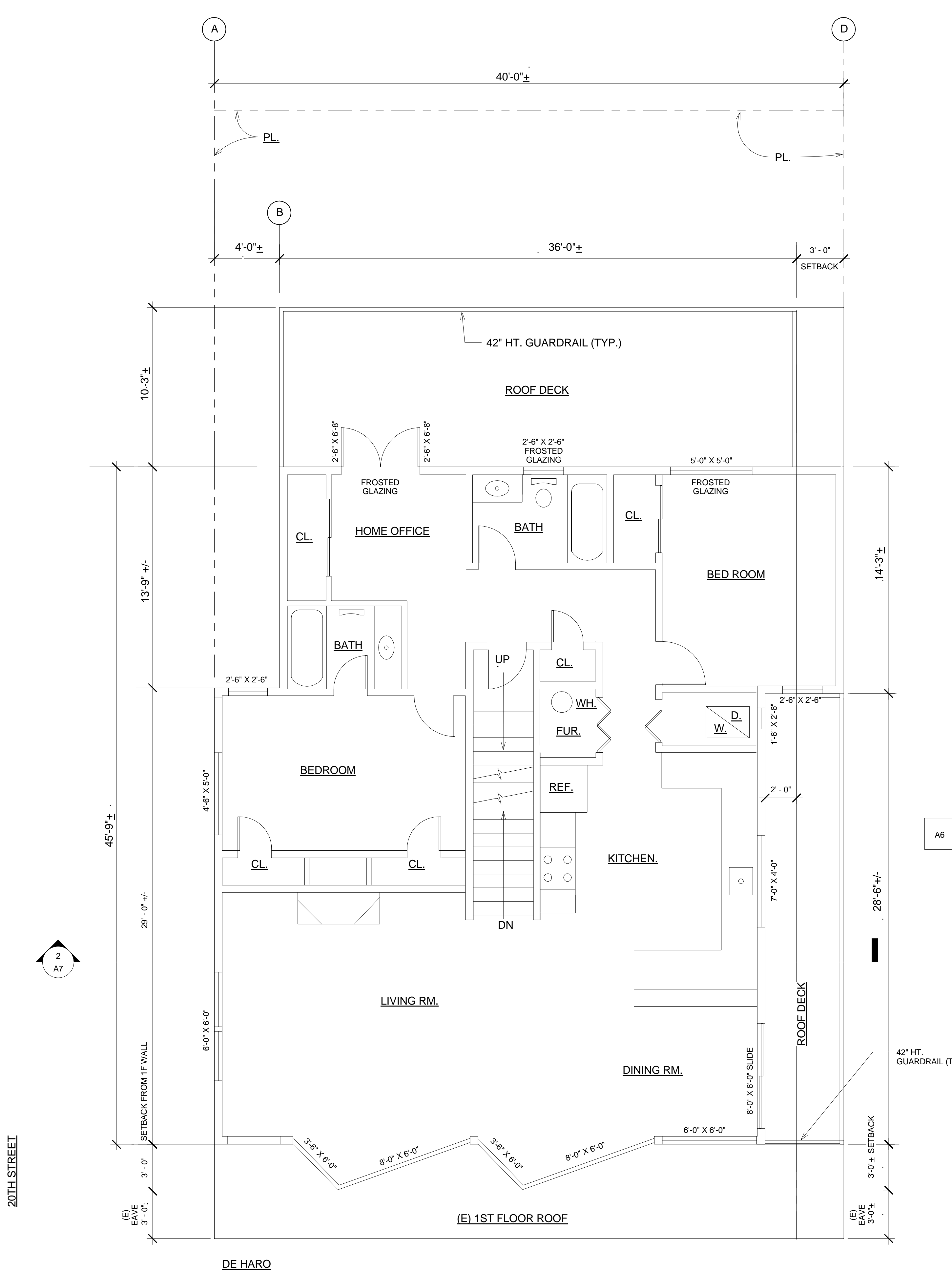
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SHEET TITLE

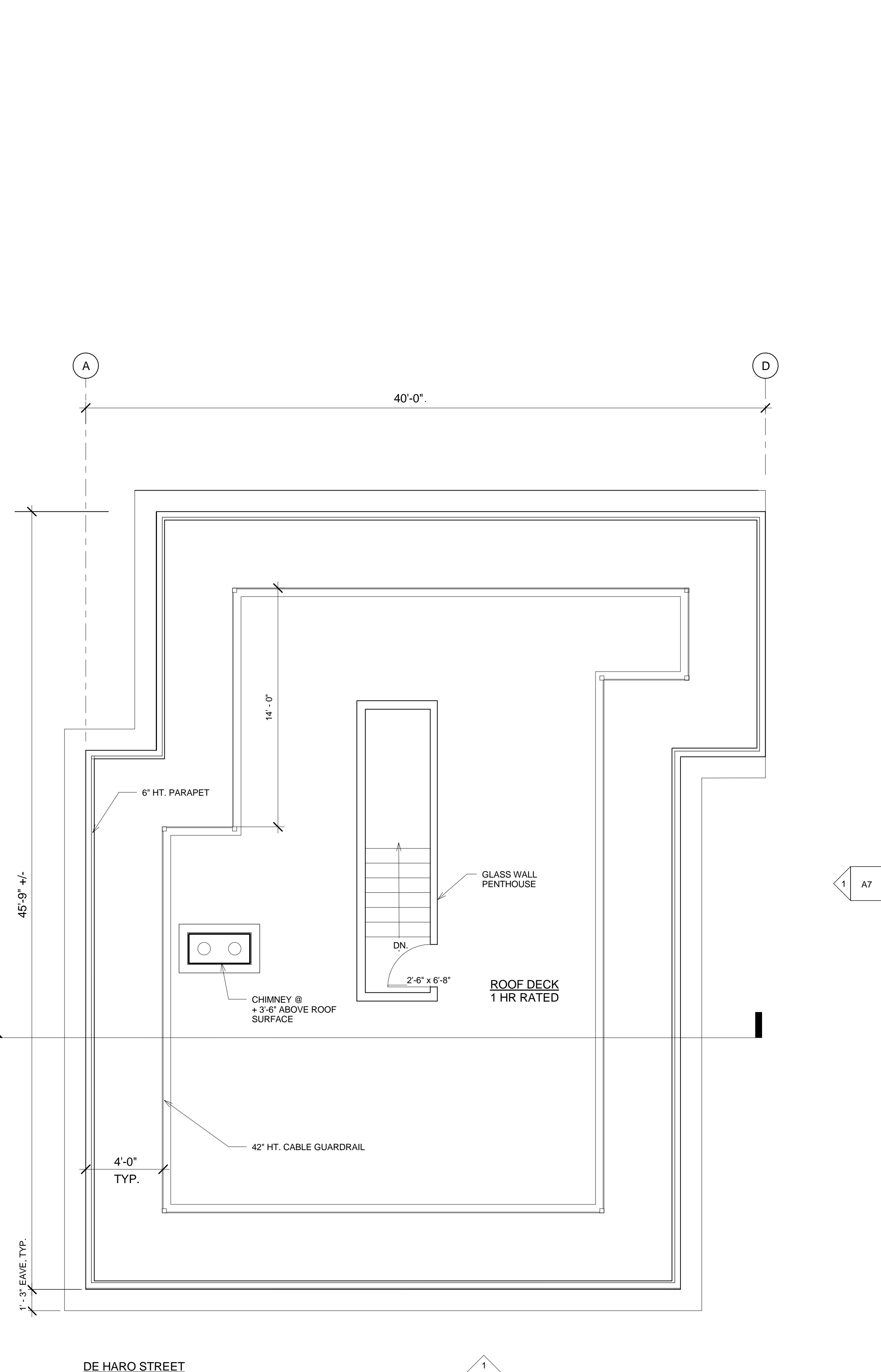
**Proposed  
Plans**

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	<b>A4</b>
CHECKED	SM	
APPROVED	-	
DATE	11/01/12	
JOB NO	CHAN 01	

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1 Proposed New Second Floor Plan  
1/4" = 1'-0"



2 Proposed Roof Plan  
1/4" = 1'-0"

**A4**

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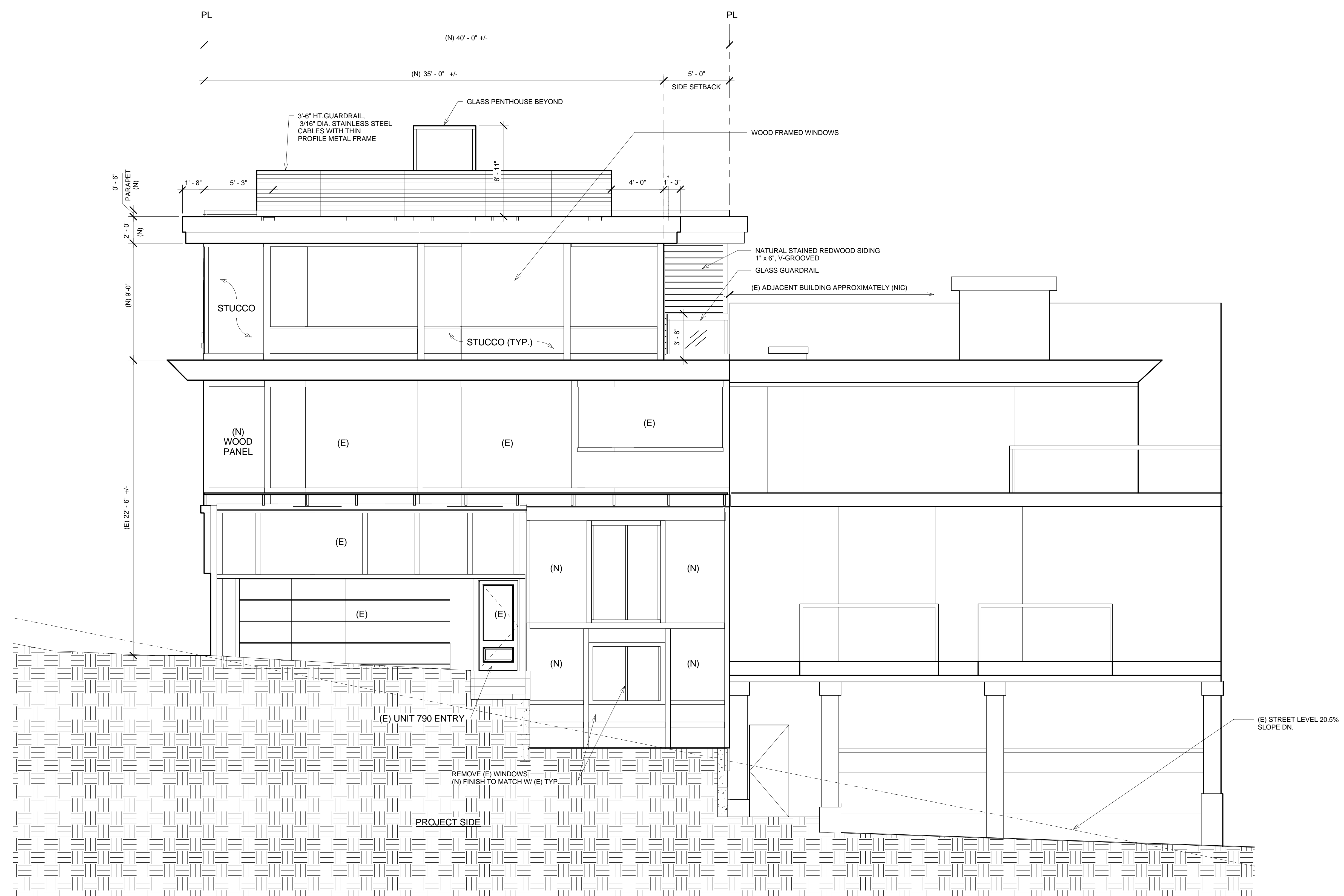


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1 Proposed East Elevation  
 1/4" = 1'-0"

PROJECT NAME  
 PROPOSED ADDITION TO  
 CHAN RESIDENCE

PROJECT ADDRESS  
 2000 20TH ST.,  
 SAN FRANCISCO, CA  
 BLOCK 4072 LOT 23

SHEET TITLE

Proposed  
 Elevations

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A5
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PROPOSED ADDITION TO  
CHAN RESIDENCE

PROJECT ADDRESS

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SHEET TITLE

Proposed  
Elevations

SCALE AS NOTED SHEET NO.

DRAWN RS

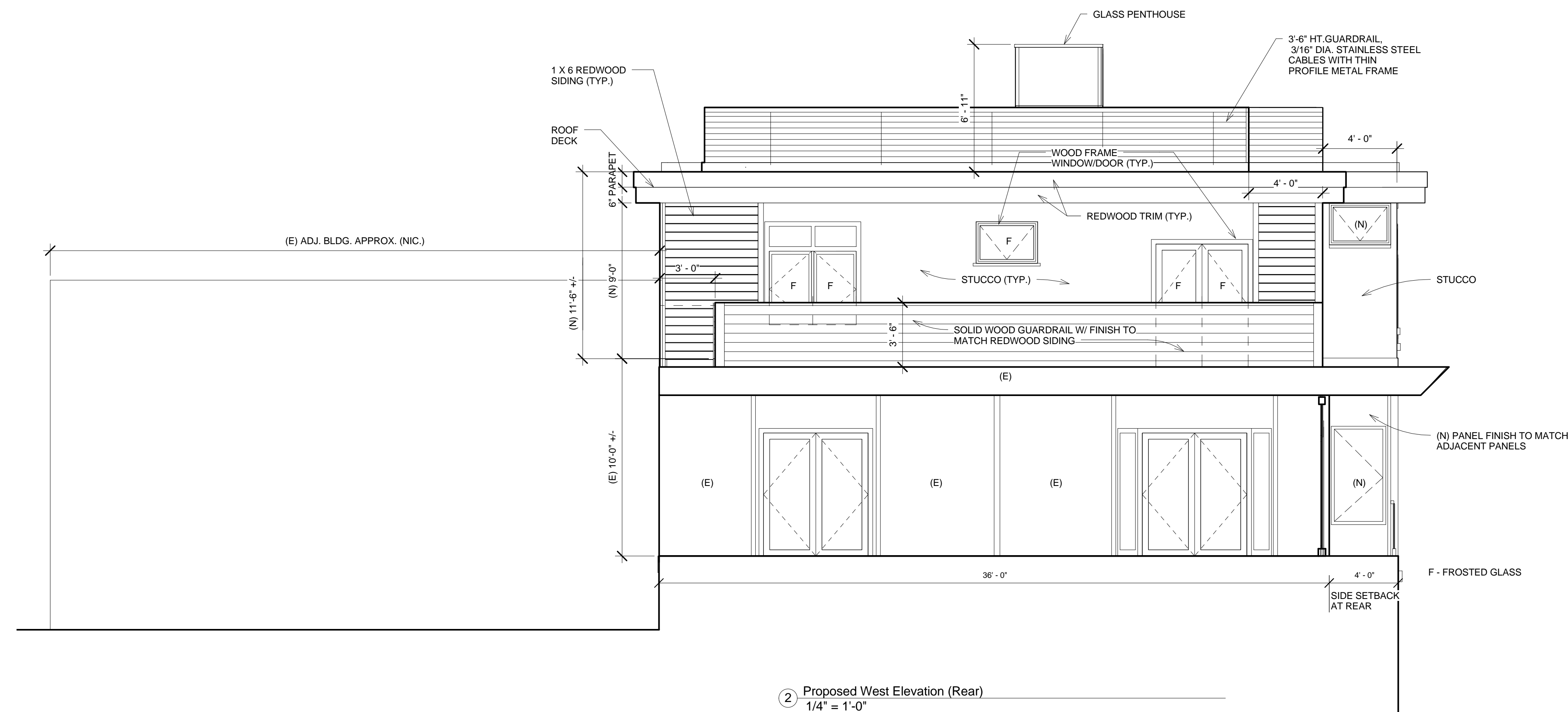
CHECKED SM

APPROVED -

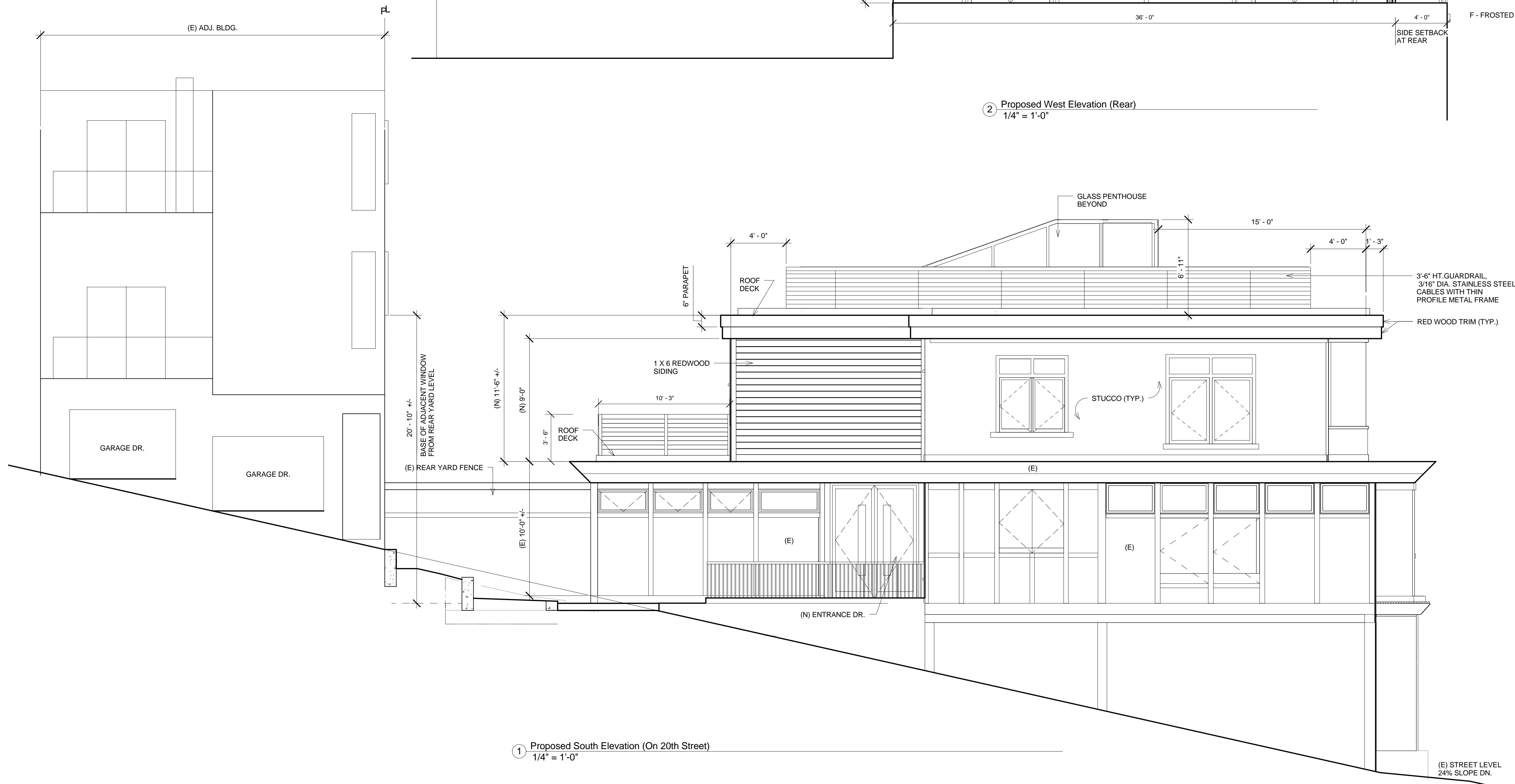
DATE 11/01/12

JOB NO CHAN 01

A6



② Proposed West Elevation (Rear)  
1/4" = 1'-0"



① Proposed South Elevation (On 20th Street)  
1/4" = 1'-0"

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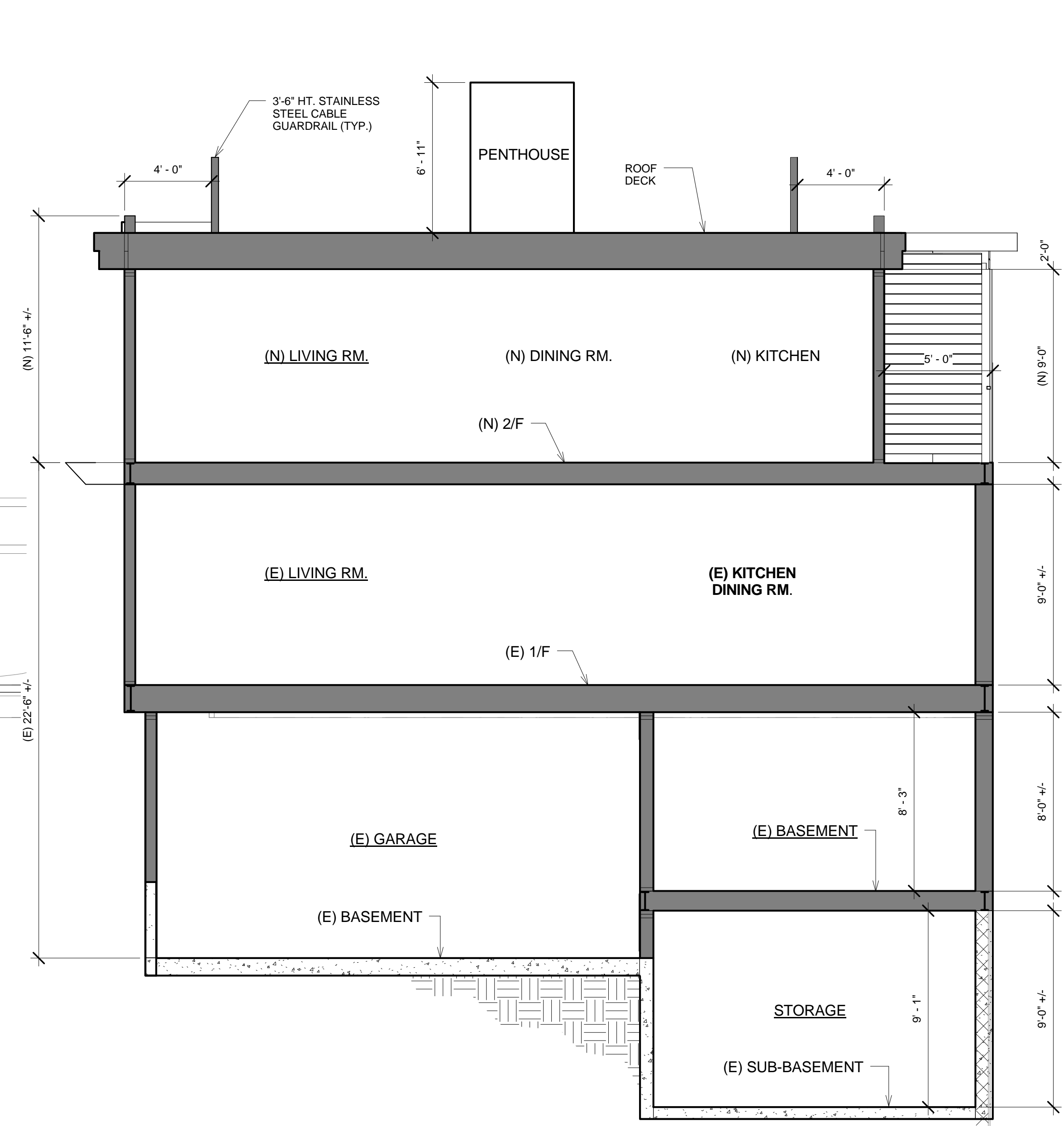
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PROPOSED ADDITION TO CHAN RESIDENCE

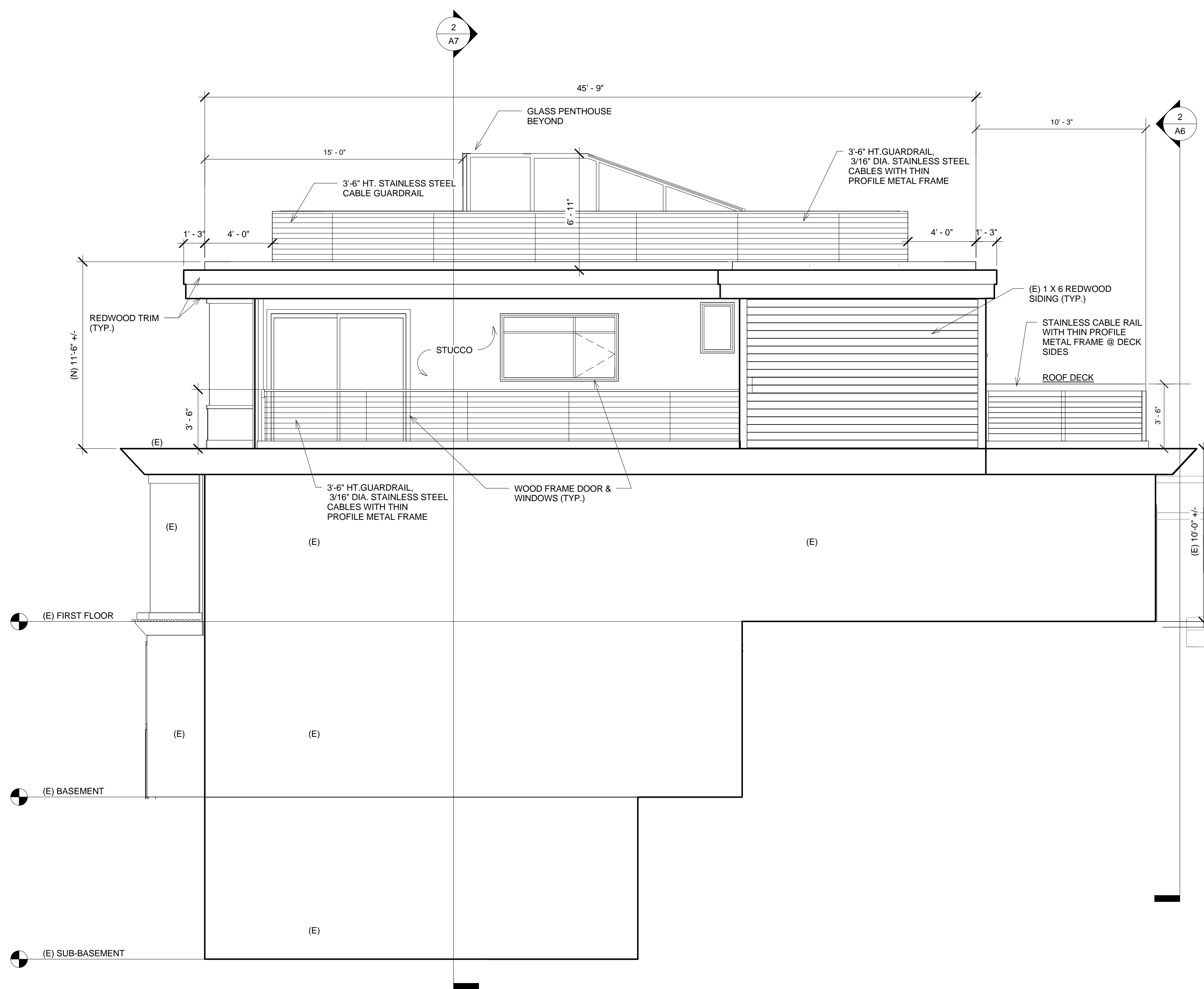
PROJECT ADDRESS  
2000 20TH ST.,  
SAN FRANCISCO, CA  
BLOCK 4072 LOT 23

SHEET TITLE  
Proposed Elevations

SCALE	AS NOTED	SHEET NO.
DRAWN	RS	A7
CHECKED	SM	
APPROVED	-	
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JOB NO	CHAN 01	



2 Section A  
1/4" = 1'-0"



1 Proposed North Elevation  
1/4" = 1'-0"

10/31/2012 5:38:11 PM C:\Users\Admin\Documents\Chan\_House\_Admin.rvt

## Sucre, Richard

---

**From:** Maria Cristini <mariacristini@hotmail.com>  
**Sent:** Wednesday, October 31, 2012 1:10 PM  
**To:** Sucre, Richard  
**Cc:** bastaschmd@hotmail.com; Gina Emmett; abrasha@abrasha.com  
**Subject:** RE: 2000 20th - summary update for commissioners

Hi Richard,

Here is a slightly updated version which I prefer you send to the commission and anyone else. Like I mentioned - I really can't read the PDF - so doing the best I can with the timing, continued lack of information and small size of PDF. I'm just changing the statement about the 20'10" lattice fence on Page 2 and separating out the egress issue. Please replace my previous letter with this one.

Please confirm that this is the statement which you'll share with others since it's more accurate.

Sorry for any extra work I'm causing you.  
Thank you,  
Maria

October 31, 2012

Dear Commissioners,

We're writing an informal update of what we know and see at this point regarding 2000 20th.

In taking a quick look and trying to understand the PDF received October 30th, of the most recent plans for 2000 20th we can see:

- Page 1 -- The 3D drawing submitted does NOT match the plans at all.
- The entire 20th Street - South Facade is inaccurate (the 3D is a picture of the existing building not a rendering of the planned changes).
- The 3D drawing shows glass railings and no penthouse while the plans show metal railings and a penthouse.
- I still don't see elevations of the adjacent buildings
- I still don't see demolition plans or calculations.
- Page A6 -- The what is labeled as existing (E) south facing facade is actually brand new and totally different from existing structure.
- Page 2 -- Note a new 20' 10" tall lattice fence--not included in the shadow study--between 770 De Haro's back yard and 2000 20th. I am assuming this extremely tall fence would create a shadow, especially since people grow plants on them. I don't actually see the lattice fence in the North Elevation (Pg. 9) which adds to the confusion for me.
- I'm still not clear if my fire egress continues to exist in his plans - I think it's gone since I don't see a door marked to represent it. This has always existed in the current fence between our back yards. I have a 3 unit which requires a fire egress.
- All the hardscaping is changing on the south and east sides

- South existing facade is changing with increased windows that are not included in the permit

I'm not sure these plans meet the minimum requirements Commissioner Moore was speaking of. They are done by an Architect but do they meet the minimum the commission requires?

The 3D drawing seriously mis-represents what is being proposed in the plans this go around. Therefore we still do not have a 3D drawing to help us understand the plans and we still don't know if the measurements used are accurate - since we can't compare them to plans we have of the existing adjacent buildings. Once again, we don't know what these measurements are based on.

The applicant is still planning to proceed with the November 8th hearing. We are in the process of setting up mediation with a neutral mediator but not until 11/6 and then we have minimal time to negotiate before we're in front of the Commission once again.

We are not being given an accurate representation of the addition. This will cost us time and money and we are now setting up to spend both a few days prior to the hearing to point out inaccuracies that we feel Mr. Chan's architect should be handling - on behalf of this project and the Commission's request.

I will defer to the Commission, but perhaps they will want to call for a continuance before we all arrive at City Hall with our neighbors once again. It certainly makes sense for us all to set a date for this hearing after the Applicant has provide accurate information for us all to view.

Thank you sincerely,

Maria Cristini

415-648-0705 home  
415-215-0705 cell

--

**Maria Cristini, CPCC, PCC**  
**ICF Certified Professional & Personal Life Coach**  
**415-648-8545**

**Allow your desires to inspire your actions ...**  
**<http://mariacristini.com>**

--

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---

From: richard.sucre@sfgov.org  
To: mariacristini@hotmail.com  
CC: bastaschmd@hotmail.com; gina@fb.com; abrasha@abrasha.com  
Subject: RE: 2000 20th - summary update for commissioners  
Date: Wed, 31 Oct 2012 17:18:42 +0000

## Sucre, Richard

---

**From:** Tracy Rentz <tracyrentz@gmail.com>  
**Sent:** Wednesday, October 17, 2012 9:13 AM  
**To:** Sucre, Richard  
**Subject:** 2000 20TH STREET, SAN FRANCISCO, CA

Dear Mr. Sucre,

Greetings. My name is Tracy Rentz, and I've resided at 766 De Haro in San Francisco for the last six years, and am planning to for many years into the future.

It has come to my attention that a vertical addition is proposed at 2000 20<sup>th</sup> Street in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval. I have listed by concerns below:

**Rooftop Deck:** The rooftop deck is incredibly disproportionate to the surrounding buildings' decks and invades many of the neighbors' privacy. Allowing such an addition will set a precedent, unwanted by neighbors of Potrero Hill. In addition, the planned rooftop space would accommodate at least 100 people, and subsequently be a potential for substantial noise that would affect neighbors. A rooftop space for 100 people is more akin to a commercial property available for party rental. **With the advance of businesses like Airbnb, I'm extremely concerned that this will in fact become a rental property that is solely used to hold large parties of non-residents.** I'm sure it would be an attractive space with its city and bay views, **resulting in nearly constant, excessive noise for the neighbors.** That doesn't seem fair to other neighbors that we would allow such a commercial-like addition to this residential property.

**Bulk of the Addition:** a massive block is proposed without architectural merit. It is overwhelming the corner. The height and bulk is out of proportion with the other buildings on the De Haro side. The proposed addition currently has no setbacks from the current façade on either the 20<sup>th</sup> or De Haro Streets. The 20' total height and even the additional 11'6" height of the additional living story would tower over the homes on De Haro and is out of scale for this neighborhood.

**Lack of architectural distinction:** the integrity of 2000 20<sup>th</sup> currently holds original details inside and out which are primarily intact and feature many of the design elements of Mid-Century Modern Style which would be destroyed with this addition.

**Corner of 20<sup>th</sup> and De Haro:** the unique and integrated design of 2000 20<sup>th</sup> with its original studio unit address of 790 De Haro and its neighbor at 770 De Haro creates a uniquely distinct corner building on Potrero Hill that would be completely destroyed by this addition. 2000 20<sup>th</sup> Street is just one part of a large, multi-unit corner building. The units are a harmonious display of large vertical windows. The proposed addition mars this unique, beautiful building and becomes disconnected from its twin at 770 De Haro.

**Loss of public view of bay and Bay Bridge:** From Rhode Island and 20<sup>th</sup>, a beautiful view of the bay is present. It would be lost with this addition.

I sincerely hope you and the rest of the Planning Commission will take these views into account at the upcoming hearing on October 18<sup>th</sup>.

Thank you,

Tracy Rentz  
Resident  
766 De Haro Stret  
San Francisco, CA 94107

October 30, 2012

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Re: Vertical Addition – 2000 20<sup>th</sup> Street

Dear Mr. Sucre,

We moved to Potrero Hill in December of 2001 and reside at 808 De Haro Street. We have seen many changes take place in the neighborhood as well as the surrounding area. The changes that have enhanced the neighborhood are ones that preserve the heart and soul of the revitalized Potrero Hill. It is similar to what we see elsewhere in San Francisco's longstanding philosophy of retaining many of San Francisco's unique qualities: chain restaurants are not found on every corner; big box stores are hard to find; and high rise living is limited to neighborhoods where such buildings actually do not seem out of place such as the financial district.

In the continued hope of preserving a part of Potrero Hill's core charm we want to let you and the Planning Department know that we strongly oppose the addition at 2000 20<sup>th</sup> Street and have many concerns regarding the planned design.

The new massive block-like addition is not only out of character with the neighborhood but would also set an unwanted precedent. The height and overall size of a full 3<sup>rd</sup> story, roof deck and penthouse on what currently exists is not only bulky but completely out of character with the existing corner units making up the current corner building and the neighborhood and what exists on the De Haro Street side. In a word it's "unacceptable." It would block the beautiful public view of the bay, the City and the bridge on 20th Street and Rhode Island Street.

The current corner building (2000 20th combined with its neighbor 770 De Haro) enhances our neighborhood. The current, mid-century architectural building's beauty and cohesive design is undeniable to us, our neighbors or daily parade of drivers, walkers, Muni riders, bicyclists and runners who use 20<sup>th</sup> Street or De Haro Street. The proposed addition with its large envelope, multiple decks, roof deck and penthouse, lack any of these qualities. It does not consider the construction below it, the twin house next to it at 770 De Haro, the other homes around it or anyone traveling on these streets as they view the building, San Francisco's downtown or the Bay Bridge. Further, the exposed 2 decks at the living level and the enormous (+/- 990 SQ FT) additional rooftop deck create a loss of privacy and a new unacceptable exposure to noise for all nearby residents.

I request that the Planning Commission reconsider an addition be built to what is currently a multi-unit building that covers the corner from 2000 20th street to 770 De Haro Street and reject the request.

If an addition is allowed please request the builder/owner to reduce the size of the addition significantly by:

- provide significant set backs from De Haro street so that the addition is set back to the high roof of 770 De Haro (therefore not visible from the street) and honoring the topography of De Haro.
- eliminating the roof deck and penthouse
- reduce the overall deck space at the living level



- keep the overall size and scale to what makes walking and driving around Potrero Hill filled with beautiful street views we all enjoy vs. mansions for the individual enjoyment of a few.

I hope that as this addition is reviewed and more additions are approved on Potrero Hill, the Planning Commission will keep in mind the needs of all the residents and character of the neighborhood into consideration.

Thank you sincerely,

Randall E Tuskowski  
Adrian Rangel III  
808 De Haro St



# SAN FRANCISCO PLANNING DEPARTMENT

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## Discretionary Review Full Analysis

HEARING DATE: OCTOBER 18, 2012  
CONTINUED FROM SEPTEMBER 20, 2012

*Date:* October 11, 2012  
*Case No.:* 2012.0928DDD  
*Project Address:* 2000 20<sup>th</sup> Street  
*Permit Application:* 2010.12.01.5856  
*Zoning:* RM-1 (Residential, Mixed, Low Density) Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 4072/023  
*Project Sponsor:* Kennedy Chan  
2000 20<sup>th</sup> Street  
San Francisco, CA 94107  
*Staff Contact:* Richard Sucre – (415) 575-9108  
[Richard.Sucre@sfgov.org](mailto:Richard.Sucre@sfgov.org)  
*Recommendation:* **Do Not Take DR & Approve the Project As Proposed.**

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Planning  
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### PROJECT DESCRIPTION

The proposed scope of work includes construction of a one-story vertical addition, a new roof deck, and a new stair penthouse on top of an existing two-story one-family dwelling, which is located on a steep up-sloping lot. The project would construct an additional unit within the existing building. On the third floor, the new vertical addition will measure approximately 40 ft wide by 46 ft 9 in long by 11 ft 6 in tall, and will also include a narrow 5 ft wide by 36 ft long roof deck. A new stair penthouse and roof deck will be constructed on top of the new vertical addition, and will include a 42 in high glass guardrail, which will be setback by approximately three feet on each side. The new rooftop stair penthouse will be setback approximately 15 ft from De Haro Street, and approximately 16 ft from 20<sup>th</sup> Street. Overall, the new vertical addition is designed to match the existing residence and will feature wood-sash windows.

Since publication of the 311 notification, the Project Sponsor has updated the design of the proposed project in response to Department comments. The revisions to the proposed project include refinements to the fenestration pattern and façade design. Copies of the revised architectural drawings were transmitted to the DR Requestors on September 6, 2012. Drawings submitted in this packet express the project as currently proposed.

As of October 9, 2012, the Project Sponsor, in consultation with the DR Requestors, has agreed to further refinements, as noted in the DR Response. However, the Project Sponsor has not provided updated drawings to reflect the refinements.

### SITE DESCRIPTION AND PRESENT USE

The existing two-story residence at 2000 20<sup>th</sup> Street is located on the northwest corner of De Haro and 20<sup>th</sup> Streets on a lot measuring 40-ft by 70-ft or 2,800 sq ft. The existing building contains one dwelling unit and two off-street parking spaces.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

The surrounding neighborhood is primarily residential in character along De Haro and 20<sup>th</sup> Streets, which are steeply sloped. Most of the surrounding properties are two- to four-story tall, single or multi-family dwellings. Most of the residences and apartments contain ground floor garages. To the north of the subject lot is a three-story three-family dwelling. To the west of the subject lot is a three-story, two-unit dwelling. The surrounding zoning districts include RH-2 (Residential, House, Two-Family) along De Haro Street, RM-1 (Residential, Mixed- Low Density) along 20<sup>th</sup> Street, and RH-3 (Residential, House, Three-Family) along Rhode Island Street (one block away).

### BUILDING PERMIT APPLICATION NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	June 19, 2012 – July 19, 2012	July 17, 2012 July 18, 2012 July 19, 2012	September 20, 2012; Cont'd to October 18, 2012	91 days
311 Notice Amended	15 days	September 17, 2012 – October 2, 2012	July 17, 2012 July 18, 2012 July 19, 2012	October 18, 2012	91 days

### HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	Sept 10, 2012	Sept 10, 2012	10 days
Mailed Notice	10 days	Sept 10, 2012	Sept 7, 2012	13 days

### PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent Neighbor(s)	-	2	-
Other Neighbors on the block or directly across the street	-	1	-
Neighborhood Groups	-	-	-

**Support:**

None Received

**Opposed:**

As of October 11, 2012, the Department has received approximately twenty-eight letters of opposition to the proposed project. Copies of this correspondence have been included within the Commissioner packets.

**DR REQUESTORS**

- **Michael Bastasch**, 2001 20<sup>th</sup> Street, San Francisco, south of the subject property across 20<sup>th</sup> Street
- **Maria Cristini**, 770 De Haro Street, San Francisco, directly adjacent and north of the subject property
- **Gina Emett**, 2040-2042 20<sup>th</sup> Street, San Francisco, directly adjacent and west of the subject property

**DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES**

**Issue #1: Addition-Design, Bulk and Proportion** – The DR Requestors are concerned over the proposed project's design, bulk, mass and proportion given the project site's topography and corner location. In particular, the DR Requestors find the fenestration pattern, roofline, exterior cladding and façade design to be incompatible with the mid-century modern character of the subject property and the adjacent neighborhood. The DR Requestors note that the proposed project is out of scale and proportion with the existing homes along De Haro Street. Further, the DR Requestors note that the project lacks a setback from the front of De Haro Street.

**Issue #2: Shadow, Light and Air** – The DR Requestors are concerned over the proposed project's impact upon the access to light and air for neighboring properties and the shadow cast by the new addition. In particular, the DR Requestors note the project's impact upon the adjacent property to the north at 770 De Haro Street, the adjacent property to the west at 2042 20<sup>th</sup> Street, and the property across the street at 799 De Haro Street. At 770 De Haro Street, the DR Requestors note that the project would impact four skylights and an atrium, as well as their rear yard.

**Issue #3: Rooftop Deck/Penthouse** – The DR Requestors are concerned over the new rooftop deck and new stair penthouse, as well as the new windscreens. In particular, the DR Requestors state that the new stair penthouse is not designed to minimize its visibility from the street and that the new wind screens would cast shadows onto the adjacent buildings and street.

**Issue #4: Privacy** – The DR Requestors are concerned over the size of the windows and the number of new decks, and their impact upon the privacy of adjacent neighbors. The DR Requestors note that the new third floor deck and the new rooftop deck would impact the privacy of the adjacent neighbor at 770 De Haro Street, as well as the neighboring properties at 799 De Haro Street, 2001 20<sup>th</sup> Street, 2040 20<sup>th</sup> Street, and 2042 20<sup>th</sup> Street.

**Issue #5: Views** – The DR Requestors are concerned over the proposed project’s impact upon the views looking north towards the San Francisco Bay, Bay Bridge, and skyline.

**Issue #6: Noise** – The DR Requestors are concerned over the construction noise and its impact on adjacent neighbors.

**Issue #7: Egress through Rear Yard** – The DR Requestors are concerned over a common back fence, which provides emergency egress for 770 De Haro Street.

**Issue #8: Compatibility with Historic Resource** – The DR Requestors are concerned over the project’s compatibility with the historic character of the subject property and its 1960s aesthetic. As noted by the DR Requestors, 2000 20<sup>th</sup> Street and 770 De Haro Street were constructed at the same time by the same developer, and have consistent shared a similar aesthetic.

**Issue #9: Structural Assessment** – The DR Requestors are concerned over the foundation work required to construct the new vertical addition. The DR Requestors states that there is potential for impact to the foundation, roof and entire structure of the neighboring properties, and at a minimum, the proposal would create cracks in the adjacent properties’ walls, floors, ceiling, roof and paint.

**Issue #10 – Quality of Architectural Drawings**– The DR Requestors are concerned over the quality of the architectural drawings and the need for a rendering of the proposed project.

Please refer to the *Discretionary Review Applications* for additional information (see attached).

## **PROJECT SPONSOR’S RESPONSE**

The Project Sponsor has provided a response to the following issues:

**Issue #1: Addition-Design, Bulk and Proportion** – The Project Sponsor states that they have modified their original proposal by completing eliminating one floor, refining the design of the exterior facades, and refining the guardrails, penthouse and size of addition. The Project Sponsor states that their project is in compliance with the Planning Code and the Residential Design Guidelines.

**Issue #2: Shadow, Light and Air** – The Project Sponsor states that the proposal would have a minimum shadow impact in the morning (between 6:30am and 8:00am) on the second floor of 2040-2042 20<sup>th</sup> Street, and a minimum shadow impact for the three large skylights and atrium of 770 De Haro Street. See Attached - Letter to Kennedy Chan from SMA (date September 4, 2012).

**Issue #3: Rooftop Deck/Penthouse** – The Project Sponsor states that the proposal has been revised to setback the glass guardrails approximately 48 inches from the perimeter.

**Issue #10: Quality of Architectural Drawings** – The Project Sponsor has provided a three-dimensional perspective to show the mass and scale of the existing building.

Please refer to the *Response to Discretionary Review* for additional information (see attached).

## PROJECT ANALYSIS

Department staff reviewed the DR Requestor's concerns with the proposed project and presents the following comments:

**Issue #1: Addition-Bulk and Proportion**– The Department is in support of the overall height, scale and form of the Project, since it is in alignment with the underlying zoning district and height/bulk limits. Further, the Project provides an appropriate setback at the rear as well as code-complying open space for the new residential units. Generally, corner buildings should be given more prominence in terms of height and scale. The Project Sponsor has responded to numerous comments from the Planning Department, and has adapted their design to meet the variety of comments. The Project Sponsor has also greatly reduced the mass and scale relative to the original proposal in response to comments from the Residential Design Team.

**Issue #2: Shadow, Light and Air** – The Department finds that the Project would not cause any unusual or extraordinary shadow, light and air impacts upon the adjacent properties.

**Issue #3: Rooftop Deck/Penthouse** – The Departments finds that the design of the rooftop deck and penthouse is in compliance with the San Francisco Planning Code and Residential Design Guidelines, and is minimally visible from public rights of way, since it is setback from the building edge. The new penthouse would be setback approximately 15-ft from De Haro Street, and 16-ft from 20<sup>th</sup> Street, while the new guardrails are setback approximately 4-ft from the building perimeter and would be constructed of glass.

**Issue #4: Privacy** – The Department finds that the new vertical addition would not create any unusual privacy impacts for adjacent neighbors. Resident activities and behaviors are not within the purview of the Planning Code.

**Issue #5: Views** – Private views are not protected by the San Francisco Planning Code or Residential Design Guidelines. Currently, there are no view corridors from public spaces within the vicinity of the project site.

**Issue #6: Noise** – The Project is required to comply with the San Francisco Noise Ordinance, which is outlined in Article 20 of the San Francisco Police Code. With regard to construction noise, construction work is prohibited between 8:00pm and 7:00am, and certain impact tools (jackhammers, hoerammers, impact wrenches, etc.) are required to have intake and exhaust mufflers to the satisfaction of the Department of Public Works.

**Issue #7: Egress through Rear Yard** – Egress issues do not fall under the jurisdiction of the Discretionary Review process, rather egress issues are evaluated by the Department of Building Inspection and Fire Department.

**Issue #8: Compatibility with Historic Resource** - Historic resource determinations do not fall under the jurisdiction of the Discretionary Review process, rather historic resource determinations are conducted under environmental review, as part of the project's compliance with the California Quality Environmental Act (CEQA). An Environmental Evaluation Application (Case No. 2011.0476E) was submitted for the project, and the Department published a Categorical Exemption for the proposed project. This document concluded that the existing building is not a historic resource, either individually or as part of a district.

**Issue #9: Structural Assessment** – Structural assessments do not fall under the jurisdiction of the Discretionary Review process, rather structural assessments are evaluated by the Department of Building Inspection.

**Issue #10: Quality of Architectural Drawings** – The Department finds that the existing architectural drawings meet the minimum standards outlined by the Department of Building Inspection, and the proposed rendering provides sufficient information to understand the Project.

## ENVIRONMENTAL REVIEW

The Department has determined that the Project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One – Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet; Case No. 2011.0476E).

## RESIDENTIAL DESIGN TEAM REVIEW

RDT finds that the project does not create extraordinary or exceptional circumstances. The existing building is under-scaled for the area and the proposed addition is appropriately scaled and steps up to address the corner location and topography. The Project is appropriately stepped to minimize impacts on light and air to adjacent properties. Further, the Project's proposed decks would not create any unusual privacy impacts for adjacent interior living spaces.

**Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission, as this project does not contain or create any exceptional or extraordinary circumstances.**

## BASIS FOR RECOMMENDATION

- The overall architectural expression of the project is largely in keeping with the subject property.
- The proposed project respects the adjacent residential neighborhood by providing a Code-complying rear yard.
- The proposed three-story massing is compatible with the surrounding neighborhood in height, scale and form. General urban design principles promote greater height and scale for corner buildings.

- The proposed project meets the requirements of the San Francisco Planning Code, and does not seek any additional entitlements or exceptions.
- The Project Sponsor has substantially modified and reduced the scope of the project to address Department concerns.

<b>RECOMMENDATION:            Do Not Take DR and Approve the Project As Proposed.</b>
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**Attachments:**

Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Site Photos  
Reduced Architectural Drawings/Plans  
Section 311 Notice (Including Reduced Original Plans)  
Section 311 Notice Amended  
DR Applications  
Project Sponsor Response  
Categorical Exemption  
Public Correspondence



## Design Review Checklist

### NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

**Comments:** The surrounding neighborhood has a mixed neighborhood character with mostly two- to four-story, single- and two-family dwellings designed in a variety of architectural styles.

### SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
<b>Topography (page 11)</b>			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
<b>Front Setback (pages 12 - 15)</b>			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?			
Does the building provide landscaping in the front setback?	X		
<b>Side Spacing (page 15)</b>			
Does the building respect the existing pattern of side spacing?			X
<b>Rear Yard (pages 16 - 17)</b>			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
<b>Views (page 18)</b>			
Does the project protect major public views from public spaces?			X
<b>Special Building Locations (pages 19 - 21)</b>			
Is greater visual emphasis provided for corner buildings?	X		
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?			X

**Comments:** The immediate neighborhood is located on a steeply sloped street. De Haro Street slopes upward to the south, while 20<sup>th</sup> Street also slopes upward to the west. The front setback of the new vertical addition matches the front setback of the existing building. There is no pattern of side spacing and there are no major public views within the vicinity. The proposal places greater emphasis on the corner location, which is currently under-scaled relative to the rest of the neighborhood.

**BUILDING SCALE AND FORM (PAGES 23 - 30)**

QUESTION	YES	NO	N/A
<b>Building Scale (pages 23 - 27)</b>			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
<b>Building Form (pages 28 - 30)</b>			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

**Comments:** Most of the properties on the adjacent block and within the immediate neighborhood range in height from two- to four-stories tall. The existing building is two-stories tall and is located on a corner lot. The proposal would construct a one-story vertical addition and would maintain the existing pattern of mid-block open space. The new addition is designed to match the architectural design and form of the existing building.

**ARCHITECTURAL FEATURES (PAGES 31 - 41)**

QUESTION	YES	NO	N/A
<b>Building Entrances (pages 31 - 33)</b>			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?			X
Does the location of the building entrance respect the existing pattern of building entrances?			X
Is the building's front porch compatible with existing porches of surrounding buildings?			X
Are utility panels located so they are not visible on the front building wall or on the sidewalk?			X
<b>Bay Windows (page 34)</b>			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?			X
<b>Garages (pages 34 - 37)</b>			
Is the garage structure detailed to create a visually interesting street frontage?			X
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?			X
Is the width of the garage entrance minimized?			X
Is the placement of the curb cut coordinated to maximize on-street parking?			X
<b>Rooftop Architectural Features (pages 38 - 41)</b>			

Is the stair penthouse designed to minimize its visibility from the street?	X		
Are the parapets compatible with the overall building proportions and other building elements?			X
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?	X		

**Comments:** The stair penthouse is located approximately 15-ft from the building perimeter along De Haro Street and 16-ft from the building permit along 20<sup>th</sup> Street; therefore, the penthouse is minimally visible from the street. Further, the new windscreens would be constructed of glass, and would be setback approximately 4-ft from the building permit; therefore, they would not obstruct light to the adjacent building.

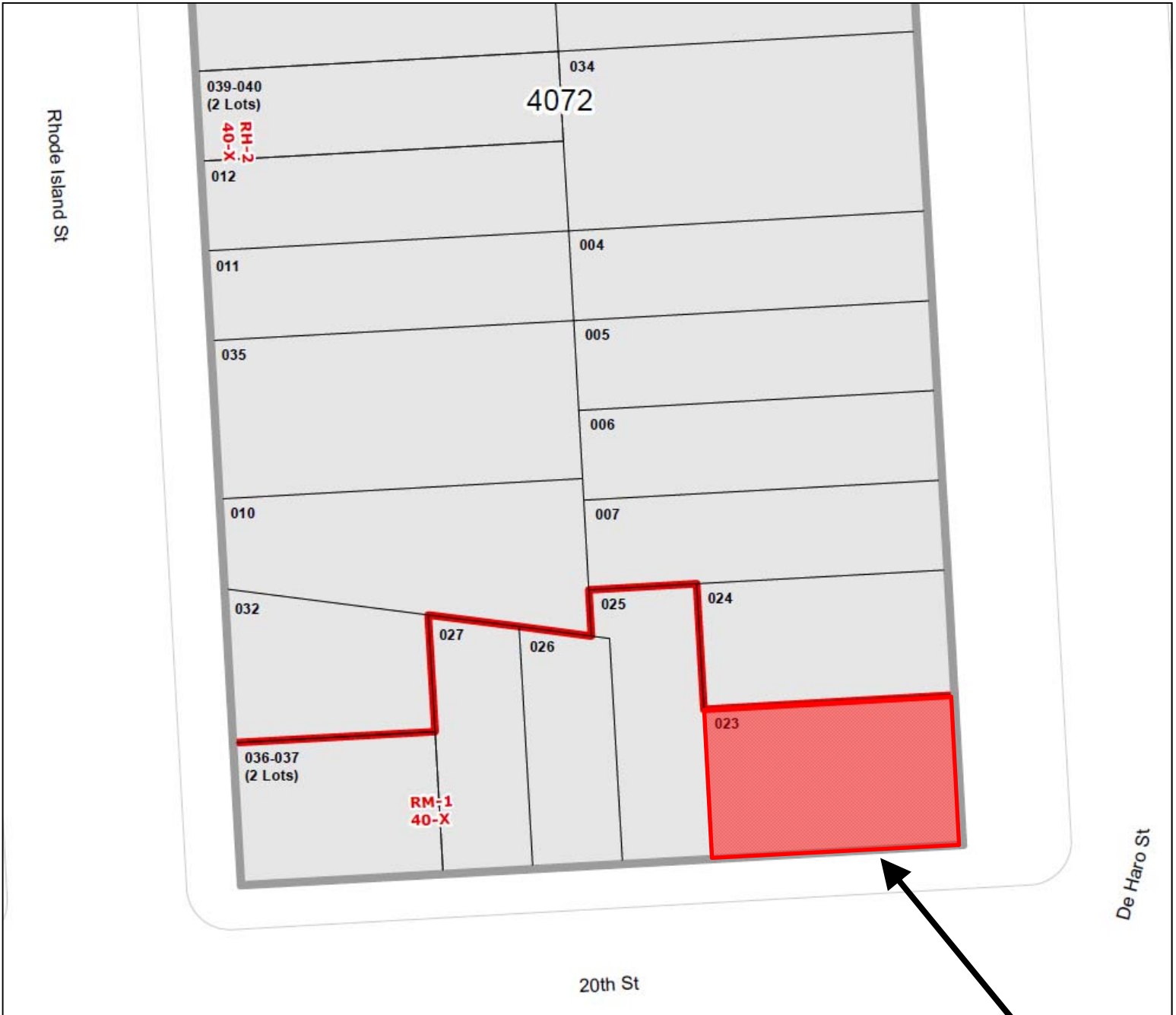
**BUILDING DETAILS (PAGES 43 - 48)**

QUESTION	YES	NO	N/A
<b>Architectural Details (pages 43 - 44)</b>			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
<b>Windows (pages 44 - 46)</b>			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
<b>Exterior Materials (pages 47 - 48)</b>			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

**Comments:** The proposed windows and exterior materials compliment and closely match the building details of the existing building. The proposed fenestration pattern aligns to the windows below. Along De Haro Street, the fenestration of the new vertical addition closely matched the angled fenestration of the existing building.

RS: G:\Documents\DR\2012.0928D 2000 20th St\DR\_2000 20th St .docx

# Parcel Map

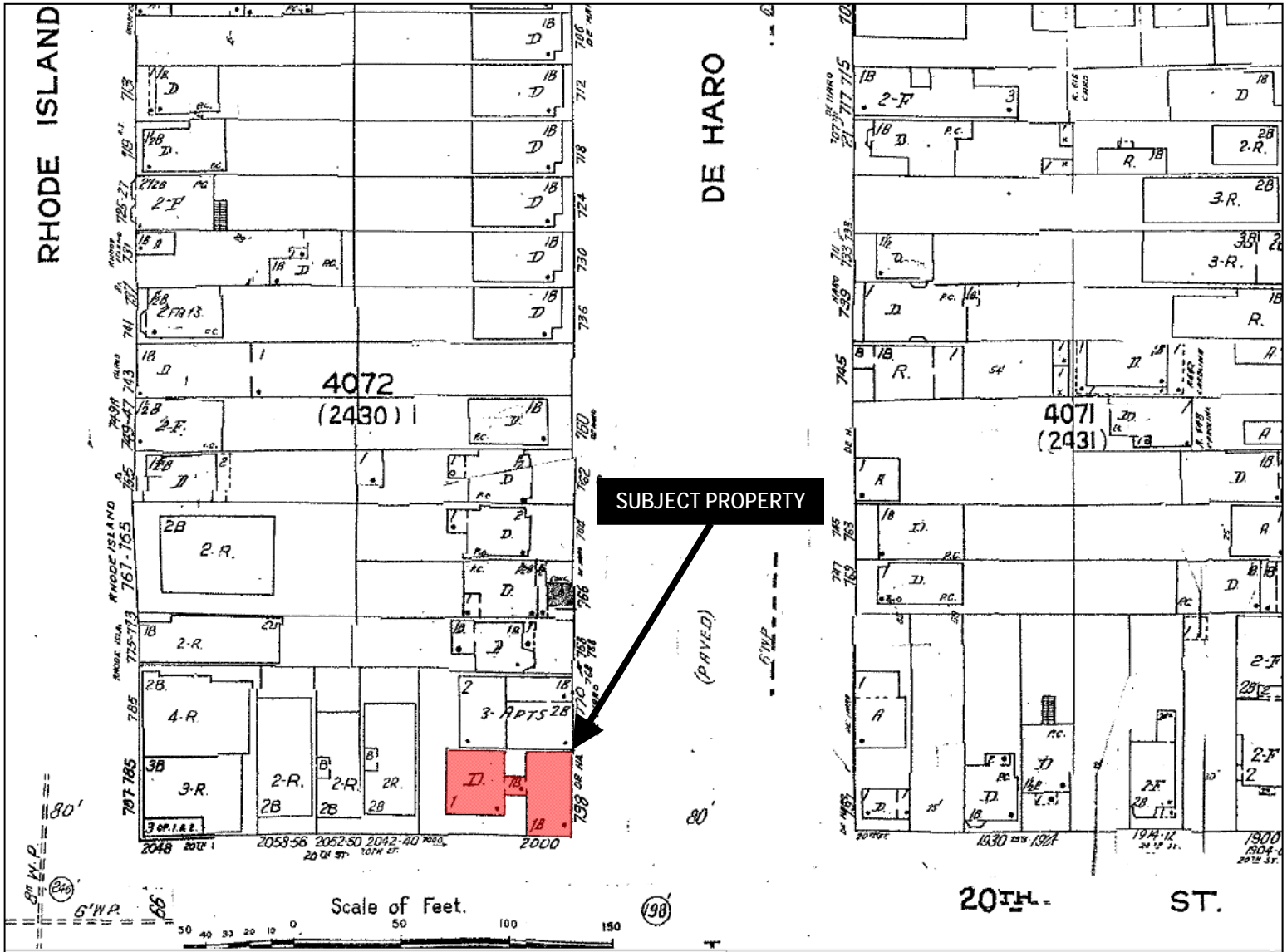


**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2012.0928DDD  
2000 20<sup>th</sup> Street

# Sanborn Map\*

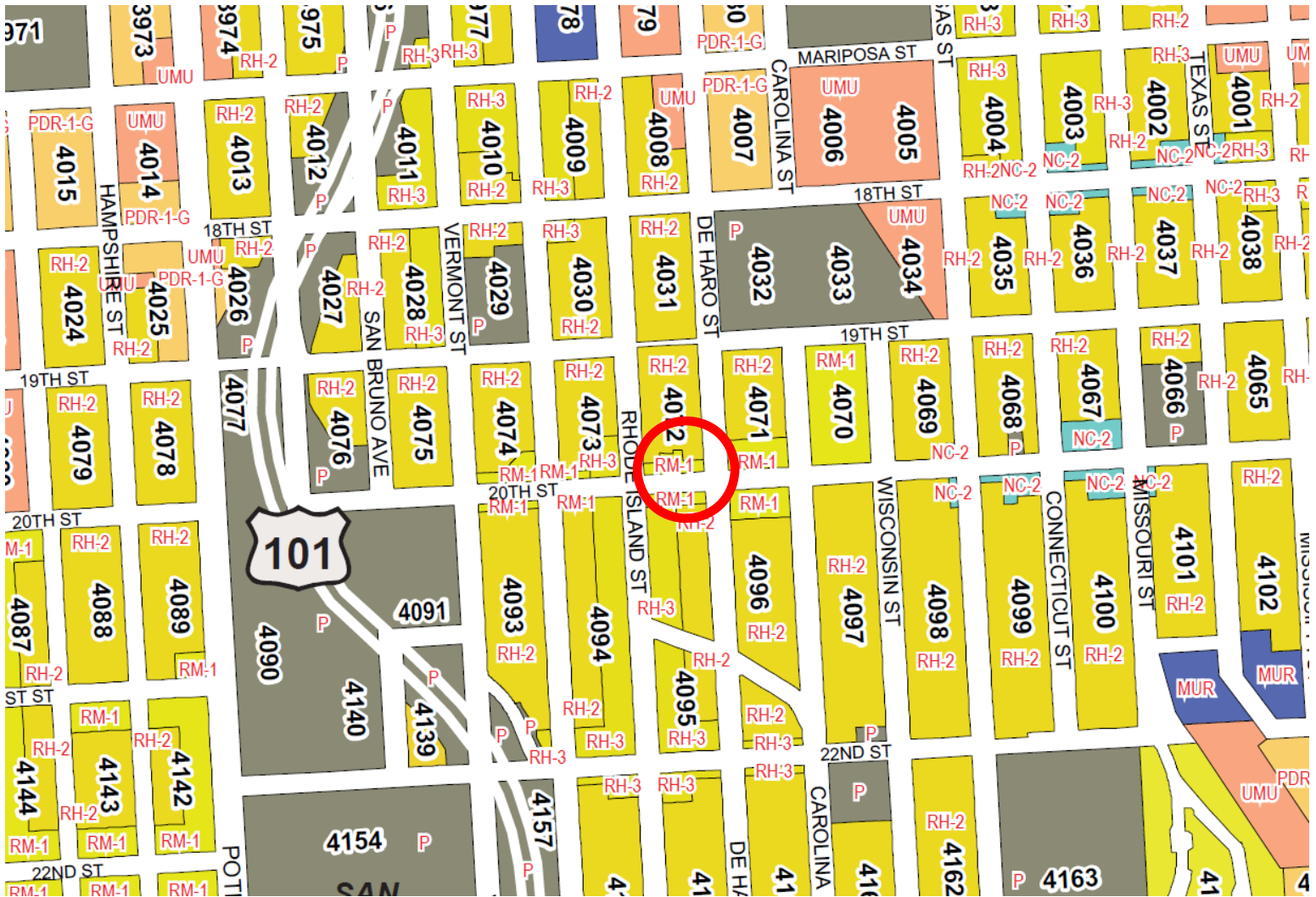


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Discretionary Review Hearing  
 Case Number 2012.0928DDD  
 2000 20th Street

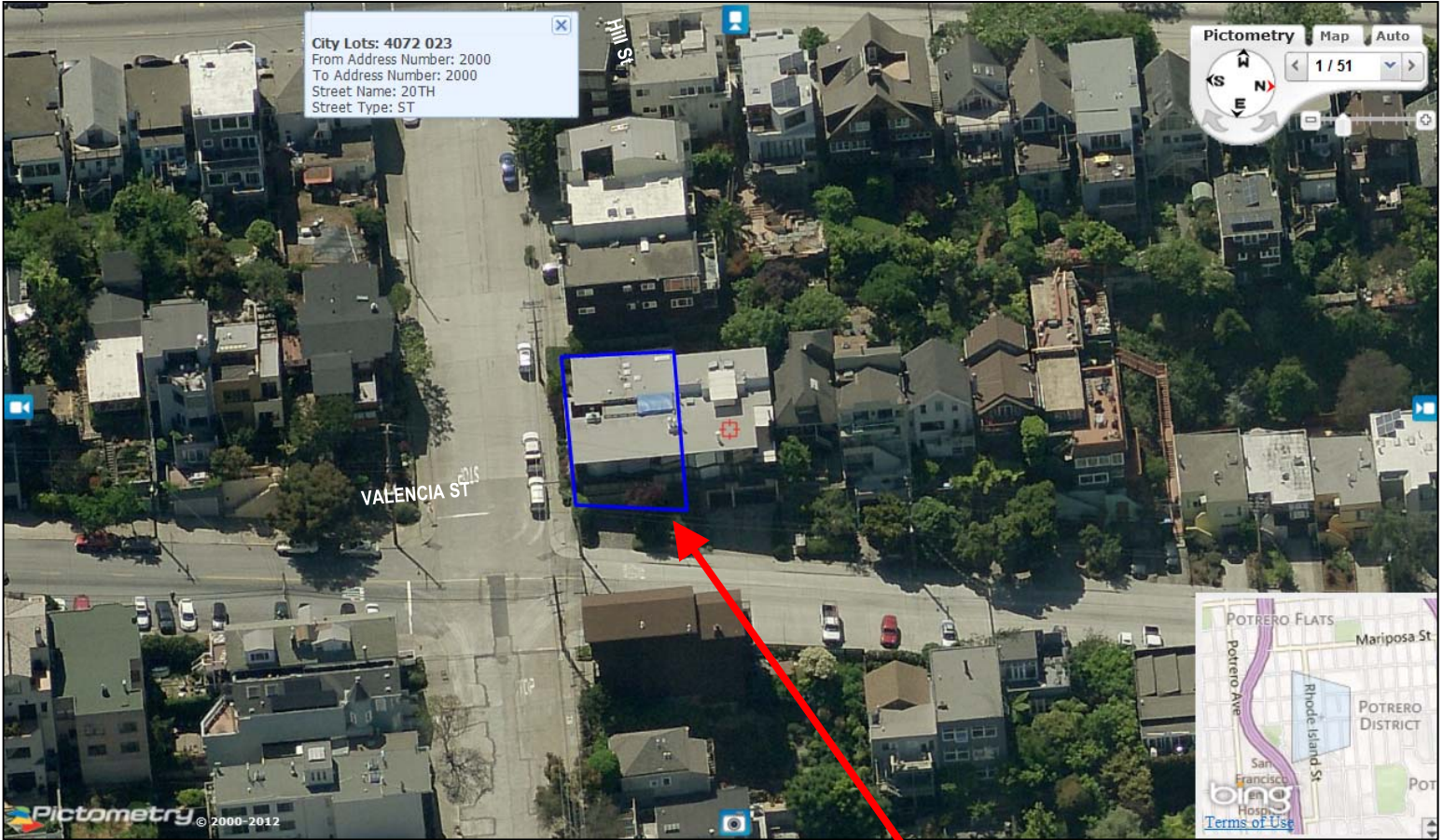


# Zoning Map



Discretionary Review Hearing  
Case Number 2012.0928DDD  
2000 20<sup>th</sup> Street

# Aerial Photo

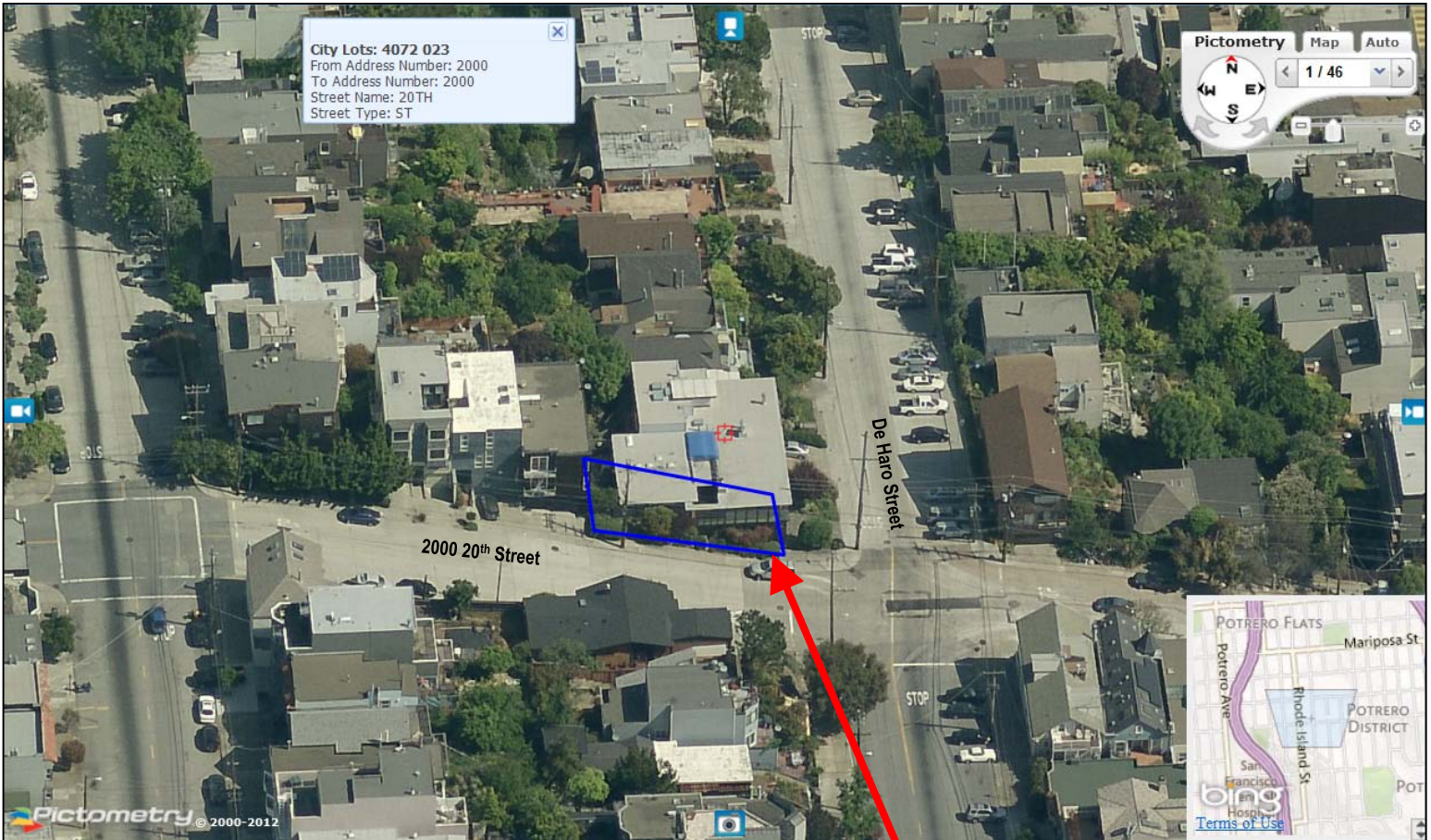


**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2012.0928DDD  
2000 20<sup>th</sup> Street

# Aerial Photo



**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2012.0928DDD  
2000 20th Street



# Site Photo



2000 20<sup>th</sup> Street, View of De Haro and 20<sup>th</sup> Street

Discretionary Review Hearing  
Case Number 2012.0928DDD  
2000 20<sup>th</sup> Street

# Site Photo



2000 20<sup>th</sup> Street, View of 20<sup>th</sup> Street

Discretionary Review Hearing  
Case Number 2012.0928DDD  
2000 20<sup>th</sup> Street

# Site Photo



2000 20<sup>th</sup> Street, View of De Haro Street

Discretionary Review Hearing  
Case Number 2012.0928DDD  
2000 20<sup>th</sup> Street



1 x 6 V - GROOVE REDWOOD STAIN FINISH



5/8" CLEAR TEMPERED GUARDRAIL

STUCCO  
STAINLESS GUARDRAIL WITH SS CABLE



(N) 2nd Flr  
(E) Color Palette (no change)

STUCCO - LA HABRA BAY RIDGE



Bay Ridge 81593 (32) Base 100



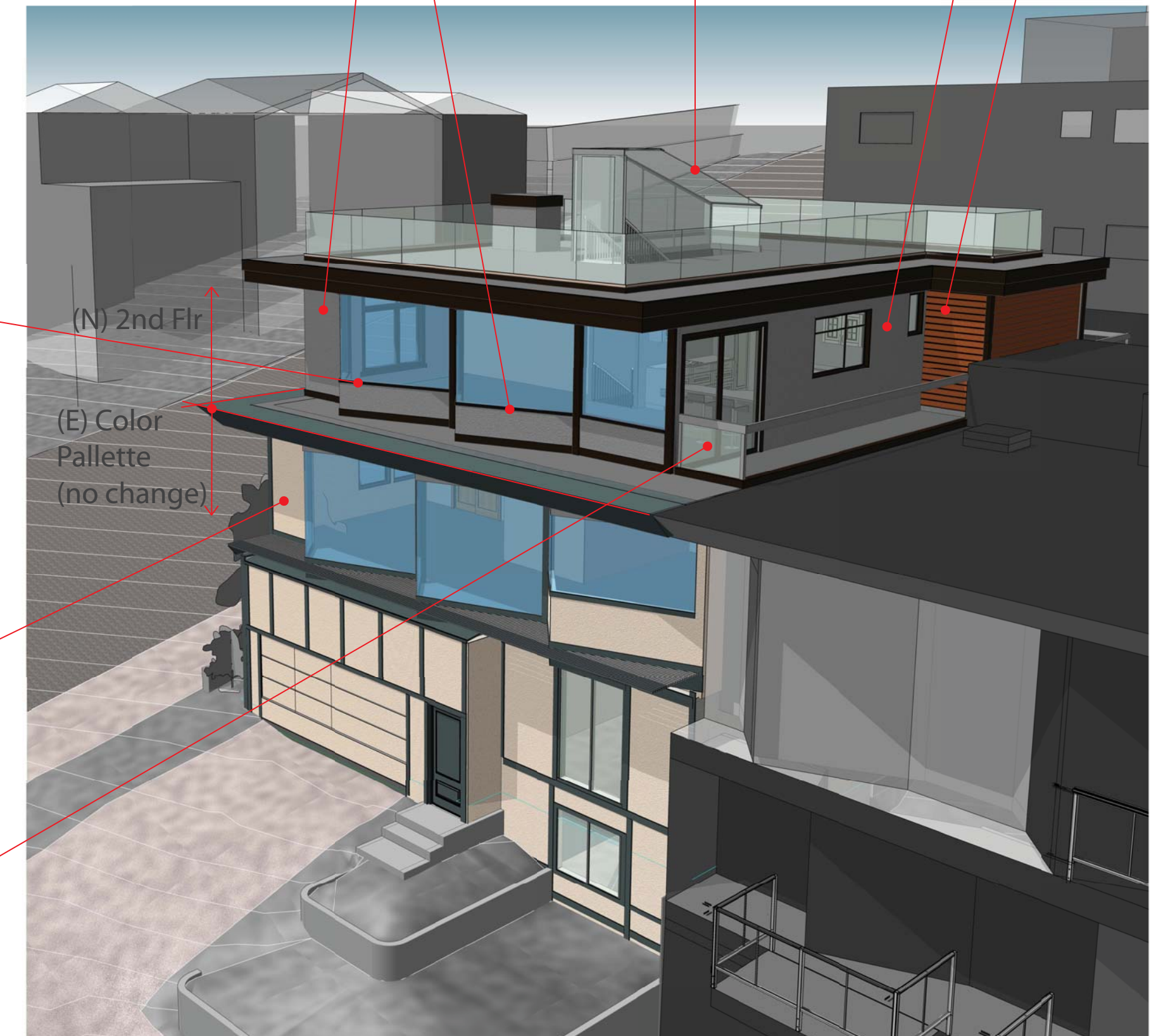
BURNISHED BRONZE BASE TRIM AT DEHARO WINDOWS

STUCCO

CLEAR GLASS ROOFTOP STAIR ENCLOSURE WITH METAL FRAME

STUCCO

SIDING



(N) 2nd Flr  
(E) Color Palette (no change)

NEW PANEL

NEW GLASS GUARDRAIL



NEW CUSTOM EXTERIOR DOOR



DARK BROWN DUNN EDWARDS

NEW WINDOW & INFILL PANELS



MILGARD WOOD CLAD

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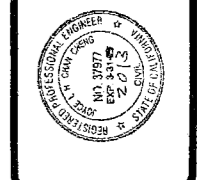
REVISIONS	BY

2010-12-01-5856

PLOT PLAN

2000 - 20 TH STREET S.F. CA.  
BLOCK 4072 LOT 23

ABJ Design Associates Inc.  
2328 Taraval Street  
San Francisco, CA 94116  
(415) 682-8663



DRAWN  
JOYCE CHUNG

CHECKED

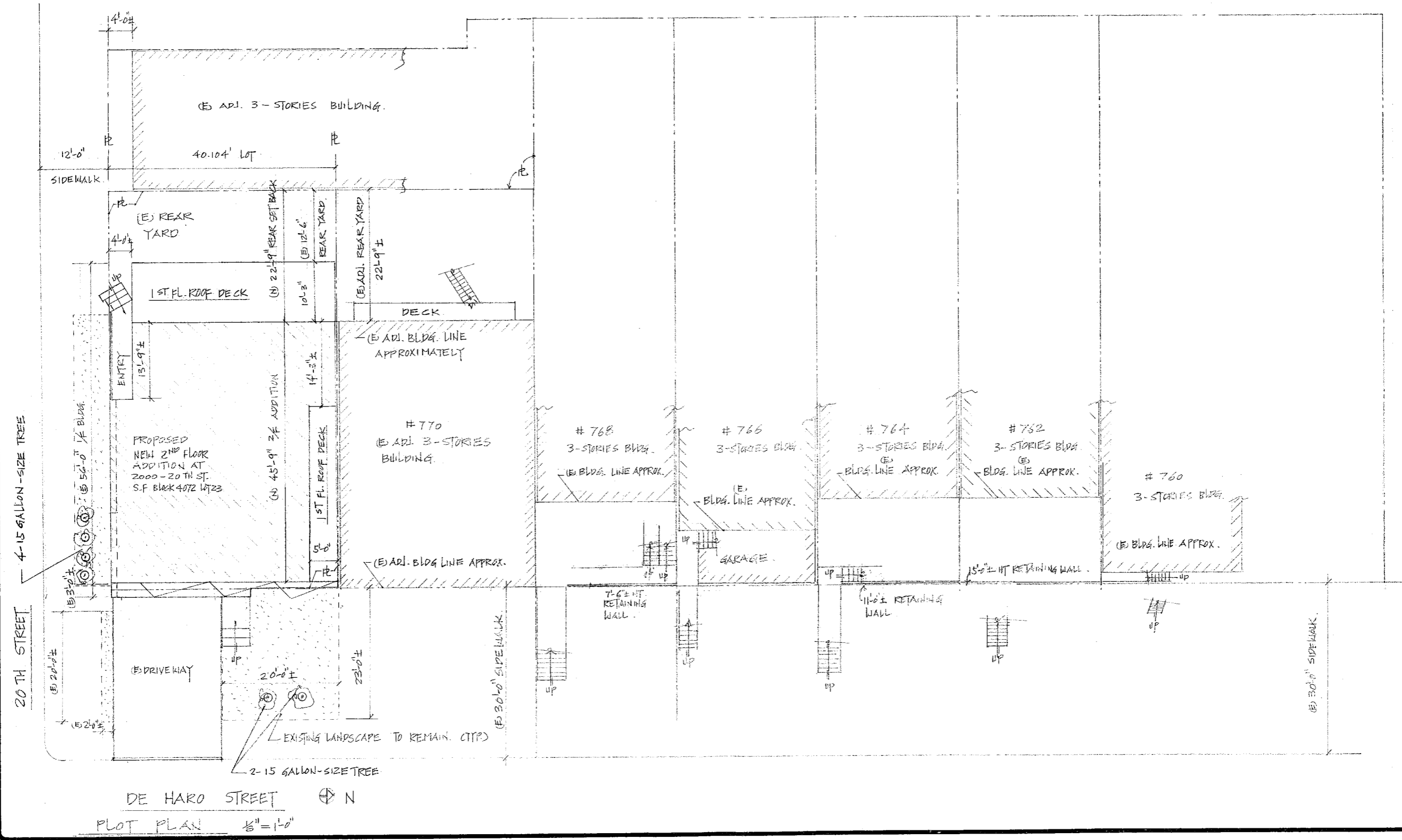
DATE  
3-2-11

SCALE  
AS SHOWN

JOB NO.  
10-45

SHEET  
7

OF 7 SHEETS



DE HARO STREET N

PLOT PLAN 1/8" = 1'-0"

PROJECT INFORMATION

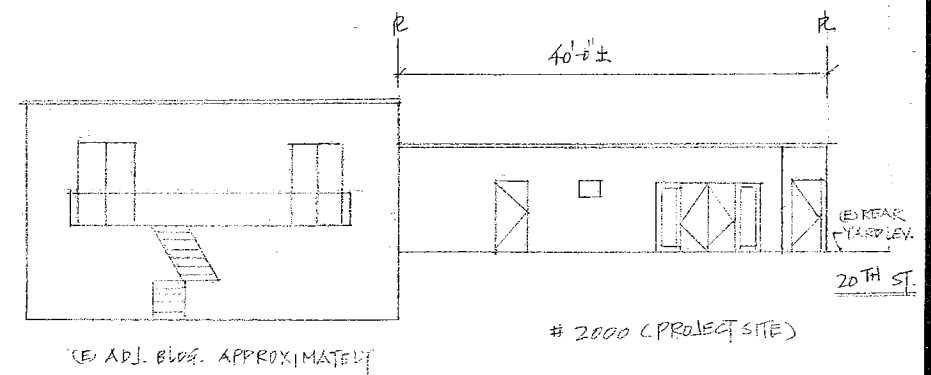
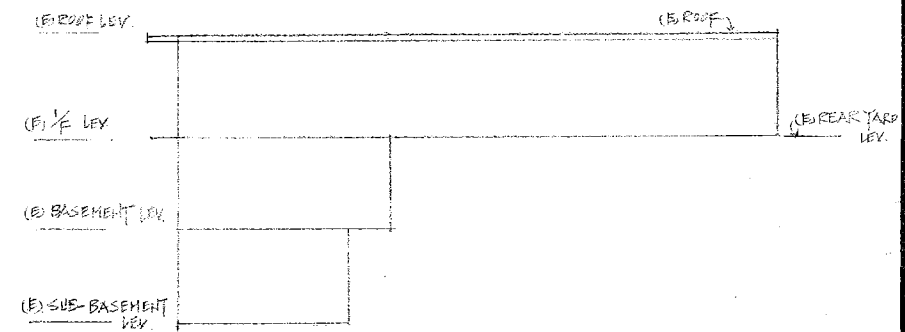
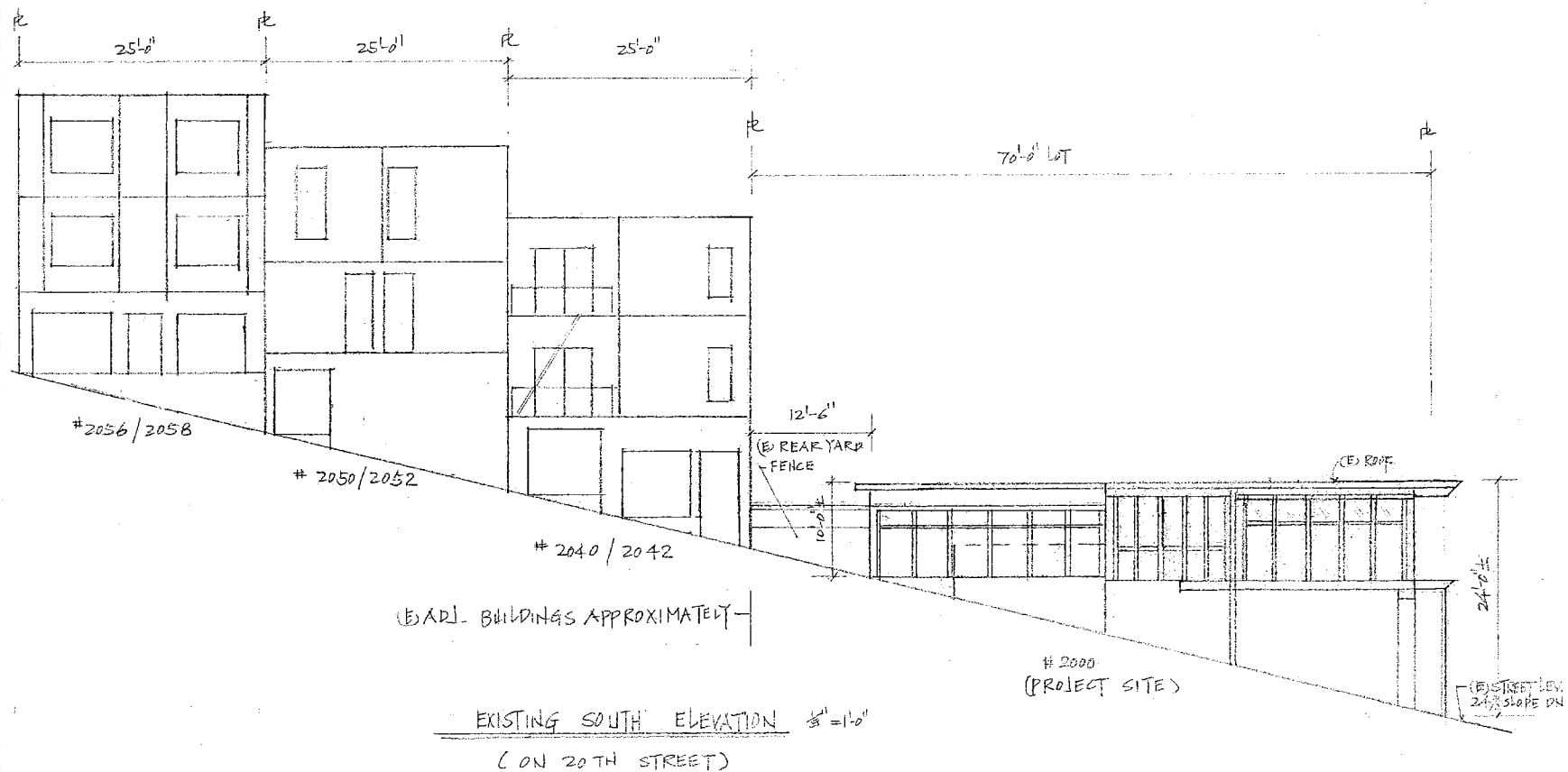
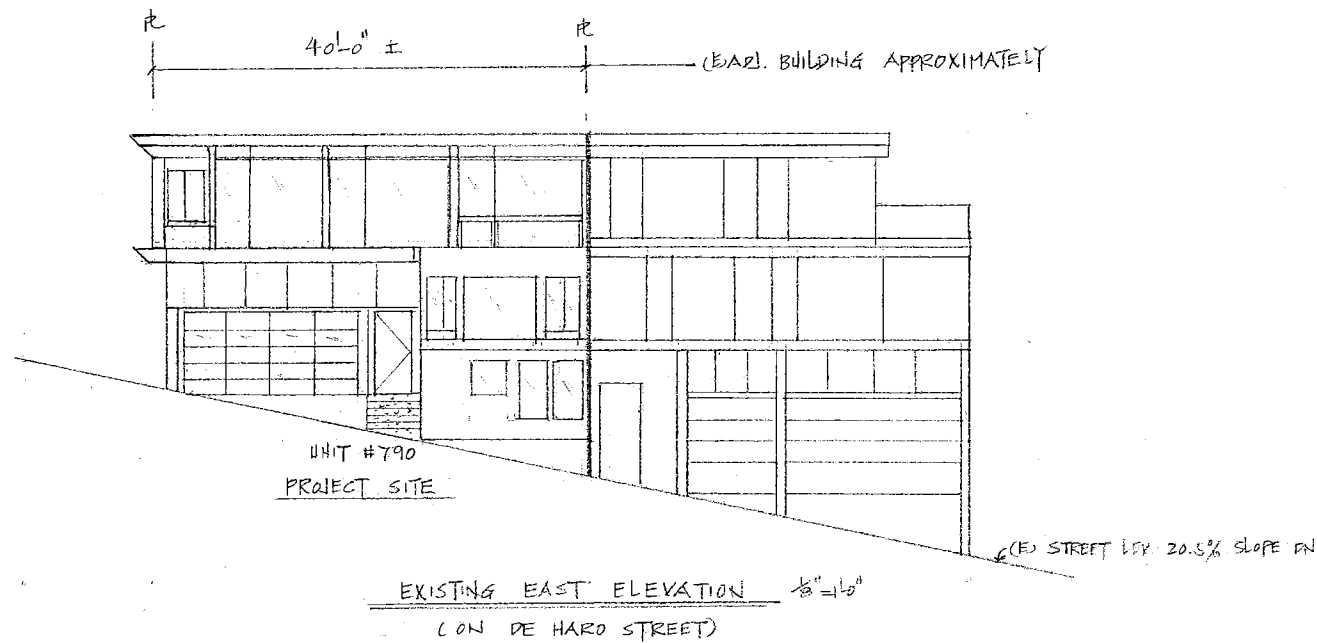
CONSTRUCTION TYPE: 5B  
OCCUPANCY GROUP: R3

SCOPE OF THE WORK

PROPOSED ALTERATION AND  
VERTICAL ADDITION.

DRAWING INDEX

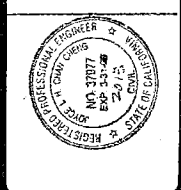
SHEET A1 TO A7 : PLANS AND ELEVATIONS.



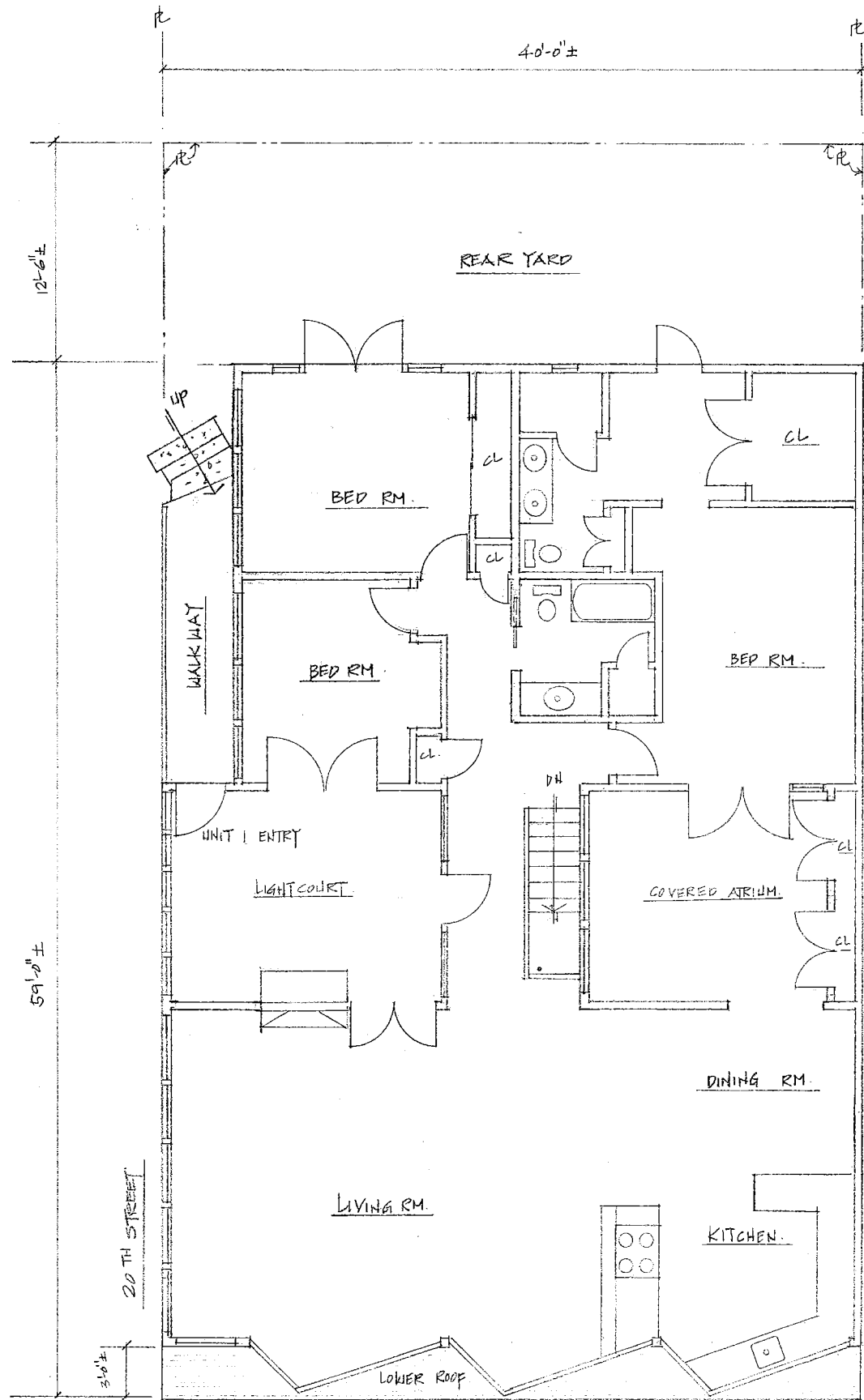
REVISIONS	BY

PLOT PLAN, ELEVATION  
2000 - 20TH STREET S.F. CA  
BLOCK 4072 LOT 23

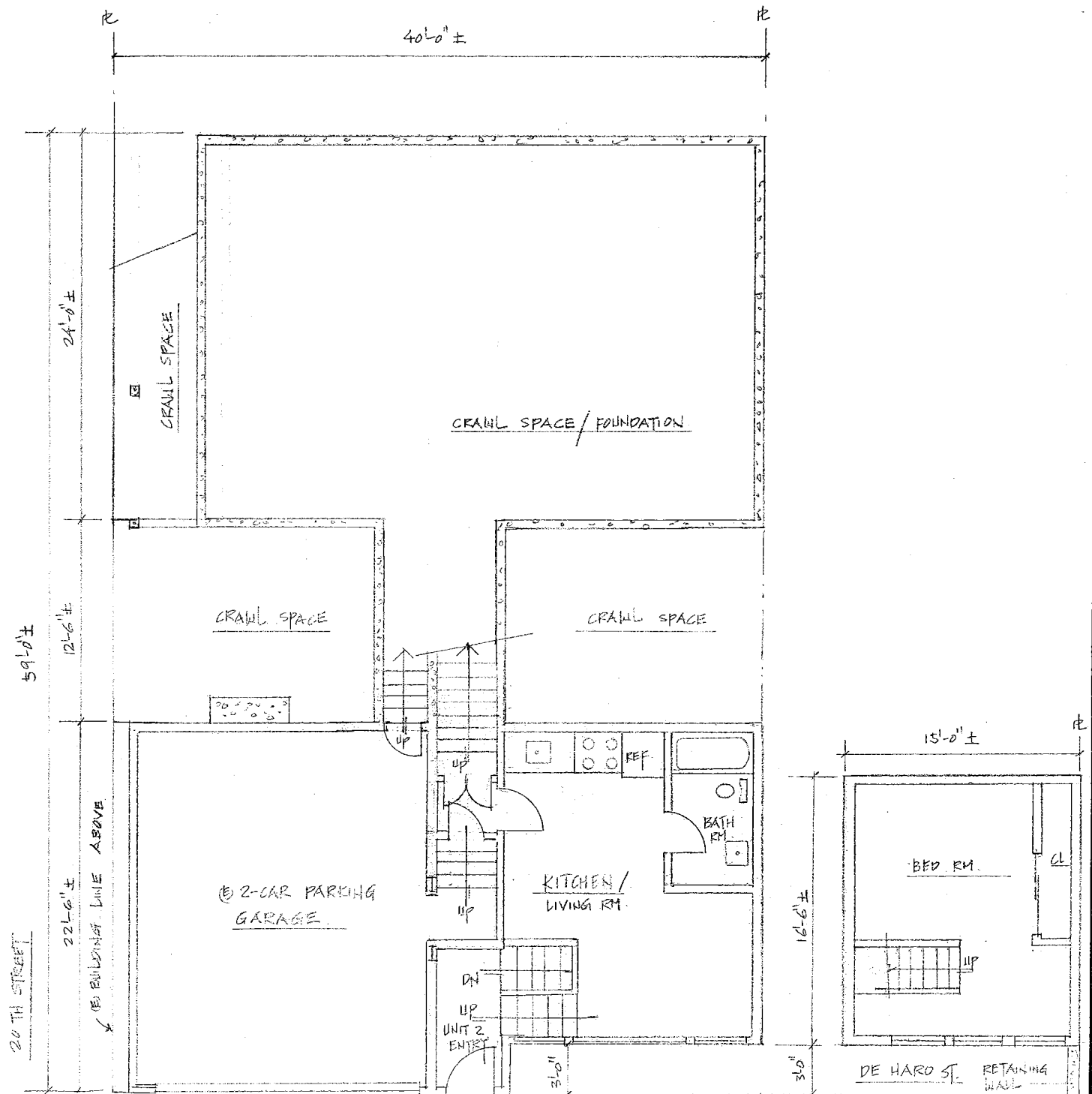
A&J Design Associates Inc.  
2328 Taraval Street  
San Francisco, CA 94116  
(415) 692-8683



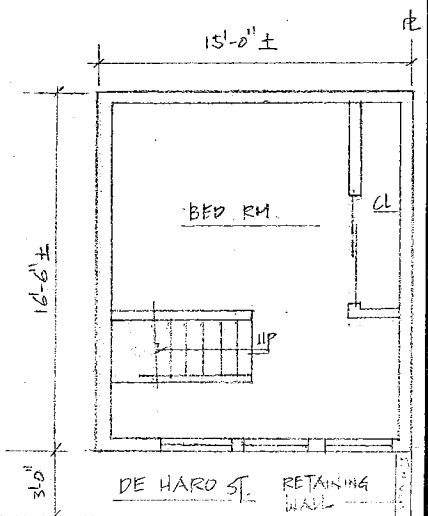
DRAWN	JACE CHENG
CHECKED	
DATE	8-25-10
SCALE	AS SHOWN
JOB NO.	10-45
SHEET	A1
OF	7 SHEETS



DE HARO STREET  
EXISTING 1ST FLOOR PLAN 1/4"=1'-0"



DE HARO STREET  
EXISTING BASEMENT FLOOR PLAN 1/4"=1'-0"

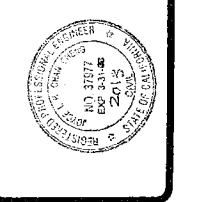


EXISTING SUB-BASEMENT FLOOR PLAN 1/4"=1'-0"

REVISIONS	BY

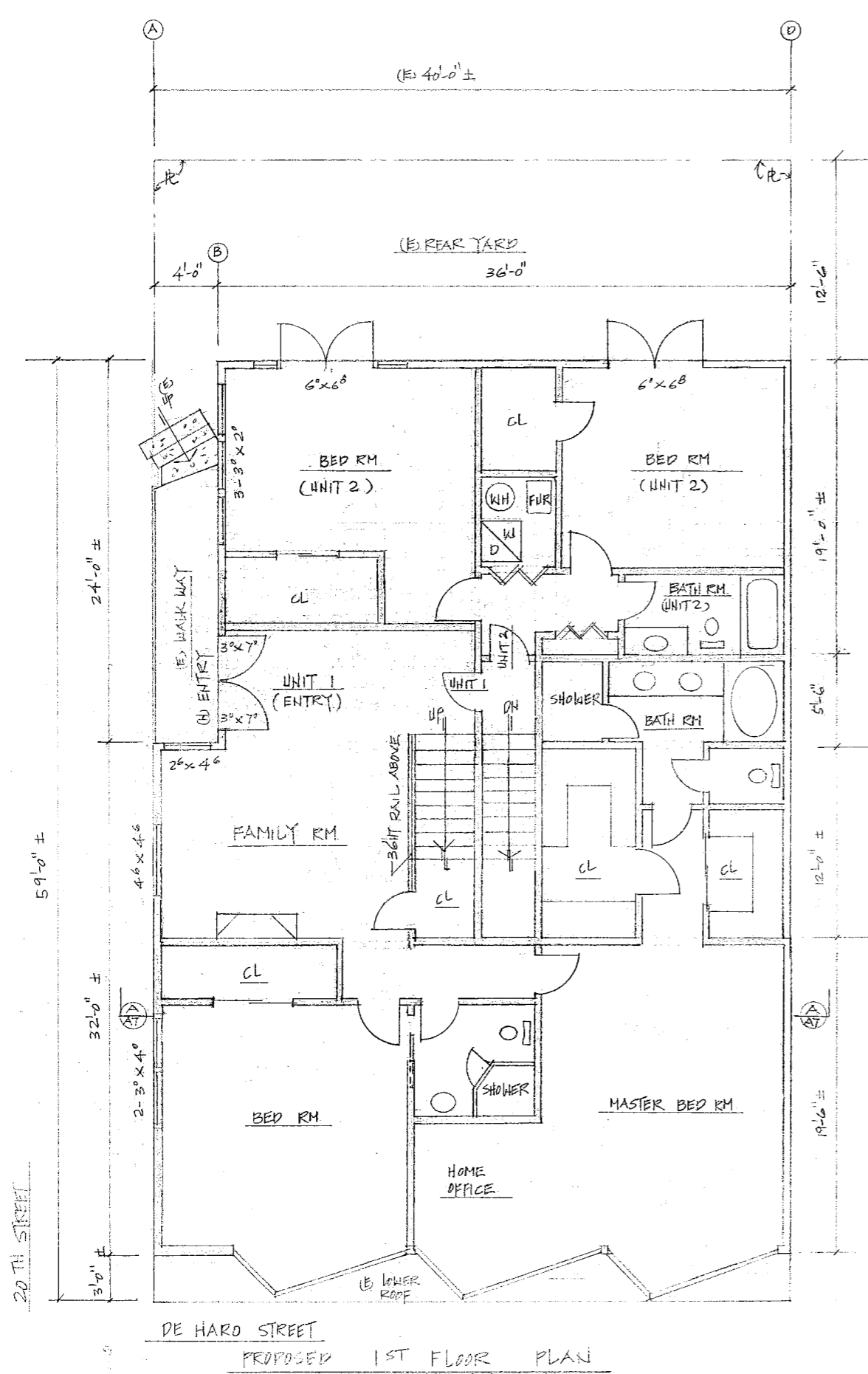
EXISTING FLOOR PLAN  
2009 - 20TH STREET SF CA  
BLOCK 4072 LOT 23

A&J Design Associates Inc.  
2328 Taraval Street  
San Francisco, CA 94116  
(415) 662-6663

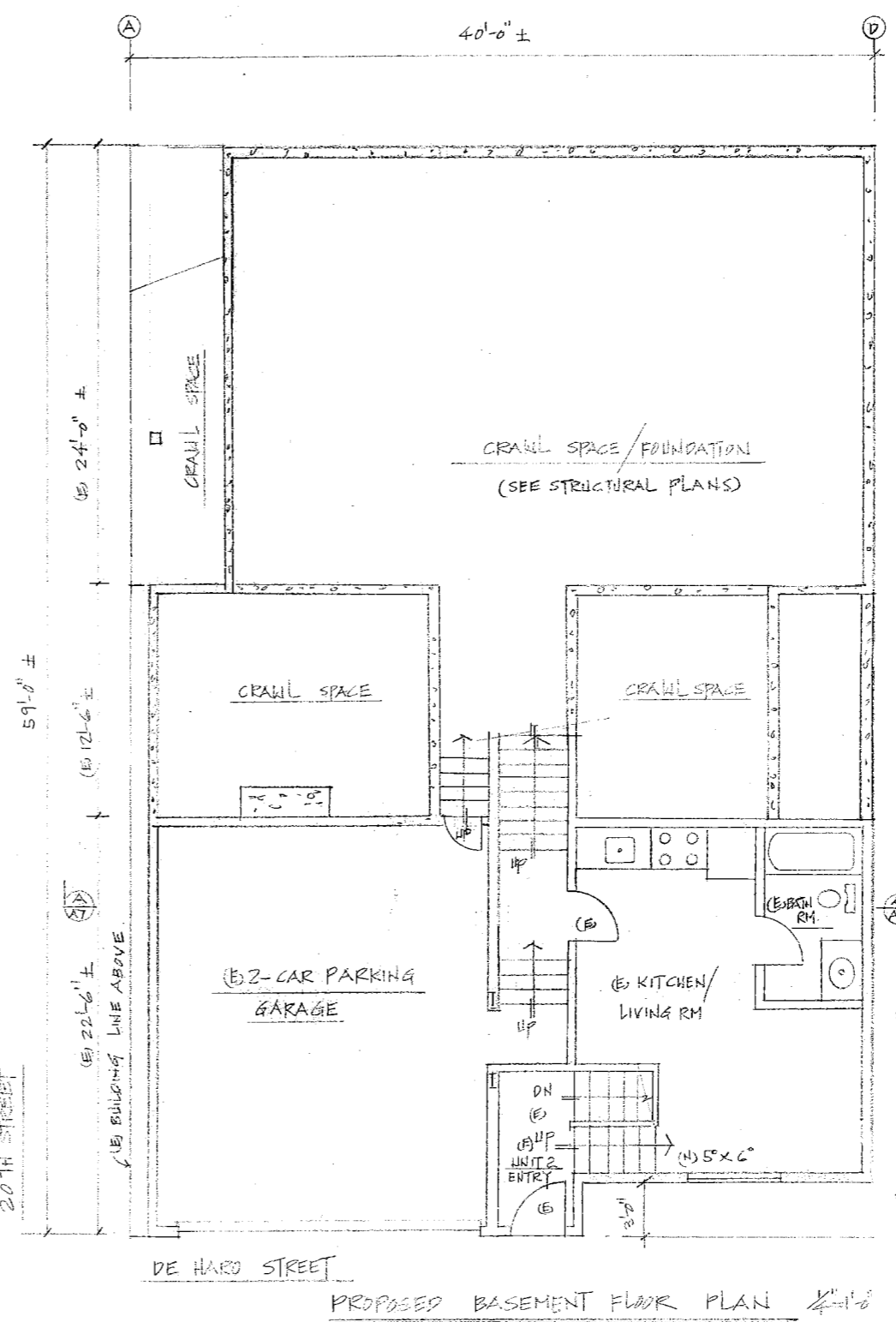


DRAWN: JACE CHENG  
CHECKED: [Signature]  
DATE: 8-25-10  
SCALE: AS SHOWN  
JOB NO: 10-45  
SHEET: 2  
OF 7 SHEETS

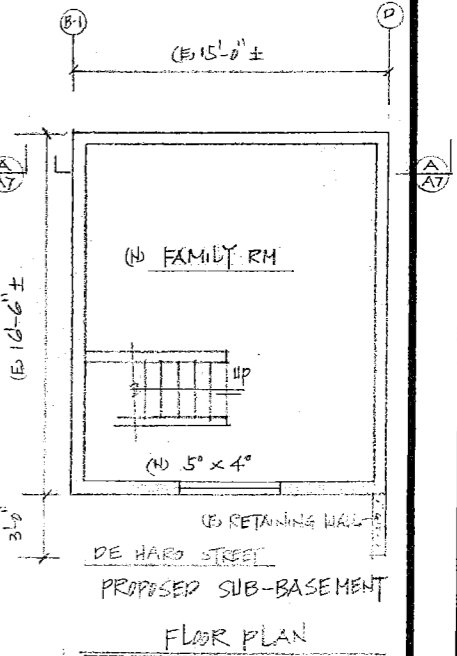




PROPOSED 1ST FLOOR PLAN



PROPOSED BASEMENT FLOOR PLAN

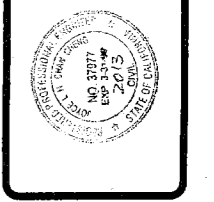


PROPOSED SUB-BASEMENT FLOOR PLAN

REVISIONS	BY

PROPOSED FLOOR PLAN  
 2000 - 20TH STREET SF. CA  
 BLOCK 4072 LOT 23

A&J Design Associates Inc.  
 2328 Taraval Street  
 San Francisco, CA 94116  
 (415) 582-8663

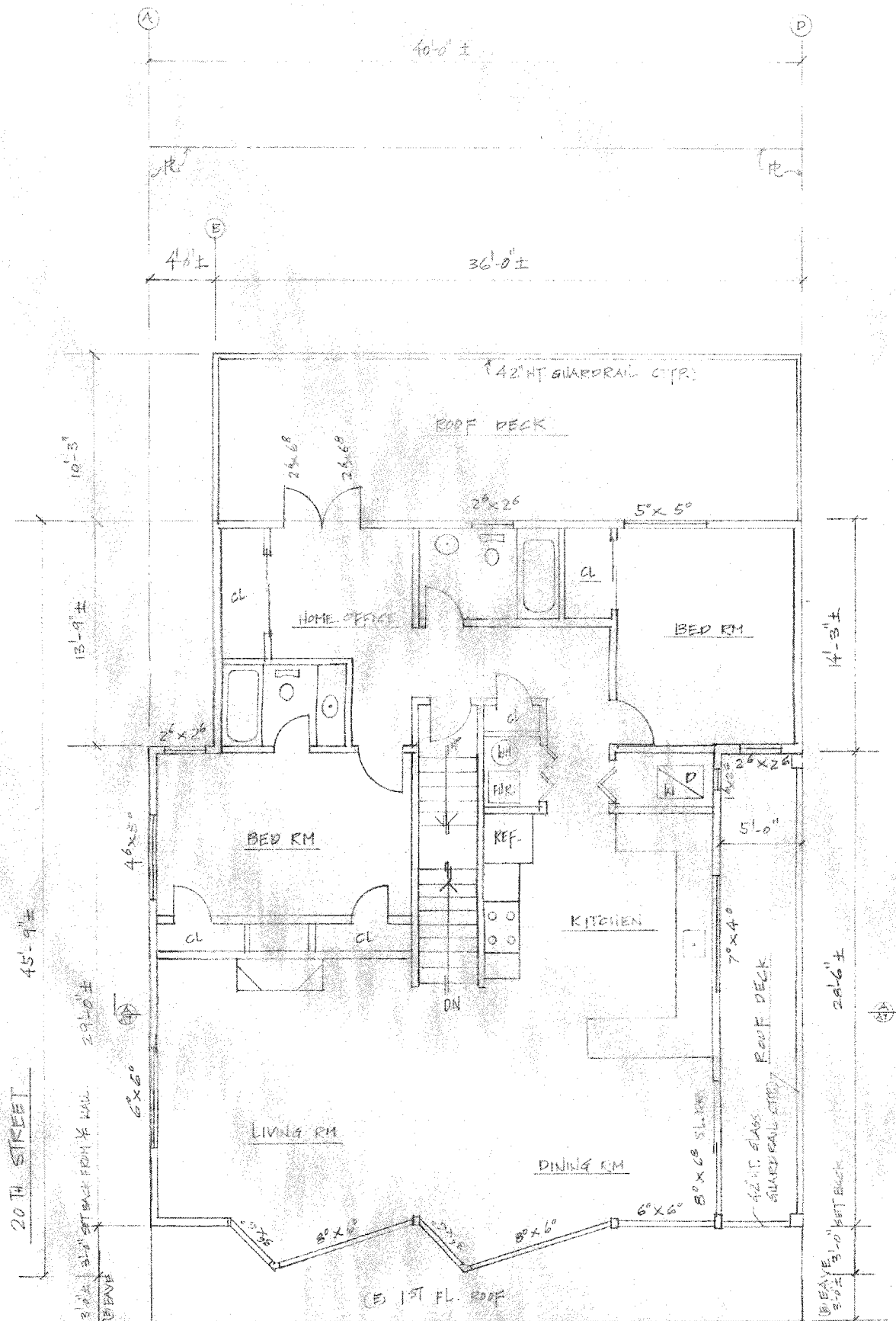


DRAWN JOYCE CHEW
CHECKED
DATE 8-25-10
SCALE AS SHOWN
JOB NO. 10-45
SHEET

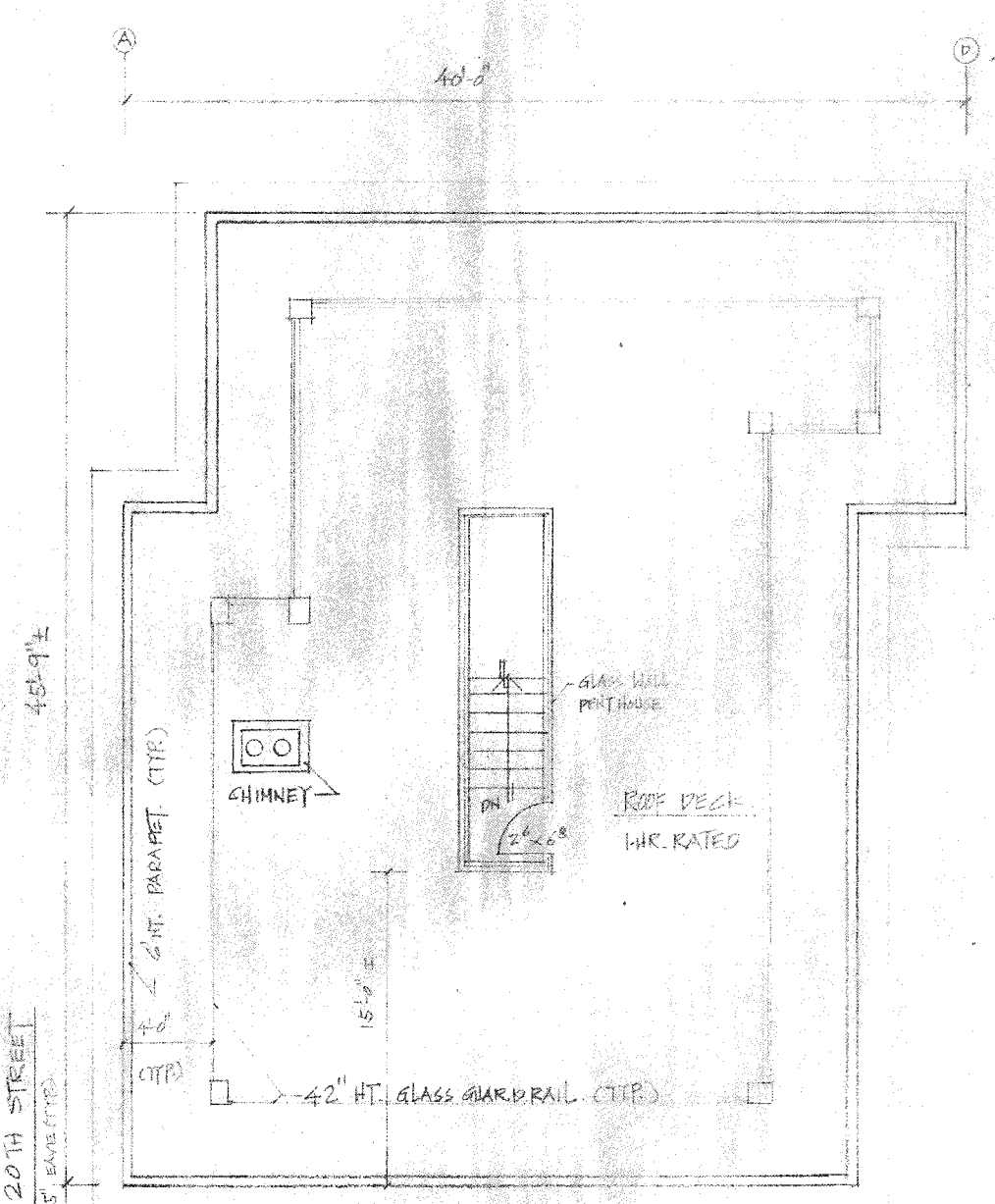
A.3  
 7 SHEETS

2010-12-01-5856





DE HARD STREET  
 PROPOSED NEW 2<sup>ND</sup> FLOOR PLAN  
 1/4" = 1'-0"



DE HARD STREET  
 PROPOSED ROOF PLAN  
 1/4" = 1'-0"

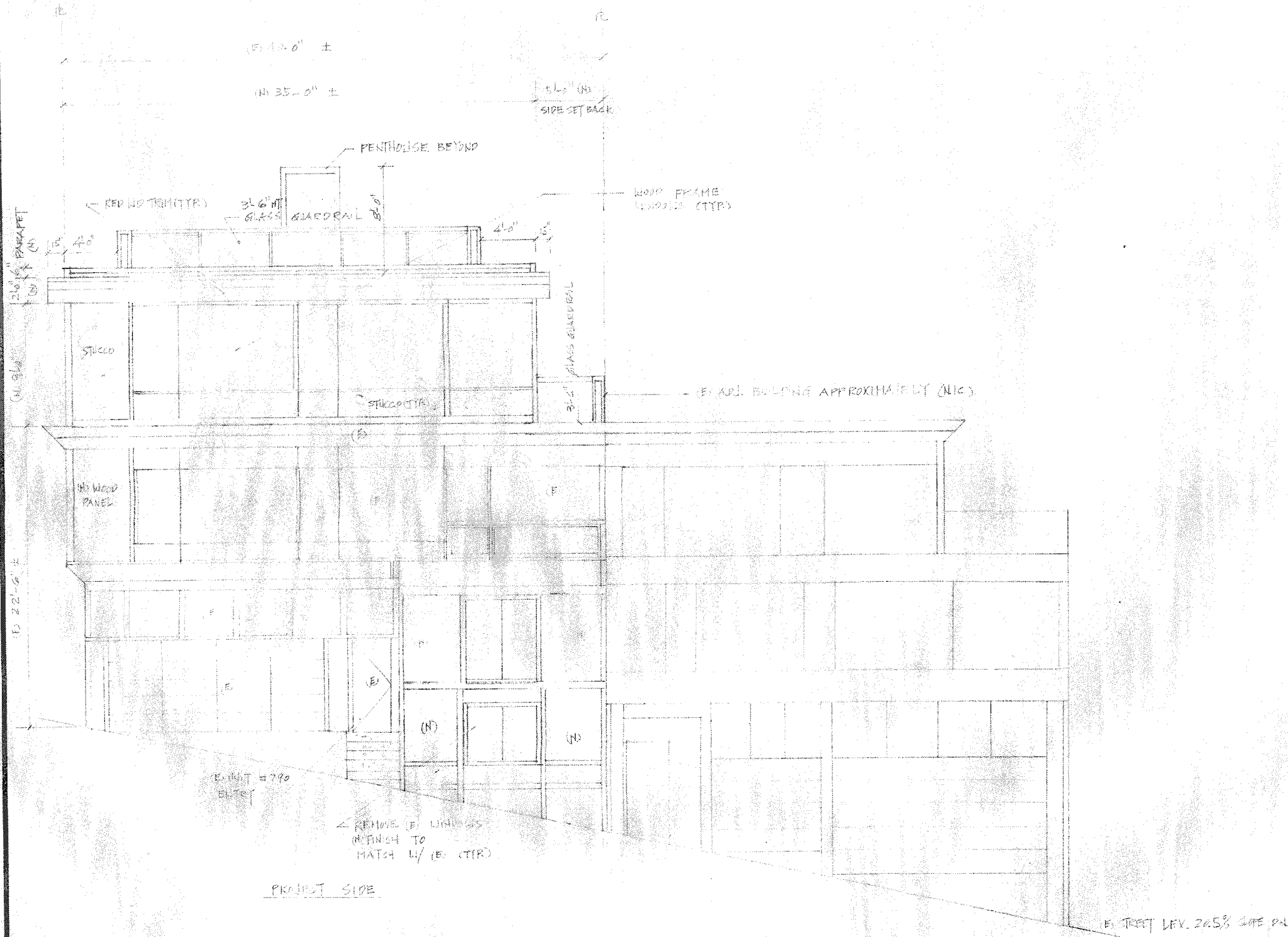
REVISIONS	BY

PROPOSED FLOOR PLAN  
 2000 - 20TH STREET SF CA  
 Block 4072 LOT 20

A & J Design Associates Inc.  
 2320 Taraval Street  
 San Francisco, CA 94116  
 (415) 682-8683



DRAWN A. J. SHAWLIN
CHECKED
DATE 2-21-12
SCALE AS SHOWN
JOB NO. 10-45
SHEET 7



PROPOSED EAST ELEVATION 1/4" = 1'-0"  
(ON DE HARO STREET)

REVISIONS	BY

ELEVATION PLAN  
2007 - 20TH STREET SF CA  
BLOCK 4072 LOT 23

A&J Design Associates Inc.  
2328 Taraval Street  
San Francisco, CA 94116  
(415) 662-6683



DRAWN 10/28/09
CHECKED
DATE 5-25-10
SCALE AS SHOWN
JOB NO. 10-45
SHEET A5
OF 7 SHEETS

REVISIONS	BY

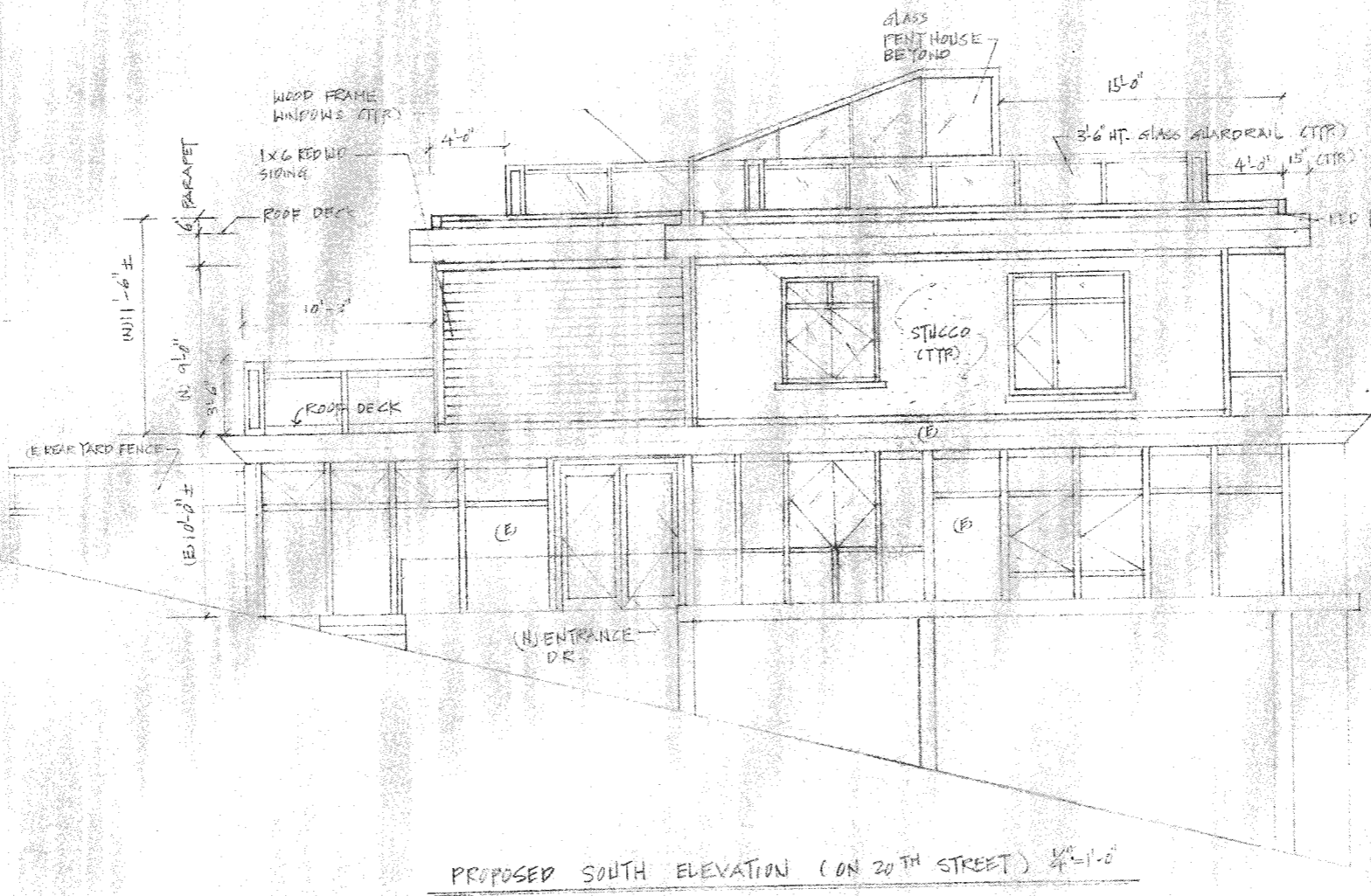
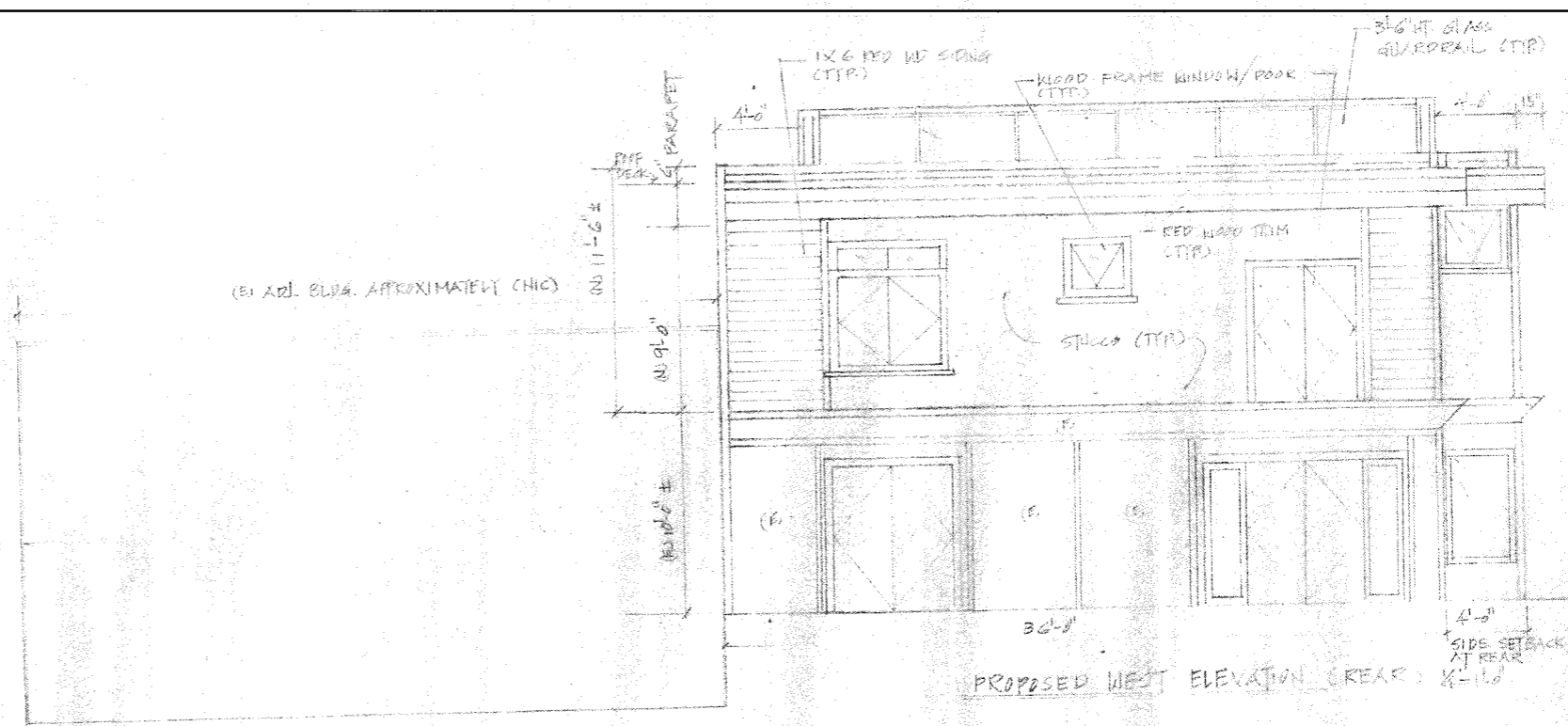
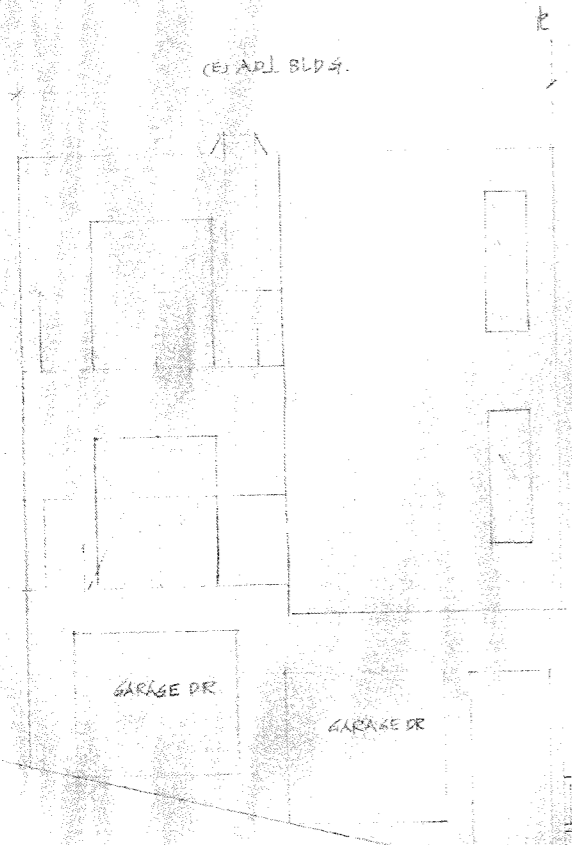
ELEVATION  
 2000 - 20TH STREET SF 2A  
 BLOCK 4072 LT 23

A&J Design Associates Inc.  
 2328 Taraval Street  
 San Francisco, CA 94116  
 (415) 692-8683



DRAWN  
 JOYCE ZHENG  
 CHECKED  
 DATE  
 8-25-10  
 SCALE  
 AS SHOWN  
 JOB NO.  
 10-45  
 SHEET

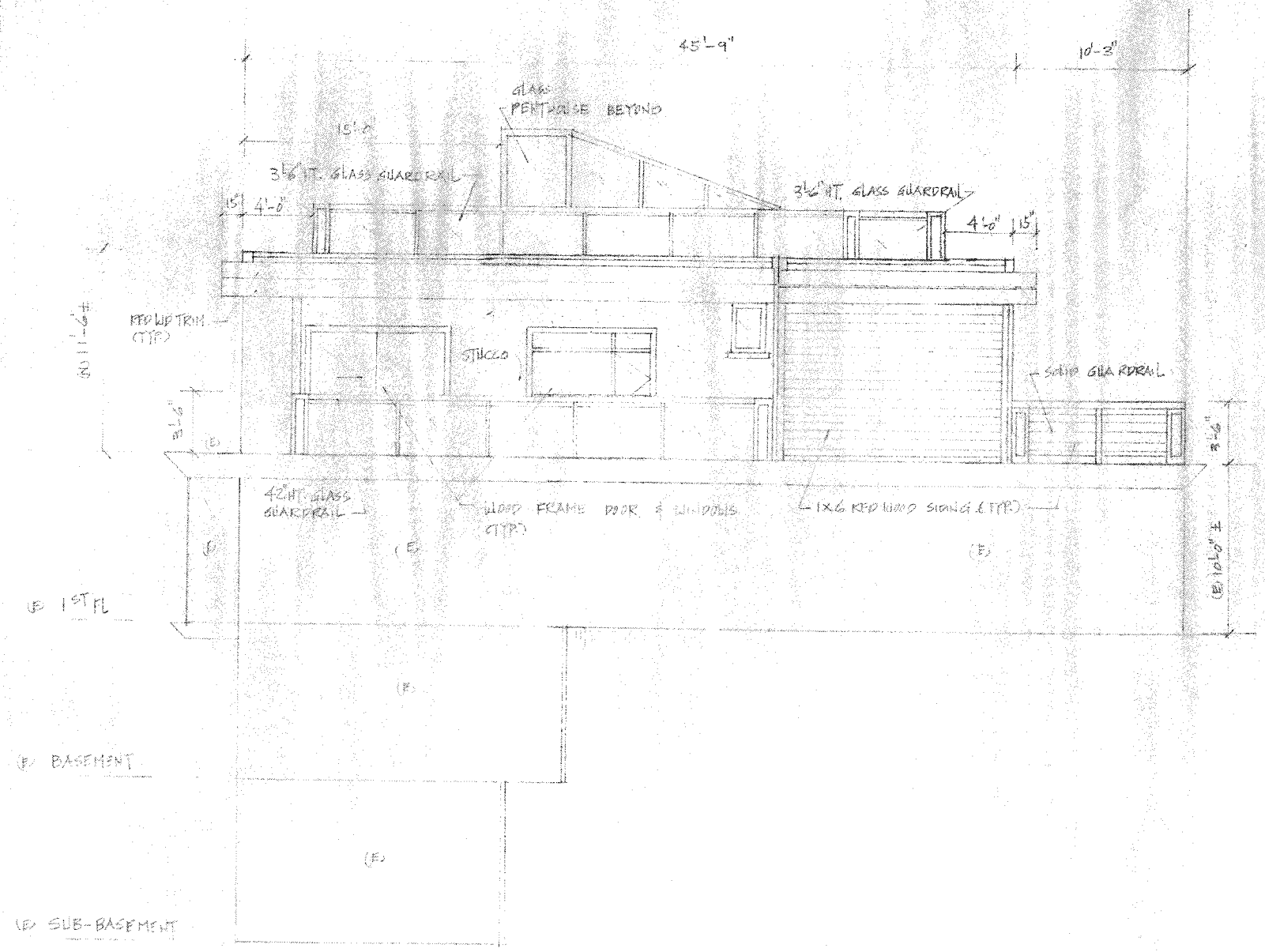
10  
 7 OF 7 SHEETS



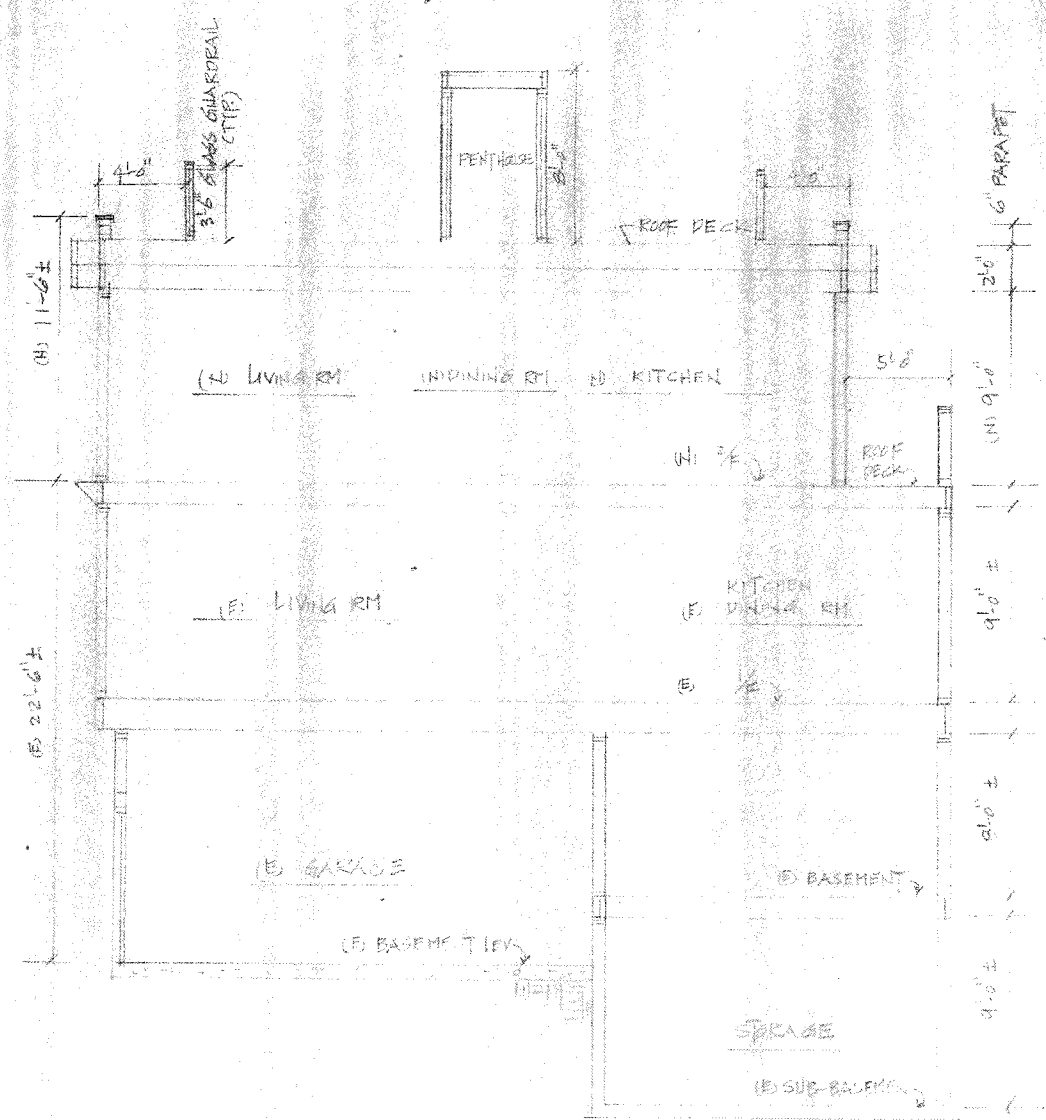
PROPOSED SOUTH ELEVATION (ON 20TH STREET) 1/4"=1'-0"

1/4" STREET LVL  
 24.8 SLOPE UN.

REVISIONS	BY



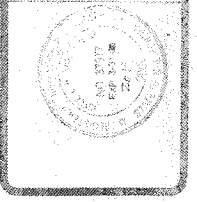
PROPOSED NORTH ELEVATION 1/4" = 1'-0"



SECTION 1/4" = 1'-0"

ELEVATION SECTION  
 2000-20TH STREET S.F. CA  
 BLOCK 4072 LOT 23

A&J Design Associates Inc.  
 2328 Taraval Street  
 San Francisco, CA 94116  
 (415) 682-8883



DRAWN	JACE CHEN
CHECKED	
DATE	8-25-10
SCALE	AS SHOWN
JOB NO.	10-11
SHEET	27
OF	
SHEETS	



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On December 1, 2010, the Applicant named below filed Building Permit Application No. 2010.12.01.5856 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Joyce Cheng, A&J Design Assoc.	Project Address:	2000 20 <sup>th</sup> Street
Address:	2328 Taraval St	Cross Streets:	De Haro Street
City, State:	San Francisco, CA 94116	Assessor's Block /Lot No.:	4072/023
Telephone:	(415) 601-1338	Zoning Districts:	RM-1 / 40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE			
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION	or <input checked="" type="checkbox"/> ALTERATION
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS	<input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE)	<input type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE .....	Two-Family Dwelling .....	No Change
FRONT SETBACK .....	None .....	No Change
SIDE SETBACKS .....	None .....	No Change
BUILDING DEPTH .....	56 feet 6 inches .....	No Change
REAR YARD (TO 2 <sup>ND</sup> FLOOR).....	12 feet 6 inches .....	No Change
REAR YARD (TO 3 <sup>RD</sup> FLOOR).....	None .....	23 feet 0 inches
HEIGHT OF BUILDING (FROM GRADE TO TOP OF PARAPET; AT DE HARO ST) .....	27 feet 6 inches .....	34 feet 0 inches
NUMBER OF STORIES .....	2 .....	3
NUMBER OF DWELLING UNITS .....	2 .....	No Change
NUMBER OF OFF-STREET PARKING SPACES .....	2 .....	No Change

### PROJECT DESCRIPTION

The proposed scope of work includes construction of a one-story vertical addition, a new roof deck, and a new stair penthouse on top of an existing two-story two-family dwelling, which is located on a steep up-sloping lot. On the third floor, the new vertical addition will measure approximately 40 ft wide by 46 ft 9 in long by 11 ft 6 in tall, and will also include a narrow 5 ft wide by 36 ft long roof deck. A new stair penthouse and roof deck will be constructed on top of the new vertical addition, and will include a 42 in high glass guardrail, which will be setback by approximately three feet on each side. The new rooftop stair penthouse will be setback approximately 15 ft from De Haro Street, and approximately 16 ft from 20<sup>th</sup> Street. Overall, the new vertical addition is designed to match the existing residence and will feature wood-sash windows. See Attached Plans.

PLANNER'S NAME: Richard Sucre  
 PHONE NUMBER: (415) 575-9108  
 EMAIL: richard.sucre@sfgov.org

DATE OF THIS NOTICE: 6-19-12  
 EXPIRATION DATE: 7-19-12

# NOTICE OF BUILDING PERMIT APPLICATION GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the site plan and elevations (exterior walls), and floor plans (where applicable) of the proposed project, including the position of any adjacent buildings, exterior dimensions, and finishes, and a graphic reference scale, have been included in this mailing for your information. Please discuss any questions with the project Applicant listed on the reverse. You may wish to discuss the plans with your neighbors and neighborhood association or improvement club, as they may already be aware of the project. Immediate neighbors to the project, in particular, are likely to be familiar with it.

Any general questions concerning this application review process may be answered by the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00 a.m. - 5:00 p.m. Please phone the Planner listed on the reverse of this sheet with questions specific to this project.

If you determine that the impact on you from this proposed development is significant and you wish to seek to change the proposed project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Seek a meeting with the project sponsor and the architect to get more information, and to explain the project's impact on you and to seek changes in the plans.
2. Call the nonprofit organization Community Boards at (415) 920-3820. They are specialists in conflict resolution through mediation and can often help resolve substantial disagreement in the permitting process so that no further action is necessary.
3. Where you have attempted, through the use of the above steps, or other means, to address potential problems without success, call the assigned project planner whose name and phone number are shown at the lower left corner on the reverse side of this notice, to review your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects, which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission over the permit application, you must make such request **within 30 days of this notice, prior to the Expiration Date shown on the reverse side**, by completing an application (available at the Planning Department, 1660 Mission Street, 1st Floor, or on-line at [www.sfplanning.org](http://www.sfplanning.org)). You must submit the application to the Planning Information Center (PIC) during the hours between 8:00 a.m. and 5:00 p.m., with all required materials, and a check, for each Discretionary Review request payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org) or at the PIC located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. If the project includes multi building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the approval (or denial) of the permit application by the Planning Department or Planning Commission may be made to the Board of Appeals within 15 days after the permit is issued (or denied) by the Superintendent of the Department of Building Inspection. Submit an application form in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including their current fees, contact the Board of Appeals at (415) 575-6880.

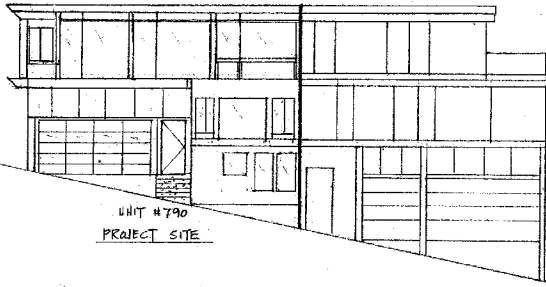


PROJECT INFORMATION  
 CONSTRUCTION TYPE: 5B  
 OCCUPANCY GROUP: R3

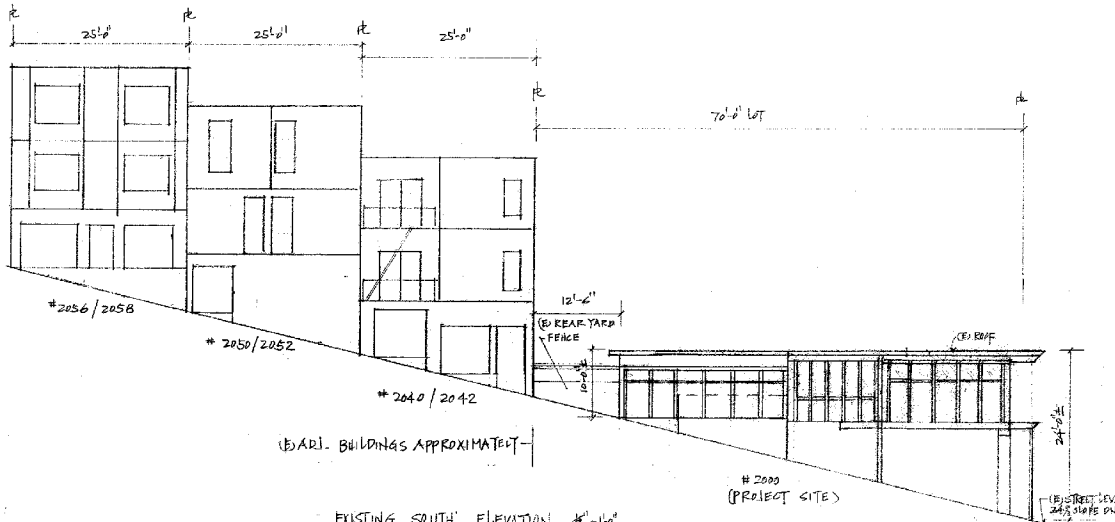
SCOPE OF THE WORK  
 PROPOSED ALTERATION AND  
 VERTICAL ADDITION.

DRAWING INDEX  
 SHEET A1 TO X7: PLANS AND ELEVATIONS.

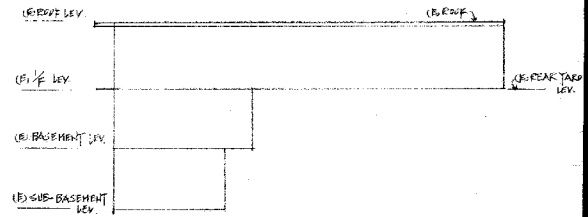
40'-0" ± (EAB) BUILDING APPROXIMATELY



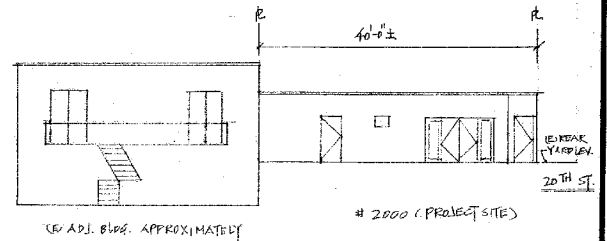
EXISTING EAST ELEVATION 1/8"=1'-0"  
 (ON DE HARO STREET)



EXISTING SOUTH ELEVATION 1/8"=1'-0"  
 (ON 20TH STREET)



EXISTING NORTH ELEVATION 1/8"=1'-0"



EXISTING WEST ELEVATION 1/8"=1'-0"

REVISIONS	BY

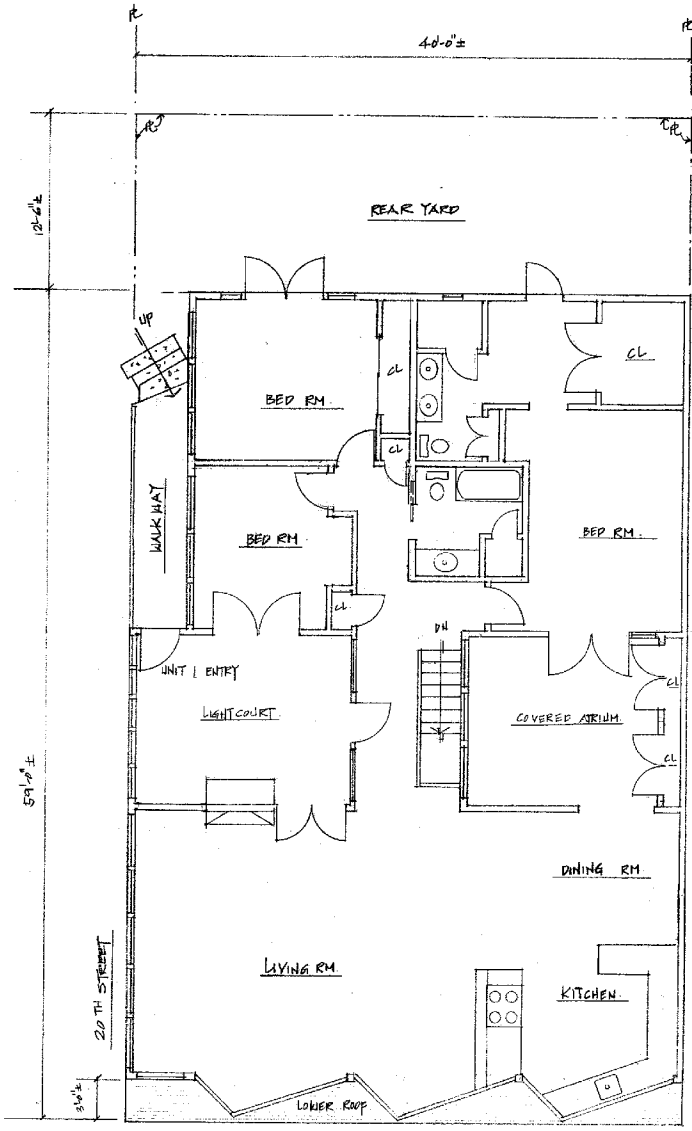
PLAT PLAN ELEVATION  
 2000 - 20TH STREET SF. CA  
 BLOCK 4072 LOT 25

A&J Design Associates Inc.  
 2328 Taraval Street  
 San Francisco, CA 94116  
 (415) 862-9883

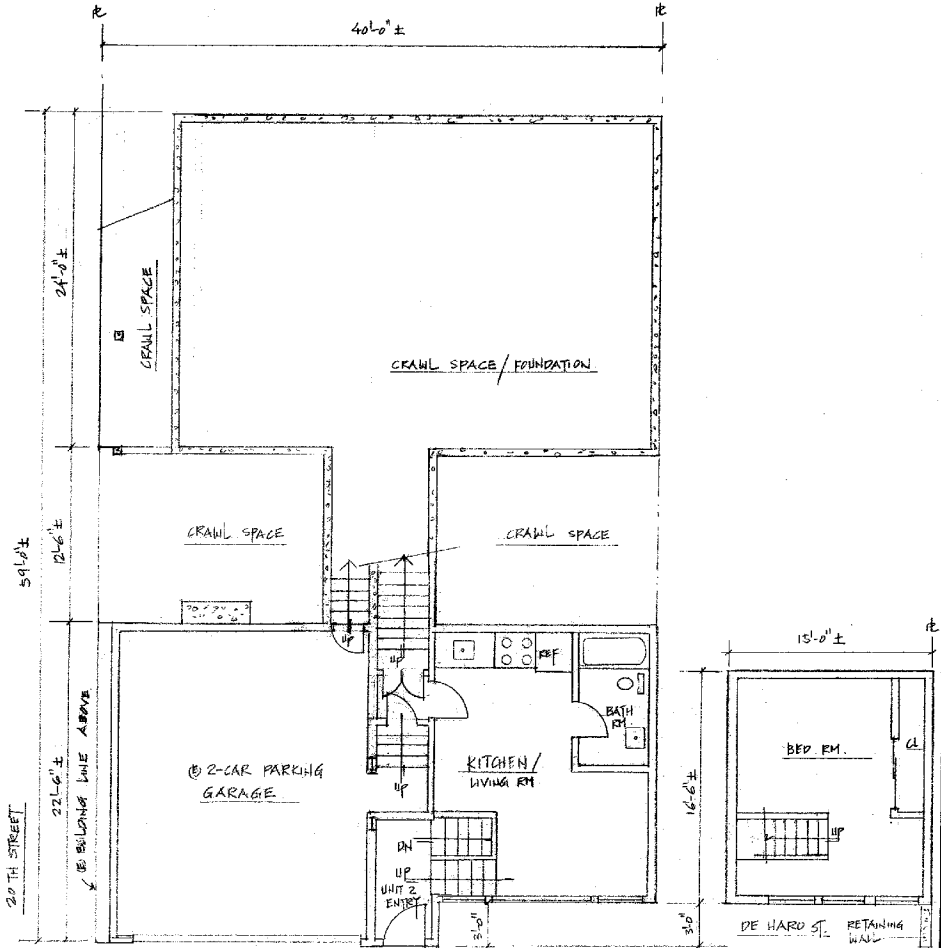


DRAWN	CHECKED
JACE CHENG	
DATE	8-23-10
SCALE	AS SHOWN
JOB NO.	10-45
SHEET	A1
OF	7 SHEETS

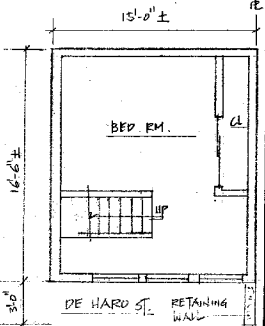




DE HARO STREET  
EXISTING 1ST FLOOR PLAN 1/4"=1'-0"



DE HARO STREET  
EXISTING BASEMENT FLOOR PLAN 1/4"=1'-0"



DE HARO ST.  
EXISTING SUB-BASEMENT FLOOR PLAN 1/4"=1'-0"

REVISIONS	BY

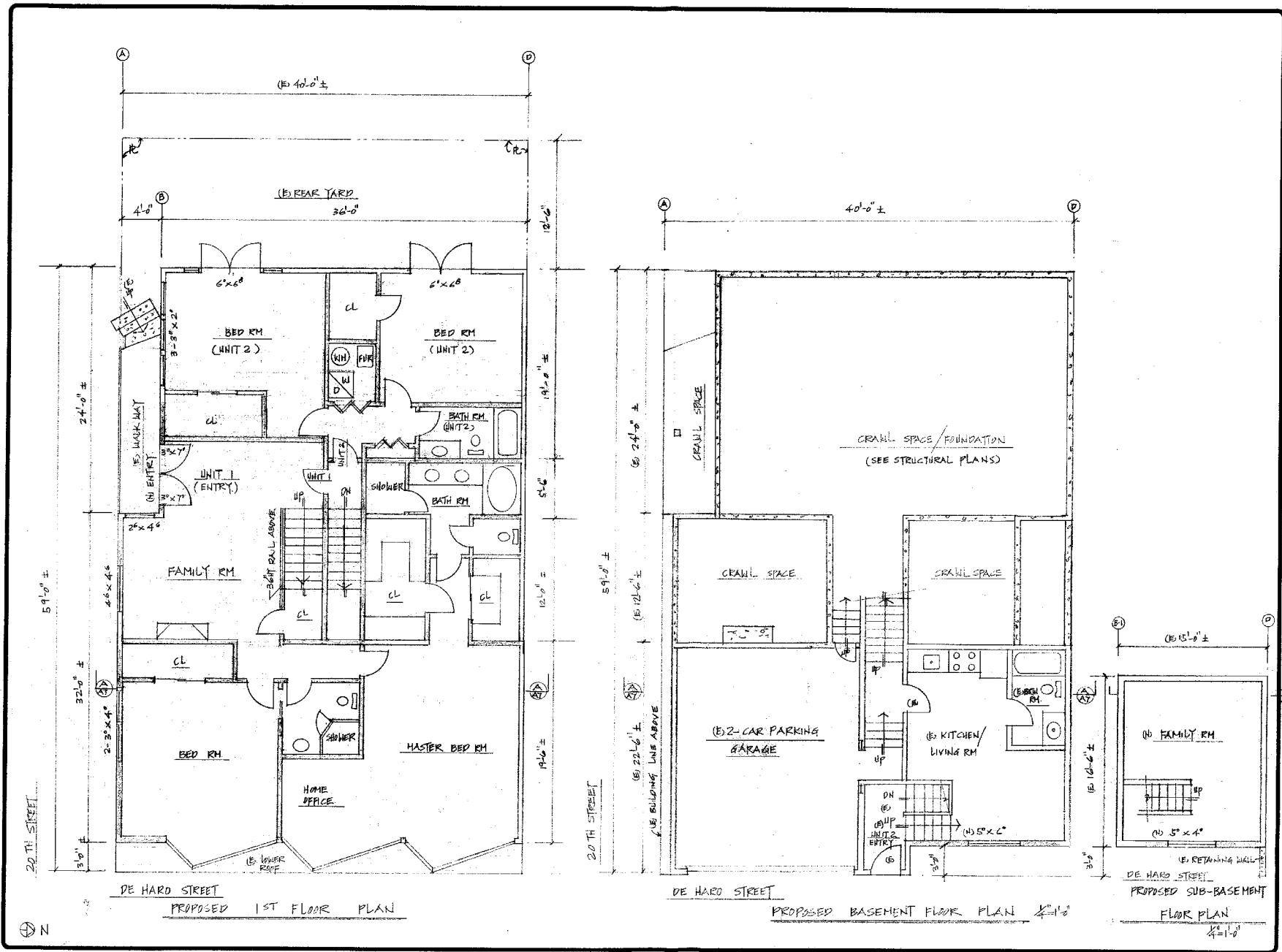
EXISTING FLOOR PLAN  
2000 - 20TH STREET SF CA  
BLOCK 4072 LOT 23

A&J Design Associates Inc.  
2226 TREVINO ST. #1116  
SAN JOSE, CA 95131  
(415) 882-8883



DRAWN: JACE CHEUNG  
CHECKED: [Signature]  
DATE: 8-25-10  
SCALE: AS SHOWN  
PROJECT NO: 10-0000-0000  
SHEET

A2  
OF 7 SHEETS



REVISIONS	BY

PROPOSED FLOOR PLAN  
 2000 - 20 TH STREET SF. CA  
 BLOCK 4072 LOT 23

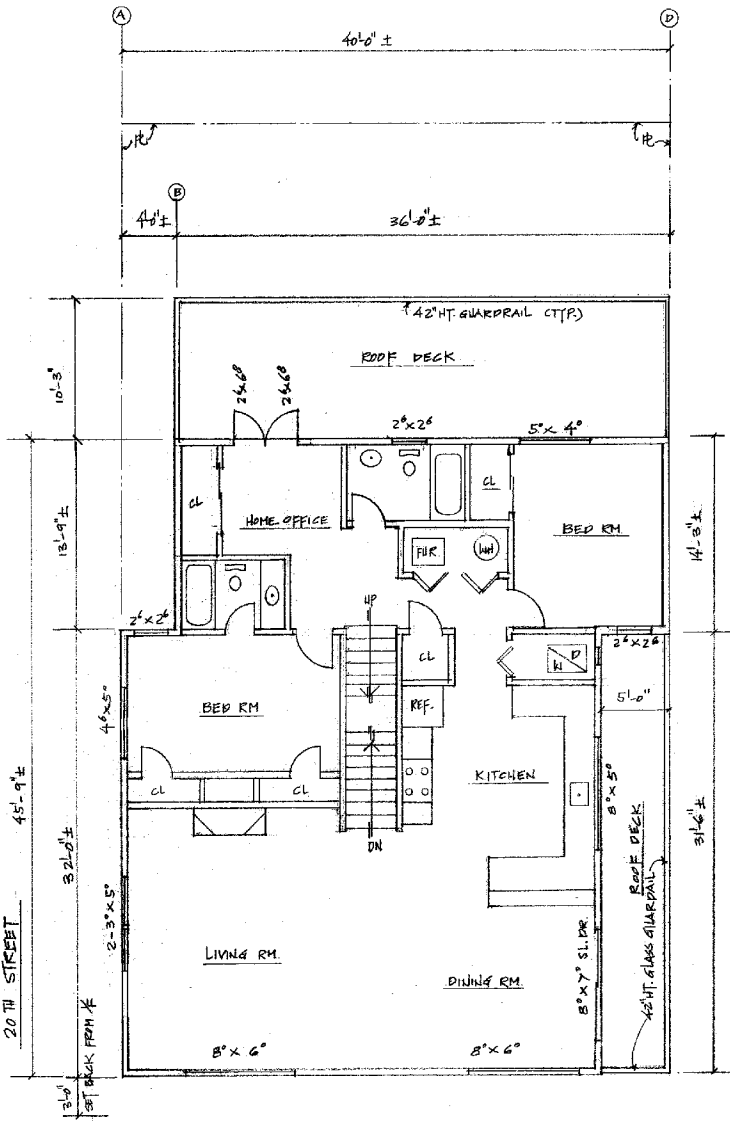
A&J Design Associates Inc.  
 2328 Taraval Street  
 San Francisco, CA 94116  
 (415) 862-8893



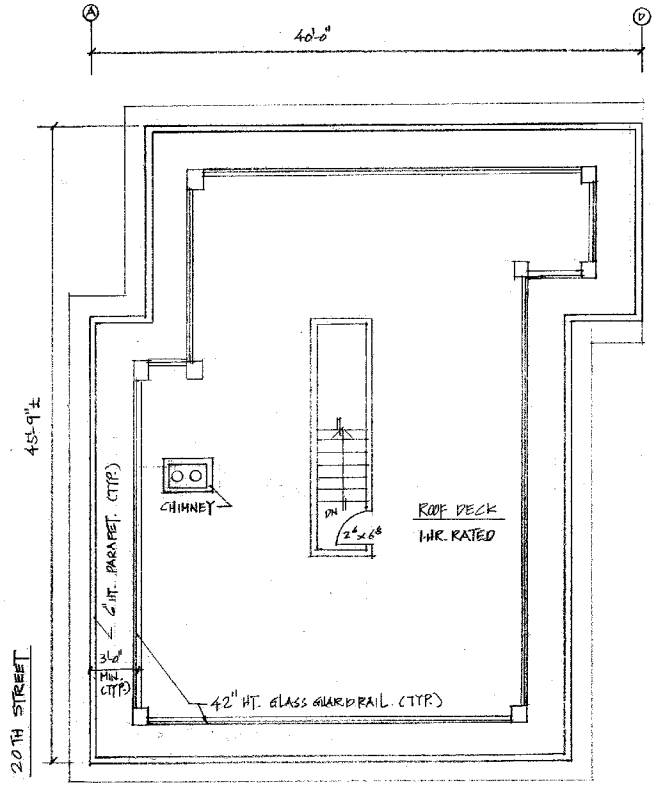
DRAWN  
 JACE CHEUNG  
 CHECKED  
 DATE  
 8-23-10  
 SCALE  
 AS SHOWN  
 1/8" = 1'-0"  
 SHEET

A3  
 7 SHEETS

2010-12-01-SB56



DE HARO STREET  
 PROPOSED NEW 2<sup>ND</sup> FLOOR PLAN  
 $\frac{1}{4}'' = 1'-0''$



DE HARO STREET  
 PROPOSED ROOF PLAN  
 $\frac{1}{4}'' = 1'-0''$

REVISIONS	BY

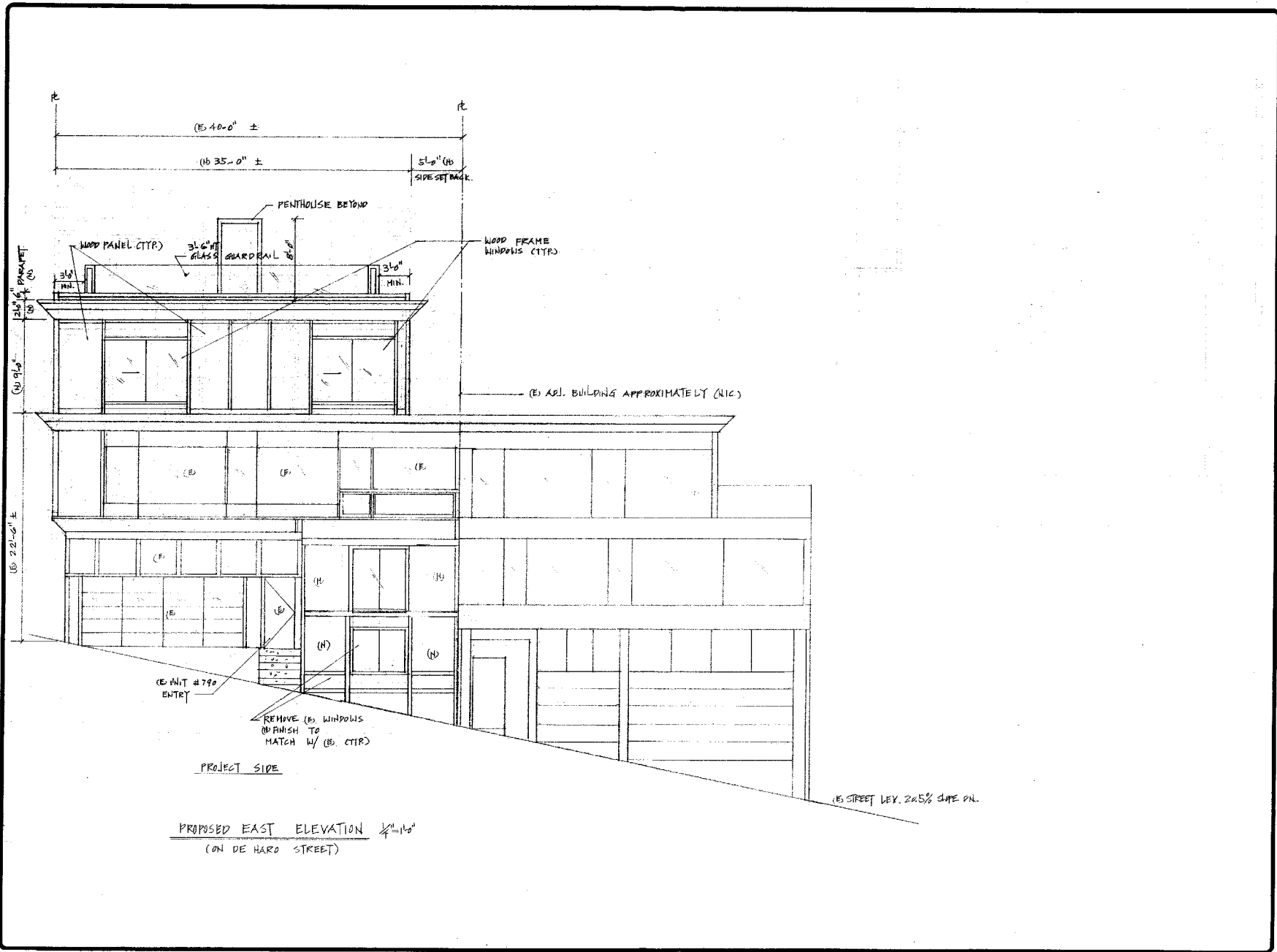
PROPOSED FLOOR PLAN  
 2800 - 20<sup>TH</sup> STREET S.F. CA  
 BLOCK 4072 LOT 23

A & J Design Associates Inc.  
 2226 RIVERWOOD  
 SAN FRANCISCO, CA 94116  
 (415) 882-8883



DRAWN  
 JOYCE CHEW  
 CHECKED  
 DATE 2-21-12  
 SCALE AS SHOWN  
 10-45  
 SHEET

OF 7 SHEETS



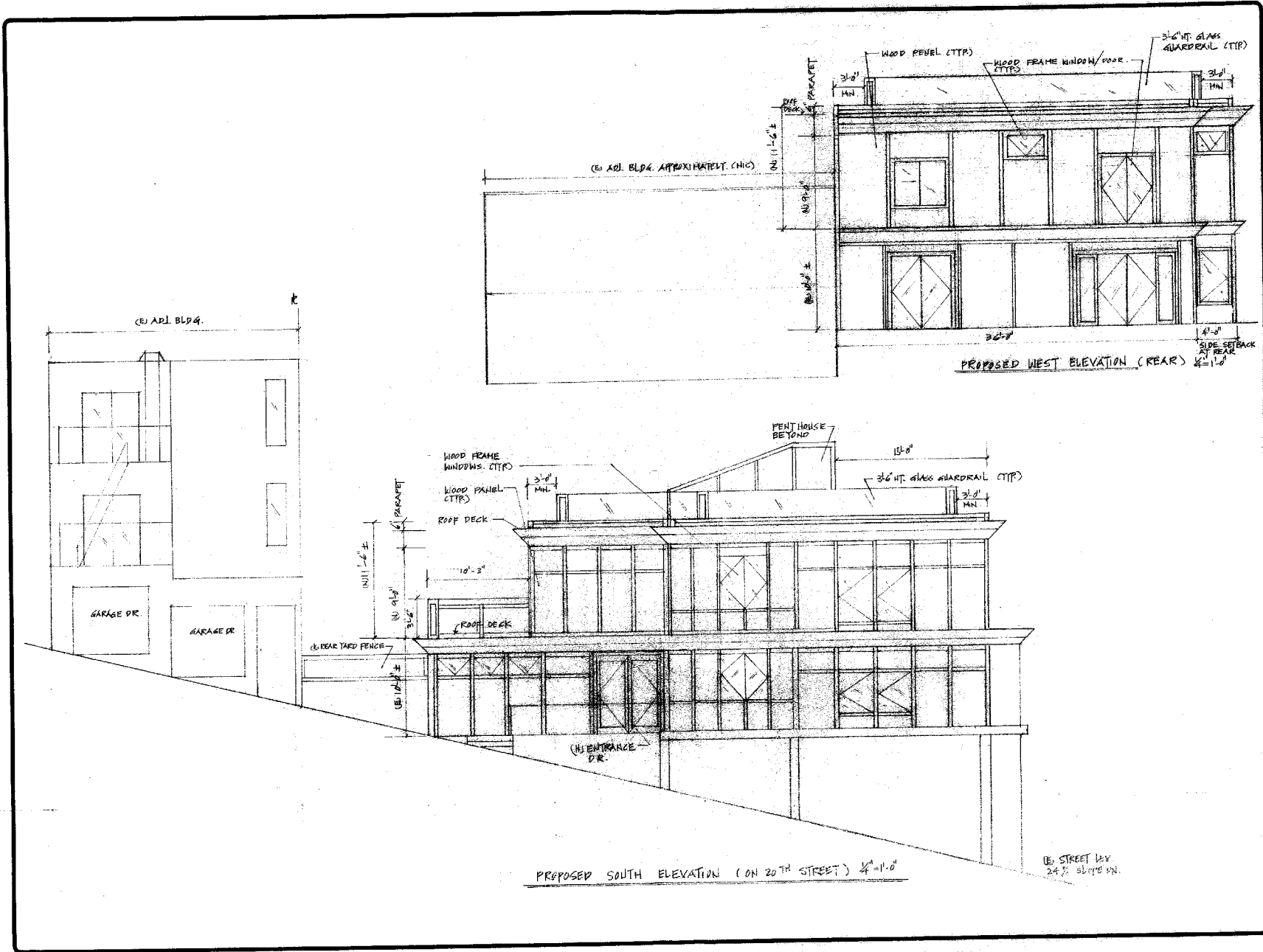
REVISIONS	BY

ELEVATION PLAN  
 2000 - 20TH STREET SF. CA  
 BLOCK 4-072 LOT 23

A&J Design Associates Inc.  
 2225 Taraval Street  
 San Francisco CA 94116  
 (415) 862-8693



DRAWN	JOYCE CHEN
CHECKED	
DATE	8-23-10
SCALE	AS SHOWN
JOB NO.	10-45
SHEET	
A5	
OF	7 SHEETS



REVISIONS	BY

ELEVATION

2000 - 20TH STREET  
BLOCK 4072 LOT 23

SF CA

A.S. Design Associates Inc.  
12800 Wilshire Blvd., Suite 1116  
Santa Monica, CA 90416  
(415) 682-8883



DESIGN: J. Y. CHENS  
CHECKED: \_\_\_\_\_  
DATE: 01-25-10  
SCALE: AS SHOWN  
SHEET NO. 10 OF 12

AG  
7 SHEET

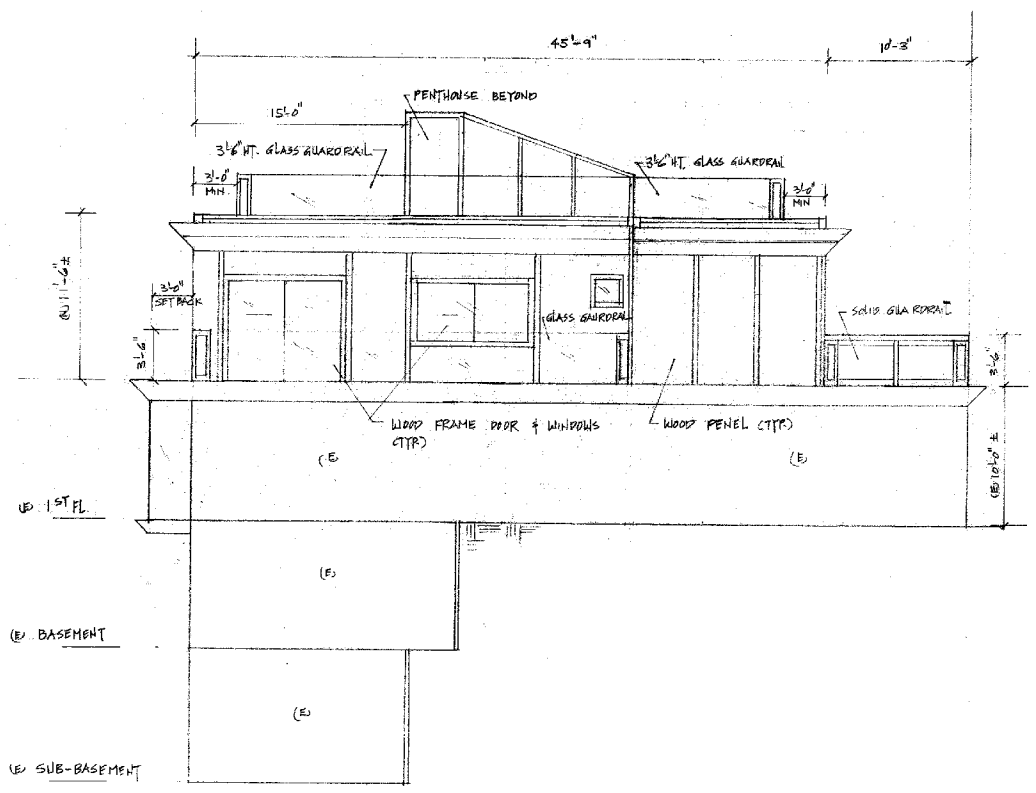
REVISION	BY

ELEVATION SECTION  
 2000 - 20TH STREET SF CA  
 BLOCK 4072 LOT 23

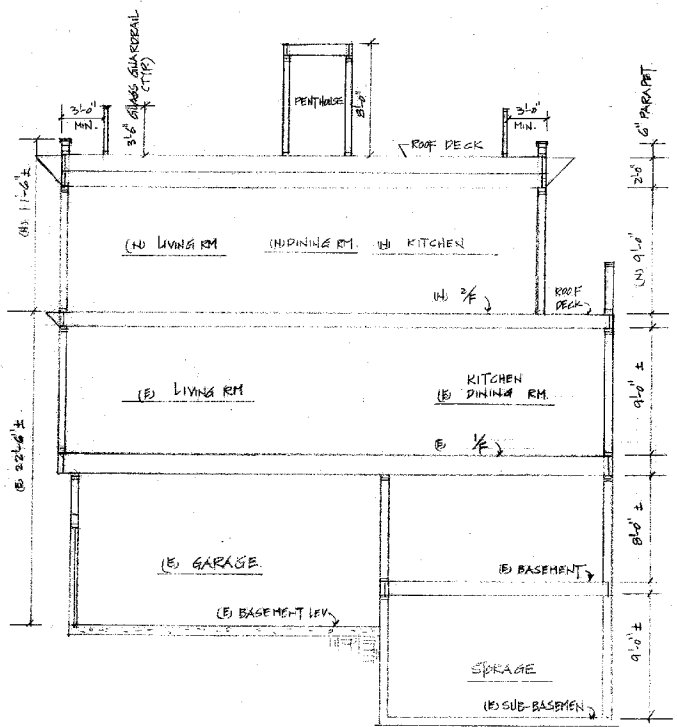
ARJ Design Associates Inc.  
 2326 Tenth Street  
 San Francisco, CA 94116  
 (415) 882-8883



DRAWN  
 JALICE CHEN  
 CHECKED  
 DATE  
 8-25-10  
 AS SHOWN  
 JOB NO.  
 10-45  
 SHEET  
 A7  
 7 SHEETS



PROPOSED NORTH ELEVATION  $\frac{1}{4}'' = 1'-0''$



SECTION  $\frac{1}{8}'' = 1'-0''$



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## AMENDED NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On December 1, 2010, the Applicant named below filed Building Permit Application No. 2010.12.01.5856 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Joyce Cheng, A&J Design Assoc.	Project Address:	2000 20 <sup>th</sup> Street
Address:	2328 Taraval St	Cross Streets:	De Haro Street
City, State:	San Francisco, CA 94116	Assessor's Block /Lot No.:	4072/023
Telephone:	(415) 601-1338	Zoning Districts:	RM-1 / 40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input checked="" type="checkbox"/> CHANGE # OF DWELLING UNITS <input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input type="checkbox"/> HORIZ. EXTENSION (REAR)
PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE .....	One-Family Dwelling .....	Two-Family Dwelling
FRONT SETBACK .....	None .....	No Change
SIDE SETBACKS .....	None .....	No Change
BUILDING DEPTH .....	56 feet 6 inches .....	No Change
REAR YARD (TO 2 <sup>ND</sup> FLOOR).....	12 feet 6 inches .....	No Change
REAR YARD (TO 3 <sup>RD</sup> FLOOR).....	None .....	23 feet 0 inches
HEIGHT OF BUILDING (FROM GRADE TO ROOFLINE; AT DE HARO ST) .....	26 feet 6 inches .....	37 feet 6 inches
NUMBER OF STORIES .....	2 .....	3
NUMBER OF DWELLING UNITS .....	2 .....	No Change
NUMBER OF OFF-STREET PARKING SPACES .....	2 .....	No Change
PROJECT DESCRIPTION		

This is a revised fifteen-day public notice to document a clarification in the number of dwelling units and building height. The proposed scope of work includes construction of a one-story vertical addition, a new roof deck, and a new stair penthouse on top of an existing two-story one-family dwelling, which is located on a steep up-sloping lot. On the third floor, the new vertical addition will measure approximately 40 ft wide by 46 ft 9 in long by 11 ft tall, and will also include a narrow 5 ft wide by 36 ft long roof deck. A new stair penthouse and roof deck will be constructed on top of the new vertical addition. A Request for Discretionary Review has been filed and a public hearing has been tentatively scheduled for October 11, 2012.

PLANNER'S NAME: Richard Sucre  
PHONE NUMBER: (415) 575-9108  
EMAIL: richard.sucre@sfgov.org

DATE OF THIS NOTICE: 9-17-12  
EXPIRATION DATE: 10-2-12

# NOTICE OF BUILDING PERMIT APPLICATION GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the site plan and elevations (exterior walls), and floor plans (where applicable) of the proposed project, including the position of any adjacent buildings, exterior dimensions, and finishes, and a graphic reference scale, have been included in this mailing for your information. Please discuss any questions with the project Applicant listed on the reverse. You may wish to discuss the plans with your neighbors and neighborhood association or improvement club, as they may already be aware of the project. Immediate neighbors to the project, in particular, are likely to be familiar with it.

Any general questions concerning this application review process may be answered by the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00 a.m. - 5:00 p.m. Please phone the Planner listed on the reverse of this sheet with questions specific to this project.

If you determine that the impact on you from this proposed development is significant and you wish to seek to change the proposed project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Seek a meeting with the project sponsor and the architect to get more information, and to explain the project's impact on you and to seek changes in the plans.
2. Call the nonprofit organization Community Boards at (415) 920-3820. They are specialists in conflict resolution through mediation and can often help resolve substantial disagreement in the permitting process so that no further action is necessary.
3. Where you have attempted, through the use of the above steps, or other means, to address potential problems without success, call the assigned project planner whose name and phone number are shown at the lower left corner on the reverse side of this notice, to review your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects, which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission over the permit application, you must make such request **within 30 days of this notice, prior to the Expiration Date shown on the reverse side**, by completing an application (available at the Planning Department, 1660 Mission Street, 1st Floor, or on-line at [www.sfplanning.org](http://www.sfplanning.org)). You must submit the application to the Planning Information Center (PIC) during the hours between 8:00 a.m. and 5:00 p.m., with all required materials, and a check, for each Discretionary Review request payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org) or at the PIC located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. If the project includes multi building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the approval (or denial) of the permit application by the Planning Department or Planning Commission may be made to the Board of Appeals within 15 days after the permit is issued (or denied) by the Superintendent of the Department of Building Inspection. Submit an application form in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including their current fees, contact the Board of Appeals at (415) 575-6880.



original

Application for Discretionary Review	
CASE NUMBER: <small>For Staff Use only</small>	12.09280

2000 20th St  
12/19

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: Michael Bastasch		
DR APPLICANT'S ADDRESS: 2001 20th St.	ZIP CODE: 94107	TELEPHONE: (510) 796-7212

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Kennedy Chan		
ADDRESS: 2000 20th St.	ZIP CODE: 94107	TELEPHONE: (650) 995-6109

CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> X		
ADDRESS:	ZIP CODE:	TELEPHONE: ( )
E-MAIL ADDRESS: bastaschmd@hotmail.com		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 2000 20th St.	ZIP CODE: 94107
CROSS STREETS: De Haro St. and 20th St.	

ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
4072 / 023	70 x 40.104	2805	RM-1	40X

## 3. Project Description

Please check all that apply  
Change of Use  Change of Hours  New Construction  Alterations  Demolition  Other

Additions to Building: Rear  Front  Height  Side Yard

Present or Previous Use: single family dwelling

Proposed Use: multi-family dwelling

Building Permit Application No. 2010.12.01.5856 Date Filed: 12/01/2010

2000 2012 54

2419

12.0928D

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

See attached dated memoranda regarding meetings July 3 and 13 between Mr. Chan and Dr. Bastasch, including community meeting held at the Bastasch residence July 3. Additional memorandum delivered to Mr. Kennedy by another neighbor and DR applicant Maria.Crisitini, see her DR for this memorandum.

\_\_\_\_\_  
\_\_\_\_\_

2000 20th St  
3719

## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Generally: Proposed addition is too bulky, roof top deck invades privacy of neighbors, penthouse entry to roof top deck incongruous, faking a 60's style on a true 60's building looks fake, vertical windows are not mimicked in addition, see photos of property, demands on corner homes def. by RDG not satisfied,

Appendix A, memorandum to Mr. Chan of my concerns with references, and meetings minutes; Appendix B, photos of house, view, adjacent property showing verticle windows; Appendix C, modern architectural styles

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Loss of privacy due to proposed roof top deck into my three bedrooms, Gina Emmett's house and yard, Maria Crisitini's house and yard, shadow onto Herman and Marylee Hu, loss of sun into these owners' property, loss public view from 20th St. of downtown/Bay Bridge, undue noise from roof top parties as proposed addition would have six bedrooms, too much bulk from the blocky design, proposal does not add visual emphasis

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

smaller addition set back from De Haro street to preserve the horizontal line of the two adjacent homes as marked by the vertical windows, to preserve the public view of the Bay Bridge and downtown, and to reduce bulky feel of addition, modern design to mark distinction btw mid-century original structure, eliminate roof top deck or make it very small without visual lines into my bedrooms, elimination of penthouse entry, no roof top grilling due to smoke and parties

# Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: *[Handwritten Signature]* Date: 7/15/2012

Print name, and indicate whether owner, or authorized agent:

\_\_\_\_\_  
Owner / Authorized Agent (circle one)

*2000 2012 57*

*5 2 19*

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Convenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/> <i>N/A</i>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

*applicant present*

**NOTES:**

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

*James 7/16/12*

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_

2000 2074 St.

6 of 19

12.0928D

Appendix A  
Communications btw. Kennedy Chan and Neighbors

1. Memorandum
2. Meeting Minutes
  - a. July 3
  - b. July 13

2000 20th St

7 of 19

12.09280

TO: Kennedy Chan

FROM: Michael Bastasch, M.D.

RE: Proposed Addition to 2000 20<sup>th</sup> St, SF 94107

DATE: July 3, 2012

To list the concerns regarding the 311 notice, cf. sec. 101.1 of the Planning Code  
All page references refer back to the Residential Design Guidelines (RDG)

1. Lack of 3D perspective drawing of the proposed addition with *in situ* adjacent buildings limits the understanding of the visual impact of the addition, inhibits the development of additional studies regarding light, privacy, and wind access
2. p. 5 Design Principles;
  - a. scale of addition is too large,
  - b. unclear as to set backs to adjacent building,
  - c. lack of architectural merit in design meaning that no architectural features are present that enhance the neighborhood's eclectic character. It is simply more of the same, pp. 5 and 7,
  - d. visual character of the immediate and broader neighborhood context, p.8, is not enhanced with current design
  - e. corner lot, p. 9, demands strong visual lines and delicate balance that is not present in the current design given the mixed visual character of the area, p. 10
3. Site design, p. 11, the addition does not respect the topography of the steep slope of the hill given the lack of set back from the street, cf. p. 11
  - a. The façade of the addition fails to articulate well with the adjacent buildings, cf. p. 13
  - b. "blank walls" are present
  - c. Addition violates view north of the bay, Bay Bridge, and city skyline from 20<sup>th</sup> street between Deharo and Rhode Island, p. 16, see also p. 19, due to corner lot
  - d. Corner building requires greater visual emphasis, 'Add emphasis with more architectural detailing than found on other buildings on the block face. Design a more complex building form...' This addition fails to comply, p. 19
4. Building scale;
  - a. p. 23, too large when compared to adjacent building north on Deharo, significant set back, cf. p 24 may result in improvement
5. Architectural features;
  - a. Roofline with penthouse is incompatible with surrounding buildings, none of which has a penthouse entrance and rooftop features dominate the

appearance of the addition, a violation of p. 38. The penthouse should be replaced with one of the suggested alternates on p. 38; roof hatch, courts with stairs, exterior rear stairs. The house and addition do not permit the penthouse to follow the slope of the adjacent building as it does not exist nor may it be against the wall of an adjacent building as it does not yet exist. Explicitly cited on p. 38 is the use of a sloped roof with a stair penthouse where the current surrounding buildings do not have sloped roofs

- b. All vents should be aligned in a north-south line in compliance with p. 38 where it states roof top clutter is to be minimized and to reduce visibility from the street
  - c. Windscreens as proposed would increase the apparent height of the building and are not compatible with the surrounding buildings' design
    - i. Should be set back further or eliminated per p. 41 to minimize visibility from the street.
6. Building details
- a. Addition should be markedly different to designate it as new and not merely attempt to mimic what was built historically, p. 43. Too few modern architectural details are included in the current documents to understand how the addition would be an improvement to the neighborhood's appearance. To quote p.44, "Do not use details that...results in building facades designed as replicas of historic buildings."
  - b. Type, color, finish and quality of building material is not specified clearly, p. 47
  - c. Use of different exterior materials is encouraged, p.48, and should be incorporated into this addition to mark it as new and different from the lower two floors and adjacent building to the north.



2000 20<sup>th</sup> St

9 07 19

12.09280

DATE: July 3, 2012, at 5:30 pm

PRESENT: Kennedy and Naomi Chan, owners of 2000th St.

Tyler and Nicole Baron, Michael Bastasch, Maria Cristini, Maureen Ebersole, Gina Emmett, Abrasha Staszewski

SUMMARY: Concerns expressed verbally and in dated memoranda from Michael Bastasch and Maria Cristini concentrated on

1. aesthetics,
2. penthouse access to roof,
3. privacy,
4. light/shadow,
5. bulk of addition
6. requests made included a 3D perspective of 2000 20th St. with the addition including surrounding homes and a shadow analysis for impact on immediately adjacent neighbors, Gina Emmett and Maria Cristini/Abrasha Staszewski

Mr. and Mrs. Chan listened and referred these concerns back to their design team. Their expressed concerns included the loss of the fourth floor and the duration of the planning process.

Additional items in the memoranda were not specifically reviewed in the interest of time. Copies of them were, however, provided to Mr. Chan.

Of note, Planning was not successful in notifying all neighbors by mail despite Mr. Chan's compliance with Planning regulations.

FOLLOW UP: Telephone meeting scheduled for July 13th with Michael Bastasch, office phone, 510-796-7212. The purpose of this call is to hear Mr. Chan's decision regarding the 3D perspective and shadow analysis. Mr. Chan's number is 650-995-6109.

2000 20<sup>th</sup> St.

10 of 19

12.09280

Meeting Minutes

Date: July 13, 2012

Present: Telephone conversation between Kennedy Chan and Michael Bastasch, M.D.

Summary:

1. Mr. Chan relayed that a 3D perspective (created by 3D modeling software) and shadow analysis should be available in the next 'couple of weeks'
2. Penthouse/roof top deck may be redesigned to be out of glass
3. No further set backs are planned from De Haro or 20<sup>th</sup> St as the fourth floor has been already removed
4. No mention of redesigning the 3<sup>rd</sup> story addition to make it modern and not an imitation of the mid century design of the existing structures
5. He offered to provide me the 3D perspective in the form of a computer file via email once it is available
6. Once the 3D perspective, shadow analysis, and redesign are available another neighborhood meeting will be conducted. I will coordinate with him and the neighbors to schedule such a meeting at my home, 2001 20<sup>th</sup> St.

Notes prepared by Michael Bastasch, M.D., 510-796-7212,  
[Bastaschmd@hotmail.com](mailto:Bastaschmd@hotmail.com)

Cc: Kennedy Chan, 650-995-6109  
Maria Crisitini  
Abrasha Staszewski  
Maureen Ebersole  
Tyler and Nicole Baron  
Gina Emett

2000 20th St

11 7 17  
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Appendix B  
Photographs of 2000 20th and surrounding buildings.

These views are from Google Maps, an objective source, that demonstrate

1. the loss of the public view of the city, bay and bridge with any addition,
2. the suffocating aspect of building to the corner when looking north or east
3. the unifying vertical lines of the angled East facing windows and roofline of the two homes presenting visually one structure.

Issues with addition on the West half include loss of public view of the bay, explicitly protected in the RDG p. 18. Additionally, please see the Urban Design Principles wherein it states

"Good views are another product of the street system. A majority of the city's streets may be said to have pleasing views of the Bay, the Ocean, distant hills or other parts of the city. Where good views are not available, streets can still function as open space for use by neighborhood residents and for landscaping to bring some sense of nature to the area."

Reference Principles of Conservation, #17

"Blocking, construction or other impairment of pleasing street views of the Bay or Ocean, distant hills, or other parts of the city can destroy an important characteristic of the unique setting and quality of the city."

Reference Fundamentals Principles for Major New Development, #13

"Bulky buildings that intrude upon or block important views of the Bay, Ocean or other significant citywide focal points are particularly disruptive."

Policy 3.4

"New buildings should not block significant views of public open spaces, especially large parks and the Bay. Buildings near these open spaces should permit visual access, and in some cases physical access, to them."

Any addition visible from the De Haro or the intersection would be too bulky. Additionally it is provided in the Urban Design Principles that

"If San Francisco is to retain its charm and human proportion, certain irreplaceable resources must not be lost or diminished. Natural areas must be kept undeveloped for the enjoyment of future generations. Past development, as represented both by distinctive buildings and by areas of established character, must be preserved. Street space must be retained as valuable public open space in the tight-knit fabric of the city."

\* [http://www.sf-planning.org/ftp/General\\_Plan/I5\\_Urban\\_Design.htm](http://www.sf-planning.org/ftp/General_Plan/I5_Urban_Design.htm)

*The proposed addition further leads to problems of privacy invasion and shadow of the two adjacent properties to 2000 20th Street. In view of these problems, the ideal solution is not shown in the present design.*

12-4-17

2000 90th St. S.F.

12.09280



30th St. crossing De Haro  
Facing North on De Haro

13719 2000 20th St 12.0928D



© 2012 Google. Report a problem. Image Date: April 2011

20th St. facing west @ De Haro  
Illustrating vertical windows & roofline

Spans vertical windows & roofline  
uniting 2 separate homes

2000 20th St  
13a/19



## SOMETHING CLOSE TO A LANDMARK...

**20TH STREET:** This "signature" home on the very special north slope of Potrero Hill preserves that classic look of its period - 1960 - with a truly admirable nod to current lifestyles. To say the view is panoramic is an understatement...you feel as though you can touch downtown. The use of glass and outdoor space is as good as it gets in San Francisco for indoor/outdoor living...even a courtyard with a retractable roof off the master bedroom. A unique property for a special homeowner at around \$1,600,000.

### VERTIGO



A San Francisco detective suffering from acrophobia investigates the strange activities of an old friend's wife, all the while becoming obsessively smitten with her. This psychological thriller is based on *D'Entre Les Morts* (*The Living and the Dead*) by Pierre Boileau and Pierre Ayraud, who wrote it specifically for Hitchcock. Second-unit cameraman, Irmin Roberts, created the famous "zoom out and track in" shot (also called the "trombone shot") to support the sense of vertigo to the viewer. Hitchcock also makes his signature cameo shot about 11 minutes into the film as he walks past Gavin Elster's shipyard carrying a music instrument case

**Producer:** Alfred Hitchcock  
**Director:** Alfred Hitchcock  
**Starring:** James Stewart, Kim Novak  
**Year:** 1958

2000 20th St  
13a/19

12.09287

2000 20th St  
14 9 17

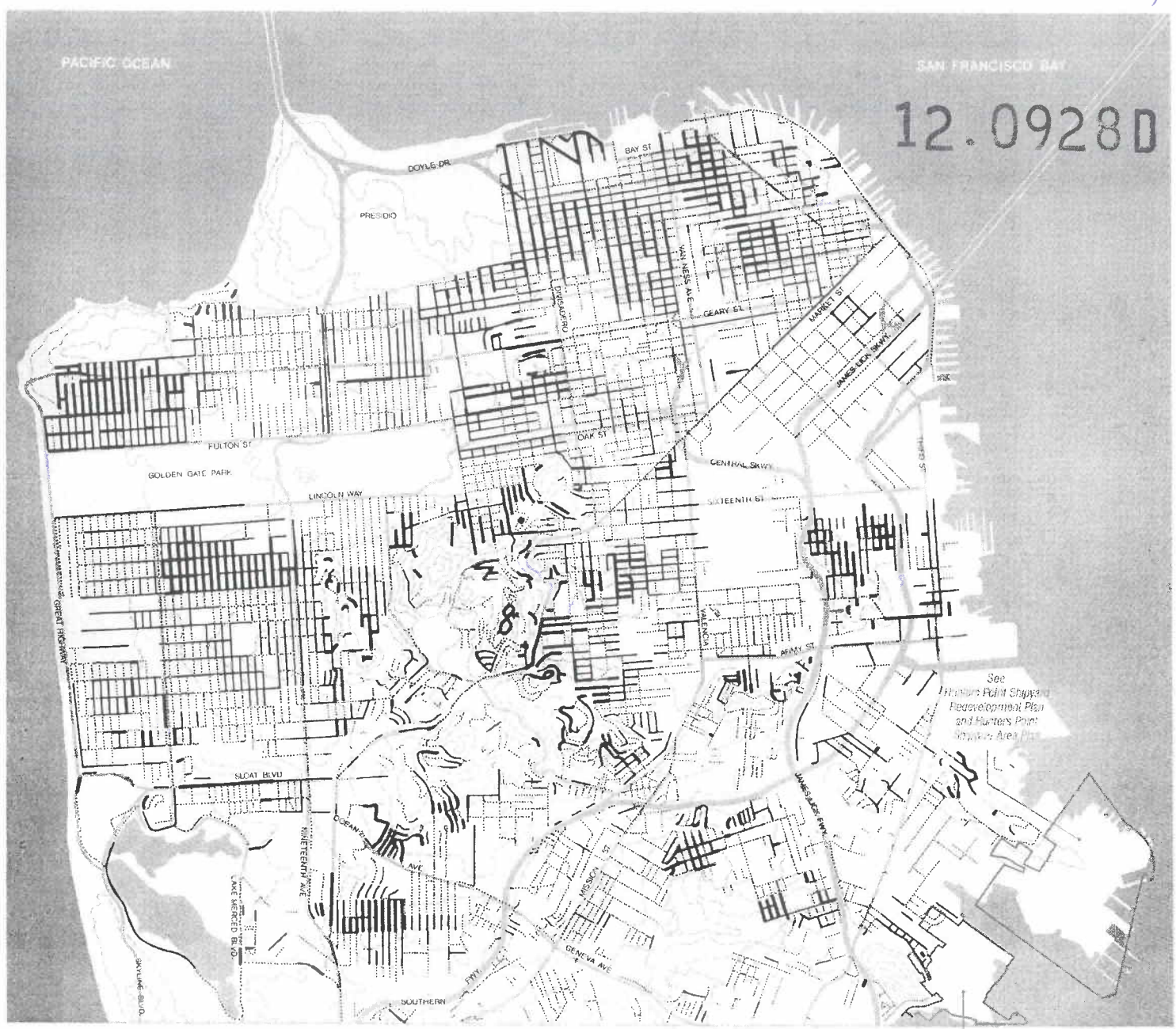
12.09280



20th St @ Rhode Island  
Facing due East. Illustrating public view  
of Bay & city

2000 20th St 15419

12.09280



————— EXCELLENT  
 - - - - - GOOD  
 . . . . . AVERAGE

500  
 Candlestick Point SubArea Plan and  
 Bayview Hunters Point Redevelopment Plan

QUALITY OF STREET VIEWS

**MAP APPROVED BY THE BOARD OF SUPERVISORS**  
 The notation below in areas represents a change which refers to the General Plan that has been approved by the Board of Supervisors after this map was originally adopted. The change will be added to the map during the next map update.

- Add a boundary area around the Hunters Point Shipyard area with a line that leads to a reference that states "See Hunters Point Redevelopment Plan and Hunters Point Shipyard Area Plan."
- Add a boundary area around Candlestick Point with a line that leads to a reference that states "See Candlestick Point SubArea Plan and Bayview Hunters Point Redevelopment Plan."



2000 20<sup>th</sup> St.

16 419

Appendix C

Examples of modern architecture

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17/19

2000 2074 St.



2000 2012 st



12.0928D

18 919

2000 20th St



12.0928D

19/9/19

4072/025  
Gina Emett  
2042 20th St.  
San Francisco CA 94107

4071/019  
Herman and Marylee Hu  
799 De Haro St.  
San Francisco CA 94107

4071/020  
Chris and Valene Cole  
769 De Haro St.  
San Francisco CA 94107

4095/002  
Nicole and Tyler Baron  
804 De Haro St.  
San Francisco CA 94107

4096/063  
Anant Chaudry  
801 De Haro St.  
San Francisco CA 94107

4096/063  
Ayesha Ahmed  
805 De Haro St.  
San Francisco CA 94107

4071/021  
Berry Minott  
Douglas Weihnacht  
763 De Haro St.  
San Francisco CA 94107

4072/024  
Maria Crisitini  
Abrasha Staszewski  
770 De Haro St.  
San Francisco CA 94107

4095/069  
Michael Bastasch  
2001 20th St.  
San Francisco CA 94107

4095/066  
Andrew Merit  
Denis Beaubien  
803 Rhode Island St.  
San Francisco CA 94107

4072/023  
Naomi and Kennedy Chan  
2000 20th St.  
San Francisco CA 94107

4071/017  
Jim Dial  
Steve Pomeroy  
1940 20th St.  
San Francisco CA 94107

4072/024  
Paul DeMeester  
770 De Haro St. #2  
San Francisco CA 94107

4072/025  
Nicola Quilligan  
2040 20th St.  
San Francisco CA 94107

4095/066  
Joel Micucci  
801 Rhode Island St.  
San Francisco CA 94107

4072/007  
Yasmin Concha  
Toshi Hiraoka  
768 De Haro St.  
San Francisco CA 94107

4096/064  
Doug and Maureen Ebersole  
1939 20th St.  
San Francisco CA 94107

4096/063  
Olivier Betancourt  
Gail Grendahle  
803 De Haro St.  
San Francisco CA 94107

4071/023  
John and Susan Moses  
745 De Haro St.  
San Francisco CA 94107

12.0928D

## Sucre, Richard

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**From:** M Bastasch <bastaschmd@hotmail.com>  
**Sent:** Monday, October 01, 2012 10:27 PM  
**To:** Sucre, Richard  
**Subject:** 09/13/12 meeting minutes re: 2000 20th Addition  
**Attachments:** Meeting Minutes September 13.docx

October 1, 2012

Richard,

This is the documentation of the discussion from Sept. 13th. It was our final meeting. After meeting and talking to the Applicant, he discussed a few minor changes to the design. Has he sent new drawings to you reflecting any changes?

Thank you.

Michael Bastasch

## Meeting Minutes September 13, 2012

Present: Kennedy and Naomi Chan (Applicant), Joyce Cheng, Scott Mullen, Abrasha Staszewski, Maria Cristini, Michael Bastasch, M.D.

Topic: Mass, finish detail, addition aesthetics of proposed addition to 2000 20<sup>th</sup> St.

Summary: Requests for substantial mass reduction, deck reduction, design aesthetic of addition to be substantially different from original structure, coherence of altered cladding and details, e.g. front door, alignment of windows from one story to the next—all were met with a negative response by the Applicant.

Areas of possible compromise on Building Design;

1. sound proofing at property line with 770 De Haro
2. west facing windows on addition to be opaque at eye level (solid wall rejected by Applicant)
3. west facing deck wall to be solid (unsure if this meets code)
4. railing may change to thin profile stainless steel wire from solid glass
5. penthouse; Applicant possible to change this to alternate, but he did not commit to it

Areas of agreement during construction and exterior

6. noise remediation by coordinating schedule 'as best as possible' per Applicant
7. fire escape pathway from back yard in form of door to be checked if it were included as an easement
8. landscape retaining walls facing De Haro to match 770 De Haro

The Applicant stated he would think of engaging an architect if the neighbors paid for it, declared that he met all applicable code requirements and did not need to make any further

Notes prepared by Michael Bastasch, M.D.

## Sucre, Richard

---

**From:** M Bastasch <bastaschmd@hotmail.com>  
**Sent:** Tuesday, October 02, 2012 10:18 AM  
**To:** Sucre, Richard  
**Subject:** RE: 09/13/12 meeting minutes re: 2000 20th Addition

Sorry about the piecemeal nature;

1. the elevation is provided to show a. the bulk of the addition, b. the Tuscan door in a mid-century designed home, c. the lack of vertical alignment of the windows of the proposed floor and the existing floor

2. the photograph is provided to show the current, public view of the Bay Bridge and water and gives a sense of open space while walking on the 20th St. side walk

Michael

---

From: [richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)  
To: [bastaschmd@hotmail.com](mailto:bastaschmd@hotmail.com)  
Subject: RE: 09/13/12 meeting minutes re: 2000 20th Addition  
Date: Tue, 2 Oct 2012 16:54:33 +0000

Hi Michael,

I will include the image, as well as the elevation drawing, though it would be helpful to have a write up or an email explaining why you are including these two images.

Also, for future, please provide a consolidated response for all of the items that you would like to include within the Commissioner packets. It is helpful, so that I don't lose track of the items that you want to the Commissioners to review.

Thank you,

Rich

---  
Richard Sucre  
Preservation Technical Specialist/Planner, Southeast Quadrant  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103  
v: 415.575.9108 f: 415.558.6409

[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

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**From:** M Bastasch [<mailto:bastaschmd@hotmail.com>]  
**Sent:** Tuesday, October 02, 2012 9:52 AM  
**To:** Sucre, Richard  
**Subject:** RE: 09/13/12 meeting minutes re: 2000 20th Addition



Please include this picture of the public view off 20th St. of the Bay Bridge and Bay that would be lost with the addition.  
THank you.

Michael

---

From: [richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)  
To: [bastaschmd@hotmail.com](mailto:bastaschmd@hotmail.com)  
Subject: RE: 09/13/12 meeting minutes re: 2000 20th Addition  
Date: Tue, 2 Oct 2012 15:53:55 +0000

Thanks Michael.

I haven't received revisions from Kennedy. I left him a message yesterday to check-in.

Rich

---  
Richard Sucre  
Preservation Technical Specialist/Planner, Southeast Quadrant  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103  
v: 415.575.9108 f: 415.558.6409

[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

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**From:** M Bastasch [<mailto:bastaschmd@hotmail.com>]  
**Sent:** Monday, October 01, 2012 10:27 PM  
**To:** Sucre, Richard  
**Subject:** 09/13/12 meeting minutes re: 2000 20th Addition

October 1, 2012

Richard,

This is the documentation of the discussion from Sept. 13th. It was our final meeting. After meeting and talking to the Applicant, he discussed a few minor changes to the design. Has he sent new drawings to you reflecting any changes?

Thank you.

Michael Bastasch



20th Street Elevation  
Scale: 1/4"=1'-0"



2000

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: Maria Cristini		
DR APPLICANT'S ADDRESS: 770 De Haro Street, San Francisco	ZIP CODE: 94107	TELEPHONE: (415 ) 648-0705
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Kennedy Chan		
ADDRESS: 2000 - 20th Street, San Francisco	ZIP CODE: 94107	TELEPHONE: (650 ) 995-6109
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ( )
E-MAIL ADDRESS: mariacristini@hotmail.com, abrasha@abrasha.com		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 2000 - 20th Street, San Francisco		ZIP CODE: 94107
CROSS STREETS: De Haro Street		
ASSESSORS BLOCK/LOT: 4072 / 023	LOT DIMENSIONS: 70 x 40.104 ft	LOT AREA (SQ FT): 2805
ZONING DISTRICT: RM-1 / 40X		HEIGHT/BULK DISTRICT: 40-X

## 3. Project Description

Please check all that apply

Change of Use  Change of Hours  New Construction  Alterations  Demolition  Other Additions to Building: Rear  Front  Height  Side Yard 

Present or Previous Use: Present Use is a One Family although listed as Two-Family Dwelling on Application

Proposed Use: Two-Family Dwelling (listed as no change but questioning this condition)

Building Permit Application No. 2010.12.01.5856

Date Filed: December 1, 2010

# RECEIVED

## JUL 18 2012

CITY & COUNTY OF S.F.  
DEPT. OF CITY PLANNING  
PIC

4. Actions Prior to a Discretionary Review Request

Prior Action:	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

September 2010 we received his original proposal. A number of neighbors stated concerns. We then did not hear from him about an addition again until June 2012. In June 2012 the 311 notice came in the mail (not to every adjacent neighbor). On July 3, 2012 a number of neighbors met in person with Kennedy and Naomi Chan. We stated our concerns (I did so verbally and in a memorandum which I gave him - see attached). He responded by contacting our neighbor Michael Bastasch MD.

## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Please see the attached detailed information citing the Residential Design Guidelines and correlating concerns including but not limited to: the neighborhood being negatively impacted by a construction that aims to expand the envelope as greatly as possible with one full living floor, one full roof deck, 2 additional decks and a penthouse. This design casts shadows and eliminates light from potentially 3 homes. It eliminates privacy, is large in scale and out of character. The lack of drawing details leaves a lot of unanswered questions.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Please see the attached detailed information citing the RDG and correlating concerns. My property and that of my neighbors would be impacted in so many ways: There would be decreased light, privacy and air into my back yard, bedrooms, bathrooms, entry hall, kitchen. The proposed 2 decks and rooftop space can hold approx. 100 people. The home has 6 bedrooms. I have to assume the roof deck will have lights, heater lamps and BBQ's. The decks are within feet of my windows and that of Gina Emett..

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

An acceptable alternative would be a discreet rooftop deck with non-penthouse entry set back from De Haro Street to preserve the strong corner architecture, design flow with 770 De Haro and with the character of the neighborhood and itself as a building.

12.0928D

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Maria Cristina

Date: 7-17-2012

Print name, and indicate whether  owner, or authorized agent:

MARIA CRISTINI  
Owner / Authorized Agent (circle one)

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Convenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_



12.0928D

July 17, 2012

To Whom It May Concern:

I Maria Cristini hereby authorize Abrasha Staszewski to submit my Discretionary Review paperwork and to act in my behalf at any time during the submission and duration of this DR process.

Sincerely,



\_\_\_\_\_  
Maria Cristini  
770 De Haro Street, San Francisco, CA 94107  
Tel: 415-215-0705



\_\_\_\_\_  
Date

12.09280

TO: San Francisco Planning Department

FROM: Maria Cristini  
Staszewski/Cristini Residence  
770 De Haro Street, San Francisco  
Lot/Block: 4072 / 024

RE: Proposed Addition to 2000 20<sup>th</sup> St, SF 94107  
Owners: Kennedy and Naomi Chan  
Applicant noted: Joyce Cheng, A&J Design Assoc.

**RECEIVED**

**JUL 18 2012**

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PIC

DATE: July 17, 2012

To list the concerns regarding the 311 notice, cf. sec. 101.1 of the Planning Code  
All page references refer back to the Residential Design Guidelines (RDG)

**Of Special Note:**

- The drawings we were provided were 2D hand drawings lacking details, measurements and information to clearly understand the full scope of the project.
- On July 3, 2012 we requested that Kennedy Chan provide us with a 3D drawing.
- We also requested a formal light/shadow analysis from Kennedy Chan to address the concerns described below.

**Neighborhood Character / RDG Page 7:**

The neighborhood character of Potrero Hill is eclectic. This proposed addition is out of context with all its surrounding neighbors' homes particularly on De Haro Street where the main façade of the building sits. It is a bulky and out of proportion addition, which in terms of design is not aesthetically pleasing nor follows the RDG of what is allowable in San Francisco.

The two homes that sit at 2000 20<sup>th</sup> and 770 De Haro are "one" corner building. 770 De Haro is adjacent and connected to 2000 20<sup>th</sup> St., and the two homes were built simultaneously by one original owner. The two residences make up one cohesive design. The proposed addition would destroy the coherency of both homes, which take up the corner of De Haro and 20<sup>th</sup> Streets.

Often neighbors and visitors both don't know that the two properties are separate homes, with separate owners since for the past ½ century they have been treated as one building by all the previous owners. The Chan's being new to the neighborhood might be less sensitive to this neighborhood history.

Please note that when the 2000 20<sup>th</sup> Street property has been photographed, for films and commercials – it's done so along with 770 De Haro as one unified property. (The 20<sup>th</sup> and De Haro Street corner is often used for filming in general).

When Zephyr Realtor promoted the sale of the building the images were featuring the De Haro Street side of the property along with 770 De Haro – although they noted it as 20<sup>th</sup> Street. What appears to be for sale in the image is a combination of 2000 20<sup>th</sup> and 770 De Haro combined. Visually the powerful facade of the building is on De Haro and wraps around to 20<sup>th</sup>. (**see page 8**)

12.0928D

In the Zephyr 2011 gift calendar and on their postcard used to celebrate the sale of the property Zephyr Realtor notes the following – in reference to the property (copies of originals enclosed):

Calendar: (see page 9)

- “SOMETHING CLOSE TO A LANDMARK...”
- “This “signature” home on the very special north slope of Potrero Hill preserves the classic look of its period – 1960...”

Postcard - Just Sold: (see page 10)

- “This special once-in-a-lifetime property is a dramatic residence...”
- “... unique architecture await the new owners of this signature property!”

Zephyr is promoting the strong corner design of the De Haro Street façade to show the beauty, value and unique architectural quality of this building.

This signature 1960’s home of unique architecture has existed on the 20<sup>th</sup> and De Haro Street corner for over 50 years to the pleasure of the neighbors and would be replaced with something that will be negatively impacting the neighborhood.

The addition’s design aesthetic would destroy the coherency of both homes – which is not fair to us specifically (770 De Haro) who purchased the home for it’s architectural elements, have lived in it happily with many neighbors in 2000 20<sup>th</sup> since 1994. This bulky addition – greatly enlarging the envelope of the Chan’s half of the building, would destroy the aesthetic and possibly financial value of our home, currently considered a “signature” home of “unique architecture” too.

We can assure you that the home will no longer be appreciated, referred to, photographed, or filmed as one mid-century classic corner building on Potrero Hill.

Additionally, people from around the Bay Area appreciate this combined corner building and include it on walking tours of Potrero Hill – to point out it’s unique 1960’s architecture. Some also for the fact that the San Francisco icon James Mitchell owned and lived in 2000 20<sup>th</sup> Street with his family for many years. We often see cars and pedestrians stop to look at the corner building as they walk or drive over the 20<sup>th</sup> and De Haro intersection enjoying the views and looking up at the building.

Unfortunately all of this neighborhood history and charm I assume is unknown to the Chan’s who are new to the neighborhood and purchased their side of the building assuming it would be easy for them to build up. This narrow and singular vision would turn this “unique” San Francisco and Potrero Hill property into something unrelated to the neighborhood.

**SITE DESIGN / RDG Page 11 - 13:**

The building does not respect the topography of the site and the surrounding area. The new vertical addition creates a very large bulky mass, which is out of scale and proportion with all the existing homes along the De Haro Street side. (see page 11)

**RDG Pages 16-17:**

- The building impacts light to adjacent properties. The 770 De Haro house just adjacent to the North, and potentially 799 De Haro directly across the street East from the proposed addition, plus 2042 20<sup>th</sup> West on 20<sup>th</sup> would be impacted.

- Specific to 770 De Haro St – Staszewski/Cristini Residence Light Issues impacting 4 skylights and an atrium: (see page 12, 13, 14)
  - In the back of our home are 4 bedrooms, which have sliding doors opening to the back deck and small garden – used primarily by my family and tenant. Natural light can only enter the back of our house through these glass doors.
  - In the center of our top floor apartment we have 3 skylights, which allow light to enter into the 2 bathrooms and a hallway connecting the back rooms of the house.
  - The central common stairwell in the building has a large atrium, which is designed to let in light and fresh air. A huge amount of light and airflow comes in through the open atrium at the center of our home - which fills our stairwell and kitchen area with light, which would otherwise not be there – the light, shines in from the atrium through one window in the kitchen. The atrium is a feature originally designed into our home for the purpose of providing the inhabitants in all three apartments with light.
  - The kitchen also has one skylight, which adds light in the kitchen.
- The proposed additional floor of living space, roof deck, penthouse and two additional decks create a structure large enough to eliminate this natural light into our home. It will block light to the four skylights and atrium causing our light to be significantly diminished. It would cast shadows into our bedrooms, and hallway. The shadow cast into our atrium would eliminate light in our kitchen, and in the common hallway used throughout the day by our tenant and us. This lack of light is a serious concern to our wellbeing. This addition would also greatly eliminate the light flowing into our back yard.
- Additionally when we recently redid our roof it was specifically prepped for solar panel installation. The addition would block light to our roof making the planned installation of energy reducing solar panels no longer feasible.
- The building (with it's large windows and many decks) impacts the privacy to many adjacent properties. (770 De Haro, 799 De Haro, 2001 20<sup>th</sup>, 2040 20<sup>th</sup>, 2042 20<sup>th</sup>, and that of other neighbors)
- The new construction would allow visibility and diminished sound privacy into our bedroom, bathrooms and kitchen. Anyone standing on the proposed back deck at the 2<sup>nd</sup> story would be overlooking our back yard and be about 10 feet from our bedroom sliding door – with a clear view into our bedroom. (see page 15) Also looking straight into the bedroom and bathrooms of the neighbor at 2040 20<sup>th</sup> and into the bedrooms of 2001 20<sup>th</sup>. Anyone standing on the roof deck could look into so many homes including our back yard, and into the homes of every adjacent and not so adjacent neighbor – this proposed 3<sup>rd</sup> story deck creates a major privacy issue.
- There is proposed deck bordering our property line on the roof. Please note that this addition facing North has sliding doors, and decks a few feet away from our kitchen and bathroom skylights – this will eliminate sound privacy.
- The two decks designed into this addition to the North and West plus the entire roof deck (with penthouse) is enough outdoor space to accommodate 100 people easily. This would seriously impact the sound and visual privacy to all the surrounding neighbors (those adjacent and far away).
- The building impacts the quality of airflow and wind to adjacent buildings. Any BBQ activity on any of the 2 decks or roof top deck would create smoke and smells, which will enter our back yard and home.
- Our back yard would be greatly affected. 4 of our rooms with skylights and the central atrium would be affected by diminished light and airflow.

12.09280

## RDG Page 18:

- Addition violates view North of the Bay, Bay Bridge, water and city skyline from the public space of 20<sup>th</sup> street between De Haro and Rhode Island. Walking and driving around Potrero Hill is joyful because of the views – and many of us live here because of that. (see page 16, 17, 18, 19)
- Visitors to Potrero Hill consistently stop and take pictures of the view and of themselves and loved ones - from the public space along both 20<sup>th</sup> and De Haro streets. It's also consistently used for wedding photos, modeling, biking, and skateboarding, movie filming, photo shoots, etc.
- On the "Map Approved by the Board of Supervisors" the "Quality of Street Views" of the 20<sup>th</sup> and De Haro Street corner is currently rated as excellent. The proposed addition would diminish that rating and quality of life that goes with it for everyone who walks and drives by. (see page 20)

## RDG Pages 19-21:

- The building currently has great visual emphasis as a corner building and unified look. As previously mentioned, 770 De Haro and 2000 20<sup>th</sup> (proposing an addition), were built simultaneously by the same designer, builder and owner. Since 1961 the two addresses have been considered "one corner building" a visual mid-century icon and landmark in the neighborhood. Historically this corner building combination has had a significant and positive visual impact for the neighborhood and visitors to Potrero Hill. The previous owners have consistently coordinated paint colors to maintain this much-appreciated look. This emphasis will be eliminated by changes to the outside of either structure. The fact that it's a corner building is more reason to be concerned about every detail.

**Building Scale and Form / RDG Pages 23-27:**

- The building's height and depth is not compatible with the existing building scale at the street, especially with the building that it's attached to (770 De Haro Staszewski/Cristini Residence) - which was built simultaneously and has always matched since 1961.
- There is no set back with the proposed new addition from the front of De Haro St. It is designed to be flush with the existing building. This adds very much bulk and visual weight to the overall property.
- The back (West side) of the proposed construction will greatly impact the light and air flow and give a diminished and claustrophobic feeling to the adjacent properties in the back yard area. The height and depth will greatly impact the back area of 770 De Haro and it's other neighbors especially 2040/2042 20<sup>th</sup> Street. (see page 15)

## RDG Pages 28-30:

- The proposed building's form is not compatible with that of surrounding buildings, or the overall character of the neighborhood.
- The building's facade is not compatible with that of surrounding buildings - especially with 770 De Haro, Staszewski/Cristini Residence built simultaneously in 1961.
- The building's proportions are not compatible with that of surrounding buildings - especially with 770 De Haro St., Staszewski/Cristini Residence built simultaneously in 1961.
- The building's roofline is not compatible with those surrounding it, and is also not compatible with construction on Potrero Hill (the penthouse and roof decks are not in the style of the Potrero Hill neighborhood character).
- The building's new windows are out of character with the existing zigzag windows just below the proposed new floor and overall character on the De Haro Street side.

12.09280

**Architectural Features / RDG Pages 38-41:**

- The stair penthouse is not designed to minimize its visibility from the street - the opposite is true.
- The windscreens will cast more shadows onto the adjacent buildings (and street). The new shadows will most likely darken the entrance and lower floor windows of the house across the street East at 799 De Haro during the afternoon.
- The lack of set backs on the proposed 2<sup>nd</sup> story is out of character with the surrounding homes, and creates an overpowering scale from the street for anyone walking around the neighborhood – and is out of scale with the character of the neighborhood and De Haro Street.
- Top 3<sup>rd</sup> story roof deck area. The glass railing all around the top floor is too close to the edge and out of character with the topography of the neighborhood. (This has a Marina style look – not a Potrero Hill style look and feel.)

**Building Details / RDG Pages 43-44:**

- The placement and architectural details are not compatible with the building and surrounding area.
- As previously mentioned the building's new windows are out of character with the existing windows and overall character on the De Haro Street side.
- It appears that the front door on 20<sup>th</sup> Street is being moved and I think an additional door added for the unit being added. This again makes me think the exterior cladding is going to change since so many sections of the existing structure will be taken out, moved and replaced with new material.
- Some windows are also being removed. The surrounding materials will have to be replaced to match the older material otherwise the exterior cladding will change, for which a permit has not been issued.

**RDG Pages 44-46: The following points are all in questions since there is not enough information provided in the drawings to know if they follow the RDG.**

- Window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood

**RDG Pages 47-48: The following points are all in questions since there is not enough information provided in the drawings to know if they follow the RDG.**

- The type, finish and quality of the building's materials being compatible with those used in the surrounding area and with the existing building itself.
- There is not enough information provided to know if the building's materials will be properly detailed and appropriately applied.
- There is need of a 3D drawing to understand the impact (scale, light/shadow, wind and airflow, privacy issues) of these additional floors.
- One neighbor suggested poles and rope to block off the envelope of the proposed construction so that the neighbors can get a sense of what is actually being proposed.
- The new addition seems to be designed to “look like” the existing building but this is not possible, since the original was built in 1960. This will look like an “addition” and diminish the current visual impact for the neighborhood. This will look like a fake “replica” of something built over 50 years ago.
- If there is to be an addition, it should be it's own stand-alone architectural statement. Not confusing it with the original mid-century architecture of this corner building combination 2000 20<sup>th</sup> and 770 De Haro.
- Note: Every neighbor I have spoken with is confused by the drawings. I have spent hours trying to understand them.

12.092801

**Additional Serious Concerns for 770 De Haro (Staszewski/Cristini Residence), unrelated to the RDG:**

**Structural Assessment:**

The proposed addition will need major foundation work to support it. There is potential for great detrimental impact on our foundation, roof and entire structure - at minimum it will create some settling that will create cracks in our walls, floors, ceilings, roof and/or paint. There is great risk of potential physical damage to our property.

I would like to know what type of structural and geological assessment Kennedy Chan has ordered and what is being planned to eliminate any potential damage to our property. I request proof of a structural assessment from a third impartial party. When I asked Mr. Chan about this he said it "shouldn't" damage your property but this is different from "I assure you it will not" damage your property. Any damage caused to our adjoining property would cause us financial, time, and emotional burden and expenses inappropriate for us to be faced with.

The proposed addition would need substantial foundational work and drilling into the rock of the hill. I question how this has been addressed and the true length of construction time needed to drill into the rock to correctly support this proposed bulky structure.

**Exterior Cladding:**

I'm concerned that if the proposed addition is built that the original exterior cladding on the existing structure will be changed and/or removed and replaced with something to match the new construction. This would completely destroy the architectural integrity of the corner building, which our 770 De Haro Street home is a part of.

**Working from my Home/Office:**

I am a Professional Certified Life and Business Coach. Since the year 2000, I've worked on the telephone from my home/office with clients nationally and internationally. A quiet environment is of utmost importance to my ability to listen, talk, and focus. This is how I generate income. I schedule calls between 8:00 AM – 5:30 PM weekdays to accommodate clients nationally and in Europe. When I asked Kennedy Chan how long the proposed construction would take, he said 10 – 11 months. This is a serious concern for my ability to conduct my business.

**Representing Neighbors:**

I know this is my DR appeal. I am providing you with a list of neighbors who are concerned and support this appeal. Some of their specific concerns I've noted. (see page 7)

**Question the Number of Residence Units:**

At one point 2000 20<sup>th</sup> Street was a primary residence with a small studio rental (790 De Haro) – 2 units. The owner prior to Kennedy Chan took the studio unit off the market via the Ellis Act. Our understanding is that the home was sold as a single residency. It's currently listed in the public MLS as a single residency and being used this way by the Chan family. If technically a single residence at this time, then the proposed addition adds bedroom and a new entry specifically for the 2<sup>nd</sup> unit as noted in the plans. This would be a "change of use" as far as residency. (see page 8)

**Egress:**

Please note that there is currently a common back fence, with a door between the back yards of 2000 20<sup>th</sup> and 770 De Haro. This egress door has been there a minimum of 25 years. It is our back yard emergency exit in case a fire or other emergency doesn't allow entrance and/or exit through the front of our home. This egress must remain into the future.

12.09280

**Attachment: Representing Neighbors**

Here is a partial list of neighboring homeowners. They share many of the concerns noted on this DR. They want to be kept informed, will be happy to write letters and show up at meetings during this process.

Abrasha Staszewski (Cristini/Staszewski Residence – owner)  
770 De Haro St.

Paul DeMeester  
770 De Haro St. #2

Michael Bastasch  
2001 20<sup>th</sup> St.

Gina Emett  
2042 20<sup>th</sup> St.

Chris and Val Cole  
769 De Haro St.

Berry Minott  
Douglas Weihnacht  
763 De Haro St.

John and Susan Moses  
745 De Haro St.

Yasmin Concha  
Toshi Hiraoka  
768 De Haro St.



12.09280



Sold on 08/03/2010

\$1,630,000

2000 20th St  
San Francisco, CA 94107

BEDS: 3  
BATHS: 3  
SQ. FT.: 2,049  
\$/SQ. FT.: \$796  
LOT SIZE: -

**PROPERTY TYPE: Single-Family Home**

STYLE: Contemporary, Custom  
VIEW: Panoramic, City Lights,  
Water, Bay, Bay Bridge,  
San Francisco, Downtown

YEAR BUILT: 1960  
COMMUNITY: Potrero Hill  
COUNTY: San Francisco  
MLS#: 372148  
SOURCE: San Francisco MLS  
STATUS: Sold



A Potrero Hill Signature Home-this special residence offers expansive glass windows with sweeping views of the SF Skyline, Bay & Bay Bridge! Unique flr. plan w/ expansive liv. -din. - kitch. w/ Zub zero refrig. , granite countertops & built-in barbeque. Center courtyard off mstr. bdrm. has retractable ceiling bringing in the outdoors to living area. Mstr. bdrm. & ba. lead to patio area w/ hot tub. Two more bdrms. & ba. on this level. 1 bdrm. , 1 ba. apt. w/ views-2 cr. s-b-s prkg. -don't miss this!

Listing Provided Courtesy of: Susan Olk, Zephyr Real Estate  
Buyer's agent: Earl Chan, Madison Hunter

12.09280



## SOMETHING CLOSE TO A LANDMARK...

**20TH STREET:** This "signature" home on the very special north slope of Potrero Hill preserves that classic look of its period – 1960 – with a truly admirable nod to current lifestyles. To say the view is panoramic is an understatement...you feel as though you can touch downtown. The use of glass and outdoor space is as good as it gets in San Francisco for indoor/outdoor living...even a courtyard with a retractable roof off the master bedroom. A unique property for a special homeowner at around \$1,600,000.

### VERTIGO



A San Francisco detective suffering from acrophobia investigates the strange activities of an old friend's wife, all the while becoming obsessively smitten with her. This psychological thriller is based on *D'Entre Les Morts* (*The Living and the Dead*) by Pierre Boileau and Pierre Ayraud, who wrote it specifically for Hitchcock. Second-unit cameraman, Irmin Roberts, created the famous "zoom out and track in" shot (also called the "trombone shot") to support the sense of vertigo to the viewer. Hitchcock also makes his signature cameo shot about 11 minutes into the film as he walks past Gavin Elster's shipyard carrying a music instrument case.

**Producer:** Alfred Hitchcock  
**Director:** Alfred Hitchcock  
**Starring:** James Stewart, Kim Novak  
**Year:** 1958



# Signature Potrero Hill Views Home

2000 20th Street at De Haro Street



Zephyr Real Estate, 4200 17th Street, San Francisco, CA 94114

## Prime North Slope Corner Home with Sweeping City Views • Just Sold at \$1,630,000

This special once-in-a-lifetime property is a dramatic residence with expansive glass windows encompassing sweeping views of the San Francisco skyline, bay, and Bay Bridge! The unique open floor plan features an expansive living/dining/kitchen area with floor-to-ceiling glass windows, bringing the outdoors in. The living room has a wood burning fireplace, the kitchen has been extensively remodeled, and a glassed-in center courtyard has retractable glass ceiling so one may enjoy the fresh air. An array of sophisticated amenities, superb location and unique architecture await the new owners of this signature property! Call me for further details.



**Susan Olk**  
**REALTOR®**  
**415.550.8835**  
susancrs@aol.com  
DRE# 00788097



Cristini Staszewski  
Or Current Resident  
770 De Haro St  
San Francisco, CA 94107

If your home is currently listed, this is not a solicitation.

9410792730 0025



12.0928D

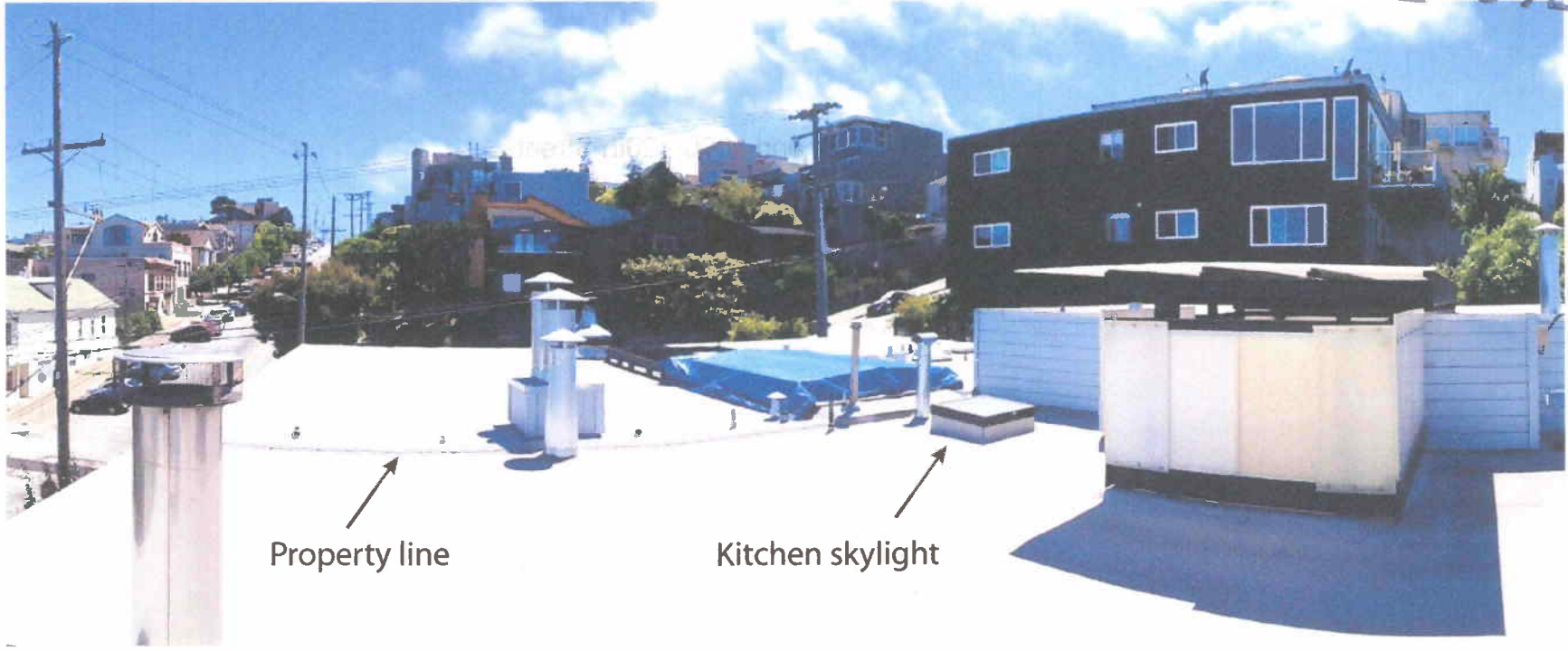
2000 20th Street, Page 11  
of 23





Roof of atrium and skylights to bathrooms and connecting hallway  
at 770 De Haro Street

12.0928D 1



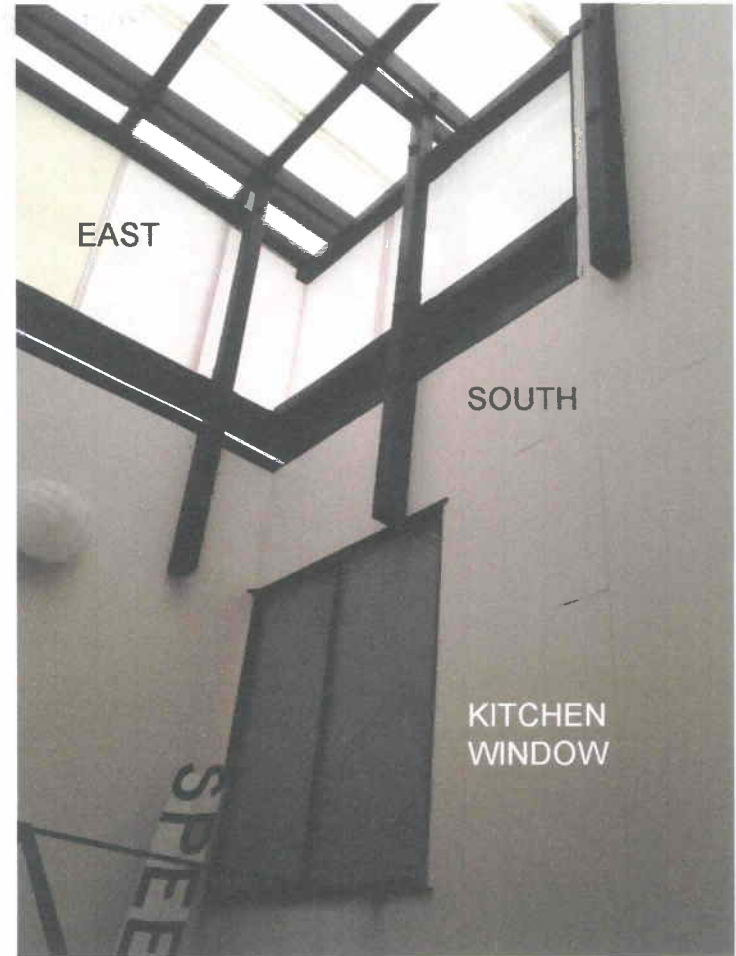
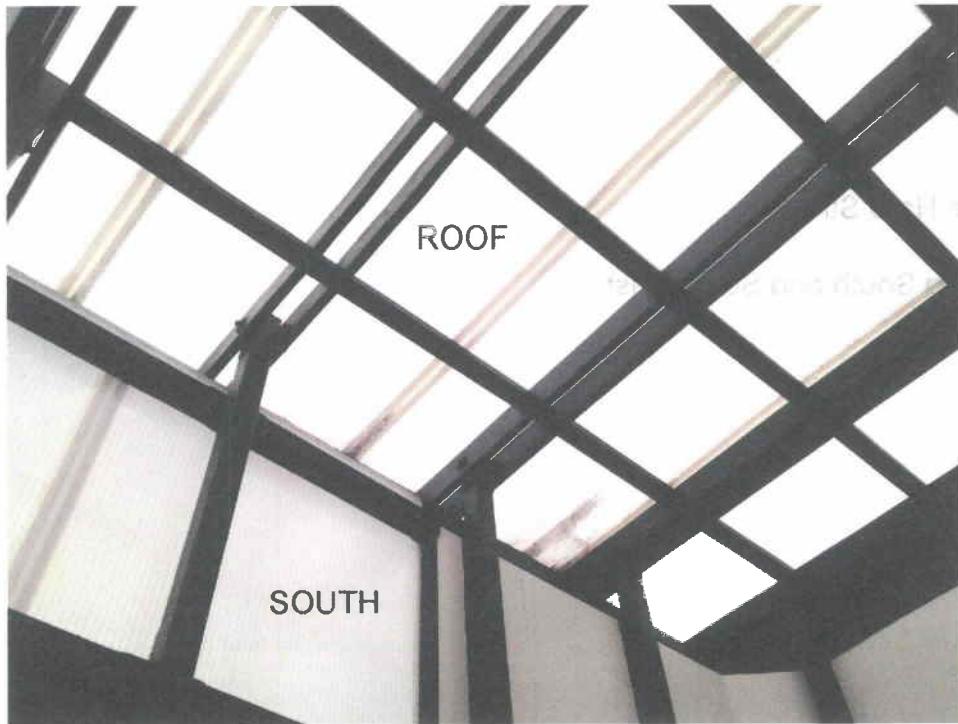
Property line

Kitchen skylight



Atrium

12.09280



Interior of Atrium at 770 De Haro Street





12.09280



2000 - 20th Street View 1  
Existing view

12.09280



2000 - 20th Street View 1  
anticipated neighborhood impact without roof deck, penthouse and back deck  
(rough estimate)

12.09280



2000 - 20th Street View 2  
Existing view



2000 - 20th Street View 3  
Existing view



————— EXCELLENT  
 - - - - - GOOD  
 . . . . . AVERAGE

See  
Candlestick Point SubArea Plan and  
Bayview Hunters Point Redevelopment Plan



**QUALITY OF STREET VIEWS**

**MAP APPROVED BY THE BOARD OF SUPERVISORS**

The notation below in italics represents a recent amendment to the General Plan that has been approved by the Board of Supervisors after this map was originally adopted. The change will be added to the map during the next map update.

- Add a boundary area around the Hunters Point Shipyard area with a line that leads to a reference that states "See Hunters Point Redevelopment Plan and Hunters Point Shipyard Area Plan."
- Add a boundary area around Candlestick Point with a line that leads to a reference that states "See Candlestick Point SubArea Plan and Bayview Hunters Point Redevelopment Plan."

12.0928D

TO: Kennedy Chan

FROM: Abrasha Staszewski and Maria Cristini

RE: Proposed Addition to 2000 20<sup>th</sup> St, SF 94107

DATE: July 3, 2012

To list the concerns regarding the 311 notice, cf. sec. 101.1 of the Planning Code  
All page references refer back to the Residential Design Guidelines (RDG)

Page 11 - 13:

- The building does not respect the topography of the site and the surrounding area.
  - (We are also wondering about the set back of the proposed new addition from the front of De Haro St. It now seems to be flush with the existing building - where as before it was set back a number of feet.)

Pages 16-17:

- The building impacts light to adjacent properties. (both mine and Gina's – uphill on 20<sup>th</sup>)
  - This is a big concern for 770 De Haro St. We have a lot of light coming in from the sliding doors at the back of the house, 4 sky lights into all areas of the house and the huge amount of light that comes in through the open roof fills our hallway and kitchen. All of this would be diminished and/or eliminated by an addition plus roof deck railings. This would also greatly affect the amount of light flowing into our back yard
- The building impacts on privacy to adjacent properties. (both mine and Gina's)
  - The new construction would allow visibility and lack of sound privacy into our bedroom, bathrooms and kitchen.
- The building impacts air flow to adjacent buildings.
  - Our back yard would be greatly affected if not more.
- Addition violates view north of the bay, Bay Bridge, water and city skyline from the public space of 20<sup>th</sup> street between De Haro and Rhode Island

Pages 19-21:

- The building currently has great visual emphasis as a corner building and unified look with 770 De Haro – 2000 20<sup>th</sup> and 770 De Haro have been considered “one corner building” visually since 1961. Historically this corner building combination has had a significant memorable visual impact for the neighbors and visitors to Potrero Hill. This emphasis will be greatly diminished by changes to the structure. The fact that it's a corner building is more reason to be concerned about every detail.

12.09280

Pages 23-27:

- The building's height and depth is not compatible with the existing building scale at the street -especially with the building that it's attached to (Staszewski/Cristini Residence) - which was built simultaneously and has always matched since 1961.
- The back of the proposed construction will greatly impact the light and air flow and give a diminished and claustrophobic feeling to the adjacent properties both in the front of the house and in the back yard area. The height and depth will greatly impact the back area of 770 De Haro and it's other neighbors.

Pages 28-30:

- The building's form is not compatible with that of surrounding buildings.
- The building's facade is not compatible with that of surrounding buildings - especially with Staszewski/Cristini Residence built simultaneously in 1961.
- The building's proportions are not compatible with that of surrounding buildings - especially with Staszewski/Cristini Residence built simultaneously in 1961.
- The building's roofline is not compatible with those surrounding it.
  - The proposed roofline is not compatible with construction on Potrero Hill (penthouses and roof decks are not in the style of Potrero Hill).

Pages 38-41:

- The stair penthouse is not designed to minimize its visibility from the street - the opposite is true.
- The windscreens will cast more shadow onto the adjacent buildings (and street)
  - The new shadow will most likely darken the entrance of the house across the street at 799 De Haro during the afternoon.
- The lack of set backs both on the new 2<sup>nd</sup> story is out of character and of overpowering scale from the street and in terms of neighborhood character.
- Top 3<sup>rd</sup> story roof deck area. The glass railing all around the top floor is too close to the edge and out of character with the topography of the neighborhood.

Pages 43-44:

- The placement and architectural details are not compatible with the building and surrounding area.

Pages 44-46: *The following are all questionable since there is not enough information provided.*

- Windows contributing to the architectural character of the building and neighborhood
- window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood

12.09280

Pages 47-48: *The following are all questionable since there is not enough information provided.*

- The type, finish and quality of the building's materials being compatible with those used in the surrounding area... I think it will look off and clearly like an addition to a currently impeccable design.
- There is not enough information provided to know if the building's materials will be properly detailed and appropriately applied.
- There is need of a 3D drawing to understand the impact of these additional floors
- The new addition seems to be designed to "look like" the existing building but this is not possible, since it was built in 1960. This will look like an "addition" and diminish the current visual impact for the neighborhood. This will appear to look like a replica of something built over 50 years ago.
- The addition should be it's own stand-alone architectural statement – being on a corner and connected to the architecture of 770 De Haro - part of a unified building construction built in 1960.



12.09280

4072/025  
Gina Emett  
2042 20th St.  
San Francisco CA 94107

4072/024  
Maria Cristini  
Abrasha Staszewski  
770 De Haro St.  
San Francisco CA 94107

4072/025  
Nicola Quilligan  
2040 20th St.  
San Francisco CA 94107

4071/019  
Herman and Marylee Hu  
799 De Haro St.  
San Francisco CA 94107

4095/069  
Michael Bastasch  
2001 20th St.  
San Francisco CA 94107

4095/066  
Joel Micucci  
801 Rhode Island St.  
San Francisco CA 94107

4071/020  
Chris and Valene Cole  
769 De Haro St.  
San Francisco CA 94107

4095/066  
Andrew Merit  
Denis Beaubien  
803 Rhode Island St.  
San Francisco CA 94107

4072/007  
Yasmin Concha  
Toshi Hiraoka  
768 De Haro St.  
San Francisco CA 94107

4095/002  
Nicole and Tyler Baron  
804 De Haro St.  
San Francisco CA 94107

4072/023  
Naomi and Kennedy Chan  
2000 20th St.  
San Francisco CA 94107

4096/064  
Doug and Maureen Ebersole  
1939 20th St.  
San Francisco CA 94107

4096/063  
Anant Chaudry  
801 De Haro St.  
San Francisco CA 94107

4071/017  
Jim Dial  
Steve Pomeroy  
1940 20th St.  
San Francisco CA 94107

4096/063  
Olivier Betancourt  
Gail Grendahle  
803 De Haro St.  
San Francisco CA 94107

4096/063  
Ayesha Ahmed  
805 De Haro St.  
San Francisco CA 94107

4072/024  
Paul DeMeester  
770 De Haro St. #2  
San Francisco CA 94107

4071/023  
John and Susan Moses  
745 De Haro St.  
San Francisco CA 94107

4071/021  
Berry Minott  
Douglas Weihnacht  
763 De Haro St.  
San Francisco CA 94107

10/9/2012

**INFORMAL INFORMATIONAL BRIEFING  
of FINDINGS SINCE Discretionary Reviews filed July 2012**

Property: 2000 20<sup>th</sup> Street, San Francisco CA 94107  
Building Permit Application No. 2010.12.01.5856

**SUBMITTED BY:**

Maria Cristini – DR Filed  
Dr. Michael Bastash – DR Filed  
Gina Emmett – DR Filed

**PRIMARY PARTIES INVOLVED:**

**Maria Cristini and Abrasha Staszewski, 770 DE HARO 94107**

- Our home is attached to the North of 2000 20th and 790 De Haro - where the proposed addition is planned – this address is essentially an extension of the same building, design and structure as the Applicants. It is a 3 unit building which we have owned and lived in for 18 years. We are Potrero Hill residents 22 years:
- Unit 3 – 1340 SQ FT. is the apartment we live in and where we raise our 2 children.
- Unit 2 – 650 SQ FT. rented to Paul DeMeester living here 10 years
- Unit 1 - 650 SQ FT. now serves as Maria's home office where she works with clients on the telephone M-F from 8:30 - 5:00 PM. She is a Life & Business Coach. A quiet environment is extremely important for her to focus and serve her clients. Maria's elderly mother comes to visit each winter for 3-5 months and the bedroom in this unit serves as a guest room for her and others.
- 

**Gina Emmett, 2042 and 2040 20TH ST, 94107**

- My home is directly to the West of 2000 20<sup>th</sup> and we share a property line.
- I live in one unit and rent the other unit to Nicola Quiligan and her 5-year-old son.
- I am particularly concerned with the proximity of the West deck in the proposed plans and the windows on the West side of the property. These along with the roof deck all offer the Applicant or future renters or owners direct views into my bedrooms and living rooms. This is also true for many adjacent neighbors.
- The height, mass and extraordinary size of the proposed deck space adds to the density of the tight space between our houses and severely decreases our light and privacy. In addition to the shadow cast both units will have to keep blinds closed day and night for privacy issues that currently do not exist. (see section regarding loss of light – and shadow study). The applicant has not taken into consideration the privacy issues that the positioning of these windows and decks will create.
- The West deck in the proposed plans, sits 12'6" from my property line and bedroom, kitchen and living room windows. The neighbor has already experienced noise issues from parties held by the applicant. Additional decks, glass doors and windows facing my property will only exacerbate this issue.

**Dr. Michael Bastasch, 2001 20th St, 94107**

1. I reached out to the Applicant seven times to arrange meetings, please see the minutes, since June 2012. No change in the submitted plans resulted. The Applicant has been adamant that he wanted all the deck and living space for his family's 'needs'.

**SEE EXHIBIT A – LIST OF IN PERSON AND TELEPHONE MEETINGS WITH MR. CHAN BETWEEN JULY 3 AND SEPTEMBER 13, 2012**

2. The addition is oversized for the site and surrounding structures. An analysis of the median size of homes sold in the 94107 zip code in 2010, the most recent data available on MLS, showed the median size of a single family dwelling was 1206 SQ. FT. His current home is 2880 SQ. FT. for a family of five. A distinction between a need and a want is important here.

3. The Applicant owns 21 properties and lots in the City and bay area. It is logical that dividing the home into two units of this size is potentially another development project. See the attached list of properties.

**NEIGHBORS IN OPPOSITION TO THE PROPOSED PROJECT:**

**SEE EXHIBIT B – PARTIAL LIST OF NEIGHBORS AND ARCHITECTS IN OPPOSITION**

**Applicant: Kennedy Chan lives at 2000 20TH ST, 94107**

**Overview Summary as we know him:**

- Applicant owns a construction company.
- He and his wife Naomi Chan, own 21 properties around the SF Bay Area in their names or the names of their LLC's.
- Purchased 2000 20<sup>th</sup> St. in August 2010 by November 2010 was presenting the neighbors plans for expansion – a 4 floor design and size that showed no sensitivity for the property he owns, his neighbors or the neighborhood he lived in. The only changes that have been made are those he has done to follow the minimal rules with disregard to the neighborhood.

**SEE EXHIBIT C – LIST OF PROPERTIES OWNED BY THE APPLICANT**

In Summary the DR applicants and the neighbors have many concerns:

- Massing of full 3<sup>rd</sup> floor of living space creates loss of thousands of hours of light and increased density on a lot currently having only 12'6" of open space between 3 homes: Applicants, Gina's and Maria's.
- Added 1470 SF FT of open deck space eliminates privacy for all adjacent homes and many neighbors. Definite noise issues from these decks – with just normal living. Potential for large parties by Applicant or future owners.
  - Note: it has come to our attention that the Applicant's proposed North Deck which sits right on the 770 De Haro property line – will be inches away from one of the 770 De Haro's chimneys.
- Topography on De Haro and the lack of height or style relationship with 770 De Haro, with the homes on De Haro Street and its surrounding neighborhood.  
**EXHIBIT D – SHOWING THIS CORNER BUILDING UNIT IN RELATIONSHIP TO ITS NEIGHBORS ON DE HARO NOW – CURRENTLY ALLIGNED IN HEIGHT AND SCALE.**
- Loss of a strong corner "signature" building unit.
- Lack of sensitivity to the neighborhood's character and neighbor's preferences for averaged sized homes, not trophy type buildings.
- West deck sits on Maria and Abrasha's property line, 5FT from their deck and 6FT their bedroom sliding door and only window. This deck is 12'6" from Gina's property line. The West

deck and roof deck allow the Applicant, future renters or owners direct views into at 2 of Maria's bedrooms and back yard (possibly 4) and views into Gina's living spaces as mentioned above.  
**EXHIBIT E – PHOTOS OF WHAT LACK OF PRIVACY TO MARIA AND GINA'S HOUSE WILL LOOK LIKE**

- Potential structural damage to 770 De Haro could not be evaluated due to lack of details and missing demolition plans and calculations.
- Accuracy of 3D Rendering and Shadow Study remain in question due to lack of height measurements of adjacent buildings in the 2D Plans/Blueprints.
- Finish details still missing.
- Elevation plans submitted are not official:

**From:** Scott Mullen [mailto:scott.mullen@sma-arch.com]

**Sent:** Tuesday, September 11, 2012 3:26 PM

**To:** 'Maria Cristini'; 'Kennedy Chan'

**Cc:** abrasha@abrasha.com; sharmila@sma-arch.com; Gina Emett; bastaschmd@hotmail.com

**Subject:** Revised 20th Street Elevation

All,

Please keep in mind that these elevations are being provided as a courtesy to Maria as requested in the meeting. They are again outside of the scope of my contract with Mr. Chan. They are neither design nor official construction documents.

Regards,

Scott

- An addition to this midcentury architecture is highly disputable. If an addition is allowed, it needs to be done with complete sensitivity to 770 De Haro and with the standard recommended set backs for additions being 15FT at minimum on De Haro and 20<sup>th</sup>. – per the RDG pg. 25 (Pg. 28-30 since additionally on a slope).
- No architect has been hired to design this project. Design has been executed by Joyce Cheng, a licensed structural engineer. Don't architects have to sign building plans?

#### **Historical Review:**

Historical review shows many inaccuracies and we are requesting the Commission take this into consideration possibly before proceeding with a hearing – see detailed letter sent by Abrasha Staszewski to Richard Sucre and Commission

#### **Shadow Study Produced by Applicant per Residential Design Team (RDT):**

Generated by SMA Architecture.Planning.Interiors:

Note:

- Gina's House: 2040 20<sup>th</sup> – Total hours of shading per year 106
- Maria's House: total hours of shading per year 1,1475.5 hours to lower roof skylight and 63 hours total to upper roof skylights. (No mention of shading to back yard, which makes this study questionable).

- Per Scott Mullen, President of SMA this is the first time SMA has ever produced a shadow study. Additionally, they take no responsibility for measurements used since they came directly from the plans produced by Joyce Cheng the designer of the 2D plans.
  - The plans submitted by Joyce Cheng don't show any height measurements for the adjacent houses – therefore we remain unsure of how accurate the study is. We don't know how they generated measurements for the placement of Gina's windows or Maria's skylights.
  - No Story Poles have been put up to show accurate shadow cast or height to date.
  - Full Shadow Study has been sent to Richard Sucre per our understanding.
- SEE EXHIBIT F – SUMMARY PAGE OF SHADOW STUDY**

### **3D Rendering:**

- SMA produced the 3D drawing submitted by the Applicant and takes no responsibility for its accuracy since based on 2D plans by Joyce Cheng. It's a 3D sketch that no one takes responsibility for.
- 2D plans and 3D drawing lack finish details that we've been asking for all along.
- There are no details of finishes on the 2<sup>nd</sup> floor of the new construction except for a Tuscan Door on 20<sup>th</sup> street. This is distressing since we are shown that widows are being removed, others added and concrete-asbestos removed and replaced with new panels. The cladding is changing yet there are no details. Words such as "new panel" do not constitute details of finishes.
- The new 3<sup>rd</sup> floor is labeled 2<sup>nd</sup> floor (this is a consistent oversight – throughout documentation)
- We see no permit for changes to the cladding – our understanding is that one is needed.
- Cladding/finishes/color/materials are imperative since the building is one with its neighbor at 770 De Haro.

#### Note:

Many of the mid-century asbestos-concrete panels are being removed and replaced with "new panel(s)". The once linear patterning is being replaced with a random pattern of windows and panels and a Tuscan door (see 20<sup>th</sup> street view). The classic mid-century bay windows are being mimicked by a fake copy, right above and close to the original on De Haro. If approved, the "signature" corner building will become a corner eye sore. One of those "mistakes". Considering the rooms behind these exterior walls, these windows and panels do not need to change.

### **2D Plans:**

Material deficiencies in the submitted 2D plans exist:

- The submitted blueprints lack elevations noted for the adjacent homes,
- There are no demolition plans and calculations
- Detailing of the finishes are missing (nor are they in the 3D rendering).  
With this lack of information, we request that the Commission consider postponing the hearing until accurate and complete 2D plans have been submitted. Otherwise we are proceeding with doubt cast on the shadow study, 3D rendering and elevation drawings. With accurate information Maria and Abrasha can consult with a professional regarding potential damage to their adjacent structure.
- We request "Story Poles" be put on the roof of 2000 20<sup>th</sup> to show the actual height of the proposed new story and penthouse to the neighbors who are having great difficulty reading the blueprints. This will also show accurate shadows cast - at this time of year, which we can compare to the shadow study (checking it's accuracy).
- Once again, we request finish details for all changes to all levels of the new building.

### **OUR RESPONSE TO:**

**"Response to the Discretionary Review" by Joyce Cheng and Applicants**

### **Existing vs. Proposed – Project Details**

	<b>Existing</b>	<b>Proposed</b>
Units	one family	2 Unit
Occupied stories	2	3
Parking Spaces	2	2 (for 6 bedrooms vs. the current 4)
Bedrooms	4	6 (plus a home/office with full closet)
Bathrooms	2.5	6
SQ FT of living space:	2850	4430 (per Joyce Cheng)
Deck space	0	1470 (total SQ FT. per Applicants figures)
Height (At De Haro)	22.6	34' (11'4" step up (+beyond) - above its twin 770)

A two bedroom/ 2 bath unit on Potrero Hill rents for approximately 3300.00 (not 2000.00 as stated by Joyce Cheng) -- (my rent controlled 1 bedroom / 1 bath with a 10 year tenant is at 2175.00)

Projected value (sale price) would be worth well over 1,888,000.- as stated by Joyce Cheng on the DR Response. Possibly 2.5M as the house entering the market a few doors down.

In response to the Applicant:

#1 – The one floor that was removed was never within code. We should have never been presented with that proposal. It's difficult for us to comprehend that a contractor and structural engineer have such little understanding of the RDG. They are making us non-building professionals work very hard to protect ourselves.

#2

1. Glass guardrails on the roof are set back 3 FT on the plans – the response states 48" from perimeter. Not sure which is accurate. Either way the roof deck creates many issues.

4. The set back is on the property line of 770 De Haro and if you plan to have sliding doors and windows facing the downtown and bay view it needs to be set back off the property line (per RDG).

Note: This set back will allow for a light well if the higher height precedent is allowed on De Haro and some owner at 770 De Haro chooses to also build a vertical wall in front of the proposed addition.

3. Issues with all perspectives to show mass and scale noted above – with lack of measurements of adjacent buildings.

6. Please refer to notes regarding shadow study and 1147.5 hours of cast shadow for 770 De Haro and shadow impact on 2040-2042 20<sup>th</sup> in the morning when light is most needed. Plus loss of light due to closing of windows and blinds by many neighbors due to lack of privacy.

7. Once again eliminating one complete floor was not a response to our DR – that was a response to the RDT asking the minimum code requirements.

#3

Unit 1 – 2000 20<sup>th</sup>

We count – Unit 1 to have 4 bedrooms and 4 bathrooms plus a home/office that has a full closet. This unit will measure 3100+ SQ FT. The average size of a one family home in the 94107 area code is 1206 SQ. FT. (which is double the size of the current property.)

## **ADDITIONAL:**

In addition to the letters by architects sent to the Commission, please note the consistent evidence over the years that 2000 20<sup>th</sup>, 790 De Haro and 770 De Haro have been considered one continuous and integral whole building, an ensemble, by third party professionals: See Exhibit E to note how this building has been photographed and promoted.

## **EXHIBIT G – PROMOTIONAL IMAGES FROM REAL ESTATE AGENT**

### Summary and Request

We ask respectfully that the Applicant's request to build be denied.

If, however, the Commission feels the Applicant should be allowed to build, then we ask for the following:

1. Specific answers to the questions laid out in the July 3rd regarding the current, September 6th, plans, e.g. penthouse deck entry, finish details, etc.
2. Use of a Historic Architect to develop a design sensitive to the adjacent building 770 De Haro.
3. Elimination of penthouse entry to roof top deck
4. All windows on West side of property will create privacy issues for 2040 20th Street, therefore eliminate West facing windows and glass doors facing West.
5. Replace the clear glass barrier with thin profile stainless steel wire for roof top deck barrier. Linear alignment of all roof top venting to follow north-south axis.
6. Prohibition against audio speakers, fire pits, grills, anything that produces smoke, any form of lighting on roof top deck
7. Alignment (vertical) of the windows on the addition to those on the lower floor
8. Maintenance of current windows without modification
9. Maintenance of current exterior of building
10. Reduction in deck space with elimination of the west and north deck entirely
11. Reduction in bulk of addition with setbacks from the west and east to 700 sq. ft.
12. Review and correction of the 2D plans as they currently do not show the heights of the adjacent buildings, 2042 20th, 2000 20th or 770 De Haro, these heights may be relevant to the shadow study. The study may not have been accurate as the heights were not provided by the 2D plans. The structural engineer, Joyce Chen, who drew the plans was not the person who created the shadow study.
13. 3D renderings that are legal. Those provided are not guaranteed and were performed purely out of courtesy by the architects who performed the shadow study.
14. Demolition plans
15. Story Poles
16. Historical review to be reperformed by someone new, not Tina Tam, as errors were found in the present one, c.f. Alan Hess, Paul Adamson, et al.

Thank you,  
Maria Cristini and Abrasha Staszewski  
Dr. Michael Bastash  
Gina Emett

**EXHIBIT A - Meeting Minutes July 3 - Sept 13, 2012:**

DATE: July 3, 2012, at 5:30 pm

PRESENT: Kennedy and Naomi Chan, owners of 2000th St.

Tyler and Nicole Baron, Michael Bastasch, Maria Crisitini, Maureen Ebersole, Gina Emett, Abrasha Staszewski

SUMMARY: Concerns expressed verbally and in dated memoranda from Michael Bastasch and Maria Crisitini concentrated on

1. aesthetics,
2. penthouse access to roof,
3. privacy,
4. light/shadow,
5. bulk of addition
6. requests made included a 3D perspective of 2000 20th St. with the addition including surrounding homes and a shadow analysis for impact on immediately adjacent neighbors, Gina Emett and Maria Crisitini/Abrasha Staszewski

Mr. and Mrs. Chan listened and referred these concerns back to their design team. Their expressed concerns included the loss of the fourth floor and the duration of the planning process.

Additional items in the memoranda were not specifically reviewed in the interest of time. Copies of them were, however, provided to Mr. Chan.

Of note, Planning was not successful in notifying all neighbors by mail despite Mr. Chan's compliance with Planning regulations.

Note prepared by Michael Bastasch, M.D.

FOLLOW UP: Telephone meeting scheduled for July 13th with Michael Bastasch, office phone, 510-796-7212. The purpose of this call is to hear Mr. Chan's decision regarding the 3D perspective and shadow analysis. Mr. Chan's number is 650-995-6109.



Meeting Minutes

Date: July 13, 2012

Present: Telephone conversation between Kennedy Chan and Michael Bastasch, M.D.

Summary:

1. Mr. Chan relayed that a 3D perspective (created by 3D modeling software) and shadow analysis should be available in the next 'couple of weeks'
2. Penthouse/roof top deck may be redesigned to be out of glass
3. No further set backs are planned from De Haro or 20<sup>th</sup> St as the fourth floor has been already removed
4. No mention of redesigning the 3<sup>rd</sup> story addition to make it modern and not an imitation of the mid century design of the existing structures
5. He offered to provide me the 3D perspective in the form of a computer file via email once it is available
6. Once the 3D perspective, shadow analysis, and redesign are available another neighborhood meeting will be conducted. I will coordinate with him and the neighbors to schedule such a meeting at my home, 2001 20<sup>th</sup> St.

Notes prepared by Michael Bastasch, M.D., 510-796-7212, [Bastaschmd@hotmail.com](mailto:Bastaschmd@hotmail.com)

Cc: Kennedy Chan, 650-995-6109  
Maria Crisitini  
Abrasha Staszewski  
Maureen Ebersole  
Tyler and Nicole Baron  
Gina Emmett

## Meeting Minutes

DATE: August 13, 2012, at 6:30 pm

PRESENT: Kennedy and Naomi Chan, owners of 2000th St.  
Tyler and Nicole Baron, Michael Bastasch, Maureen & Doug Ebersole, Gina Emmett, SMA architects Scott Mullen and Sharmila Subramanian (authors of shadow study)

SUMMARY: The meeting was held to review the results of the request for a 3D perspective drawing and a shadow study. Requests for these came from the July 3<sup>rd</sup> meeting. No 3D perspective was provided. Shadow study had been sent out as a 19 page pdf document with illustrations at different times of the day and year. Mr. Mullen of SMA showed the illustration of the dynamic changes due to the Earth's rotation in the seasons. He stated that hours would be lost to Ms. Emmett's property especially during the winter months, '...1.5 hours in the morning ending at 9:30 am.' He did not provide quantification of the hours of sunlight lost, hours of new shadow cast, nor an animated view. With Mr. Chan present, I asked Mr. Mullen to provide quantification of the effect of the proposed addition as a sum of hours lost of sun and sum of added shadow for Ms. Emmett and Ms. Cristini. He stated that this was the first shadow study he had performed and explained the technical procedure.

Of note, the 3D perspective was promised to be made available on July 13<sup>th</sup> in a telephone conversation between Mr. Chan and Dr. Bastasch, cf. Telephone Meeting Minutes dated July 13<sup>th</sup>.

Note Prepared by Michael Bastasch

## Meeting Minutes

DATE: August 23, 2012, 11 a.m.

PRESENT: Telephone conversation between SMA architect Scott Mullen and Michael Bastasch

SUMMARY: I called Mr. Mullen as a follow up to the August 13<sup>th</sup> meeting. He stated that the calculations had not been performed yet. He stated that he needed to check with Mr. Chan before releasing the information. I asked that he call me by August 28<sup>th</sup> after having spoken to Mr. Chan and performed the calculations.

Note Prepared by Michael Bastasch

Follow up: September 4, 2012, no return telephone call from either Mr. Mullen or Mr. Chang regarding the calculations. I called and spoke to Sharmila who stated the calculations with summary are completed and should be in email this afternoon.

## Finalized Meeting Notes from: 9/7 at SMA

### Meeting at SMA Architecture 703 Market St. San Francisco

11:00 AM - Noon  
9/7/12

#### Present:

Scott Mullins - SMA  
Sharmila Subramaniam - SMA partner  
Kennedy Chan  
Naomi Chan  
Abrasha Staszewski  
Maria Cristini  
Gina Emmett - on speaker phone with shared video trying to participate via a not great audio speaker system

The meeting focused on the shadow study and answered a few preliminary questions about the 3D drawing which was on display.

Questions asked to confirm the study and 3D.

Kennedy answered:

Confirmed that it is 11'6" existing parapet to the new parapet -- and that the 311 cover page of the permit application is filled in by the Planning Dept. and NOT accurate.

Confirmed that both the shadow study and 3D were done based on the 11'6" measurement

At the end of the meeting - confirmed that there will be greening in the front garden. The existing 3D which we have seen is a preliminary drawing. He stated that the design is evolving.

The bulk of the meeting was to:

Show us the 3 tables that show the quantitative loss of light month by month for:

- Table 1 - Gina's house with 106 hours of shadow impact per year
- Table 2 - Maria & Abrasha's large skylight = Atrium, and upper roof hall skylight and 2 bathroom skylights with 63 hours of shadow impact per year
- Table 3 - Maria & Abrasha's lower roof skylight which is over the kitchen skylight which is severely impacted with 1,147.50 hours of shadow impact per year

Many details about the shadow, time of day of the shadow, the difference between shadow - ambient light and lumens was discussed. The idea of a light tube (that looked like a florescent light but was natural light) to bring natural light back into Maria/Abrasha's kitchen was briefly mentioned.

Note: There are tables, PDF's, a letter and a movie to show all of the shadow effect on the various areas noted

We looked at the drawings and animation/movie of the shadow as it grows in the fall, winter and starts to pull back during the spring and summer

**We were promised to arrive later that day (Friday 9/7 which is past)** this already existing information:

- 2 CD's (for Maria/Abrasha and Gina) or a link so we can download the movie showing the movement of shadow
- We were promised an elevation view of the building both from the De Haro side and 20th street side while waiting for this with the more finalized 3D drawing on the 13th - since this too exists with the shadow study.

**Maria promised to send a list of concerns and questions that the neighbors have. They were sent to Kennedy's team on 9/9/12**

Unlike the email from Scott on 9/6 which stated a 2 week time frame for the final 3D: "Yes, we are producing a 3D perspective rendering for Mr. Chan. I have worked with him to determine his desired materials to be used in the final rendering which will not be completed for another 2 weeks."

**On 9/7 during the meeting we were told that the final renderings would be completed for our next meeting on 9/13 meeting.** At that time we would also be provided a readable paper version of the 2D plan since the design and plan have changed from what was submitted with the permit application.

Kennedy pointed to some of the changes made - since the plan he submitted to the planning commission which our DR is responding to. The 3D drawing is showing those changes and there is a 2D plan created by Joyce Cheng the designer of this project which is driving the 3D rendering produced by SMA.

Gina asked if any changes have been made to the building from the time of the shadow study rendering and the new 3D to diminish the impact of shadow on her home.

The answer to that is No

Kennedy pointed to a change made prior: being the penthouse now being translucent "clear" glass vs. wood.

Maria asked if the back west side deck continues to be in the plan would changing the railing from metal to "clear" glass eliminate some shadow on Gina's house. Scott and Kennedy agreed that it would.

Note: Kennedy assured us that all glass used would be "clear" glass.

When Maria asked if anything could shift/change in the design to eliminate the constant shadow cast on their Kitchen skylight. Everyone agreed that the only change was reduction in the building mass... this became a design issue beyond the scope SMA was hired for or the scope of this meeting.

The meeting ended at this point.

These are notes written of the meeting by Maria Cristini

## Meeting Minutes September 13, 2012

Present: Kennedy and Naomi Chan (Applicant), Joyce Cheng, Scott Mullen, Abrasha Staszewski, Maria Cristini, Michael Bastasch, M.D.

Topic: Mass, finish detail, addition aesthetics of proposed addition to 2000 20<sup>th</sup> St.

Summary: Requests for substantial mass reduction, deck reduction, design aesthetic of addition to be substantially different from original structure, coherence of altered cladding and details, e.g. front door, alignment of windows from one story to the next—all were met with a negative response by the Applicant.

Areas of possible compromise on Building Design;

1. sound proofing at property line with 770 De Haro
2. west facing windows on addition to be opaque at eye level (solid wall rejected by Applicant)
3. west facing deck wall to be solid (unsure if this meets code)
4. railing may change to thin profile stainless steel wire from solid glass
5. penthouse; Applicant possible to change this to alternate, but he did not commit to it

Areas of agreement during construction and exterior

6. noise remediation by coordinating schedule 'as best as possible' per Applicant
7. fire escape pathway from back yard in form of door to be checked if it were included as an easement
8. landscape retaining walls facing De Haro to match 770 De Haro

The Applicant stated he would think of engaging an architect if the neighbors paid for it, declared that he met all applicable code requirements and did not need to make any further

Notes prepared by Michael Bastasch, M.D.

EXHIBIT B – Partial list of neighbors and architects in opposition to the addition

	<b>Neighbors in Opposition</b>	<b>Address</b>
1	Maria Cristini	770 De Haro
2	Michael Bastasch	2001 20 <sup>th</sup> St
3	Gina Emmett	2042 20 <sup>th</sup> St
4	Abrasha Staszewski	770 De Haro
5	Yazmin and Toshi Hiraoka	768 De Haro
6	Chris Cole and Val	769 De Haro
7	Peter Euteneuer	829 De Haro
8	Berry Minot	763 De Haro
9	Allison Heath	333 Mississippi
10	Paul De Meester	770 De Haro #2
11	Judy Minton	447 Connecticut
13	Potrero Boosters	Potrero Hill
14	Theodore McCullough	894 De Haro
15	Nicola Quiligan	2040 20 <sup>th</sup> St.
16	John Dismore	Potrero Hill
17	Amy Scanlon	Potrero Hill
18	Conor Maguire	Potrero Hill
19	Ruth and Jonathan Major	Potrero Hill
20	Les Rubenstein	764 De Haro
21	Melissa and Ryan Lange	Connecticut St.
22	Douglas & Maureen Ebersole	1939 20TH ST
23	Nicole Baron	804 De Haro
24	Tyler Baron	804 De Haro
25	Maureen (?)	Potrero Hill
26	Christopher Sabre	2012 23rd Street

27	Ted McNichol	Buena Vista Park, Park View Lane, SF
28	Sue Schwartz	639 Wisconsin
29	Lance Kleinsmith	18th and Carolina
30	Lael Robertson	512 Missouri St
31	Ruth Major	451 Kansas Street, Unit 446
32	Samantha Luks	2056 20th St / 815-817 Rhode Island
33	Jonathan Major	451 Kansas Street, Unit 446
	<b>THIS IS A PARTIAL LIST OF NEIGHBORS</b>	
	<b>ARCHITECTS &amp; HISTORICAL ARCHITECTS</b>	
	Alan Hess – Architectural Historian	Los Angeles
	Paul Adamson – Architect & Preservation Advocate	Kensington
	Michael Harris – Architect	San Francisco
	Pierluigi Serraino - Architect	Alameda
	Dick Millet – Architect	Potrero Hill / Potrero Boosters
	Gordon Crespo - Architect	San Francisco



## EXHIBIT C – Chan Properties

- 1) 2000 20<sup>th</sup> St. San Francisco, CA 94107-2724
- 2) 253 Miriam Ave. Daly City, CA 94014
- 3) 5 Kimball Place, San Francisco, CA 94109
- 4) 37 Holly Lane, El Sobrante, CA 94803
- 5) 131 Oak Road, Orinda, CA 94563
- 6) APN 4866-011, San Francisco, CA 94109
- 7) 174 Tucker Avenue, San Francisco, CA 94134
- 8) APN 4866-012, San Francisco, CA 94109
- 9) 357 Springbrook, Vallejo, CA 94591
- 10) APN 4866-013, San Francisco, CA 94109
- 11) 3321 68<sup>th</sup> Avenue, Oakland, CA 94605
- 12) APN 4866-001, San Francisco, CA 94109
- 13) 10606 Royal Ann Street, Oakland, CA 94603
- 14) APN 6706-0240, San Francisco, CA 94109
- 15) 3210 East Hills Drive, San Jose, CA 95127
- 16) 210 Seawind Drive, Vallejo, CA 94590
- 17) 9933 C Street, Oakland, CA 94603
- 18) 1032 Castlewood Drive, Vallejo, CA 94591
- 19) 1968 Keswick Land, Concord, CA 94518
- 20) 3000 Irwin Street, Vallejo, CA 94591
- 21) 152 Farallones Street, San Francisco, CA 94112

EXHIBIT D - Topography of corner building on De Haro Street



EXHIBIT E - Lack of privacy



5 feet from 770 De Haro back deck



Occupant in bedroom entering bathroom



Night view into 770 De Haro Bedrooms



West deck looks into 770 De Haro bedrooms and rear yard



West and Roof Deck look into 2040/2042 - 20th Street

### 3. ANALYSIS RESULTS:

#### Gina's House

The **Table 1** document presents the results of our modeling on the residence @ 2040 20<sup>th</sup> Street.

It shows hours of shading in terms of best case, and worst case as measured in a "per day" total shadow affect and then the annual totals as the sum of each days shadow.

Best Case: 0 hours during July

Worst Case: 15 hours during early morning hours of June

Total annual as demonstrated in attached Table 1 chart across an entire year is: 106 hours

#### Maria's House

The **Table 2** document presents the results of our modeling on the **Large Skylight** and upper roof small skylights of 770 De Haro Street.

It shows hours of shading in terms of best case, and worst case as measured in a "per day" total shadow affect and then the annual totals as the sum of each day's shadow.

Best Case: 0 hours during months of February to October

Worst Case: 63 hours over the 3 months of November, December and January

Total annual as demonstrated in attached Table 2 chart across an entire year is: 63 hours

The **Table 3** document presents the results of our modeling on the **Small Skylight** @ Roof of 770 De Haro Street.

It shows hours of shading in terms of best case, and worst case as measured in a "per day" total shadow affect and then the annual totals as the sum of each day's shadow.

Best Case: 0 hours during months of April to August

Worst Case: 1,147.5 hours over the 7 months of September thru March

Total annual as demonstrated in attached Table 3 chart across an entire year is: 1,147.5 hours

### 4. Discussion and Conclusion:

It is important to view the results of this analysis by considering the graphic image package and the attached Tables 1, 2 & 3 as well as this report to see the varying affects throughout each month. The Tables reference the graphic model image booklet with corresponding page number and image letter, i.e. image reference 7a is found on page 7, image "A".

Sincerely,



Scott A. Mullen, AIA, LEED AP  
California Architect Lic. # C 32792  
President



*Signature Potrero Hill Views Home*

2000 20th Street at De Haro Street

*Premiere*  
PROPERTY

## Sucre, Richard

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**From:** Abrasha <abrasha@abrasha.com>  
**Sent:** Monday, October 08, 2012 11:24 PM  
**To:** Sucre, Richard; Tam, Tina  
**Subject:** Re: 2000 - 20th Street, Case No: 2012.0928DDD  
**Attachments:** Letter to Richard Sucre.pdf; Alan Hess letter.pdf; Paul Adamson letter.pdf; Michael Harris letter.pdf; Pierluigi Serraino Letter.pdf

Dear Mr. Sucre,

Attached, please find the letter I have written to you to be included in the package that will be given to the commissioners of the Planning Commission for the discretionary review hearing regarding 2000 - 20th Street.

I also attached several other letters to which I make reference in the letter to you.

With regards,

Abrasha Staszewski



Abrasha Staszewski  
770 De Haro Street  
San Francisco, CA 954107

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

October 8, 2012

Re: 2000 - 20th Street, Case No: 2012.0928DDD

Dear Mr. Sucre,

After reviewing the Historic Resource Evaluation Response (Historical Review) for the above-mentioned property, executed by Senior Preservation Planner Tina Tam, I have come to the conclusion that this is an inaccurately researched and executed document. These inaccuracies cast doubt on the validity of the entire review.

To begin with, the document contains a number of factual errors.

On page 3 of the HRER Ms. Tam writes “ ... Evers Construction Company, bought the empty lot that spanned along 20th Street from De Haro to Rhode Island. ... The company disappears from the City Directory in the mid 1960’s, and was presumably just created for the buildout of the lot. Evers Construction Company subdivided the lot into standard plots and built seven multi-family residences. ...”

Several facts contradict what is written in the Historical Review, which in my mind brings the credibility of the entire review into question.

- Only 5 multi-family residences were built along 20th Street, between De Haro and Rhode Island. 2000 - 20th Street, 2040/2042 -20th, 2050/2052 - 20th, 2056/2058 - 20th, and 785/787 Rhode Island
- Evers Construction Company did not construct all of these 5 residences. In fact they only constructed one, 2000 - 20th Street, and at the same time around the corner 770 De Haro Street.
- Evers Construction did apply for a permit to construct 785/787 Rhode Island (Permit #263835), but this permit application was cancelled. (record at DBI)

Ms. Tam states on page 4 under Criterion 3 of her review: “Based upon the San Francisco Modern Architecture and Landscape Design 1935-1970 Historic Context Statement, this building is a good example of the "Builder-Developer" and "Midcentury Modern (1945-1965)" property type. These buildings represent few of the distinctive characteristics of its style and period and do not possess high artistic value.” She may be correct when she says “these buildings” when referring to typical “Builder-Developer” buildings, but the building in question possesses many if not all of the “distinctive characteristics of its style and period”, and in fact possess a great deal of high artistic value.

Several architectural scholars and historians, also disagree with the conclusions in the review.

Alan Hess, a well known author, architecture critic, historian and advocate for mid-century modern architecture wrote in a letter to you: "... this building is an example of Midcentury Modern architecture that possesses a high artistic value in its execution", and "Because it is a "Category B: Potential Historic Resource" (not Category C as the Response states) under the CEQA Categorical Exemption Determination, it deserves Advanced Historical Review." I have attached his full letter and credentials to this email.

Paul Adamson, a local architect, historian and co-author of "Eichler: Modernism Rebuilds the American Dream" wrote to you: "The building at 2000 20th Street is a fine example of mid-century modernism and more specifically of the second bay region style, and together with 770 DeHaro constitute an exceptionally well composed and well-maintained composition of modern residential architecture", and "2000 20th Street has many of the attributes of the Second Bay Tradition, represented in the City's 2010 survey by works of such master architects as William Wurster and Joseph Esherick. Observation of both 2000 20th Street and 770 DeHaro Street - the two were built at the same time and are either by intention or coincidence an ensemble - yields the conclusion that they have many congruencies with Mid-century Modern and Second bay Tradition architecture as defined in the San Francisco Survey" (see attached full letter)

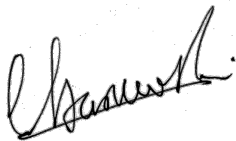
Michael Harris, a local architect, wrote to you: "... the building and its neighbor to the north are fine examples, in original shape, of mid century modern architecture that help define this area of Potrero Hill. One of the unique and defining features being the lightness achieved with the butt glazing in front of the structure on the second floor of the De Haro St elevation." (see attached full letter)

And Pierluigi Serraino, another local architect wrote to you: "... it is indeed one of the most well preserved examples of mid-century modern architecture.", and "There are not that many properties in San Francisco that show the design standard that 2000 - 20th Street / 770 De Haro Street showcases." (see attached full letter)

Which brings me to a point completely overlooked by Ms. Tam that 2000 -20th Street and 770 De Haro Street are in fact inseparable. For all intents and purposes they are one unit, they were designed by the same architect, built at the same time and are aesthetically and structurally one and the same.

In view of the above mentioned discrepancies, and statements from architects with historical expertise in Mid-Century Modern architecture, we request that an advanced historical review be completed by a highly qualified professional well versed in Mid-Century Modern architecture.

With regards,



Abrasha Staszewski  
Maria Cristini

Attachments:

Alan Hess letter, Paul Adamson letter, Michael Harris letter, Pierluigi Serraino letter

101 South Park San Francisco California 94107 USA  
415.243.8272 F 415.543.8679 info@mbh-arch.com

MICHAEL HARRIS | ARCHITECTURE



RE 2000 20<sup>th</sup> ST  
9 September 2012

Dear Mr. Sucre,

I am writing in regard to the proposed additions at 2000 20<sup>th</sup> St. First I would like to point out that the drawings submitted by the applicant are extremely vague and incomplete, on the north elevation it looks as though the building sits on post as nothing is shown below the 2<sup>nd</sup> floor, the new proposed 2<sup>nd</sup> floor (which I would call the third) is shown with nothing below it to the east but I believe the bays from the floor below project beyond it. I do not believe the floor labeled basement is such, as it is above grade on the east, north, and most of the south sides (this may effect the exiting requirements for the proposed floors and roof). It is also difficult to tell the locations and extent of exterior materials. Which is all to say I think it is not possible to adequately judge this project from the materials presented.

I feel that the building and it neighbor to the north are fine examples, in original shape, of mid century modern architecture that help define this area of Potrero Hill. One of the unique and defining features being the lightness achieved with the butt glazing in front of the structure on the second floor of the De Haro St elevation. From what I can understand of the proposed vertical addition, it destroys this aesthetic, its bulk with a solid section of wood panels in the middle and at the north end and its straight wall are too heavy to sit on top of the weightless effect of a glass wall below. I believe the neighborhood design guidelines require that this addition preserve the character defining features of an historic building and provide architectural features that enhance the neighborhoods character, neither of which I believe it does.

Sincerely,

Michael Harris

Subject: Re: 2000 20th St. and 770 De Haro St. Case No: 2012.0928DDD  
From: Pierluigi Serraino <pierluigi@pierluigiserraino.com>  
Date: 9/18/12 11:59 AM  
To: [richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

Mr. Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Dear Mr. Sucre,

I had noticed the property in question quite a while ago and appreciated that it is indeed one of the most well preserved examples of mid-century modern architecture. It is hard to believe that a contractor did it on his own. My hunch is that it was designed by an unlicensed architect with great talent and he delivered a building that should be kept intact as much as possible. There is not a single square foot of this building that is not well-thought out.

The Modern Design Historic Context Statement Case Report from the City of San Francisco lists my research to back up their position. 2000 - 20th Street/770 De Haro Street is even more refined than the Eichlers around town. I would like to point to influences of Warren Callister's work in the detailing, panelization, and the modules used in the front elevation.

While I understand the desire of the homeowner to wanting to increase the square footage of his own property, it would have an adverse effect on the property value of 770 De Haro Street since the design character and integrity of the building would be compromised. There are not that many properties in San Francisco that show the design standard that 2000 - 20th Street / 770 De Haro Street showcases. One way to mitigate the negative impact of this addition would be to substantially recess the additional floor so as to maintain the integrity of the roof line. Ideally the bulk of the addition would not be visible either from 20th Street or De Haro Street. And probably much lighter materials (steel, aluminum, and glass) would make its presence less ominous on the property.

With regards,

Pierluigi Serraino, AIA



PAUL ADAMSON FAIA LEED AP

30 Reed Place  
Kensington, «Address» 94707

c 415.297.8019  
e pwadamson@gmail.com

September 9, 2012  
Richard Sucre  
Preservation Technical Specialist/Planner, Southeast Quadrant  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco CA 94103

RE: Application for additions and alterations to 2000 20th Street

Dear Mr. Sucre,

I am a San Francisco-based architect, writer and preservation advocate. I have practiced in the City for 25 years, written numerous articles on mid century modern residential architecture and planning and coauthored the book, [Eichler: Modernism Rebuilds the American Dream](#). As a preservation advocate I assisted in the successful efforts to have two Eichler communities named to the National Register of Historic Places. I have acted as a liaison between preservation groups, including San Francisco Heritage and docomomo, and advocated on behalf of several preservation efforts in San Francisco. I was contacted recently by neighbors at and near the corner of 20th and DeHaro Streets who are concerned that plans to alter the residence at 2000 20th Street may have an unreasonable impact on their neighborhood and on the quality of their individual residences.

Upon reviewing the documents submitted to the City including plans, elevations, shadow studies and renderings, I feel that their concerns are justified. The building at 2000 20th Street is a fine example of mid-century modernism and more specifically of the second bay region style, and together with 770 DeHaro constitute an exceptionally well composed and well-maintained composition of modern residential architecture. The proposed alterations would significantly change the massing, character and feel of the existing building while compromising views, light and privacy for neighbors and limiting views from the shared public spaces on the adjacent streets.

Apparently the City has not deemed 2000 20th as a historic resource, despite it being the requisite 50 years old and despite its exemplary design. There are many buildings in the City worthy of consideration for historic status which have yet to be formally recognized, yet these structures are vulnerable to alterations or demolition without advocates to recognize in them and to extol the benefits afforded the architectural context and the richness provided our neighborhoods by their presence.

Review of the San Francisco Modern Heritage Survey makes clear the distinctive characteristics of significant modern buildings on San Francisco and the scale of quality by which buildings of this type can be measured. 2000 20th Street has many of the attributes of the Second Bay Tradition, represented in the City's 2010 survey by works of such master architects as William Wurster and Joseph Esherick. Observation of both 2000 20th Street and 770 DeHaro Street - the two were built at the same time and are either by intention or coincidence an ensemble - yields the conclusion that they have many congruencies with Mid-century Modern and Second bay Tradition architecture as defined in the San Francisco Survey.

A neighbor, Abrasha Staszewski, who is one of several nearby residents concerned with the proposed alterations at 2000 20th has gone to extraordinary lengths to enumerate consistencies with significant historic modern styles, and rather than my reiterating or interpreting his appraisals, it might most clearly demonstrate the virtue of this line of reasoning but also effective demonstration of the importance Mr. Staszewski ascribes to this issue and by extension the sentiment of his neighbors if I were to simply attach his analysis. Please see the pages immediately following my letter.

Regarding the currently proposed alterations to 2000 20th Street, I suggest that the design if built as illustrated, would conflict with portions of the Residential Design Guidelines. The rooftop addition certainly would cast shade on the eastward neighbor building, reducing eastern views for neighboring residences and from the public right of way. The roof deck as designed seems excessively large and lacks any remediation for the potential compromise of neighborhood privacy. Aesthetically the addition is uneven and threatens to compromise key features of the original building. The open court entry, a character-defining element and a typical feature of mid-century residential design is omitted in the proposed alteration. Further the addition is styled in ways that are part mimicry and part arbitrary.

In deference to the neighbor's legitimate concerns and with the concept in mind that the ensemble of 2000 20th and 770 DeHaro represent architecture worthy of historic status, I further suggest that the Planning Department consider extending review of this project until designs can be developed that more closely adhere to the intentions of San Francisco's Design Guidelines.

Sincerely yours,

A handwritten signature in black ink, appearing to read 'Paul Adamson', with a horizontal line extending to the right from the end of the signature.

Paul Adamson

**ALAN HESS**  
ARCHITECT  
4991 CORKWOOD LANE  
IRVINE, CA 92612  
949 551 5343  
[alan@alanhess.net](mailto:alan@alanhess.net)

September 10, 2012

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Re: 2000 20th St. and 770 De Haro St.

Dear Mr. Sucre:

I am writing because of my concern about the proposed alterations to 2000 20th St./770 De Haro St. This building is an excellent and intact example of Midcentury Modern architecture, but the drawings submitted for additions indicate that the historical character of the building will be substantially and negatively affected. The building's evident qualities, and its notable integrity, call for further consultation and review related to its historical and architectural status.

I respectfully disagree with the Sept. 27, 2011 Historic Resource Evaluation Response, which found that this building did not qualify under Criterion 3. In my opinion, this building is an example of Midcentury Modern architecture that possesses a high artistic value in its execution. It is more accurately assessed in this category than in the Builder-Developer category. Because it is a "Category B: Potential Historic Resource" (not Category C as the Response states) under the CEQA Categorical Exemption Determination, it deserves Advanced Historical Review.

I offer this opinion as an architect and a historian. Many of my nineteen published books focus on the history of Midcentury Modern architecture, particularly in California. I am also the architecture critic for the *San Jose Mercury News*. I am including my resume with this letter.

In the 1950s, San Francisco architects and builders lead the nation in the design and construction of Modern architecture. These resources are dwindling, however, so good examples that are as well preserved as this must be preserved.

I would like to point out several of the design's sophisticated and character-defining features which make it exemplary and raise it above the Builder-Developer category.

The overall rectilinear composition of the street facades combines several distinctive Modern elements which are handled in a knowledgeable manner that relate to the Modern concept of structural expression. The grid of the wood structure is clearly expressed on the exterior in bands of wood trim with cement-asbestos infill. The various sizes of the banks of windows respond in a straightforward expression of interior functions, creating more light in certain areas, creating privacy in others, and opening even more extensively where the house turns to the view of the city and bay.

These latter, angled view windows on the east facade are of particular note. They are asymmetrical bay windows (angled toward the best view) which extend along the entire top floor. At one point the floor-to-ceiling glass is shortened to counter-to-ceiling, where the kitchen is situated -- an indication of the designer's sensitivity to interior function in his composition of the exterior. The bedroom windows on the middle level on the east side also demonstrate an appropriate functional variation on the angled window motif by adding useable balconies growing from the structure.

One frequent aspect of Bay Area Modernism is its consideration of historic precedent. In these angled windows, the designer has taken the regional bay window (known since the nineteenth century) used to bring light and views into a house, and updates it with the Modern technology of large glass windows, and minimal trim. This is further evidence of the design's sophistication, qualifying it for further historical review.

The site, sloping in two directions, is a demanding one for a three level urban house. And yet the design cleanly composes the expression of the structure, the expression of the interior spaces, and various materials and textures commonly used in Bay Area Modernism. These materials include glass, vertical milled battens, cement-asbestos panel infill, wide eaves, exterior catwalks, and tubular concrete foundations. These concrete columns are, in Modern fashion, exposed on the lowest level, framing the garage door.

Despite the number of features involved, the design remains unified as each element grows out of the underlying Modern concept of structural and functional expression. Modern architecture's hallmarks -- its clean lines and simplicity -- are maintained. The opportunity to use texture for ornamental enrichment (as with the vertical infill battens) is also a sophisticated Modern element. Though it is a multi-unit building constructed in phases, it is clearly designed as one unified architectural statement. This visual unity, in turn, adds to the visual unity of the neighborhood.

Though the designer of this building is identified in the Historic Resource Evaluation Response as a builder-designer (David K. Evers), this does not diminish the building's architectural value. It is today clear that the design is a highly evolved example of Modern design of this period. In this period, several architects notable today were not licensed; also, many buildings were designed by architecture-school-trained draftsmen who had not yet received their licenses; in addition, some licensed architects did "bootleg" designs when they were working for a firm that forbid their employees to do outside work.



Similar approaches to design may be seen in other notable examples of Bay Area architecture. The window angled to the view can be seen in John Dinwiddie's 1938 Roos house, Gardner Dailey's 1941 Telegraph Hill flats, and Henry Hill's 1955 Tanner Dental building; the treatment of a large two-story block on a difficult site can be seen in Wurster Bernardi and Emmon's 1951 Francisco St. townhouse. The design of 2000 20th St. is an original interpretation of such Modern ideas.

With such a noteworthy piece of architectural design, any alterations must be treated very carefully. The additions proposed, however, would greatly diminish the original design. The size of the proposed addition is out of proportion to the original. The proposed top floor is a foot taller than the existing floor beneath it, giving a top-heavy appearance to the well-balanced proportions of the original design.

The drawings submitted do not show sufficient detail to give a thorough assessment of the addition's impact, but what is indicated ignores many of the careful relationships seen in the trim, composition, and structure of the original. Changes to existing windows on the south facade would also alter the original proportions of the design.

The proposal to fill in the existing entry/light court would diminish the transparency and lightness of the original Modern design; openness, natural light, and a connection to the outdoors were all goals of Modern design in this period.

These are only a few examples of the ways the addition would diminish an excellent existing design.

The building at 2000 20th St. is a strong architectural example of the period. This period is one worth preserving as it embodies the progressive, vibrant character of the Bay Area's society, creativity, economy, and population explosion in the midcentury. The proposed alterations, including additions, substantially diminish the original historic Modern character of this building. The beauty of the design derives from the materials and proportions which express the actual structural character of the building. A building of such high quality of design adds to the quality of its neighborhood and the city. In addition, a licensed architect who is fully conversant with this Modern style should be employed to do justice to the original building, and its contribution to the city.

Sincerely,

A handwritten signature in black ink, appearing to read "Alan Hess". The signature is fluid and cursive, with the first name "Alan" being more prominent than the last name "Hess".

Alan Hess



**GRANTS**                   Graham Foundation for Advanced Studies in the Fine Arts,  
research on Brazilian landscape architect Roberto Burle  
Marx, 1990

**LICENSE**                   Licensed architect, California # C 15747

## **SELECTED PUBLICATIONS**

### **BOOKS:**

**Frank Lloyd Wright: Natural Design, Organic Architecture** Rizzoli International,  
New York, 2012

**Casa Modernista: A History of the Brazil Modern House** Rizzoli International, New  
York 2010

**Oscar Niemeyer Buildings** Rizzoli International, New York 2009

**Frank Lloyd Wright: The Buildings** Rizzoli International, New York 2008

**Julius Shulman: Palm Springs** Rizzoli International, New York 2008

**Forgotten Modern: California Houses 1940-1970** Gibbs Smith Publisher, Layton,  
UT 2007

**Frank Lloyd Wright: Mid-Century Modern**, Rizzoli International, New York 2007

**Organic Architecture: The Other Modernism** Gibbs Smith Publisher, Layton, UT  
2007

**Frank Lloyd Wright: Prairie Houses**, Rizzoli International, New York 2006

**Oscar Niemeyer Houses**, Rizzoli International, New York 2006

**Frank Lloyd Wright: The Houses**, Rizzoli International, New York 2005

**The Ranch House**, Harry Abrams, Inc., New York 2005

**Googie Redux: Ultramodern Roadside Architecture**, Chronicle Books, San  
Francisco 2004

**Palm Springs Weekend: the Architecture and Design of a Midcentury Oasis**,  
Chronicle  
Books, San Francisco 2000

**Rancho Deluxe: Rustic Dreams and Real Western Living**, Chronicle Books, San  
Francisco 2000

**The Architecture of John Lautner**, Rizzoli International, New York 1999

**Hyperwest: American Residential Architecture on the Edge**, Thames & Hudson,  
London 1996

**Viva Las Vegas**, Chronicle Books, San Francisco, CA 1993

**The Car and the City**, "Styling the Strip," chap. 13, University of Michigan Press,  
Ann Arbor, MI 1991

**Googie: Fifties Coffee Shop Architecture**, Chronicle Books, San Francisco, CA  
1986

### **MAGAZINES, JOURNALS, AND NEWSPAPERS:**

"Schindler Goes Hollywood," **Los Angeles Review of Books**, May 26, 2012

"New Apple Campus," **San Jose Mercury News**, Sept. 2011

"John Lautner and Los Angeles," **Los Angeles Times**, July 23, 2011

- "Coming to Terms with the Sixties," **National Trust Forum Journal**, Summer 2010 vol 24 no 4
- "Colorful Landmarks: how color shaped public space in 1950s suburbia," **New Geographies**, Harvard Graduate School of Design, Oct 2010
- "The Suburbs and the Ranch House," **California College of the Arts Architecture Studio Series**, 2005
- "The Place of Histories," **Architecture California**, 04:1, 2003
- "Steven Ehrlich house, Pacific Palisades," **Metropolitan Home**, Dec. 2005
- "Montalvo Artists' Village," **Architectural Digest**, June 2005
- "Cliff May's Romantic Mandalay," **Architectural Digest**, May 2005
- "Meeting the Horizon in California, Roscoe House by Helena Arahuete," **Architectural Digest**, Jan. 2005
- "Historic Architecture: Oscar Niemeyer," **Architectural Digest**, May 2003
- "The Place of Histories," **Architecture California**, 04:1, 2003
- "San Jose: A Downtown in the Making," **Places**, vol. 15, no. 2
- "High Art Parking Lot," **Rearview Mirror: Automobile Images and American Identities**, University of California, Riverside 2000
- "Eine kurze Geschichte von Las Vegas," **Stadt Bauwelt** 143, Sept. 1999
- "City Center to Regional Mall," **Journal of Preservation Technology**, vol XXVII, no 4, 1997
- "New York, New York," **Architectural Record**, March 1997
- "John Lautner" **Progressive Architecture**, December 1994
- "The Origins of McDonald's Golden Arches," **Journal of the Society of Architectural Historians**, XLV: 60-67, March 1986
- "Technology Exposed," **Landscape Architecture**, May 1992, pp 38-48
- "Burle Marx: A Shaky Legacy," **Landscape Architecture**, April 1992 p 38
- "Back to Brasilia," **Progressive Architecture**, October 1991 pp 96-97
- "Greenwald house," **Los Angeles Times Magazine**, October 27, 1991, p 31
- "Of Cities and Their Halls," **San Francisco Examiner**, Aug. 7, 1991
- "*American Style* and *Fifties Style*: reviews," **Design Book Review**, Winter 1989
- "Schindler and Goff: Architectures," **L.A. Style**, March 1989
- "Monsanto House of the Future," **Fine Homebuilding**, August/September 1986, No. 34
- "The Eichler Homes," **Arts + Architecture**, Vol. 3, No. 3, 1984

## **SELECTED TALKS**

### **LECTURES:**

Getty Research Institute; Kansas City Modern; Dallas Modern; Arizona Preservation Conference Keynote; Nevada Museum of Art Symposium; Society of Architectural Historians Tour; Commonwealth Club of San Francisco; Society for Commercial Archeology Conference Keynote; Los Angeles Conservancy Welton Becket Centennial Keynote; Columbia University School of Architecture; Houston Modern; Phoenix Modern; Walker Art Museum; Chicago Humanities Festival; Cooper-Hewitt Museum of Design; Yale University School of Architecture; Graham Foundation for Advanced Studies in the Fine Arts; Greenwich (England) National Maritime Museum; Cliff May Lecture, Los Angeles

Conservancy; Vancouver (B.C.) Alcan Lecture Series; Architecture League; International Association of Shopping Center Owners; National Real Estate Editors Association; Colby College Southworth Lecture; Monterey Design Conference; University of British Columbia; National Trust for Historic Preservation Conference; AIA 2005 National Convention, Las Vegas; Hammer Museum Symposium; San Francisco AIA; California Preservation Foundation; Schusev State Museum of Architecture, Moscow.

#### **BROADCAST MEDIA AND FILMS:**

**"William Krisel, Architect,"** DesignOnScreen Foundation, 2010  
**"A Kick in the Head—The Lure of Las Vegas,"** BBC-TV January 2010  
**"Journeyman Architect: The Architecture of Donald Wexler,"**  
DesignOnScreen 2009  
**"Desert Utopia,"** DesignOnScreen, 2008  
**Which Way LA,** KCRW-FM, July 7, 2008  
**Which Way LA,** KCRW-FM July 27, 2007  
**The Late Show,** BBC-TV January 16, 1995  
**CBS Sunday Morning News with Charles Kuralt,** January 23, 1994  
**Good Morning America,** August 3, 1993  
**CBS Morning News,** Jan. 17, 1990  
**Videolog,** KCET, Los Angeles, June 1985  
**Patrick Monroe Show,** CBC Radio, February 1987  
**Morning Edition,** NPR, May 2, 1986  
**Smithsonian World,** "Speaking Without Words," PBS, March 1984

#### **SELECTED REFERENCES TO WORK**

Thomas Hines, **Architecture of the Sun,** 2010  
"Las Vegas meets la-la land," **Smithsonian,** October 1995  
"In Los Angeles, a '50s Flameout," **New York Times,** September 7, 1995  
"Oldest McDonald's Closes," **New York Times,** March 6, 1994  
"Would Las Vegas Landmark Be an Oxymoron?" **New York Times,** Oct. 7, 1993  
"Restaurant Architecture," **Journal of the Society of Architectural Historians,**  
XLVIII:2, June 1989  
"Legacy of the Golden Arches," **TIME,** June 2, 1986  
"Books: Pop Style to Free Style," **Progressive Architecture,** December 1986  
"Googie: Fifties Coffee Shop Architecture, a review," **Architectural Record,** May  
1986  
"Who Says It's Not a Landmark?" **Historic Preservation,** November/December  
1987  
"Googie -- History Closing the Menu on a 1950s style," **Los Angeles Times,** June  
9, 1986  
"Now let's hear it for Googie style," **Vancouver Sun,** February 5, 1987  
"Architecture and Design reviews," **Philadelphia Inquirer,** November 30, 1986  
"Architecture To Go," David Dillon, **Dallas News,** June 22, 1986  
"Googie: Fifties Coffee Shop Architecture," **Art and Design,** London, June 1986

## Sucre, Richard

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**From:** Abrasha <abrasha@abrasha.com>  
**Sent:** Saturday, September 08, 2012 9:41 PM  
**To:** Sucre, Richard  
**Subject:** 2000 - 20th Street, Case No: 2012.0928DDD  
**Attachments:** Modern Context Study Article - Heritage News.pdf; 2000 20th St Historical Review.pdf

Dear Mr. Sucre,

My name is Abrasha Staszewski. My wife Maria Cristini and I live at 770 De Haro Street.

As you know, our next door neighbor to the South at 2000 - 20th Street, wants to built a large bulky addition to his house. Even though his house has a different address, he also has an additional entrance at 790 De Haro Street, and his house and our house are intimately linked. Both are of the same design, were built at the same time, and are of the same aesthetic. For all intents and purposes they are one and the same building.

We contend that his proposed design violates several areas of the Residential Design Guidelines, and have filed a Discretionary Review. Two of our neighbors have done the same. I believe the meeting in front of the Planning Department is scheduled for September 20.

On page 4 of the San Francisco Planning Department Historic Resource Evaluation Response the preservation planner states "Based upon the San Francisco Modern Architecture and Landscape Design 1935-1970 Historic Context Statement, this building is a good example of the "Builder-Developer" and "Midcentury Modern (1945-1965)" property type. These buildings represent few of the distinctive characteristics of its style and period and do not possess high artistic value."

I downloaded the San Francisco Modern Architecture and Landscape Design 1935-1970 Historic Context Statement, which documents the development of Modern architecture and landscape design in San Francisco and outlines registration requirements.

I strongly believe that based on information I found in the document, that the building at 2000 -20th Street/770 De Haro Street was improperly classified as "Builder Developer", and should be reclassified as a true Midcentury Modern, and that we may establish that the building has historical significance.

Please allow me to explain the case as I see it.

See pages 205 and 206 of the document (not page 205 of the pdf file) "Style: Contractor Modern" On page 206 it says: "**To be eligible under Criteria A/1 (Events) or Criteria B/2 (People) a Contractor Modern building would have convey its association with a significant event or person.**"

On page 9 it says: "The thematic focus of the Modern context statement is Modern architectural and landscape design and is therefore focused specifically on Criteria C/3. **On occasion, however, properties related to specific events that have impacted the design and construction of Modern buildings or landscapes should also be evaluated under Criteria A/1.**"

and further on pages 9 and 10

"Integrity

Integrity is the authenticity of physical characteristics from which resources obtain their significance.

**When a property retains its integrity, it is able to convey its significance, its association with events, people, and designs from the past.** Integrity is the composite of seven qualities: location, design, setting, materials, workmanship, feeling, and association. ... "

The building at 2000 - 20th Street / 770 De Haro Street strongly adheres to Design, Setting, Materials (the exterior of the building today is exactly as it was on the day the building was completed), Workmanship, Feeling (the building is unmistakably an Eichler inspired building) and Association. (Again a very strong Eichler association). As an anecdote I would like to add, that when we had first bought our home in 1994 a couple of our friends remarked "Wow, you bought an Eichler." At the time I did not know what that meant. The point I am trying to make is, that a number of people have observed certain characteristics of this building that made them think that our building was clearly an Eichler home.

Given what I have further read in this Context Statement, I strongly feel that we can make a case that we can establish historical significance for this building under Criteria A/1 or even C/3 based on information I found on other pages of the document.

**Page 47.** A photo on the lower right of 242 Amber Drive San Francisco, a "1962 Joseph Eichler single-tract house". <http://tinyurl.com/8e24pr9> I would contend that our building shows strong similarities in design to this building, i.e. exposed joists, floor to ceiling windows.

### **Pages 95 and 96. Themes of San Francisco Modernism.**

*Rejection of Historicism.* " ... Many designs reflect a simple, utilitarian aesthetic, which was often manifested in a box-like form with relatively simple detailing."

#### *Flexible Interior Spaces*

"Le Corbusier's influence is found in the popularity of flexible interior open spaces. Structural design and careful placement of load-bearing walls enabled large, open interiors. ..." Both 2000 - 20th Street and 770 De Haro Street have large open interiors.

#### *Appeal of the Machine Age*

"... Buildings were designed to maximize space and materials, to get the most from the least. There was a clear effort to reveal the honest structural integrity of a building."

#### *New Architectural Vocabulary*

"... The new architectural vocabulary was influenced by concurrent movements in Modern art, particularly the cubic, movement-based abstraction of Cubist paintings. Design elements emphasized the horizontal line. ..."

#### *Indoor / Outdoor Living*

"San Francisco Modern design penetrated the barrier separating interior and outdoor spaces." ... "New design strategies such as residential atriums and enclosed courtyards expanded livable space into the outdoors." (2000 - 20th has an indoor atrium with a retractable glass roof.) ... "Transparent materials such as sliding glass doors and large expanses of glass integrated the inside with the outside." (The top floor of 770 De Haro Street has no walls facing East and North. Facing East are large floor to ceiling windows, facing North are floor to ceiling sliding doors.)

### **Pages 101 - 106. Materials for Modern Design**

Page 105 *Cement-Asbestos Siding* Both 2000 - 20 Street and 770 De Haro Street have the Cement-Asbestos siding.

## Pages 109 - 114. Bay Region Modernism (1937-1964)

Page 111. The photo on the lower left show 101 Mountain Spring Avenue, San Francisco.

<http://tinyurl.com/9ex5k54> This building shows very strong similarities with the building at 2000 - 20th Street/770 De Haro Street. Exposed joists, large floor to ceiling windows, decks, sliding aluminum framed doors.

## Pages 121 - 122. Midcentury Modern (1945-1965)

Midcentury Modern design elements include cantilevered roofs and overhangs, the use of bright or contrasting colors, projecting eaves, canted windows, projecting boxes that frame the upper stories, ... , large expanses of windows, flat or shed roof forms, vertical corrugated siding, ... " All these elements are present in both buildings. A part of 770 De Haro Street used to have vertical corrugated siding. It was replaced with a more contemporary material a few years ago, because it was rotting.

"Midcentury Modern design reflected the emerging philosophy of indoor-outdoor living. Design elements such as overhanging trellises, pergolas, **atriums**, and **planters integrated in the building's design literally wedded the building form to the environment.**" 2000 - 20th Street has a large atrium in the center of the house with a retractable roof. At 770 De Haro Street a large planter is integrated into the entryway. Additionally, in a separate part of the same entryway a part of the Serpentine rock of Potrero Hill has been kept as a design element. At one point this rock had a small cascading waterfall coming down from it with the use of a pump. The waterfall was recycled from a small basin at the foot of the rock.

"Residences **on corner lots** of tract developments often fully embrace Midcentury Modern design elements, more so than houses located mid-block." The building in question is a built on a corner lot.

## Pages 134 - 138. San Francisco's Midcentury Eichlers (1960s)

Page 134 - 135. *Joseph Eichler*. " ... The three firms developed a recognizable Eichler look: flat or low-pitched roofs with projecting eaves; entrances accessed through atriums; open floor plans; glass walls and courtyards; and large, integral garages that dominate the primary façade." Both homes have all these elements. Only 2000 - 20 th Street has a courtyard through which one enters the home.

Page 135. "Interior atriums, an innovative feature frequently found in Eichler houses, ..." (2000 -20th Street)

## Pages 163 - 206. Chapter 8: Modern Styles Evaluative Frameworks

Pages 189 - 195. Style: Midcentury Modern.

### Character-Defining Features

- o Projecting eaves and exposed rafters
- o Cantilevered overhangs
- o Flat, shed or low-pitched gable roof forms
- o Vaulted roofs and overhangs
- o Articulated primary facades
- 
- 
- o Expressed post and beam construction
- o Strong right angles and simple cubic forms
- o Projecting vertical elements
- o Large steel- or wood-framed windows
- o Canted windows
- o Painted finish is often stained, earth tone, or brightly colored
- o Projecting boxes that en-frame the upper stories
- o Atrium or courtyard entryways
-



All these features are present in 2000 -20th Street and/or 770 De Haro Street

**Page 192. *Evaluation Criteria / Integrity Thresholds***

A residential building that qualifies for individual listing on a local, state, and/or national register for its architectural significance would typically be a notable, full expression of the Midcentury Modern style **that incorporates many of the character-defining features.** In order to meet local and state registration requirements under Criterion 3 (Architecture) as an individual resource, a property **would need to retain most of its original character-defining features such that it has integrity of design and materials.**

In evaluating individual examples of the Midcentury Modern architecture, particular attention should be given to retention of windows, cladding materials, and framing features. **Entryways, windows, and roof forms** are typically the most prominent feature of Midcentury Modern residences, therefore, a high importance is placed on the **integrity of fenestration, open courtyard or atrium entryways, and canted or cantilevered roof forms.** Replacement of the front door or window sash would not preclude a building for listing. Common alterations that would exclude a property from listing may include reconfiguration of the window openings or inappropriate vertical additions.

**Buildings that fully embody Midcentury Modern design elements and retain exceptionally high integrity may also qualify for listing in the National Register under Criterion C (Architecture). The relative rarity of the style as applied to a property type should be considered when evaluating buildings for the National Register.**

Page 205 - 206 Style: Contractor Modern

Character-Defining Features

- o Absence of style
- o Simple box-like forms
- o Inexpensive building materials
- o Reference to Modern design added as an afterthought
- o Stucco cladding

*Evaluation Criteria / Integrity Thresholds*

In order to meet local, state or national registration requirements for design, a Contractor Modern building would need to display the characteristics required by Criteria C/3 (Architecture): “the distinctive characteristics of a type, period, or method of construction, work of a master, high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.”

Furthermore, the Historical Review (attached) states on page 7

**"Criterion 2: Property is associated with the lives of persons important in our local, regional or national past.**

Based on the records on file at the San Francisco Assessor's Office the following people have owned the property, shown in chronological order: 1959 - David K. Evers; 1966 - Henry & Emilie S. Van Bergen; 1968 - Michael J. Del Castello; **1972 - James L. & Adrienne R. Mitchell;** 1975 - Glenn & Geraldine Gollihur; 1991 - Garry F. Braid; 1995 - Gay Emanuela; 1997 - Marilyn Wilson-Moore; and 2010 - Kennedy Chan.

I would like to point out, that James Mitchell was one of the (in)famous [Mitchell Brothers](#) well known nationally and internationally for the making of such classic porno movies as *Behind the Green Door*, *Resurrection of Eve*, *Sodom & Gomorrah*, and many others. He was also known for founding the world famous [O'Farrell Theatre](#). As his occupation was frowned upon, he may not have been a very popular figure with the local politicians and police, with which he fought for many years, but he was most definitely an "important local person" who brought millions of dollars of revenue into the coffers of San Francisco. I have on occasion seen walking tours on Potrero Hill pointing to the building and the guides telling the Mitchell story.

According to page 5 of the *Historic Resource Evaluation Response* (page 8 of the pdf file): "... **analysis of integrity was not conducted.**" It is not clear to me why this analysis was not conducted. Can you please explain to me why an analysis of integrity was not conducted.

I would appreciate to receive a response from you?

With regards,

Abrasha Staszewski  
415-648-0705

PS. I am planning to also write this note to the members of the planning commission and will hand deliver it to you on Monday September 10 to make sure that it arrives before the deadline of September 11, so it will be included in the packages the members of the commission receive.

AS

## CONTEXT STATEMENT HIGHLIGHTS THE CITY'S MODERN BUILDINGS AND LANDSCAPES

By *Alexandra Berk*

In February, the Historic Preservation Commission (HPC) reviewed and adopted the *San Francisco Modern Architecture and Landscape Design 1935-1970 Historic Context Statement*, which documents the development of Modern architecture and landscape design in San Francisco and outlines significance, integrity considerations, and registration requirements.

Prepared by Preservation Planner Mary Brown of the San Francisco Planning Department, the context statement was created to provide a framework for consistent, informed evaluations of San Francisco's Modern design buildings and landscapes. It links specific property types to identified themes, geographic patterns, and time periods, and identifies character-defining features of Modern architectural and landscape design. The context statement also provides detailed biographies and lists of local projects by many of the area's most influential architects, landscape architects, and firms. Luminaries such as William Wurster, Joseph Esherick, Mario Ciampi, Laurence Halprin, and Thomas Church are included, as well as lesser-known designers of the region.



Photo by Mary Brown

The first known Modern building in San Francisco, Morrow & Morrow's (design architect for the Golden Gate Bridge) Cowell House (1933) at 171 San Marcos Ave. in the Forest Hill neighborhood.

In San Francisco, a wide spectrum of styles are classified under the umbrella term "Modernism," including early Streamline Moderne storefronts, concrete Brutalist office towers, and the "Contractor Modern" houses found in tract developments. In addition, San Francisco features the work of master architects associated with the Bay Tradition school of regional Modern design and others associated with International style. Many consider the San Francisco Bay Area to be the hearth of Modern landscape design, with the city boasting many influential public and private landscapes designed by master landscape architects.

According to the context statement, approximately 51,000 buildings—more than a third of San Francisco's building stock—were constructed between 1935 and 1970. Building types include

grocery stores and modernized storefronts; architect-designed single-family houses; high-rises; post-war residential tract developments and residential towers; automobile-oriented structures such as motels and service stations; institutional projects including libraries, schools, fieldhouses, religious buildings, and firehouses; and prototypical Modern landscapes.

State Historian Marie Nelson of the California Office of Historic Preservation (OHP) praised the context statement, stating: "[Brown] provides a good discussion of the precursors to modern architectural design and the various developments and expressions of modern architecture and landscape design which other jurisdictions can build upon in understanding and developing a context for their communities."

Development of the Modern context statement was funded, in part, by a \$25,000 grant from the OHP, and was peer reviewed by members of the HPC, National Trust for Historic Preservation, DOCOMOMO, and local historians.

View the context statement online at <http://commissions.sfplanning.org/hpcpackets/2011.0059U.pdf>. Mary Brown will be the keynote speaker at Heritage's Annual Meeting on **Saturday, June 4** (see page 7).



Photo courtesy San Francisco History Room, San Francisco Public Library

Designed in 1962 by Hatch, White, Hermann & Steinau, the medical building at 2233 Post St. was the first commercial building completed under the Western Addition Redevelopment Agency program.



# CEQA Categorical Exemption Determination

SAN FRANCISCO  
PLANNING  
DEPARTMENT

## Property Information

PROJECT ADDRESS	BLOCK/LOT(S)	
2000 20 <sup>th</sup> St	4072 / 23	
CASE NO.	PERMIT NO.	PLANS DATED
2011.0476 E		

### STEP 1 EXEMPTION CLASS

- Class 1: Existing Facilities**  
Interior and exterior alterations; additions under 10,000 sq.ft.; change of use if principally permitted or with a CU.
- Class 3: New Construction**  
Up to three (3) single family residences; six (6) dwelling units in one building; commercial/office structures under 10,000 sq.ft.; accessory structures; utility extensions.

**NOTE:**  
If neither class applies, an *Environmental Evaluation Application* is required.

### STEP 2 CEQA IMPACTS (To be completed by Project Planner)

If condition applies, please initial.

\_\_\_\_\_ **Transportation:** Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?

\_\_\_\_\_ **Air Quality:** Would the project add new sensitive receptors (specifically, schools, colleges, universities, day care facilities, hospitals, residential dwellings [subject to Article 38 of the Health Code], and senior-care facilities)?

\_\_\_\_\_ **Hazardous Materials:** Would the project involve 1) change of use (including tenant improvements) and/or 2) soil disturbance; on a site with a former gas station, auto repair, dry cleaners, or heavy manufacturing use, or on a site with underground storage tanks?  
*Phase I Environmental Site Assessment required for CEQA clearance (E.P. initials required)*

\_\_\_\_\_ **Soil Disturbance/Modification:** Would the project result in the soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in non-archeological sensitive areas?

Refer to: FP ArcMap > CEQA CatEx Determination Layers > Archeological Sensitive Areas

\_\_\_\_\_ **Noise:** Does the project include new noise-sensitive receptors (schools, colleges, universities, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area?

Refer to: FP ArcMap > CEQA CatEx Determination Layers > Noise Mitigation Area

\_\_\_\_\_ **Subdivision/Lot-Line Adjustment:** Does the project site involve a subdivision or lot-line adjustment on a lot with a slope of 20% or more?

Refer to: FP ArcMap > CEQA CatEx Determination Layers > Topography

**NOTE:**  
If ANY box is initialed in STEP 2, Environmental Planner MUST review & initial below. (If not, go to STEP 3)

#### Further Environmental Review Required.

Based on the information provided, the project requires an *Environmental Evaluation Application* to be submitted.

**GO TO STEP 6**

#### Project Can Proceed With Categorical Exemption Review.

The project has been reviewed by the Environmental Planner and can proceed with categorical exemption review.

**GO TO STEP 3**

**STEP 3** PROPERTY STATUS - HISTORICAL RESOURCE

Property is one of the following: (Refer to: San Francisco Property Information Map)

**Category A: Known Historical Resource** **GO TO STEP 5**

**Category B: Potential Historical Resource ( over 50 years of age )** **GO TO STEP 4**

**Category C: Not a Historical Resource or Not Age Eligible ( under 50 years of age )** **GO TO STEP 6**

**STEP 4** PROPOSED WORK CHECKLIST ( To be completed by ALL Planners )

If condition applies, please initial.

- \_\_\_\_\_ 1. **Change of Use and New Construction** (tenant improvements not included).
- \_\_\_\_\_ 2. **Interior alterations/interior tenant improvements.** Note: Publicly-accessible spaces (i.e. lobby, auditorium, or sanctuary) require preservation planner review.
- \_\_\_\_\_ 3. **Regular maintenance and repair** to correct or repair deterioration, decay, or damage to the building.
- \_\_\_\_\_ 4. **Window replacement** that meets the Department's *Window Replacement Standards*.
- \_\_\_\_\_ 5. **Garage opening** that meets the *Guidelines for Adding Garages and Curb Cuts* (not including storefront window alterations).
- \_\_\_\_\_ 6. **Deck, terrace construction, or replacement fences** that are not visible from any immediately adjacent public right-of-way.
- \_\_\_\_\_ 7. **Mechanical equipment installation** not visible from any immediately adjacent public right-of-way.
- \_\_\_\_\_ 8. **Dormer installation** that meets the requirements for exemption from public notification under *Zoning Administrator Bulletin: Dormer Windows*.
- \_\_\_\_\_ 9. **Additions** that are not visible from any immediately adjacent public right-of-way for 150' in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.

**NOTE:**

Project is **not listed:**

**GO TO STEP 5**

Project **does not conform** to the scopes of work:

**GO TO STEP 5**

Project involves **4 or more** work descriptions:

**GO TO STEP 5**

Project involves **less than 4** work descriptions:

**GO TO STEP 6**

**STEP 5** CEQA IMPACTS - ADVANCED HISTORICAL REVIEW ( To be completed by Preservation Planner )

If condition applies, please initial.

- \_\_\_\_\_ 1. Project involves a **Known Historical Resource (CEQA Category A)** as determined by Step 3 and conforms entirely to Scope of Work Descriptions listed in Step 4. (Please initial scopes of work in STEP 4 that apply.)
- \_\_\_\_\_ 2. **Interior alterations to publicly-accessible spaces.**

3. **Window replacement** of original/historic windows that are not "in-kind" but are consistent with existing historic character.

4. **Facade/storefront alterations** that do not remove, alter, or obscure character-defining features.

5. **Raising the building** in a manner that does not remove, alter, or obscure character-defining features.

6. **Restoration** based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

7. **Addition(s)**, including mechanical equipment that are minimally visible from a public right of way and meets the *Secretary of the Interior's Standards for Rehabilitation*.

8. **Other work consistent** with the *Secretary of the Interior Standards for the Treatment of Historic Properties*

Specify:

9. **Reclassification of property status** to Category C

Specify:

See attached HRER, dated 9/27/2011

\* Requires initial by Senior Preservation Planner / Preservation Coordinator

**NOTE:**

If ANY box is initialed in STEP 5, Preservation Planner MUST review & initial below.

**Further Environmental Review Required.**

Based on the information provided, the project requires an *Environmental Evaluation Application* to be submitted.

**GO TO STEP 6**

**Project Can Proceed With Categorical Exemption Review.**

The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review.

**GO TO STEP 6**

tbl

**STEP 6 CATEGORICAL EXEMPTION DETERMINATION**

(To be completed by Project Planner)

**Further Environmental Review Required.**

Proposed Project does not meet scopes of work in either:

(check all that apply)

Step 2 (CEQA Impacts) or

Step 5 (Advanced Historical Review)

**STOP!**

Must file *Environmental Evaluation Application*.

**No Further Environmental Review Required.** Project is categorically exempt under CEQA.

Planner's Signature

Date

10/17/2011

Once signed and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.



# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Resource Evaluation Response

*Date* September 27, 2011  
*Case No.:* 2011.0476E  
*Project Address:* 2000 20<sup>th</sup> Street  
*Zoning:* RM-1 (Residential, mixed, Low density)  
40-X Height and Bulk District  
*Block/Lot:* 4072/023  
*Date of Review:* September 27, 2011 (Part 1)  
*Staff Contact:* Brett Bollinger (Environmental Planner)  
(415) 575-9024  
[brett.bollinger@sfgov.org](mailto:brett.bollinger@sfgov.org)  
Moses Corrette (Preservation Planner)  
(415) 558-6295  
[moses.corrette@sfgov.org](mailto:moses.corrette@sfgov.org)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information.  
**415.558.6377**

### PART I: HISTORIC RESOURCE EVALUATION

#### Buildings and Property Description

Located at the northwest corner of 20<sup>th</sup> and De Haro Streets, 2000 20<sup>th</sup> Street is within the Potrero Hill Neighborhood of San Francisco. The lot of the subject property slopes between 20 to 25 percent down to the north and up to the west.

2000 20<sup>th</sup> Street was constructed in 1959 by designer/builder David K. Evers. It is a two-and three-story, two-family residence. The front of the building faces east and is a two-story, flat-roofed, wood clad structure. A cobblestone driveway, sloped in two directions, leads to a paneled two-car wide garage door. The driveway is flanked by stone walls and terraced planting areas. A centrally located, paneled entry door is found north of the garage door. To the north of the entry door is a large picture window flanked by tall sliding windows that align at the top. Six large, fixed panes of glass installed at angles to create a zigzag window wall characterize the upper floor. Above this second-story, window-wall is a large boxed eave with angled fascia board. The window and door trim is simple, flat painted wood. The simple black trim also divides smooth wall panels into squares and rectangles. A flat eave of wood slats with exposed rafters divides the front elevation and reveals the bottom of the angled windows above.

At the south elevation, the ground floor level emerges from the sloping grade. Slightly recessed from the upper, the lower level features a pattern of regular, vertical painted wood slats. A framework of painted wood is imposed over the wood slats dividing the area into rectangles of alternating sizes. Two steel posts are boxed with painted wood. The upper level of the south elevation is entered from the west. A narrow walkway leads to a flush painted wood door. The wall along the walkway is divided into six rectangular panels with simple wood trim. High rectangular windows are located at the top of each panel. The door opens into an enclosed courtyard. The exterior wall of the courtyard features five tall fixed pane windows with low panels below. The height of the panels aligns with the walkway railing.

Beyond the courtyard to the east, the wall is divided into five panels with high rectangular windows. The eave with angled fascia board does not extend as far out on the south elevation as it does on the east.

### Pre-Existing Historic Rating / Survey

The subject property is not included on any historic resource surveys or listed on any local, state or national registries. The building is considered a "Category B" property (Properties Requiring Further Consultation and Review) for the purposes of the Planning Department's California Environmental Quality Act (CEQA) review procedures due to its being more than 50 years of age (constructed in 1959).

It should be noted that the immediate blocks surrounding the site have not been formally surveyed.

### Neighborhood Context and Description

The Mission San Francisco de Asis was founded in 1776. The area which is now known as Potrero Hill was originally pasture land for the Mission and called "Potrero Nuevo" (or New Pasture).<sup>1</sup> In 1844, Potrero Nuevo was given as a land grant to the twin sons of Francisco de Haro (1792-1849), first "alcalde" (or mayor) of San Francisco.<sup>2</sup> Two years later, the sons were killed as suspects of aiding the Mexican military.<sup>3</sup> After the Gold Rush and subsequent adoption of the State of California into the United States, the De Haro Family tried to retain control of Potrero Nuevo until the courts finally denied ownership in 1878.<sup>4</sup> The steeper slopes of the Potrero Hill area remained undeveloped until well into the twentieth century.<sup>5</sup> In 1955, the San Francisco Planning Department issued a "Neighborhood Improvement Study" for Potrero Hill. This study included proposed changes in "land use;" adding some high-density areas.<sup>6</sup> The residents of Potrero Hill opposed the findings of the study and fought to avoid urban renewal in their neighborhood.

2000 20<sup>th</sup> Street, is located in a primarily residential area with mixed residential dwellings and multi-family buildings from the 1890s to present-day. Streets are regular, and conform to a standard grid rather than topography, resulting in steep streets on this hillside. The residences are designed in a variety of styles, including Victorian, Edwardian, First Bay Tradition, Period Revival and Modern Styles, which reflect the various stages of development within the neighborhood. There are several buildings in the area of the subject building that were included in the Here Today Survey and the 1976 Architectural Survey, but do not form a concentration such that a potential historic district could be identified.

### CEQA Historical Resource(s) Evaluation

#### Step A: Significance

*Under CEQA section 21084.1, a property qualifies as a historic resource if it is "listed in, or determined to be eligible for listing in, the California Register of Historical Resources." The fact that a resource is not listed in, or*

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<sup>1</sup> Linenthal, Peter and Johnston, Abigail. *San Francisco's Potrero Hill*. San Francisco: Arcadia Publishing, 2005. Page 16.

<sup>2</sup> Ibid. Page 17

<sup>3</sup> [http://en.wikipedia.org/wiki/Kit\\_Carson](http://en.wikipedia.org/wiki/Kit_Carson) accessed 3/2/11.

<sup>4</sup> Linenthal, Peter and Johnston, Abigail. *San Francisco's Potrero Hill*. San Francisco: Arcadia Publishing, 2005. Page 19.

<sup>5</sup> Ibid. Page 86.

<sup>6</sup> San Francisco Planning Department. *Potrero Hill Neighborhood Improvement Study*, June 1955. Page 17.



*determined to be eligible for listing in, the California Register of Historical Resources or not included in a local register of historical resources, shall not preclude a lead agency from determining whether the resource may qualify as a historical resource under CEQA.*

Individual	Historic District/Context
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:	Property is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria:
Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 3 - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 3 - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Period of Significance:	Period of Significance: <input type="checkbox"/> Contributor <input type="checkbox"/> Non-Contributor

Based on the information provided by the consultant, Johanna Street, and found in the Planning Department, Preservation staff finds that the subject building is not eligible for inclusion on the California Register either individually nor as a contributor to an eligible historic district.

**Criterion 1: Property is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.**

To be eligible under the event Criterion, the building cannot merely be associated with historic events or trends but must have a specific association to be considered significant. Staff finds that the subject building is not eligible for inclusion on the California Register individually or as a contributor to a potential historic district under Criterion 1.

2000 20th Street was constructed in 1959. According to records at the San Francisco Assessor’s Office, in the late 1950’s, Evers Construction Company, bought the empty lot that spanned along 20th Street from De Haro to Rhode Island. Evers Construction Company was owned by Kenneth Evers (1905-1989) and appears in the San Francisco City Directory in 1959. The offices of the construction company were located at 2100 18th Street, a few blocks from the purchased lot. The company disappears from the City Directory in the mid 1960’s, and was presumably just created for the buildout of the lot. Evers Construction Company subdivided the lot into standard plots and built seven multi-family residences. In the 1955 Study, the lot was zoned for half high density and half medium density residential construction but the zoning was never revised and the buildings constructed are two and three family dwellings.

Additional research has not revealed that any significant events occurred on the property, thus the building is not eligible for listing on the California Register under this Criterion.

It is therefore determined that there is not a California Register-eligible historic district in the neighborhood, and that the property at 2000 20th Street is not eligible under this Criterion.

**Criterion 2: Property is associated with the lives of persons important in our local, regional or national past.**

Based on the records on file at the San Francisco Assessor's Office the following people have owned the property, shown in chronological order: 1959 - David K. Evers; 1966 - Henry & Emilie S. Van Bergen; 1968 - Michael J. Del Castello; 1972 - James L. & Adrienne R. Mitchell; 1975 - Glenn & Geraldine Gollihur; 1991 - Garry F. Braid; 1995 - Gay Emanuela; 1997 - Marilyn Wilson-Moore; and 2010 - Kennedy Chan.

Very little information has been found about David K. Evers, the designer of the building and first owner of the building. A record of his death in 2008 was found but no obituary. No record of David K. Evers, Kenneth Evers or Evers Construction were found in the following searches; Architect & Engineer, Architectural Record, American Institute of Architects Directories, San Francisco Chronicle, Notable San Franciscans Binder at the San Francisco History Room, Biographical Index at the History Room, and the Index of Contracts at the History Room. None of the other owners showed up in the Biographical card catalog at the History Room. Records show that none of the property owners or tenants of the building are important to the local, regional or national past.

Therefore, 2000 20th Street, is not eligible under Criterion 2.

**Criterion 3: Property embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.**

2000 20th Street was constructed in 1959, and while the structure does retain the majority of its features, it does not appear to be eligible for listing on the California Register as an individual resource or as a contributor to a potential historic district under Criterion 3. Based upon the San Francisco Modern Architecture and Landscape Design 1935-1970 Historic Context Statement, this building is a good example of the "Builder-Developer" and "Midcentury Modern (1945-1965)" property type. These buildings represent few of the distinctive characteristics of its style and period and do not possess high artistic value.

2000 20th Street does not appear to relate to any potential historic district or important context in the neighborhood. There are a variety of residential building types and architectural styles located within the area, including late 19th-century and early to mid-20th-century houses, flats, and apartments, which result in a generally mixed architectural character. The block that contains the subject property lacks stylistic consistency and appears to lack potential for inclusion within a historic district.

It is therefore determined not to be eligible under this Criterion either individually or as a contributor to any potential historic district or important context.

**Criterion 4: Property yields, or may be likely to yield, information important in prehistory or history.**

Based upon a review of information in the Departments records, the subject property is not significant under Criterion 4, which is typically associated with archaeological resources. Furthermore, the subject property is not likely significant under Criterion 4, since this significance criteria typically applies to rare construction types when involving the built environment. The subject property is not an example of a rare construction type.

**Step B: Integrity**

*To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register of Historical Resources criteria, but it also must have integrity. Integrity is defined as "the authenticity of*

a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's period of significance." Historic integrity enables a property to illustrate significant aspects of its past. All seven qualities do not need to be present as long the overall sense of past time and place is evident.

The subject property has retained or lacks integrity from the period of significance noted in Step A:

<b>Location:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	<b>Setting:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
<b>Association:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	<b>Feeling:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
<b>Design:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	<b>Materials:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
<b>Workmanship:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks			

Since 2000 20<sup>th</sup> Street was determined not to meet any of the criteria that would identify it as eligible for the California Register of Historical Resources, analysis of integrity was not conducted.

### Step C: Character Defining Features


If the subject property has been determined to have significance and retains integrity, please list the character-defining features of the building(s) and/or property. A property must retain the essential physical features that enable it to convey its historic identity in order to avoid significant adverse impacts to the resource. These essential features are those that define both why a property is significant and when it was significant, and without which a property can no longer be identified as being associated with its significance.

Since 2000 20<sup>th</sup> Street was determined not to meet any of the criteria that would identify it as eligible for the California Register of Historical Resources, this analysis was not conducted.

### CEQA Historic Resource Determination

- Historical Resource Present
- Individually-eligible Resource
  - Contributor to an eligible Historic District
  - Non-contributor to an eligible Historic District
- No Historical Resource Present

### PART I: SENIOR PRESERVATION PLANNER REVIEW

Signature:   
Tina Tam, Senior Preservation Planner

Date: 10-14-2011

cc: Virnaliza Byrd, Environmental Division/ Historic Resource Impact Review File  
Project planner, if applicable

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: Gina Emett		
DR APPLICANT'S ADDRESS: 2040 and 2042 20th Street	ZIP CODE: 94107	TELEPHONE: (650) 644-5523
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Kennedy Chan		
ADDRESS: 2000 - 20th Street, San Francisco	ZIP CODE: 94107	TELEPHONE: (650) 995-6109
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ( )
E-MAIL ADDRESS: gemett@hotmail.com		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 2000 - 20th Street, San Francisco		ZIP CODE: 94107
CROSS STREETS: De Haro Street		
ASSESSORS BLOCK/LOT: 4072 / 023	LOT DIMENSIONS: 70 x 40.104 ft	LOT AREA (SQ FT): 2805
ZONING DISTRICT: RM-1 / 40X		HEIGHT/BULK DISTRICT: 40-X

## 3. Project Description

Please check all that apply

Change of Use  Change of Hours  New Construction  Alterations  Demolition  Other Additions to Building: Rear  Front  Height  Side Yard 

Present or Previous Use: Present Use is a One Family although listed as Two-Family Dwelling on Application

Proposed Use: Two-Family Dwelling (listed as no change but questioning this condition)

Building Permit Application No. 2010.12.01.5856

Date Filed: December 1, 2010

# RECEIVED

JUL 18 2012

CITY & COUNTY OF S.F.  
DEPT. OF CITY PLANNING  
PIC

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

I have never received any plans or proposals directly from the Chan's or the City regarding this which is inappropriate and upsetting, since my home is right next to the discussed property. My neighbors have informed me the two times plans were shared with them. Both in the Fall of 2010 and on July 3, 2012 at a recent meeting, I've let Kennedy and Naomi Chan know my concerns about the proposed addition and vertical extension.

## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Please see the attached detailed information citing the Residential Design Guidelines and correlating concerns.

Generally: Roof top deck and back deck (feet from my home) directly impacts the privacy into my home and that of neighbors. Proposed plans aim to expand the envelope as greatly as possible with 1- full living floor, 1- full roof deck 2 additional decks and a penthouse. Penthouse entry to roof top deck is incongruous. This design potentially casts shadows onto the homes of 3 neighbors. Corner appeal is diminished as per RDG.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Please see the attached detailed information citing the RDG and correlating concerns. Proposal impacts my home and that of my neighbors in so many ways including: decreased light, privacy and airflow - to my home, back yard and side entry. The proposed roof deck and 2 decks can hold large parties with many people, BBQ's, lights, heaters. The back deck and roof top deck and penthouse are feet away from my bedrooms and bathrooms, side entrance and yard. Six bedroom proposal adds bulk to the corner and eliminates visual appeal.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

An acceptable alternative would be a discreet rooftop deck added onto the existing building facing the east bay and downtown (north) with a non-penthouse entry set as far from my home as possible preserving privacy and set in from De Haro Street to preserve the strong corner architecture, and congruous design flow from 2000 20th with 770 De Haro. This would be in keeping with the character of the neighborhood and the building itself.

# Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: 

Date: 7/9/12

Print name, and indicate whether owner, or authorized agent:

GINA EMETT  
 Owner /  Authorized Agent (circle one)

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_



12.0928D

July 8, 12

To Whom It May Concern:

I Gina Emett hereby authorize Maria Cristini and/or Abrasha Staszewski to act in my behalf during my absence from July 9 – July 29, 2012. I authorize them to file the Discretionary Review on my behalf because I am in South Africa at this time.

Sincerely,



Gina Emett  
2042 20<sup>th</sup> Street, San Francisco, CA 94107  
Tel: 650-644-5523

7/9/12

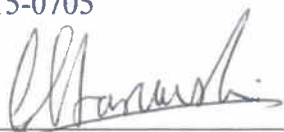
Date



Maria Cristini  
770 De Haro Street, San Francisco, CA 94107  
Tel: 415-215-0705

7.9.12

Date



Abrasha Staszewski  
770 De Haro Street, San Francisco, CA 94107  
Tel: 415-307-7111

7-9-12

Date

12.0928D

4072/025  
Gina Emett  
2042 20th St.  
San Francisco CA 94107

4071/019  
Herman and Marylee Hu  
799 De Haro St.  
San Francisco CA 94107

4071/020  
Chris and Valene Cole  
769 De Haro St.  
San Francisco CA 94107

4095/002  
Nicole and Tyler Baron  
804 De Haro St.  
San Francisco CA 94107

4096/063  
Anant Chaudry  
801 De Haro St.  
San Francisco CA 94107

4096/063  
Ayesha Ahmed  
805 De Haro St.  
San Francisco CA 94107

4071/021  
Berry Minott  
Douglas Weihnacht  
763 De Haro St.  
San Francisco CA 94107

4072/024  
Maria Cristini  
Abrasha Staszewski  
770 De Haro St.  
San Francisco CA 94107

4095/069  
Michael Bastasch  
2001 20th St.  
San Francisco CA 94107

4095/066  
Andrew Merit  
Denis Beaubien  
803 Rhode Island St.  
San Francisco CA 94107

4072/023  
Naomi and Kennedy Chan  
2000 20th St.  
San Francisco CA 94107

4071/017  
Jim Dial  
Steve Pomeroy  
1940 20th St.  
San Francisco CA 94107

4072/024  
Paul DeMeester  
770 De Haro St. #2  
San Francisco CA 94107

4072/025  
Nicola Quilligan  
2040 20th St.  
San Francisco CA 94107

4095/066  
Joel Micucci  
801 Rhode Island St.  
San Francisco CA 94107

4072/007  
Yasmin Concha  
Toshi Hiraoka  
768 De Haro St.  
San Francisco CA 94107

4096/064  
Doug and Maureen Ebersole  
1939 20th St.  
San Francisco CA 94107

4096/063  
Olivier Betancourt  
Gail Grendahle  
803 De Haro St.  
San Francisco CA 94107

4071/023  
John and Susan Moses  
745 De Haro St.  
San Francisco CA 94107

12.0928D

TO: San Francisco Planning Department

FROM: Gina Emett  
2042 20<sup>th</sup> Street, San Francisco, CA 94107

RE: Proposed Addition to 2000 20<sup>th</sup> St, SF 94107  
Owners: Kennedy and Naomi Chan  
Applicant noted: Joyce Cheng, A&J Design Assoc.

DATE: July 18, 2012

To list the concerns regarding the 311 notice, cf. sec. 101.1 of the Planning Code  
All page references refer back to the Residential Design Guidelines (RDG)

**Of Special Note:**

- The drawings we were provided were 2D hand drawings lacking details, measurements and information to clearly understand the full scope of the project.
- On July 3, 2012 I was at a meeting where the group requested that Kennedy Chan provide us with a 3D drawing.
- We also requested a formal light/shadow analysis from Kennedy Chan to address multiple concerns.

**Neighborhood Character / RDG Page 7:**

The neighborhood character of Potrero Hill is eclectic. This proposed addition is out of context with its surrounding neighbors' homes both on 20<sup>th</sup> Street and De Haro. It is a bulky and out of proportion addition, which in terms of design is not aesthetically pleasing nor follows the RDG of what is allowable in San Francisco.

Currently 2000 20<sup>th</sup> and 770 De Haro appear to be "one" corner building with a similar character, size and street appeal. The two residences make up one cohesive design. The proposed addition would destroy the coherency of both homes, which take up the corner of De Haro and 20<sup>th</sup> Streets.

This cohesive wholeness is represented in many images pointing out the unique quality and value of this strong corner building which is continuous from 2000 20<sup>th</sup> to 770 De Haro:

Please note the Zephyr Realtor promotional images of this building combo when 2000 20<sup>th</sup> was being sold and purchased. (see page 6)

In the Zephyr 2011 gift calendar and on their postcard used to celebrate the sale of the property Zephyr Realtor notes the following – in reference to the property (copies of originals enclosed):

Calendar: (see page 7)

- "SOMETHING CLOSE TO A LANDMARK..."

- “This “signature” home on the very special north slope of Potrero Hill preserves the classic look of its period – 1960...”

12.0928D

Postcard (see page 8) - Just Sold:

- “This special once-in-a-lifetime property is a dramatic residence...”
- “... unique architecture await the new owners of this signature property!”

This signature 1960's home of unique architecture has existed on the 20<sup>th</sup> and De Haro Street corner for over 50 years and is aesthetically pleasing and interesting. The proposal suggests replacing that which works well - with something that will negatively impact the neighborhood, the corner of 20<sup>th</sup> and De Haro and it's surrounding environment. The additions' design aesthetic would destroy the coherency of both homes.

#### **SITE DESIGN / RDG Page 11 - 13:**

The building does not respect the topography of the site and the surrounding area. The new vertical addition creates a very large bulky mass, which is out of scale and proportion with all the existing homes when looking down De Haro Street. An addition of this size and scale will set a president on Potrero Hill and on 20<sup>th</sup> and De Haro streets specifically, which is out of integrity with the RDG and the topography changes allowed. (see page 9)

#### **RDG Pages 16-17:**

The building impacts light to adjacent properties. A light/shadow analysis has been requested to identify the amount of diminished light to my home at 2042 20<sup>th</sup>, 2040 20<sup>th</sup>, 770 De Haro the house just adjacent to the North, and potentially 799 De Haro directly across the street East from the proposed addition.

My privacy issue is of utmost concern with this proposed addition. The building (with it's proposed back deck, rooftop and penthouse) impacts the privacy to many adjacent properties. Mine particularly at 2042 20<sup>th</sup> and 2040 20<sup>th</sup> along with 770 De Haro, 799 De Haro, 2001 20<sup>th</sup>, and that of other neighbors. (see page 10)

- The new construction would allow visibility into my home's bedrooms and bathrooms. Anyone standing on the proposed back deck at the 2<sup>nd</sup> story would be looking directly into a bedroom and bathroom at 2040 20<sup>th</sup> and overlooking my back yard and side entrance.
- The proposal adds a bedroom and home office that would be a short distance from my bedroom and bathroom and overlooking my back home entry and back yard – eliminating privacy since it is a short distance and view into my private home areas.
- Anyone standing on the roof deck could look into my bedroom and bathroom at 2042 20<sup>th</sup> and down onto my back yard. The proposed roof deck would eliminate the privacy of every adjacent and not so adjacent neighbor – this proposed 3<sup>rd</sup> story deck creates a major privacy issue.
- The two decks designed into this addition to the North and West plus the entire roof deck (with penthouse) is enough outdoor space to accommodate a very large group of people easily. This would seriously impact the sound and visual privacy to all the surrounding neighbors.

The building impacts the quality of airflow and wind to adjacent buildings. Any BBQ activity on any of the 2 decks or roof top deck would create smoke and smells.

- The size and scope of the proposed structure will block airflow.
- My unit 2042 20<sup>th</sup> and that of my tenant's at 2040 20<sup>th</sup> would experience diminished light and airflow both while in our home and out in the yard.

12.0928D

**RDG Pages 18:**

- Addition violates view North of the Bay, Bay Bridge, water and city skyline from the public space of 20<sup>th</sup> street between De Haro and Rhode Island. Walking and driving around Potrero Hill is joyful because of the views – and many of us live here because of that. (see page 11, 12, 13, 14)
- On the “Map Approved by the Board of Supervisors” the “Quality of Street Views” of the 20<sup>th</sup> and De Haro Street corner is currently rated as excellent. The proposed addition would diminish that rating and quality of life that goes with it for everyone who walks and drives by. (see page 15)

**RDG Pages 19-21:**

- 2000 20<sup>th</sup> (proposing an addition) currently has great visual emphasis as a corner building and unified look with 770 De Haro since they were built simultaneously and until now the owners have kept the unity. This singular corner building is a visual 1960's landmark in the neighborhood. Historically this corner building combination has had a significant and positive visual impact for the neighborhood and visitors to Potrero Hill. The previous owners have consistently coordinated paint colors to maintain this much-appreciated look. This emphasis will be eliminated by changes to the outside of either structure. The fact that it's a corner building is more reason to be concerned about every detail.

**Building Scale and Form / RDG Pages 23-27:**

- The building's height and depth is not compatible with the existing building scale at the street, especially with the building that it's attached to (770 De Haro Staszewski/Cristini Residence) - which was built simultaneously and has always matched since 1961.
- There is no set back with the proposed new addition from the front of De Haro St. It is designed to be flush with the existing building. This adds very much bulk and visual weight to the overall property.
- The back (West side) of the proposed construction will greatly impact the light and air flow and give a diminished and claustrophobic feeling to the adjacent properties in the back yard area. The height and depth will greatly impact the side/back area of 2040/2042 20<sup>th</sup> Street and it's other neighbors especially at 770 De Haro. (see page 10)

**RDG Pages 28-30:**

- The proposed building's form is not compatible with that of surrounding buildings, or the overall character of the neighborhood.
- The building's facade is not compatible with that of surrounding buildings - especially with 770 De Haro, Staszewski/Cristini Residence built simultaneously in 1961.
- The building's proportions are not compatible with that of surrounding buildings - especially with 770 De Haro St., Staszewski/Cristini Residence built simultaneously in 1961.
- The building's roofline is not compatible with those surrounding it, and is also not compatible with construction on Potrero Hill (the penthouse and roof decks are not in the style of the Potrero Hill neighborhood character).
- The building's new windows are out of character with the existing zigzag windows just below the proposed new floor and overall character on the De Haro Street side.

12.0928D

**Architectural Features / RDG Pages 38-41:**

- The stair penthouse is not designed to minimize its visibility from the street - the opposite is true. The penthouse entry to roof top deck is incongruous.
- The windscreens will cast more shadows onto the adjacent buildings (and street). The new shadows will most likely darken the entrance and lower floor windows of the house across the street East at 799 De Haro during the afternoon.
- The lack of set backs on the proposed 2<sup>nd</sup> story is out of character with the surrounding homes, and creates an overpowering scale from the street for anyone walking around the neighborhood – and is out of scale with the character of the neighborhood and De Haro Street.
- Top 3<sup>rd</sup> story roof deck area. The glass railing all around the top floor is too close to the edge and out of character with the topography of the neighborhood.

**Building Details / RDG Pages 43-44:**

- The placement and architectural details are not compatible with the building and surrounding area.
- As previously mentioned the building's new windows are out of character with the existing windows and overall character on the De Haro Street side.
- It appears that the front door on 20<sup>th</sup> Street is being moved and an additional door added for the unit new second unit. This is potentially a clue that the exterior cladding is going to change since so many sections of the existing structure will be taken out, moved and replaced with new material.
- Some windows are also being removed. The surrounding materials will have to be replaced to match the older material otherwise the exterior cladding will change, for which a permit has not been issued.

**RDG Pages 44-46: The following points are all in questions since there is not enough information provided in the drawings to know if they follow the RDG.**

- Window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood. It appears they are not compatible.

**RDG Pages 47-48: The following points are all in questions since there is not enough information provided in the drawings to know if they follow the RDG.**

- The type, finish and quality of the building's materials being compatible with those used in the surrounding area and with the existing building itself.
- There is not enough information provided to know if the building's materials will be properly detailed and appropriately applied.
- There is need of a 3D drawing to understand the impact (scale, light/shadow, wind and airflow, privacy issues) of these additional floors.
- The new addition appears to mimic the existing building but this is not possible, since the original was built in 1960. This will look like an "addition" and diminish the current visual impact for the neighborhood. This will look like a fake "replica" of something built over 50 years ago.
- If there is to be an addition, it should be it's own stand-alone architectural statement. Not confusing it with the original mid-century architecture of this corner building combination 2000 20<sup>th</sup> and 770 De Haro.

12.0928D

**Additional Concerns for 2042 20<sup>th</sup> Street unrelated to the RDG:**

**Exterior Cladding:**

There is concern that the exterior cladding will be replaced or changed. This would destroy the architectural integrity of the corner building.

I am enclosing a partial list of neighbors who are concerned and support this appeal. Some of their specific concerns I've noted. (**see page 16**)

**Question the Number of Residence Units:**

The owner prior to Kennedy Chan took the studio unit (790 De Haro) off the market via the Ellis Act. The home was sold as a single residency. (**see page 6**). It's listed in the public MLS as a single residency and being used this way by the Chan family. If technically a single residence at this time, then the proposed addition adds 2 bedrooms and a new entry specifically for the 2<sup>nd</sup> unit as noted in the plans. This would be a "change of use" as far as residency.

2000 20th Street, Page 6 of 16

12.0928D



Sold on 08/03/2010

\$1,630,000

2000 20th St  
San Francisco, CA 94107

BEDS: 3

BATHS: 3

SQ. FT.: 2,049

\$/SQ. FT.: \$796

LOT SIZE: -

PROPERTY TYPE: **Single-Family Home**

STYLE: **Contemporary, Custom**

VIEW: **Panoramic, City Lights,  
Water, Bay, Bay Bridge,  
San Francisco, Downtown**

YEAR BUILT: 1960

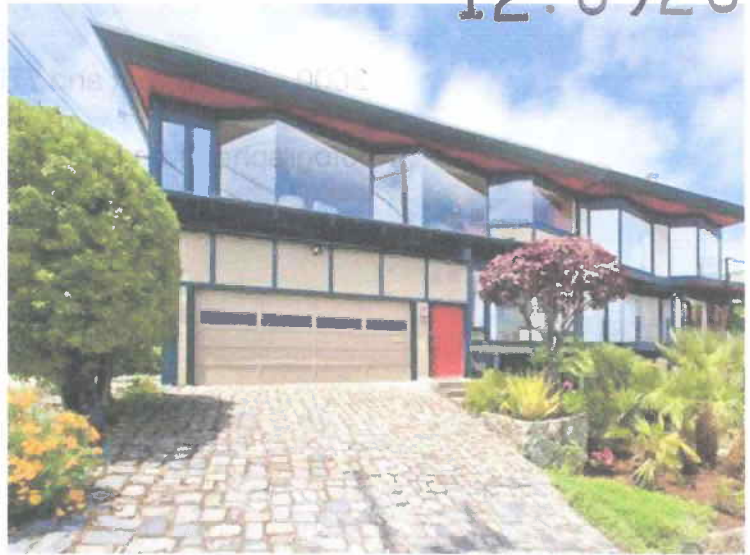
COMMUNITY: **Potrero Hill**

COUNTY: San Francisco

MLS#: 372148

SOURCE: **San Francisco MLS**

STATUS: **Sold**



A Potrero Hill Signature Home-this special residence offers expansive glass windows with sweeping views of the SF Skyline, Bay & Bay Bridge! Unique flr. plan w/ expansive liv. -din. -kitch. w/ Zub zero refrig. , granite countertops & built-in barbeque. Center courtyard off mstr. bdrm. has retractable ceiling bringing in the outdoors to living area. Mstr. bdrm. & ba. lead to patio area w/ hot tub. Two more bdrms. & ba. on this level. 1 bdrm. , 1 ba. apt. w/ views-2 cr. s-b-s prkg. -don't miss this!

Listing Provided Courtesy of: Susan Olk, Zephyr Real Estate  
Buyer's agent: Earl Chan, Madison Hunter





## SOMETHING CLOSE TO A LANDMARK...

**20TH STREET:** This "signature" home on the very special north slope of Potrero Hill preserves that classic look of its period – 1960 – with a truly admirable nod to current lifestyles. To say the view is panoramic is an understatement...you feel as though you can touch downtown. The use of glass and outdoor space is as good as it gets in San Francisco for indoor/outdoor living...even a courtyard with a retractable roof off the master bedroom. A unique property for a special homeowner at around \$1,600,000.

### VERTIGO



A San Francisco detective suffering from acrophobia investigates the strange activities of an old friend's wife, all the while becoming obsessively smitten with her. This psychological thriller is based on *D'Entre Les Morts* (*The Living and the Dead*) by Pierre Boileau and Pierre Ayraud, who wrote it specifically for Hitchcock. Second-unit cameraman, Irmin Roberts, created the famous "zoom out and track in" shot (also called the "trombone shot") to support the sense of vertigo to the viewer. Hitchcock also makes his signature cameo shot about 11 minutes into the film as he walks past Gavin Elster's shipyard carrying a music instrument case.

**Producer:** Alfred Hitchcock  
**Director:** Alfred Hitchcock  
**Starring:** James Stewart, Kim Novak  
**Year:** 1958

12.0928D



# Signature Potrero Hill Views Home

2000 20th Street at De Haro Street



Zephyr Real Estate, 4200 17th Street, San Francisco, CA 94114

## Prime North Slope Corner Home with Sweeping City Views • Just Sold at \$1,630,000

This special once-in-a-lifetime property is a dramatic residence with expansive glass windows encompassing sweeping views of the San Francisco skyline, bay, and Bay Bridge! The unique open floor plan features an expansive living/dining/kitchen area with floor-to-ceiling glass windows, bringing the outdoors in. The living room has a wood burning fireplace, the kitchen has been extensively remodeled, and a glassed-in center courtyard has retractable glass ceiling so one may enjoy the fresh air. An array of sophisticated amenities, superb location and unique architecture await the new owners of this signature property! Call me for further details.



**Susan Olk**  
**REALTOR®**  
**415.550.8835**  
 susancrs@aol.com  
 DRE# 00788097



Cristini Staszewski  
 Or Current Resident  
 770 De Haro St  
 San Francisco, CA 94107

If your home is currently listed, this is not a solicitation.

9410782730 0025



2000 20th Street, Page 9 of 16



12.0928D

12.0928D





2000 - 20th Street View 1  
Existing view

12.09280



2000 - 20th Street View 1  
anticipated neighborhood impact without roof deck, penthouse and back deck  
(rough estimate)

12.0928D



2000 - 20th Street View 2  
Existing view

12.09280



© 2012 Google. All rights reserved. Map data April 2011

2000 - 20th Street View 3  
Existing view

12.0928D



12.0928D



- EXCELLENT
- - - - - GOOD
- ..... AVERAGE

SP6  
Candlestick Point SubArea Plan and  
Bayview Hunters Point Redevelopment Plan

N

**QUALITY OF STREET VIEWS**

**MAP APPROVED BY THE BOARD OF SUPERVISORS**

The notation below in *italics* represents a recent amendment to the General Plan that has been approved by the Board of Supervisors after this map was originally adopted. The change will be added to this map during the next map update.

- *Add a boundary area around the Hunters Point Shipyard area with a line that leads to a reference that states "See Hunters Point Redevelopment Plan and Hunters Point Shipyard Area Plan."*
- *Add a boundary area around Candlestick Point with a line that leads to a reference that states "See Candlestick Point SubArea Plan and Bayview Hunters Point Redevelopment Plan."*

12.09280

**Attachment: Representing Neighbors**

Here is a partial list of neighboring homeowners. They share many of the concerns noted on this DR. They want to be kept informed, will be happy to write letters and show up at meetings during this process.

Nicola Quilligan  
2040 20<sup>th</sup> ST.

Michael Bastasch  
2001 20<sup>th</sup> St.

Abrasha Staszewski  
Maria Cristini  
770 De Haro St.

Yasmin Concha  
Toshi Hiraoka  
768 De Haro St.

Doug and Maureen Ebersole  
1939 20<sup>th</sup> St.

Nicole and Tyler Baron  
804 De Haro St.



# SAN FRANCISCO PLANNING DEPARTMENT

## RESPONSE TO DISCRETIONARY REVIEW

Case No.: 12.0928D

Building Permit No.: 2010.12.01.5856

Address: 2000 20<sup>th</sup> Street

1650 Mission S  
Suite 400  
San Francisco,  
CA 94103-2471

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

Project Sponsor's Name: Kennedy Chan

Telephone No.: (650) 995-6109 (for Planning Department to contact)

- Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.

Please see attached response.

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- What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

Please see attached response.

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- If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Please see attached response.

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## Response to Discretionary Review

#1. We met with the neighbors for the first time in September 2010 to introduce our project and noted some of their concerns. For the next 18 months, we worked with Rich Sucre, from the Planning Department to scale down the project by eliminating one (1) complete floor and modified the project to obtain planning department acceptance / approval. The 311 notice was filed and posted on June 19<sup>th</sup>, 2012.

We met with the neighbors for the second time on July 3<sup>rd</sup>, 2012 to show them the changes on the project. They requested a 3-dimensional perspective and a shadow study if possible to gain a better understanding of the project. Therefore I hired, SMA Architect for the shadow study and 3D rendering, which they completed, and sent copies to all concerned parties.

Our third meeting on August 13, 2012 SMA Architect firm was present to explain the shadow studies and answer any questions that needed clarifications for the neighbors. The meeting lasted about 1 hour.

We had our fourth meeting on September 6, 2012 at SMA Architect office to continue to discuss shadow studies and issued a detailed report dated September 4, 2012 to Gina and Maria. (See attached Report "A".) The meeting lasted about 1.5 hours.

On September 13, 2012 we had our fifth meeting at SMA Architect office to present a 3-dimensional perspective / rendered model comprising of the key components to show the materials and finishes on the building. (See attached 3D / Rendering "B".) The meeting lasted for about 1.5 hours. There were some additional agreements regarding changes to the project as listed within line item #2 and submitted new 2D drawing from A & J Design.

Our project should be approved, not only because we have met the standards of the planning code and the residential design guidelines. The three opposite corner buildings are 33' – 40' in height and the immediate adjacent buildings are 33' – 35' in height. (See attachment "C"). We also tried in due diligence to work with the neighbors the best that we can without destroying the project.

**#2. The following alternatives or changes to the proposed project:**

- A. Eliminating one (1) complete floor and working with the Planning Department to obtain approval. (Before Application)
- B. Stainless Steel Cable Wire Guardrails would be set back 48” from perimeter (After application)
- C. Exterior Facade had been redesigned to be more modern and compatible. See attached 3D / Rendering “B” (After application)
- D. Change all guardrails to SS Cable Wire except west deck front to be solid guardrails and SS Cable Wire for left and right sides (After application)
- E. Stair penthouse will be reduced to 6’ 11” in height and setback middle of the building (After application)
- F. West deck sliding glass door and windows will be translucent / frosted glazing for privacy of the adjacent neighbors. (After application)
- G. New Addition set back 5’ x 31’ from 770 De Haro street – North property line to provide additional sunlight for 770 De Haro street lower roof skylight. (Before application)
- H. 3-dimensional perspective / rendering to show mass and scale to the existing building on 20<sup>th</sup> street and De Haro street. See attached Rendering “B”(After application)
- I. Shadow Studies Conclusion: (After application)
  - a. 2040-2042 20<sup>th</sup> Street – minimum shadow impact in the morning between 6:30am – 8:00am, 2<sup>nd</sup> level only including stair penthouse and cable guardrails
  - b. 770 De Haro Street – Minimum shadow impact for the three (3) large skylights and large atrium. The kitchen 3’ x 3’ skylight closest to property line will have impact various times in the morning.

c. See attached report from SMA "A" including stair penthouse and cable guardrails.

J. Front setback 3' from De Haro Street (After application)

K. Discussed noise impact – construction commences between 8:00 am – 6:00pm  
(After application)

L. Structural design will meet all City Building Department requirements –  
designed by licensed engineer (After application)

#3. Please see major changes from line item #2.

Unit #1 – 2000 20<sup>th</sup> Street

We are a family of five (5) plus my mother-in-law. After the addition, this main unit will have four (4) bedrooms and three (3) bathrooms.

Unit #2 – 790 De Haro Street

After the addition, will have two (2) bedrooms and two (2) bathrooms.

I will not have any adverse effect on the surrounding properties or neighborhood according to scale or design. See attached "C" Photos of new construction / renovation of corner building larger in size or similar in the radius of eight (8) blocks.

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

4. Please supply the following information about the proposed project and the existing improvements on the property.

<u>Number of</u>	<u>Existing</u>	<u>Proposed</u>
Dwelling units (only one kitchen per unit –additional kitchens count as additional units) .....	<u>2</u>	<u>2</u>
Occupied stories (all levels with habitable rooms) ...	<u>2</u>	<u>3</u>
Basement levels (may include garage or windowless storage rooms) .....	<u>1</u>	<u>1</u>
Parking spaces (Off-Street) .....	<u>2</u>	<u>2</u>
Bedrooms .....	<u>4</u>	<u>6</u>
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas....	<u>2850±</u>	<u>4430±</u>
Height .....	<u>22'6"±</u>	<u>34'0"±</u>
Building Depth .....	<u>59'-0"</u>	<u>59'-0"</u>
Most recent rent received (if any) .....	<u>0</u>	<u>0</u>
Projected rents after completion of project .....	<u>0</u>	<u>\$2,000<sup>±</sup></u>
Current value of property .....	<u>\$ 1,630,000<sup>±</sup></u>	
Projected value (sale price) after completion of project (if known) .....	<u>\$ 1,888,000<sup>±</sup></u>	

I attest that the above information is true to the best of my knowledge.

JOYCE CHENG      10/3/12      JOYCE CHENG  
 Signature                      Date                      Name (please print)

# SMA

Architecture . Planning . Interiors



4 September 2012

Mr. Kennedy Chan  
2000 20<sup>th</sup> Street  
San Francisco, CA 94107

Project 127033.00 - Private residence seasonal shadow study @ 2000 20<sup>th</sup> Street San Francisco and adjacent properties 2040 20<sup>th</sup> Street and 770 DeHaro Street.

Dear Mr. Chan:

This letter provides a summary of the results of the graphic shadow study we conducted for the above named project address to determine the effects of shadows produced by a 2<sup>nd</sup> floor addition to your current residence.

## 1. BACKGROUND:

On 7/16/12 SMA was contacted by, and met with, Joyce Cheng P.E. and her client Kennedy Chan and asked to perform a digital shadow analysis for the above named project. The purpose of this study is to provide a quantitative measure of hours that shadows from the new design by A & J Design for Mr Chan will affect the addresses of 2040 20<sup>th</sup> Street and 770 DeHaro Street.

## 2. MODEL DESCRIPTION:

SMA created a 3d model of the subject properties using a combination of Sketch-up Professional and Google Earth. The current industry standard software amongst design professionals for study of pre-design and schematic design solar dynamics is Sketch-up. SMA performed several verification exercises of the Sketch-up model by setting up the same modeling environment in both Revit Architecture 2012 and Ecotect Analysis 2011, the results of which showed Sketch-up to be reliable.

### Site data is as follows:

Geo Location;  
2000 20<sup>th</sup> Street, San Francisco,  
California, USA  
Latitude: 37.759857N  
Longitude: 122.401381W



### 3. ANALYSIS RESULTS:

#### Gina's House

The **Table 1** document presents the results of our modeling on the residence @ 2040 20<sup>th</sup> Street.

It shows hours of shading in terms of best case, and worst case as measured in a "per day" total shadow affect and then the annual totals as the sum of each days shadow.

Best Case: 0 hours during July

Worst Case: 15 hours during early morning hours of June

Total annual as demonstrated in attached Table 1 chart across an entire year is: 106 hours

#### Maria's House

The **Table 2** document presents the results of our modeling on the **Large Skylight** and upper roof small skylights of 770 De Haro Street.

It shows hours of shading in terms of best case, and worst case as measured in a "per day" total shadow affect and then the annual totals as the sum of each day's shadow.

Best Case: 0 hours during months of February to October

Worst Case: 63 hours over the 3 months of November, December and January

Total annual as demonstrated in attached Table 2 chart across an entire year is: 63 hours

The **Table 3** document presents the results of our modeling on the **Small Skylight** @ Roof of 770 De Haro Street.

It shows hours of shading in terms of best case, and worst case as measured in a "per day" total shadow affect and then the annual totals as the sum of each day's shadow.

Best Case: 0 hours during months of April to August

Worst Case: 1,147.5 hours over the 7 months of September thru March

Total annual as demonstrated in attached Table 3 chart across an entire year is: 1,147.5 hours

### 4. Discussion and Conclusion:

It is important to view the results of this analysis by considering the graphic image package and the attached Tables 1, 2 & 3 as well as this report to see the varying affects throughout each month. The Tables reference the graphic model image booklet with corresponding page number and image letter, i.e. image reference 7a is found on page 7, image "A".

Sincerely,



Scott A. Mullen, AIA, LEED AP  
California Architect Lic. # C 32792  
President



STAINLESS GUARDRAIL WITH SS CABLE

1 x 6 V-GROOVE REDWOOD STAIN FINISH

STUCCO

5/8" CLEAR TEMPERED GUARDRAIL

STUCCO - LA HABRA BAY RIDGE

(N) 2nd Flr  
(E) Color Palette (no change)

5ev Ridge  
81593 (32)  
Base 100

BURNISHED BRONZE BASE TRIM AT DEHARO WINDOWS

NEW PANEL

NEW GLASS GUARDRAIL



NEW CUSTOM CONTEMPORARY EXTERIOR DOOR

DARK BROWN DUNN EDWARDS



CONTEMPORARY EAVE

NEW WINDOW & INFILL PANELS



CONTEMPORARY WOOD CLAD WINDOWS



STUCCO

CLEAR GLASS ROOFTOP STAIR ENCLOSURE WITH METAL FRAME

STUCCO  
REDWOOD SIDING



(N) 2nd Flr  
(E) Color Palette (no change)

**SMA**

Architecture Planning Interiors

753 Market Street, Suite 1000, San Francisco, CA 94102  
415.774.8888

chan residence  
2000 20th street,  
san francisco, ca



**Front Elevation**

**2000 20<sup>th</sup> Street  
(X De Haro Street)**

**Propose Project**



**Front Elevation  
2001 20<sup>th</sup> Street  
(X De Haro Street)**

**Across the Street from Propose Project**



**Front Elevation**

**799 De Haro Street**

**( X 20 Street)**

**Across Street from Proposed Project**



**Front Elevation**



**Side Deck**

**740 De Haro Street**

**(X 20<sup>TH</sup> Street)**

**Adjacent Building from Proposed Project**



**Front Elevation**

**2040 20<sup>th</sup> Street**

**(X De Haro Street)**

**Adjacent Building from Proposed Project**



**Front Elevation**

**787 Rhode Island Street  
(X 20<sup>TH</sup> Street)**





**Front Elevation**

**740 Vermont Street  
(X 20<sup>th</sup> Street)**



**Front Elevation**

**791 San Bruno Street  
(X 20<sup>th</sup> Street)**



**Front Elevation**

**492 Pennsylvania Street  
(X 20<sup>th</sup> Street)**



**Front Elevation**



**Rooftop Deck**

**500 Pennsylvania Street  
(X 20<sup>th</sup> Street)**



**Front Elevation**



**Roof Deck**

**840 De Haro Street  
(X 20<sup>th</sup> Street)**



**Front Elevation**

**698 Arkansas Street**

**(X 21<sup>st</sup> Street)**



**Front Elevation**

**900 Carolina Street  
(X 22<sup>nd</sup> Street)**



**Front Elevation**

**1200 19<sup>th</sup> Street  
(X Mississippi Street)**





**Front Elevation**

**2001 19<sup>th</sup> Street**

**(X Rhode Island Street)**



**Front Elevation**

**398 Pennsylvania Street  
(X 19<sup>th</sup> Street)**



**Front Elevation**



**Roof Deck**

**2101 18<sup>th</sup> Street**

**(X Kansas Street)**



**Front Elevation**

**604 Rhode Island Street  
(X 18 Street)**



**Front Elevation**

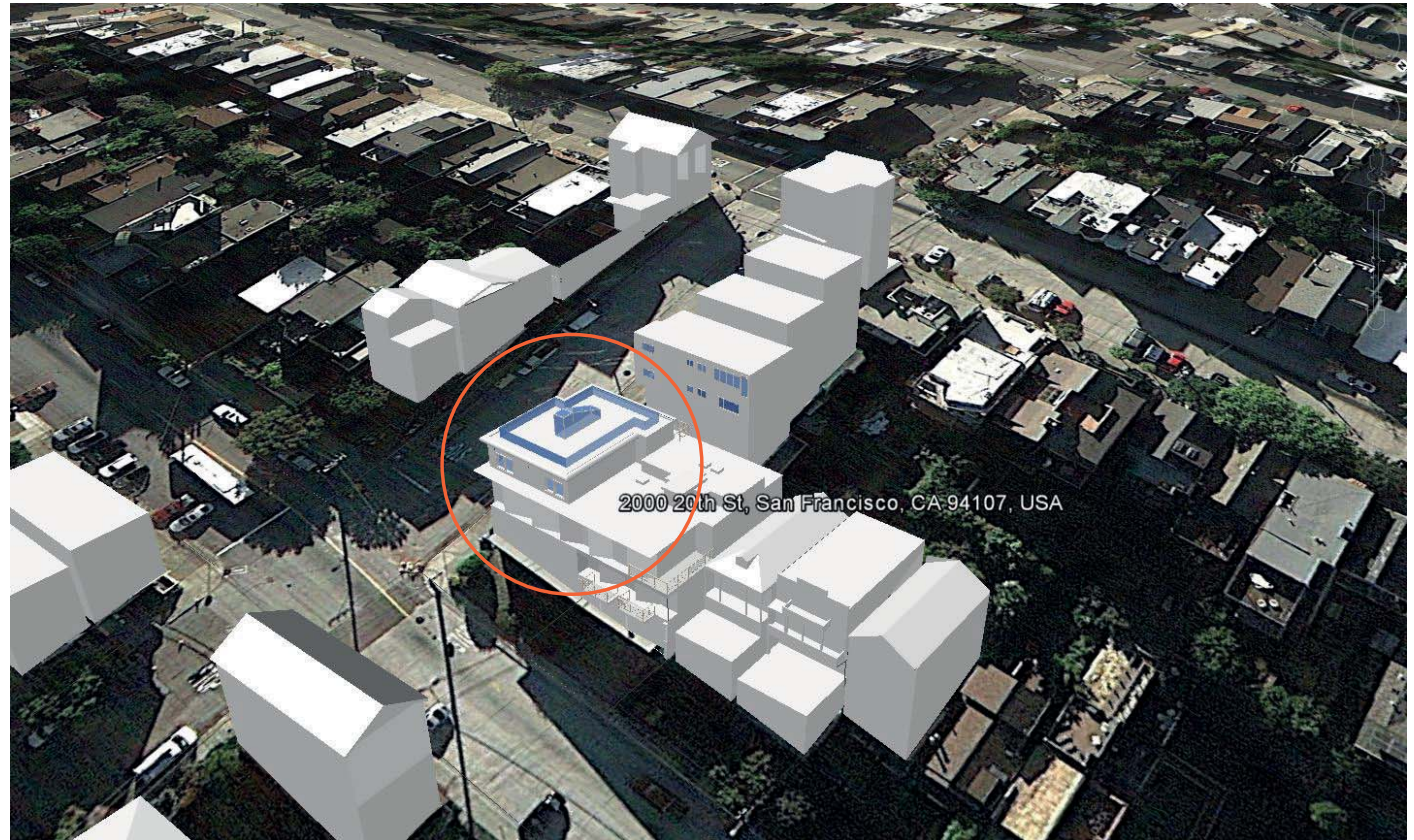


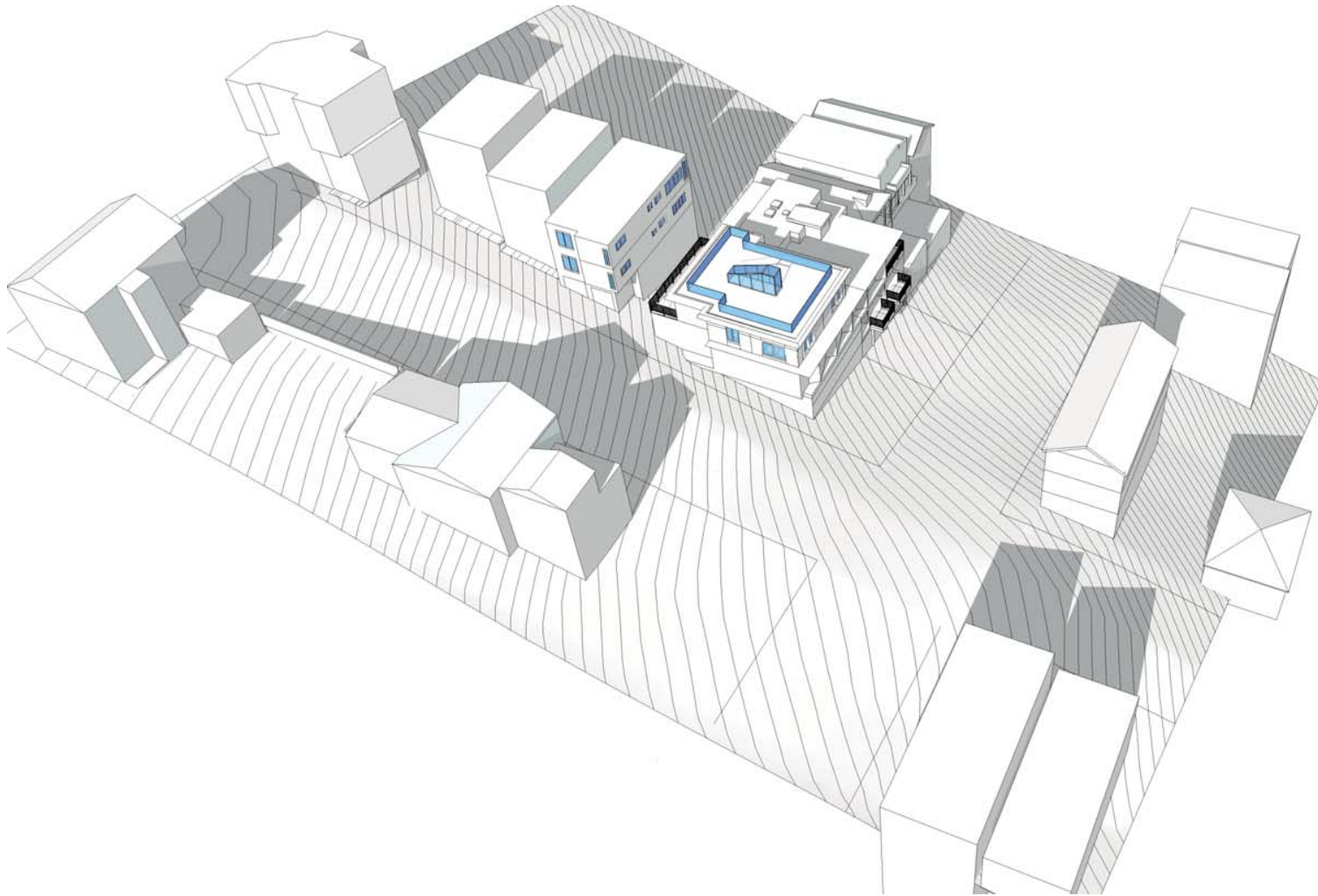
**Roof Deck**

**440 Kansas Street  
(X 17<sup>th</sup> Street)**

chan residence  
2000 20th street,  
san francisco, ca

Shadow Studies



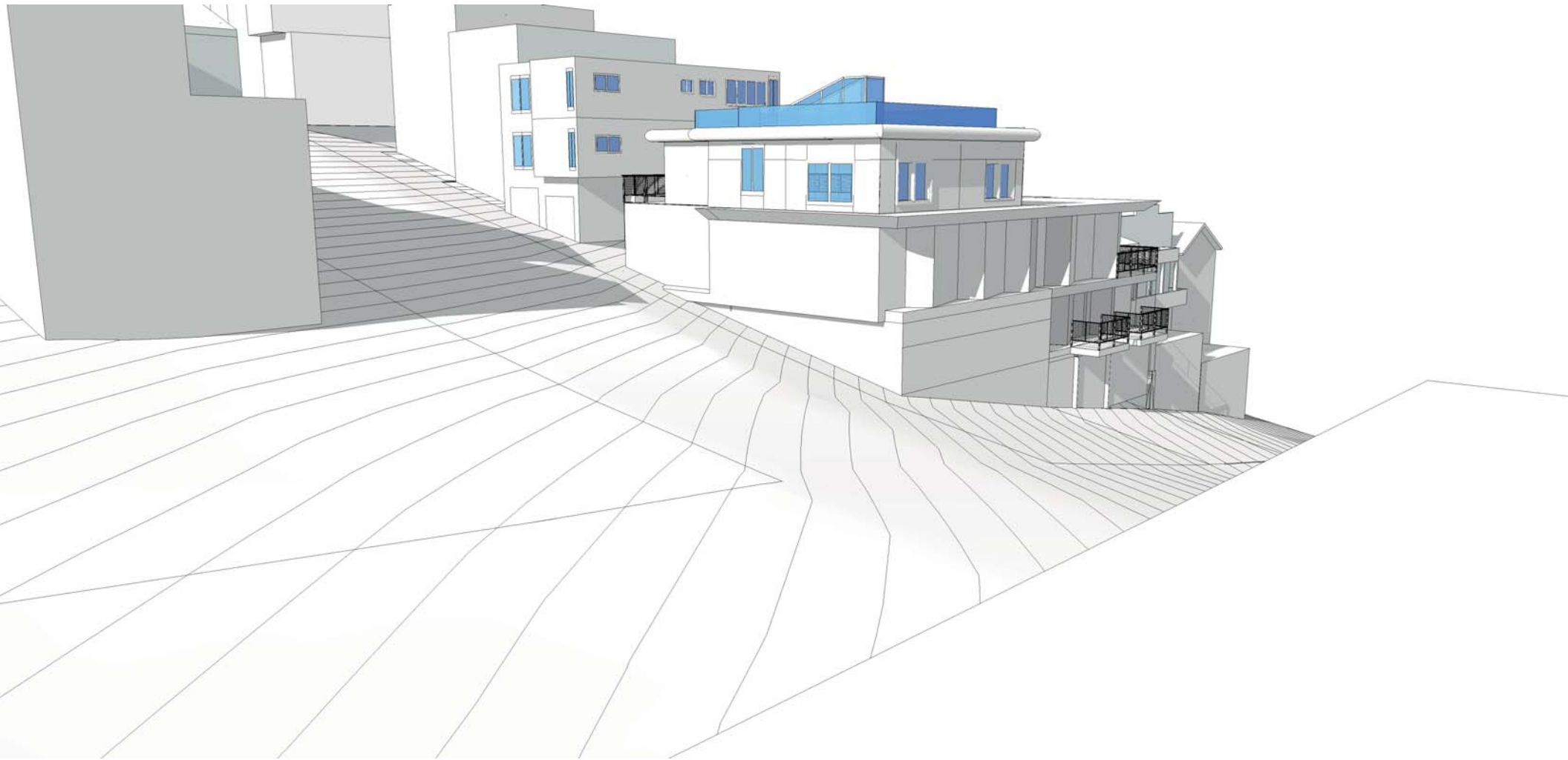


Overall Arial View  
December 31, 11:38am

**SMA**  
Architecture . Planning . Interiors  
  
703 Market St., Ste. 450, San Francisco, CA 94103  
www.sma-arch.com t: 415.894.1300 f: 415.894.1301

chan residence  
2000 20th street,  
san francisco, ca

For Study Purposes Only



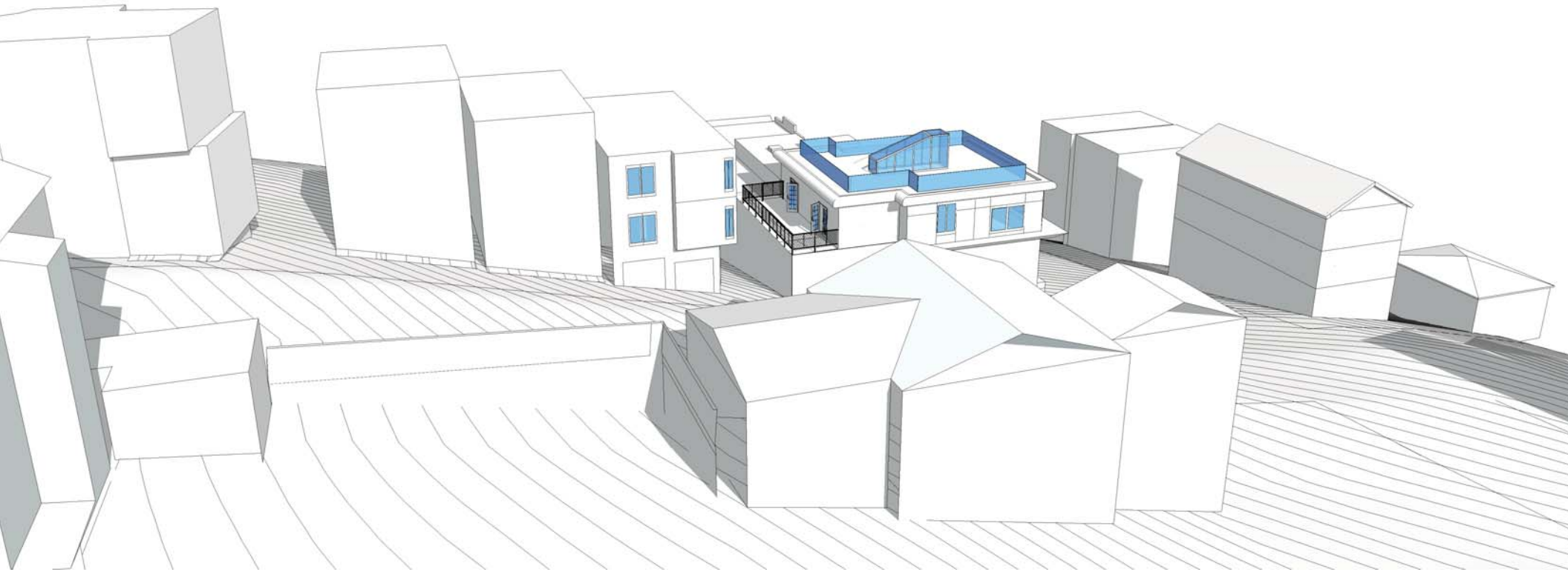
View at DeHaro and 20th Streets  
December 31, 11:28am

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703 Market St., Ste. 450, San Francisco, CA 94103  
www.sma-arch.com t: 415.894.1300 f: 415.894.1301

chan residence  
2000 20th street,  
san francisco, ca

For Study Purposes Only



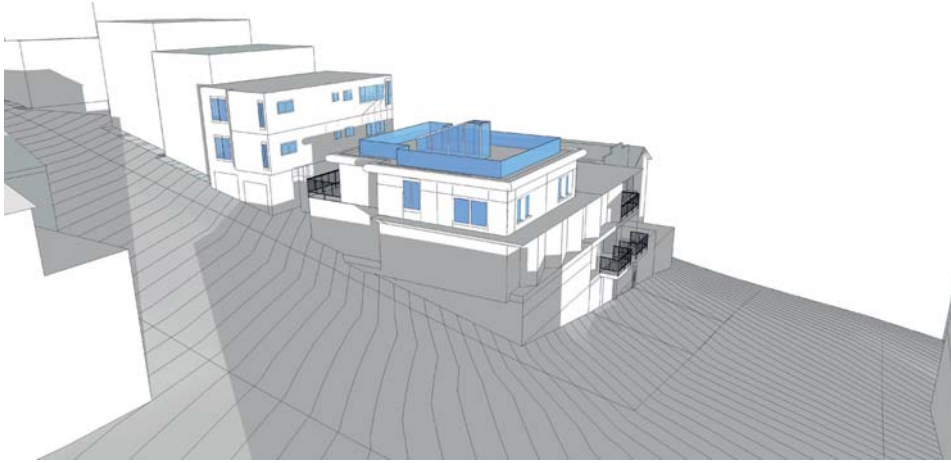


View at DeHaro and 20th Streets  
December 31, 11:38am

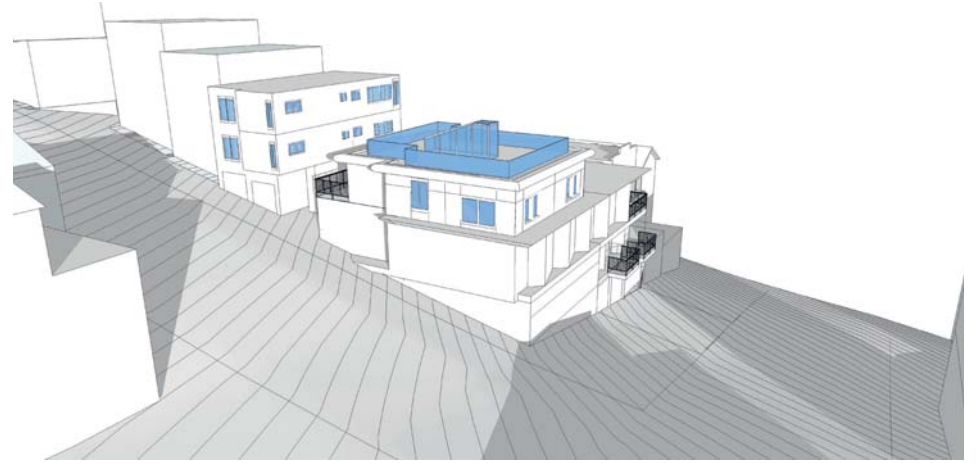
**SMA**  
Architecture . Planning . Interiors  
  
703 Market St., Ste. 450, San Francisco, CA 94103  
www.sma-arch.com t: 415.894.1300 f: 415.894.1301

chan residence  
2000 20th street,  
san francisco, ca

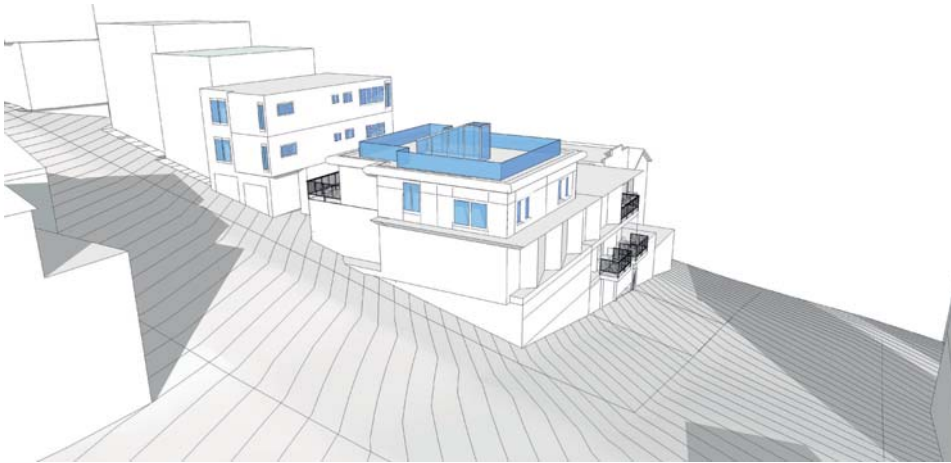
For Study Purposes Only



First appearance of shadow  
12/21 7.30 a.m.

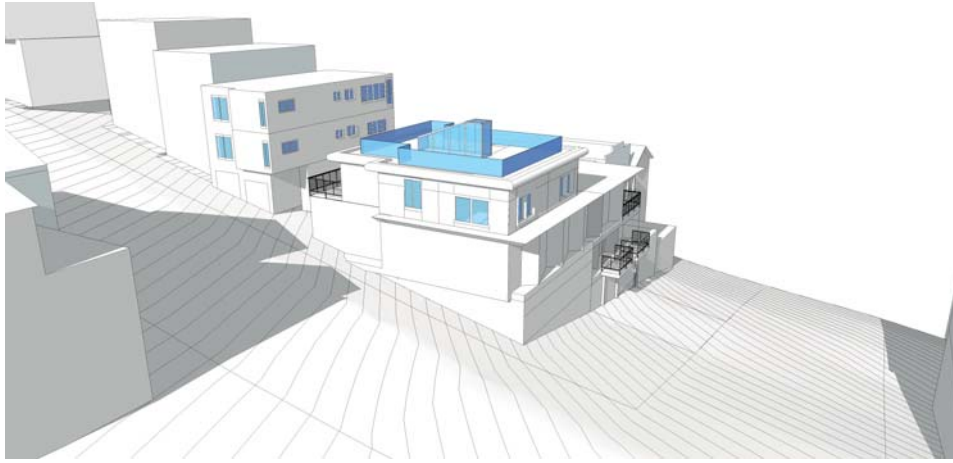


12/21 8.30 a.m.

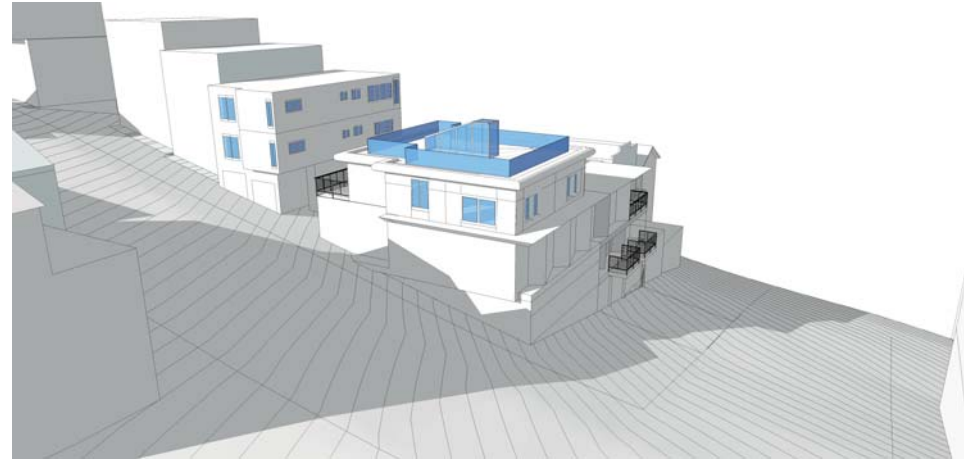


No shadow  
12/21 9.30 a.m.

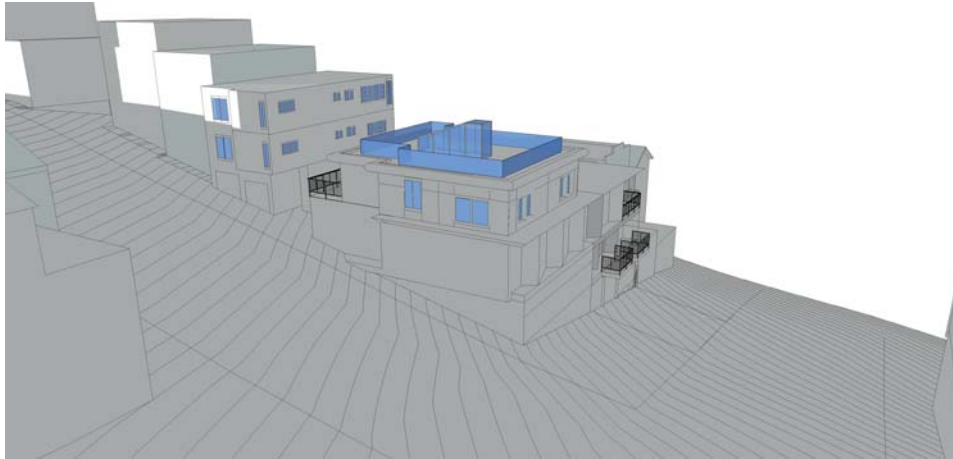
Shadow studies on 20th Street on **December 21st**  
**Winter Solstice**



12/21 11.30 a.m.



12/21 1.30 p.m.



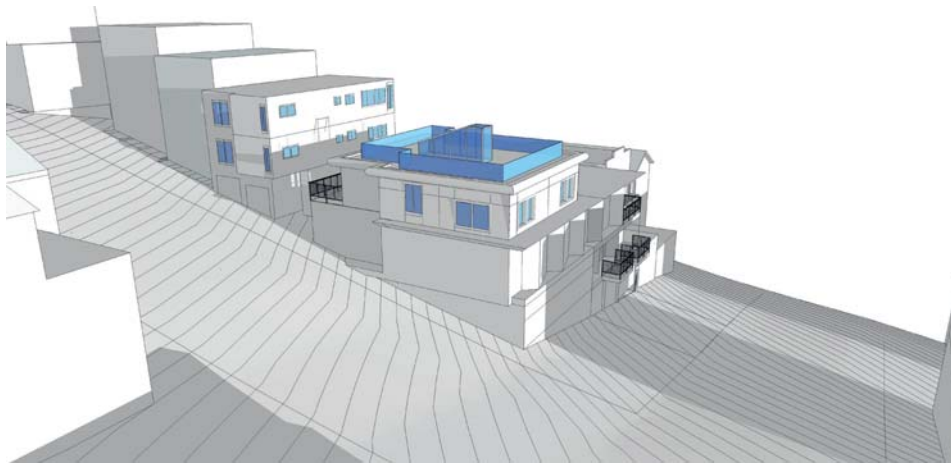
12/21 4.30 p.m.

Shadow studies on 20th Street on **December 21st**  
**Winter Solstice**

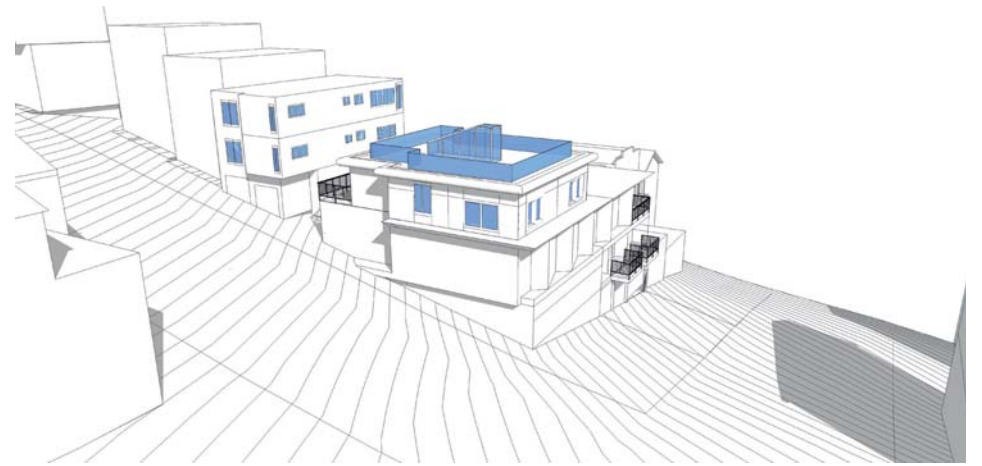
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chan residence  
2000 20th street,  
san francisco, ca

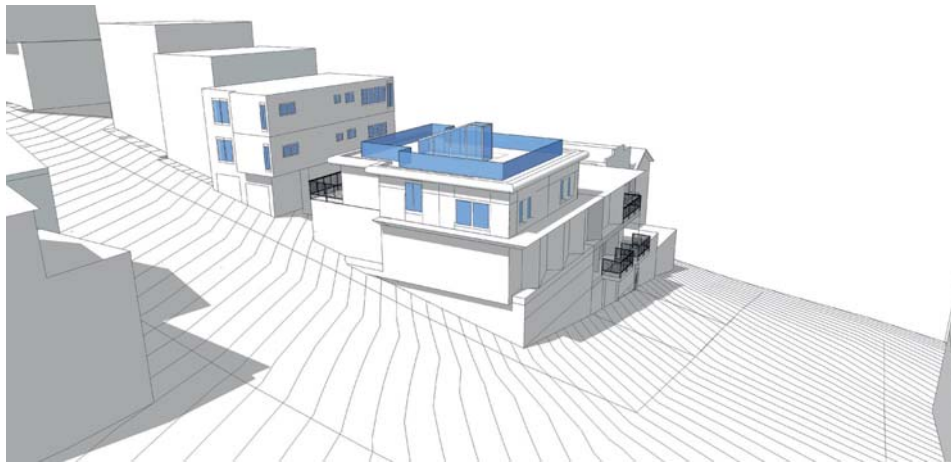
For Study Purposes Only



03/20 6.30 a.m.



03/20 8.30 a.m.



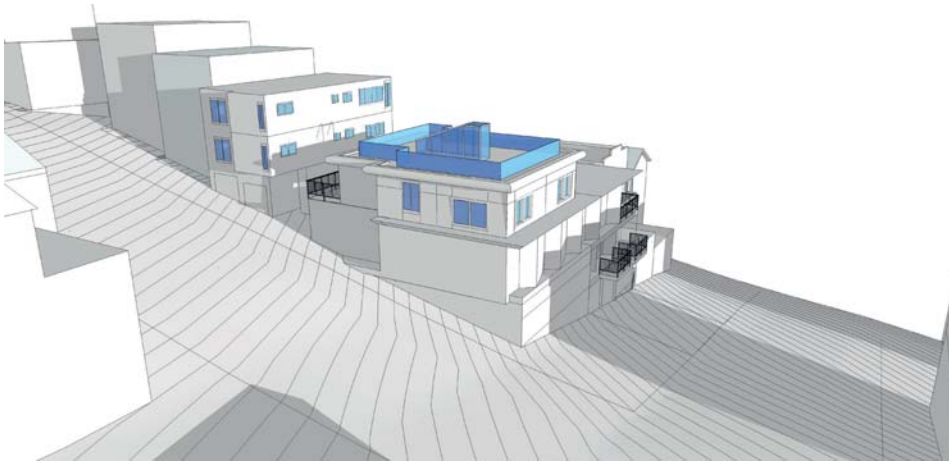
03/20 10.30 a.m.

Shadow studies on 20th Street on **March 20th**  
**Spring Equinox**



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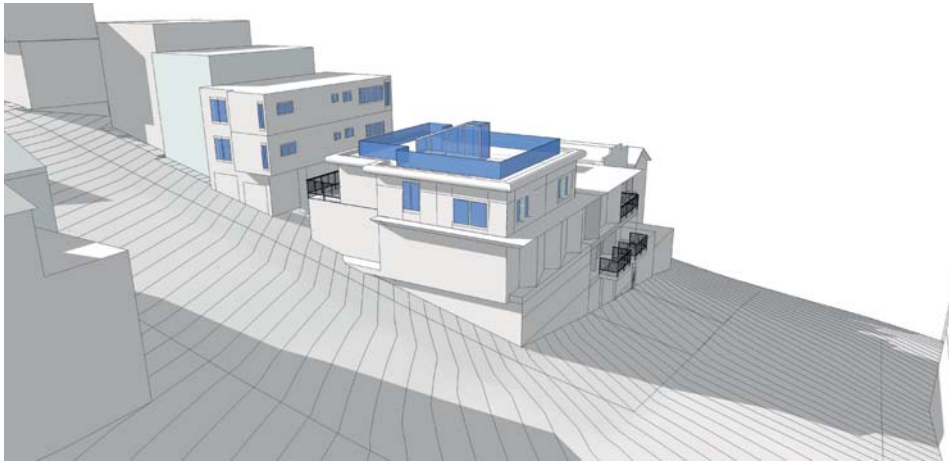
chan residence  
2000 20th street,  
san francisco, ca



09/23 6.30 a.m.



09/23 9.30 a.m.



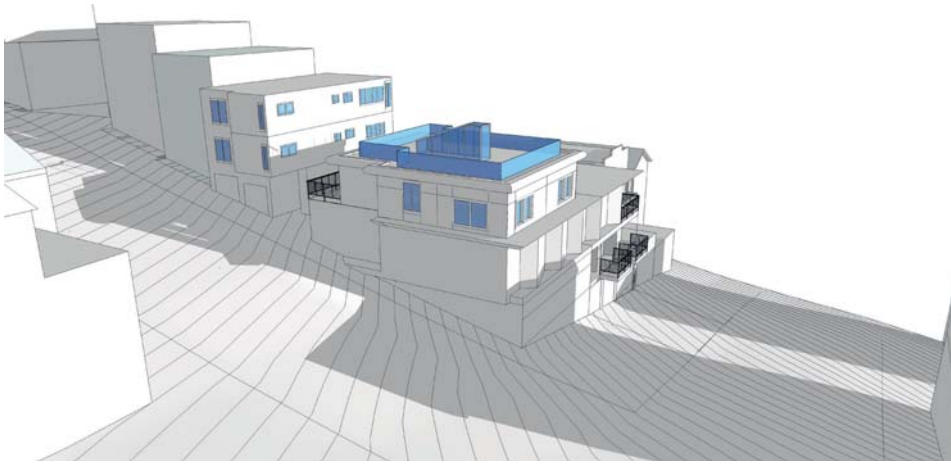
09/23 3.30 p.m.

Shadow studies on 20th Street on **September 23rd**  
**Fall Equinox**

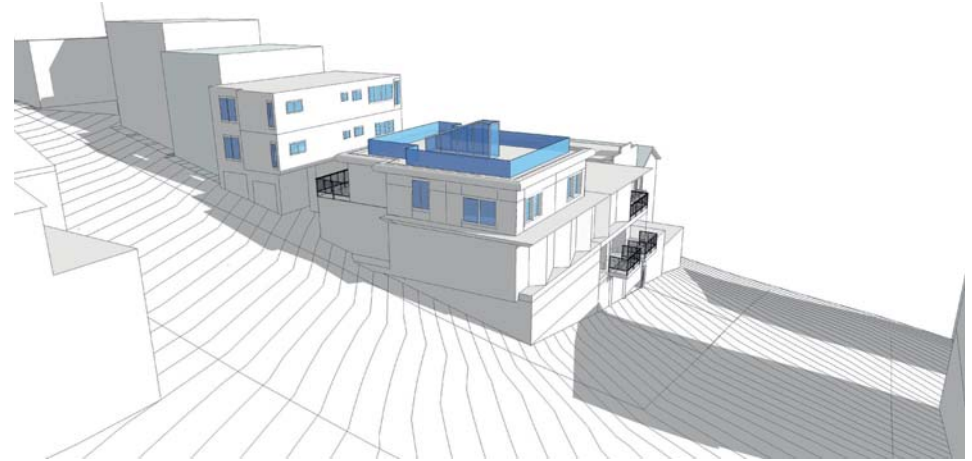
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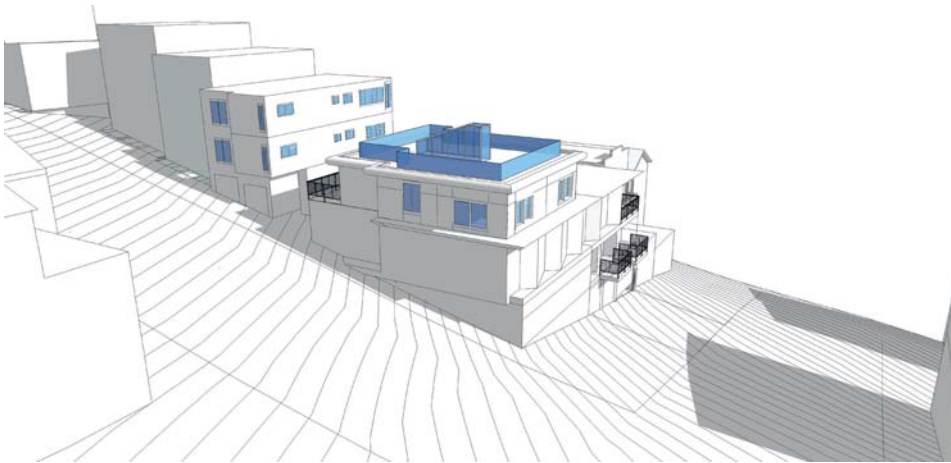
For Study Purposes Only



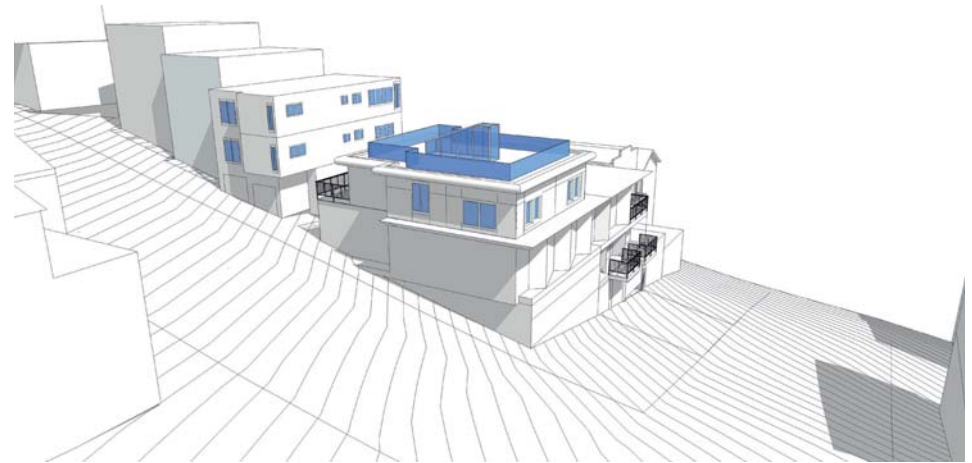
First appearance of shadow  
06/21 5.30 a.m.



06/21 6.30 a.m.



06/21 7.30 a.m.



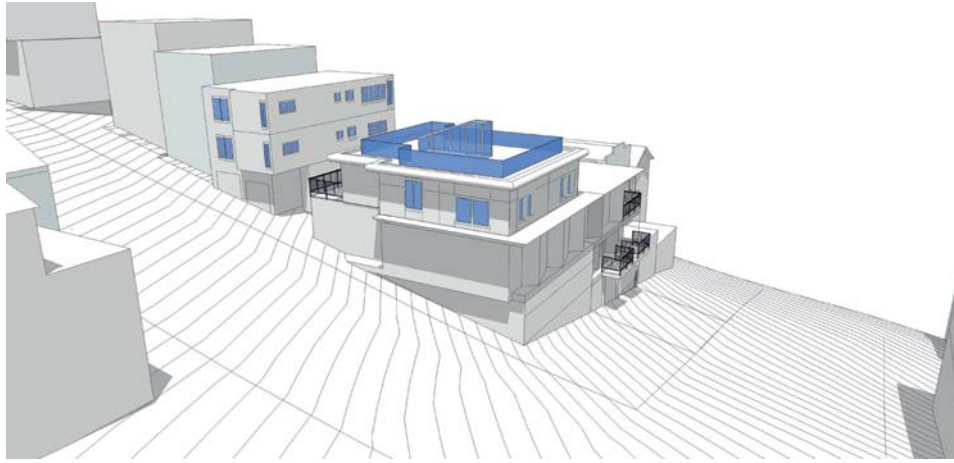
06/21 9.30 a.m.

Shadow studies on 20th Street on **June 21st**  
**Summer Solstice**

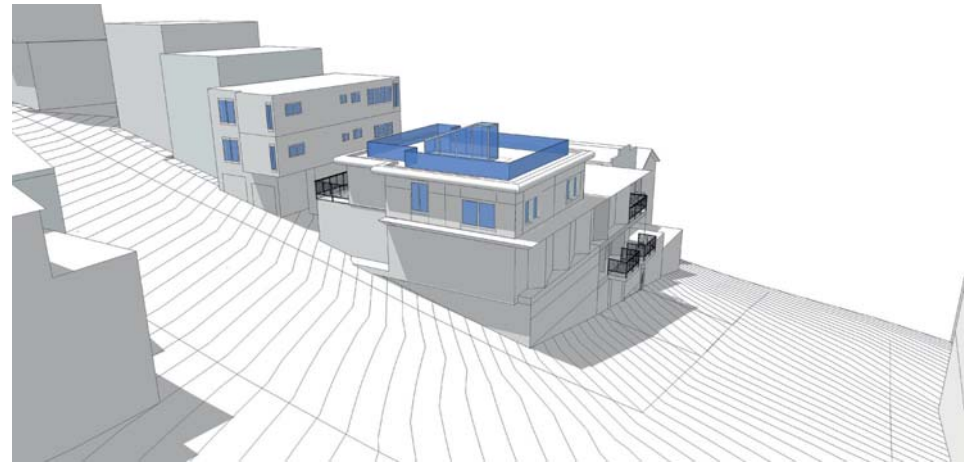
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06/21 11.30 a.m.



06/21 1.30 p.m.

Shadow studies on 20th Street on **June 21st**  
**Summer Solstice**

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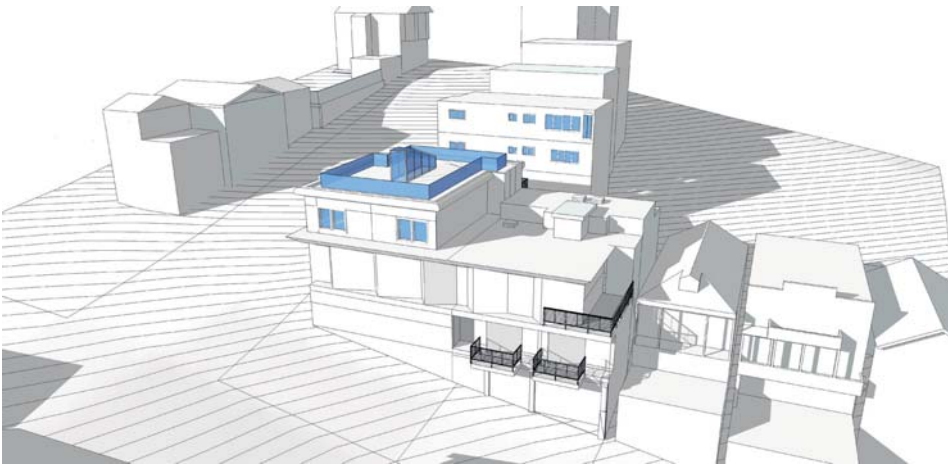
Summer Solstice (no shadows)

06/21 9.30 a.m.



Fall Equinox (shadow begins growth towards large skylight)

09/23 9.30 a.m.



2 months prior to Winter Solstice (still no effect on large skylight or 3 upper skylights)

10/21 8.30 a.m.

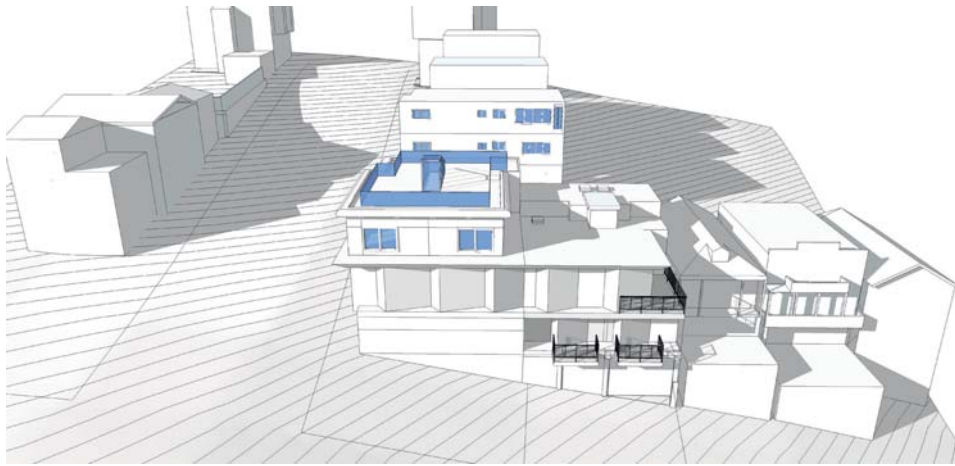


1 Month prior to Winter Solstice (shadow touches base of large skylight)

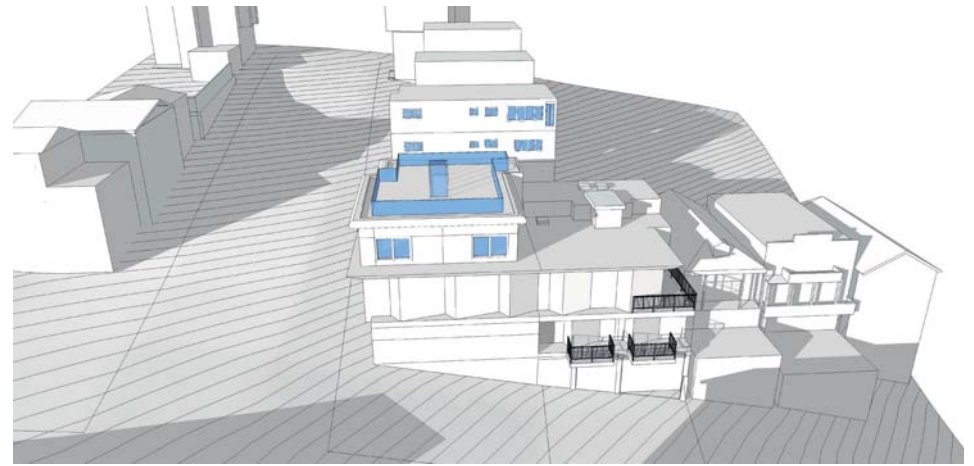
11/21 8.30 a.m.

## Shadow studies on DeHaro Street

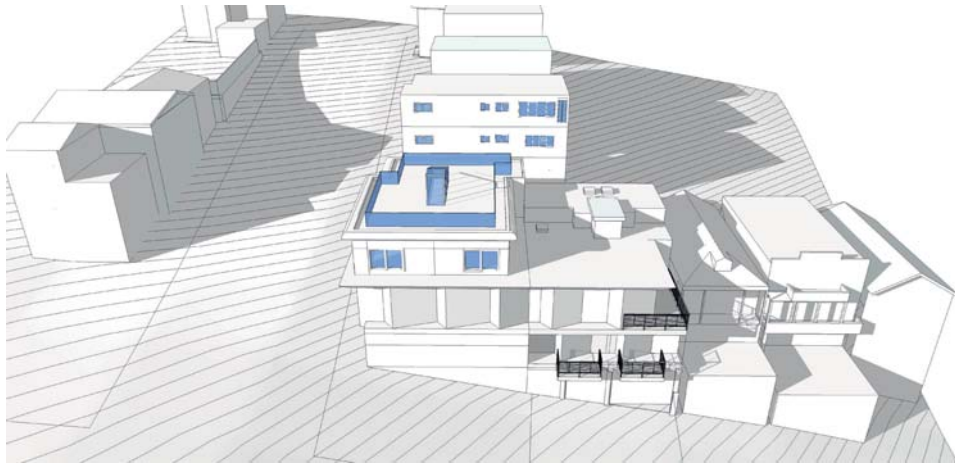




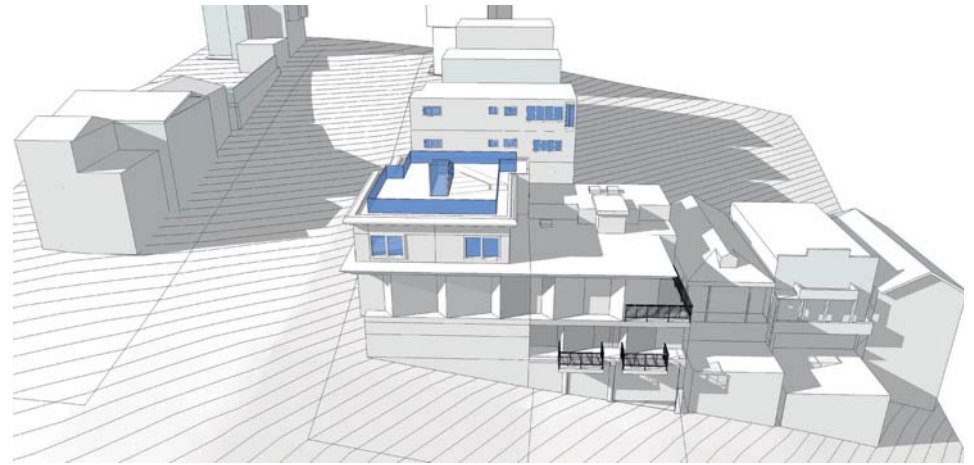
11/21 9.30 a.m.



11/28 8.30 a.m.



11/28 9.30 a.m.



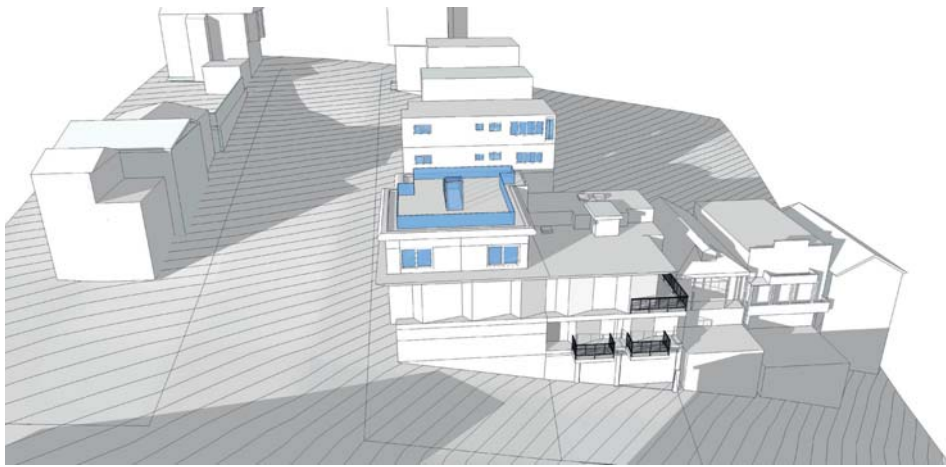
11/28 10.30 a.m.

Shadow studies on DeHaro Street  
November

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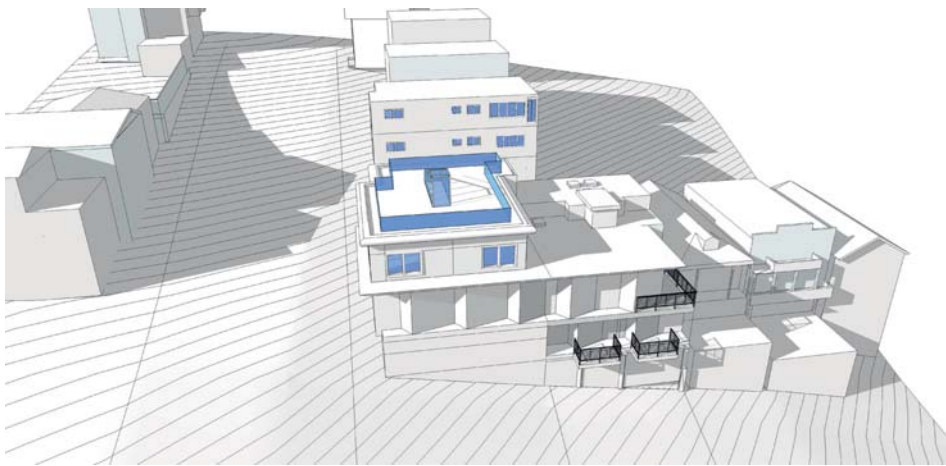
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12/5 8.30 a.m.



12/5 9.30 a.m.



12/5 10.30 a.m.

Shadow studies on DeHaro Street  
December 5th

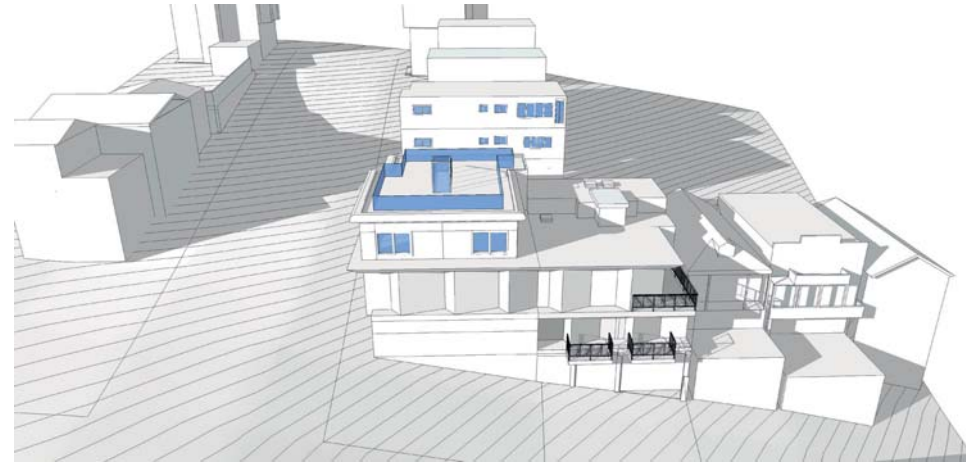
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12/12 8.30 a.m.



12/12 9.30 a.m.



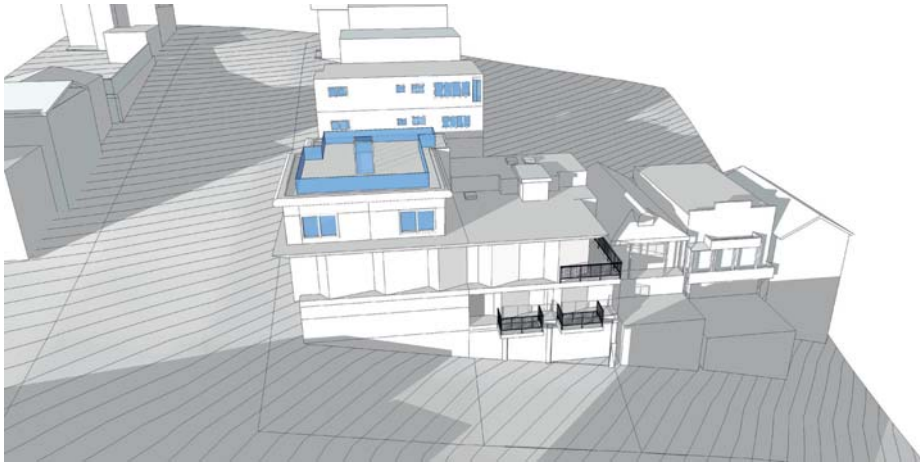
12/12 10.30 a.m.

Shadow studies on DeHaro Street  
December 12th

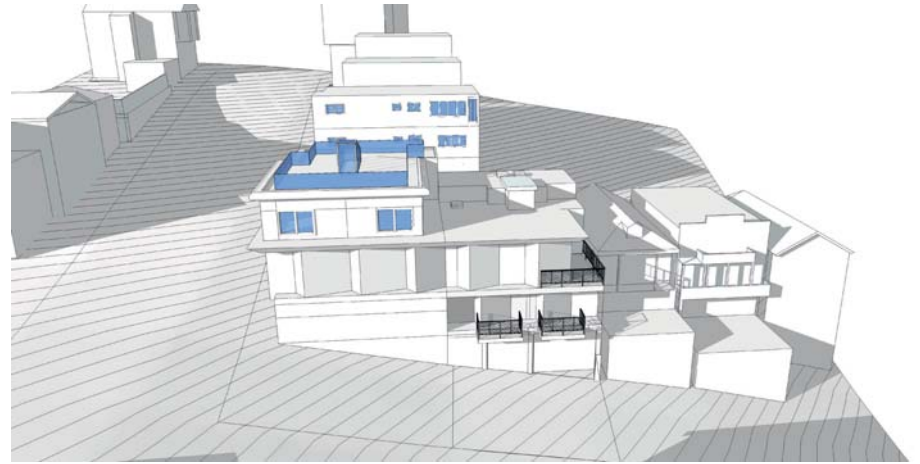
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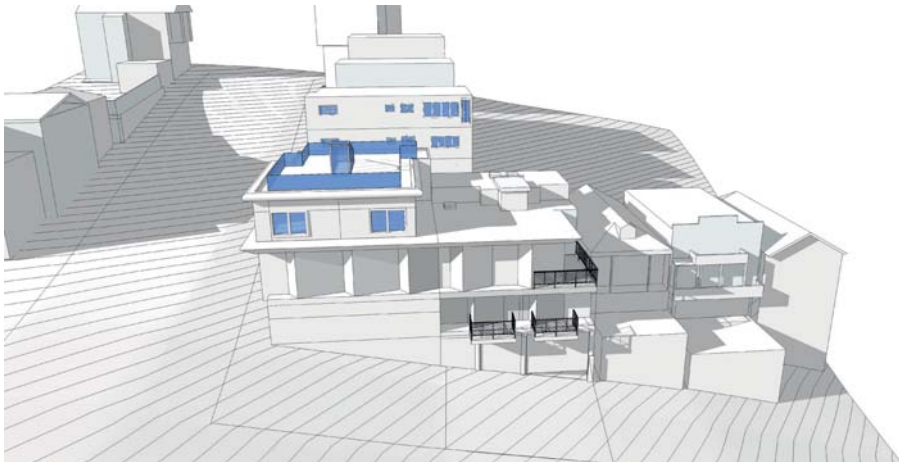
For Study Purposes Only



12/21 8.30 a.m.



12/21 9.30 a.m.



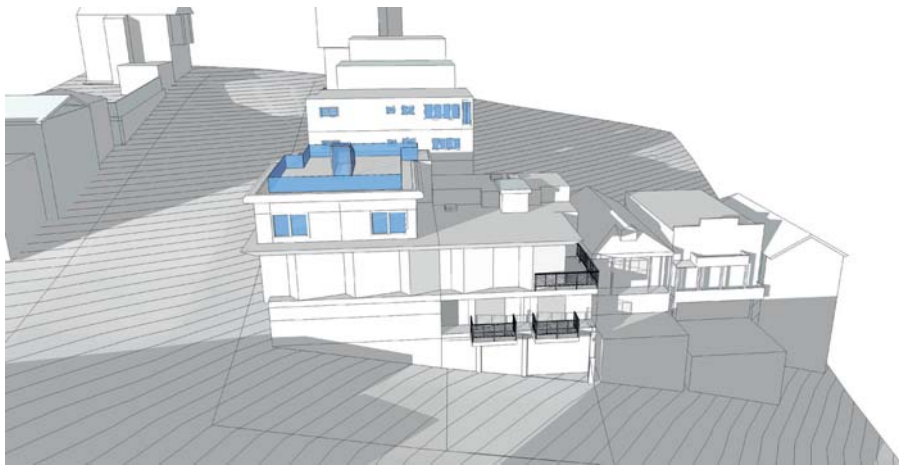
12/21 10.30 a.m.

Shadow studies on DeHaro Street  
December 21st

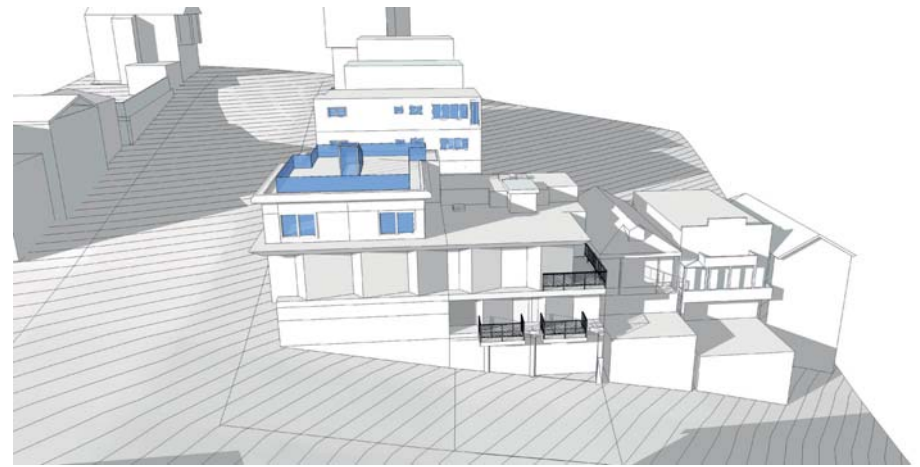
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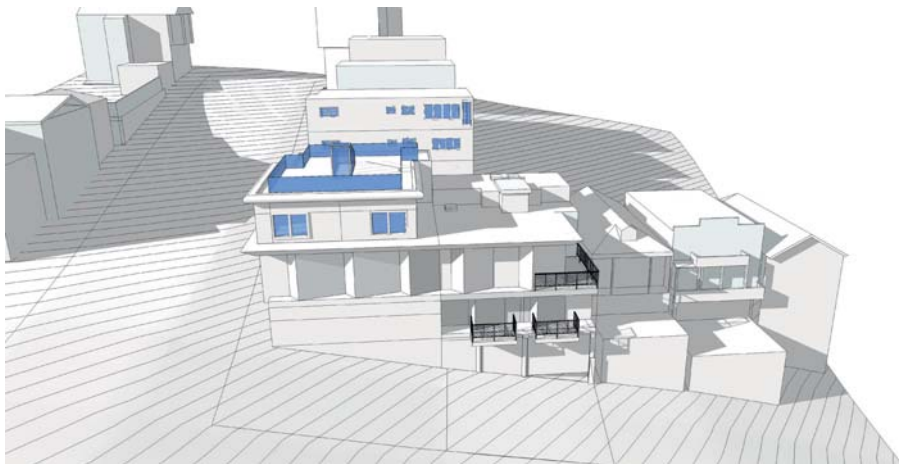
For Study Purposes Only



12/28.30 a.m.



12/28 9.30 a.m.



12/28 10.30 a.m.

Shadow studies on DeHaro Street  
December 28th

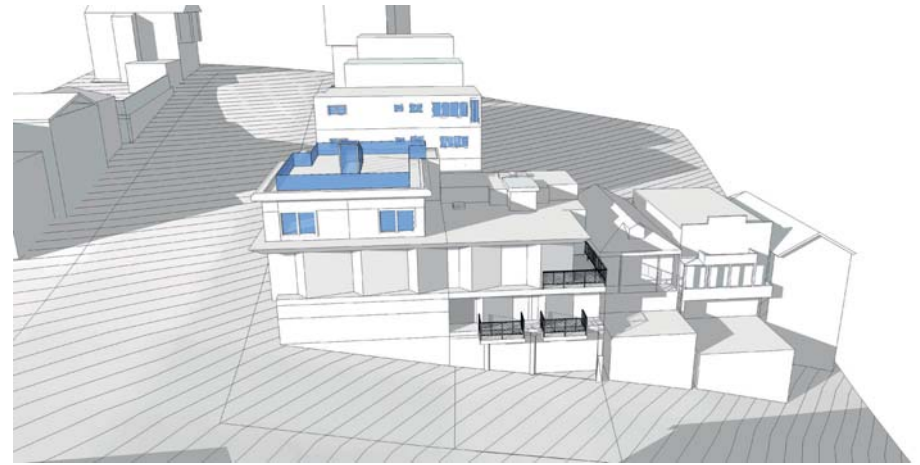
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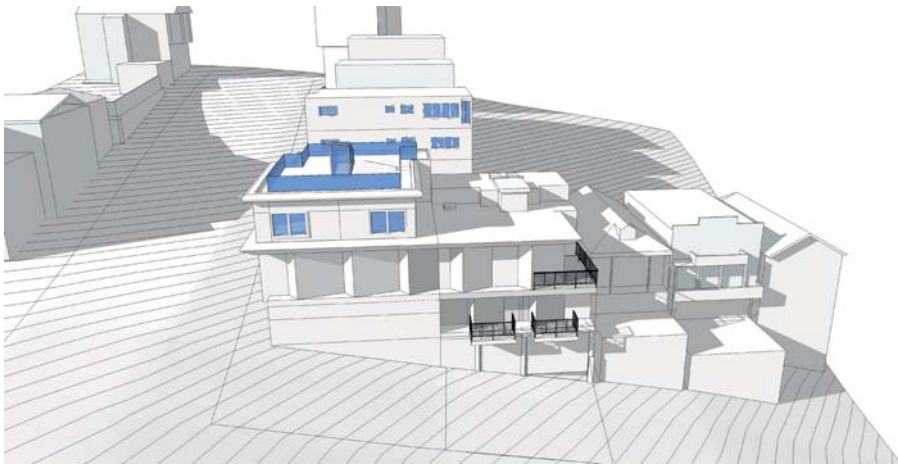
For Study Purposes Only



1/4 8.30 a.m.



1/4 9.30 a.m.



1/4 10.30 a.m.

Shadow studies on DeHaro Street  
January 4th

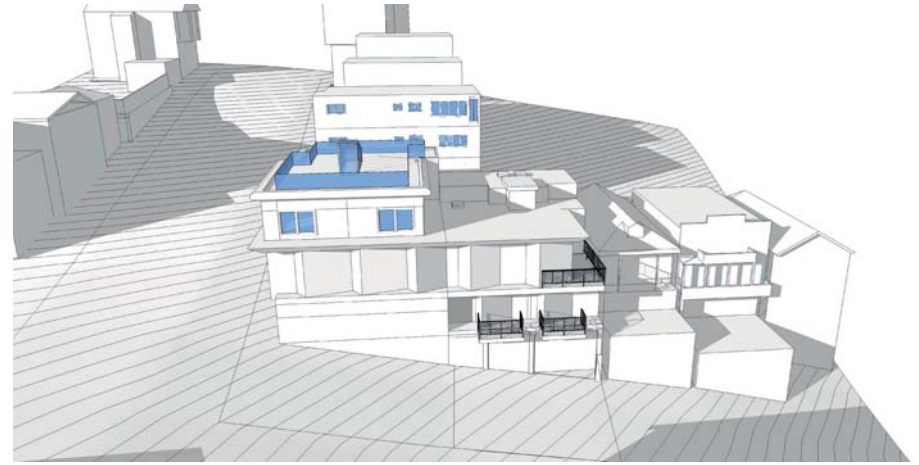
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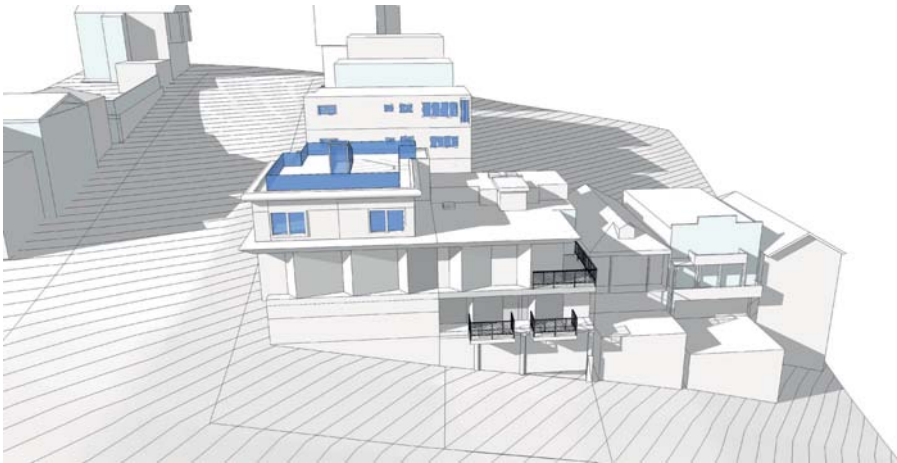
For Study Purposes Only



1/11 8.30 a.m.



1/11 9.30 a.m.



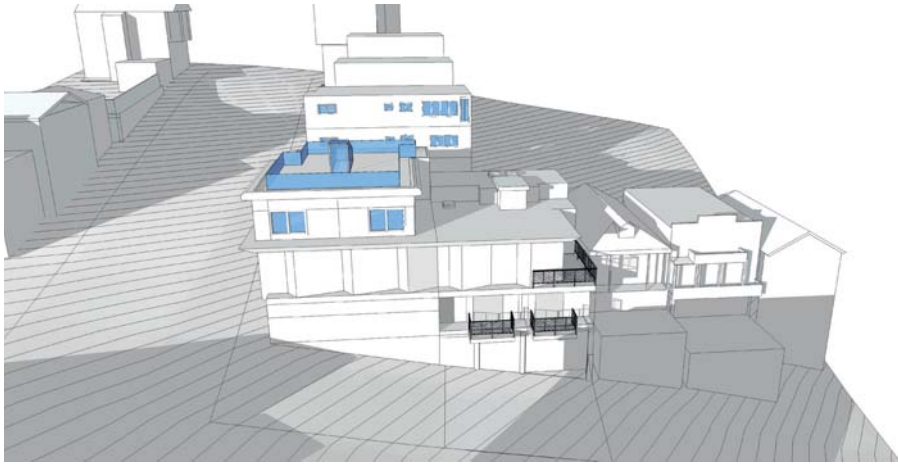
1/11 10.30 a.m.

Shadow studies on DeHaro Street  
January 11th

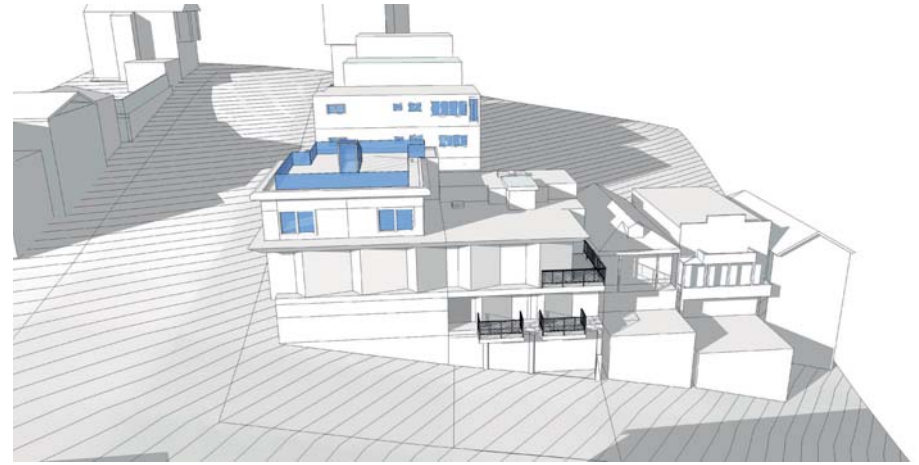
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1/18 8.30 a.m.



1/18 9.30 a.m.



3/23 9.30 a.m.

Shadow studies on DeHaro Street  
January 18th & March 23rd

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chan residence  
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# CEQA Categorical Exemption Determination

SAN FRANCISCO  
PLANNING  
DEPARTMENT

## Property Information

PROJECT ADDRESS 2000 20th St		BLOCK/LOT(S) 4072 / 23
CASE NO. 2011.0476 E	PERMIT NO.	PLANS DATED

### STEP 1 EXEMPTION CLASS

- Class 1: Existing Facilities**  
Interior and exterior alterations; additions under 10,000 sq.ft.; change of use if principally permitted or with a CU.
- Class 3: New Construction**  
Up to three (3) single family residences; six (6) dwelling units in one building; commercial/office structures under 10,000 sq.ft.; accessory structures; utility extensions.

**NOTE:**  
If neither class applies, an *Environmental Evaluation Application* is required.

### STEP 2 CEQA IMPACTS (To be completed by Project Planner)

If condition applies, please initial.

\_\_\_\_\_ **Transportation:** Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?

\_\_\_\_\_ **Air Quality:** Would the project add new sensitive receptors (specifically, schools, colleges, universities, day care facilities, hospitals, residential dwellings [subject to Article 38 of the Health Code], and senior-care facilities)?

\_\_\_\_\_ **Hazardous Materials:** Would the project involve 1) change of use (including tenant improvements) and/or 2) soil disturbance; on a site with a former gas station, auto repair, dry cleaners, or heavy manufacturing use, or on a site with underground storage tanks?  
*Phase I Environmental Site Assessment required for CEQA clearance (E.P. initials required)*

\_\_\_\_\_ **Soil Disturbance/Modification:** Would the project result in the soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in non-archeological sensitive areas?

Refer to: FP ArcMap > CEQA CatEx Determination Layers > Archeological Sensitive Areas

\_\_\_\_\_ **Noise:** Does the project include new noise-sensitive receptors (schools, colleges, universities, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area?

Refer to: FP ArcMap > CEQA CatEx Determination Layers > Noise Mitigation Area

\_\_\_\_\_ **Subdivision/Lot-Line Adjustment:** Does the project site involve a subdivision or lot-line adjustment on a lot with a slope of 20% or more?

Refer to: FP ArcMap > CEQA CatEx Determination Layers > Topography

**NOTE:**  
If ANY box is initialed in STEP 2, Environmental Planner MUST review & initial below. (If not, go to STEP 3)

#### Further Environmental Review Required.

Based on the information provided, the project requires an *Environmental Evaluation Application* to be submitted.

**GO TO STEP 6**

#### Project Can Proceed With Categorical Exemption Review.

The project has been reviewed by the Environmental Planner and can proceed with categorical exemption review.

**GO TO STEP 3**

**STEP 3** PROPERTY STATUS - HISTORICAL RESOURCE

Property is one of the following: (Refer to: San Francisco Property Information Map)

**Category A: Known Historical Resource** **GO TO STEP 5**

**Category B: Potential Historical Resource ( over 50 years of age )** **GO TO STEP 4**

**Category C: Not a Historical Resource or Not Age Eligible ( under 50 years of age )** **GO TO STEP 6**

**STEP 4** PROPOSED WORK CHECKLIST ( To be completed by ALL Planners )

If condition applies, please initial.

- \_\_\_\_\_ 1. **Change of Use and New Construction** (tenant improvements not included).
- \_\_\_\_\_ 2. **Interior alterations/interior tenant improvements.** Note: Publicly-accessible spaces (i.e. lobby, auditorium, or sanctuary) require preservation planner review.
- \_\_\_\_\_ 3. **Regular maintenance and repair** to correct or repair deterioration, decay, or damage to the building.
- \_\_\_\_\_ 4. **Window replacement** that meets the Department's *Window Replacement Standards*.
- \_\_\_\_\_ 5. **Garage opening** that meets the *Guidelines for Adding Garages and Curb Cuts* (not including storefront window alterations).
- \_\_\_\_\_ 6. **Deck, terrace construction, or replacement fences** that are not visible from any immediately adjacent public right-of-way.
- \_\_\_\_\_ 7. **Mechanical equipment installation** not visible from any immediately adjacent public right-of-way.
- \_\_\_\_\_ 8. **Dormer installation** that meets the requirements for exemption from public notification under *Zoning Administrator Bulletin: Dormer Windows*.
- \_\_\_\_\_ 9. **Additions** that are not visible from any immediately adjacent public right-of-way for 150' in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.

**NOTE:**

Project is **not listed:**

**GO TO STEP 5**

Project **does not conform** to the scopes of work:

**GO TO STEP 5**

Project involves **4 or more** work descriptions:

**GO TO STEP 5**

Project involves **less than 4** work descriptions:

**GO TO STEP 6**

**STEP 5** CEQA IMPACTS - ADVANCED HISTORICAL REVIEW ( To be completed by Preservation Planner )

If condition applies, please initial.

- \_\_\_\_\_ 1. Project involves a **Known Historical Resource (CEQA Category A)** as determined by Step 3 and conforms entirely to Scope of Work Descriptions listed in Step 4. (Please initial scopes of work in STEP 4 that apply.)
- \_\_\_\_\_ 2. **Interior alterations to publicly-accessible spaces.**

3. **Window replacement** of original/historic windows that are not "in-kind" but are consistent with existing historic character.

4. **Facade/storefront alterations** that do not remove, alter, or obscure character-defining features.

5. **Raising the building** in a manner that does not remove, alter, or obscure character-defining features.

6. **Restoration** based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

7. **Addition(s)**, including mechanical equipment that are minimally visible from a public right of way and meets the *Secretary of the Interior's Standards for Rehabilitation*.

8. **Other work consistent** with the *Secretary of the Interior Standards for the Treatment of Historic Properties*

Specify:

9. **Reclassification of property status** to Category C

Specify:

See attached HRER, dated 9/27/2011

\* Requires initial by Senior Preservation Planner / Preservation Coordinator

**NOTE:**

If ANY box is initialed in STEP 5, Preservation Planner MUST review & initial below.

**Further Environmental Review Required.**

Based on the information provided, the project requires an *Environmental Evaluation Application* to be submitted.

**GO TO STEP 6**

**Project Can Proceed With Categorical Exemption Review.**

The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review.

**GO TO STEP 6**

tbl [Signature]

**STEP 6 CATEGORICAL EXEMPTION DETERMINATION**

(To be completed by Project Planner)

**Further Environmental Review Required.**

Proposed Project does not meet scopes of work in either:

(check all that apply)

Step 2 (CEQA Impacts) or

Step 5 (Advanced Historical Review)

**STOP!**

Must file *Environmental Evaluation Application*.

**No Further Environmental Review Required.** Project is categorically exempt under CEQA.

Planner's Signature

[Signature]

Date

10/17/2011

Once signed and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.



# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Resource Evaluation Response

*Date* September 27, 2011  
*Case No.:* 2011.0476E  
*Project Address:* 2000 20<sup>th</sup> Street  
*Zoning:* RM-1 (Residential, mixed, Low density)  
40-X Height and Bulk District  
*Block/Lot:* 4072/023  
*Date of Review:* September 27, 2011 (Part 1)  
*Staff Contact:* Brett Bollinger (Environmental Planner)  
(415) 575-9024  
[brett.bollinger@sfgov.org](mailto:brett.bollinger@sfgov.org)  
Moses Corrette (Preservation Planner)  
(415) 558-6295  
[moses.corrette@sfgov.org](mailto:moses.corrette@sfgov.org)

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Suite 400  
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**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information.  
**415.558.6377**

### PART I: HISTORIC RESOURCE EVALUATION

#### Buildings and Property Description

Located at the northwest corner of 20<sup>th</sup> and De Haro Streets, 2000 20<sup>th</sup> Street is within the Potrero Hill Neighborhood of San Francisco. The lot of the subject property slopes between 20 to 25 percent down to the north and up to the west.

2000 20<sup>th</sup> Street was constructed in 1959 by designer/builder David K. Evers. It is a two-and three-story, two-family residence. The front of the building faces east and is a two-story, flat-roofed, wood clad structure. A cobblestone driveway, sloped in two directions, leads to a paneled two-car wide garage door. The driveway is flanked by stone walls and terraced planting areas. A centrally located, paneled entry door is found north of the garage door. To the north of the entry door is a large picture window flanked by tall sliding windows that align at the top. Six large, fixed panes of glass installed at angles to create a zigzag window wall characterize the upper floor. Above this second-story, window-wall is a large boxed eave with angled fascia board. The window and door trim is simple, flat painted wood. The simple black trim also divides smooth wall panels into squares and rectangles. A flat eave of wood slats with exposed rafters divides the front elevation and reveals the bottom of the angled windows above.

At the south elevation, the ground floor level emerges from the sloping grade. Slightly recessed from the upper, the lower level features a pattern of regular, vertical painted wood slats. A framework of painted wood is imposed over the wood slats dividing the area into rectangles of alternating sizes. Two steel posts are boxed with painted wood. The upper level of the south elevation is entered from the west. A narrow walkway leads to a flush painted wood door. The wall along the walkway is divided into six rectangular panels with simple wood trim. High rectangular windows are located at the top of each panel. The door opens into an enclosed courtyard. The exterior wall of the courtyard features five tall fixed pane windows with low panels below. The height of the panels aligns with the walkway railing.

Beyond the courtyard to the east, the wall is divided into five panels with high rectangular windows. The eave with angled fascia board does not extend as far out on the south elevation as it does on the east.

### Pre-Existing Historic Rating / Survey

The subject property is not included on any historic resource surveys or listed on any local, state or national registries. The building is considered a "Category B" property (Properties Requiring Further Consultation and Review) for the purposes of the Planning Department's California Environmental Quality Act (CEQA) review procedures due to its being more than 50 years of age (constructed in 1959).

It should be noted that the immediate blocks surrounding the site have not been formally surveyed.

### Neighborhood Context and Description

The Mission San Francisco de Asis was founded in 1776. The area which is now known as Potrero Hill was originally pasture land for the Mission and called "Potrero Nuevo" (or New Pasture).<sup>1</sup> In 1844, Potrero Nuevo was given as a land grant to the twin sons of Francisco de Haro (1792-1849), first "alcalde" (or mayor) of San Francisco.<sup>2</sup> Two years later, the sons were killed as suspects of aiding the Mexican military.<sup>3</sup> After the Gold Rush and subsequent adoption of the State of California into the United States, the De Haro Family tried to retain control of Potrero Nuevo until the courts finally denied ownership in 1878.<sup>4</sup> The steeper slopes of the Potrero Hill area remained undeveloped until well into the twentieth century.<sup>5</sup> In 1955, the San Francisco Planning Department issued a "Neighborhood Improvement Study" for Potrero Hill. This study included proposed changes in "land use;" adding some high-density areas.<sup>6</sup> The residents of Potrero Hill opposed the findings of the study and fought to avoid urban renewal in their neighborhood.

2000 20<sup>th</sup> Street, is located in a primarily residential area with mixed residential dwellings and multi-family buildings from the 1890s to present-day. Streets are regular, and conform to a standard grid rather than topography, resulting in steep streets on this hillside. The residences are designed in a variety of styles, including Victorian, Edwardian, First Bay Tradition, Period Revival and Modern Styles, which reflect the various stages of development within the neighborhood. There are several buildings in the area of the subject building that were included in the Here Today Survey and the 1976 Architectural Survey, but do not form a concentration such that a potential historic district could be identified.

### CEQA Historical Resource(s) Evaluation

#### Step A: Significance

*Under CEQA section 21084.1, a property qualifies as a historic resource if it is "listed in, or determined to be eligible for listing in, the California Register of Historical Resources." The fact that a resource is not listed in, or*

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<sup>1</sup> Linenthal, Peter and Johnston, Abigail. *San Francisco's Potrero Hill*. San Francisco: Arcadia Publishing, 2005. Page 16.

<sup>2</sup> Ibid. Page 17

<sup>3</sup> [http://en.wikipedia.org/wiki/Kit\\_Carson](http://en.wikipedia.org/wiki/Kit_Carson) accessed 3/2/11.

<sup>4</sup> Linenthal, Peter and Johnston, Abigail. *San Francisco's Potrero Hill*. San Francisco: Arcadia Publishing, 2005. Page 19.

<sup>5</sup> Ibid. Page 86.

<sup>6</sup> San Francisco Planning Department. *Potrero Hill Neighborhood Improvement Study*, June 1955. Page 17.

determined to be eligible for listing in, the California Register of Historical Resources or not included in a local register of historical resources, shall not preclude a lead agency from determining whether the resource may qualify as a historical resource under CEQA.

Individual	Historic District/Context
<p>Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:</p> <p>Criterion 1 - Event:            <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 2 - Persons:        <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 3 - Architecture:   <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Period of Significance:</p>	<p>Property is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria:</p> <p>Criterion 1 - Event:            <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 2 - Persons:        <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 3 - Architecture:   <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Period of Significance:</p> <p><input type="checkbox"/> Contributor   <input type="checkbox"/> Non-Contributor</p>

Based on the information provided by the consultant, Johanna Street, and found in the Planning Department, Preservation staff finds that the subject building is not eligible for inclusion on the California Register either individually nor as a contributor to an eligible historic district.

**Criterion 1: Property is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.**

To be eligible under the event Criterion, the building cannot merely be associated with historic events or trends but must have a specific association to be considered significant. Staff finds that the subject building is not eligible for inclusion on the California Register individually or as a contributor to a potential historic district under Criterion 1.

2000 20th Street was constructed in 1959. According to records at the San Francisco Assessor’s Office, in the late 1950’s, Evers Construction Company, bought the empty lot that spanned along 20th Street from De Haro to Rhode Island. Evers Construction Company was owned by Kenneth Evers (1905-1989) and appears in the San Francisco City Directory in 1959. The offices of the construction company were located at 2100 18th Street, a few blocks from the purchased lot. The company disappears from the City Directory in the mid 1960’s, and was presumably just created for the buildout of the lot. Evers Construction Company subdivided the lot into standard plots and built seven multi-family residences. In the 1955 Study, the lot was zoned for half high density and half medium density residential construction but the zoning was never revised and the buildings constructed are two and three family dwellings.

Additional research has not revealed that any significant events occurred on the property, thus the building is not eligible for listing on the California Register under this Criterion.

It is therefore determined that there is not a California Register-eligible historic district in the neighborhood, and that the property at 2000 20th Street is not eligible under this Criterion.

**Criterion 2: Property is associated with the lives of persons important in our local, regional or national past.**

Based on the records on file at the San Francisco Assessor's Office the following people have owned the property, shown in chronological order: 1959 - David K. Evers; 1966 - Henry & Emilie S. Van Bergen; 1968 - Michael J. Del Castello; 1972 - James L. & Adrienne R. Mitchell; 1975 - Glenn & Geraldine Gollihur; 1991 - Garry F. Braid; 1995 - Gay Emanuela; 1997 - Marilyn Wilson-Moore; and 2010 - Kennedy Chan.

Very little information has been found about David K. Evers, the designer of the building and first owner of the building. A record of his death in 2008 was found but no obituary. No record of David K. Evers, Kenneth Evers or Evers Construction were found in the following searches; Architect & Engineer, Architectural Record, American Institute of Architects Directories, San Francisco Chronicle, Notable San Franciscans Binder at the San Francisco History Room, Biographical Index at the History Room, and the Index of Contracts at the History Room. None of the other owners showed up in the Biographical card catalog at the History Room. Records show that none of the property owners or tenants of the building are important to the local, regional or national past.

Therefore, 2000 20th Street, is not eligible under Criterion 2.

**Criterion 3: Property embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.**

2000 20th Street was constructed in 1959, and while the structure does retain the majority of its features, it does not appear to be eligible for listing on the California Register as an individual resource or as a contributor to a potential historic district under Criterion 3. Based upon the San Francisco Modern Architecture and Landscape Design 1935-1970 Historic Context Statement, this building is a good example of the "Builder-Developer" and "Midcentury Modern (1945-1965)" property type. These buildings represent few of the distinctive characteristics of its style and period and do not possess high artistic value.

2000 20th Street does not appear to relate to any potential historic district or important context in the neighborhood. There are a variety of residential building types and architectural styles located within the area, including late 19th-century and early to mid-20th-century houses, flats, and apartments, which result in a generally mixed architectural character. The block that contains the subject property lacks stylistic consistency and appears to lack potential for inclusion within a historic district.

It is therefore determined not to be eligible under this Criterion either individually or as a contributor to any potential historic district or important context.

**Criterion 4: Property yields, or may be likely to yield, information important in prehistory or history.**

Based upon a review of information in the Departments records, the subject property is not significant under Criterion 4, which is typically associated with archaeological resources. Furthermore, the subject property is not likely significant under Criterion 4, since this significance criteria typically applies to rare construction types when involving the built environment. The subject property is not an example of a rare construction type.

**Step B: Integrity**

*To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register of Historical Resources criteria, but it also must have integrity. Integrity is defined as "the authenticity of*

a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's period of significance." Historic integrity enables a property to illustrate significant aspects of its past. All seven qualities do not need to be present as long the overall sense of past time and place is evident.

The subject property has retained or lacks integrity from the period of significance noted in Step A:

<b>Location:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	<b>Setting:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
<b>Association:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	<b>Feeling:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
<b>Design:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	<b>Materials:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
<b>Workmanship:</b>	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks			

Since 2000 20<sup>th</sup> Street was determined not to meet any of the criteria that would identify it as eligible for the California Register of Historical Resources, analysis of integrity was not conducted.

### Step C: Character Defining Features


If the subject property has been determined to have significance and retains integrity, please list the character-defining features of the building(s) and/or property. A property must retain the essential physical features that enable it to convey its historic identity in order to avoid significant adverse impacts to the resource. These essential features are those that define both why a property is significant and when it was significant, and without which a property can no longer be identified as being associated with its significance.

Since 2000 20<sup>th</sup> Street was determined not to meet any of the criteria that would identify it as eligible for the California Register of Historical Resources, this analysis was not conducted.

### CEQA Historic Resource Determination

- Historical Resource Present
- Individually-eligible Resource
  - Contributor to an eligible Historic District
  - Non-contributor to an eligible Historic District
- No Historical Resource Present

### PART I: SENIOR PRESERVATION PLANNER REVIEW

Signature:   
Tina Tam, Senior Preservation Planner

Date: 10-14-2011

cc: Virnaliza Byrd, Environmental Division/ Historic Resource Impact Review File  
Project planner, if applicable



## Sucre, Richard

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**From:** Andrew Ferguson <aferguson015@gmail.com>  
**Sent:** Tuesday, October 09, 2012 9:20 PM  
**To:** Sucre, Richard  
**Cc:** gemett@hotmail.com  
**Subject:** Proposed addition at 2000 20th Street

Dear Mr. Sucre,

I reside at 2050 20<sup>th</sup> Street in San Francisco. After reviewing the Building Permit notices I have received in the mail, and after discussing with other neighbors, I am writing to express my disagreement with the Planning Department's approval of the vertical addition that is being planned at the Chan residence on 2000 20<sup>th</sup> Street in Potrero Hill. I have several concerns with the proposed addition:

- **Size and bulk of the proposed addition:** The size of the addition and lack of any setback from the street (on both De Haro and 20<sup>th</sup> Streets) would overwhelm the corner. The height and bulk of the addition is out of proportion with the adjacent buildings and the neighborhood in general, especially on the De Haro side.
- **Poor architectural design:** The proposed blocky, generic addition fits poorly with the current lovely mid-century aesthetic of 2000 20<sup>th</sup> and its sister adjacent building at 770 De Haro Street. The unique integrated design of these two buildings would be lost and our neighborhood would be left with an ill-considered, poorly architected mismatch.
- **Intrusive rooftop deck:** The proposed penthouse entry would be tall, unsightly and extremely visible from most angles, given the slope of the hill. Furthermore, the size of the roof deck is out of character for the house and the neighborhood, and would intrude on the privacy of the adjacent neighbors (the deck would have sightlines directly into the living spaces of both units of the adjacent building on 20<sup>th</sup> Street!).
- **Loss of neighborhood views:** The proposed tall, blocky addition would eliminate the community's view of the Bay Bridge from the corner of 20<sup>th</sup> and Rhode Island at the top of the hill.

I hope the Planning Commission considers these concerns during the hearing on October 18<sup>th</sup>.

Thank you for your consideration,

Andrew Ferguson

2050 20<sup>th</sup> Street

## Sucre, Richard

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**From:** ALISON HEATH <alisonheath@sbcglobal.net>  
**Sent:** Monday, October 08, 2012 7:12 PM  
**To:** Sucre, Richard  
**Cc:** Maria Cristini  
**Subject:** 2000 20th Street (for packet for DR hearing on 10/18/12)

Dear President Fong and Commissioners,

I live on Potrero Hill and am writing in opposition to the proposed project at 2000 20th Street. I have reviewed the plans and am very concerned about the massive scale of the project (4355 sq. ft. plus 1460 sq. ft of deck space), which would make it considerably larger than most buildings in the area. In the context of the adjoining property at 770 DeHaro, the proposed design clearly violates the Residential Design Guidelines. This context is of particular concern since it and its "twin" at 770 DeHaro currently have the appearance of being a single unified building. The corner is a landmark to us on Potrero Hill. The destruction of this unique and lovely Mid-Century Modern structure, currently in harmony with its hilltop surroundings, would be a terrible loss to the neighborhood.

There will be significant privacy issues if the large decks overlooking neighboring homes are built. The bulky structure will cast shadows over living areas and backyards of adjoining properties. The loss of natural light to 770 DeHaro is a particular concern as the skylights and atrium would be in the shadow of the proposed structure.

I urge the Planning Commission to take a hard look at this project and either deny the permit or reduce the scale of the proposed addition and mitigate the impact on its neighbors. To preserve this neighborhood gem, any changes to the property should be done with considerable sensitivity, and with respect for the original building design and that of its adjoining twin. The current plans do neither.

Sincerely,

Alison Heath  
333 Mississippi St.  
San Francisco, CA 94107

**ALAN HESS**  
ARCHITECT  
4991 CORKWOOD LANE  
IRVINE, CA 92612  
949 551 5343  
[alan@alanhess.net](mailto:alan@alanhess.net)

September 10, 2012

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Re: 2000 20th St. and 770 De Haro St.

Dear Mr. Sucre:

I am writing because of my concern about the proposed alterations to 2000 20th St./770 De Haro St. This building is an excellent and intact example of Midcentury Modern architecture, but the drawings submitted for additions indicate that the historical character of the building will be substantially and negatively affected. The building's evident qualities, and its notable integrity, call for further consultation and review related to its historical and architectural status.

I respectfully disagree with the Sept. 27, 2011 Historic Resource Evaluation Response, which found that this building did not qualify under Criterion 3. In my opinion, this building is an example of Midcentury Modern architecture that possesses a high artistic value in its execution. It is more accurately assessed in this category than in the Builder-Developer category. Because it is a "Category B: Potential Historic Resource" (not Category C as the Response states) under the CEQA Categorical Exemption Determination, it deserves Advanced Historical Review.

I offer this opinion as an architect and a historian. Many of my nineteen published books focus on the history of Midcentury Modern architecture, particularly in California. I am also the architecture critic for the *San Jose Mercury News*. I am including my resume with this letter.

In the 1950s, San Francisco architects and builders lead the nation in the design and construction of Modern architecture. These resources are dwindling, however, so good examples that are as well preserved as this must be preserved.

I would like to point out several of the design's sophisticated and character-defining features which make it exemplary and raise it above the Builder-Developer category.

The overall rectilinear composition of the street facades combines several distinctive Modern elements which are handled in a knowledgeable manner that relate to the Modern concept of structural expression. The grid of the wood structure is clearly expressed on the exterior in bands of wood trim with cement-asbestos infill. The various sizes of the banks of windows respond in a straightforward expression of interior functions, creating more light in certain areas, creating privacy in others, and opening even more extensively where the house turns to the view of the city and bay.

These latter, angled view windows on the east facade are of particular note. They are asymmetrical bay windows (angled toward the best view) which extend along the entire top floor. At one point the floor-to-ceiling glass is shortened to counter-to-ceiling, where the kitchen is situated -- an indication of the designer's sensitivity to interior function in his composition of the exterior. The bedroom windows on the middle level on the east side also demonstrate an appropriate functional variation on the angled window motif by adding useable balconies growing from the structure.

One frequent aspect of Bay Area Modernism is its consideration of historic precedent. In these angled windows, the designer has taken the regional bay window (known since the nineteenth century) used to bring light and views into a house, and updates it with the Modern technology of large glass windows, and minimal trim. This is further evidence of the design's sophistication, qualifying it for further historical review.

The site, sloping in two directions, is a demanding one for a three level urban house. And yet the design cleanly composes the expression of the structure, the expression of the interior spaces, and various materials and textures commonly used in Bay Area Modernism. These materials include glass, vertical milled battens, cement-asbestos panel infill, wide eaves, exterior catwalks, and tubular concrete foundations. These concrete columns are, in Modern fashion, exposed on the lowest level, framing the garage door.

Despite the number of features involved, the design remains unified as each element grows out of the underlying Modern concept of structural and functional expression. Modern architecture's hallmarks -- its clean lines and simplicity -- are maintained. The opportunity to use texture for ornamental enrichment (as with the vertical infill battens) is also a sophisticated Modern element. Though it is a multi-unit building constructed in phases, it is clearly designed as one unified architectural statement. This visual unity, in turn, adds to the visual unity of the neighborhood.

Though the designer of this building is identified in the Historic Resource Evaluation Response as a builder-designer (David K. Evers), this does not diminish the building's architectural value. It is today clear that the design is a highly evolved example of Modern design of this period. In this period, several architects notable today were not licensed; also, many buildings were designed by architecture-school-trained draftsmen who had not yet received their licenses; in addition, some licensed architects did "bootleg" designs when they were working for a firm that forbid their employees to do outside work.

Similar approaches to design may be seen in other notable examples of Bay Area architecture. The window angled to the view can be seen in John Dinwiddie's 1938 Roos house, Gardner Dailey's 1941 Telegraph Hill flats, and Henry Hill's 1955 Tanner Dental building; the treatment of a large two-story block on a difficult site can be seen in Wurster Bernardi and Emmon's 1951 Francisco St. townhouse. The design of 2000 20th St. is an original interpretation of such Modern ideas.

With such a noteworthy piece of architectural design, any alterations must be treated very carefully. The additions proposed, however, would greatly diminish the original design. The size of the proposed addition is out of proportion to the original. The proposed top floor is a foot taller than the existing floor beneath it, giving a top-heavy appearance to the well-balanced proportions of the original design.

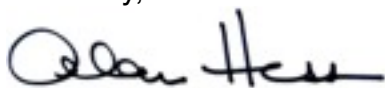
The drawings submitted do not show sufficient detail to give a thorough assessment of the addition's impact, but what is indicated ignores many of the careful relationships seen in the trim, composition, and structure of the original. Changes to existing windows on the south facade would also alter the original proportions of the design.

The proposal to fill in the existing entry/light court would diminish the transparency and lightness of the original Modern design; openness, natural light, and a connection to the outdoors were all goals of Modern design in this period.

These are only a few examples of the ways the addition would diminish an excellent existing design.

The building at 2000 20th St. is a strong architectural example of the period. This period is one worth preserving as it embodies the progressive, vibrant character of the Bay Area's society, creativity, economy, and population explosion in the midcentury. The proposed alterations, including additions, substantially diminish the original historic Modern character of this building. The beauty of the design derives from the materials and proportions which express the actual structural character of the building. A building of such high quality of design adds to the quality of its neighborhood and the city. In addition, a licensed architect who is fully conversant with this Modern style should be employed to do justice to the original building, and its contribution to the city.

Sincerely,

A handwritten signature in black ink, appearing to read "Alan Hess". The signature is fluid and cursive, with the first name "Alan" being more prominent than the last name "Hess".

Alan Hess



**GRANTS**                   Graham Foundation for Advanced Studies in the Fine Arts,  
research on Brazilian landscape architect Roberto Burle  
Marx, 1990

**LICENSE**                   Licensed architect, California # C 15747

## **SELECTED PUBLICATIONS**

### **BOOKS:**

**Frank Lloyd Wright: Natural Design, Organic Architecture** Rizzoli International,  
New York, 2012

**Casa Modernista: A History of the Brazil Modern House** Rizzoli International, New  
York 2010

**Oscar Niemeyer Buildings** Rizzoli International, New York 2009

**Frank Lloyd Wright: The Buildings** Rizzoli International, New York 2008

**Julius Shulman: Palm Springs** Rizzoli International, New York 2008

**Forgotten Modern: California Houses 1940-1970** Gibbs Smith Publisher, Layton,  
UT 2007

**Frank Lloyd Wright: Mid-Century Modern**, Rizzoli International, New York 2007

**Organic Architecture: The Other Modernism** Gibbs Smith Publisher, Layton, UT  
2007

**Frank Lloyd Wright: Prairie Houses**, Rizzoli International, New York 2006

**Oscar Niemeyer Houses**, Rizzoli International, New York 2006

**Frank Lloyd Wright: The Houses**, Rizzoli International, New York 2005

**The Ranch House**, Harry Abrams, Inc., New York 2005

**Googie Redux: Ultramodern Roadside Architecture**, Chronicle Books, San  
Francisco 2004

**Palm Springs Weekend: the Architecture and Design of a Midcentury Oasis**,  
Chronicle  
Books, San Francisco 2000

**Rancho Deluxe: Rustic Dreams and Real Western Living**, Chronicle Books, San  
Francisco 2000

**The Architecture of John Lautner**, Rizzoli International, New York 1999

**Hyperwest: American Residential Architecture on the Edge**, Thames & Hudson,  
London 1996

**Viva Las Vegas**, Chronicle Books, San Francisco, CA 1993

**The Car and the City**, "Styling the Strip," chap. 13, University of Michigan Press,  
Ann Arbor, MI 1991

**Googie: Fifties Coffee Shop Architecture**, Chronicle Books, San Francisco, CA  
1986

### **MAGAZINES, JOURNALS, AND NEWSPAPERS:**

"Schindler Goes Hollywood," **Los Angeles Review of Books**, May 26, 2012

"New Apple Campus," **San Jose Mercury News**, Sept. 2011

"John Lautner and Los Angeles," **Los Angeles Times**, July 23, 2011



- "Coming to Terms with the Sixties," **National Trust Forum Journal**, Summer 2010 vol 24 no 4
- "Colorful Landmarks: how color shaped public space in 1950s suburbia," **New Geographies**, Harvard Graduate School of Design, Oct 2010
- "The Suburbs and the Ranch House," **California College of the Arts Architecture Studio Series**, 2005
- "The Place of Histories," **Architecture California**, 04:1, 2003
- "Steven Ehrlich house, Pacific Palisades," **Metropolitan Home**, Dec. 2005
- "Montalvo Artists' Village," **Architectural Digest**, June 2005
- "Cliff May's Romantic Mandalay," **Architectural Digest**, May 2005
- "Meeting the Horizon in California, Roscoe House by Helena Arahuete," **Architectural Digest**, Jan. 2005
- "Historic Architecture: Oscar Niemeyer," **Architectural Digest**, May 2003
- "The Place of Histories," **Architecture California**, 04:1, 2003
- "San Jose: A Downtown in the Making," **Places**, vol. 15, no. 2
- "High Art Parking Lot," **Rearview Mirror: Automobile Images and American Identities**, University of California, Riverside 2000
- "Eine kurze Geschichte von Las Vegas," **Stadt Bauwelt** 143, Sept. 1999
- "City Center to Regional Mall," **Journal of Preservation Technology**, vol XXVII, no 4, 1997
- "New York, New York," **Architectural Record**, March 1997
- "John Lautner" **Progressive Architecture**, December 1994
- "The Origins of McDonald's Golden Arches," **Journal of the Society of Architectural Historians**, XLV: 60-67, March 1986
- "Technology Exposed," **Landscape Architecture**, May 1992, pp 38-48
- "Burle Marx: A Shaky Legacy," **Landscape Architecture**, April 1992 p 38
- "Back to Brasilia," **Progressive Architecture**, October 1991 pp 96-97
- "Greenwald house," **Los Angeles Times Magazine**, October 27, 1991, p 31
- "Of Cities and Their Halls," **San Francisco Examiner**, Aug. 7, 1991
- "*American Style* and *Fifties Style*: reviews," **Design Book Review**, Winter 1989
- "Schindler and Goff: Architectures," **L.A. Style**, March 1989
- "Monsanto House of the Future," **Fine Homebuilding**, August/September 1986, No. 34
- "The Eichler Homes," **Arts + Architecture**, Vol. 3, No. 3, 1984

## **SELECTED TALKS**

### **LECTURES:**

Getty Research Institute; Kansas City Modern; Dallas Modern; Arizona Preservation Conference Keynote; Nevada Museum of Art Symposium; Society of Architectural Historians Tour; Commonwealth Club of San Francisco; Society for Commercial Archeology Conference Keynote; Los Angeles Conservancy Welton Becket Centennial Keynote; Columbia University School of Architecture; Houston Modern; Phoenix Modern; Walker Art Museum; Chicago Humanities Festival; Cooper-Hewitt Museum of Design; Yale University School of Architecture; Graham Foundation for Advanced Studies in the Fine Arts; Greenwich (England) National Maritime Museum; Cliff May Lecture, Los Angeles

Conservancy; Vancouver (B.C.) Alcan Lecture Series; Architecture League; International Association of Shopping Center Owners; National Real Estate Editors Association; Colby College Southworth Lecture; Monterey Design Conference; University of British Columbia; National Trust for Historic Preservation Conference; AIA 2005 National Convention, Las Vegas; Hammer Museum Symposium; San Francisco AIA; California Preservation Foundation; Schusev State Museum of Architecture, Moscow.

#### **BROADCAST MEDIA AND FILMS:**

**"William Krisel, Architect,"** DesignOnScreen Foundation, 2010  
**"A Kick in the Head—The Lure of Las Vegas,"** BBC-TV January 2010  
**"Journeyman Architect: The Architecture of Donald Wexler,"**  
DesignOnScreen 2009  
**"Desert Utopia,"** DesignOnScreen, 2008  
**Which Way LA,** KCRW-FM, July 7, 2008  
**Which Way LA,** KCRW-FM July 27, 2007  
**The Late Show,** BBC-TV January 16, 1995  
**CBS Sunday Morning News with Charles Kuralt,** January 23, 1994  
**Good Morning America,** August 3, 1993  
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**Videolog,** KCET, Los Angeles, June 1985  
**Patrick Monroe Show,** CBC Radio, February 1987  
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Thomas Hines, **Architecture of the Sun,** 2010  
"Las Vegas meets la-la land," **Smithsonian,** October 1995  
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"Restaurant Architecture," **Journal of the Society of Architectural Historians,**  
XLVIII:2, June 1989  
"Legacy of the Golden Arches," **TIME,** June 2, 1986  
"Books: Pop Style to Free Style," **Progressive Architecture,** December 1986  
"Googie: Fifties Coffee Shop Architecture, a review," **Architectural Record,** May  
1986  
"Who Says It's Not a Landmark?" **Historic Preservation,** November/December  
1987  
"Googie -- History Closing the Menu on a 1950s style," **Los Angeles Times,** June  
9, 1986  
"Now let's hear it for Googie style," **Vancouver Sun,** February 5, 1987  
"Architecture and Design reviews," **Philadelphia Inquirer,** November 30, 1986  
"Architecture To Go," David Dillon, **Dallas News,** June 22, 1986  
"Googie: Fifties Coffee Shop Architecture," **Art and Design,** London, June 1986

## Sucre, Richard

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**From:** Berry Minott <berry@mw-prod.com>  
**Sent:** Monday, September 10, 2012 12:41 PM  
**To:** Sucre, Richard  
**Subject:** proposed addition to 2000 20th st.

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Phone: 415.575.9108 Fax: 415.558.6409  
[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

Dear Mr. Sucre,

Hello, my name is Berry Minott. I have gladly lived on Potrero Hill for over 20 years and reside at 763 De Haro a few houses down from the proposed addition. I've seen many changes to the hill: many wonderful and some have ongoing negative impact for the neighbors. I feel strongly that the vertical addition proposed by Mr. Kennedy Chan at 2000 20th. St. will fall into the latter category if allowed. I consistently walk in my neighborhood and know that this addition would be out of scale (bulk and height) with the houses next to it and is not in character. This is not what we want on Potrero Hill and this addition is unacceptable for this corner location.

This letter serves as notice of my disagreement with the Planning Department's approval. I have listed my concerns below:

The proposed design is bulky and overwhelming for this corner. The height and mass is out of proportion with the other buildings on the De Haro side. If allowed the 20' total height and even the additional 11'6" height of the additional living story would tower over the homes on De Haro and is out of scale for this neighborhood. This amount of step-up from 770 De Haro is too much compared to its neighboring houses and the topography of the street. 2000 20<sup>th</sup> with its original studio unit of 790 De Haro and 770 De Haro create a unique corner building we all have enjoyed for years. Changing one part of this corner building so drastically disconnects it from its twin and spoils the integrity we enjoy.

I have been in this home and its neighbor at 770 De Haro multiple times and appreciate it's architectural distinction. I question the fact that any addition would be allowed on top of this multi-corner unit, which has maintained its style since 1960. Architecturally 2000 20th currently maintains original details inside and out which are primarily intact and feature many of the design elements of Mid-Century Modern Style, which would be eliminated with this addition. I encourage the preservation of the home's current design integrity.

The rooftop deck and its penthouse entrance have many issues. These features are not found anywhere in the vicinity. The rooftop deck is disproportionate to the surrounding buildings' decks and invades many neighbors privacy and will create the possibility for a lot of evening and weekend noise that doesn't currently exist here. Allowing such an addition will set a precedent, unwanted by the neighbors of Potrero Hill.

Finally, this addition creates a loss of public view of the bay and Bay Bridge and downtown when moving from Rhode Island to 20<sup>th</sup>. Currently there is a beautiful view present. We all know how important the public views from Potrero Hill are to all city residents and for the SF Film Commission constantly filming right near this corner.

Proposed Solution:

I request that the Planning Commission does not allow permits for the addition as currently proposed for the reasons noted above.

- My first suggestion is that the Commission carefully considers maintaining the unique integrity of this mid-century architecture as is.

If for some reason that is not agreed upon I would request that Mr. Chan:

- reduce the size of the addition by eliminating the roof deck and penthouse
- provide significant set backs from De Haro street to maintain the existing fluid design between the twin homes and for this corner
- reduce the overall deck space - the total deck space on the proposed new living level will create potential of neighborhood noise, loss of privacy and is out of character with what exists in the neighborhood.
- Maintain the integrity of design, the zigzag windows and other features, by what is allowed above it.

These design changes will maintain the light and privacy of the neighboring properties and keep the addition consistent with the height, size and mass of the adjacent properties. Keeping the property in character with its neighborhood.

I do hope you and the rest of the Planning Commission take this letter into account at the upcoming hearing on September 20th.

Sincerely,

Berry Minott  
763 De Haro Street

# CHRISTOPHER COLE

769 De Haro Street  
San Francisco, CA 94107-2729  
(415) 978-9999 - tel  
(415) 978-5455 - fax

September 17, 2012

Richard Sucre

Preservation Technical Specialist/Planner      By email only to richard.sucre@sfgov.org  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Re: 2000-20th-Street proposal  
Case no. 2012.0928DDD

Dear Mr. Sucre:

I live at 769 DeHaro Street, across the street and east of the above proposed development. My wife and I have lived there for more than 25 years.

I write to you to oppose the current design of the referenced project. My objection is based upon the out-of-scale height and bulk of the currently designed project and the intrusion upon the privacy of the immediately adjacent neighbors.

The property address is on 20<sup>th</sup> Street, but the majority of the frontage is on DeHaro Street. Thus, how the proposed development fits into the DeHaro Street streetscape is important. The new height proposed will, quite simply, tower over the neighboring buildings and be out of scale with those neighboring buildings and with the immediate neighborhood.

Of particular concern is the roof deck, with the proposed penthouse. The penthouse living area and adjacent deck makes the project out of scale and will invade the privacy of the neighbors, as it will tower over them – and allow views into the neighbors' homes.

The project sponsor, Mr. Chan, and his family are certainly entitled to improve their property, but it is far preferable to do so in a way that is harmonious with the neighborhood. That harmony is the lesson the voters of San Francisco sent when they approved the Residential Design Guidelines (which, despite their name, are not “guidelines” at all – but are the law and just as important and binding as zoning and building codes).

My suggestion is that the Planning Commission take discretionary review and require the project sponsor to either eliminate the rooftop deck and penthouse (features that no other property in the immediate area has and that increase the height and bulk of the building) or at the very least, reduce the height and size significantly to protect the privacy of the neighbors.

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
Page 2 of 2

Setbacks of the facade would also help to mitigate the visual impact of this corner building.

It is important for all of us who live here that our neighborhood retain its character. That character is one of the reasons we live here and it is likely one of the reasons the Chan family chose to live here. The best way to retain neighborhood character is to assure that new projects are neither oversized nor out-of-scale for the neighborhood.

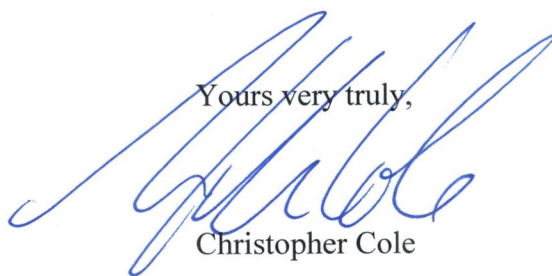
2000-20th-Street as it now exists fits *perfectly* into the neighborhood. It anchors the corner of 20<sup>th</sup> Street and DeHaro, but does not overwhelm it. Whatever improvements are made should be required to also fit into the neighborhood and to not interfere with the privacy of its neighbors.

Discretionary review is one way to achieve that goal. Another way is for the project sponsor and members of the neighborhood with legitimate concerns about the project to meet with a trained neutral (such as can be provided by the Community Boards) to help reach a middle ground that allows all interests to be protected.

I know that the Potrero Neighborhood Boosters Association has both hosted and participated in successful mediation of neighborhood issues. Perhaps the Boosters could do so in this case.

I will be out of town on September 20, the date of the Discretionary Review hearing and would appreciate it if you would provide a copy of this letter to each of the Commissioners so each of them has my thoughts on the matter. I am also copying each Commissioner with this email.

Yours very truly,

A handwritten signature in blue ink, appearing to read 'Christopher Cole', is written over the typed name.

Christopher Cole

CC/vww

cc: Tony Kelly, President Potrero Hill Neighborhood Ass'n (by email)

Mr. Kennedy Chan (by email)

Maria Cristini/Abrasha Staszewski (by email)

Commissioners Fong, Wu, Antonini, Borden, Hillis, Moore & Sugaya (by email)

Z:\Docs\TEXT\POTRERO\Sucre 2012-09-17 LT concerning 2000-20th-Street project.wpd

2012 23<sup>rd</sup> Street  
San Francisco, CA 94107  
[csabre@mac.com](mailto:csabre@mac.com)

July 19, 2012

San Francisco Planning Commission  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Re: 2000 20th Street

Dear Commissioners:

It has come to my attention that the owners of 2000 20<sup>th</sup> Street have submitted plans to radically alter the building at that address. I have studied those plans and it is obvious that the intention is to fundamentally change the design of the building for the sole purpose of maximizing a profit.

I see nothing wrong with improving a building to enhance its worth or habitability. However, I have lived on Potrero Hill for many years and can recall that the "signature" building at 2000 20<sup>th</sup> Street was lauded as an outstanding architectural achievement for our neighborhood.

The plans for 2000 20<sup>th</sup> Street, as they have been submitted, represent a complete rebuild, not a simple addition. It is common knowledge that many buildings in our neighborhood have recently been totally demolished and rebuilt under the guise of doing an "alteration." This is a cynical ploy to avoid city restrictions on demolitions.

2000 20<sup>th</sup> Street substantially adds to the character of our neighborhood. I would like to respectfully request that the Planning Commission reconsider approval of the currently submitted plans for alterations at this address.

Sincerely,



Christopher Sabre



# Washington Radiation Oncology Center

39101 Civic Center Drive, Fremont, CA 94538 • (510) 796-7212

(510) 745-6469 (fax)

Ranu Grewal-Bahl, M.D

Michael Bastasch, M.D

## Fax Transmittal Sheet

To: Richard Scurr

Date: 9/10/12

Fax #: 415-558-6409

Total # of Pages Including Cover: 2

From: Bastasch

Re: 2000 20A SA

Urgent  For Review  New Referral  FYI

The P.H.I. (personal health information) contained in this fax is highly confidential. It is intended for the exclusive use of the addressee. It is to be used only to aid in providing specific healthcare services to this patient. Any other use is a violation of federal law (H.I.P.P.A.) and will be reported as such.



## Sucre, Richard

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**From:** Dina Dwyer <dinacancio@mac.com>  
**Sent:** Thursday, September 13, 2012 12:09 AM  
**To:** Sucre, Richard  
**Subject:** Proposed Addition at 2000 20th St

12 Sept 2012

Richard Sucre

Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103  
Phone: 415.575.9108 Fax: 415.558.6409

[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

Dear Mr. Sucre,

Hello, my name is Dina Dwyer and I reside at 1143 Mariposa Street in San Francisco. It has come to my attention that a vertical addition is proposed at 2000 20<sup>th</sup> St. in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval. I have listed my concerns below:

1. Bulk of the addition; a massive block is proposed without architectural merit. It is overwhelming the corner. The height and bulk is out of proportion with the other buildings on the De Haro side. The proposed addition has no set backs from the current façade on either 20<sup>th</sup> or De Haro Streets.
2. Lack of architectural distinction; The addition is bland and homely, even the windows are not aligned with those of the first floor and out of character. For such a critical corner lot, the addition detracts from the design of the building and is fundamentally ugly.
3. Rooftop deck entrance is a penthouse entry which is not aesthetic and not found anywhere in the vicinity. The rooftop deck is disproportionate to the surrounding buildings' decks and invades many neighbors privacy. Allowing such an addition will set a precedent, unwanted by the neighbors of Potrero Hill.
4. Corner of 20<sup>th</sup> and De Haro; 2000 20<sup>th</sup> is just one part of a large, multi-unit corner building. The other unit's address of 790 De Haro. In conjunction with 770 De Haro, the units are a harmonious display of large vertical windows facing the Bay. The proposed addition mars this unique, beautiful building.
5. Loss of public view of bay and Bay Bridge: From Rhode Island and 20<sup>th</sup>, a beautiful view of the bay is present. It would be lost with the addition.

## Sucre, Richard

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**From:** Doug Unger <dougunger@gmail.com>  
**Sent:** Monday, September 10, 2012 8:55 PM  
**To:** Sucre, Richard  
**Cc:** Mikie  
**Subject:** Chan Kennedy proposal opposition

September 10, 2012

Dear Mr. Sucre,

Hello, my name is Doug Unger , and I frequently reside at 2001 20th St. in San Francisco. It has come to my attention that a vertical addition is proposed at 2000 20<sup>th</sup> St. in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval. I have listed my concerns below:

1.

Bulk of the addition; a massive block is proposed without architectural merit. It is overwhelming the corner. The height and bulk is out of proportion with the other buildings on the De Haro side. The proposed addition has no set backs from the current façade on either 20<sup>th</sup> or De Haro Streets.

2.

Lack of architectural distinction; The addition is bland and homely, even the windows are not aligned with those of the first floor and out of character. For such a critical corner lot, the addition detracts from the design of the building and is fundamentally ugly.

3.

Rooftop deck entrance is a penthouse entry which is not aesthetic and not found anywhere in the vicinity. The rooftop deck is disproportionate to the surrounding buildings' decks and invades many neighbors privacy. Allowing such an addition will set a precedent, unwanted by the neighbors of Potrero Hill. Owners will ask for increasingly higher height variances thus destroying the natural contours of Potrero hill.

4.

Corner of 20<sup>th</sup> and De Haro; 2000 20<sup>th</sup> is just one part of a large, multi-unit corner building. The other unit's address of 790 De Haro. In conjunction with 770 De Haro, the units are a harmonious display of large vertical windows facing the Bay. The proposed addition mars this unique, beautiful building.

5.

Loss of public view of bay and Bay Bridge: From Rhode Island and 20<sup>th</sup>, a beautiful view of the bay is present. It would be lost with the addition.

Proposed Solution:

1.

Reduced size of addition and honor standard setbacks

2.

Design should be distinctive and contrast the pre-existing mid-century, Eichler look

3.

Eliminate the roof top deck

4.

Reduction in the size to eliminate the loss of the public view of the bay

I do hope you and the rest of the Planning Commission take this letter into account at the upcoming hearing on September 20<sup>th</sup>.

Sincerely,

Doug Unger

Sent from my iPad

## Sucre, Richard

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**From:** Jonathan Major <jonathan.r.major@gmail.com>  
**Sent:** Tuesday, October 09, 2012 11:02 AM  
**To:** Sucre, Richard  
**Subject:** 2000 20th Street

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Phone: 415.575.9108 Fax: 415.558.6409  
[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

Dear Mr. Sucre,

My name is Jonathan Major, I reside at 451 Kansas Street, Unit 446 in San Francisco. It has come to my attention that a vertical addition is proposed at 2000 20th St. in Potrero Hill. This letter serves as notice of my concern and disagreement with the Planning Department's approval.

As a resident of Potrero Hill since 2007, I was disappointed to hear of the plans to demolish this Mid-Century Modern building. Please take into consideration the views of neighbors who would like to preserve this architecture. My family and I walk past 2000 20th Street several times a week en route to McKinley Park and it has always been a structure that we have admired. I think you will find this true of a great deal of residents on Potrero Hill.

We are opposed to the huge bulky structure that takes up the majority of this corner lot. Please consider those of us who will have to live with the structure that remains long after the applicant, a contractor by profession, has moved on to his next project. San Francisco, particularly Portrero Hill offers an eclectic collection of architecture. This is the reason so many of us choose to live here. The last thing that we want is cookie cutter architecture on such a prominent corner of 20th Street.

Thank you for taking this into consideration.

Kind regards  
Jonathan Major

## Sucre, Richard

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**From:** Judy Minton <judyminton@aol.com>  
**Sent:** Monday, September 10, 2012 6:54 AM  
**To:** Sucre, Richard  
**Subject:** Proposed addition to 2000 20th St.

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Phone: 415.575.9108 Fax: 415.558.6409  
[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

Dear Mr. Sucre,

Hello, my name is Judy Minton and I reside at 447 Connecticut St in San Francisco. It has come to my attention that a vertical addition is proposed at 2000 20th St. in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval. I have listed my concerns below:

- Bulk of the addition; a massive block is proposed without architectural merit. It is overwhelming the corner. The height and bulk is out of proportion with the other buildings on the De Haro side. The proposed addition currently has no setbacks from the current façade on either 20th or De Haro Streets. The 20' total height and even the additional 11'6" height of the additional living story would tower over the homes on De Haro and is out of scale for this neighborhood.
- Lack of architectural distinction; The integrity of 2000 20th currently holds original details inside and out which are primarily intact and feature many of the design elements of Mid-Century Modern Style which would be destroyed with this addition.
- Rooftop deck entrance is a penthouse entry that is not aesthetic and not found anywhere in the vicinity. The rooftop deck is disproportionate to the surrounding buildings' decks and invades many neighbors privacy. Allowing such an addition will set a precedent, unwanted by the neighbors of Potrero Hill.
- Corner of 20th and De Haro: The unique and integrated design of 2000 20th with it's original studio unit address of 790 De Haro and it's neighbor at 770 De Haro creates a uniquely distinct corner building on Potrero Hill that would be completely destroyed by this addition. 2000 20th is just one part of a large, multi-unit corner building. The units are a harmonious display of large vertical windows. The proposed addition mars this unique, beautiful building and becomes disconnected from it's twin at 770 De Haro.

- Loss of public view of bay and Bay Bridge: From Rhode Island and 20th, a beautiful view of the bay is present. It would be lost with the addition.

Proposed Solution:

I request that the Planning Commission does not allow permits for the addition as currently proposed for the reasons noted above. Instead, I would request that the project sponsor:

- -reduce the size of the addition
- -reduce the overall deck space
- -provide significant set backs
- 

These design changes will maintain the light and privacy of the neighboring properties and keep the addition consistent with the height, size and mass of the adjacent properties.

I do hope you and the rest of the Planning Commission take this letter into account at the upcoming hearing on September 20th.

Sincerely,  
Judy Minton  
447 Connecticut St  
San Francisco, CA 94107

## Sucre, Richard

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**From:** Lance Kleinsmith <lkleinsmith@yahoo.com>  
**Sent:** Monday, September 10, 2012 9:27 AM  
**To:** sucre@sfgov.org  
**Subject:** Chan Residence 2000 20th Street at DeHaro  
**Attachments:** Disagreement Letter.doc; Chan Residence 2000 20th Street at DeHaro[1].pdf

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103  
Phone: 415.575.9108 Fax: 415.558.6409  
[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

September 10, 2012

Dear Mr. Sucre,

Hello, my name is Lance Kleinsmith , and I reside at 1776 18<sup>th</sup> Street in San Francisco. It has come to my attention that a vertical addition is proposed at 2000 20<sup>th</sup> St. in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval. I have listed my concerns below:

1. Bulk of the addition; a massive block is proposed without architectural merit. It is overwhelming the corner. The height and bulk is out of proportion with the other buildings on the De Haro side. The proposed addition has no set backs from the current façade on either 20<sup>th</sup> or De Haro Streets.
2. Lack of architectural distinction; The addition is bland and homely, even the windows are not aligned with those of the first floor and out of character. For such a critical corner lot, the addition detracts from the design of the building and is fundamentally ugly.
3. Rooftop deck entrance is a penthouse entry which is not aesthetic and not found anywhere in the vicinity. The rooftop deck is disproportionate to the surrounding buildings' decks and invades many neighbors privacy. Allowing such an addition will set a precedent, unwanted by the neighbors of Potrero Hill.
4. Corner of 20<sup>th</sup> and De Haro; 2000 20<sup>th</sup> is just one part of a large, multi-unit corner building. The other unit's address of 790 De Haro. In conjunction with 770 De Haro, the units are a harmonious display of large vertical windows facing the Bay. The proposed addition mars this unique, beautiful building.
5. Loss of public view of bay and Bay Bridge: From Rhode Island and 20<sup>th</sup>, a beautiful view of the bay is present. It would be lost with the addition.

Proposed Solution:

1. Reduced size of addition and honor standard setbacks
2. Design should be distinctive and contrast the pre-existing mid-century, Eichler look
3. Eliminate the roof top deck
4. Reduction in the size to eliminate ~~reduce~~ the loss of the public view of the bay

I do hope you and the rest of the Planning Commission take this letter into account at the upcoming hearing on September 20<sup>th</sup>.

Sincerely,

Lance Kleinsmith



## Sucre, Richard

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**From:** Larry Martin <larry@robollo.com>  
**Sent:** Monday, September 10, 2012 9:26 AM  
**To:** Sucre, Richard  
**Subject:** Proposed Addition at 2000 20th Street  
**Attachments:** letterMrSucre.docx; Chan Residence 2000 20th Street at DeHaro[1].pdf; unknown.tiff

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Phone: 415.575.9108 Fax: 415.558.6409  
[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

September 10, 2012

Dear Mr. Sucre,

Hello, my name is Larry W. Martin Jr, and I reside at 1776 18<sup>th</sup> Street in San Francisco. It has come to my attention that a vertical addition is proposed at 2000 20<sup>th</sup> St. in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval. I have listed my concerns below:

1. Bulk of the addition; a massive block is proposed without architectural merit. It is overwhelming the corner. The height and bulk is out of proportion with the other buildings on the De Haro side. The proposed addition has no set backs from the current façade on either 20<sup>th</sup> or De Haro Streets.
2. Lack of architectural distinction; The addition is bland and homely, even the windows are not aligned with those of the first floor and out of character. For such a critical corner lot, the addition detracts from the design of the building and is fundamentally ugly.
3. Rooftop deck entrance is a penthouse entry which is not aesthetic and not found anywhere in the vicinity. The rooftop deck is disproportionate to the surrounding buildings' decks and invades many neighbors privacy. Allowing such an addition will set a precedent, unwanted by the neighbors of Potrero Hill.
4. Corner of 20<sup>th</sup> and De Haro; 2000 20<sup>th</sup> is just one part of a large, multi-unit corner building. The other unit's address of 790 De Haro. In conjunction with 770 De Haro, the units are a harmonious display of large vertical windows facing the Bay. The proposed addition mars this unique, beautiful building.
5. Loss of public view of bay and Bay Bridge: From Rhode Island and 20<sup>th</sup>, a beautiful view of the bay is present. It would be lost with the addition.

Proposed Solution:

1. Reduced size of addition and honor standard setbacks
2. Design should be distinctive and contrast the pre-existing mid-century, Eichler look
3. Eliminate the roof top deck
4. Reduction in the size to eliminate ~~reduce~~ the loss of the public view of the bay

I do hope you and the rest of the Planning Commission take this letter into account at the upcoming hearing on September 20<sup>th</sup>.

Sincerely,

Larry W. Martin Jr.

Larry Martin  
1776 18th Street, SF, CA 94107  
Ph: 415.575.1776 M: 415.305.2172  
[Larry@robollo.com](mailto:Larry@robollo.com)

[www.robollo.com](http://www.robollo.com)

## Sucre, Richard

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**From:** Lael Robertson <lael@sonic.net>  
**Sent:** Tuesday, October 09, 2012 6:53 AM  
**To:** Sucre, Richard  
**Subject:** 2000 20th street

Dear Mr. Sucre,

I want to express my worry and concern that the addition to the wonderful building at 2000 20th does not fit with the integrity of the building itself nor our neighborhood.

I hope that you will recommend that this particular permit not be given.

Thanks for your time,  
Lael Robertson  
512 Missouri Street

## Sucre, Richard

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**From:** Rubenstein, Les <les.rubenstein@citi.com>  
**Sent:** Tuesday, October 09, 2012 11:33 AM  
**To:** Sucre, Richard  
**Cc:** 'gemett@hotmail.com'  
**Subject:** 2000 20TH STREET, SAN FRANCISCO, CA

Dear Mr. Sucre,

Hello, my name is Les Rubenstein, and I reside at 764 De Haro in San Francisco. It has come to my attention that a vertical addition is proposed at 2000 20<sup>th</sup> Street in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval. I have listed by concerns below:

**Bulk of the Addition:** a massive block is proposed without architectural merit. It is overwhelming the corner. The height and bulk is out of proportion with the other buildings on the De Haro side. The proposed addition currently has no setbacks from the current façade on either the 20<sup>th</sup> or De Haro Streets. The 20' total height and even the additional 11'6" height of the additional living story would tower over the homes on De Haro and is out of scale for this neighborhood.

**Lack of architectural distinction:** the integrity of 2000 20<sup>th</sup> currently holds original details inside and out which are primarily intact and feature many of the design elements of Mid-Century Modern Style which would be destroyed with this addition.

**Rooftop Deck:** entrance is penthouse entry which is not aesthetic and not found anywhere in the vicinity. The rooftop deck is disproportionate to the surrounding buildings' decks and invades many of the neighbors' privacy. Allowing such an addition will set a precedent, unwanted by neighbors of Potrero Hill. In addition, the planned rooftop space would accommodate at least 100 people, and subsequently be a potential for substantial noise that would affect neighbors; on at least two occasions, police have already had to respond to complaints of noise at the existing property at 2000 20<sup>th</sup> Street.

**Corner of 20<sup>th</sup> and De Haro:** the unique and integrated design of 2000 20<sup>th</sup> with its original studio unit address of 790 De Haro and its neighbor at 770 De Haro creates a uniquely distinct corner building on Potrero Hill that would be completely destroyed by this addition. 2000 20<sup>th</sup> Street is just one part of a large, multi-unit corner building. The units are a harmonious display of large vertical windows. The proposed addition mars this unique, beautiful building and becomes disconnected from its twin at 770 De Haro.

**Loss of public view of bay and Bay Bridge:** From Rhode Island and 20<sup>th</sup>, a beautiful view of the bay is present. It would be lost with this addition.

I sincerely hope you and the rest of the Planning Commission will take these views into account at the upcoming hearing on October 18<sup>th</sup>.

Best,

Les Rubenstein  
Resident  
764 De Haro  
San Francisco, CA 94107

101 South Park San Francisco California 94107 USA  
415.243.8272 F 415.543.8679 info@mbh-arch.com

MICHAEL HARRIS | ARCHITECTURE



RE 2000 20<sup>th</sup> ST  
9 September 2012

Dear Mr. Sucre,

I am writing in regard to the proposed additions at 2000 20<sup>th</sup> St. First I would like to point out that the drawings submitted by the applicant are extremely vague and incomplete, on the north elevation it looks as though the building sits on post as nothing is shown below the 2<sup>nd</sup> floor, the new proposed 2<sup>nd</sup> floor (which I would call the third) is shown with nothing below it to the east but I believe the bays from the floor below project beyond it. I do not believe the floor labeled basement is such, as it is above grade on the east, north, and most of the south sides (this may effect the exiting requirements for the proposed floors and roof). It is also difficult to tell the locations and extent of exterior materials. Which is all to say I think it is not possible to adequately judge this project from the materials presented.

I feel that the building and it neighbor to the north are fine examples, in original shape, of mid century modern architecture that help define this area of Potrero Hill. One of the unique and defining features being the lightness achieved with the butt glazing in front of the structure on the second floor of the De Haro St elevation. From what I can understand of the proposed vertical addition, it destroys this aesthetic, its bulk with a solid section of wood panels in the middle and at the north end and its straight wall are too heavy to sit on top of the weightless effect of a glass wall below. I believe the neighborhood design guidelines require that this addition preserve the character defining features of an historic building and provide architectural features that enhance the neighborhoods character, neither of which I believe it does.

Sincerely,

Michael Harris

## Sucre, Richard

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**From:** Matt Litchfield <mattlitchfield@hotmail.com>  
**Sent:** Saturday, September 29, 2012 4:24 PM  
**To:** Sucre, Richard  
**Cc:** Teague, Corey  
**Subject:** 2000 20th Street, Potrero Hill

Dear Mr. Sucre,

I have been a Potrero resident for 18 months. I wanted to let you and the Planning Department know that I oppose the addition and have many concerns regarding the planned design at 2000 20<sup>th</sup> Street. It seems there are several planned and underway projects on our street that contractors have planned to maximize scale and mass without consideration to the neighborhood character and considerations clearly laid out in the RDG.

I believe you were the planner who oversaw App 2011.06.01.7163 which was (nearly completed) a very tasteful and in character addition to our street. 2000 20th street does not meet the same criteria.

I'm opposed to the massive block addition proposed at 2000 20th. Street. The new addition would be out of character with the neighborhood and set an unwanted precedent. I am concerned about the number and frequency of increasingly taller buildings in our steeply hilled neighborhood and am looking for the Planning Department to show leadership and restraint in maintaining the character of our neighborhood such as is explained in your statute.

The height and overall size of is out of proportion with the existing corner units making up this corner building, the neighborhood and what exists on the De Haro street, while blocking the beautiful public view of the bay and bridge on the 20th. Street side. A full 3rd story, roof deck and penthouse on top of what exists on the corner of 20th. and De Haro is not acceptable. It is another example of the height 'war' that seems to be going on that I would fully expect the RDG and Planning Dept to restrain.

What currently exists is a unique corner building (2000 20th combined with it's neighbor 770 De Haro) that enhances our neighborhood. The proposed addition with it's large envelope, multiple decks, roof deck and penthouse, lacks distinction, does not enhance the neighborhood. It does not take into consideration the construction below it or the twin house next to it at 770 De Haro or the others around it. The exposed 2 decks at the living level and the enormous (+/- 990 SQ FT) additional rooftop deck create a loss of privacy and exposure to added noise for all the nearby residents.

I request that the Planning Commission reconsider an addition be built to what is currently a multi-unit building that covers the corner from 2000 20th street to 770 De Haro Street.

If an addition is allowed please request the builder/owner to reduce the size of the addition significantly by:

- provide significant set backs from De Haro street so that the addition is set back to the high roof of 770 De Haro (therefore not visible from the street) and honoring the topography of De Haro.
- eliminating the roof deck and penthouse
- reduce the overall deck space at the living level
- keep the overall size and scale to what makes walking and driving around Potrero Hill filled with beautiful street views we all enjoy vs. mansions for the individual enjoyment of a few.

I hope that as this addition is reviewed and more additions are approved on Potrero Hill, the Planning Commission will keep in mind the needs of all the residents and character of the neighborhood into consideration.

Thank you sincerely,

Matthew and Meghan Litchfield

890 De Haro Street  
94107

Matt Litchfield  
+1 415 395 6593  
-->

August 29, 2012

Dear SF Planning Department

I am a single parent with a 6 year old son. I rent the lower unit in 2040 20<sup>th</sup> Street. My landlord showed me the proposed plans for 2000 20<sup>th</sup> street and I am very dismayed; the height and positioning of the proposed addition at 2000 20<sup>th</sup> street means that I will lose all natural light and that people are going to be able to look **directly** into my kitchen, living room and bedroom. This will result in no privacy for my son and I, unless I close all the shades in the apartment. My son just started kindergarten and his schedule is 7:50am to 1:50pm. We are at home in the afternoon and cannot live with construction workers and machines literally outside our bedroom window every day. My son is also prone to asthma, and I am extremely worried about the effect all the dust and construction will have on his health.

Sincerely

A handwritten signature in black ink that reads "N. Quilligan". The signature is written in a cursive, slightly slanted style.

Nicola Quilligan





PAUL ADAMSON FAIA LEED AP

30 Reed Place  
Kensington, «Address» 94707

c 415.297.8019  
e pwadamson@gmail.com

September 9, 2012  
Richard Sucre  
Preservation Technical Specialist/Planner, Southeast Quadrant  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco CA 94103

RE: Application for additions and alterations to 2000 20th Street

Dear Mr. Sucre,

I am a San Francisco-based architect, writer and preservation advocate. I have practiced in the City for 25 years, written numerous articles on mid century modern residential architecture and planning and coauthored the book, [Eichler: Modernism Rebuilds the American Dream](#). As a preservation advocate I assisted in the successful efforts to have two Eichler communities named to the National Register of Historic Places. I have acted as a liaison between preservation groups, including San Francisco Heritage and docomomo, and advocated on behalf of several preservation efforts in San Francisco. I was contacted recently by neighbors at and near the corner of 20th and DeHaro Streets who are concerned that plans to alter the residence at 2000 20th Street may have an unreasonable impact on their neighborhood and on the quality of their individual residences.

Upon reviewing the documents submitted to the City including plans, elevations, shadow studies and renderings, I feel that their concerns are justified. The building at 2000 20th Street is a fine example of mid-century modernism and more specifically of the second bay region style, and together with 770 DeHaro constitute an exceptionally well composed and well-maintained composition of modern residential architecture. The proposed alterations would significantly change the massing, character and feel of the existing building while compromising views, light and privacy for neighbors and limiting views from the shared public spaces on the adjacent streets.

Apparently the City has not deemed 2000 20th as a historic resource, despite it being the requisite 50 years old and despite its exemplary design. There are many buildings in the City worthy of consideration for historic status which have yet to be formally recognized, yet these structures are vulnerable to alterations or demolition without advocates to recognize in them and to extol the benefits afforded the architectural context and the richness provided our neighborhoods by their presence.

Review of the San Francisco Modern Heritage Survey makes clear the distinctive characteristics of significant modern buildings on San Francisco and the scale of quality by which buildings of this type can be measured. 2000 20th Street has many of the attributes of the Second Bay Tradition, represented in the City's 2010 survey by works of such master architects as William Wurster and Joseph Esherick. Observation of both 2000 20th Street and 770 DeHaro Street - the two were built at the same time and are either by intention or coincidence an ensemble - yields the conclusion that they have many congruencies with Mid-century Modern and Second bay Tradition architecture as defined in the San Francisco Survey.

A neighbor, Abrasha Staszewski, who is one of several nearby residents concerned with the proposed alterations at 2000 20th has gone to extraordinary lengths to enumerate consistencies with significant historic modern styles, and rather than my reiterating or interpreting his appraisals, it might most clearly demonstrate the virtue of this line of reasoning but also effective demonstration of the importance Mr. Staszewski ascribes to this issue and by extension the sentiment of his neighbors if I were to simply attach his analysis. Please see the pages immediately following my letter.

Regarding the currently proposed alterations to 2000 20th Street, I suggest that the design if built as illustrated, would conflict with portions of the Residential Design Guidelines. The rooftop addition certainly would cast shade on the eastward neighbor building, reducing eastern views for neighboring residences and from the public right of way. The roof deck as designed seems excessively large and lacks any remediation for the potential compromise of neighborhood privacy. Aesthetically the addition is uneven and threatens to compromise key features of the original building. The open court entry, a character-defining element and a typical feature of mid-century residential design is omitted in the proposed alteration. Further the addition is styled in ways that are part mimicry and part arbitrary.

In deference to the neighbor's legitimate concerns and with the concept in mind that the ensemble of 2000 20th and 770 DeHaro represent architecture worthy of historic status, I further suggest that the Planning Department consider extending review of this project until designs can be developed that more closely adhere to the intentions of San Francisco's Design Guidelines.

Sincerely yours,

A handwritten signature in black ink, appearing to read 'Paul Adamson', with a horizontal line extending to the right from the end of the signature.

Paul Adamson

*Paul F. DeMeester*  
*770 De Haro Street No. 2*  
*San Francisco, California 94107*  
*415.305.7280*

Mr. Richard Sucre  
Preservation Technical Specialist/Planner  
Planning Department, City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, California 94103

September 10, 2012

Dear Mr. Sucre:

Ref. Project Address 2000 - 20<sup>th</sup> Street; Cross Street: De Haro Street;  
Block/Lot No. 4072/023; Zoning District RM-1/40-X  
Case No. 2012.0928DDD; Building Permit 2012.12.01.5856;  
Applicant Mr. Kennedy Chan

I am a neighbor of Mr. Kennedy Chan and reside at 770 De Haro Street, next door to Mr. Chan's corner property at De Haro and 20<sup>th</sup> Streets (his address is on 20<sup>th</sup> Street). I have lived at 770 De Haro for ten years, since October 6, 2002.

I oppose the grant of a building permit for the proposed project, which essentially adds a complete home on top of the existing one. The project home and my home form one integral architectural whole, obviously constructed at the same time by the same builder. Most visitors believe the two homes are one and the same. The rooflines of the two properties form one line that is congruent with the upslope of De Haro Street as it reaches 20<sup>th</sup> Street.

The enormous, bulky addition that is proposed would destroy these lines and the architectural integrity of the two properties, and would result in transforming a beautiful San Francisco street corner into an eyesore-type monstrosity. Corner towers may be appropriate in a correctional setting; we do not need them in our neighborhoods.

I respectfully request that the Planning Department deny a permit for this proposal that is out of touch with the rest of our Potrero Hill neighborhood.

Thank you for your consideration.

With best regards,

Paul F. DeMeester



## Sucre, Richard

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**From:** Peter Euteneuer <peut@pacbell.net>  
**Sent:** Tuesday, September 11, 2012 9:51 AM  
**To:** Sucre, Richard  
**Subject:** Construction

Dear Mr. Sucre,

Hello, my name is Peter Euteneuer, and I reside at 829 De Haro, San Francisco. It has come to my attention that a vertical addition is proposed at [2000 20th St. in Potrero Hill](#) by Mr. Kennedy Chan. I am traveling and will be unable to attend the hearing [on 9/20](#).

This letter serves as notice of my disagreement with the Planning Department's approval. I have listed my concerns below:

- Bulk of the addition; a massive block is proposed without architectural merit. It is overwhelming the corner. The height and bulk is out of proportion with the other buildings on the De Haro side. The proposed addition currently has no setbacks from the current façade on either 20th or De Haro Streets. The 20' total height and even the additional 11'6" height of the additional living story would tower over the homes on De Haro and is out of scale for this neighborhood.
- Lack of architectural distinction; The integrity of 2000 20th currently holds original details inside and out which are primarily intact and feature many of the design elements of Mid-Century Modern Style which would be destroyed with this addition.
- Rooftop deck entrance is a penthouse entry which is not aesthetic and not found anywhere in the vicinity. The rooftop deck is disproportionate to the surrounding buildings' decks and invades many neighbors' privacy. Allowing such an addition will set a precedent, unwanted by the neighbors of Potrero Hill.
- Corner of 20th and De Haro: The unique and integrated design of 2000 20th with its original studio unit address of 790 De Haro and its neighbor at 770 De Haro creates a uniquely distinct corner building on Potrero Hill that would be completely destroyed by this addition. 2000 20th is just one part of a large, multi-unit corner building. The units are a harmonious display of large vertical windows. The proposed addition mars this unique,

beautiful building and becomes disconnected from it's twin at 770 De Haro.

- Loss of public view of bay and Bay Bridge: From Rhode Island and 20th, a beautiful view of the bay is present. It would be lost with the addition.

Proposed Solution:

- Stop this addition and keep the corner buildings as they have been since 1960 honoring the intact integrity of these units and corner. Otherwise significantly reduce the size of the addition and eliminate the rooftop deck.

I do hope you and the rest of the Planning Commission take this letter into account at the upcoming hearing [on September 20th.](#)

Sincerely,

Peter Euteneur

## Sucre, Richard

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**From:** peter rudolfi <rudolfi@earthlink.net>  
**Sent:** Tuesday, October 09, 2012 11:26 AM  
**To:** Sucre, Richard  
**Subject:** 2000-20th St, SF project

DATE: 10-9-12

TO: Mr. Richard Sucre

Preservation Technical Specialist/Planner, Southeast Quadrant  
San Francisco Planning Department  
1650 Mission Street, Suite 400

FROM: Peter Rudolfi; 862 De Haro St. San Francisco

RE: 2000-20th St project

Dear Mr. Sucre- I am concerned that with all of the welcomed development in this part of town upgrading as well as replacing some of the old housing stock here that it be done in a manner that does not radically alter the character of the general street ambience at least in the residential areas. This specific character was one of the reasons I moved here 30 years ago. I own a modern condo flat at 862A de Haro. Though "modern" it is still only a duplex much like most of the other structures on this block. I also have enjoyed the two story architectural features of the structure in question for many years. But from what I can see in the proposed addition at 2000 20th Street the new story features are most definitely not well harmonized with the former building. Whatever the needs of the current owner, I ask that you please reconsider approving this jolting addition from an architectural point of view.

Sincerely,  
peter rudolfi  
[www.rudolfiartists.com](http://www.rudolfiartists.com)  
san francisco  
415 550 1872  
415 297 1871-cell

## Sucre, Richard

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**From:** Pierluigi Serraino <pierluigi@pierluigiserraino.com>  
**Sent:** Tuesday, September 18, 2012 12:00 PM  
**To:** Sucre, Richard  
**Subject:** Re: 2000 20th St. and 770 De Haro St. Case No: 2012.0928DDD

Mr. Richard Sucre  
Preservation Technical Specialist/Planner San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Dear Mr. Sucre,

I had noticed the property in question quite a while ago and appreciated that it is indeed one of the most well preserved examples of mid-century modern architecture. It is hard to believe that a contractor did it on his own. My hunch is that it was designed by an unlicensed architect with great talent and he delivered a building that should be kept intact as much as possible. There is not a single square foot of this building that is not well-thought out.

The Modern Design Historic Context Statement Case Report from the City of San Francisco lists my research to back up their position. 2000 - 20th Street/770 De Haro Street is even more refined than the Eichlers around town. I would like to point to influences of Warren Callister's work in the detailing, panelization, and the modules used in the front elevation.

While I understand the desire of the homeowner to wanting to increase the square footage of his own property, it would have an adverse effect on the property value of 770 De Haro Street since the design character and integrity of the building would be compromised. There are not that many properties in San Francisco that show the design standard that 2000

- 20th Street / 770 De Haro Street showcases. One way to mitigate the negative impact of this addition would be to substantially recess the additional floor so as to maintain the integrity of the roof line.

Ideally the bulk of the addition would not be visible either from 20th Street or De Haro Street. And probably much lighter materials (steel, aluminum, and glass) would make its presence less ominous on the property.

With regards,

Pierluigi Serraino, AIA

## Sucre, Richard

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**From:** Ruth Major <rmajor@lyris.com>  
**Sent:** Tuesday, October 09, 2012 10:49 AM  
**To:** Sucre, Richard  
**Cc:** gemett@hotmail.com  
**Subject:** Letter opposing the addition to 2000 20th St

Dear Mr. Sucre,

My name is Ruth Major; I reside at 451 Kansas Street, Unit 446 in San Francisco. It has come to my attention that a vertical addition is proposed at 2000 20th St. in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval.

As a resident of Potrero Hill for several years, I was stunned to hear of the plans to demolish this Mid-Century Modern building. Please take into consideration the views of neighbors who would like to preserve this architecture. My family and I walk past 2000 20th Street several times a week en route to McKinley Park and it has always been a structure that we have admired. I think you will find this true of a great deal of residents on Potrero Hill.

We are opposed to the huge bulky structure that takes up the majority of this corner lot. Please consider those of us who will have to live with the structure that remains long after the applicant, a contractor by profession, has moved on to his next project. San Francisco, particularly Portrero Hill offers an eclectic collection of architecture. This is the reason so many of us choose to live here. The last thing that we want is a cookie cutter, Home Depot building on such a prominent corner of 20th Street.

Thank you for taking this into consideration.

Kind regards  
Ruth Major

*Ruth Major*

Customer Success Manager

Lyris, Inc.

Office: 510.844.2160

Email: [rmajor@lyris.com](mailto:rmajor@lyris.com)

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## Sucre, Richard

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**From:** Samantha Luks <scluks@gmail.com>  
**Sent:** Monday, October 08, 2012 11:28 PM  
**To:** Sucre, Richard  
**Cc:** gemmett@hotmail.com  
**Subject:** Planning commission meeting on 10/18 for 2000 20th St

Dear Mr. Sucre,

My name is Samantha Luks and I reside at 2056 20th St. My husband and I are also the new owners of 815-817 Rhode Island St. I am writing in response to the plans for a vertical addition to the building at 2000 20th St, owned by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval.

There are several reasons I believe this addition will have a negative impact on the neighborhood:

1. The architectural distinctiveness of this property would be ruined. 2000 20th St and the adjoining 770 De Haro St together are architecturally significant examples of the Mid-Century Modern style. It is a striking building to behold. The proposed addition has no regard for the existing design of the building.
2. The proposed construction has no setbacks from the current facade and is out of scale with the rest of the neighborhood.
3. The proposed rooftop deck is substantially larger than any other decks in the area and creates noise concerns. This December my family and I are moving into our new home at 817 Rhode Island and our back deck has a clear line of sight with the proposed roof deck. The roof deck can hold many people and gatherings would be easily heard by neighbors.
4. The new construction would block views of the Bay for neighbors who live near the intersection of 20th and Rhode Island.

I hope you and the rest of the Planning Commission take this letter into account at the upcoming hearing on October 18th.

Sincerely,

Samantha Luks

## Sucre, Richard

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**From:** Sue Schwartz <seschwartz@sbcglobal.net>  
**Sent:** Tuesday, October 02, 2012 8:32 PM  
**To:** Sucre, Richard  
**Subject:** Proposed building project on 20th and DeHaro

Dear Mr. Sucre,

My name is Sue Schwartz, and I reside at 693 Wisconsin St. in San Francisco's Potrero Hill neighborhood. It has come to my attention that a vertical addition is proposed at 2000 20th St. in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval. I have listed my concerns below:

- Bulk of the addition; The height and bulk of the proposed addition is out of proportion with the other buildings on the De Haro side. The proposed addition currently has no setbacks from the current façade on either 20th or De Haro Streets.
- Lack of architectural distinction; The integrity of 2000 20th currently holds original architectural details inside and out which are primarily intact and feature many of the design elements of Mid-Century Modern Style which would be destroyed with this addition.
- Corner of 20th and De Haro: The unique and integrated design of 2000 20th with its original studio unit address of 790 De Haro and its neighbor at 770 De Haro creates a uniquely distinct corner building on Potrero Hill that would be completely destroyed by this addition. 2000 20th is just one part of a large, multi-unit corner building. The units are a harmonious display of large vertical windows. The proposed addition mars this unique, beautiful building and becomes disconnected from its twin at 770 De Haro.

A proposed solution would be to :

Reduce the size of addition and have significant setbacks

Require a design that is distinctive and contrast the pre-existing mid-century architecture.

Reduction in the size to eliminate the loss of the public view of the bay

I do hope you and the rest of the Planning Commission take this letter into account at the upcoming hearing in October.

Sincerely,  
Sue Schwartz

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Phone: 415.575.9108 Fax: 415.558.6409  
richard.sucre@sfgov.org

September 9, 2012

Dear Mr. Sucre,

Hello, my name is Tyler Baron , and I reside at 804 De Haro Street in San Francisco. It has come to my attention that a vertical addition is proposed at 2000 20<sup>th</sup> St. in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of my disagreement with the Planning Department's approval. I have listed my concerns below:

1. Bulk of the addition; a massive block is proposed without architectural merit. It is overwhelming the corner. The height and bulk is out of proportion with the other buildings on the De Haro side. The proposed addition has no set backs from the current façade on either 20<sup>th</sup> or De Haro Streets.
2. Lack of architectural distinction; The addition is bland and homely, even the windows are not aligned with those of the first floor and out of character. For such a critical corner lot, the addition detracts from the design of the building and is fundamentally ugly.
3. Rooftop deck entrance is a penthouse entry which is not aesthetic and not found anywhere in the vicinity. The rooftop deck is disproportionate to the surrounding buildings' decks and invades many neighbors privacy. Allowing such an addition will set a precedent, unwanted by the neighbors of Potrero Hill.
4. Corner of 20<sup>th</sup> and De Haro; 2000 20<sup>th</sup> is just one part of a large, multi-unit corner building. The other unit's address of 790 De Haro. In conjunction with 770 De Haro, the units are a harmonious display of large vertical windows facing the Bay. The proposed addition mars this unique, beautiful building.
5. Loss of public view of bay and Bay Bridge: From Rhode Island and 20<sup>th</sup>, a beautiful view of the bay is present. It would be lost with the addition.

Proposed Solution:

1. Reduced size of addition and honor standard setbacks
2. Design should be distinctive and contrast the pre-existing mid-century, Eichler look
3. Eliminate the roof top deck
4. Reduction in the size to eliminate the loss of the public view of the bay

I do hope you and the rest of the Planning Commission take this letter into account at the upcoming hearing on September 20<sup>th</sup>.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tyler Baron', with a stylized, cursive script.

Tyler Baron

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Phone: 415.575.9108 Fax: 415.558.6409  
richard.sucre@sfgov.org

August 28, 2012

Dear Mr. Sucre,

Hello, my name is Toshi and Yazmin Hiraoka and we reside at 768 De Haro Street in San Francisco. It has come to our attention that a vertical addition is proposed at 2000 20<sup>th</sup> St. in Potrero Hill by Mr. Kennedy Chan. This letter serves as notice of our disagreement with the Planning Department's approval. I have listed our concerns below:

1. Bulk of the addition; a massive block is proposed without architectural merit. It is overwhelming the corner. The height and bulk is out of proportion with the other buildings on the De Haro side. The proposed addition has no set backs from the current façade on either 20<sup>th</sup> or De Haro Streets.
2. Lack of architectural distinction; The addition is bland and homely, even the windows are not aligned with those of the first floor and out of character. For such a critical corner lot, the addition detracts from the design of the building and is fundamentally ugly.
3. Rooftop deck entrance is a penthouse entry which is not aesthetic and not found anywhere in the vicinity. The rooftop deck is disproportionate to the surrounding buildings' decks and invades many neighbors privacy. Allowing such an addition will set a precedent, unwanted by the neighbors of Potrero Hill.
4. Corner of 20<sup>th</sup> and De Haro; 2000 20<sup>th</sup> is just one part of a large, multi-unit corner building. The other unit's address of 790 De Haro. In conjunction with 770 De Haro, the units are a harmonious display of large vertical windows facing the Bay. The proposed addition mars this unique, beautiful building.
5. Loss of public view of bay and Bay Bridge: From Rhode Island and 20<sup>th</sup>, a beautiful view of the bay is present. It would be lost with the addition.

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Proposed Solution:

- 
1. Reduced size of addition and honor standard setbacks
  2. Design should be distinctive and contrast the pre-existing mid-century, Eichler look
  3. Eliminate the roof top deck
  4. Reduction in the size to eliminate ~~reduce~~ the loss of the public view of the bay

I do hope you and the rest of the Planning Commission take this letter into account at the upcoming hearing on September 20<sup>th</sup>.

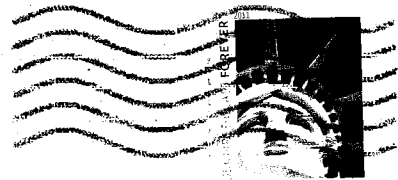
Sincerely,

*Toshi Hiraoka*, owner 768 De Haro

 Toshi Hiraoka  
768 De Haro St.  
San Francisco, CA 94107

SAN FRANCISCO CA 94107

07 SEP 2012 PM 5 L



**RECEIVED**

SEP 10 2012

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
RECEPTION DESK

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission St., Suite 400  
San Francisco CA 94103

94103248000



Theodore C. McCullough  
894 De Haro St.  
San Francisco, CA 94107  
(206) 595.2502

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VIA EMAIL

October 9<sup>th</sup>, 2012

Richard Sucre  
Preservation Technical Specialist/Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Re: 2000 20th St. and 770 De Haro St.

Dear Mr. Sucre:

I am writing to express my opposition to the proposed alterations to the structure at 2000 20<sup>th</sup>/770 De Haro St ("Proposed Structure"). This Proposed Structure is out of proportion with the rest of the neighborhood as it is excessive in terms of size, volume and most of all height. The owners of the 2000 20<sup>th</sup> property are attempting to force the neighborhood to accept this excessive structure notwithstanding the neighborhood's near united opposition.

The Proposed Structure is excess in terms of size and volume. The average square footage for the neighborhood is approximately 2300 square feet per single family home. Despite this, the owners are seeking to add 1470 sq. ft. to the existing structure such that one of the two proposed units will be 3100 sq. ft. This 3100 sq. ft. unit, in combination with the second proposed unit, creates a volume and physical appearance that is out of character with the rest of the neighborhood and violative of the Residential Design Guidelines.

The Proposed Structure structure is excessive in terms of height. The owners are proposing 20 additional feet of height to the existing structure. As such, the Proposed Structure will have the appearance of a Pinnacle jutting out over the adjacent neighboring structures and dominating these structures. When viewed against these adjacent structures, the Proposed Structure is violative of the Residential Design Guidelines.

\*

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In short, the Proposed Structure is yet another example of a property owner, in effect, "swing for the fences" and placing the onus on the neighborhood to asserts its rights to maintain the character of the neighborhood.

Respectfully,  
-Ted McCullough