



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Large Project Authorization

HEARING DATE: MAY 1, 2014

Date: April 21, 2014
Case No.: **2012.0493X**
Project Address: **1201-1225 TENNESSEE STREET**
Zoning: UMU (Urban Mixed-Use) Zoning District
Life Science and Medical Special Use District
68-X Height and Bulk District
Block/Lot: 4172/022
Project Sponsor: Jesse Herzog, AGI Capital
100 Bush Street, 22nd Floor
San Francisco, CA 94104
Staff Contact: Richard Sucre – (415) 575-9108
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Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The proposed project includes demolition of the existing two-story commercial/warehouse buildings and automotive service station (measuring approximately 65,336 square feet) on the subject lot, and new construction of a six-story, residential building (approximately 249,000 gross square feet) with 259 dwelling units, ground floor corner retail (approximately 2,260 square feet), 2 car-share parking spaces, 147 off-street parking spaces, and 259 Class 1 bicycle parking spaces. The project includes a dwelling unit mix consisting of six three-bedroom units, 105 two-bedroom units, 49 one-bedroom units, and 99 studio units. The proposed project includes common open space (approximately 23,220 square feet), private open space for seventeen dwelling units via private decks, and a publically-accessible mid-block alley (measuring approximately 9,700 sq ft) along the north lot line with 37-ft of frontage along 3rd Street and 65-ft of frontage along Tennessee Street.

SITE DESCRIPTION AND PRESENT USE

The proposed project is located on the southern portion of the block bounded by 3rd, 23rd and Tennessee Street on an irregularly-shaped lot (with a lot area of 64,638± sq ft) with approximately 410-ft 6-in of frontage along Tennessee Street, 200-ft of frontage along 23rd Street, and 264-ft 6-in of frontage along 3rd Street. Currently, the subject lot contains a two-story commercial/warehouse building and an automotive service station.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the UMU Zoning District along a mixed-use corridor within the Central Waterfront Area Plan. The immediate neighborhood includes two-to-three story tall, older residential properties to the north along Tennessee Street, and larger-scale, two-to-four story industrial properties to the east and south. The project site is located along 3rd Street, which is a transit corridor for the Muni T-Line. Along 3rd Street, the immediate context includes smaller-scale one- and two-story tall residential or mixed-use (ground floor commercial with residential above) properties on the west side of the street, and a four-story industrial property (American Industrial Center) on the east side of the street. The northern lot line of the project site abuts the Dogpatch Landmark District, which extends along Tennessee and 3rd Streets. To the south of the project site, the neighborhood context is primarily industrial in nature with warehouses, storage yards, and light industrial properties. Other zoning districts in the vicinity of the project site include: NCT-2 (Small-Scale Neighborhood Commercial); RH-3 (Residential, House, Three-Family); PDR-1-G (Production, Distribution and Repair-General); and, M-2 (Heavy Industrial).

ENVIRONMENTAL REVIEW

Pursuant to the Guidelines of the State Secretary of Resources for the implementation of the California Environmental Quality Act (CEQA), on April 24, 2014, the Planning Department of the City and County of San Francisco determined that the proposed application was exempt from further environmental review under Section 15183 of the CEQA Guidelines and California Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Area Plan Final EIR. Since the Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR.

AMENDED HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	April 11, 2014	April 9, 2014	22 days
Posted Notice	20 days	April 11, 2014	April 11, 2014	20 days
Mailed Notice	20 days	April 11, 2014	April 11, 2014	20 days

The proposal requires a Section 312 Neighborhood notification, which was conducted in conjunction with the required hearing notification for the Large Project Authorization.

PUBLIC COMMENT

As of April 21, 2014, the Department has received two public correspondences and two letters of support for the proposed project. One public correspondence expressed concern over the publication of the staff report. Another correspondence expressed concern over the proposed project. Copies of this correspondence have been included within the Commissioner packets.

ISSUES AND OTHER CONSIDERATIONS

- Large Project Authorization Modifications: As part of the Large Project Authorization (LPA), the Commission may grant modifications from certain Planning Code requirements for projects that exhibit outstanding overall design and are complementary to the design and values of the surrounding area. The proposed project requests modifications from 1) rear yard (Planning Code Section 134); 2) dwelling unit exposure (Planning Code Section 140); 3) off-street loading (Planning Code Section 152.1); 4) horizontal mass reduction (Planning Code Section 270.1(d)); and, 5) accessory use provisions for dwelling units (Planning Code Sections 329(d)(10) and 803.3(b)(1)(c)). Department staff is generally in agreement with the proposed modifications given the overall project and its outstanding and unique design.
- Inclusionary Affordable Housing: The Project has elected the on-site affordable housing alternative, identified in Planning Code Section 415.6. These dwelling units will be rental properties. Per Planning Code Section 419.5(b), the project will utilize the Rental Incentive Alternative, which applies to properties within the UMU Zoning District. The Project Sponsor has entered into an agreement with the City to provide rental housing for 30 years under Section 419.5(b) of the Planning Code. The Project Sponsor and the City have entered into such an agreement; therefore the applicable requirements are a 13% inclusionary housing requirement and there is a \$1 reduction of the Eastern Neighborhood Public Benefit Fee. If the Agreement is terminated or the units otherwise sold prior to the expiration of the 30 year period, the inclusionary requirement will return to 16% and the Project Sponsor and its successor must pay the \$1 per square foot Eastern Neighborhoods Public Benefit Fee. Both requirements would be subject to interest and/or penalties as allowed by law. The Project contains 259 units; therefore the Project Sponsor will fulfill this requirement by providing the 34 affordable units on-site. If the number of market rate units change, the number of required affordable units shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development. Copies of these agreements shall be provided at the Planning Commission Hearing.
- Development Impact Fees: The Project would be subject to the following development impact fees, which are estimated as follows:

FEE TYPE	PLANNING CODE SECTION/FEE	RENTAL INCENTIVE REDUCTION	AMOUNT
Eastern Neighborhoods Impact Fee (65,336 sq ft – Tier 1; Change in Use from PDR to Residential)	423 (@ \$5.78)	419.5 (- \$1.00)	\$312,306
Eastern Neighborhoods Impact Fee (181,404 sq ft – Tier 1; New Residential)	423 (@ \$9.25)	419.5 (- \$1.00)	\$1,496,583
Eastern Neighborhoods Impact Fee	423 (@ \$11.56)	419.5 (- \$1.00)	\$23,866

FEE TYPE	PLANNING CODE SECTION/FEE	RENTAL INCENTIVE REDUCTION	AMOUNT
(2,260 sq ft – Tier 2; New Non-Residential)			
		TOTAL	\$1,832,755

Please note that these fees are subject to change between Planning Commission approval and approval of the associated Building Permit Application, as based upon the annual updates managed by the Development Impact Fee Unit of the Department of Building Inspection.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant a Large Project Authorization pursuant to Planning Code Section 329 to allow the new construction of a six-story residential building with 259 dwelling units, and to allow modifications to the requirements for rear yard (Planning Code Section 134), dwelling unit exposure (Planning Code Section 140), off-street loading (Planning Code Section 152.1), horizontal mass reduction (Planning Code Section 270.1(d), and accessory use provisions for dwelling units (Planning Code Sections 329(d)(10) and 803.3(b)(1)(c).

BASIS FOR RECOMMENDATION

The Department believes this project is approvable for the following reasons:

- The Project complies with the applicable requirements of the Planning Code.
- The Project is consistent with the objectives and policies of the General Plan.
- The Project is located in a zoning district where residential and ground floor commercial uses are principally permitted.
- The Project produces a new mixed-use development with ground floor corner retail and significant site updates, including landscaping, private and common open space, and a publically-accessible mid-block alley.
- The Project is consistent with and respects the existing neighborhood character, and provides an appropriate massing and scale for a large block.
- The Project complies with the First Source Hiring Program.
- The Project adds 259 new dwelling units to the City’s housing stock.
- The Project proposes a parking ratio of approximately .57 spaces per dwelling unit, or 147 off-street parking spaces, which is well below the maximum permitted ratio of .75, or 186 off-street parking spaces.
- The Project will fully utilize the Eastern Neighborhoods Area Plan controls, and will pay the appropriate development impact fees.

RECOMMENDATION: Approval with Conditions

Attachments:

Draft Motion-Large Project Authorization
Parcel Map
Sanborn Map
Aerial Photograph
Zoning Map
Architectural Drawings
Public Correspondence
Community Plan Exemption

Attachment Checklist

- | | |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project Sponsor Submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> Health Dept. Review of RF levels |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Community Meeting Notice |
| <input checked="" type="checkbox"/> Context Photos | <input checked="" type="checkbox"/> Inclusionary Affordable Housing Program:
Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos | |

Exhibits above marked with an "X" are included in this packet

_____ RS _____
Planner's Initials

RS: G:\Documents\Large Project Authorization\2012.0493X 1201 Tennessee St\ExecutiveSummary_1201-1225 Tennessee St.doc



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|---|---|
| <input checked="" type="checkbox"/> Affordable Housing (Sec. 415) | <input checked="" type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input checked="" type="checkbox"/> Other (EN Impact Fees) |

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Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO A LARGE PROJECT AUTHORIZATION PURSUANT TO PLANNING CODE SECTION 329, TO ALLOW EXCEPTIONS TO 1) REAR YARD PURSUANT TO PLANNING CODE SECTION 134, 2) DWELLING UNIT EXPOSURE PURSUANT TO PLANNING CODE SECTION 140, 3) OFF-STREET LOADING PURSUANT TO PLANNING CODE SECTION 152.1, 4) HORIZONTAL MASS REDUCTION PURSUANT TO PLANNING CODE SECTION 270.1(D), AND ACCESSORY USE PROVISIONS FOR DWELLING UNITS PURSUANT TO PLANNING CODE SECTIONS 329(D)(10) AND 803.3(B)(1)(C), TO ALLOW CONSTRUCTION OF A NEW SIX-STORY RESIDENTIAL BUILDING (APPROXIMATELY 249,000 GSF) WITH 259 DWELLING UNITS (CONSISTING OF 99 STUDIOS, 49 1-BEDROOM UNITS, 105 2-BEDROOM UNITS, AND 6 3-BEDROOM UNITS) AND A GROUND FLOOR COMMERCIAL SPACE (APPROXIMATELY 2,260 GSF), LOCATED AT 1201-1225 TENNESSEE STREET, LOT 022 IN ASSESSOR'S BLOCK 4172, WITHIN THE UMU (URBAN MIXED-USE) ZONING DISTRICT AND A 68-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On April 11, 2013, Eric Tao and Jesse Herzog of AGI Capital, Inc. (hereinafter "Project Sponsor") filed Application No. 2012.0493X (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Large Project Authorization to construct a new six-story residential building with

259 dwelling units and a ground floor corner commercial space at 1201-1225 Tennessee Street (Block 4172 Lot 022) in San Francisco, California.

The environmental effects of the Project were determined by the San Francisco Planning Department to have been fully reviewed under the Eastern Neighborhoods Area Plan Environmental Impact Report (hereinafter "EIR"). The EIR was prepared, circulated for public review and comment, and, at a public hearing on August 7, 2008, by Motion No. 17661, certified by the Commission as complying with the California Environmental Quality Act (Cal. Pub. Res. Code Section 21000 et seq., (hereinafter "CEQA"). The Commission has reviewed the Final EIR, which has been available for this Commission's review as well as public review.

The Eastern Neighborhoods EIR is a Program EIR. Pursuant to CEQA Guideline 15168(c)(2), if the lead agency finds that no new effects could occur or no new mitigation measures would be required of a proposed project, the agency may approve the project as being within the scope of the project covered by the program EIR, and no additional or new environmental review is required. In approving the Eastern Neighborhoods Plan, the Commission adopted CEQA Findings in its Motion No. 17661 and hereby incorporates such Findings by reference.

Additionally, State CEQA Guidelines Section 15183 provides a streamlined environmental review for projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an EIR was certified, except as might be necessary to examine whether there are project-specific effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that (a) are peculiar to the project or parcel on which the project would be located, (b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent, (c) are potentially significant off-site and cumulative impacts which were not discussed in the underlying EIR, or (d) are previously identified in the EIR, but which are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for that project solely on the basis of that impact.

On April 24, 2014, the Department determined that the proposed application did not require further environmental review under Section 15183 of the CEQA Guidelines and Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Final EIR. Since the Eastern Neighborhoods Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR. The file for this project, including the Eastern Neighborhoods Final EIR and the Community Plan Exemption certificate, is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California.

Planning Department staff prepared a Mitigation Monitoring and Reporting Program (MMRP) setting forth mitigation measures that were identified in the Eastern Neighborhoods Plan EIR that are applicable to the project. These mitigation measures are set forth in their entirety in the MMRP attached to the draft Motion as Exhibit C.

On May 1, 2014, the Planning Commission ("Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Large Project Authorization Application No. 2012.0493X.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Large Project Authorization requested in Application No. 2012.0493X, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The proposed project is located on the southern portion of the block bounded by 3rd, 23rd and Tennessee Street on an irregularly-shaped lot (with a lot area of 64,638± sq ft) with approximately 410-ft 6-in of frontage along Tennessee Street, 200-ft of frontage along 23rd Street, and 264-ft 6-in of frontage along 3rd Street. Currently, the subject lot contains a two-story commercial/warehouse building and an automotive service station.
3. **Surrounding Properties and Neighborhood.** The project site is located in the UMU Zoning District along a mixed-use corridor within the Central Waterfront Area Plan. The immediate neighborhood includes two-to-three story tall, older residential properties to the north along Tennessee Street, and larger-scale, two-to-four story industrial properties to the east and south. The project site is located along 3rd Street, which is a transit corridor for the Muni T-Line. Along 3rd Street, the immediate context includes smaller-scale one- and two-story tall residential or mixed-use (ground floor commercial with residential above) properties on the west side of the street, and a four-story industrial property (American Industrial Center) on the east side of the street. The northern lot line of the project site abuts the Dogpatch Landmark District, which extends along Tennessee and 3rd Streets. To the south of the project site, the neighborhood context is primarily industrial in nature with warehouses, storage yards, and light industrial properties. Other zoning districts in the vicinity of the project site include: NCT-2 (Small-Scale Neighborhood Commercial); RH-3 (Residential, House, Three-Family); PDR-1-G (Production, Distribution and Repair-General); and M-2 (Heavy Industrial).

4. **Project Description.** The proposed project includes demolition of the existing two-story commercial/warehouse buildings and automotive service station (measuring approximately 65,336 square feet) on the subject lot, and new construction of a six-story, residential building (approximately 249,000 gross square feet) with 259 dwelling units, ground floor corner retail (approximately 2,260 square feet), 2 car-share parking spaces, 147 off-street parking spaces, and 259 Class 1 bicycle parking spaces. The project includes a dwelling unit mix consisting of six three-bedroom units, 105 two-bedroom units, 49 one-bedroom units, and 99 studio units. The proposed project includes common open space (approximately 23,220 square feet), private open space for seventeen dwelling units via private decks, and a publically-accessible mid-block alley (measuring approximately 9,700 sq ft) along the north lot line with 37-ft of frontage along 3rd Street and 65-ft of frontage along Tennessee Street.
5. **Public Comment.** As of April 21, 2014, the Department has received two public correspondences and two letters of support for the proposed project. One public correspondence expressed concern over the publication of the staff report. Another correspondence expressed concern over the proposed project. Copies of this correspondence have been included within the Commission packets.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Permitted Uses in UMU Zoning Districts.** Planning Code Sections 843.20 and 843.45 states that residential and retail uses are principally permitted use within the UMU Zoning District.

The proposed project would construct new residential and retail uses within the UMU Zoning District; therefore, the proposed project complies with Planning Code Sections 843.20 and 843.45.

- B. **Floor Area Ratio.** Planning Code Section 124 establishes a FAR (Floor Area Ratio) of 5:1 for properties within the UMU Zoning District and a 68-X Height and Bulk District.

The subject lot is 64,638 sq ft, thus resulting in a maximum allowable floor area of 323,190 sq ft for non-residential uses. The proposed project would construct approximately 2,260 sq ft of non-residential space, and would comply with Planning Code Section 124.

- C. **Rear Yard.** Planning Code Section 134 requires a minimum rear yard equal to 25 percent of the total lot depth of the lot to be provided at every residential level. Therefore, the Project would have to provide a rear yard, which measures approximately 16,160 sq ft.

Currently, the Project is designed to have full lot coverage on the ground floor level and does not provide a rear yard at the lowest level containing a dwelling unit. The Project provides open space through a series of private balconies, a podium level courtyard and the mid-block alley. In total, the project provides 17 dwelling units with private useable open space and 242 dwelling units with common useable open space. The Project provides a total of 23,220 sq ft of open space (includes compliant and non-complaint open space). This amount of open space, which would have been

provided through the required rear yard, is thus exceeded. The Project is seeking a modification of the rear yard requirement as part of the Large Project Authorization (See Below).

The Project occupies a corner lot bounded by 23rd, Tennessee and 3rd Streets. The subject block does possess a pattern of mid-block open space, which is continued by the proposed project through the podium courtyard. By using a courtyard design, the Project maintains the street wall along 3rd, 23rd, and Tennessee Streets, and provides an urban intervention which more closely resembles a traditional mid-block open space pattern on the project site.

- D. Useable Open Space.** Planning Code Section 135 requires a minimum of 80 sq ft of open space per dwelling unit, if not publically accessible, or 54 sq ft of open space per dwelling unit, if publically accessible. Private useable open space shall have a minimum horizontal dimension of six feet and a minimum area of 36 sq ft is located on a deck, balcony, porch or roof, and shall have a minimum horizontal dimension of 10 feet and a minimum area of 100 sq ft if located on open ground, a terrace or the surface of an inner or outer court. Common useable open space shall be at least 15 feet in every horizontal dimension and shall be a minimum area of 300 sq ft. Further, inner courts may be credited as common useable open space if the enclosed space is not less than 20 feet in every horizontal dimension and 400 sq ft in area, and if the height of the walls and projections above the court on at least three sides is such that no point on any such wall or projection is higher than one foot for each foot that such point is horizontally distant from the opposite side of the clear space in the court.

For the proposed 259 dwelling units, the Project is required to provide 9,612 sq ft of publically accessible open space for 178 dwelling units, 5,120 sq ft of common open space for 64 dwelling units, and 1,360 sq ft of private open space for the remaining 17 dwelling units.

In total, the Project exceeds the requirements for open space by constructing a total of 16,260 sq ft of code-complying useable open space. The Project would construct private balconies for seventeen dwelling units, which meet the dimensional requirements of the Planning Code. In addition, the Project would construct common open space via two podium courtyards on the second floor (measuring a total of 5,200 sq ft) to address the open space requirement for 64 dwelling units. As defined in Planning Code Section 102.4, these podium courtyards are considered outer courts, since one side of this courtyard faces onto a publically-accessible alley. Finally, the Project would construct a publically-accessible mid-block alley (measuring 9,700 sq ft) for the remaining 178 dwelling units. This alley varies in dimension from 37-ft along 3rd Street to 65-ft along Tennessee Street. Therefore, the project complies with Planning Code Section 135.

- E. Streetscape and Pedestrian Improvements.** Planning Code Section 138.1 requires one new street tree for every 20 feet of street frontage for projects proposing new construction, as well as a streetscape plan, which includes elements from the Better Streets Plan.

The Project includes the new construction of a six-story residential building on a lot with approximately 410-ft of frontage along Tennessee Street, 200-ft of frontage along 23rd Street and approximately 264-ft of frontage along 3rd Street. Therefore, the Project is required to provide a total

of 21 street trees along Tennessee Street, 10 street trees along 23rd Street, and 13 street trees along 3rd Street.

Currently, the Project includes 16 street trees along Tennessee Street, six street trees along 23rd Street, and seven street trees along 3rd Street. For the fifteen street trees not provided along the street, the Project shall seek a waiver from the Zoning Administrator to pay an in-lieu fee for each street tree not provided along the street.

In addition, the Project includes streetscape elements, including high visibility crosswalks, extended bulb outs, parking lane planters, stormwater control measures, sidewalk planters and site furnishings. These features extend into the mid-block alley, which features a landscaped plaza and walkway.

Therefore, the proposed project complies with Planning Code Section 138.1.

- F. **Bird Safety.** Planning Code Section 139 outlines the standards for bird-safe buildings, including the requirements for location-related and feature-related hazards.

The subject lot is not located in close proximity to an Urban Bird Refuge. The proposed project meets the requirements of feature-related standards and does not include any unbroken glazed segments 24-sq ft and larger in size; therefore, the proposed project complies with Planning Code Section 139.

- G. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street, rear yard or other open area that meets minimum requirements for area and horizontal dimensions. To meet exposure requirements, a public street, public alley, side yard or rear yard must be at least 25 ft in width, or an open area (inner court) must be no less than 25 ft in every horizontal dimension for the floor at which the dwelling unit is located.

The Project organizes the dwelling units to have exposure either on 3rd, 23rd, or Tennessee Streets, or within the podium courtyard or mid-block alley. Currently, eight dwelling units (three on the second floor, four on the third floor, and one on the fourth floor) do not face onto an open area, which meets the dimensional requirements of the Planning Code. Therefore, the Project is seeking a modification of the dwelling unit exposure requirements for eight dwelling units as part of the Large Project Authorization (See Below).

- H. **Street Frontage in Mixed Use Districts.** Planning Code Section 145.1 requires off-street parking at street grade on a development lot to be set back at least 25 feet on the ground floor; that no more than one-third of the width or 20 feet, whichever is less, of any given street frontage of a new structure parallel to and facing a street shall be devoted to parking and loading ingress or egress; that space for active uses be provided within the first 25 feet of building depth on the ground floor; that non-residential uses have a minimum floor-to-floor height of 14 feet; that the floors of street-fronting interior spaces housing non-residential active uses and lobbies be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces; and that frontages with active uses that are not residential

or PDR be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level.

The Project meets the requirements of Planning Code Section 145.1. At grade, the off-street parking is setback by more than 25-ft from the street. The Project has only one twelve-ft wide garage entrance to the off-street parking located along Tennessee Street. The Project features active uses on the ground floor with a corner retail store, corner residential lobby along 3rd Street, and walk-up dwelling units with direct, individual pedestrian access to a public sidewalk. The ground floor ceiling height of the corner retail store is 17-ft tall. Finally, the Project features appropriate street-facing ground level spaces, as well as the ground level transparency and fenestration requirements.

- I. **Off-Street Parking.** Planning Section 151.1 of the Planning Code allows off-street parking at a maximum ratio of .75 per dwelling unit.

For the 259 dwelling units, the Project is allowed to have a maximum of 194 off-street parking spaces. Currently, the Project provides 147 off-street parking spaces via mechanical lifts. Of these 147 off-street parking spaces, six handicap parking spaces have been identified, as well as two car-share parking spaces. Therefore, the proposed project complies with Planning Code Section 151.1.

- J. **Off-Street Freight Loading.** Planning Section 152.1 of the Planning Code requires two off-street freight loading space for apartment use between 200,001 and 500,000 gsf.

The Project includes approximately 249,000 square feet of apartment use, thus at least two off-street freight loading spaces are required. The Project is proposing one on-street loading space on 23rd Street and one on-street loading space on Tennessee Street. Therefore, the Project is seeking a modification of this requirement as part of the Large Project Authorization (See Below).

- K. **Bicycle Parking.** Planning Section 155.2 of the Planning Code requires at least 100 Class 1 bicycle parking spaces plus one Class 1 bicycle parking space for every four dwelling units and one Class 2 bicycle parking spaces for every 20 dwelling units.

The Project includes 259 dwelling units; therefore, the Project is required to provide 140 Class 1 bicycle parking spaces and 13 Class 2 bicycle parking spaces. The Project will provide 259 Class 1 bicycle parking spaces, which exceeds the requirement. Therefore, the proposed project complies with Planning Code Section 155.2.

- L. **Car Share Requirements.** Planning Code Section 166 requires two car-share parking spaces, plus one for every 200 dwelling units over 200, for projects with 201 residential units or more.

Since the Project includes 259 dwelling units, it is required to provide a minimum of two car-share parking spaces. The Project provides two car-share parking spaces. Therefore, the proposed project complies with Planning Code Section 166.

- M. **Unbundled Parking.** Planning Code Section 167 requires that all off-street parking spaces accessory to residential uses in new structures of 10 dwelling units or more be leased or sold separately from the rental or purchase fees for dwelling units for the life of the dwelling units.

The Project is providing off-street parking that is accessory to the dwelling units. These spaces will be unbundled and sold and/or leased separately from the dwelling units; therefore, the Project meets this requirement.

- N. **Dwelling Unit Mix.** Planning Code Section 207.6 requires that no less than 40 percent of the total number of proposed dwelling units contain at least two bedrooms, or no less than 30 percent of the total number of proposed dwelling units contain at least three bedrooms.

For the 259 dwelling units, the Project is required to provide at least 104 two-bedroom units or 78 three-bedroom units. The Project provides 99 studios, 49 one-bedroom units, 105 two-bedroom units, and 6 three-bedroom units. Therefore, the Project meets and exceeds the requirements for dwelling unit mix.

- O. **Conversion of Automotive Service Stations.** Planning Code Section 228 requires Conditional Use Authorization for conversions/change of use of automotive service station.

Per Planning Code Section 228(c)(1), the Project is exempt from the Conditional Use Authorization requirement, since the project site is located along a Primary Transit Street designated in the General Plan.

- P. **Horizontal Mass Reduction.** Planning Code Section 270.1 outlines the requirements for horizontal mass reduction on large lots within the Eastern Neighborhoods Mixed Use Districts. For projects with street frontage greater than 200-ft in length, one or more mass reduction breaks must be incorporated to reduce the horizontal scale of the building into discrete sections not more than 200-ft in length. Specifically, the mass reduction must 1) be not less than 30-ft in width; 2) be not less than 60-ft in depth from the street-facing building façade; 3) extend up to the sky from a level not higher than 25-ft above grade or the third story, whichever is lower; and, 4) result in discrete building sections with a maximum plan length along the street frontage not greater than 200-ft.

The Project is required to provide a single horizontal mass break along 3rd and Tennessee Streets, which is not less than 30-ft wide by 60-ft deep, and extends from the third-story up to the sky. This mass break must result in discrete building sections along the street frontage of not greater than 200-ft.

The Project provides two horizontal mass breaks: one along 3rd Street, which measures approximately 32-ft by 34-ft and begins at the second-floor and extends up; and another along Tennessee Street, which also measures 32-ft by 34-ft and begins at the second floor and extends up. In addition, the project includes a mid-block alley, which provides open space between the existing neighborhood and

the project site. These horizontal mass breaks provide for street facades with building segments measuring 138-ft along 3rd Street, 200-ft along 23rd Street, and 241-ft along Tennessee Street. Since the horizontal mass break does not meet the dimensions required by Planning Code Section 270.1, the Project is seeking a modification of this requirement as part of the Large Project Authorization.

- Q. Mid-Block Alley.** Planning Code Section 270.2 outlines the requirements for mid-block alleys on large lots within the Eastern Neighborhoods Mixed Use Districts. This requirement applies to all new construction on parcels that have one or more street frontages of over 200 linear feet on a block face longer than 400-ft between intersections. On lots with frontage greater than 300-ft, the project shall provide a publicly-accessible mid-block alley for the entire depth of the property, generally located toward the middle of the subject block face, perpendicular to the subject frontage and connecting to any existing streets and alleys.

The Project provides a mid-block alley along the northern lot line that measures 37-ft along 3rd Street and 65-ft along Tennessee Street. This mid-block alley meets the design and performance standards of Planning Code Section 270.2(e), since it is: located as close to the middle portion of the subject block face as possible; is perpendicular to the subject frontage; provides pedestrian access and no vehicular access; has a minimum width of 20-ft from building face to building face; provides a minimum clear walking width of 10-ft free of any obstructions; is at least 60% open to the sky; and, features appropriate paving, furniture, and amenities. Therefore, the Project complies with Planning Code Section 270.2.

- R. Shadow.** Planning Code Section 295 restricts net new shadow, cast by structures exceeding a height of 40 feet, upon property under the jurisdiction of the Recreation and Park Commission. Any project in excess of 40 feet in height and found to cast net new shadow must be found by the Planning Commission, with comment from the General Manager of the Recreation and Parks Department, in consultation with the Recreation and Park Commission, to have no adverse impact upon the property under the jurisdiction of the Recreation and Park Commission.

Based upon a detail shadow analysis, the Project does not cast any net new shadow upon property under the jurisdiction of the Recreation and Parks Commission.

- S. Inclusionary Affordable Housing Program/Rental Housing Incentive.** Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Since the subject property is located within the UMU Zoning District, the Project is subject to the inclusionary affordable housing requirements identified in Planning Code Section 419. The subject property has been designated as Tier B, thus a minimum of 16 percent of the total units constructed shall be considered affordable. However, per Planning Code Section 419.5(b), a Project Sponsor may elect the "rental incentive" alternative for qualified rental housing projects, which would reduce the affordable housing option by 3%, and provide for a \$1.00 fee waiver per gross square foot from the Eastern Neighborhoods Impact Fee.

The Project Sponsor has submitted an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to satisfy the requirements of the Inclusionary Affordable Housing Program by providing the affordable housing on-site instead of through payment of the Affordable Housing Fee. Based upon the Affidavit dated February 21, 2014, the Project Sponsor has elected the On-Site Affordable Housing Alternative and Rental Incentive Alternative. The Rental Incentive Alternative provides for an agreement between the City and County of San Francisco and the Project Sponsor, so that the affordable housing units shall be rental properties for a period of not less than 30 years. Therefore, for 259 total dwelling units, the Project shall provide 34 affordable rental dwelling units.

If the Project becomes ineligible to meet its Inclusionary Affordable Housing Program obligation through the On-Site Affordable Housing Alternative, it must pay the Affordable Housing Fee with interest, if applicable.

- T. Eastern Neighborhood Infrastructure Impact Fees.** Planning Code Section 423 is applicable to any development project within the MUO (Mixed Use Office) Zoning District that results in the addition of gross square feet of non-residential space.

The proposed project includes approximately 249,000 gross square feet of new development consisting of approximately 215,300 sq ft of residential use and 2,260 sq ft of retail use. These uses are subject to Eastern Neighborhood Infrastructure Impact Fees, as outlined in Planning Code Section 423. These fees must be paid prior to the issuance of the building permit application.

- 7. Large Project Authorization in Eastern Neighborhoods Mixed Use District.** Planning Code Section 329(c) lists nine aspects of design review in which a project must comply; the Planning Commission finds that the project is compliant with these nine aspects as follows:

- A. Overall building mass and scale.**

The Project's mass and scale are appropriate for a large corner lot and the surrounding context, which includes larger, light industrial buildings that create a strong street wall of multiple stories. In particular, the proposed project is consistent with the mass and scale of nearby industrial properties, including those larger-scale four-story industrial properties located within the adjacent Dogpatch Landmark District. The Project divides the massing into three distinct elements, which addresses each of the three bordering streets: 3rd Street, 23rd Street and Tennessee Street. Thus, the project is appropriate and consistent with the mass and scale of the surrounding neighborhood.

- B. Architectural treatments, facade design and building materials:**

The proposed project's architectural treatments, facade design and building materials include colored cement plaster, horizontal wood siding, corrugated metal siding and metal screens. The Project provides for three unique buildings on each street frontage, which possess distinctive, yet compatible, designs that are oriented by the exterior color and overall massing. Along 3rd Street, the building is oval in form and possesses metal siding and screens, which assists in reinforcing the ground floor scale

and balcony elements of the residential units above. Along 23rd Street, the building is rectangular in form and blocky in massing with a greater emphasis on cement plaster exterior and corrugated metal siding. Along Tennessee Street, the building is also rectangular in form, but features a more defined ground floor with a greater emphasis on individual bays. Overall, the Project offers a high quality architectural treatment, which provides for unique and expressive architectural design that is consistent and compatible with the surrounding neighborhood.

- C. The design of lower floors, including building setback areas, commercial space, townhouses, entries, utilities, and the design and siting of rear yards, parking and loading access;

Along the lower floors, the Project provides for walk-up two-bedroom dwelling units with individual pedestrian access. These dwelling units provide for activity along the street. On 3rd and 23rd Street, the Project is seeking a modification to the accessory use provisions for a total of eight dwelling units under the Large Project Authorization. These dwelling units would feature facades appropriate for either residential, retail or home office uses, as would be principally permitted within the UMU Zoning District. The lower floors are further enhanced by the publically-accessible mid-block alley and the corner retail space located at 23rd and 3rd Streets.

- D. The provision of required open space, both on- and off-site. In the case of off-site publicly accessible open space, the design, location, access, size, and equivalence in quality with that otherwise required on-site;

The Project provides the required open space for the 259 dwelling units through private balconies, common open space within a second floor (podium level) courtyard, and the publically-accessible mid-block alley along the north lot line. In total, the Project provides 23,220 sq ft of open space, which far exceeds the required amount for the dwelling units.

- E. The provision of mid-block alleys and pathways on frontages between 200 and 300 linear feet per the criteria of Section 270, and the design of mid-block alleys and pathways as required by and pursuant to the criteria set forth in Section 270.2;

The Project provides a mid-block alley along the north lot line, which ranges in width from 37-ft along 3rd Street to 65-ft in width along Tennessee Street. The provided mid-block far exceeds the required 20-ft width, as specified in Planning Code Section 270.2. Further, the mid-block alley provides for landscaping, site furnishing and amenities appropriate for a publically-accessible open space.

- F. Streetscape and other public improvements, including tree planting, street furniture, and lighting.

In compliance with Planning Code Section 138.1, the Project provides 29 street trees along the street frontages on 3rd, 23rd and Tennessee Streets, and would pay an in-lieu fee for the 15 required street trees not provided due to proximity towards underground utilities, etc. In addition, the Project includes streetscape elements, including high visibility crosswalks, extended bulb outs, parking lane planters, stormwater control measures, sidewalk planters and site furnishings. These features extend

into the mid-block alley, which features a landscaped plaza and walkway. The Department finds that these improvements would improve the public realm.

G. Circulation, including streets, alleys and mid-block pedestrian pathways;

Since the subject lot has three street frontages, the Project provides ample circulation in and around the project site, including through the provided publically-accessible mid-block alley. The primary focal point for the residents would occur on 3rd Street through the residential lobby, which is adjacent to the mid-block alley. Automobile access is limited to the one entry/exit (measuring 12-ft wide) on the Tennessee Street façade.

H. Bulk limits;

The Project is within an 'X' Bulk District, which does not restrict bulk.

I. Other changes necessary to bring a project into conformance with any relevant design guidelines, Area Plan or Element of the General Plan;

The Project, on balance, meets the Objectives and Policies of the General Plan. See Below.

8. **Large Project Authorization Exceptions.** Proposed Planning Code Section 329 allows exceptions for Large Projects in the Eastern Neighborhoods Mixed Use Districts:

A. Exception for rear yards, pursuant to the requirements of Section 134(f);

(f) Modification of Requirements in the Eastern Neighborhoods Mixed Use Districts. The rear yard requirement in Eastern Neighborhoods Mixed Use Districts may be modified or waived by the Planning Commission pursuant to Section 329. The rear yard requirement in Eastern Neighborhoods Mixed Use Districts may be modified by the Zoning Administrator pursuant to the procedures set forth in Section 307(h) for other projects, provided that:

(1) A comparable, but not necessarily equal amount of square footage as would be created in a code conforming rear yard is provided elsewhere within the development;

The Project provides for a comparable amount of open space, in lieu of the required rear yard. Overall, the project site is 64,638 sq ft in size, and would be required to provide a rear yard measuring 16,160 sq ft. The Project provides 23,220 sq ft of open space through private balconies, a second floor courtyard and a mid-block alley, thus exceeding the amount of space, which would have been provided in a code-conforming rear yard.

(2) The proposed new or expanding structure will not significantly impede the access to light and air from adjacent properties or adversely affect the interior block open space formed by the rear yards of adjacent properties; and

The Project does not impede access to light and air for the adjacent properties. Rather, the Project improves access to light and air, since it provides a publically-accessible mid-block alley along the north lot line, adjacent to the surrounding residential development. The Project continues the pattern of mid-block open space on the subject block through the second floor courtyard and mid-block alley.

(3) The modification request is not combined with any other residential open space modification or exposure variance for the project, except exposure modifications in designated landmark buildings under Section 307(h)(1).

The Project is not seeking a modification to the open space requirements; however, the Project is seeking a modification to the exposure requirements for eight of the 259 dwelling units. Overall, the majority of the Project meets the intent of exposure requirements defined in Planning Code Section 140.

- B. Exception from satisfaction of loading requirements per Section 152.1 pursuant to the criteria contained therein.

For projects in the Eastern Neighborhoods Mixed Use Districts that are subject to Section 329, the Planning Commission may waive these requirements per the procedures of Section 329 if it finds that the design of the project, particularly ground floor frontages, would be improved and that such loading could be sufficiently accommodated on adjacent streets and alleys.

The Project provides two on-street loading parking spaces on 23rd Street and Tennessee Street. Given the existing and proposed character of the related street frontages, the Project can accommodate the two loading parking spaces on the street. Further, by providing for on-street loading, the Project has reduced the overall size and scale of the garage opening, and has limited automobile access to one opening on Tennessee Street.

- C. Modification of the horizontal massing breaks required by Section 270.1 in light of any equivalent reduction of horizontal scale, equivalent volume of reduction, and unique and superior architectural design, pursuant to the criteria of Section 270.1(d).

Per Planning Code Section 270.1(d), the Planning Commission may modify or waive this requirement through the process set forth in Section 329. When considering any such application, the Commission shall consider the following criteria:

(1) no more than 50% of the required mass is reduced unless special circumstances are evident;

The Project does not reduce more than 50% of the required mass. The Project exceeds some of the horizontal mass reduction requirements, since the mass reduction occurs at the second floor. Typically, the horizontal mass reduction is only required to occur at the third floor or above a height of 25-ft. Per Planning Code Section 270.1, the Project would have been required to provide 154,800 cubic feet of

volumetric reduction. Given the overall design and site layout, the Project only provides 131,300 cubic feet of volumetric reduction, which is approximately 85% of the required volumetric reduction.

(2) the depth of any mass reduction breaks provided is not less than 15 feet from the front facade, unless special circumstances are evident;

The Project provides a mass break of 32-ft by 34-ft along 3rd Street, and also on Tennessee Street. Therefore, the Project exceeds the 15-ft minimum requirement.

(3) the proposed building envelope can be demonstrated to achieve a distinctly superior effect of reducing the apparent horizontal dimension of the building; and

The Project achieves a distinctly superior effect of reducing the apparent horizontal dimension of the buildings, since the proposed horizontal mass break occurs from second floor through the entire height of the Project. In addition, the proposed mid-block alley assists in providing for mass reduction. Further, the Project provides for modulation and relief of mass by providing for three distinct buildings along 3rd, 23rd and Tennessee Streets. Architectural elements separating the street-level and articulation of the façade contribute to reducing the horizontal appearance of the buildings. Further, the mix of materials and colors on the street facades contribute to the perceived reduction.

(4) the proposed building achieves unique and superior architectural design.

The Project achieves unique and superior architectural design with the proposed horizontal mass break, due to the project's overall design and composition, and mid-block alley. The Project provides a unique expression within a mixed-use context, and appropriately introduces a design that has responded to community concerns and Planning Code requirements.

- D. Modification of the accessory use provisions of Section 803.3(b)(1)(c) for dwelling units. Dwelling units modified under this Subsection shall continue to be considered dwelling units for the purposes of this Code and shall be subject to all such applicable controls and fees. Additionally, any building which receives a modification pursuant to this Subsection shall (i) have appropriately designed street frontages to accommodate both residential and modified accessory uses and (ii) obtain comment on the proposed modification from other relevant agencies prior to the Planning Commission hearing, including the Fire Department and Department of Building Inspection. Modifications are subject to the following:

(i) A modification may only be granted for the ground floor portion of dwelling units that front on a street with a width equal to or greater than 40 feet.

The Project seeks modification for the eight, two-bedroom dwelling units on the ground floor of 3rd and 23rd Streets.

(ii) The accessory use may only include those uses permitted as of right at the subject property. However, uses permitted in any unit obtaining an accessory use modification may be further limited by the Planning Commission.

The Project will only include accessory uses that are principally-permitted uses in the UMU Zoning District, as defined in Planning Code Section 843. The anticipated accessory uses will either be retail or home office.

(iii) The Planning Commission may grant exceptions to the size of the accessory use, type and number of employees, and signage restrictions of the applicable accessory use controls.

The Project is seeking modification to the accessory use provisions for dwelling units to allow for greater flexibility in the size of an accessory use on the ground floor level only, to provide for a limited number of employees, and to allow for public access.

- E. Where not specified elsewhere in Planning Code Section 329(d), modification of other Code requirements which could otherwise be modified as a Planned Unit Development (as set forth in Section 304), irrespective of the zoning district in which the property is located;

In addition to the modification of the requirements for rear yard, off-street loading, horizontal mass reduction and accessory use provisions for dwelling units, the proposed project is seeking modifications of the requirements for exposure (Planning Code Section 140).

Under Planning Code Section 140, all dwelling units must face onto an open area, which is at least 25'-wide. The Project organizes the dwelling units to have exposure either on 3rd, 23rd, or Tennessee Streets, or within the podium courtyard or mid-block alley. Currently, eight dwelling units (three on the second floor, four on the third floor, and one on the fourth floor) do not face onto an open area, which meet the dimensional requirements of the Planning Code. These dwelling units still face onto an open area and are also afforded sufficient access to light and air. Given the overall design and composition of the Project, the Department is in support of this modification, due to the Project's high quality of design and amount of open space/open areas.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING

Objectives and Policies

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

The Project is a higher density mixed-use development in an underutilized, transitioning industrial and residential area. The Project site is an ideal infill site that is largely vacant. The project site was rezoned to UMU as part of a long range planning goal to create a cohesive, higher density residential and mixed-use neighborhood. To the south, the zoning is primarily PDR. The project includes thirty-four on-site affordable housing rental units, which complies with the UMU District's goal to provide a higher level of affordability.

OBJECTIVE 4

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES

Policy 4.4

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

The Project meets the affordable housing requirements for the UMU Zoning District, and provides thirty-four on-site affordable rental units.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

The architecture of this Project responds to the site's location as a transition between industrial zones and the contemporary and traditional architecture of residential zones. The Project's facades provide a unique expression not commonly found within the surrounding area, while providing for a material palette, which draws from the surrounding industrial context. The exterior is designed with modern materials including cement plaster, horizontal wood siding, and corrugated metal siding.

RECREATION AND OPEN SPACE ELEMENT

Objectives and Policies

OBJECTIVE 4:

PROVIDE OPPORTUNITIES FOR RECREATION AND THE ENJOYMENT OF OPEN SPACE IN EVERY SAN FRANCISCO NEIGHBORHOOD.

Policy 4.5:

Require private usable outdoor open space in new residential development.

Policy 4.6:

Assure the provision of adequate public open space to serve new residential development.

The Project will create private and common open space areas in a new residential mixed-use development through private balconies, second floor courtyard and mid-block alley. The project will not cast shadows over any open spaces under the jurisdiction of the Recreation and Park Department.

TRANSPORTATION ELEMENT

Objectives and Policies

OBJECTIVE 24:

IMPROVE THE AMBIENCE OF THE PEDESTRIAN ENVIRONMENT.

Policy 24.2:

Maintain and expand the planting of street trees and the infrastructure to support them.

Policy 24.3:

Install pedestrian-serving street furniture where appropriate.

Policy 24.4:

Preserve pedestrian-oriented building frontages.

The Project will install new street trees along 3rd, 23rd and Tennessee Street. Further, the Project will provide new site furnishings and amenities within the publically-accessible mid-block alley. Frontages are designed with active spaces oriented at the pedestrian level.

OBJECTIVE 28:

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES.

Policy 28.1:

Provide secure bicycle parking in new governmental, commercial, and residential developments.

Policy 28.3:

Provide parking facilities which are safe, secure, and convenient.

The Project includes 259 bicycle parking spaces in secure, convenient locations.

OBJECTIVE 34:

RELATE THE AMOUNT OF PARKING IN RESIDENTIAL AREAS AND NEIGHBORHOOD COMMERCIAL DISTRICTS TO THE CAPACITY OF THE CITY'S STREET SYSTEM AND LAND USE PATTERNS.

Policy 34.1:

Regulate off-street parking in new housing so as to guarantee needed spaces without requiring excesses and to encourage low auto ownership in neighborhoods that are well served by transit and are convenient to neighborhood shopping.

Policy 34.3:

Permit minimal or reduced off-street parking supply for new buildings in residential and commercial areas adjacent to transit centers and along transit preferential streets.

Policy 34.5:

Minimize the construction of new curb cuts in areas where on-street parking is in short supply and locate them in a manner such that they retain or minimally diminish the number of existing on-street parking spaces.

The Project has a parking to dwelling unit ratio of .56 space per unit, which is below the permitted ratio of .75 per unit. The parking spaces are accessed by one ingress/egress point measuring 12-ft wide from Tennessee Street. Parking is adequate for the project and complies with maximums prescribed by the Planning Code.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.7:

Recognize the natural boundaries of districts, and promote connections between districts.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.6:

Respect the character of older development nearby in the design of new buildings.

The Project is located within the Dogpatch neighborhood, which is characterized by the mix of residential and industrial uses. As such, the Project provides expressive street façades, which respond to form, scale and material palette of the existing neighborhood, while also providing a new contemporary architectural vocabulary.

OBJECTIVE 4:

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.5:

Design walkways and parking facilities to minimize danger to pedestrians.

Policy 4.13:

Improve pedestrian areas by providing human scale and interest.

Although the project site has three street frontages, it only provides one vehicular access point for the entire project, limiting conflicts with pedestrians and bicyclists. Numerous street trees will be planted on each street. Ample frontages, common and private open spaces, and ground floor active uses directly accessing the street will be provided. Along the project site, the pedestrian experience will be greatly improved. The site is largely vacant.

CENTRAL WATERFRONT AREA PLAN

Objectives and Policies

Land Use

OBJECTIVE 1.1

ENCOURAGE THE TRANSITION OF PORTIONS OF THE CENTRAL WATERFRONT TO A MORE MIXED-USE CHARACTER, WHILE PROTECTING THE NEIGHBORHOOD'S CORE OF PDR USES AS WELL AS THE HISTORIC DOGPATCH NEIGHBORHOOD

Policy 1.1.6

Permit and encourage small and moderate size retail establishments in neighborhood commercial areas of Central Waterfront, while allowing larger retail in the new Urban Mixed Use districts only when part of a mixed-use development.

Policy 1.1.9

Permit and encourage greater retail uses on the ground floor on parcels that front 3rd Street to take advantage of transit service and encourage more mixed uses, while protecting against the wholesale displacement of PDR uses.

OBJECTIVE 1.2

IN AREAS OF THE CENTRAL WATERFRONT WHERE HOUSING AND MIXED-USE IS ENCOURAGED, MAXIMIZE DEVELOPMENT POTENTIAL IN KEEPING WITH NEIGHBORHOOD CHARACTER

Policy 1.2.3

In general, where residential development is permitted, control residential density through building height and bulk guidelines and bedroom mix requirements.

Housing

OBJECTIVE 2.3

REQUIRE THAT A SIGNIFICANT NUMBER OF UNITS IN NEW DEVELOPMENTS HAVE TWO OR MORE BEDROOMS EXCEPT SENIOR HOUSING AND SRO DEVELOPMENTS UNLESS ALL BELOW MARKET RATE UNITS ARE TWO OR MORE BEDROOM UNITS

Policy 2.3.3

Require that a significant number of units in new developments have two or more bedrooms, except Senior Housing and SRO developments.

Policy 2.3.6

Establish an impact fee to be allocated towards an Eastern Neighborhoods Public Benefit Fund to mitigate the impacts of new development on transit, pedestrian, bicycle, and street improvements, park and recreational facilities, and community facilities such as libraries, child care and other neighborhood services in the area.

Urban Form

OBJECTIVE 3.1

PROMOTE AN URBAN FORM THAT REINFORCES THE CENTRAL WATERFRONT'S DISTINCTIVE PLACE IN THE CITY'S LARGER FORM AND STRENGTHENS ITS PHYSICAL FABRIC AND CHARACTER

Policy 3.1.6

New buildings should epitomize the best in contemporary architecture, but should do so with full awareness of, and respect for, the height, mass, articulation and materials of the best of the older buildings that surrounds them.

OBJECTIVE 3.2

PROMOTE AN URBAN FORM AND ARCHITECTURAL CHARACTER THAT SUPPORTS WALKING AND SUSTAINS A DIVERSE, ACTIVE AND SAFE PUBLIC REALM

Policy 3.2.1

Require high quality design of street-facing building exteriors.

Policy 3.2.5

Building form should celebrate corner locations.

The Project is a largely residential, but does include a moderate size corner retail component along 3rd Street. The Project provides the mix of uses encouraged by the Area Plan for this location. In addition, the Project is located within the prescribed height and bulk guidelines, and includes the appropriate dwelling unit mix, since approximately 42.5% or 110 units are two- or three-bedroom dwellings. The Project introduces a contemporary architectural vocabulary, which is sensitive to the prevailing scale and neighborhood fabric. The Project provides for a high quality designed exterior, which features a variety of materials, colors and textures, including cement plaster, horizontal wood siding, and corrugated metal. The Project will also pay the appropriate development impact fees, including the Eastern Neighborhoods Impact Fees.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

On the project site, the existing uses include warehouse, business service, light industrial use and a few retail uses. Although the Project would remove these uses, the Project does provide for a new neighborhood-serving corner retail establishment, as well as flexible occupancy for the ground floor dwelling units along 3rd and 23rd Streets. The Project improves the urban form of the neighborhood by removing an existing parking lot and service station. The Project would add new residents, visitors, and employees to the neighborhood, which would assist in strengthening nearby retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No housing exists on the project site. The project will provide up to 259 new dwelling units, thus resulting in a significant increase in the neighborhood housing stock. The Project is expressive in design, and relates to the scale and form of the surrounding neighborhood by providing relationships to the smaller-scale housing stock as well as the larger-scale industrial properties, such as the

American Industrial Center. For these reasons, the proposed project would protect and preserve the cultural and economic diversity of the neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced.

The Project will not displace any affordable housing because there is currently no housing on the site. The Project will comply with the City's Inclusionary Housing Program, therefore increasing the stock of affordable housing units in the City.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project site is well-served by public transportation. The Project is located immediately adjacent to the MUNI T-Line Station. In addition, the Project is located within walking distance to the 22nd Street Caltrain Station. Future residents would be afforded close proximity to bus or rail transit. The Project also provides sufficient off-street parking at a ratio of .56 per dwelling unit, and sufficient bicycle parking for residents and their guests.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project is consistent with the Central Waterfront Area Plan, which provides for a balance between industrial and residential development. The Project would enhance opportunities for resident employment and ownership in industrial and service sectors by providing for new housing and retail spaces, which will increase the diversity of the City's housing supply (a top priority in the City) and provide new potential neighborhood-serving uses.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

There are no landmarks or historic buildings on the project site. The Project would not impact the adjacent Dogpatch Landmark District.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will not affect the City's parks or open space or their access to sunlight and vistas. A shadow study was completed and concluded that the Project will not cast shadows on any property

under the jurisdiction of, or designated for acquisition by, the Recreation and Park Commission. In fact, the Project will provide additional public open space via the mid-block alley.

9. **First Source Hiring.** The Project is subject to the requirements of the First Source Hiring Program as they apply to permits for residential development (Section 83.4(m) of the Administrative Code), and the Project Sponsor shall comply with the requirements of this Program as to all construction work and on-going employment required for the Project. Prior to the issuance of any building permit to construct or a First Addendum to the Site Permit, the Project Sponsor shall have a First Source Hiring Construction and Employment Program approved by the First Source Hiring Administrator, and evidenced in writing. In the event that both the Director of Planning and the First Source Hiring Administrator agree, the approval of the Employment Program may be delayed as needed.

The Project Sponsor submitted a First Source Hiring Affidavit and prior to issuance of a building permit will execute a First Source Hiring Memorandum of Understanding and a First Source Hiring Agreement with the City's First Source Hiring Administration.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Large Project Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Large Project Authorization Application No. 2012.0493X** under Planning Code Section 329 to allow the new construction of a six-story residential building with 259 dwelling units and ground floor corner retail, and a modification to the requirements for: 1) rear yard (Planning Code Section 134); 2) dwelling unit exposure (Planning Code Section 140); 3) off-street loading (Planning Code Section 152.1); 4) horizontal mass reduction (Planning Code Section 270.1(d)); and, 5) accessory use provisions for dwelling units (Planning Code Sections 329(d)(10) and 803.3(b)(1)(c)), within the UMU (Urban Mixed-Use) Zoning District, and a 68-X Height and Bulk District. The project is subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated February 14, 2014, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

The Planning Commission hereby adopts the MMRP attached hereto as Exhibit C and incorporated herein as part of this Motion by this reference thereto. All required mitigation measures identified in the Eastern Neighborhoods Plan EIR and contained in the MMRP are included as conditions of approval.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Section 329 Large Project Authorization to the Board of Appeals within fifteen (15) days after the date of this Motion. The effective date of this Motion shall be the date of adoption of this Motion if not appealed (after the 15-day period has expired) OR the date of the decision of the Board of Appeals if appealed to the Board of Appeals. For further information, please contact the Board of Appeals at (415) 575-6880, 1660 Mission, Room 3036, San Francisco, CA 94103.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on May 1, 2014.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: May 1, 2014

EXHIBIT A

AUTHORIZATION

This authorization is for a Large Project Authorization to allow for the new construction of a six-story residential building with 259 dwelling units and ground floor commercial space, and a modification to the requirements for rear yard, dwelling unit exposure, off-street loading, horizontal mass reduction and accessory use provisions for dwelling units, located at 1201-1225 Tennessee Street, Lot 022 in Assessor's Block 4172 pursuant to Planning Code Section 329 within the UMU (Urban Mixed-Use) Zoning District, and a 68-X Height and Bulk District; in general conformance with plans, dated February 14, 2014, and stamped "EXHIBIT B" included in the docket for Case No. 2012.0493X and subject to conditions of approval reviewed and approved by the Commission on May 1, 2014 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on May 1, 2014 under Motion No. XXXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Office Development Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Diligent Pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Extension. All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Conformity with Current Law. No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Mitigation Measures. Mitigation measures described in the MMRP for the Eastern Neighborhoods Plan EIR (Case No. 2012.0493E) attached as Exhibit C are necessary to avoid potential significant effects of the proposed project and have been agreed to by the project sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

Final Materials. The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Street Trees. Pursuant to Planning Code Section 138.1 (formerly 143), the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species for every 20 feet of street frontage along public or private streets bounding the Project, with any remaining fraction of 10 feet or more of frontage requiring an extra tree, shall be provided. Therefore, the Project shall provide at least seven street trees along Brannan Street. The street trees shall be evenly spaced along the street frontage except where proposed driveways or other street obstructions do not permit. The exact location, size and species of tree shall be as approved by the Department of Public Works (DPW). In any case in which DPW cannot grant approval for installation of a tree in the public right-of-way, on the basis of inadequate sidewalk width, interference with utilities or other reasons regarding the public welfare, and where installation of such tree on the lot itself is also impractical, the requirements of this Section 428 may be modified or waived by the Zoning Administrator to the extent necessary.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Garbage, Composting and Recycling Storage. Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Rooftop Mechanical Equipment. Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application for each building. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Publicly-Accessible Open Space. Pursuant to Planning Code Section 135(h), the Project shall provide publicly-accessible mid-block alley, as required by Planning Code Section 270.2. This open space shall follow the standards, maintenance and signage requirements specified in Planning Code Section 135(h).

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Streetscape Plan. Pursuant to Planning Code Section 138.1, the Project Sponsor shall continue to work with Planning Department staff, in consultation with other City agencies, to refine the design and programming of the Streetscape Plan so that the plan generally meets the standards of the Better Streets Plan and all applicable City standards. The Project Sponsor shall complete final design of all required street improvements, including procurement of relevant City permits, prior to issuance of first architectural addenda, and shall complete construction of all required street improvements prior to issuance of first temporary certificate of occupancy.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

Unbundled Parking. All off-street parking spaces shall be made available to Project residents only as a separate “add-on” option for purchase or rent and shall not be bundled with any Project dwelling unit for the life of the dwelling units. The required parking spaces may be made available to residents within a quarter mile of the project. All affordable dwelling units pursuant to Planning Code Section 415 shall have equal access to use of the parking as the market rate units, with parking spaces priced commensurate with the affordability of the dwelling unit. Each unit within the Project shall have the first right of refusal to rent or purchase a parking space until the number of residential parking spaces are no longer available. No conditions may be placed on the purchase or rental of dwelling units, nor may homeowner’s rules be established, which prevent or preclude the separation of parking spaces from dwelling units.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parking Maximum. Pursuant to Planning Code Section 151.1, the Project shall provide no more than 147 off-street parking spaces for the 259 dwelling units (or .56 off-street parking spaces for each dwelling unit) contained therein.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Car Share. Pursuant to Planning Code Section 166, no fewer than two (2) car share space shall be made available, at no cost, to a certified car share organization for the purposes of providing car share services for its service subscribers.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Bicycle Parking. Pursuant to Planning Code Sections 155.1, 155.4, and 155.5, the Project shall provide no fewer than **259** Class 1 bicycle parking spaces and **14** Class 2 bicycle parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Managing Traffic During Construction. The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

First Source Hiring. The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org

Eastern Neighborhoods Infrastructure Impact Fee. Pursuant to Planning Code Section 423 (formerly 327), the Project Sponsor shall comply with the Eastern Neighborhoods Public Benefit Fund provisions through payment of an Impact Fee pursuant to Article 4.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING

Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Revocation Due to Violation of Conditions. Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

Garbage, Recycling, and Composting Receptacles. Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>

Sidewalk Maintenance. The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

Noise Control. The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org.

For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-0123, www.sf-police.org

Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Lighting. All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

INCLUSIONARY HOUSING

Eastern Neighborhoods Affordable Housing Requirements for UMU. Pursuant to Planning Code Section 419.3, Project Sponsor shall meet the requirements set forth in Planning Code Section 419.3 in addition to the requirements set forth in the Affordable Housing Program, per Planning Code Section 415. Prior to issuance of first construction document, the Project Sponsor shall select one of the options described in Section 419.3 or the alternatives described in Planning Code Section 419.5 to fulfill the affordable housing requirements and notify the Department of their choice. Any fee required by Section 419.1 et seq. shall be paid to the Development Fee Collection Unit at DBI prior to issuance of the first construction document an option for the project sponsor to defer payment to prior to issuance of the first certificate of occupancy upon agreeing to pay a deferral surcharge in accordance with Section 107A.13.3 of the San Francisco Building Code.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Affordable Units

1. **Number of Required Units.** The Project Sponsor has entered into an agreement with the City to provide rental housing for 30 years under Section 419.5(b) of the Planning Code. The Project Sponsor and the City have entered into such an agreement; therefore the applicable requirements are a 13% inclusionary housing requirement and there is a \$1 reduction of the Eastern Neighborhood Public Benefit Fee. If the Agreement is terminated or the units otherwise sold prior to the expiration of the 30 year period, the inclusionary requirement will return to 16% and the project sponsor and its successor must pay the \$1 per square foot Eastern Neighborhoods Public Benefit Fee. Both requirements would be subject to interest and/or penalties as allowed by law. The Project contains 259 units; therefore the Project Sponsor will fulfill this requirement by providing the 34 affordable units on site. If the number of market rate units change, the number of required affordable units shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development.
2. **Unit Mix.** The Project contains 99 studios, 49 one-bedroom, 105 two-bedroom units and 6 three-bedroom units; therefore, the required BMR unit mix is 13 studio units, 6 one-bedroom units, 14 two-bedroom and 1 three-bedroom units. If the market-rate unit-mix changes, the BMR unit mix will be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development.
3. **Unit Location.** The BMR units shall be designated on a reduced set of plans recorded as a Notice of Special Restrictions on the property prior to the issuance of first construction permit.
4. **Phasing.** If any building permit is issued for partial phasing of the Project, the Project Sponsor shall have designated not less than thirteen percent (13%) of the each phase's total number of dwelling units as on-site BMR units.

5. **Duration.** Under Planning Code Section 415.8, all affordable units, must remain affordable to qualifying households for the life of the project.

6. **Other Conditions.** The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the MOHCD at 1 South Van Ness Avenue or on the Planning Department or Mayor's Office of Housing and Community Development's websites, including on the internet at: <http://sf-planning.org/Modules/ShowDocument.aspx?documentid=4451>. As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available.
 - a. The affordable unit(s) shall be designated on the building plans prior to the issuance of the first construction permit by the Department of Building Inspection ("DBI"). The affordable unit(s) shall (1) reflect the unit size mix in number of bedrooms of the market rate units, (2) be constructed, completed, ready for occupancy and marketed no later than the market rate units, and (3) be evenly distributed throughout the building; and (4) be of comparable overall quality, construction and exterior appearance as the market rate units in the principal project. The interior features in affordable units should be generally the same as those of the market units in the principal project, but need not be the same make, model or type of such item as long they are of good and new quality and are consistent with then-current standards for new housing. Other specific standards for on-site units are outlined in the Procedures Manual.
 - b. If the units in the building are offered for rent, the affordable unit(s) shall be rented to qualifying households, as defined in the Procedures Manual, whose gross annual income, adjusted for household size, does not exceed an average fifty-five (55) percent of Area Median Income under the income table called "Maximum Income by Household Size derived from the Unadjusted Area Median Income for HUD Metro Fair Market Rent Area that contains San Francisco." The initial and subsequent rent level of such units shall be calculated according to the Procedures Manual. Limitations on (i) occupancy; (ii) lease changes; (iii) subleasing, and; are set forth in the Inclusionary Affordable Housing Program and the Procedures Manual.
 - c. If the units in the building are offered for sale, the affordable unit(s) shall be sold to first time home buyer households, as defined in the Procedures Manual, whose gross annual income, adjusted for household size, does not exceed an average of ninety (90) percent of Area Median Income under the income table called "Maximum Income by Household Size

- derived from the Unadjusted Area Median Income for HUD Metro Fair Market Rent Area that contains San Francisco.” The initial sales price of such units shall be calculated according to the Procedures Manual. Limitations on (i) reselling; (ii) renting; (iii) recouping capital improvements; (iv) refinancing; and (v) procedures for inheritance apply and are set forth in the Inclusionary Affordable Housing Program and the Procedures Manual.
- d. The Project Sponsor is responsible for following the marketing, reporting, and monitoring requirements and procedures as set forth in the Procedures Manual. MOHCD shall be responsible for overseeing and monitoring the marketing of affordable units. The Project Sponsor must contact MOHCD at least six months prior to the beginning of marketing for any unit in the building.
 - e. Required parking spaces shall be made available to initial buyers or renters of affordable units according to the Procedures Manual.
 - f. Prior to the issuance of the first construction permit by DBI for the Project, the Project Sponsor shall record a Notice of Special Restriction on the property that contains these conditions of approval and a reduced set of plans that identify the affordable units satisfying the requirements of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOHCD or its successor.
 - g. The Project Sponsor has demonstrated that it is eligible for the On-site Affordable Housing Alternative under Planning Code Section 415.6 instead of payment of the Affordable Housing Fee, and has submitted the Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415 to the Planning Department stating that any affordable units designated as on-site units shall be rental units for a minimum of 30 years pursuant to requirements in Planning Code Section 419.5(b).
 - h. If the Project Sponsor fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor’s failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all available remedies at law.
 - i. If the Project becomes ineligible at any time for the On-site Affordable Housing Alternative, the Project Sponsor or its successor shall pay the Affordable Housing Fee prior to issuance of the first construction permit or may seek a fee deferral as permitted under Ordinances 0107-10 and 0108-10. If the Project becomes ineligible after issuance of its first construction permit, the Project Sponsor shall notify the Department and MOH and pay interest on the Affordable Housing Fee and penalties, if applicable.

EXHIBIT B

EXHIBIT C

MITIGATION MONITORING AND REPORTING PROGRAM (INCLUDES IMPROVEMENT MEASURES)

ATTACHMENT D: MITIGATION MONITORING AND REPORTING PROGRAM (Includes Text for Adopted Mitigation Measures)					
<i>Adopted Mitigation Measures</i>	<i>Responsibility for Implementation</i>	<i>Mitigation Schedule</i>	<i>Mitigation Action</i>	<i>Monitoring/Reporting Responsibility</i>	<i>Monitoring Schedule</i>
MITIGATION MEASURES AGREED TO BY PROJECT SPONSOR					
Cultural Resources					
<p>Project Mitigation Measure M-CR-1 (Mitigation Measure J-2 of the Eastern Neighborhoods FEIR). Based on a reasonable presumption that archeological resources may be present within the project site, the following measures shall be undertaken to avoid any potentially significant adverse effect from the proposed project on buried or submerged historical resources. Prior to the issuance of construction permits, the project sponsor shall retain the services of an archeological consultant from the pool of qualified archeological consultants maintained by the Planning Department archaeologist. The archeological consultant shall undertake an archeological testing program as specified herein. In addition, the consultant shall be available to conduct an archeological monitoring and/or data recovery program if required pursuant to this measure. The archeological consultant's work shall be conducted in accordance with this measure at the direction of the Environmental Review Officer (ERO). All plans and reports prepared by the consultant as specified herein shall be considered draft reports subject to revision until final approval by the ERO. Archaeological monitoring and/or data recovery programs required by this measure could suspend construction of the project for up to a maximum of four weeks. At the direction of the ERO, the suspension of construction can be extended beyond four weeks only if such a suspension is the only feasible means to reduce potential effects on a significant archeological resource as defined in CEQA Guidelines Section 150664.5(a)(c) to less than significant.</p> <p><i>Consultation with Descendant Communities.</i> On discovery of an archeological site associated with descendant Native Americans or the Overseas Chinese, an appropriate representative of the descendant group and the ERO shall be contacted. The representative of the descendant group shall be given the opportunity to monitor archeological field investigations of the site, of recovered data from the site, and, if applicable, any interpretative treatment of the associated archeological site. A copy of the Final Archaeological Resources Report shall be provided to the representatives of</p>	<p>Project sponsor; Planning Department archeologist or qualified archeological consultant; Environmental Review Officer (ERO)</p>	<p>Prior to issuance of any permit for soil-disturbing activities</p>	<p>Project sponsor; archeologist; ERO</p>	<p>Considered complete upon Department archeologist's and/or ERO's approval of FARR or other documentation</p>	<p>Project sponsor; Planning Department archeologist or qualified archeological consultant; ERO</p>

ATTACHMENT D: MITIGATION MONITORING AND REPORTING PROGRAM (Includes Text for Adopted Mitigation Measures)					
<i>Adopted Mitigation Measures</i>	<i>Responsibility for Implementation</i>	<i>Mitigation Schedule</i>	<i>Mitigation Action</i>	<i>Monitoring/Reporting Responsibility</i>	<i>Monitoring Schedule</i>
<p>the descendant group.</p> <p><i>Archaeological Testing Program.</i> The archeological consultant shall prepare and submit to the ERO for review and approval an archeological testing plan (ATP). The archeological testing program shall be conducted in accordance with the approved ATP. The ATP shall identify the property types of the expected archeological resource(s) that potentially could be adversely affected by the proposed project, the testing method to be used, and the locations recommended for testing. The purpose of the archeological testing program will be to determine to the extent possible the presence or absence of archeological resources and to identify and to evaluate whether any archeological resource encountered on the site constitutes an historical resource under CEQA.</p> <p>At the completion of the archeological testing program, the archeological consultant shall submit a written report of the findings to the ERO. If based on the archeological testing program the archeological consultant finds that significant archeological resources may be present, the ERO in consultation with the archeological consultant shall determine if additional measures are warranted. Additional measures that may be undertaken include additional archeological testing, archeological monitoring, and/or an archeological data recovery program. If the ERO determines that a significant archeological resource is present and that the resource could be adversely affected by the proposed project, at the discretion of the project sponsor either:</p> <p>(a) The proposed project shall be re-designed so as to avoid any adverse effect to the significant archeological resource; or</p> <p>(b) A data recovery program shall be implemented, unless the ERO determines that the archeological resource is of greater interpretive than research significance and that interpretive use of the resource is feasible.</p> <p><i>Archaeological Monitoring Program.</i> If the ERO in consultation with the archeological consultant determines that an archeological monitoring program shall be implemented the archeological monitoring program shall minimally include the following provisions:</p> <p>(a) The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the AMP reasonably prior to any project-related soils disturbing activities commencing.</p> <p>(b) The ERO in consultation with the archeological consultant shall determine what project activities shall be archeologically monitored. In most cases, any soils-</p>					

ATTACHMENT D: MITIGATION MONITORING AND REPORTING PROGRAM (Includes Text for Adopted Mitigation Measures)					
<i>Adopted Mitigation Measures</i>	<i>Responsibility for Implementation</i>	<i>Mitigation Schedule</i>	<i>Mitigation Action</i>	<i>Monitoring/Reporting Responsibility</i>	<i>Monitoring Schedule</i>
<p>disturbing activities, such as demolition, foundation removal, excavation, grading, utilities installation, foundation work, driving of piles (foundation, shoring, etc.), site remediation, etc., shall require archeological monitoring because of the risk these activities pose to potential archeological resources and to their depositional context.</p> <p>(c) The archeological consultant shall advise all project contractors to be on the alert for evidence of the presence of the expected resource(s), of how to identify the evidence of the expected resource(s), and of the appropriate protocol in the event of apparent discovery of an archeological resource.</p> <p>(d) The archeological monitor(s) shall be present on the project site according to a schedule agreed upon by the archeological consultant and the ERO until the ERO has, in consultation with project archeological consultant, determined that project construction activities could have no effects on significant archeological deposits.</p> <p>(e) The archeological monitor shall record and be authorized to collect soil samples and artifactual/ecofactual material as warranted for analysis.</p> <p>(f) If an intact archeological deposit is encountered, all soils-disturbing activities in the vicinity of the deposit shall cease. The archeological monitor shall be empowered to temporarily redirect demolition/excavation/pile driving/construction activities and equipment until the deposit is evaluated. If in the case of pile driving activity (foundation, shoring, etc.), the archeological monitor has cause to believe that the pile driving activity may affect an archeological resource, the pile driving activity shall be terminated until an appropriate evaluation of the resource has been made in consultation with the ERO. The archeological consultant shall immediately notify the ERO of the encountered archeological deposit. The archeological consultant shall make a reasonable effort to assess the identity, integrity, and significance of the encountered archeological deposit, and present the findings of this assessment to the ERO.</p> <p>Whether or not significant archeological resources are encountered, the archeological consultant shall submit a written report of the findings of the monitoring program to the ERO.</p> <p><i>Archaeological Data Recovery Program.</i> The archeological data recovery program shall be conducted in accord with an archeological data recovery plan (ADRP). The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the ADRP prior to preparation of a draft ADRP. The archeological consultant</p>					

ATTACHMENT D: MITIGATION MONITORING AND REPORTING PROGRAM (Includes Text for Adopted Mitigation Measures)					
<i>Adopted Mitigation Measures</i>	<i>Responsibility for Implementation</i>	<i>Mitigation Schedule</i>	<i>Mitigation Action</i>	<i>Monitoring/Reporting Responsibility</i>	<i>Monitoring Schedule</i>
<p>shall submit a draft ADRP to the ERO. The ADRP shall identify how the proposed data recovery program will preserve the significant information the archeological resource is expected to contain. That is, the ADRP will identify what scientific/historical research questions are applicable to the expected resource, what data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. Data recovery, in general, should be limited to the portions of the historical property that could be adversely affected by the proposed project. Destructive data recovery methods shall not be applied to portions of the archeological resources if nondestructive methods are practical.</p> <p>The scope of the ADRP shall include the following elements:</p> <ul style="list-style-type: none"> (a) Field Methods and Procedures. Descriptions of proposed field strategies, procedures, and operations. (b) Cataloguing and Laboratory Analysis. Description of selected cataloguing system and artifact analysis procedures. (c) Discard and Deaccession Policy. Description of and rationale for field and post-field discard and deaccession policies. (d) Interpretive Program. Consideration of an on-site/off-site public interpretive program during the course of the archeological data recovery program. (e) Security Measures. Recommended security measures to protect the archeological resource from vandalism, looting, and non-intentionally damaging activities. (f) Final Report. Description of proposed report format and distribution of results. (g) Curation. Description of the procedures and recommendations for the curation of any recovered data having potential research value, identification of appropriate curation facilities, and a summary of the accession policies of the curation facilities. <p><i>Human Remains and Associated or Unassociated Funerary Objects.</i> The treatment of human remains and of associated or unassociated funerary objects discovered during any soils disturbing activity shall comply with applicable State and Federal laws. This shall include immediate notification of the Coroner of the City and County of San Francisco and in the event of the Coroner's determination that the human remains are Native American remains, notification of the California State Native American Heritage Commission (NAHC) who shall appoint a Most Likely Descendant (MLD) (Pub. Res. Code Sec. 5097.98). The archeological consultant, project sponsor, and MLD shall</p>					

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<p>make all reasonable efforts to develop an agreement for the treatment of, with appropriate dignity, human remains and associated or unassociated funerary objects (CEQA Guidelines Section 15064.5(d)). The agreement should take into consideration the appropriate excavation, removal, recordation, analysis, custodianship, curation, and final disposition of the human remains and associated or unassociated funerary objects.</p> <p><i>Final Archaeological Resources Report.</i> The archeological consultant shall submit a Draft Final Archaeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describes the archeological and historical research methods employed in the archeological testing/monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.</p> <p>Once approved by the ERO, copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Environmental Planning division of the Planning Department shall receive one bound, one unbound and one unlocked, searchable PDF copy on CD of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest in or the high interpretive value of the resource, the ERO may require a different final report content, format, and distribution than that presented above. <i>Human Remains and Associated or Unassociated Funerary Objects.</i> The treatment of human remains and of associated or unassociated funerary objects discovered during any soils disturbing activity shall comply with applicable State and Federal laws. This shall include immediate notification of the Coroner of the City and County of San Francisco and in the event of the Coroner's determination that the human remains are Native American remains, notification of the California State Native American Heritage Commission (NAHC) who shall appoint a Most Likely Descendant (MLD) (Pub. Res. Code Sec. 5097.98). The archeological consultant, project sponsor, and MLD shall make all reasonable efforts to develop an agreement for the treatment of, with appropriate dignity, human remains and associated or unassociated funerary objects (CEQA Guidelines Section 15064.5(d)). The agreement should take into consideration the appropriate excavation, removal, recordation, analysis, custodianship, curation,</p>					

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and final disposition of the human remains and associated or unassociated funerary objects.					
Noise					
Project Mitigation Measure M-NO-1 — Construction Noise (Mitigation Measure F-1 from the Eastern Neighborhoods FEIR). For subsequent development projects within proximity to noise-sensitive uses that would include pile-driving, individual project sponsors shall ensure that piles be pre-drilled wherever feasible to reduce construction-related noise and vibration. No impact pile drivers shall be used unless absolutely necessary. Contractors would be required to use pile-driving equipment with state-of-the-art noise shielding and muffling devices. To reduce noise and vibration impacts, sonic or vibratory sheetpile drivers, rather than impact drivers, shall be used wherever sheetpiles are needed. Individual project sponsors shall also require that contractors schedule pile-driving activity for times of the day that would minimize disturbance to neighbors.	Project sponsor and contractor	During subsurface construction	Project contractor to predrill holes for pile driving, use noise shielding and muffling devices during pile driving, and schedule pile driving activity consistent with the Noise Ordinance	Department of Public Works to monitor project contractor compliance	Considered complete after construction activities have ended

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<p>Project Mitigation Measure M-NO-2 — Construction Noise (Mitigation Measure F-2 from the Eastern Neighborhoods FEIR). Where environmental review of a development project undertaken subsequent to the adoption of the proposed zoning controls determines that construction noise controls are necessary due to the nature of planned construction practices and the sensitivity of proximate uses, the Planning Director shall require that the sponsors of the subsequent development project develop a set of site-specific noise attenuation measures under the supervision of a qualified acoustical consultant. Prior to commencing construction, a plan for such measures shall be submitted to the Department of Building Inspection to ensure that maximum feasible noise attenuation will be achieved. These attenuation measures shall include as many of the following control strategies as feasible:</p> <ul style="list-style-type: none"> ■ Erect temporary plywood noise barriers around a construction site, particularly where a site adjoins noise-sensitive uses ■ Utilize noise control blankets on a building structure as the building is erected to reduce noise emission from the site ■ Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings housing sensitive uses ■ Monitor the effectiveness of noise attenuation measures by taking noise measurements ■ Post signs on-site pertaining to permitted construction days and hours and complaint procedures and who to notify in the event of a problem, with telephone numbers listed 	Project sponsor; project contractor(s)	Prior to issuance of a building permit	Design measures incorporated into project design	Planning Department; Department of Building Inspection	Considered complete upon approval of final construction drawing set
<p>Project Mitigation Measure M-NO-3 — Siting of Noise-Sensitive Uses (Mitigation Measure F-4 from the Eastern Neighborhoods FEIR). To reduce potential conflicts between existing noise-generating uses and new sensitive receptors, prior to issuance of grading permits, the project sponsor shall demonstrate to the lead agency that the proposed project complies with Title 24 standards.</p>	Project sponsor; project contractor(s)	Prior to issuance of a building permit	Design measures to be incorporated into project design	Planning Department; Department of Building Inspection	Considered complete upon approval of final construction drawing set

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<p>Project Mitigation Measure M-NO-4 — Open Space in Noisy Environments (Mitigation Measure F-6 from the Eastern Neighborhoods FEIR). Prior to issuance of building permits, the project sponsor shall demonstrate to the lead agency that that open space required under the Planning Code for such uses will be protected, to the maximum feasible extent, from existing ambient noise levels that could prove annoying or disruptive to users of the open space. Implementation of this measure could involve, among other things, site design that uses the building itself to shield on-site open space from the greatest noise sources, construction of noise barriers between noise sources and open space, and appropriate use of both common and private open space in multi-family dwellings, and implementation would also be undertaken consistent with other principles of urban design.</p>	<p>Project sponsor; project contractor(s)</p>	<p>Prior to issuance of a building permit</p>	<p>Design measures to be incorporated into project design</p>	<p>Planning Department; Department of Building Inspection</p>	<p>Considered complete upon approval of final construction drawing set</p>

**ATTACHMENT D:
MITIGATION MONITORING AND REPORTING PROGRAM
(Includes Text for Adopted Mitigation Measures)**

<i>Adopted Mitigation Measures</i>	<i>Responsibility for Implementation</i>	<i>Mitigation Schedule</i>	<i>Mitigation Action</i>	<i>Monitoring/Reporting Responsibility</i>	<i>Monitoring Schedule</i>
.Air Quality					
<p>Project Mitigation Measure M-AQ-1 – Construction Emissions Minimization (Mitigation Measure G-1 of the Eastern Neighborhoods FEIR). The project sponsor shall maintain and operate construction equipment so as to minimize exhaust emissions of particulates and other pollutants, by such means as a prohibition on idling motors when equipment is not in use or when trucks are waiting in queues, and implementation of specific maintenance programs to reduce emissions for equipment that would be in frequent use for much of the construction period. The project sponsor shall also implement a basic dust control program that shall include, but not necessarily be limited to, the following:</p> <ul style="list-style-type: none"> ■ Water all active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. ■ Reclaimed water should be used whenever possible. ■ Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer). ■ Pave, apply water (reclaimed if possible) three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites. ■ Sweep streets (with water sweepers using reclaimed water if possible) at the end of each day if visible soil material is carried onto adjacent paved roads. ■ Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site. ■ Install windbreaks, or plant tree/vegetative wind breaks at windward side(s) of construction areas. ■ Suspend excavation and grading activity when winds (instantaneous gusts) exceed 25 mph. 	Project sponsor; project contractor(s)	Prior to issuance of a permit specified in <i>San Francisco Municipal Code</i> Section 106A.3.2.6	Submittal of construction documents	Project sponsor/contractor(s) and the ERO	Considered complete upon findings by ERO that plan is complete

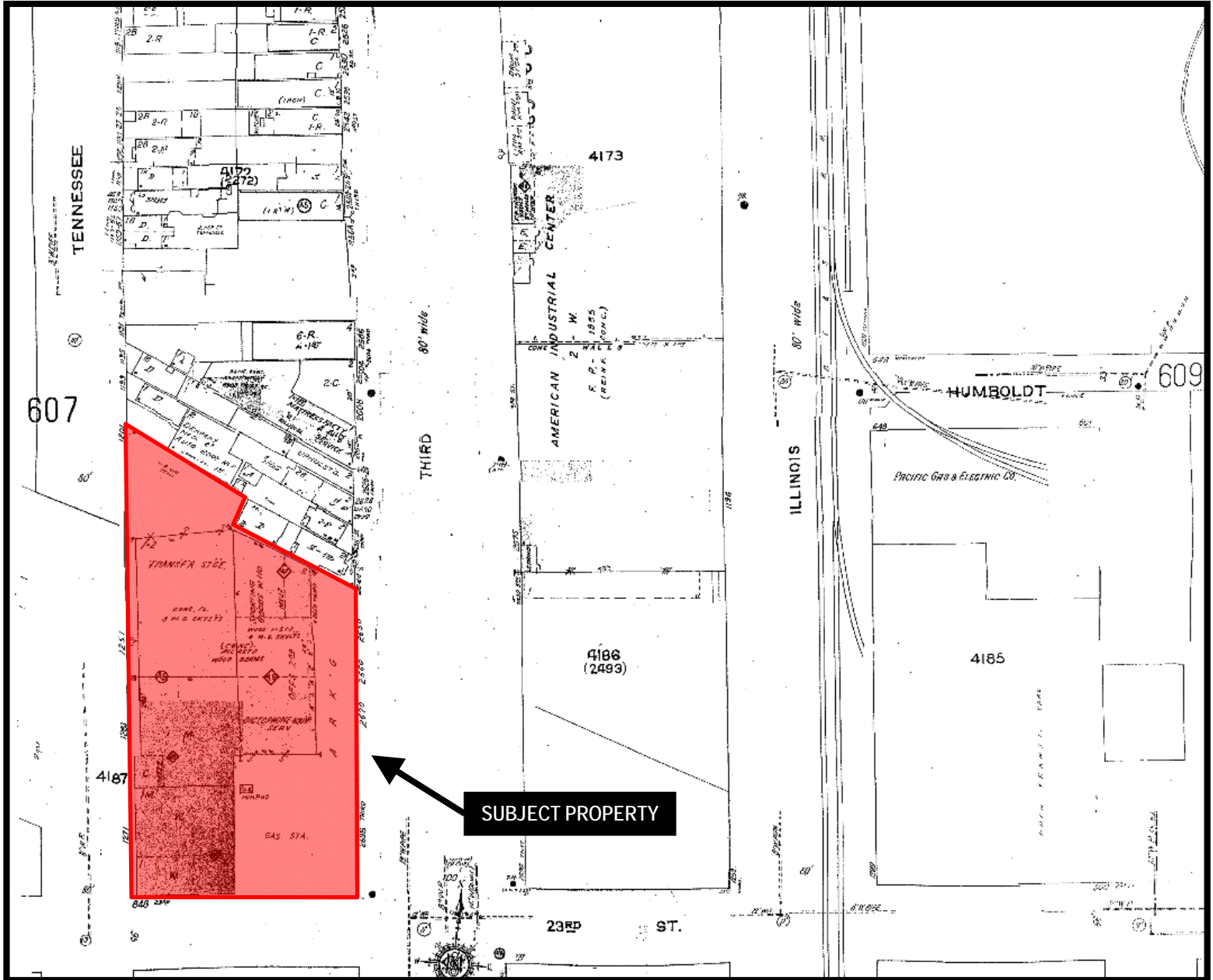
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Hazards/Hazardous Materials					
Project Mitigation Measure M-HZ-1 — Hazardous Building Materials (Mitigation Measure K-1 of the Eastern Neighborhoods FEIR). The City shall condition future development approvals to require that the subsequent project sponsors ensure that any equipment containing PCBs or DEPH, such as fluorescent light ballasts, are removed and properly disposed of according to applicable federal, state, and local laws prior to the start of renovation, and that any fluorescent light tubes, which could contain mercury, are similarly removed and properly disposed of. Any other hazardous materials identified, either before or during work, shall be abated according to applicable federal, state, and local laws.	Project Sponsor	Prior to issuance of building permits	Approval of demolition schedule and any required remediation	ERO	Considered complete upon approval of demolition plans

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MITIGATION MONITORING AND REPORTING PROGRAM
(Includes Text for Adopted Improvement Measures)**

<i>Adopted Improvement Measures</i>	<i>Responsibility for Implementation</i>	<i>Mitigation Schedule</i>	<i>Mitigation Action</i>	<i>Monitoring/Reporting Responsibility</i>	<i>Monitoring Schedule</i>
IMPROVEMENT MEASURES AGREED TO BY PROJECT SPONSOR					
Transportation/Traffic					
Improvement Measure I-TR-1: Queue Abatement. As an improvement measure to minimize the vehicle queues at the proposed project driveway into the public right-of-way, the proposed project would be subject to the Planning Department's vehicle queue abatement Conditions of Approval.	Project Sponsor	Prior to issuance of construction permits	Submittal of queue abatement plan	SFMTA; ERO	Considered completed upon approval of queue abatement provisions
Improvement Measure I-TR-2: Street Sweeping Requirements. The proposed streetscape plan includes tree wells that extend into the parking lane. As an improvement measure to ensure the parking spaces between tree wells are regularly cleaned, an agreement shall be made with the building management to take on responsibility for the regular cleaning of any pockets created by the tree wells which cannot be cleaned by DPW street cleaning equipment.	Project Sponsor	Prior to issuance of construction permits	Submittal of agreement to clean parking spaces between tree wells	ERO	Considered completed upon approval of agreement
Improvement Measure I-TR-3: Bicycle Parking Requirements. The project sponsor shall coordinate with SFMTA on the following changes to the proposed project: incorporate Class 2 bicycle parking spaces into the proposed streetscape plan in a publicly-accessible and highly visible location; develop signage that directs users to the Class 2 bicycle parking spaces in the parking garage and the bicycle maintenance station in the northwest corner of the site. Signage shall be included in all bicycle parking areas with information about the bicycle maintenance station.	Project Sponsor	Plan check	Submittal of project plans	SFMTA	Considered complete upon approval of project plans
Improvement Measure I-TR-4: On-Site Loading Spaces. The project sponsor is currently applying for a Planning Code exemption through the SFMTA to allow loading to occur at the designated off-site. If the exception is not approved, the Project Sponsor shall revise the site plan to include one on-site loading space.	Project Sponsor	Plan check	Application for Planning Code exemption; revision of site plan if required	SFMTA	Considered complete upon final approval of project site plans

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<p>Improvement Measure I-TR-5: Construction Management.</p> <p>Traffic Control Plan for Construction – As an improvement measure to reduce potential conflicts between construction activities and pedestrians, transit and autos at the project site, the contractor shall add certain measures to the required traffic control plan for Project construction. In addition to the requirements for a construction traffic control/management plan, the project shall include the following measures.</p> <p>Non-peak Construction Traffic Hours – In addition, to minimize the construction-related disruption of the general traffic flow on adjacent streets during the AM and PM peak periods, truck movements and deliveries should be limited during peak hours (generally 7:00 to 9:00 a.m. and 4:00 to 6:00 p.m., or other times, as determined by SFMTA and its Transportation Advisory Staff Committee [TASC]).</p> <p>Carpool and Transit Access for Construction Workers – To minimize parking demand and vehicle trips associated with construction workers, the construction contractor shall include methods to encourage carpooling and transit access to the project site by construction workers in the Construction Management Plan.</p> <p>Project Construction Updates for Adjacent Businesses and Residents – To minimize construction impacts on access for nearby institutions and businesses, the project Sponsor shall provide nearby residences and adjacent businesses with regularly-updated information regarding Project construction, including a Project construction contact person, construction activities, duration, peak construction activities (e.g., concrete pours), travel lane closures, and lane closures.</p>	Project Sponsor	Plan check	Submittal of construction management plan	SFMTA; ERO	Considered complete upon approval of construction management plan

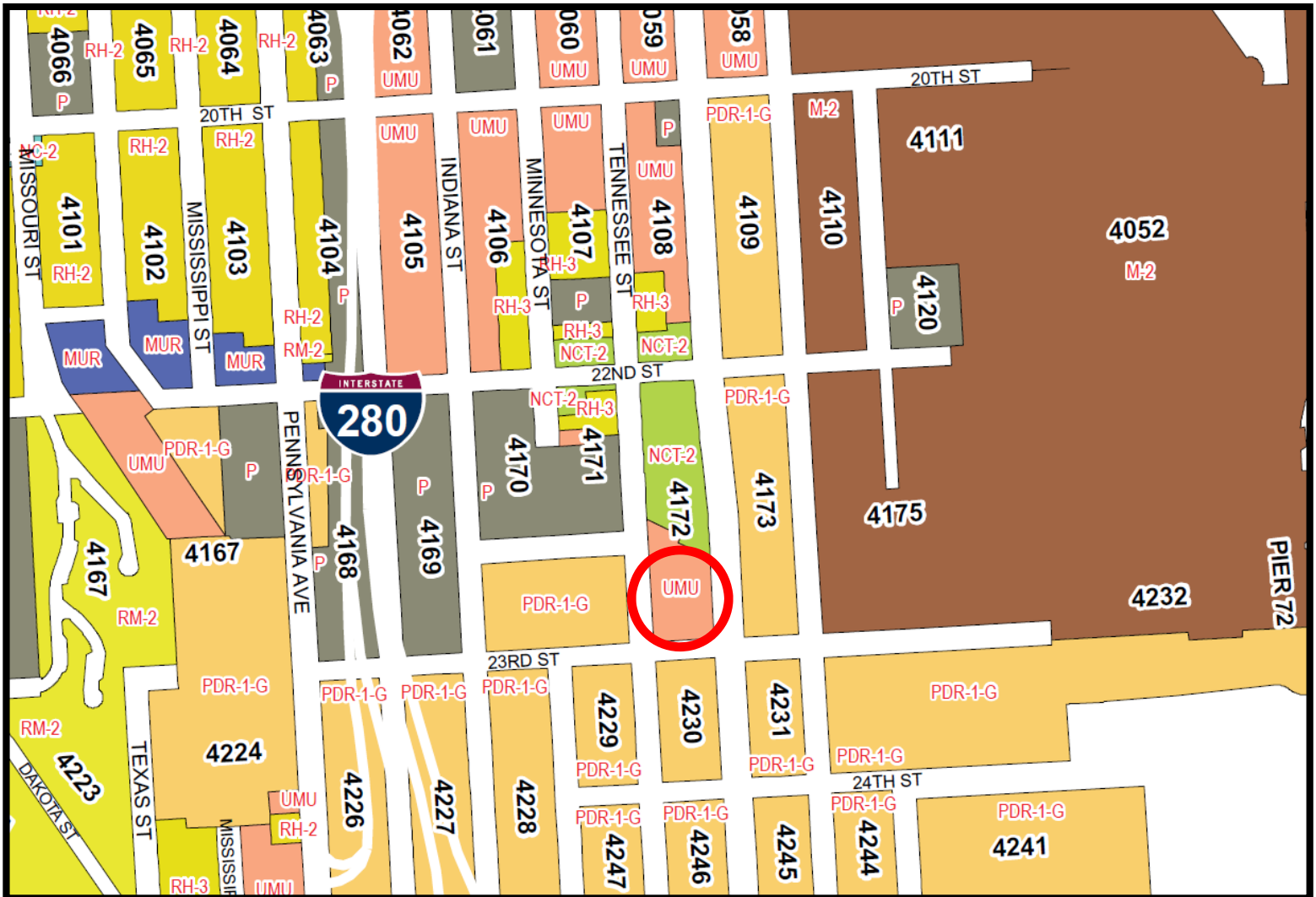
Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

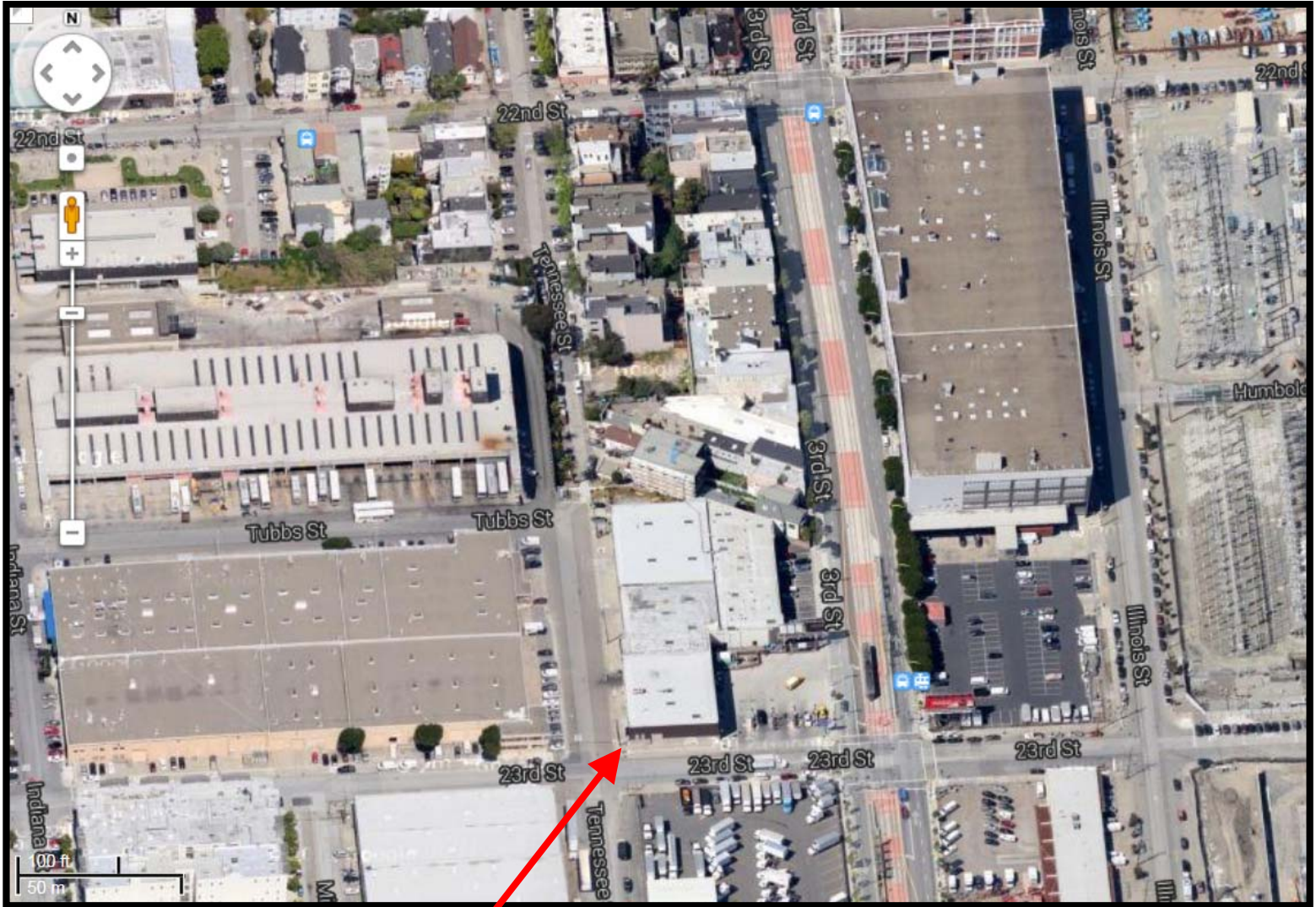


Zoning Map



Large Project Authorization Hearing
Case Number 2012.0493X
1201-1225 Tennessee Street

Aerial Photo



PROJECT SITE



Large Project Authorization Hearing
Case Number 2012.0493X
1201-1225 Tennessee Street

Site Photo



1201-1225 Tennessee Street, View down Tennessee Street & Adjacent Property

Large Project Authorization Hearing
Case Number 2012.0493X
1201-1225 Tennessee Street

Site Photo



1201-1225 Tennessee Street, View along Tennessee Street

Large Project Authorization Hearing
Case Number 2012.0493X
1201-1225 Tennessee Street

Site Photo



1201-1225 Tennessee Street, View of 23rd and Tennessee Street

Large Project Authorization Hearing
Case Number 2012.0493X
1201-1225 Tennessee Street

Site Photo



1201-1225 Tennessee Street, View of 23rd and 3rd Streets

Large Project Authorization Hearing
Case Number 2012.0493X
1201-1225 Tennessee Street

Site Photo



1201-1225 Tennessee Street, View along 3rd Street

Large Project Authorization Hearing
Case Number 2012.0493X
1201-1225 Tennessee Street

Site Photo



1201-1225 Tennessee Street, View along 3rd Street and Adjacent Property

Large Project Authorization Hearing
Case Number 2012.0493X
1201-1225 Tennessee Street

1201 TENNESSEE STREET MIXED-USED SAN FRANCISCO, CA

LARGE PROJECT AUTHORIZATION IN EASTERN NEIGHBORHOODS, SAN FRANCISCO PLANNING DEPARTMENT
 FEBRUARY 14, 2014

1201 Tennessee

1201 TENNESSEE ST
 SAN FRANCISCO, CA 94107

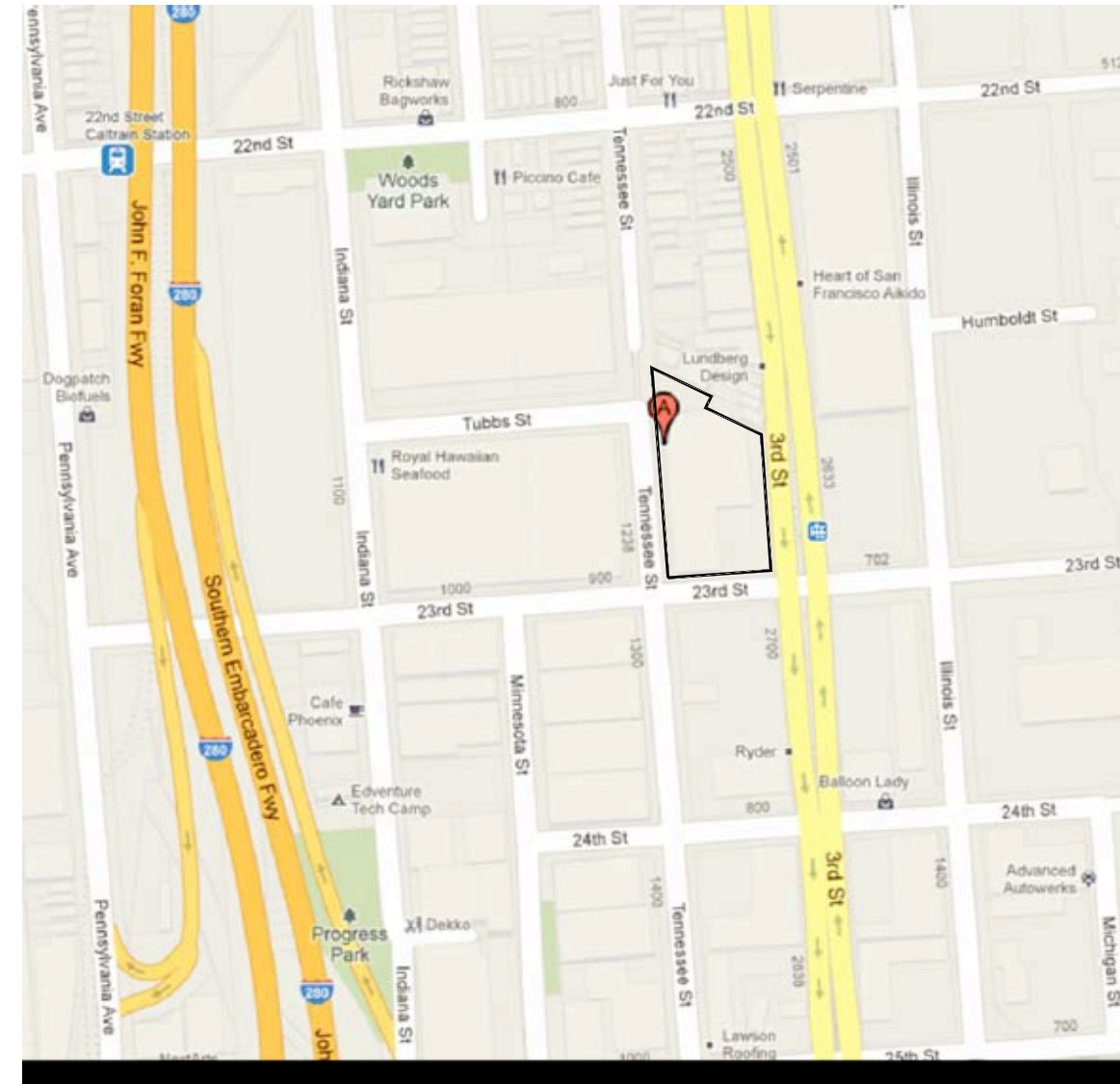
client: Jesse Herzog
 Avant Housing, LLC
 100 Bush Street, Floor 22
 San Francisco, CA 94104
 p. 415.474.2800

architect of record: Kenny Knox
 Devcon Construction, Inc.
 690 Gibraltar Drive
 Milpitas, CA 95035
 p. 408.942.8200

consultants: Civil Engineer:
 Landscape Architect:
 Fletcher Studio
 2339 3rd St, suite 48R, floor 3R
 San Francisco 94107
 p. 415.431.7878
 f. 415.814.2909

Structural Engineer:
 MEP Engineer:
 Code Consultant:

vicinity map



planning data

ZONING: EASTERN NEIGHBORHOODS, URBAN MIXED USE DISTRICT
 PLANNING DISTRICT: 8
 BLOCK: 4172, LOT 22
 PARCEL AREA: 64,638 SF (1.48 ACRES)
 OPEN SPACE REQUIRED: SEE AREA SUMMARY BELOW
 PROPOSED DWELLING UNIT (D.U.) COUNT: 259
 PROPOSED BLDG. HT.: 68 FT.
 PROPOSED PARKING SPACES: STALLS AT VEHICLE PARKING LIFTS (SEE A2.01): 141
 ACCESSIBLE SPACES: 6
 TOTAL SPACES PROVIDED: 147
 (249 UNITS @ .75:1 = 194 MAX. ALLOWED PER SEC. 151.1)
 PROPOSED SERVICE SPACES: 1
 PROPOSED BICYCLE SPACES: 259 CLASS 1 SPACES (MIN. 140 PER SEC 155.2)
 PROPOSED CAR SHARE SPACES: 2
 PROPOSED DEMOLITION: SURFACE PARKING & 2-STORY BUILDING ON 3RD STREET
 1-STORY BUILDING ON TENNESSEE STREET

drawing index

G0.00 COVER SHEET
 G0.01 EXISTING SITE PHOTOGRAPHS
 G0.02 SITE HISTORY AND ANALYSIS
 G0.03 3D RENDERINGS
 G0.04 3D RENDERINGS
 G0.05 3D RENDERINGS
 G1.01 PLANNING DIAGRAMS - OPEN SPACE & REAR YARD
 G1.02 PLANNING DIAGRAMS - HEIGHT & MASS REDUCTION
 G1.03 PLANNING DIAGRAMS - EXPOSURE
 G1.04 PLANNING DIAGRAMS - GROUND FLOOR RESIDENTIAL
 Y0.01 TOPOGRAPHIC SURVEY
 A1.01 SITE PLAN
 A2.01 GROUND FLOOR PARKING & LOADING PLAN
 A2.01b GROUND FLOOR MEZZANINE PLAN
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 A2.03 THIRD STORY FLOOR PLAN
 A2.04 FOURTH STORY FLOOR PLAN
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 A2.07 ROOF PLAN
 A3.01 EXTERIOR ELEVATIONS
 A3.02 EXTERIOR ELEVATIONS
 A3.03 COURTYARD BUILDING ELEVATIONS
 A3.04 COURTYARD BUILDING ELEVATIONS
 A5.01 ENLARGED BUILDING ELEVATIONS
 L1.01 STREETScape SITE PLAN
 L1.02 MBP ENLARGEMENT PLAN
 L1.03 LANDSCAPE ON STRUCTURE DD
 L1.04 BETTER STREET PLAN ELEMENTS

area summary and unit count

story:	parking:	retail:	3br+:	3br:	2br+:	2br flex:	2br townhome:	2br:	SUBTOTAL ALL 2br & 3br	1br+:	1br:	.5 br:	0br:	subtotal quantity / story:
1	22450	2300	1	0	3	8	14	13	22	1	10	7	10	22
2			0	0	4			16	20	2	7	10	10	45
3			0	0	4			16	20	2	7	10	10	49
4			0	0	4			14	18	2	7	10	12	49
5			0	5	3			6	14	2	9	9	11	45
6														
roof														
subtotal type:	22450	2300	1	5	18	8	14	65	110	9	40	46	53	259
			0.4%	1.9%	6.9%	3.1%	5.4%	25.1%	42.5%	3.5%	15.4%	17.8%	20.5%	(total unit count)

(Min. 40% per Planning)

no:	date:	issue:
	03.07.13	100% concept design
	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

cover sheet

G0.00

scale: N/A

project name: 1201 Tennessee
 project number: 20126

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consultants: Civil Engineer:
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Structural Engineer:

MEP Engineer:

Code Consultant:



view of site from 3rd street



view of site from tennessee street



view of site from 23rd street

no:	date:	issue:
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Note: Subject to changes during construction drawings and building permit review.

site photographs

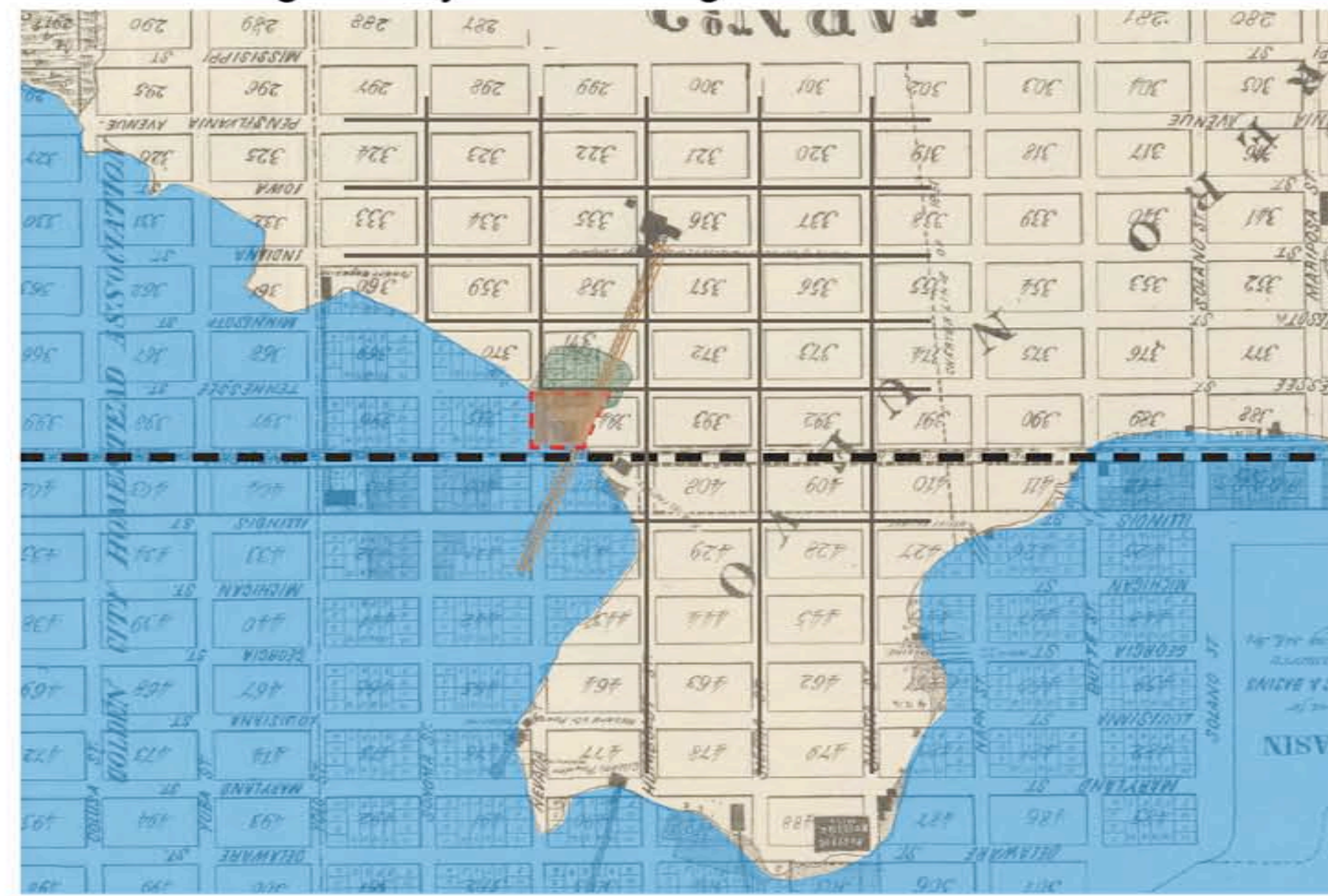
existing site photographs

G0.01

scale:

project name: 1201 Tennessee
project number: 20126

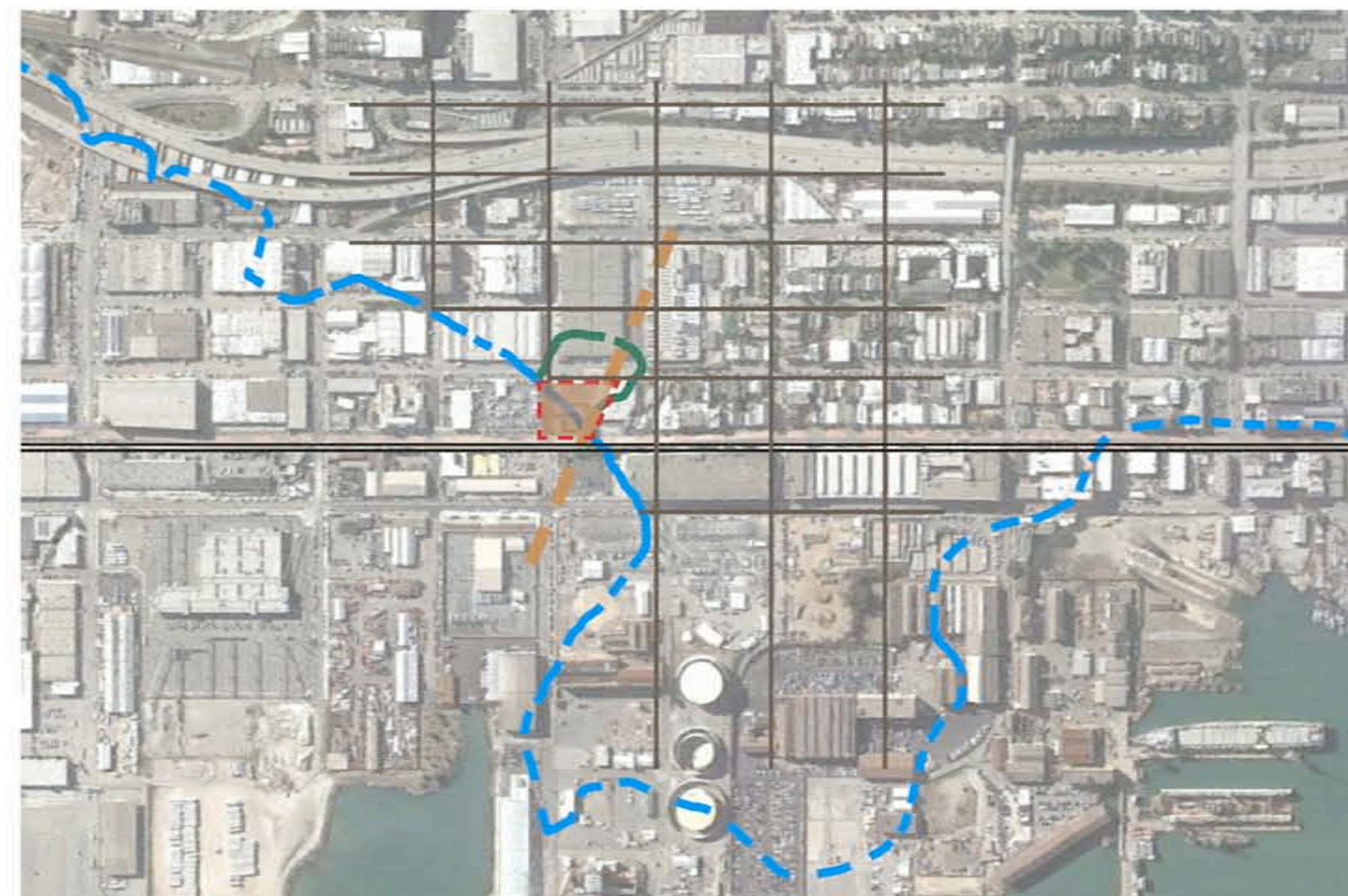
Site Planning History and Strategies



1869 Tidelands Auction Map



1889 U.S. Coastal Survey Map



2012 Google Satellite Map

WET

- water
- industry
- wood
- steel
- metal
- piers
- circular
- larger scale

MIX

- marsh
- shoreline
- transitional
- mixed-use
- metal
- plaster
- tide

DRY

- land
- residential
- finer scale
- wood
- stone
- sidewalks
- community
- houses

GREEN

FOUGERON

ARCHITECTURE

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Structural Engineer:
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1201 Tennessee Street Project Approach to Neighboring Historic District

Located at the south-eastern most corner of the Dogpatch Historic District, the 1201 Tennessee project bridges the gap between small scale residential historic buildings to the north and large warehouse scaled buildings to the south and west. To address these two building types, 1205 Tennessee is first articulated as three separate but related buildings, each aiming to respectfully represent the significant elements of Dogpatch history: American industry, and housing for its workers. The round-ended building along 3rd street, emblematic of the site, employs industrial shape and materiality through the use of faceted perforated metal panels. Turning the corner to the 23rd street building, the metal panel material turns on its end as a reinterpretation of the bay-window. The Tennessee street building further reduces its scale as it approaches its more residential neighbors by stepping down, stepping back, and softening the overall material palette. Further, the overall site-strategy allows for greater than required mass reductions along a generous mid-block alley, which buffers the residential neighborhood and shortens the overall block length.

no:	date:	issue:
	03.07.13	100% concept design
	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

concept diagrams

G0.02

scale:
project name: 1201 Tennessee
project number: 20126

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1201 Tennessee

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2339 3rd St, suite 48R, floor 3R
San Francisco 94107
p: 415.431.7878
f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



02 view from 3rd street



01 view of lobby on 3rd street

no:	date:	issue:
	03.07.13	100% concept design
	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

3d renderings

G0.03

scale:

project name: 1201 Tennessee
project number: 20126

Fougeron Architecture
140 Geary St. 8th Floor
San Francisco, CA 94108
p: 415.641.5744
f: 415.282.6434

1201 Tennessee

1201 TENNESSEE ST
SAN FRANCISCO, CA 94107

client: Jesse Herzog
Avant Housing, LLC
100 Bush Street, Floor 22
San Francisco, CA 94104
p. 415.474.2800

architect of record: Kenny Knox
Devcon Construction, Inc.
690 Gibraltar Drive
Milpitas, CA 95035
p. 408.942.8200

consultants: Civil Engineer:
FLETCHER STUDIO
LANDSCAPE ARCHITECTURE
Landscape Architect:
Fletcher Studio
2339 3rd St, suite 48R, floor 3R
San Francisco 94107
p: 415.431.7878
f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



02 view from tennessee street



01 view from 23rd street

no:	date:	issue:
	03.07.13	100% concept design
	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

3d renderings

G0.04

scale:

project name: 1201 Tennessee
project number: 20126

Fougeron Architecture
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San Francisco, CA 94108
p: 415.641.5744
f: 415.282.6434

1201 Tennessee

1201 TENNESSEE ST
SAN FRANCISCO, CA 94107

client: Jesse Herzog
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100 Bush Street, Floor 22
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architect of record: Kenny Knox
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p. 408.942.8200

consultants: Civil Engineer:
FLETCHER STUDIO
LANDSCAPE ARCHITECTURE
Landscape Architect:
Fletcher Studio
2339 3rd St, suite 48R, floor 3R
San Francisco 94107
p: 415.431.7878
f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



02 view from 3rd street looking down mid-block passage



01 view from tennessee street looking up mid-block passage

no:	date:	issue:
	03.07.13	100% concept design
	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

3d renderings

G0.05

scale:

project name: 1201 Tennessee
project number: 20126

Fougeron Architecture
 140 Geary St. 8th Floor
 San Francisco, CA 94108
 p: 415.641.5744
 f: 415.282.6434

1201 Tennessee

1201 TENNESSEE ST
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 690 Gibraltar Drive
 Milpitas, CA 95035
 p. 408.942.8200

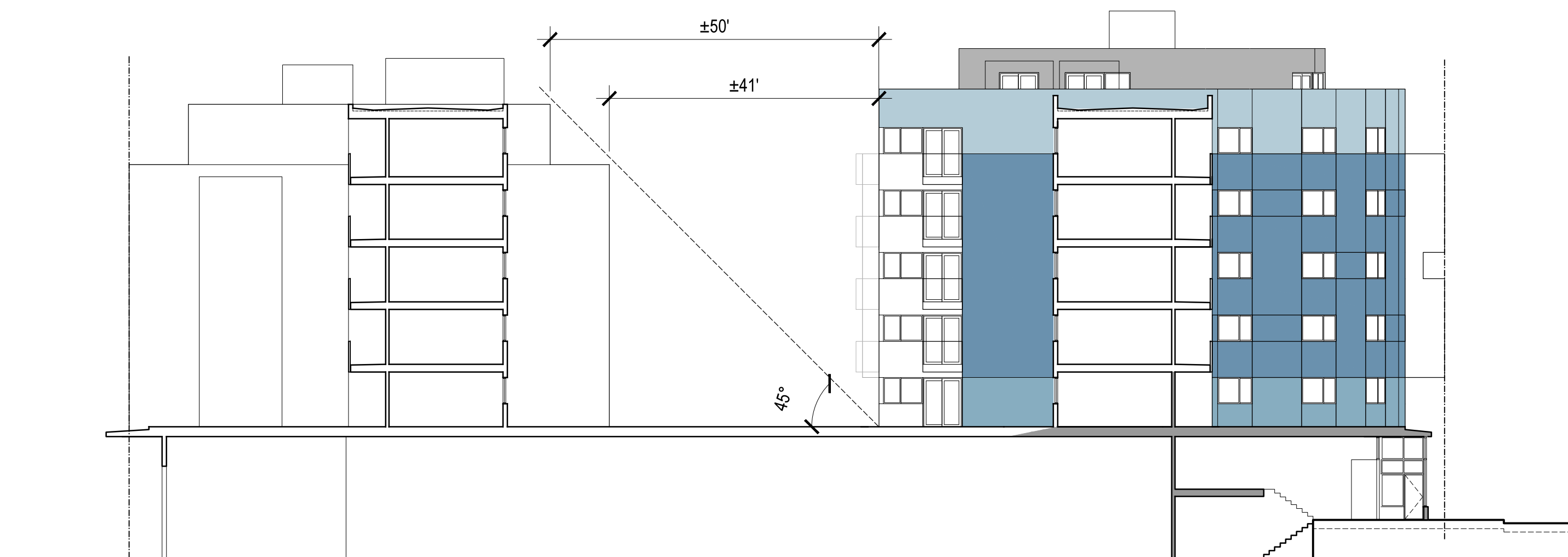
consultants: Civil Engineer:

Landscape Architect:
 Fletcher Studio
 2339 3rd St, suite 48R, floor 3R
 San Francisco 94107
 p: 415.431.7878
 f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



7 common open space - inner court section - sec. 135.g.2

REQUIRED OPEN SPACE (PER PLANNING CODE SEC. 135)
 "USABLE OPEN SPACE SHALL BE PROVIDED FOR EACH DWELLING AND EACH ROUP HOUSING STRUCTURE IN R, NC, C, MIXED USE AND M DISTRICTS."

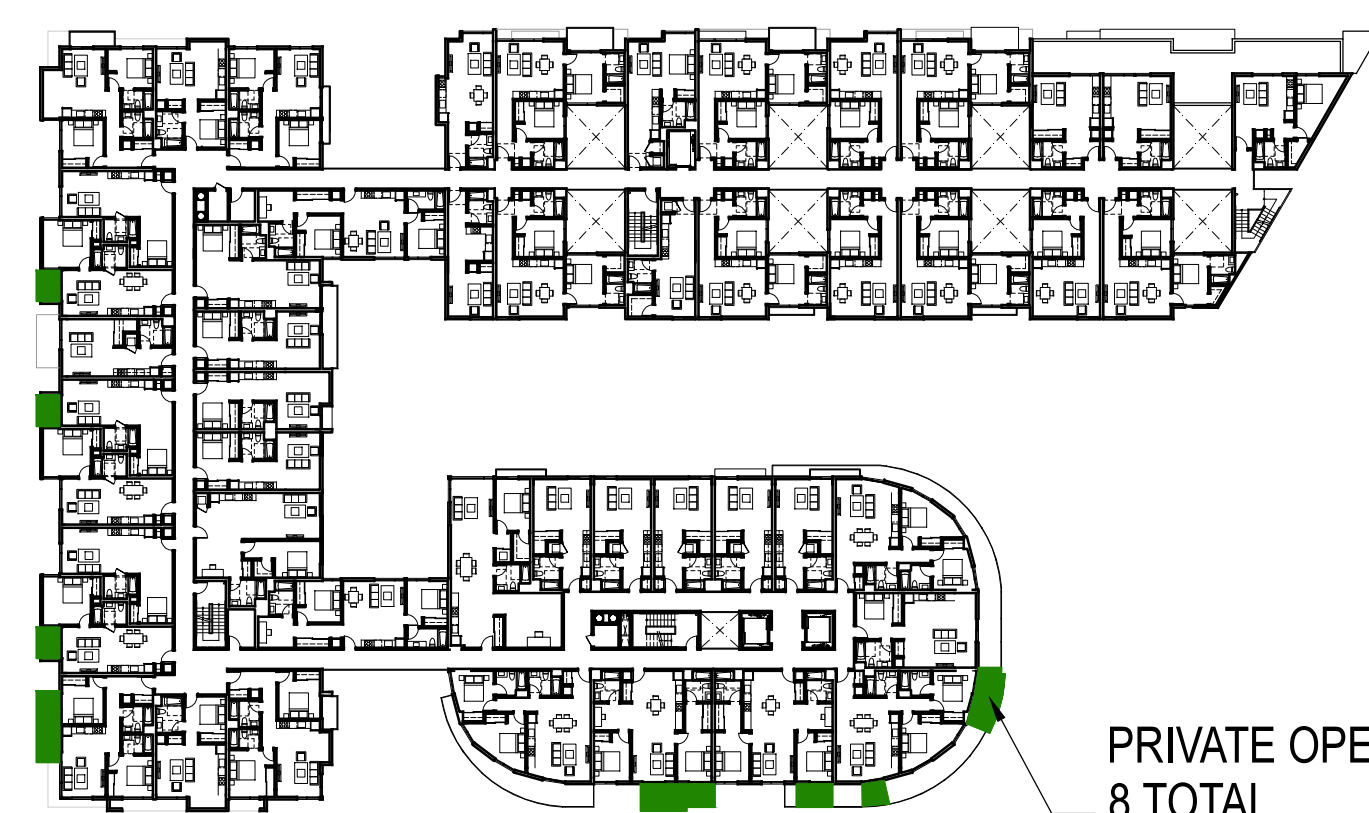
TABLE 135B
 MINIMUM USABLE OPEN SPACE FOR DWELLING UNITS AND GROUP HOUSING IN THE EASTERN NEIGHBORHOOD MIXED USE DISTRICTS

SQUARE FEET OF USABLE OPEN SPACE PER DWELLING UNIT, IF NOT PUBLICLY ACCESSIBLE:	80 SF
SQUARE FEET OF USABLE OPEN SPACE PER DWELLING UNIT, IF PUBLICLY ACCESSIBLE:	54 SF
PERCENT OF OPEN SPACE THAT MAY BE PROVIDED OFF SITE:	50%

OPEN SPACE - CALCULATIONS

PUBLICLY ACCESSIBLE OPEN SPACE PROVIDED:	9,700SF @ 54 SF/UNIT =	180 UNITS
COMMON OPEN SPACE PROVIDED:	2,100 SF @ 80 SF/UNIT =	26 UNITS
	3,100 SF @ 80 SF/UNIT =	38 UNITS
PRIVATE OPEN SPACE PROVIDED:	17 PRIVATE DECKS =	17 UNITS
TOTAL UNITS ALLOWED FOR GIVEN OPEN SPACE:		261 UNITS
ACTUAL NUMBER OF UNITS:		259

COMPLIANT: OPEN SPACE EXCEEDS MINIMUM REQUIREMENTS FOR UNIT QUANTITY



PRIVATE OPEN SPACE
 8 TOTAL
 COMPLIANT WITH SEC. 135, TYP.
 MIN. 6' DEEP, MIN. 36 SF

6 fifth floor open space plan



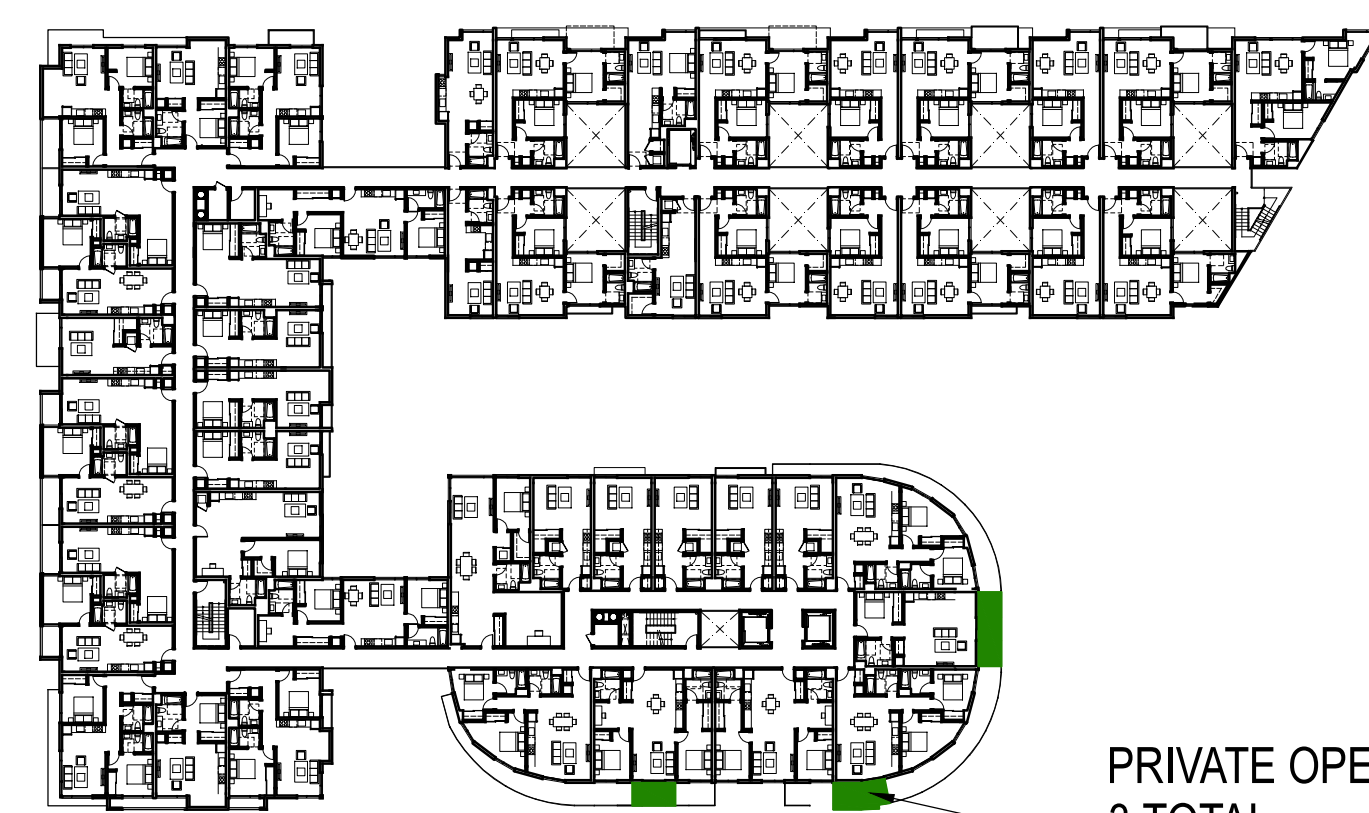
PRIVATE OPEN SPACE
 6 TOTAL
 COMPLIANT WITH SEC. 135, TYP.
 MIN. 6' DEEP, MIN. 36 SF

4 third floor open space plan



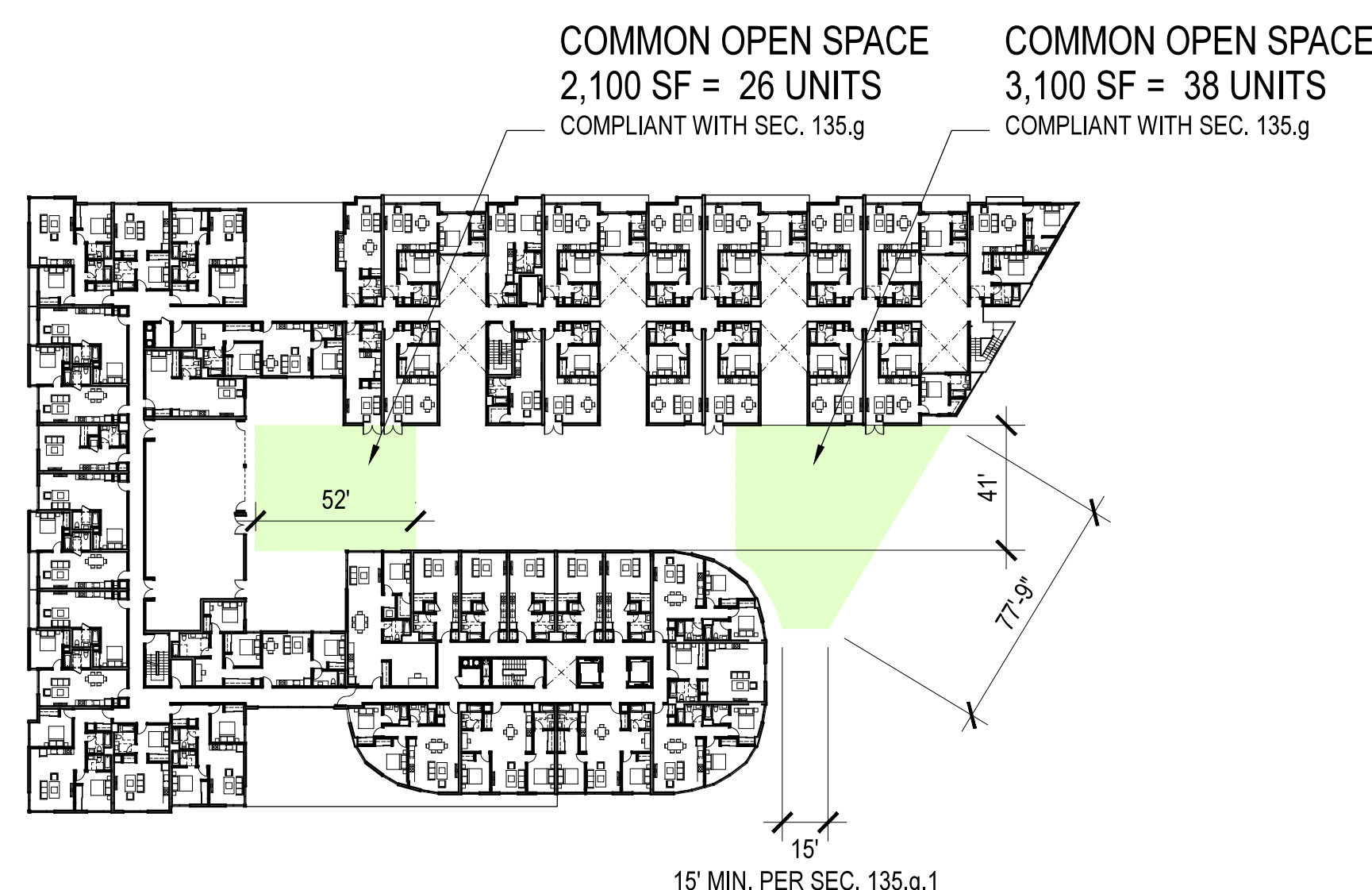
PUBLIC OPEN SPACE
 9,700 SF = 180 UNITS
 COMPLIANT WITH SEC.135.h

2 first floor open space plan



PRIVATE OPEN SPACE
 3 TOTAL
 COMPLIANT WITH SEC. 135, TYP.
 MIN. 6' DEEP, MIN. 36 SF

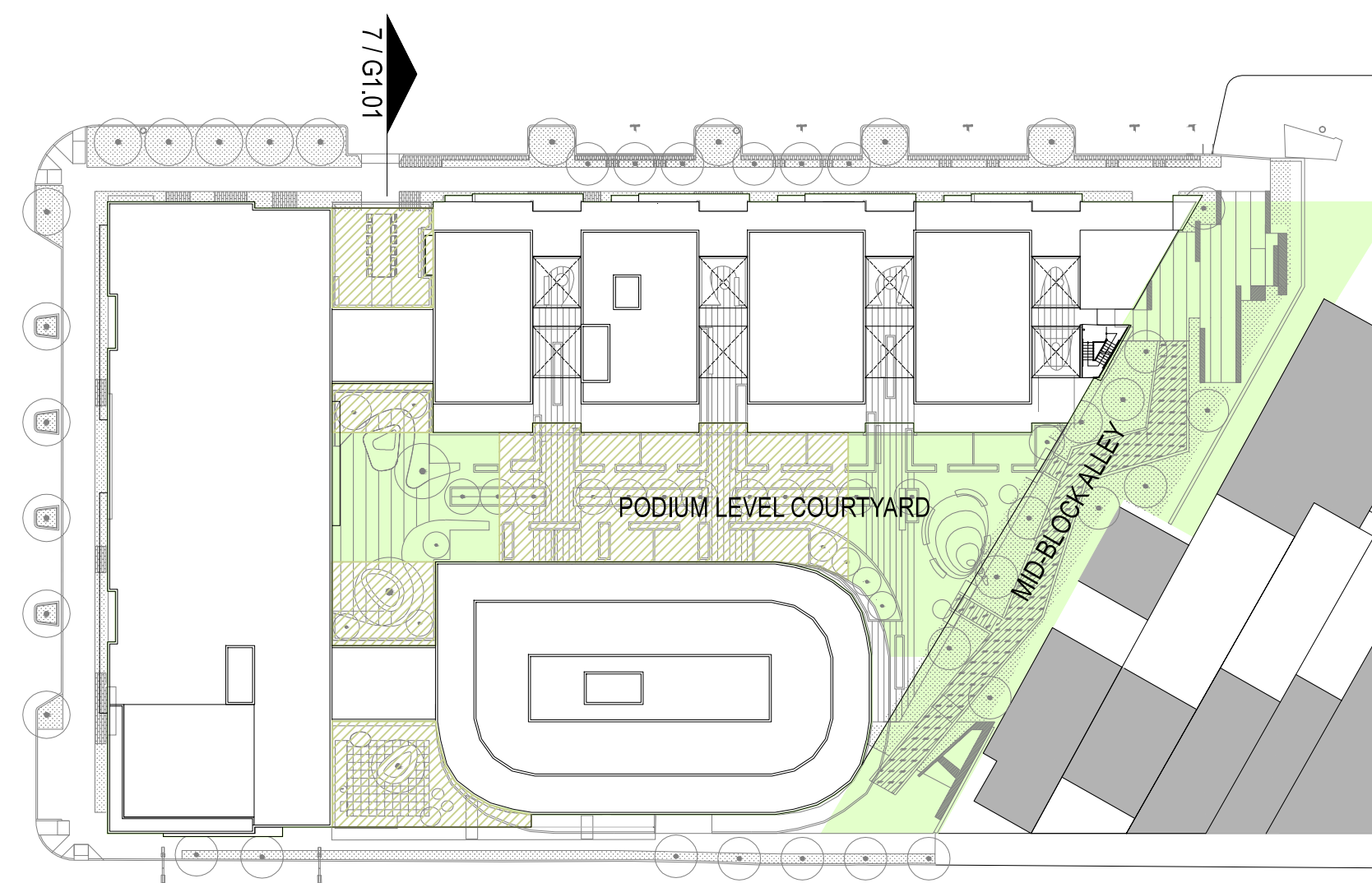
5 fourth floor open space plan



COMMON OPEN SPACE
 2,100 SF = 26 UNITS
 COMPLIANT WITH SEC. 135.g

COMMON OPEN SPACE
 3,100 SF = 38 UNITS
 COMPLIANT WITH SEC. 135.g

3 second floor open space plan



1 rear yard diagram - sec. 134.a.1

REQUIRED REAR YARD (PER SEC. 134.a.1)
 25% OF LOT DEPTH = ± 16,500 SF

PROPOSED REAR YARD (VARIANCE REQUESTED)

OPEN SPACE COMPLIANT =	±14,900 SF
OPEN SPACE NON-COMPLIANT =	±8,320 SF
TOTAL =	±23,220 SF

no:	date:	issue:
	03.07.13	100% concept design
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01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

planning diagrams -
 open space &
 rear yard

G1.01

scale: varies

project name: 1201 Tennessee
 project number: 20126

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 San Francisco, CA 94108
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 f: 415.282.6434

1201 Tennessee

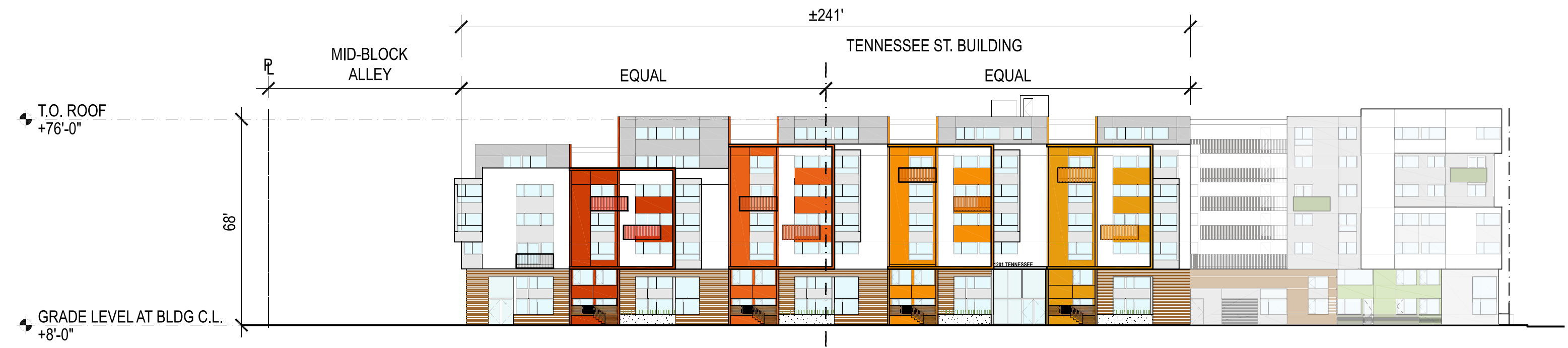
1201 TENNESSEE ST
 SAN FRANCISCO, CA 94107

client: Jesse Herzog
 Avant Housing, LLC
 100 Bush Street, Floor 22
 San Francisco, CA 94104
 p. 415.474.2800

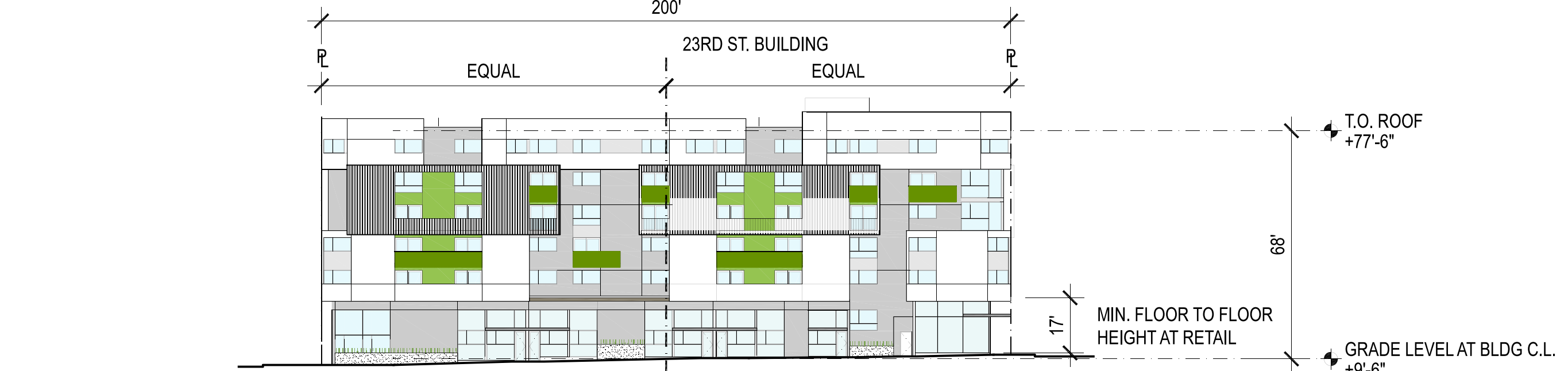
architect of record: Kenny Knox
 Devcon Construction, Inc.
 690 Gibraltar Drive
 Milpitas, CA 95035
 p. 408.942.8200

consultants: Civil Engineer:
 Landscape Architect:
 Fletcher Studio
 2339 3rd St, suite 48R, floor 3R
 San Francisco 94107
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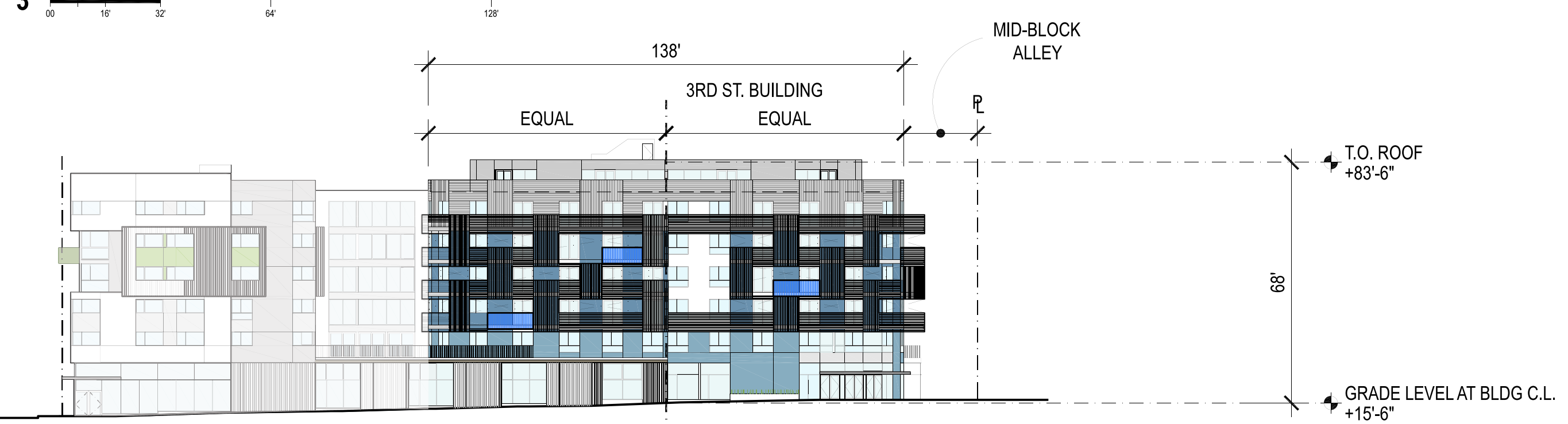
Structural Engineer:
MEP Engineer:
Code Consultant:



4 building height diagram - elevation - tennessee street building

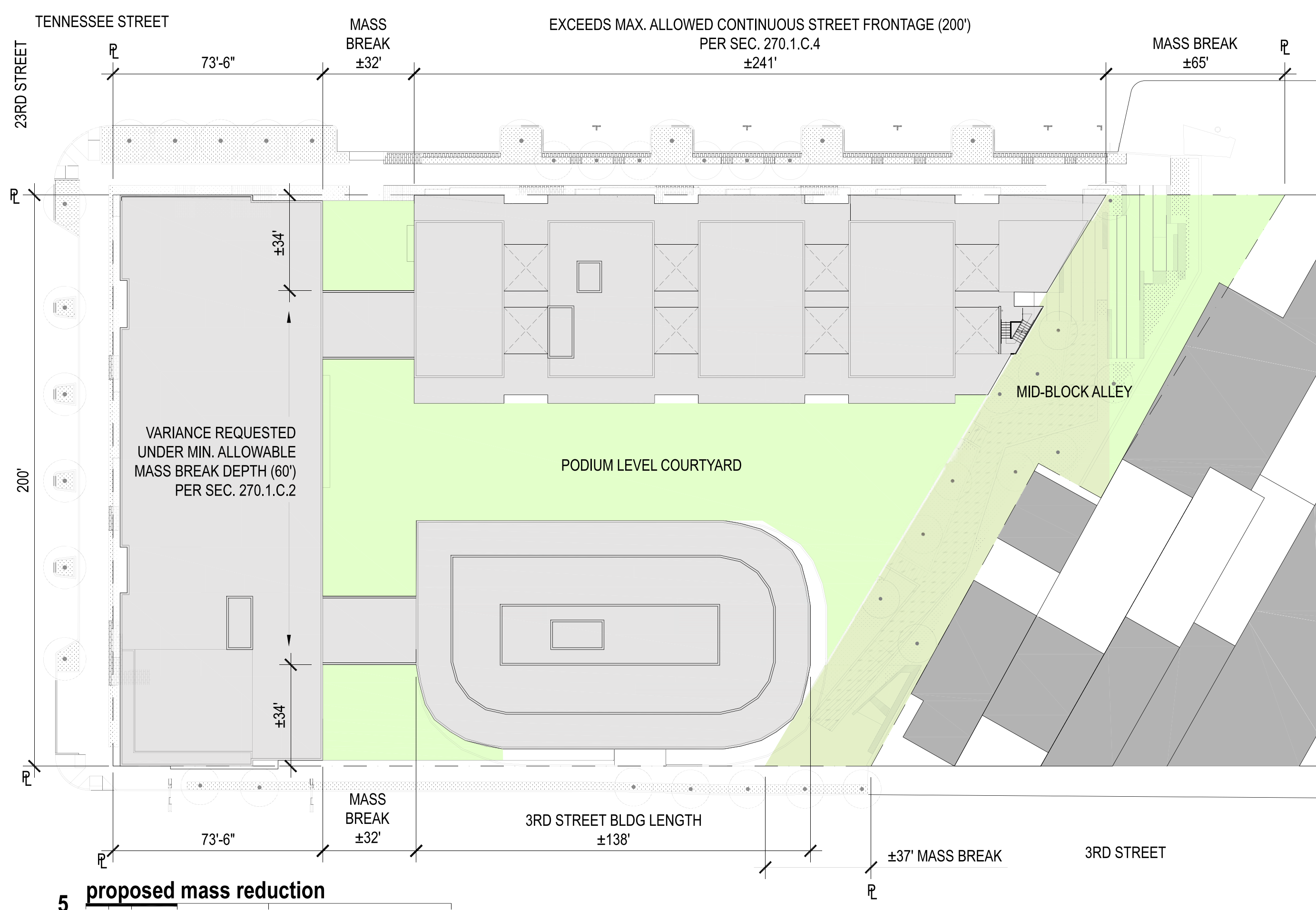


3 building height diagram - elevation - 23rd street building

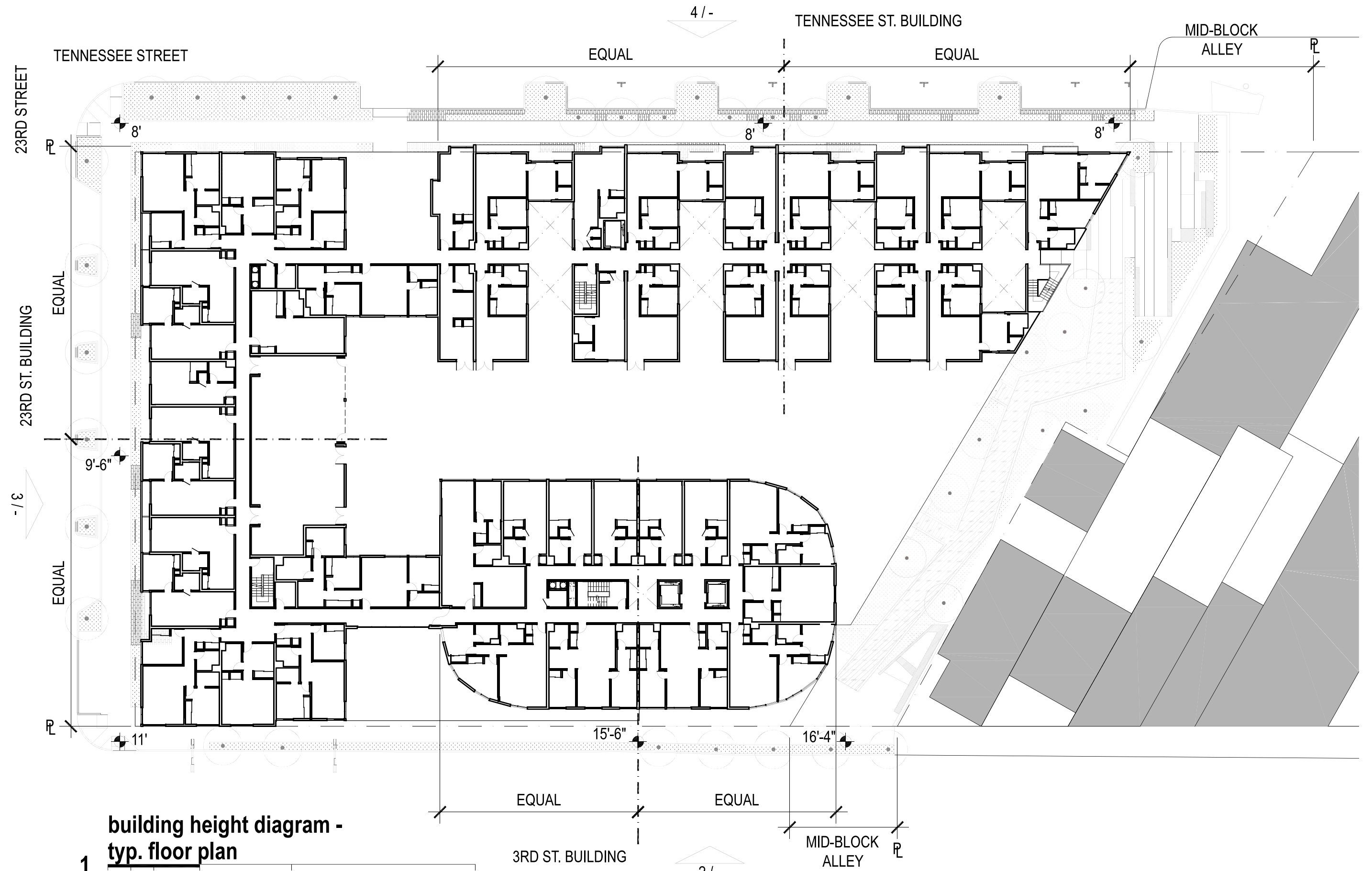


2 building height diagram - elevation - 3rd street building

PROPOSED MASS REDUCTION PROVIDES MULTIPLE BREAKS ALONG THE STREET FRONTAGE, RATHER THAN A SINGLE BREAK AS PRESCRIBED, EFFECTIVELY BREAKING THE MASS DOWN INTO THREE SEPARATE BUILDINGS, WHILE PROVIDING PUBLICLY ACCESSIBLE OPEN SPACE AT THE MID-BLOCK ALLEY.



5 proposed mass reduction



1 building height diagram - typ. floor plan

no:	date:	issue:
	03.07.13	100% concept design
	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

planning diagrams - height & mass reduction
G1.02

scale: 1" = 32'

project name: 1201 Tennessee
 project number: 20126

client: Jesse Herzog
Avant Housing, LLC
100 Bush Street, Floor 22
San Francisco, CA 94104
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architect of record: Kenny Knox
Devcon Construction, Inc.
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consultants: Civil Engineer:
FLETCHER STUDIO
LANDSCAPE ARCHITECTURE
Landscape Architect:
Fletcher Studio
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San Francisco 94107
p. 415.431.7878
f. 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:

no:	date:	issue:
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	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

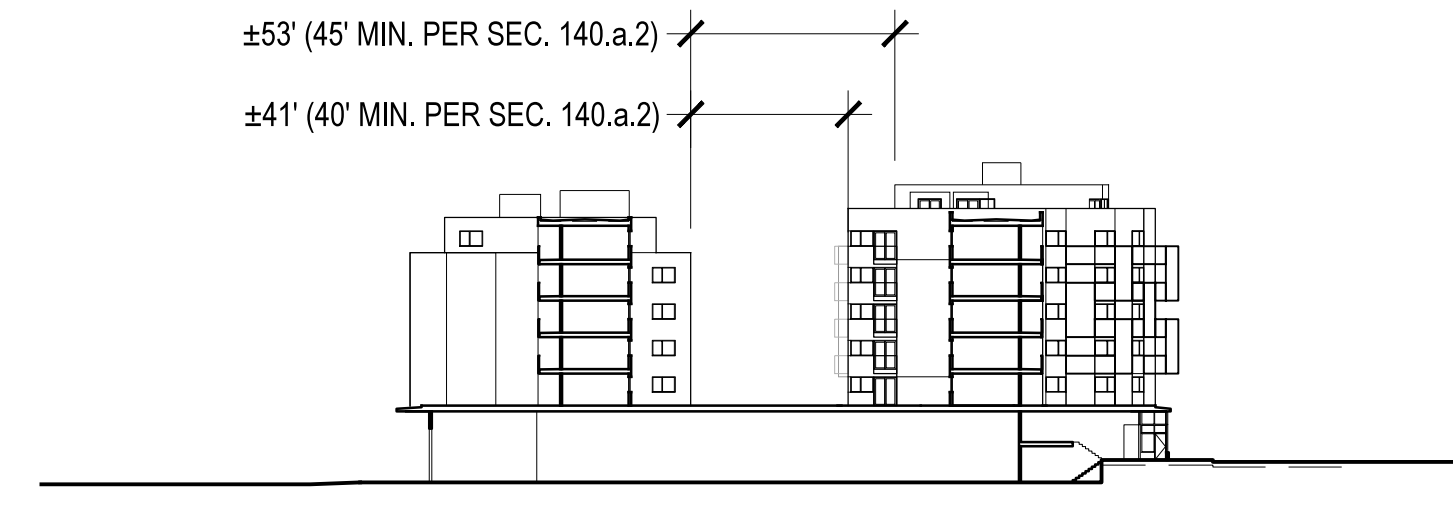
planning diagrams - exposure

G1.03

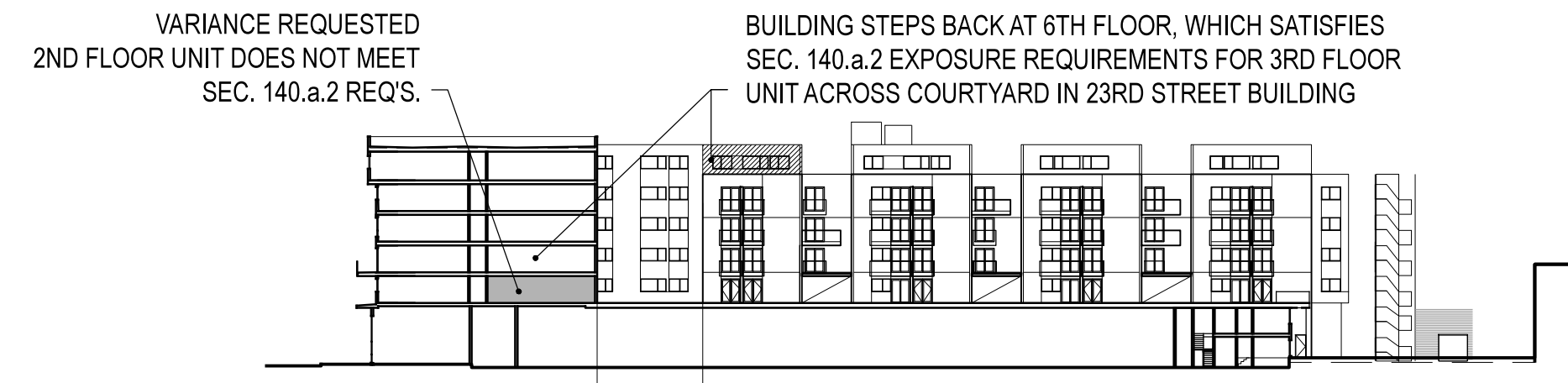
scale: 1" = 50'

project name: 1201 Tennessee

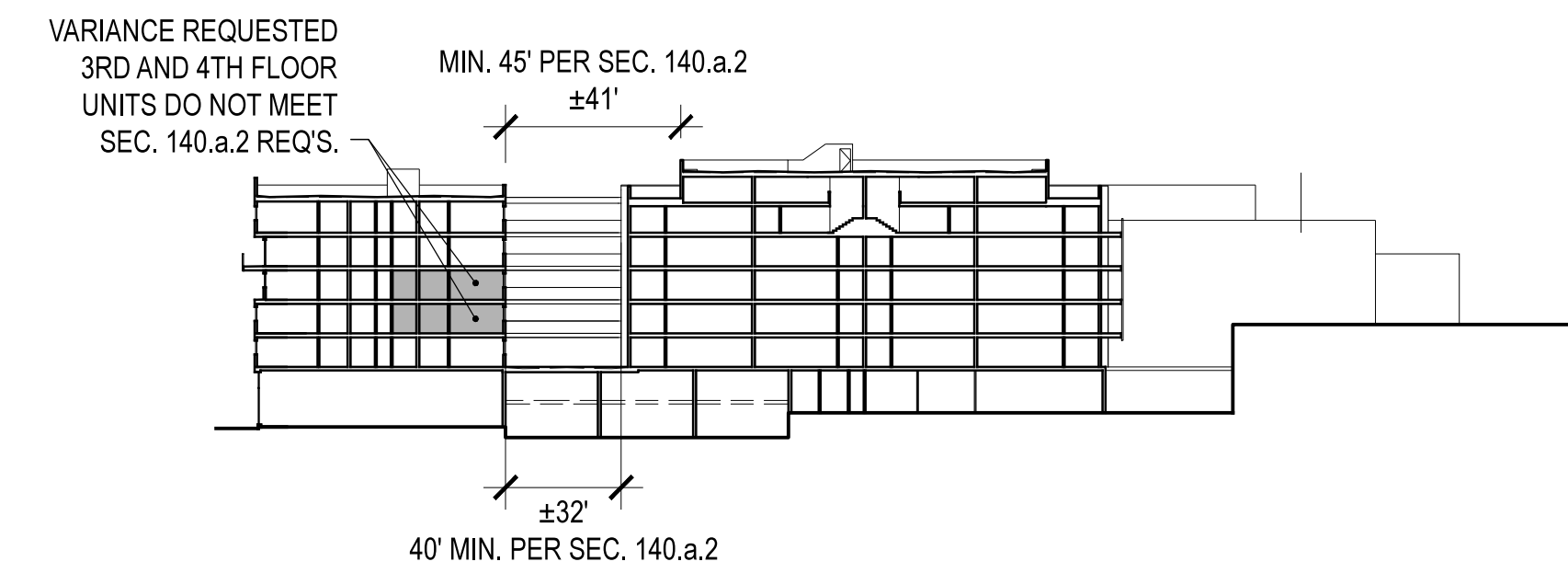
project number: 20126



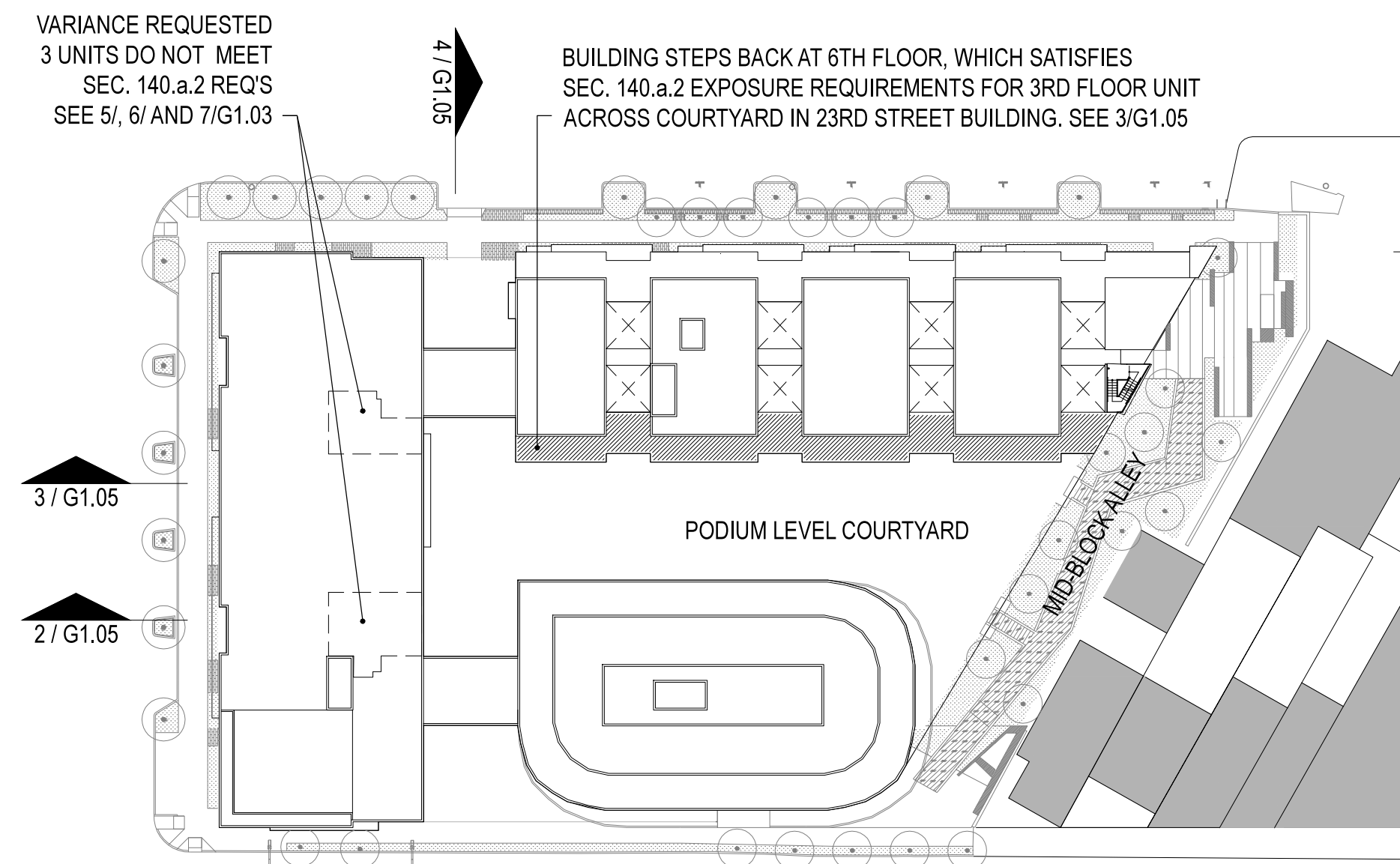
4 unit exposure - inner court section 3 - sec. 140.a.2



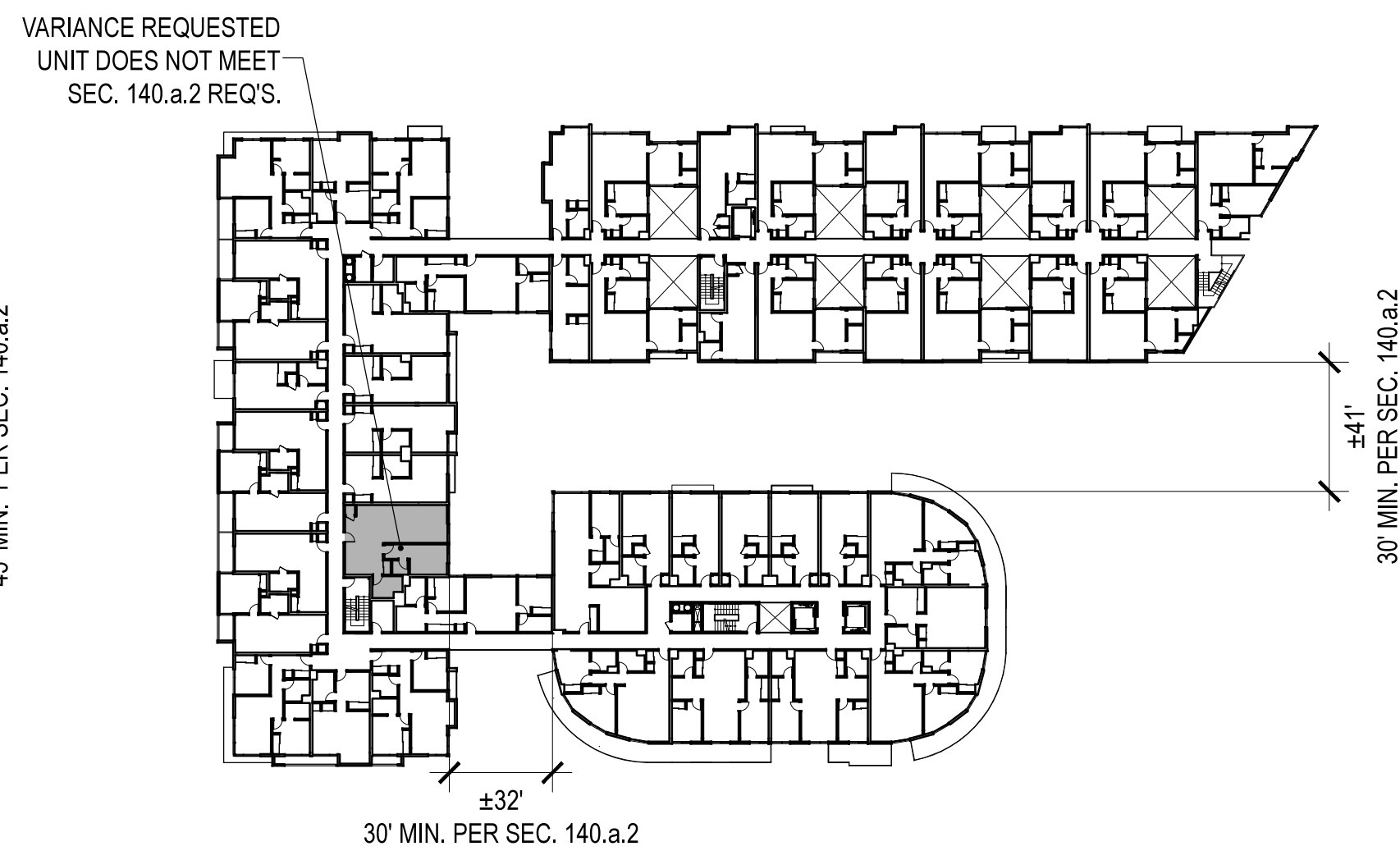
3 unit exposure - inner court section 2 - sec. 140.a.2



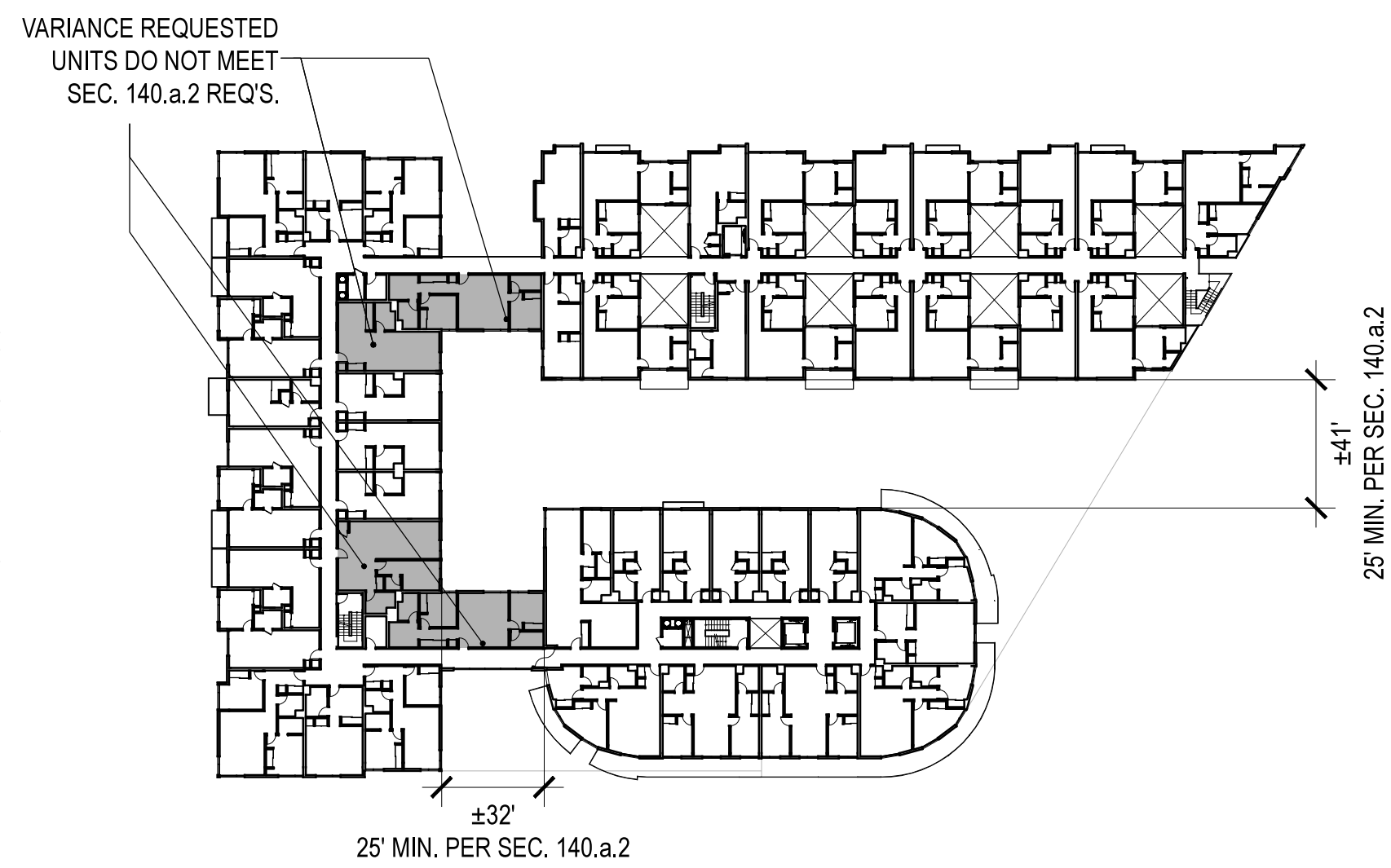
2 unit exposure - inner court section - sec. 140.a.2



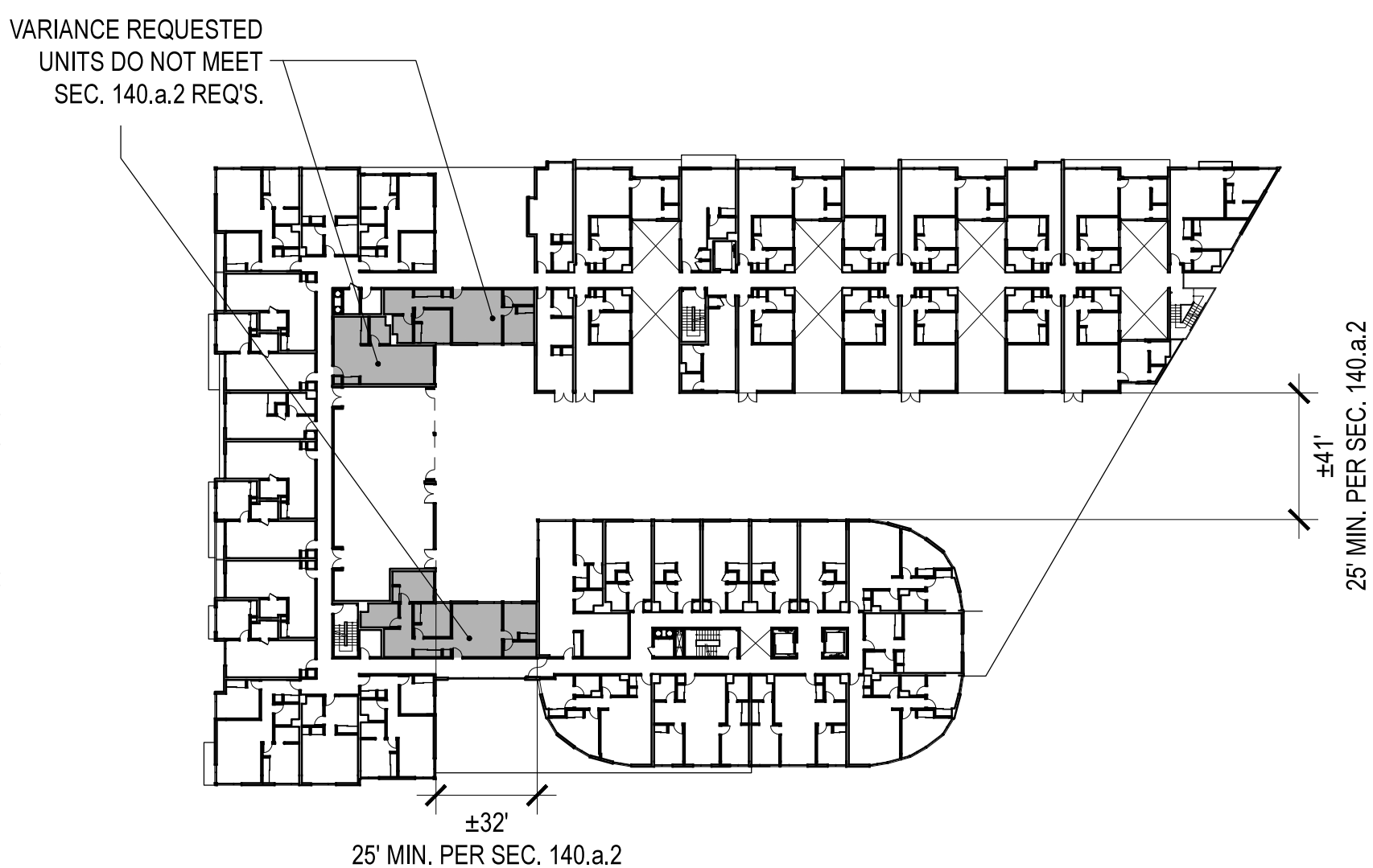
1 exposure diagram and site plan



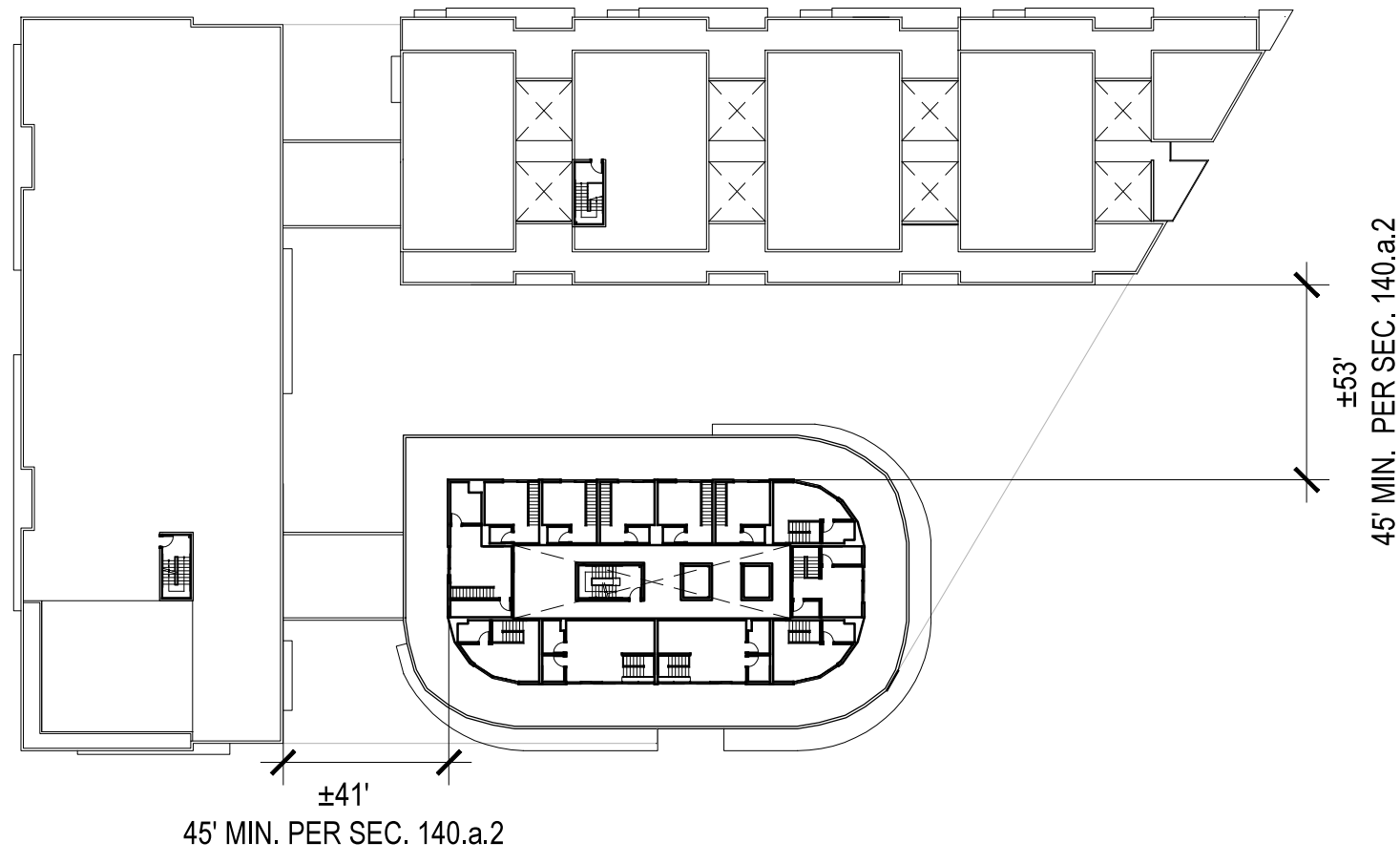
7 fourth floor plan



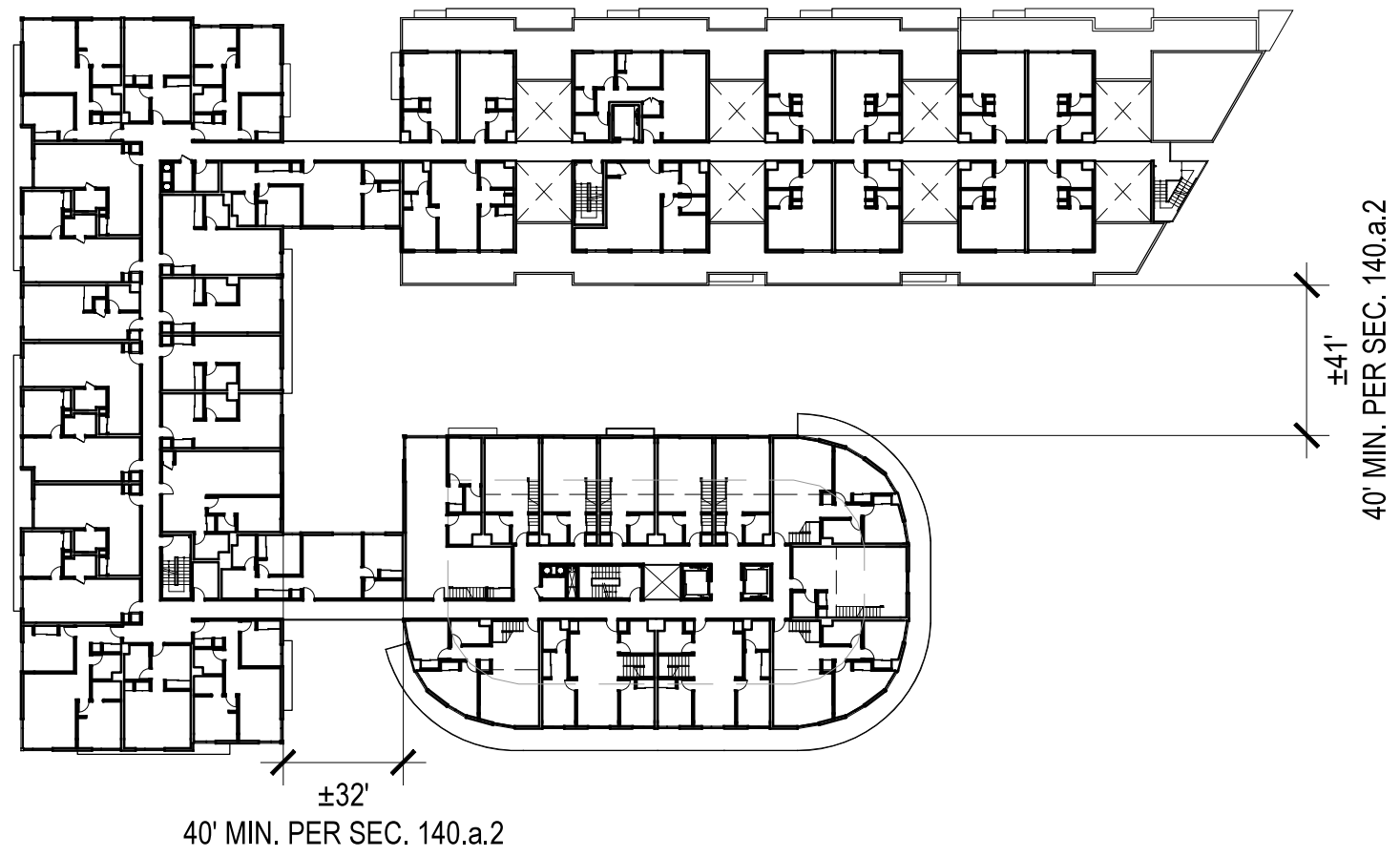
6 third floor plan



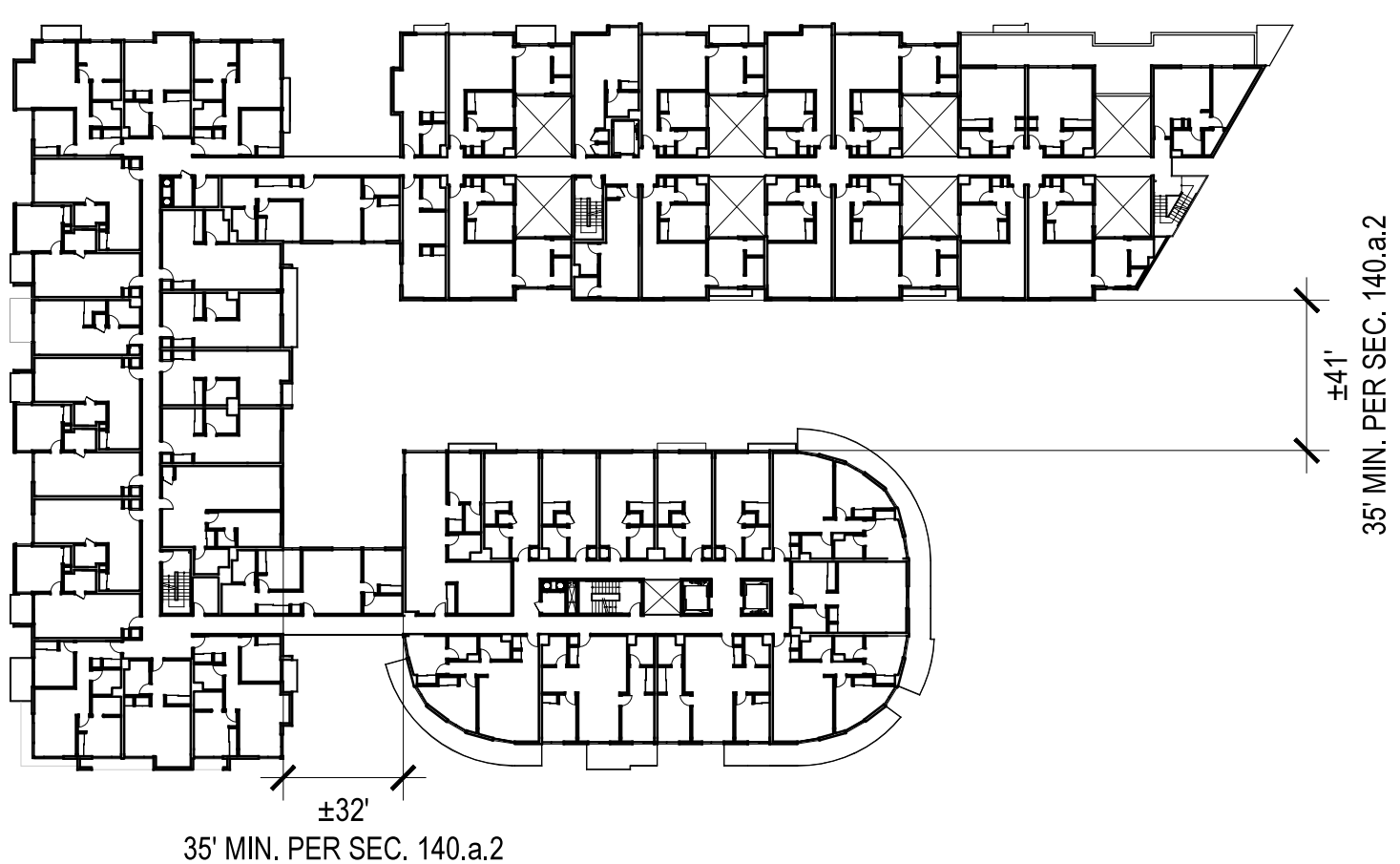
5 second floor plan



10 sixth floor mezzanine plan



9 sixth floor plan



8 fifth floor plan

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 p: 415.641.5744
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 p. 415.474.2800

architect of record: Kenny Knox
 Devcon Construction, Inc.
 690 Gibraltar Drive
 Milpitas, CA 95035
 p. 408.942.8200

consultants: Civil Engineer:
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 2339 3rd St, suite 48R, floor 3R
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 p: 415.431.7878
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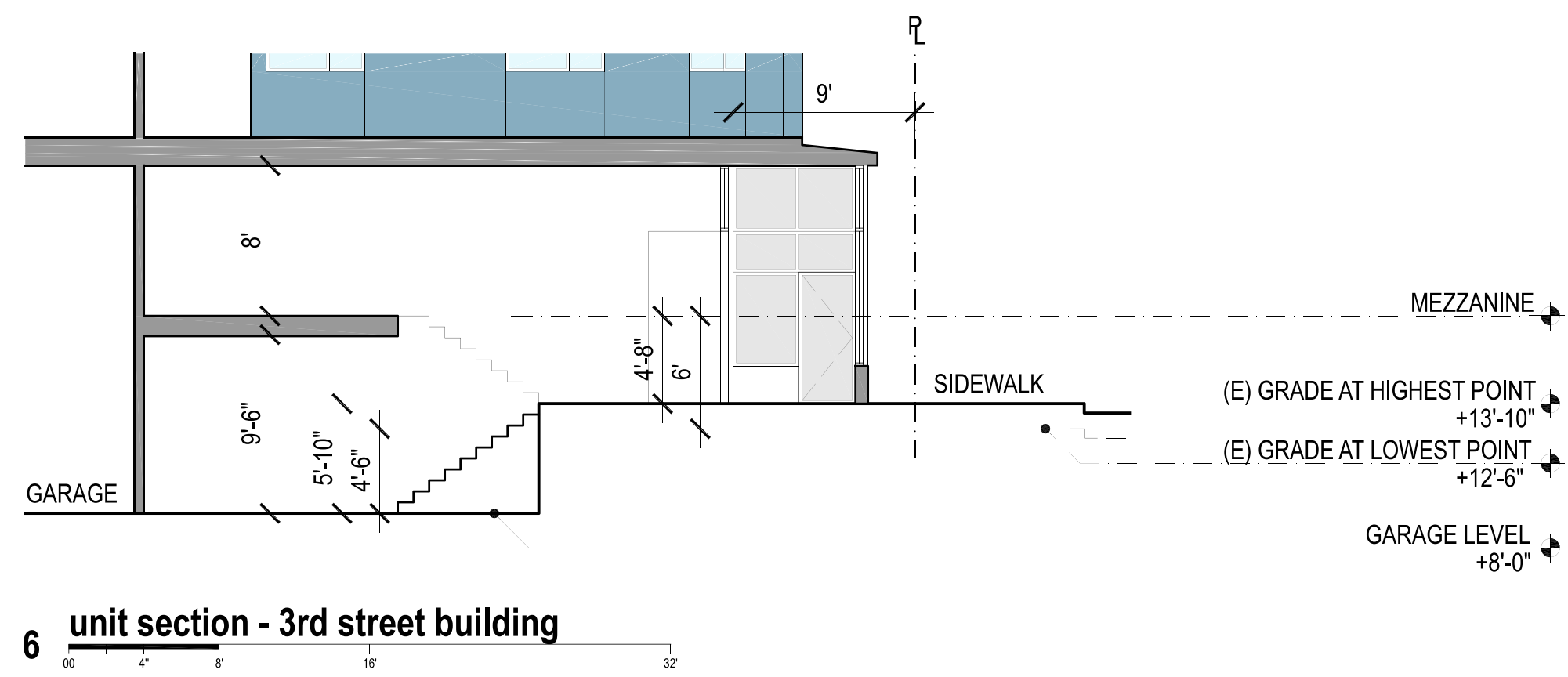
Structural Engineer:
MEP Engineer:
Code Consultant:

no:	date:	issue:
	03.07.13	100% concept design
	04.11.13	large project authorization
01	05.22.13	large project authorization revision
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Note: Subject to changes during construction drawings and building permit review.

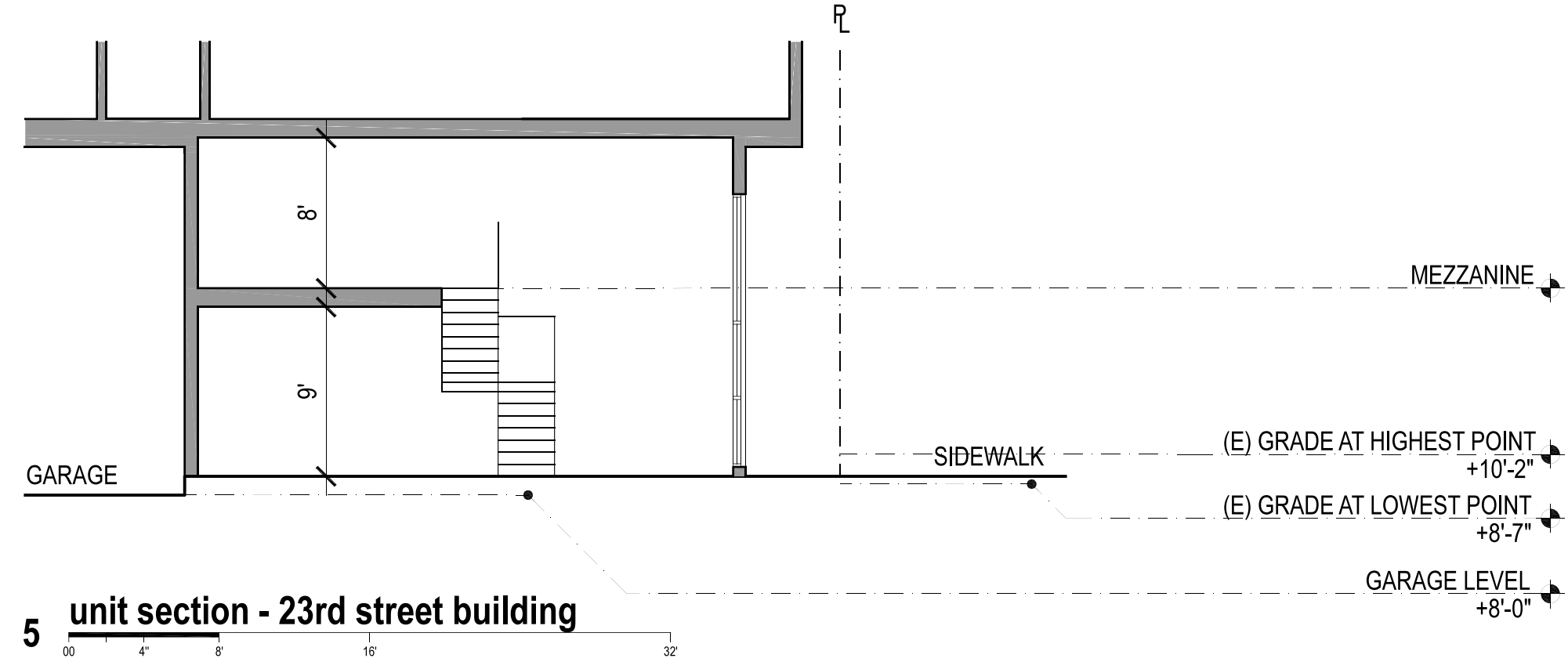
**planning diagrams -
 ground floor
 residential
 G1.04**

scale: varies
 project name: 1201 Tennessee
 project number: 20126



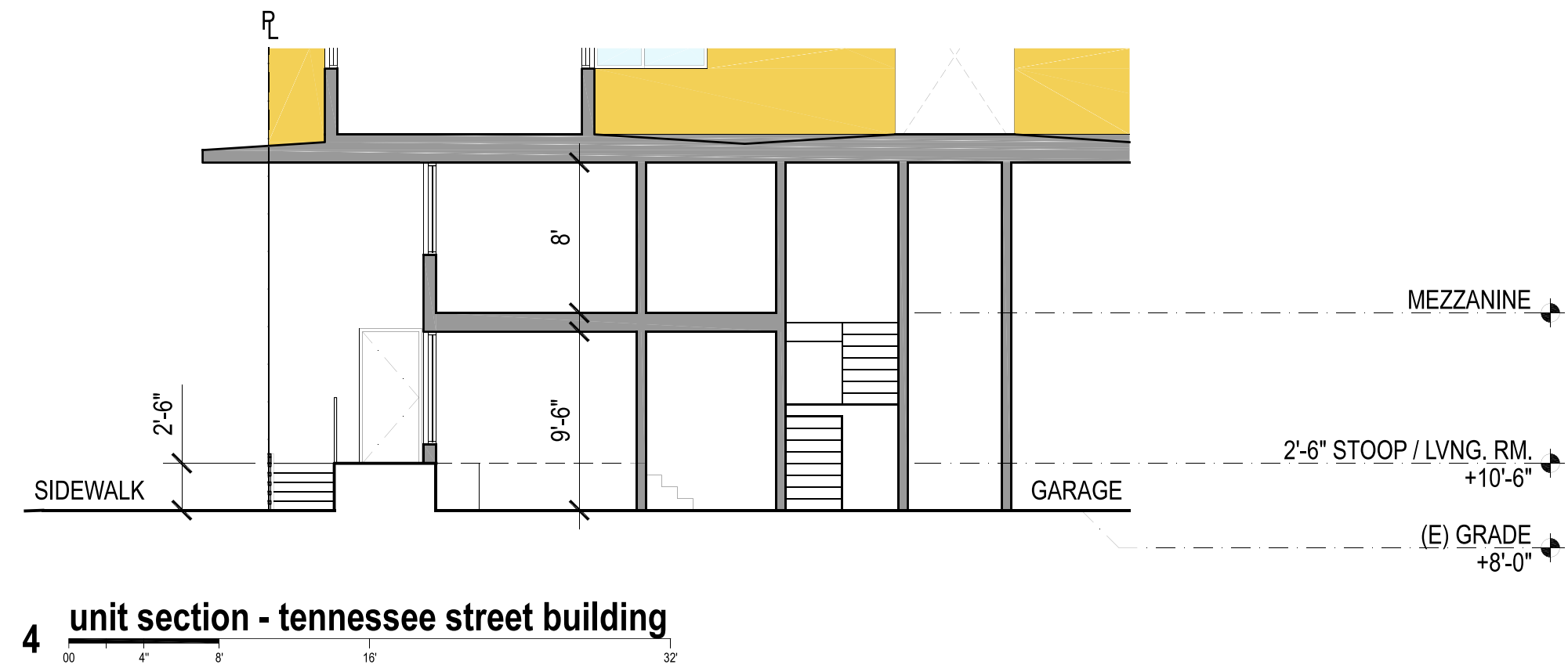
WET: 3RD ST

Fully Compliant
 Recessed entrances provide a generous transition zone between public and private spaces.



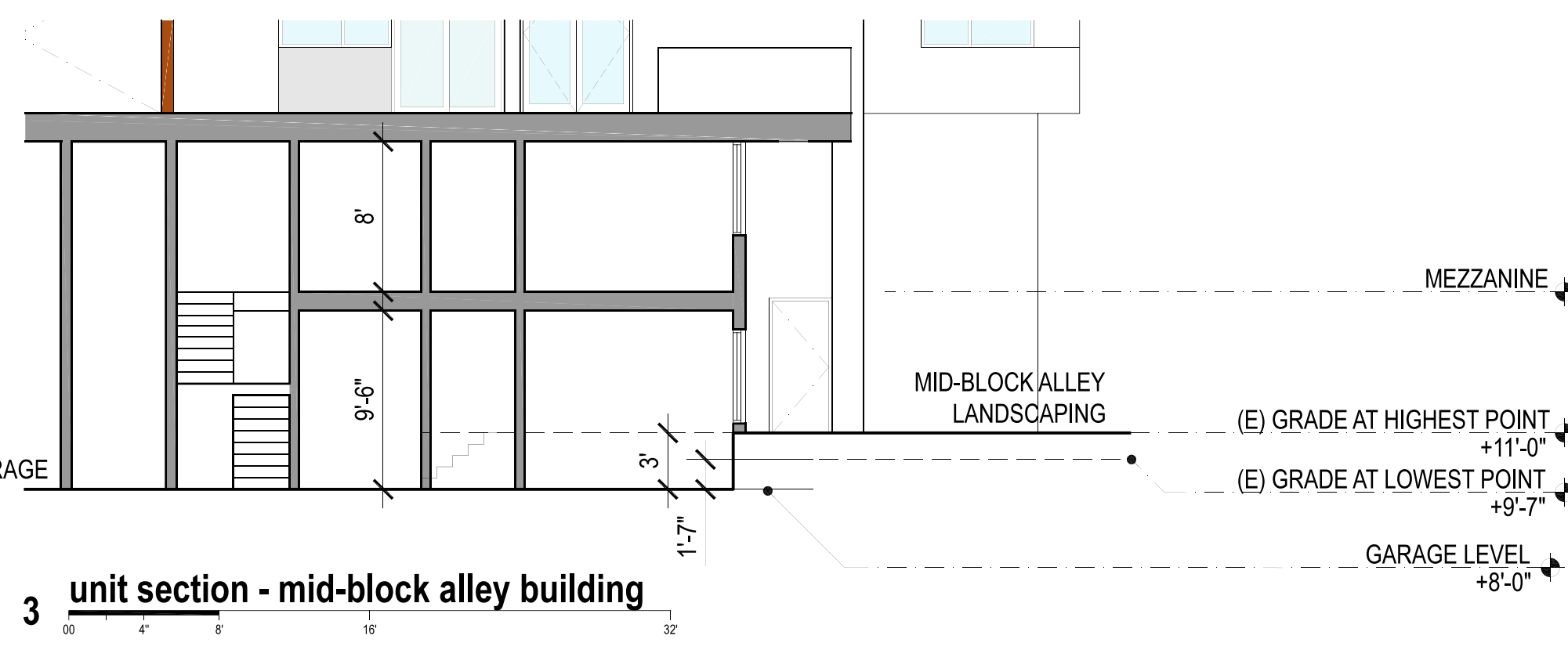
MIX: 23RD ST

Accomplishes Design Goals
 This building transitions between the industrial character of 3rd Street and the residential character of the Tennessee Street. At the request of the neighborhood, flex units along 23rd street are designed as retail / apartment spaces. The Residential Design Guidelines goal of providing a buffer between the public and private realms is counterproductive to their intended use.



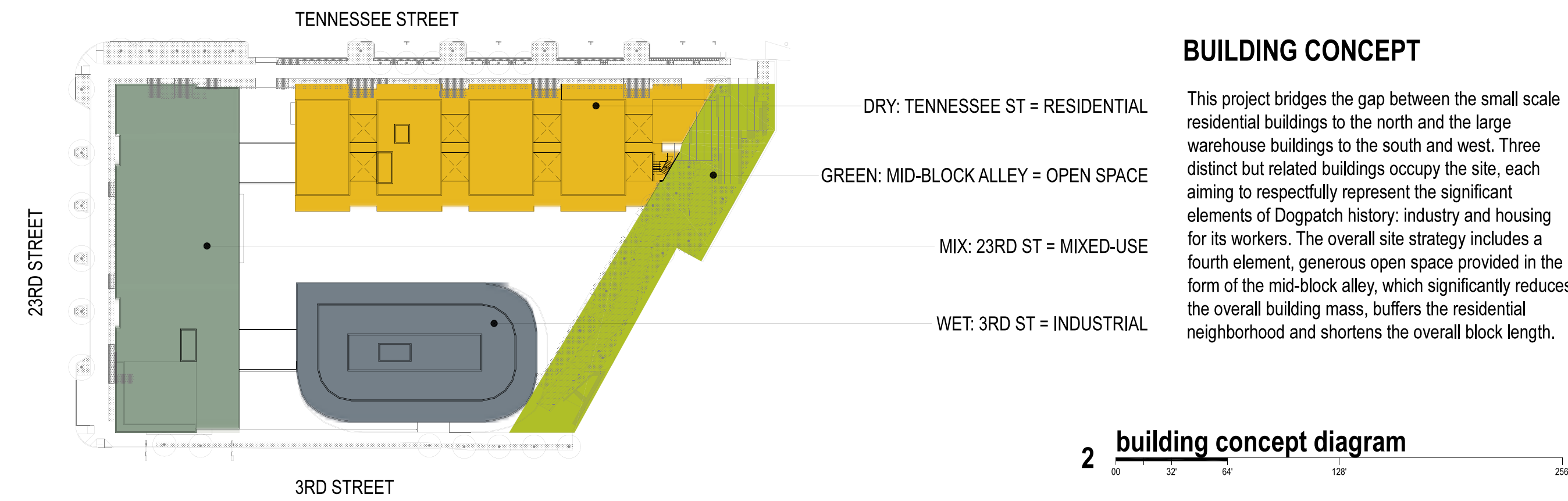
DRY: TENNESSEE ST

Fully Compliant
 Stoops raised above grade provide additional outdoor space for residents and serve as a comfortable barrier between the public sidewalk and the private unit. Safety and a sense of community are enhanced by providing eyes on the street and opportunities for interaction between neighbors.



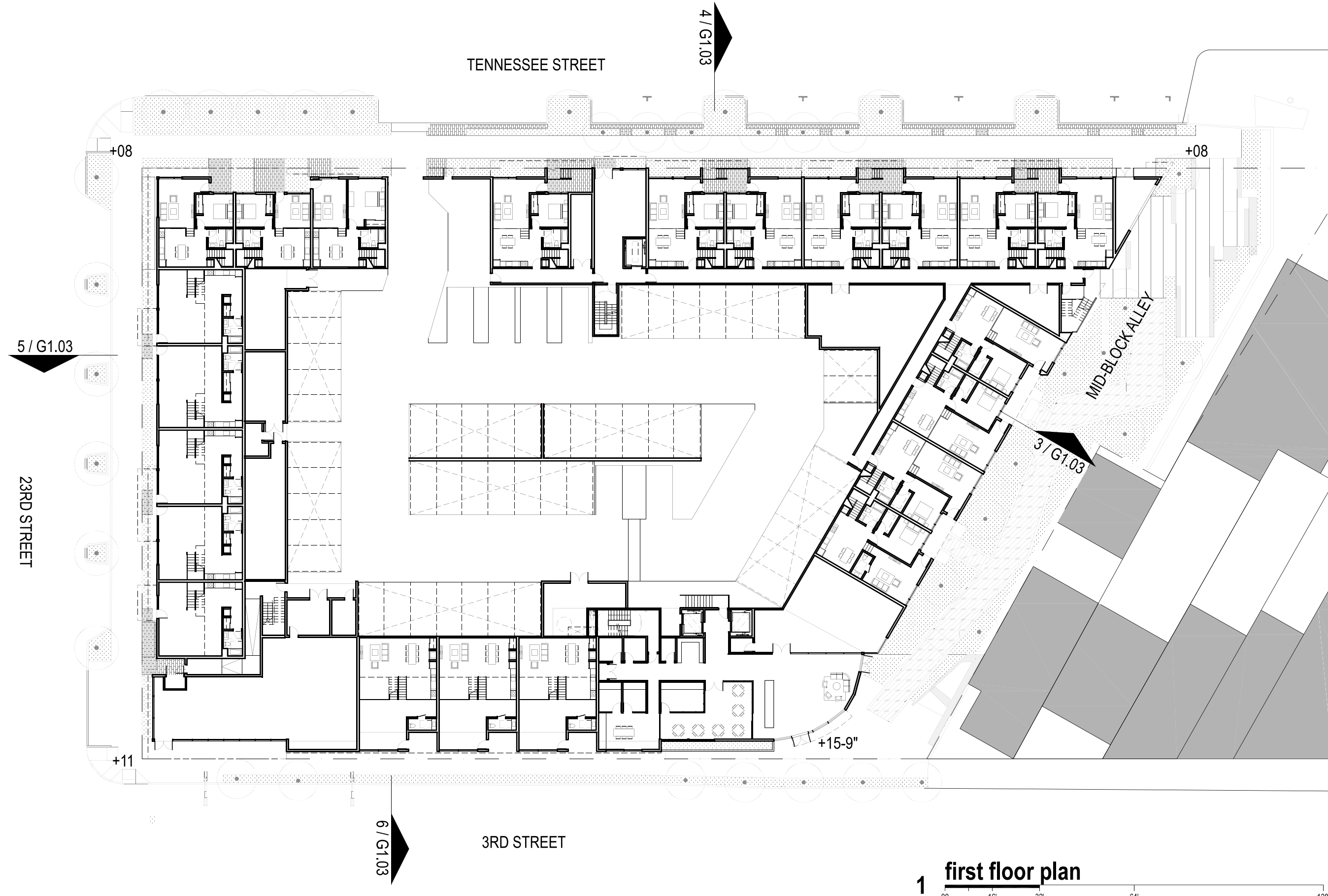
GREEN: MID-BLOCK ALLEY

Accomplishes Design Goals
 The mid-block alley serves as a buffer zone between the unit and the fully public realm of the street. Entrances are recessed from main building facade to provide an additional transition zone in front of the units.



BUILDING CONCEPT

This project bridges the gap between the small scale residential buildings to the north and the large warehouse buildings to the south and west. Three distinct but related buildings occupy the site, each aiming to respectfully represent the significant elements of Dogpatch history: industry and housing for its workers. The overall site strategy includes a fourth element, generous open space provided in the form of the mid-block alley, which significantly reduces the overall building mass, buffers the residential neighborhood and shortens the overall block length.



1 first floor plan

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consultants: **Civil Engineer:**
Landscape Architect:
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Structural Engineer:

MEP Engineer:

Code Consultant:

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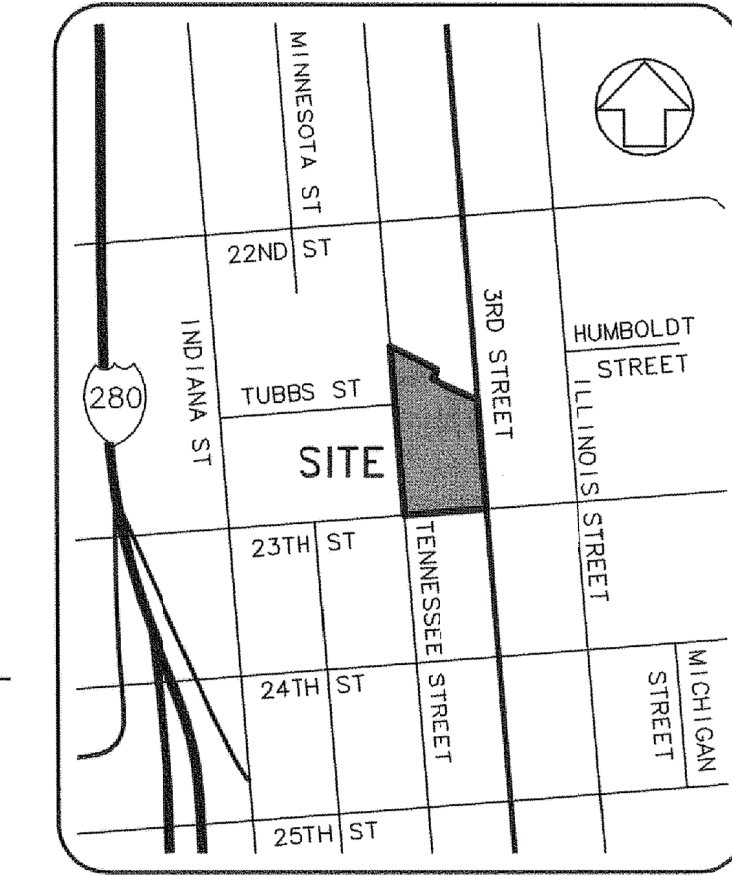
topographic survey

Y0.01

scale: N/A

project name: 1201 Tennessee

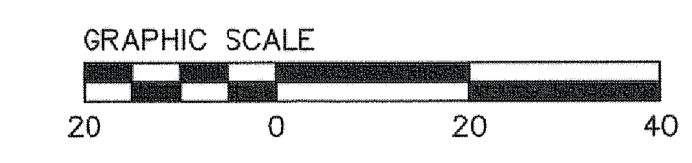
project number: 20126



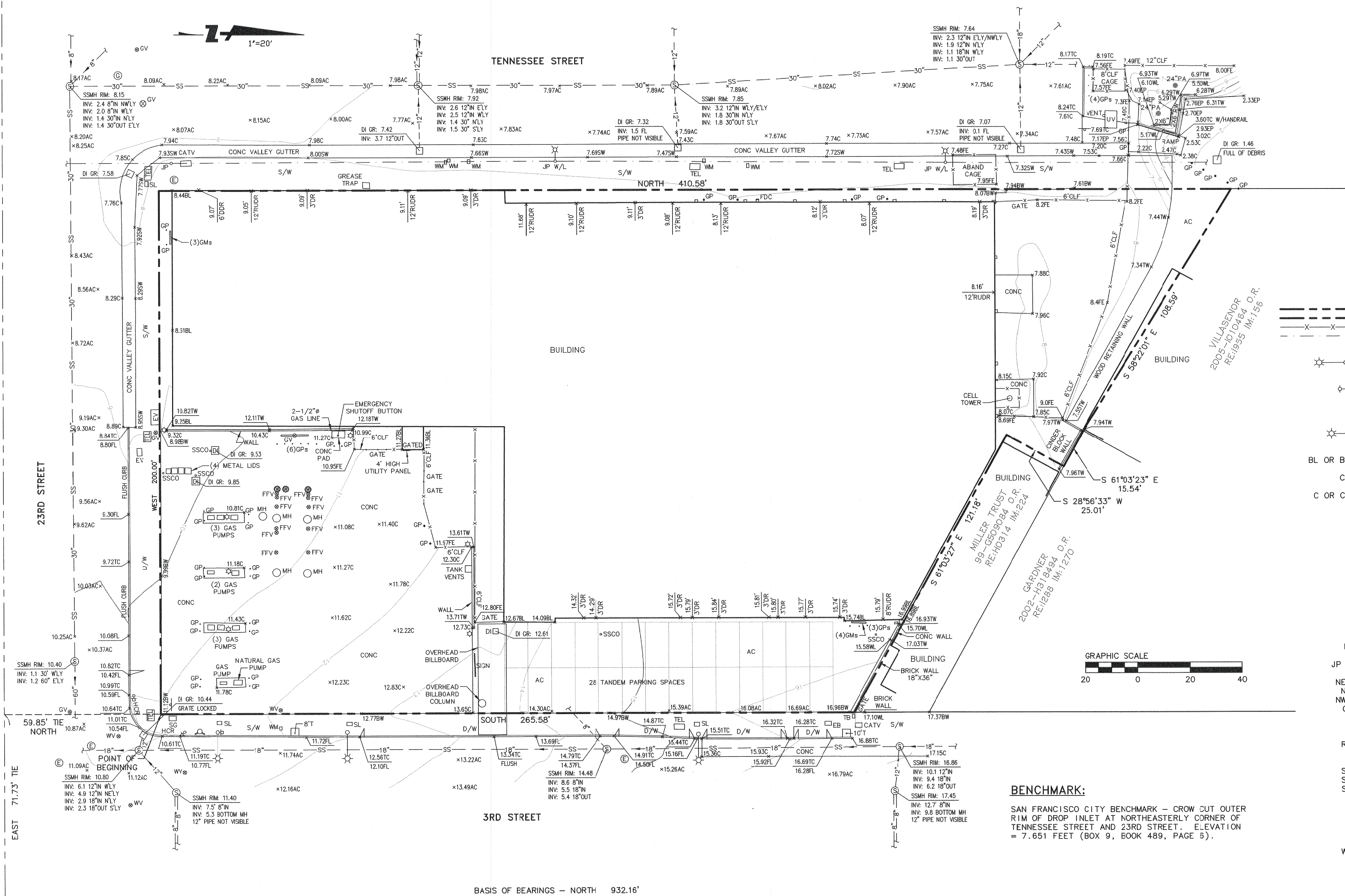
VICINITY MAP
NOT TO SCALE

LEGEND:

	SUBJECT PROPERTY LINE
	MONUMENT LINE
	FENCE LINE
	OVERHEAD ELECTRIC LINE
	FOUND STANDARD CITY MONUMENT
	ELECTRIC MANHOLE
	ELECTROLIER
	FIRE HYDRANT
	GAS MANHOLE
	JOINT POLE WITH LIGHT
	MONITORING WELL
	SANITARY SEWER MANHOLE
	SIGN
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL WITH LIGHT
	VALVE
	AC ASPHALT CONCRETE
	BL OR BLDG BUILDING
	BW BACK OF WALK
	CATV CABLE TELEVISION BOX
	CLF CHAIN LINK FENCE
	C OR CONC CONCRETE
	DI DROP INLET
	DDR DOUBLE DOOR
	DR DOOR
	D/W DRIVEWAY
	EB ELECTRIC BOX
	EP EDGE OF PAVEMENT
	EV ELECTRIC VAULT
	FDC FIRE DEPARTMENT CONNECTION
	FE FENCE
	FFV FUEL FILLING VALVE
	FL FLOW LINE
	GP GUARD POST
	GR: GRATE ELEVATION
	GV GAS VALVE
	HCR HANDICAP RAMP
	IM: IMAGE
	INV: INVERT ELEVATION
	JP JOINT POLE
	JP W/L JOINT POLE WITH LIGHT
	MH MANHOLE
	NE'LY NORTHEASTERLY
	N'LY NORTHERLY
	NW'LY NORTHWESTERLY
	O.R. OFFICIAL RECORDS
	PA PALM TREE
	RE: REEL
	RIM RIM ELEVATION
	RUDR ROLL-UP DOOR
	SG SIGNAL BOX
	SL STEEL LIGHT BOX
	S'LY SOUTHERLY
	SSCO SANITARY SEWER CLEANOUT
	SSMH SANITARY SEWER MANHOLE
	S/DWALK SIDEWALK
	T TREE IN PLANTER BOX
	TC TOP OF CURB
	TEL TELEPHONE VAULT
	TW TOP OF WALL
	UV UTILITY VAULT
	W'LY WESTERLY
	WL BOTTOM OF WALL
	WM WATER METER
	WV WATER VALVE



BENCHMARK:
SAN FRANCISCO CITY BENCHMARK - CROW CUT OUTER RIM OF DROP INLET AT NORTHEASTERLY CORNER OF TENNESSEE STREET AND 23RD STREET. ELEVATION = 7.651 FEET (BOX 9, BOOK 489, PAGE 9).



- NOTES:**
- BOUNDARY INFORMATION BASED ON THE PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY DATED JANUARY 30, 2012, TITLE REPORT NUMBER 12-36912187-MG.
 - DATE OF FIELD SURVEY: MAY 22, MAY 23, AND SEPTEMBER 27, 2012.
 - CONTOUR INTERVAL: 1 FOOT.
 - ASSESSOR'S PARCEL NO.: LOT 022, BLOCK 4172
 - ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
 - AREA: 1.545 ACRES, MORE OR LESS.

UTILITY NOTE:
THE UTILITY LINES SHOWN ON THIS PLAN ARE DERIVED FROM RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

BASIS OF BEARINGS:
THE MONUMENT LINE IN THIRD STREET AS SHOWN ON THE CITY MONUMENT MAP NO. 536, TAKEN AS NORTH. MONUMENT MAP NO. 326 IS ON FILE IN THE OFFICE OF THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF STREET USE AND MAPPING, CITY AND COUNTY OF SAN FRANCISCO.

BASIS OF BEARINGS:
THIS SURVEY WAS PREPARED BY ME OR UNDER MY SUPERVISION.

FOR BKF ENGINEERS.
BARRY T. WILLIAMS, P.L.S. NO. 6711
LICENSE EXPIRES: 06/30/12
DATE: 10/8/12



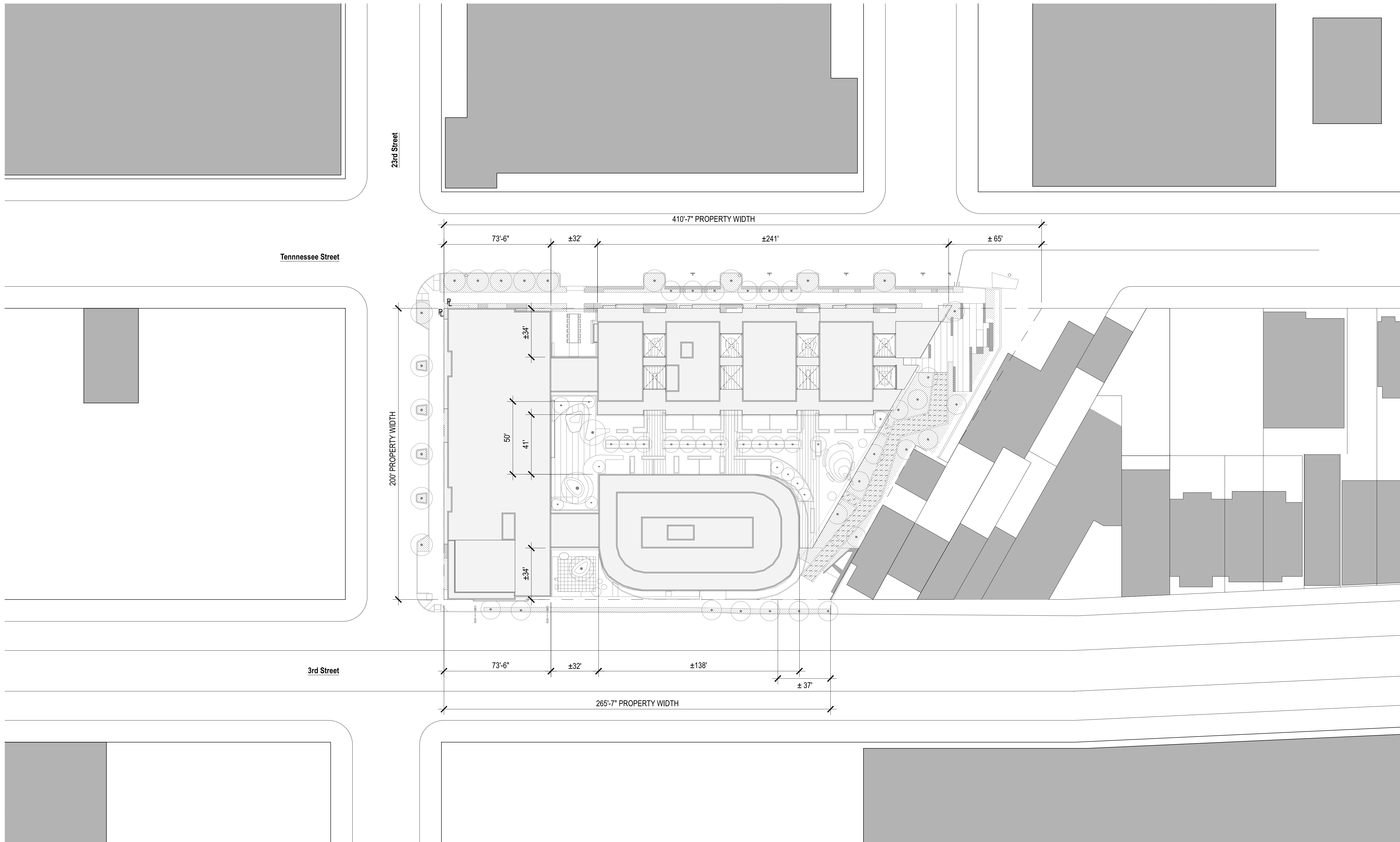
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 San Francisco 94107
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 f: 415.814.2909

Structural Engineer:
MEP Engineer:
Code Consultant:



01 site plan

keynotes

2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend

TH - TOWNHOUSE UNIT
 MEZZ - MEZZANINE LEVEL OF TOWNHOUSE UNIT

no:	date:	issue:
	03.07.13	100% concept design
	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

site plan

A1.01

scale: 1/32" = 1'-0"

project name: 1201 Tennessee

project number: 20126

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p. 408.942.8200

consultants: Civil Engineer:
Landscape Architect:
Fletcher Studio
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p. 415.431.7878
f. 415.814.2909

Structural Engineer:

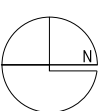
MEP Engineer:

Code Consultant:

no:	date:	issue:
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	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

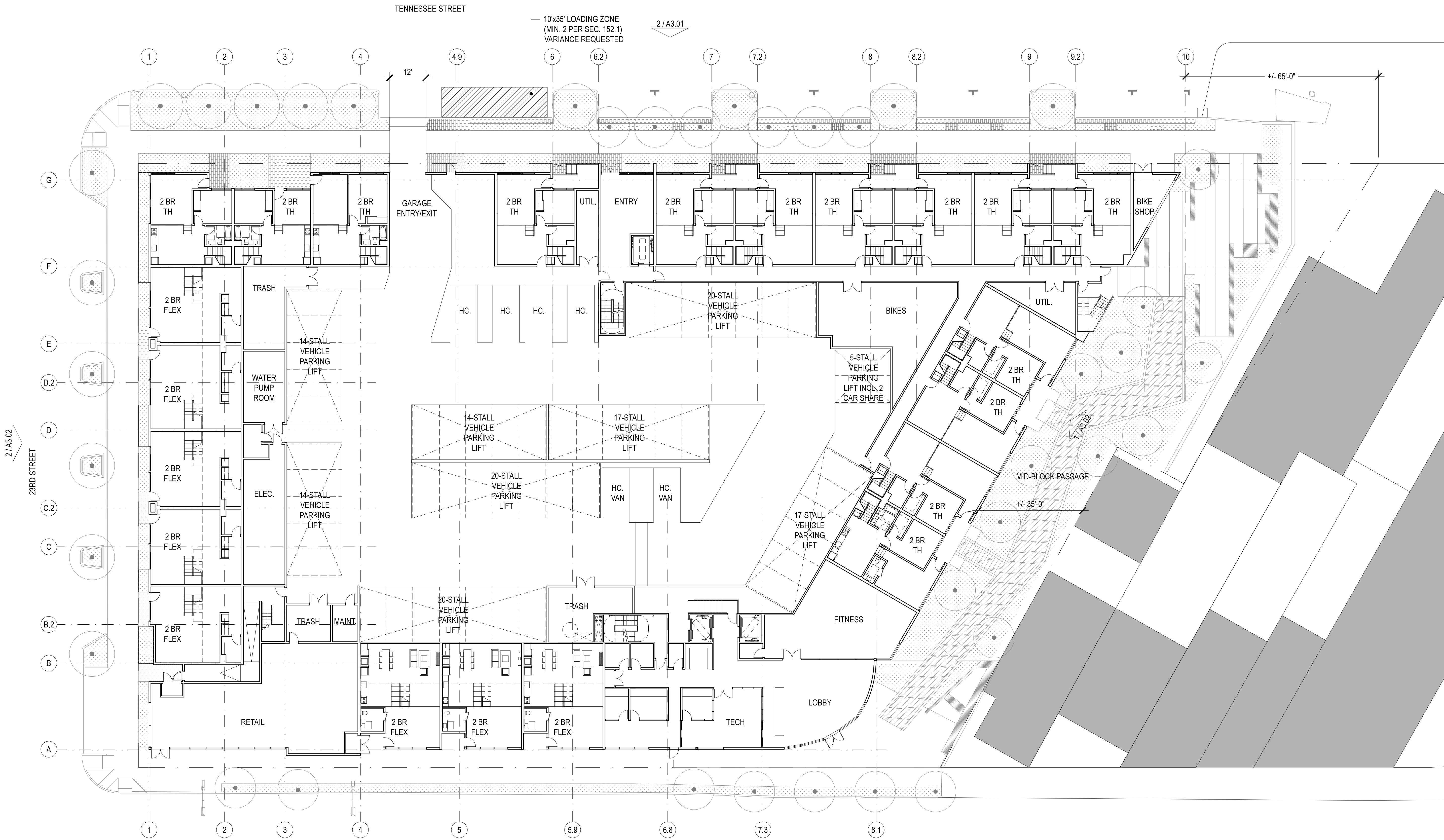
Note: Subject to changes during construction drawings and building permit review.

ground floor
parking &
loading plan
A2.01



scale: 1/16"=1'-0"

project name: 1201 Tennessee
project number: 20126



01 floor plan

keynotes

2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend

TH - TOWNHOUSE UNIT
MEZZ - MEZZANINE LEVEL OF TOWNHOUSE UNIT

3RD STREET
1/A3.01

TENNESSEE STREET
2/A3.01

2/A3.02
23RD STREET

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 f: 415.282.6434

1201 Tennessee

1201 TENNESSEE ST
 SAN FRANCISCO, CA 94107

client: Jesse Herzog
 Avant Housing, LLC
 100 Bush Street, Floor 22
 San Francisco, CA 94104
 p: 415.474.2800

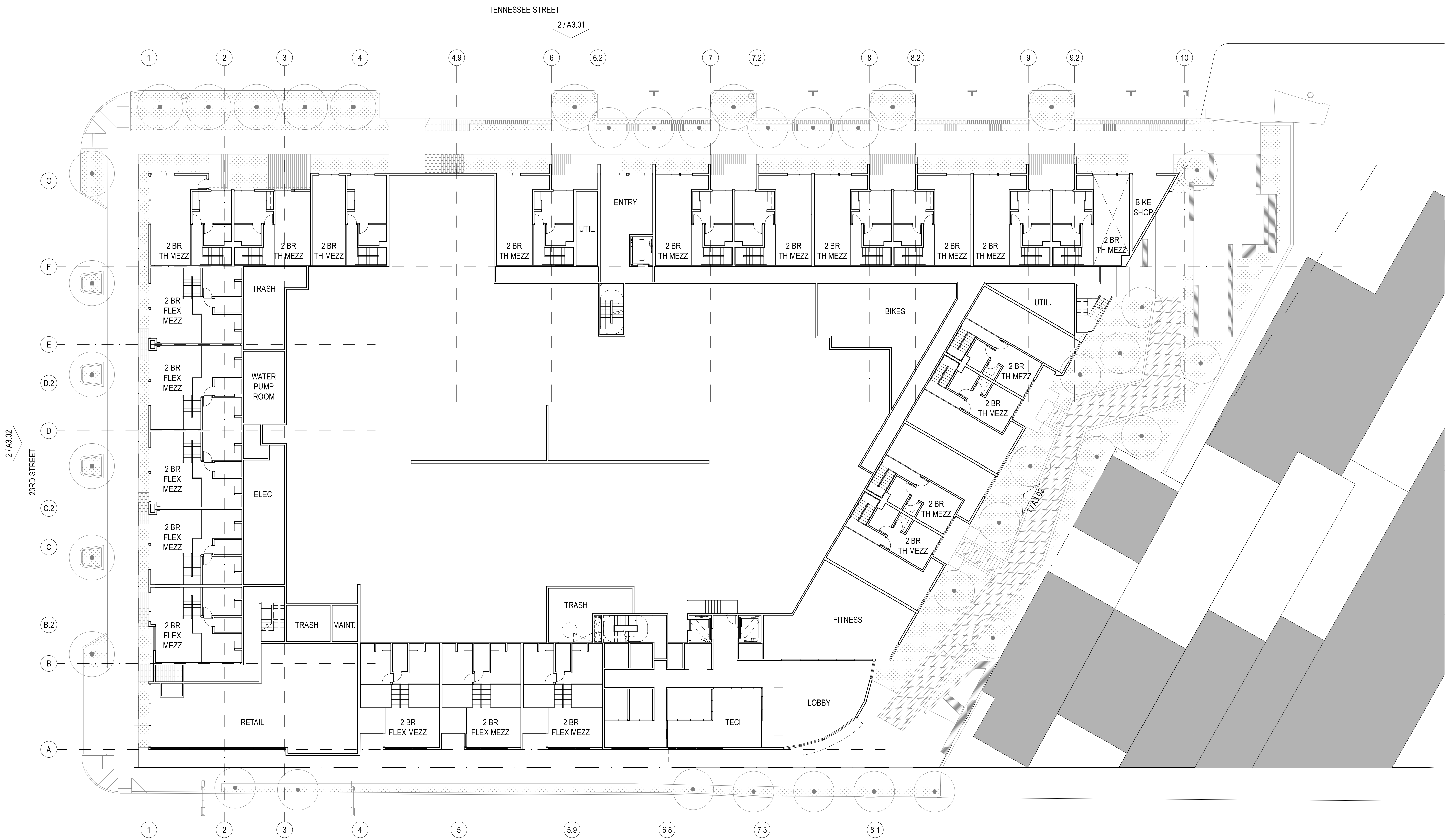
architect of record: Kenny Knox
 Devcon Construction, Inc.
 690 Gibraltar Drive
 Milpitas, CA 95035
 p: 408.942.8200

consultants: Civil Engineer:
 Landscape Architect:
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 FLETCHER STUDIO
 LANDSCAPE ARCHITECTURE
 2339 3rd St, suite 48R, floor 3R
 San Francisco 94107
 p: 415.431.7878
 f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



2 / A3.02
 23RD STREET

TENNESSEE STREET
 2 / A3.01

3RD STREET
 1 / A3.01

01 floor plan
 00 04 08 12 16 20 24 28 32 36

keynotes
 2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

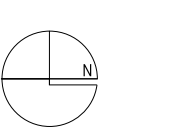
legend
 TH - TOWNHOUSE UNIT
 MEZZ - MEZZANINE LEVEL OF TOWNHOUSE UNIT

no:	date:	issue:
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02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

ground floor mezzanine plan

A2.01b



scale: 1/16"=1'-0"

project name: 1201 Tennessee
 project number: 20126

Fougeron Architecture
 140 Geary St. 8th Floor
 San Francisco, CA 94108
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 f: 415.282.6434

1201 Tennessee

1201 TENNESSEE ST
 SAN FRANCISCO, CA 94107

client: Jesse Herzog
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 San Francisco, CA 94104
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architect of record: Kenny Knox
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 Milpitas, CA 95035
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consultants: Civil Engineer:
 Landscape Architect:
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 f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



no:	date:	issue:
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01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

01 floor plan
 00 04 08 12 16 20 24 28 32 36

keynotes

2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend

TH - TOWNHOUSE UNIT
 MEZZ - MEZZANINE LEVEL OF TOWNHOUSE UNIT

Note: Subject to changes during construction drawings and building permit review.

second floor plan

A2.02

scale: 1/16"=1'-0"

project name: 1201 Tennessee
 project number: 20126

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1201 Tennessee

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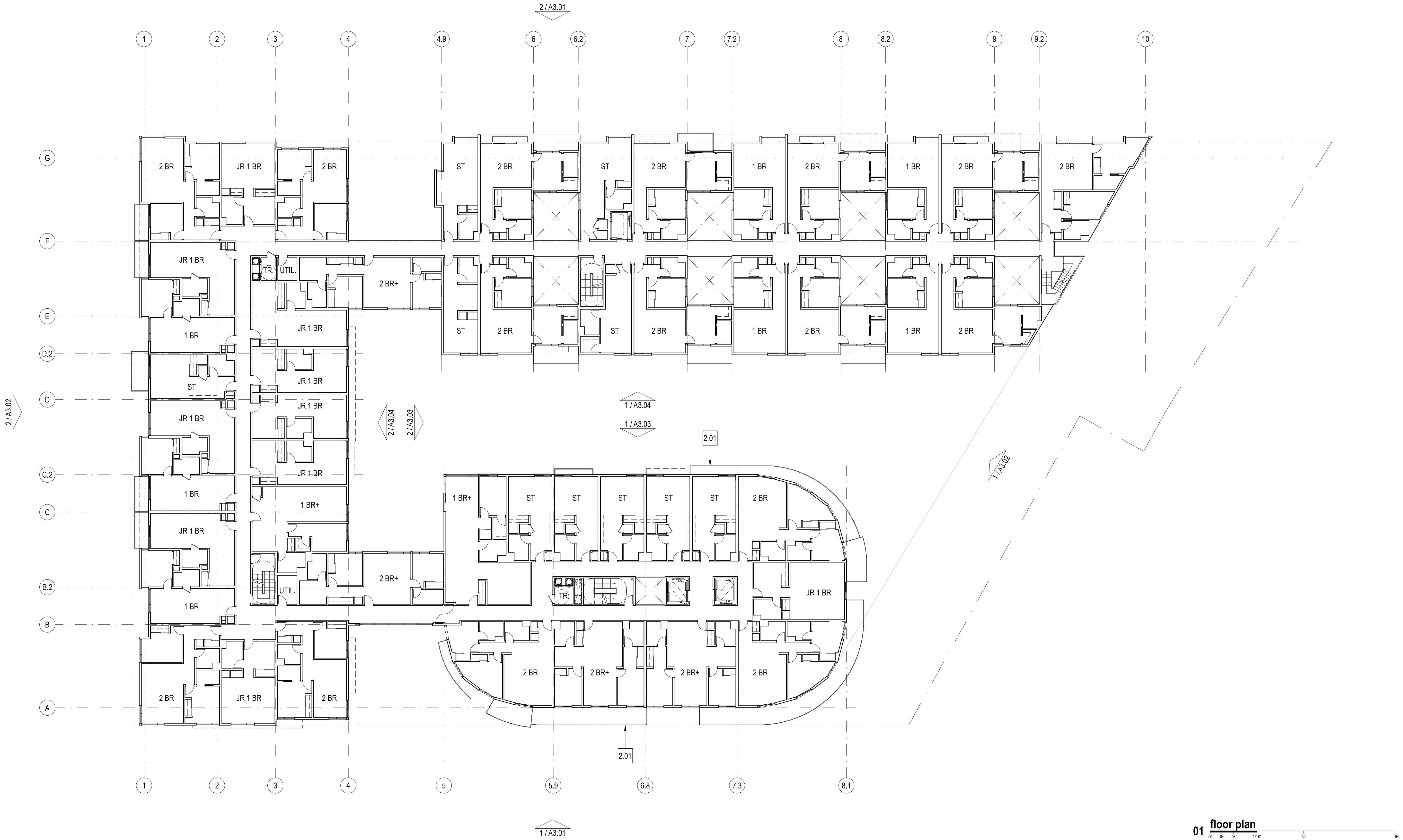
architect of record: Kenny Knox
 Devcon Construction, Inc.
 690 Gibraltar Drive
 Milpitas, CA 95035
 p. 408.942.8200

consultants: Civil Engineer:
 Landscape Architect:
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 f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



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01	05.22.13	large project authorization revision
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	02.14.14	large project authorization rev 3

01 floor plan
 00 04 08 12 16 20 24 28 32 36

keynotes

2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

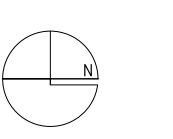
legend

TH - TOWNHOUSE UNIT
 MEZZ - MEZZANINE LEVEL OF TOWNHOUSE UNIT

Note: Subject to changes during construction drawings and building permit review.

third floor plan

A2.03



scale: 1/16"=1'-0"

project name: 1201 Tennessee
 project number: 20126

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 f: 415.282.6434

1201 Tennessee
 1201 TENNESSEE ST
 SAN FRANCISCO, CA 94107

client: Jesse Herzog
 Avant Housing, LLC
 100 Bush Street, Floor 22
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 p: 415.474.2800

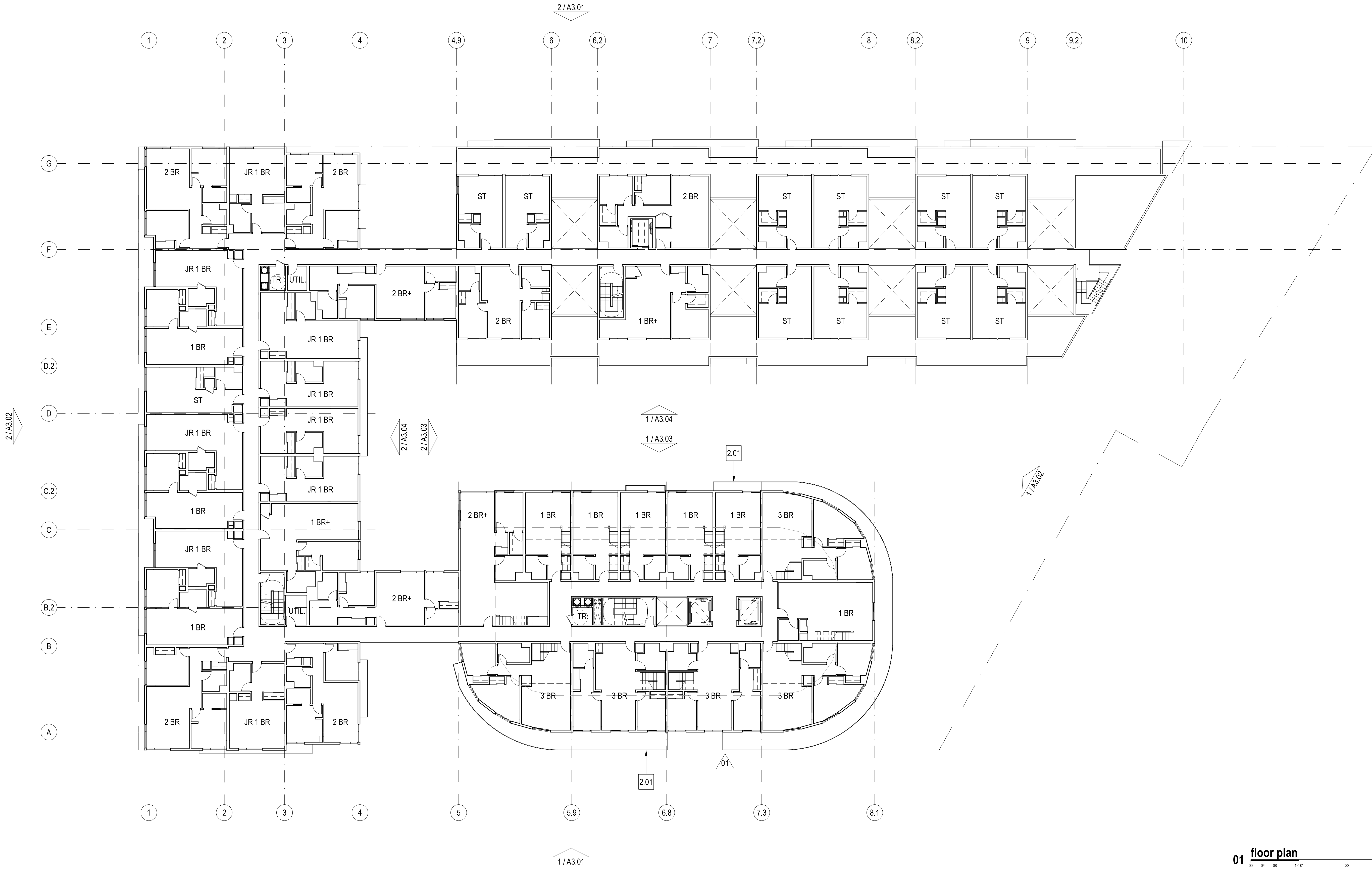
architect of record: Kenny Knox
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 690 Gibraltar Drive
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 p: 408.942.8200

consultants: Civil Engineer:
 Landscape Architect:
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 f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



no:	date:	issue:
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	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
	02.14.14	large project authorization rev 3

01 floor plan
 00 04 08 12 16 20 24 28 32 36 40

keynotes

2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend

TH - TOWNHOUSE UNIT
 MEZZ - MEZZANINE LEVEL OF TOWNHOUSE UNIT

Note: Subject to changes during construction drawings and building permit review.

sixth floor plan

A2.06

scale: 1/16"=1'-0"

project name: 1201 Tennessee
 project number: 20126

client: Jesse Herzog
Avant Housing, LLC
100 Bush Street, Floor 22
San Francisco, CA 94104
p. 415.474.2800

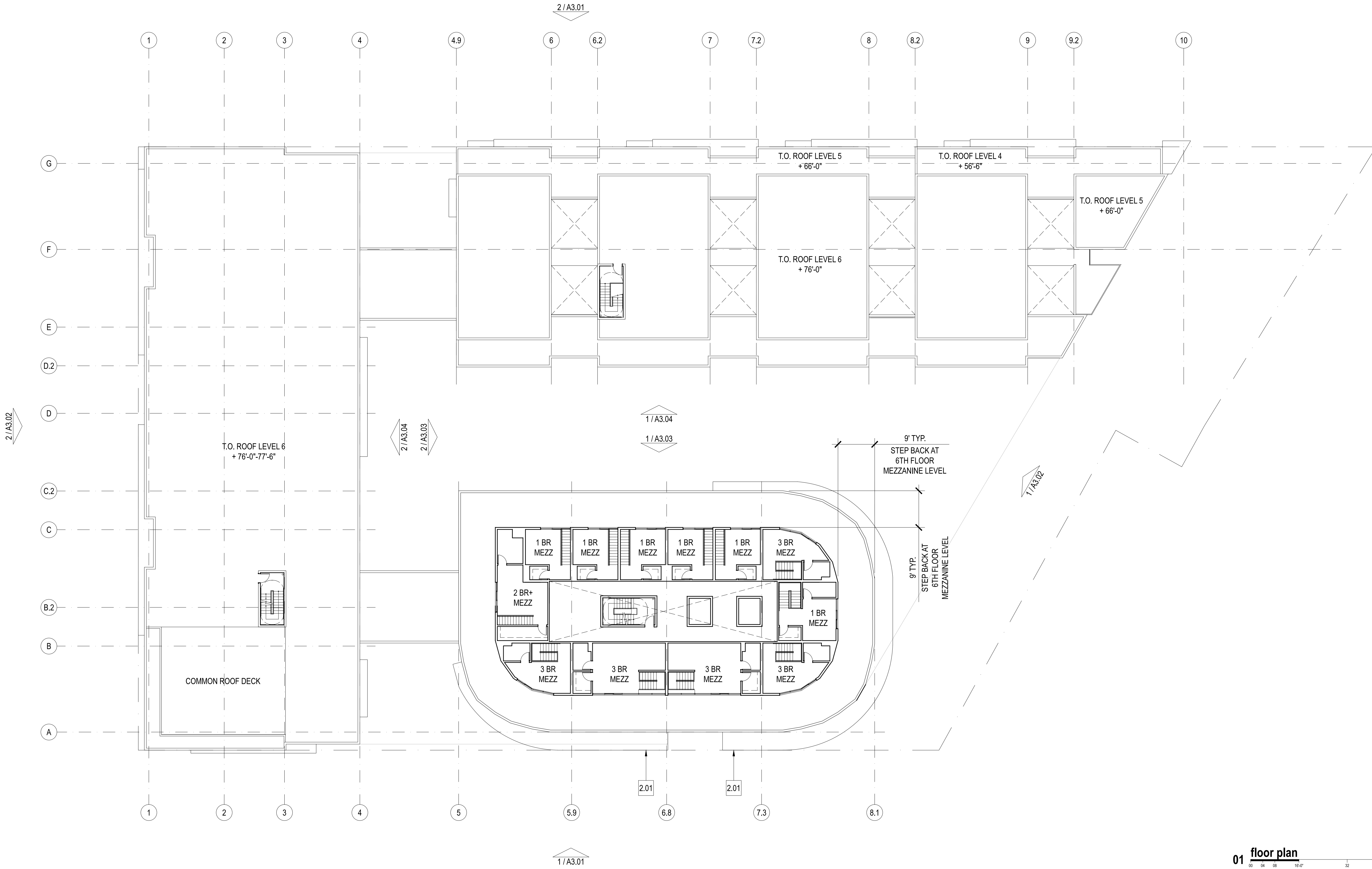
architect of record: Kenny Knox
Devcon Construction, Inc.
690 Gibraltar Drive
Milpitas, CA 95035
p. 408.942.8200

consultants: Civil Engineer:
FLETCHER STUDIO
LANDSCAPE ARCHITECTURE
Landscape Architect:
Fletcher Studio
2339 3rd St, suite 48R, floor 3R
San Francisco 94107
p: 415.431.7878
f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



01 floor plan
00 04 08 12 16 20 24 28 32 36 40

keynotes

2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend

TH - TOWNHOUSE UNIT
MEZZ - MEZZANINE LEVEL OF TOWNHOUSE UNIT

no:	date:	issue:
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01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

sixth floor mezzanine plan

A2.06b

scale: 1/16"=1'-0"

project name: 1201 Tennessee
project number: 20126

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client: Jesse Herzog
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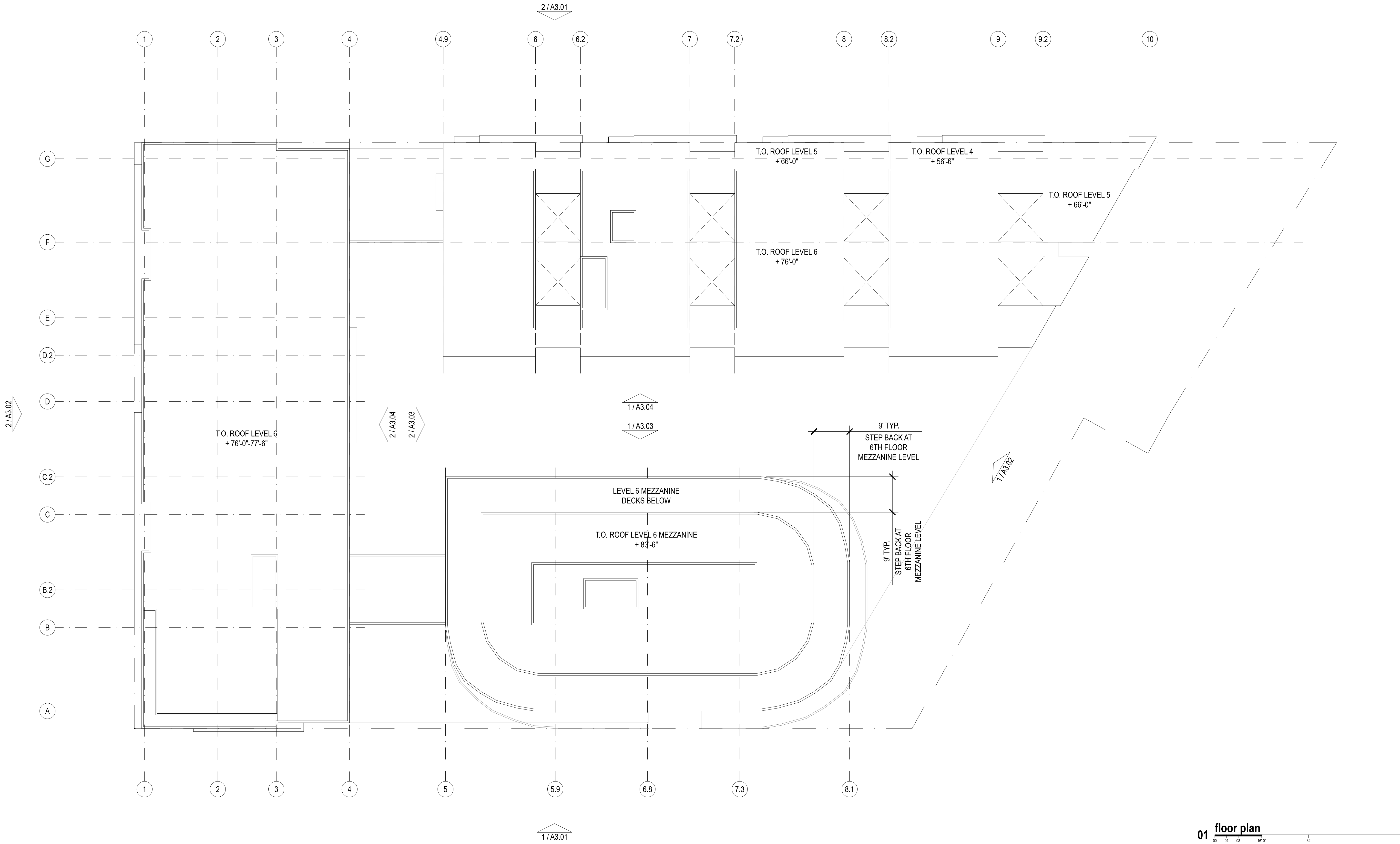
architect of record: Kenny Knox
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consultants: Civil Engineer:
 Landscape Architect:
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 Fletcher Studio
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Structural Engineer:

MEP Engineer:

Code Consultant:



01 floor plan

keynotes

2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend

TH - TOWNHOUSE UNIT
 MEZZ - MEZZANINE LEVEL OF TOWNHOUSE UNIT

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03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

roof plan

A2.07

scale: 1/16"=1'-0"

project name: 1201 Tennessee
 project number: 20126

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1201 Tennessee
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client: Jesse Herzog
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consultants: Civil Engineer:
Landscape Architect:
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Structural Engineer:

MEP Engineer:

Code Consultant:



no:	date:	issue:
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01	05.22.13	large project authorization revision
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03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

exterior elevations

A3.01

scale: 1/16"=1'-0"

project name: 1201 Tennessee
project number: 20126

keynotes

- 3.07 HORIZONTAL WOOD SIDING
- 3.08 GUARDRAIL AT STOOP

- 3.01 CEMENT PLASTER - PAINTED OR INTEGRAL COLOR
- 3.02 PLANTER
- 3.03 AWNING
- 3.04 CORRUGATED METAL SIDING, PERFORATED OR SOLID DEPENDING ON LOCATION
- 3.05 PERFORATED CORRUGATED METAL GUARDRAIL
- 3.06 WIRE SCREEN WALL AT STAIRS

general notes

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architect of record: Kenny Knox
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consultants: Civil Engineer:
FLETCHER STUDIO
LANDSCAPE ARCHITECTURE
Landscape Architect:
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p: 415.431.7878
f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



no:	date:	issue:
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01	05.22.13	large project authorization revision
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03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

exterior elevations

A3.02

scale: 1/16"=1'-0"

project name: 1201 Tennessee
project number: 20126

keynotes

- 3.07 HORIZONTAL WOOD SIDING
- 3.08 GUARDRAIL AT STOOP

general notes

- 3.01 CEMENT PLASTER - PAINTED OR INTEGRAL COLOR
- 3.02 PLANTER
- 3.03 AWNING
- 3.04 CORRUGATED METAL SIDING, PERFORATED OR SOLID DEPENDING ON LOCATION
- 3.05 PERFORATED CORRUGATED METAL GUARDRAIL
- 3.06 WIRE SCREEN WALL AT STAIRS

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Structural Engineer:

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Code Consultant:



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keynotes

general notes

- 3.01 CEMENT PLASTER - PAINTED OR INTEGRAL COLOR
- 3.02 PLANTER
- 3.03 AWNING
- 3.04 CORRUGATED METAL SIDING, PERFORATED OR SOLID DEPENDING ON LOCATION
- 3.05 PERFORATED CORRUGATED METAL GUARDRAIL
- 3.06 WIRE SCREEN WALL AT STAIRS
- 3.07 HORIZONTAL WOOD SIDING
- 3.08 GUARDRAIL AT STOOP

Note: Subject to changes during construction drawings and building permit review.

courtyard building elevations

A3.03

scale: 1/16"=1'-0"
 project name: 1201 Tennessee
 project number: 20126

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1201 Tennessee

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architect of record: Kenny Knox
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Structural Engineer:

MEP Engineer:

Code Consultant:



02 south courtyard elevation



01 east courtyard elevation

no:	date:	issue:
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01	05.22.13	large project authorization revision
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keynotes

general notes

- 3.01 HORIZONTAL WOOD SIDING
- 3.02 GUARDRAIL AT STOOP
- 3.01 CEMENT PLASTER - PAINTED OR INTEGRAL COLOR
- 3.02 PLANTER
- 3.03 AWNING
- 3.04 CORRUGATED METAL SIDING, PERFORATED OR SOLID DEPENDING ON LOCATION
- 3.05 PERFORATED CORRUGATED METAL GUARDRAIL
- 3.06 WIRE SCREEN WALL AT STAIRS

Note: Subject to changes during construction drawings and building permit review.

courtyard building elevations

A3.04

scale: 1/16"=1'-0"

project name: 1201 Tennessee
 project number: 20126



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consultants: Civil Engineer:
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LANDSCAPE ARCHITECTURE
Landscape Architect:
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Structural Engineer:

MEP Engineer:

Code Consultant:

no:	date:	issue:
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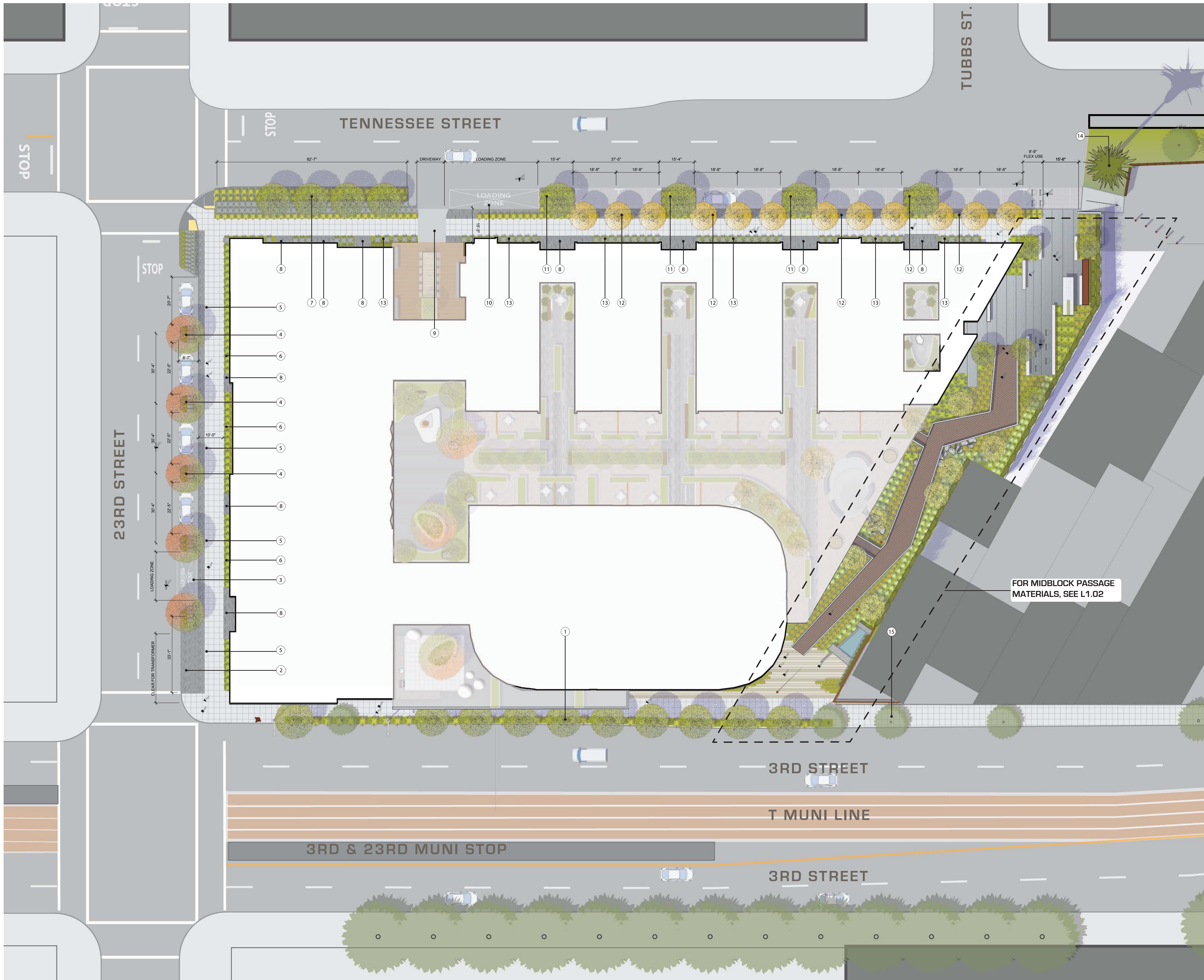
Note: Subject to changes during construction drawings and building permit review.

enlarged elevations

A5.01

scale: 1/4"=1'-0"

project name: 1201 Tennessee
project number: 20126



KEY NOTES

- ① PLANTING STRIP AND STREET TREES ON THIRD
TREE SPECIES: TRISTANIA CONFERTA (BRISBANE BOX)
PLANT TYPES: DROUGHT TOLERANT GRASSES AND PERENNIALS
- ② CORNER BULBOUT 23RD AND THIRD
TREE SPECIES: ROBINA PSEUDOACACIA (BLACK LOCUST)
PLANT TYPES: DROUGHT TOLERANT HGRASSES AND PERENNIALS
- ③ LOADING ZONE ON 23RD
- ④ STORMWATER PLANTING TREE WELLS
TREE SPECIES: ROBINA PSEUDOACACIA (BLACK LOCUST)
PLANT TYPES: STORM WATER PLANTER GRASSES AND PERENNIALS
- ⑤ SIDEWALK PLANTING AND COURTESY STRIP ON 23RD
PLANT TYPES: DROUGHT TOLERANT GRASSES AND PERENNIALS
HARDSCAPE: PERMEABLE PAVERS
- ⑥ FLOW-THROUGH SIDEWALK PLANTING ON 23RD
PLANT TYPES: FLOW-THROUGH PLANTER GRASSES AND PERENNIALS
- ⑦ CORNER BULBOUT AT 23RD AND TENNESSEE
TREE SPECIES: TRISTANIA CONFERTA (BRISBANE BOX)
PLANT TYPES: STORM WATER PLANTER GRASSES AND PERENNIALS
- ⑧ RESIDENTIAL ENTRY
HARDSCAPE: STEPSTONE NARROW MODULAR PAVERS
- ⑨ DRIVEWAY
- ⑩ LOADING AREA ON TENNESSEE
LOADING ZONE: PAINTED CONCRETE
COURTESY STRIP: PERMEABLE PAVERS
- ⑪ PLANTED CURB EXTENSIONS ON TENNESSEE
TREE SPECIES: TRISTANIA CONFERTA (BRISBANE BOX)
PLANT TYPES: DROUGHT TOLERANT GRASSES AND PERENNIALS
- ⑫ PLANTING WITH COURTESY STRIPS ON TENNESSEE
TREE SPECIES: GINKGO BILOBA (GINKGO)
PLANT TYPES: DROUGHT TOLERANT GRASSES AND PERENNIALS
HARDSCAPE: PERMEABLE PAVERS
- ⑬ SIDEWALK PLANTING ON TENN
PLANT TYPES: FLOW-THROUGH PLANTER GRASSES AND PERENNIALS
- ⑭ EXISTING PALM
- ⑮ EXISTING TRISTANIA CONFERTA STREET TREES

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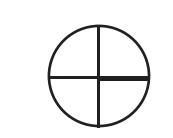
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MEP Engineer:
Code Consultant:

no:	date:	issue:
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Note: Subject to changes during construction drawings and building permit review.

L1.01
STREETSCAPE SITE PLAN

scale:
project name: 1201 Tennessee
project number: 20126



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1201 Tennessee

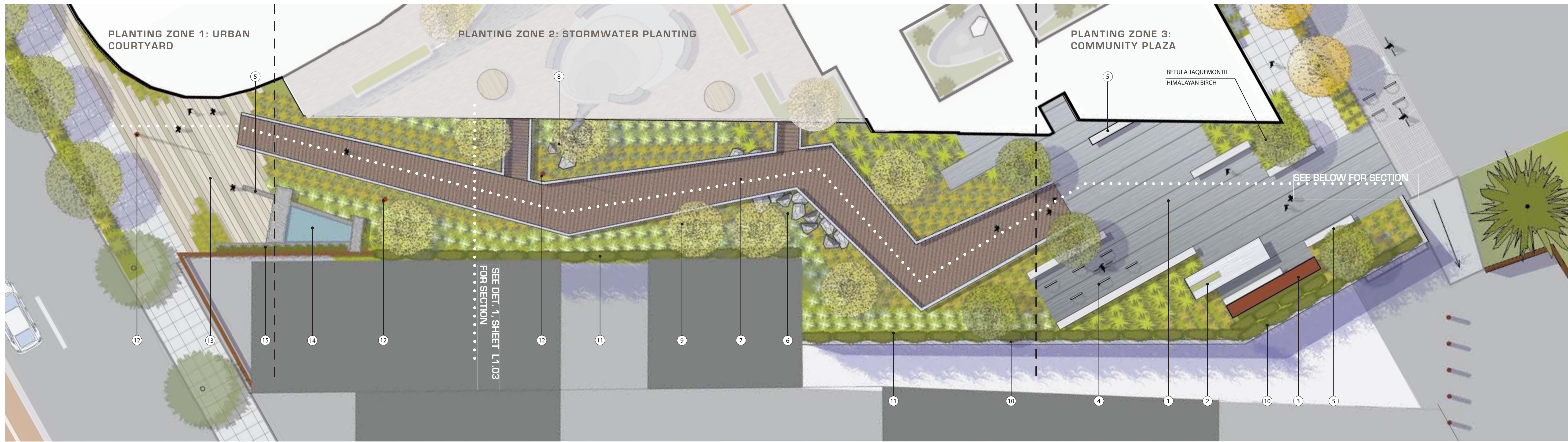
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 San Francisco 94107
 p: 415.431.7878
 f: 415.814.2909

Structural Engineer:
 MEP Engineer:
 Code Consultant:



KEY NOTES

- | | | |
|---|---|---|
| <p>1 COMMUNITY PLAZA
 HARDSCAPE: PIP CONCRETE WITH CUSTOM SCORING AND CUSTOM SURFACE FINISH</p> <p>2 COMMUNITY WORK / GATHERING TABLE</p> <p>3 URBAN OUTDOOR LIBRARY</p> <p>4 BIKE RACKS</p> <p>5 SEAT WALLS</p> <p>6 NATURAL STONE RIP RAP</p> <p>7 RAISED WOOD DECK BOARDWALK</p> <p>8 STORMWATER CISTERN</p> | <p>9 STORMWATER BIO-INFILTRATION SWALE
 MATERIAL: COBBLE AND GRAVEL
 PLANT TYPES: SWALE GRASSES AND PERENNIALS</p> <p>10 RETAINING WALL</p> <p>11 BAMBOO PLANTING SCREEN</p> <p>12 SCULPTURAL PEDESTRIAN LIGHTING</p> <p>13 URBAN COURTYARD
 HARDSCAPE: STEPSTONE LARGE SCALE NARROW MODULAR</p> <p>14 WATER FEATURE W/ NATIVE PLANTS
 PLANT TYPE: WETLAND PERENNIALS</p> <p>15 DECORATIVE WALL</p> | <p>PLANTING</p> <p>ZONE 1 PLANTING
 PLANT TYPES: HABITAT GRASSES AND PERENNIALS</p> <p>ZONE 2 PLANTING
 TREE SPECIES: ALNUS RUBRA (RED ALDER)
 PLANT TYPES: SWALE GRASSES AND PERENNIALS</p> <p>ZONE 3 PLANTING
 TREE SPECIES: BETULA UTILIS VAR. JAQUEMONTII (HIMALAYAN BIRCH)
 PLANT SPECIES: DROUGHT TOLERANT HABITAT GRASSES AND PERENNIALS</p> |
|---|---|---|

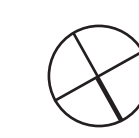


no:	date:	issue:
	03.07.13	100% concept design
	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

L1.02
 MBP ENLARGEMENT PLAN

scale:
 project name: 1201 Tennessee
 project number: 20126



Fougeron Architecture
 140 Geary St. 8th Floor
 San Francisco, CA 94108
 p: 415.641.5744
 f: 415.282.6434

1201 Tennessee

1201 TENNESSEE ST
 SAN FRANCISCO, CA 94107

client: Jesse Herzog
 Avant Housing, LLC
 100 Bush Street, Floor 22
 San Francisco, CA 94104
 p. 415.474.2800

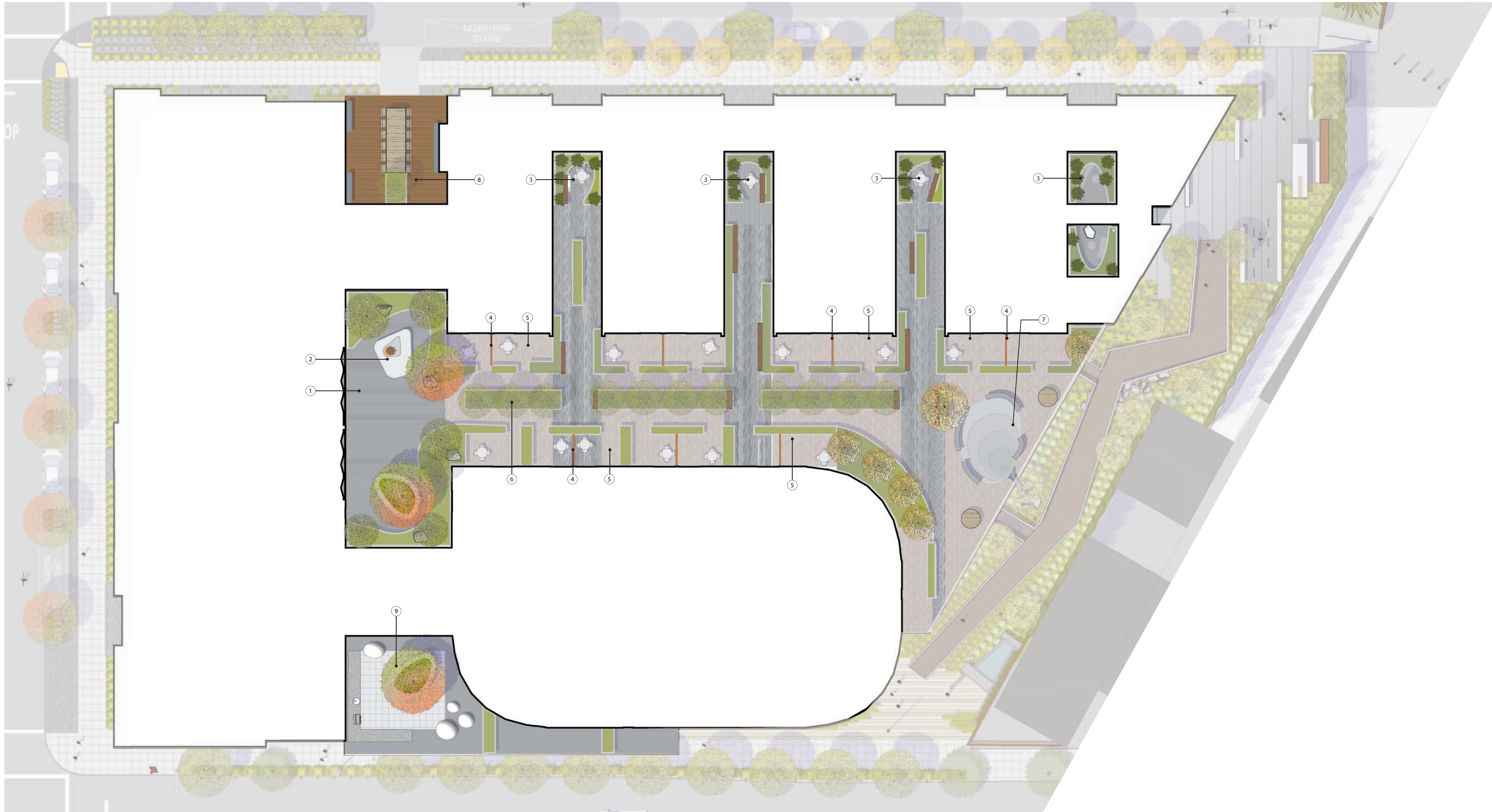
architect of record: Kenny Knox
 Devcon Construction, Inc.
 690 Gibraltar Drive
 Milpitas, CA 95035
 p. 408.942.8200

consultants: Civil Engineer:
 Landscape Architect:
FLETCHER STUDIO
 LANDSCAPE ARCHITECTURE
 Fletcher Studio
 2339 3rd St, suite 48R, floor 3R
 San Francisco 94107
 p: 415.431.7878
 f: 415.814.2909

Structural Engineer:

MEP Engineer:

Code Consultant:



KEY NOTES

- | | |
|---|--|
| <p>① CLUB HOUSE TERRACE
 HARDSCAPE: INTEGRAL COLORED CONCRETE
 RAISED PLANTING BEDS
 TREE SPECIES: CORNUS KOUSA
 PLANT TYPES: HABITAT GRASSES AND PERENNIALS</p> <p>② CLUB HOUSE TERRACE FIRE FEATURE</p> <p>③ OPEN AIR COURTYARDS
 HARDSCAPE: PRECAST CONCRETE PAVERS
 RAISED PLANTING BED
 PLANT TYPES: SHADE TOLERANT BAMBOO & FERNS</p> <p>④ PRIVACY SCREENS</p> <p>⑤ UNIT PATIOS
 PLANT TYPES: DROUGHT TOLERANT GRASSES AND PERENNIALS</p> | <p>⑥ MEWS
 RAISED PLANTING BED
 TREE SPECIES: CERCIS OCCIDENTALIS (WESTERN REDBUD)
 PLANT TYPES: DROUGHT TOLERANT HABITAT GRASSES AND PERENNIALS</p> <p>⑦ RAINWATER SCULPTURE TERRACE</p> <p>⑧ SUNSET TERRACE
 HARDSCAPE: PRECAST CONCRETE PAVERS
 PLANT TYPES: SHADE TOLERANT TREE AND PERENNIALS</p> <p>⑨ BAY LIGHTS TERRACE
 HARDSCAPE: PRECAST CONCRETE PAVERS
 PLANT TYPES: DROUGHT TOLERANT GRASSES AND PERENNIALS</p> |
|---|--|

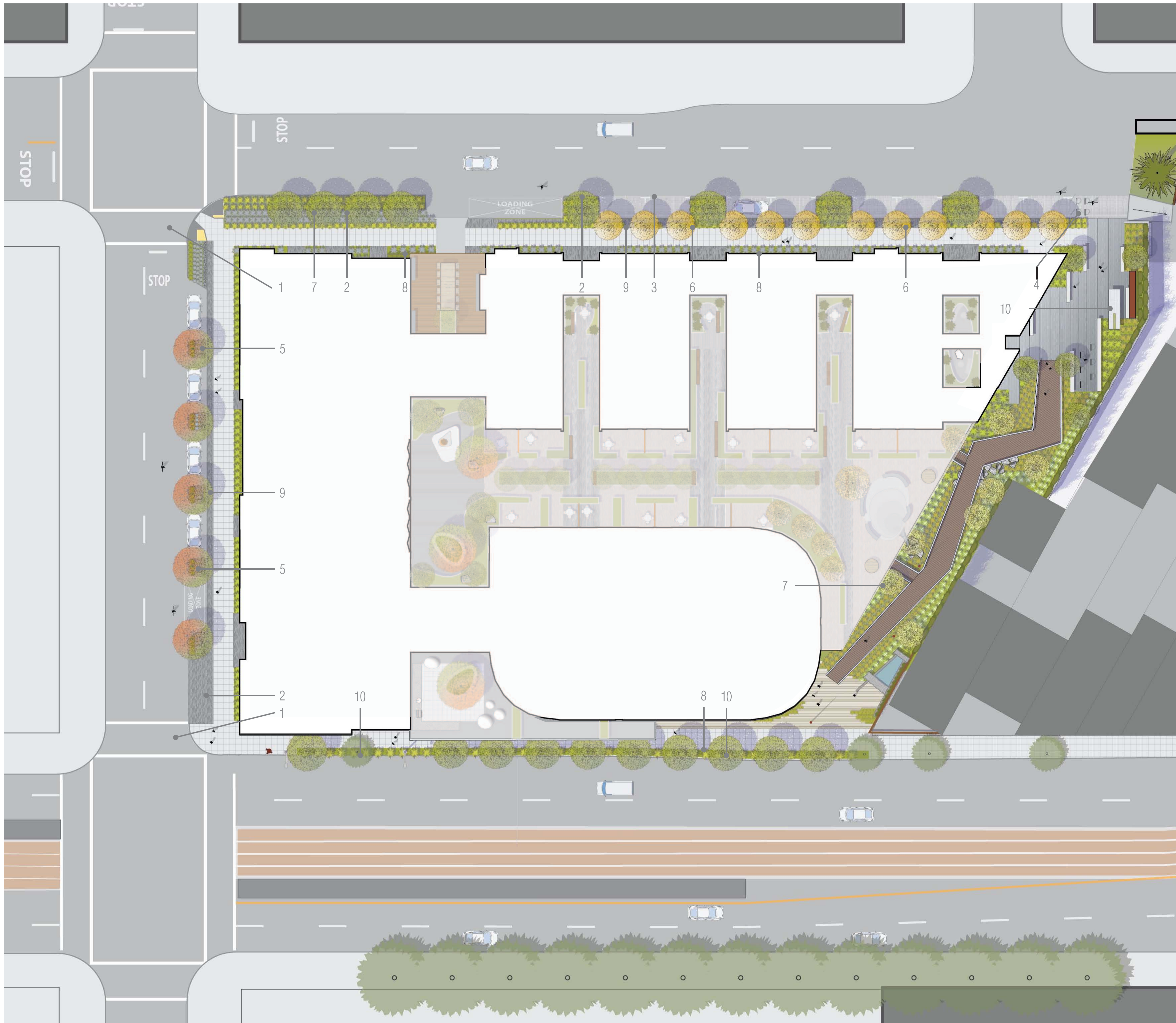
no:	date:	issue:
	03.07.13	100% concept design
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01	05.22.13	large project authorization revision
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03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

L1.03
 LANDSCAPE ON STRUCTURE DD



scale:
 project name: 1201 Tennessee
 project number: 20126



-  1 - POTENTIAL HIGH VISIBILITY CROSSWALKS (5.1)
-  2 - PROPOSED EXTENDED BULB-OUT (5.2)
-  3 - PROPOSED PARKING LANE PLANTERS (5.6)
-  4 - POTENTIAL FLEXIBLE USE OF PARKING LANE (5.6)
-  5 - PROPOSED STORMWATER CONTROL MEASURES (6.2)
-  6 - PROPOSED SPECIAL PAVING IN FURNITURE ZONE (6.4)
-  7 - PROPOSED STREET TREES (6.1)
-  8 - PROPOSED SIDEWALK PLANTERS (6.1)
-  9 - PROPOSED SITE FURNISHING (6.5)
-  10 - PROPOSED LOADING ZONE (6.5)

Fougeron Architecture
 140 Geary St. 8th Floor
 San Francisco, CA 94108
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1201 Tennessee

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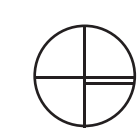
consultants: Civil Engineer:
 Landscape Architect:
FLETCHER STUDIO
 FLETCHER STUDIO
 LANDSCAPE ARCHITECTURE
 2339 3rd St, suite 48R, floor 3R
 San Francisco 94107
 p: 415.431.7878
 f: 415.814.2909

Structural Engineer:
 MEP Engineer:
 Code Consultant:

no:	date:	issue:
	03.07.13	100% concept design
	04.11.13	large project authorization
01	05.22.13	large project authorization revision
02	10.24.13	large project authorization rev 2
03	02.14.14	large project authorization rev 3

Note: Subject to changes during construction drawings and building permit review.

L1.04
 BETTER STREETS PLAN ELEMENTS

scale: 

project name: 1201 Tennessee
 project number: 20126

Affidavit for Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415

1/13/2014

Date

I, Eric Tao, do hereby declare as follows:

a. The subject property is located at (address and block/lot):

1201 Tennessee Street

4172 / 022

Address

Block / Lot

b. The proposed project at the above address is subject to the Inclusionary Affordable Housing Program, Planning Code Section 415 et seq.

The Planning Case Number and/or Building Permit Number is:

2012.0493

201312234917

Planning Case Number

Building Permit Number

This project requires the following approval:

Planning Commission approval (e.g. Conditional Use Authorization, Large Project Authorization)

This project is principally permitted.

The Current Planner assigned to my project within the Planning Department is:

Rich Sucre

Planner Name

Is this project within the Eastern Neighborhoods Plan Area?

Yes (if yes, please indicate Tier)

B

13% per 419.5(b)(1)

No

This project is exempt from the Inclusionary Affordable Housing Program because:

This project uses California Debt Limit Allocation Committee (CDLAC) funding.

This project is 100% affordable.

c. This project will comply with the Inclusionary Affordable Housing Program by:

Payment of the Affordable Housing Fee prior to the first site or building permit issuance (Planning Code Section 415.5).

On-site or Off-site Affordable Housing Alternative (Planning Code Sections 415.6 and 416.7).

d. If the project will comply with the Inclusionary Affordable Housing Program through an **On-site** or **Off-site Affordable Housing Alternative**, please fill out the following regarding how the project is eligible for an alternative and the accompanying unit mix tables on page 4.

- Ownership.** All affordable housing units will be sold as ownership units and will remain as ownership units for the life of the project.
- Rental.** Exemption from Costa Hawkins Rental Housing Act.² The Project Sponsor has demonstrated to the Department that the affordable units are not subject to the Costa Hawkins Rental Housing Act, under the exception provided in Civil Code Sections 1954.50 through one of the following:
 - Direct financial contribution from a public entity.
 - Development or density bonus or other public form of assistance.
 - Development Agreement with the City. The Project Sponsor has entered into or has applied to enter into a Development Agreement with the City and County of San Francisco pursuant to Chapter 56 of the San Francisco Administrative Code and, as part of that Agreement, is receiving a direct financial contribution, development or density bonus, or other form of public assistance.

e. The Project Sponsor acknowledges that failure to sell the affordable units as ownership units or to eliminate the on-site or off-site affordable ownership-only units at any time will require the Project Sponsor to:

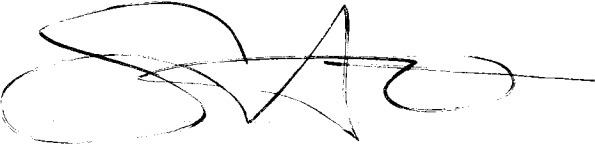
- (1) Inform the Planning Department and the Mayor's Office of Housing and, if applicable, fill out a new affidavit;
- (2) Record a new Notice of Special Restrictions; and
- (3) Pay the Affordable Housing Fee plus applicable interest (using the fee schedule in place at the time that the units are converted from ownership to rental units) and any applicable penalties by law.

f. The Project Sponsor must pay the Affordable Housing Fee in full sum to the Development Fee Collection Unit at the Department of Building Inspection for use by the Mayor's Office of Housing prior to the issuance of the first construction document, with an option for the Project Sponsor to defer a portion of the payment to prior to issuance of the first certificate of occupancy upon agreeing to pay a deferral surcharge that would be deposited into the Citywide Affordable Housing Fund in accordance with Section 107A.13.3 of the San Francisco Building Code.

g. I am a duly authorized officer or owner of the subject property.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.
Executed on this day in:

Location San Francisco

Signature 

Name (Print), Title Eric Tao / MANAGING PRINCIPAL

Date 2/21/14

cc: Mayor's Office of Housing
Planning Department Case Docket
Historic File, if applicable
Assessor's Office, if applicable

415-775-7005
Contact Phone Number

Unit Mix Tables

NUMBER OF ALL UNITS IN PRINCIPAL PROJECT:					
Total Number of Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units
259		99	49	105	6

If you selected an On-site or Off-Site Alternative, please fill out the applicable section below:

- On-site Affordable Housing Alternative (Charter Section 16.110 (g) and Planning Code Section 415.6):
calculated at 12% of the unit total. 13% per 419.5 (b) (1)

NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units
34		13	6	14	1

- Off-site Affordable Housing Alternative (Planning Code Section 415.7): calculated at 20% of the unit total.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

Area of Dwellings in Principal Project (in sq. feet)	Off-Site Project Address				
Area of Dwellings in Off-Site Project (in sq. feet)					
Off-Site Block/Lot(s)	Motion No. (if applicable)			Number of Market-Rate Units in the Off-site Project	

- Combination of payment of a fee, on-site affordable units, or off-site affordable units with the following distribution:
Indicate what percent of each option would be implemented (from 0% to 99%) and the number of on-site and/or off-site below market rate units for rent and/or for sale.

1. Fee _____ % of affordable housing requirement.
2. On-Site _____ % of affordable housing requirement.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

3. Off-Site _____ % of affordable housing requirement.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

Area of Dwellings in Principal Project (in sq. feet)	Off-Site Project Address				
Area of Dwellings in Off-Site Project (in sq. feet)					
Off-Site Block/Lot(s)	Motion No. (if applicable)			Number of Market-Rate Units in the Off-site Project	

Affidavit for Compliance with the Inclusionary Affordable Housing Program

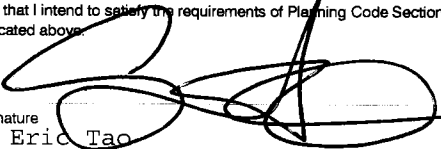
CONTACT INFORMATION AND DECLARATION OF SPONSOR OF PRINCIPAL PROJECT	CONTACT INFORMATION AND DECLARATION OF SPONSOR OF OFF-SITE PROJECT (IF DIFFERENT)
Company Name AGI Capital	Company Name
Print Name of Contact Person Jesse Herzog	Print Name of Contact Person
Address 100 Bush Street, 22nd Floor	Address
City, State, Zip San Francisco, Ca 94104	City, State, Zip
Phone, Fax (T) 415-775-7005, (F) 415-775-7002	Phone, Fax
Email jherzog@agicapital.com	Email
I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.	I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.
Signature  Eric Tao	Signature
Name (Print), Title	Name (Print), Title

EXHIBIT D

Print Form



**SAN FRANCISCO
PLANNING
DEPARTMENT**

AFFIDAVIT FOR First Source Hiring Program Administrative Code Chapter 83

Planning Department
1650 Mission Street
Suite 400
San Francisco, CA
94103-9425

T: 415.558.6378
F: 415.558.6409

For all projects subject to Administrative Code Chapter 83, this completed form must be filed with the Planning Department prior to any Planning Commission hearing or, if principally permitted, Planning Department approval of the site permit.

PROJECT ADDRESS	BLOCK/LOT(S)
1201 Tennessee Street	4172/022

BUILDING PERMIT APPLICATION NO.	CASE NO. (IF APPLICABLE)	MOTION NO.
201312234917	2012.0493	

Please check the boxes below that are applicable to this project. Select all that apply.

- 1A. The project is wholly residential.
- 1B. The project is wholly commercial. (For the purposes of Administrative Code Chapter 83, any project that is not residential is considered to be a commercial activity.)
- 1C. The project is a mixed use.
- 2A. The project will create ten (10) or more new residential units.
- 2B. The project will create 25,000 square feet or more of new or additional gross floor area.
- 3A. The project will create less than ten (10) new residential units.
- 3B. The project will create less than 25,000 square feet of new or additional gross floor area.

If you checked either 2A or 2B, your project is subject to the First Source Hiring Program. Please contact the First Source Hiring Program Manager with the San Francisco Human Services Agency's Workforce Development Division to develop a contract to satisfy this requirement.

If you checked 3A and 3B, your project is not subject to the First Source Hiring Program.

For questions, please contact the First Source Hiring Manager at (415) 401-4960. For frequently asked questions, you may access First Source information at www.onestopsf.org

Affidavit for First Source Hiring Program

Contact Information and Declaration of Sponsor of Principal Project

NAME:

Jesse Herzog

ADDRESS:

AGI Capital / **AVANT**
100 Bush Street, 22nd Floor
San Francisco, Ca 94104

TELEPHONE:

(415) 775-7005

FAX:

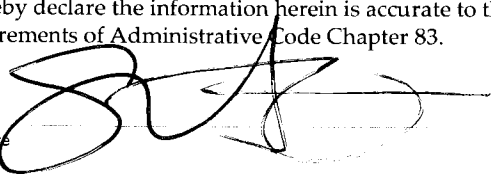
(415) 775-7002

EMAIL:

jherzog@agicapital.com

I hereby declare the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Administrative Code Chapter 83.

Signature



Date

2/21/14

Sucre, Richard (CPC)

From: Bollinger, Brett (CPC)
Sent: Monday, April 07, 2014 10:13 AM
To: Danielle Hayes
Cc: Sucre, Richard (CPC)
Subject: RE: 1201 Tennessee Street

Rich,
I just spoke with Danielle regarding the upcoming May 1st hearing for the project. She had a couple of questions about the DR process for the project and I wasn't sure about when DR can be filed for the project, or if this project is even subject to it since it is going before the Planning Commission.

-----Original Message-----

From: Danielle Hayes [<mailto:danielle.hayes@me.com>]
Sent: Friday, April 04, 2014 3:25 PM
To: Bollinger, Brett (CPC)
Subject: 1201 Tennessee Street

Hi Brett,

Are you able to tell me at what stage of the application process the proposed development at 1201 Tennessee Street is at?

I am a direct neighbor to this project and I do have some concerns about it which I am speaking about with the Developer. But I want to ensure I do not miss my opportunity to express my concerns to the City if they are not addressed.

Is there a Discretionary Review date proposed for this application?

Thanks,
Danielle Hayes
415 490 8417

Sucre, Richard (CPC)

From: hestor@earthlink.net
Sent: Tuesday, April 15, 2014 6:08 PM
To: Sucre, Richard (CPC); Cindy Wu
Cc: Boss; Tony Kelly; Keith Goldstein; Fernando Marti; Banales, Julian (CPC); JR Eppler; Joslin, Jeff (CPC); Ionin, Jonas (CPC); Sue Hestor
Subject: Office of Commission Affairs inquiry and objection to not releasing report 2 weeks in advance

Please specify the exact membership - by name and position in the Department - of the Office of Commission Affairs.

Also please provide a Dept organizational chart to explain where it is in Plan Dept structure.

If it is not to be available until "next week" please provide it to members of the public, including those listed here, on THURSDAY April 24 at noon when Commission meeting starts.

For the record I object that a Large Project Authorization with exceptions to the Code requirements is not considered a project with enough time provided for the public to review and comment on the exact plan proposed.

Sue Hestor

Sent from my BlackBerry® smartphone, powered by CREDO Mobile.

From: "Sucre, Richard (CPC)" <richard.sucre@sfgov.org>
Date: Wed, 16 Apr 2014 00:11:48 +0000
To: Sue Hestor<hestor@earthlink.net>; Cindy Wu<cwu.planning@gmail.com>
Cc: Joe Boss<joeboss@joeboss.com>; Tony Kelly<tonykelly@astound.net>; Keith Goldstein<keith@everestsf.com>; Fernando Marti<fernando@sfc-409.org>; Banales, Julian (CPC)<julian.banales@sfgov.org>; J R Eppler<jreppler1@gmail.com>; Joslin, Jeff (CPC)<jeff.joslin@sfgov.org>; Ionin, Jonas (CPC)<jonas.ionin@sfgov.org>
Subject: RE: 1201-1225 Tennessee hrg 5/1 - 2wks advance 4/17 release??

Hello Sue,

Thank you for your email. The Department and the Office of Commission Affairs has reviewed this case, and has determined that this case does not warrant advanced publication of the staff report. The staff report will become available next week.

Feel free to contact me with any specific question on the proposed project. I'm happy to answer any questions. I can also make the plans available if you are interested in reviewing them.

Thank you,

Rich

Richard Sucre
Preservation Technical Specialist/Planner, Southeast Quadrant, Current Planning

Planning Department | City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-575-9108 | Fax: 415-558-6409
Email: richard.sucre@sfgov.org
Web: www.sfplanning.org



From: Sue Hestor [<mailto:hestor@earthlink.net>]
Sent: Saturday, April 12, 2014 9:58 PM
To: Sucre, Richard (CPC); Cindy Wu
Cc: Joe Boss; Tony Kelly; Keith Goldstein; Fernando Marti; Banales, Julian (CPC); J R Eppler
Subject: 1201-1225 Tennessee hrg 5/1 - 2wks advance 4/17 release??

The mailed notice for the May 1 hearing on **LARGE PROJECT AUTHORIZATION at 1201-1225 Tennessee Street (23rd St)** in the Eastern Neighborhoods is for a

**295 DU project -
REQUIRING REAR YARD MODIFICATION
REQUIRING DWELLING UNIT EXPOSURE MODIFICATION
REQUIRING OFF-STREET LOADING MODIFICATION
REQUIRING HORIZONTAL MASS REDUCTION
REQUIRING ACCESSORY USE MODIFICATION FOR DWELLING UNITS**

The **2-week release of the staff report** is NOT for the convenience of the Planning Commissioners, but so the **PUBLIC** may review the staff recommendation, final plans and developers submission on a complex project. This gives the **PUBLIC** the opportunity to submit written comments in a manner so they may be considered by the Planning Commission.

I would note that far from strictly complying with the Eastern Neighborhoods Plan for this project, even though it is NEW construction, the developer proposes a myriad of exceptions and modifications.

I note that there are a total of THREE projects with large numbers of new units in Dogpatch May 1

650 Indiana (19th St) - 111 DU - Large Project Authorization - EXCEPTIONS for Rear Yard, Dwelling Unit Exposure, Horizontal Mass Reduction

2051 3rd St (17th St) - 94 DU - Large Project Authorization

Shall we expect that the staff report will be available at the Department, or by email, this THURSDAY April 17 for the community's Easter reading enjoyment?

Sue Hestor

On 2/20/2014 9:05 AM, Sucre, Richard wrote:

Hello Sue,

I've forwarded your request to the Commission Secretary, Jonas Ionin.

I initially anticipated bringing this project forward on March 27; however, I've moved this item to May 1st Planning Commission Hearing. I'll be in touch with regard to the determination for advanced review.

Thank you,

Rich

Richard Sucre
Preservation Technical Specialist/Planner, Southeast Quadrant, Current Planning

Planning Department | City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-575-9108 | Fax: 415-558-6409
Email: richard.sucre@sfgov.org
Web: www.sfplanning.org



From: Sue Hestor [<mailto:hestor@earthlink.net>]
Sent: Wednesday, February 19, 2014 9:41 AM
To: Rich.sucre@sfgov.org
Cc: Joe Boss; Tony Kelly; Keith Goldstein; Fernando Marti
Subject: 1201-1225 Tennessee St release of staff report

Since this project is a 259 DU project, the staff report for this **Large Project Authorization** will be out 2 weeks in advance, right? On March 13 for the March 27 Planning Comm hearing.

Please confirm this

Please also provide a list of all exceptions requested.

If the environmental document is complete, or AS SOON AS IT IS COMPLETE, please send it via email.

I want to receive the staff report and developer's submission as they are available. Assuming this is a 2-week report, please provide it on Thursday, March 13.

Sue Hestor



August 28, 2013

Re: Avant Housing development proposal at 1201 Tennessee St.

The Dogpatch Neighborhood Association (DNA) voted at our July 2013 meeting, unanimously to support the mixed use/residential development proposal (UMU zoning) by Avant Housing. Neighbors and DNA met with the developer team many times since the inception of the project and throughout the past year. The developer sponsored walk-arounds of the project site early on and held a landscape/streetscape charrette as well as several meetings with DNA and neighbors.

The project sponsor and architect has responded graciously to our many concerns and comments and is continuing to work with us on refinement of the roofline of the rounded building on Third St.

We understand that the project will have 259 units, 6-3bdrm. and 18 3bdrm.Jr. units with 2 bathrooms suitable for growing families, .75 parking spaces/unit and 2 car share spaces, graywater system for landscape irrigation.

The large and creatively designed mid-block passage and project sidewalk/streetscape responds to our suggestions and will be a great asset to the neighborhood.

We look forward to working with the developer team as they move forward into final details and construction and anticipate this to be a positive addition to the neighborhood.

Sincerely,

A handwritten signature in black ink, appearing to read "Janet Carpinelli". The signature is fluid and cursive, with a large initial "J" and "C".

Janet Carpinelli
President



September 12, 2013

Mr. Jesse Herzog
AGI Capital
100 Bush Street, 22nd Floor
San Francisco, CA 94104

Dear Mr. Herzog,

On behalf of the San Francisco Housing Action Coalition (SFHAC), I am pleased to inform you of our endorsement of your 1201 Tennessee Street project. Following review and discussion, our Endorsement Committee believes the project has many merits and will make a substantial contribution to SFHAC's mission of increasing the supply of well-designed, well-located housing in San Francisco. This letter reflects several recommendations from the committee that are focused on parking, sustainability, urban design and both car and bicycle parking that we urge you to consider. We believe that this project embodies the principals of good urban design and with the implementation of our suggestions, will meet the needs of both present and future San Franciscans.

A copy of the endorsement guidelines we applied in reviewing your project is attached. The proposed project meets our guidelines in the following ways:

Project Description:

Your project proposes a 258-unit mixed-use development, including 12,440 square feet of flex space, 2,340 square feet of retail, 198 parking spaces and 77 bicycle parking spaces

Land Use:

The SFHAC believes housing is an appropriate use at this site, for several reasons. The Dogpatch neighborhood has long been underserved in housing and we are excited to see this project bring badly needed housing to the neighborhood. In addition, your project is consistent with the UMU zoning, continuing Dogpatch's housing and mixed-use diversity and it is in direct proximity to major City transit lines: the Muni T-Line, the 22 Fillmore as well as Caltrain's 22nd Street Station.

The SFHAC would like to see you team increase amenities for families moving into these homes. As of now, there are no plans for play structures or open space devoted to children. If you feel you cannot add children's facilities onsite, we would like to see you work with the City on constructing a clear, recognizable and well-lit path to a nearby park with a play area.

Mr. Jesse Herzog

Page 2

Density:

The SFHAC notes that the Project does not build to the maximum allowable density. However, you have acknowledged that this was planned in order to be sensitive to the scale of the historic district to the north of the property. This was achieved by stepping the project back and down in height on the northern side of the property. In addition, as a result of community concern, your team has reduced the number of homes from the initially proposed 300 to the current proposed 258. We understand the need to work with the neighbors in developing a housing project that is welcomed by as many folks as possible.

Affordability:

The SFHAC is pleased that the project will be providing 41 on-site below-market-rate units, or 16 percent of the total units, more than what is required. This represents approximately \$17.8 million of funding for affordable housing. Frankly, we are pleased to see a large project like this in an area with limited housing supply. This alone will help address our housing affordability crisis, simply by increasing the neighborhood's inventory.

Parking and Alternative Transportation:

Your project site fronts directly on the Muni T-Line, is one block from the terminus of the 22 Fillmore and 48 Quintara and within walking distance of the 22nd Street Caltrain stop. You indicated you are committed to providing more than the required number of bicycle parking spots, with a goal of achieving a 1:1 ratio. The SFHAC recognizes that a 1:1 ratio will soon be a requirement for all new developments, so we strongly encourage you to meet or exceed the 1:1 ratio. Additionally, we enthusiastically support your plans to build a bicycle repair/maintenance room that will come equipped with tools and an air compressor.

Given all the transportation alternatives, our primary concern for this guideline is the number of proposed parking spots shown in the plans. The project proposes unbundled parking, with 198 spaces, the maximum allowed, and has committed to two additional CarShare spots. The SFHAC sees this as a transit-rich neighborhood, and we urge you to reduce the number of parking spots and provide for a larger number of CarShare spots. If the project sticks with this high amount of maximum allowed parking, we urge you to add car stackers to reduce the volume of the site development devoted to auto storage.

Historic Preservation:

There are no structures of significant or cultural merit on this site but it's immediately adjacent to the Dogpatch Historic District. The site's trapezoidal shape reflects the old Tubbs Cordage line and we believe your design recognizes those relationships with its reduction in massing at its northwest corner with the broad width of the open space on the north side of the building. Further, your use of rustic materials compliments the diversity of historic architecture in the Dogpatch district.

Mr. Jesse Herzog
Page 3

Urban Design:

The project strategically breaks up the overall massing of the building, which was done partially in response to community input. Also, you have incorporated 10,000 square feet of publicly accessible mid-block open space, more than is required by code.

Environmental Features:

The SFHAC would like to see your team establish clear targets for the project's sustainability features. Your current goals regarding LEED levels or environmental criteria do not appear established. You stated in your presentation to us that sustainable building systems will be evaluated at a later time when your consultants are brought onto the team.

Community Input:

The SFHAC recognizes that you have successfully engaged the community and taken into account their input. Your team has had over a dozen meetings with a multitude of neighborhood organizations during the past year and has received the unanimous endorsement of the Dogpatch Neighborhood Association. Several modifications have been made to the project as a result of the community input. The modifications include breaking up the site into three connected sections, as opposed to the initial design, of one bulky mass. Other modifications include providing flex space, reducing the number of units, adding greening to Tennessee Street and adding more open space.

Thank you for submitting this project to the SFHAC Endorsements Committee for our review. Please keep us abreast of any changes or updates with this project. We are pleased to support your excellent project as it moves forward. Let us know how we may be of assistance.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tim Colen', written in a cursive style.

Tim Colen, Executive Director

ENDORSEMENT GUIDELINES

Adopted January 2010

The SFHAC will consider endorsing housing developments and mixed-use projects with a housing component. The following guidelines will be used to evaluate the project:

Land Use: Housing should be an appropriate use of the site given the context of the adjacent properties and the surrounding neighborhood and should enhance neighborhood livability.

Density: The project should take full advantage of the maximum unit density and/or building envelope, allowable under the zoning rules.

Affordability: The need for affordable housing, including middle income (120-150 of median) housing, is a critical problem and SFHAC gives special support to projects that propose creative ways to expand or improve unit affordability beyond the legally mandated requirements.

Parking and Alternative Transportation: SFHAC expects the projects it endorses to include creative strategies to reduce the need for parking, such as ample bicycle storage, provision of space for car-share vehicles on-site or nearby, un-bundling parking cost from residential unit cost, and measures to incentivize transit use. Proximity to transit should result in less need for parking.

In districts with an as-of-right maximum and discretionary approval up to an absolute maximum, SFHAC will support parking exceeding the as-of-right maximum only to the extent the Code criteria for doing so are clearly met. In districts where the minimum parking requirement is one parking space per residential unit (1:1), the SFHAC will not, except in extraordinary circumstances, support a project with parking in excess of that amount.

Preservation: If there are structures of significant historic or cultural merit on the site, their retention and/ or incorporation into the project is encouraged. If such structures are to be demolished, there should be compelling reasons for doing so.

Urban Design: The project should promote principles of good urban design: Where appropriate, contextual design that is compatible with the adjacent streetscape and existing neighborhood character while at the same time utilizing allowable unit density: pleasant and functional private and/or common open space; pedestrian, bicycle and transit friendly site planning; and design treatments that protect and enhance the pedestrian realm, with curb cuts minimized and active ground floor uses provided projects with a substantial number of multiple bedroom units should consider including features that will make the project friendly to families with children.

Environmental Features: SFHAC is particularly supportive of projects that employ substantial and/or innovative measures that will enhance their sustainability and reduce their carbon footprint.

Community Input: Projects for which the developer has made a good faith effort to communicate to the community and to address legitimate neighborhood concerns, without sacrificing SFHAC's objectives, will receive more SFHAC support.



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination EXEMPTION FROM ENVIRONMENTAL REVIEW

Case No.: 2012.0493E
 Project Address: 1201-1225 Tennessee Street
 Zoning: UMU (Urban Mixed-Use) District
 Life Science and Medical Special Use District (SUD)
 68-X Height and Bulk District
 Block/Lot: 4172/022
 Lot Size: 64,600 square feet
 Plan Area: Eastern Neighborhoods Area Plan
 Project Sponsor: Jesse Herzog, AGI Capital
 415.775.7005
 Lead Agency: San Francisco Planning Department
 Staff Contact: Brett Bollinger – 415.575.9024
 Brett.Bollinger@sfgov.org

1650 Mission St.
 Suite 400
 San Francisco,
 CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
 Information:
415.558.6377

PROJECT DESCRIPTION:

The project would demolish the existing 65,336-square-foot (sf), one- and two-story structures, an automobile and truck fueling station, and surface parking totaling approximately 79,336 sf and construct a new approximately six-story (five floors over a concrete podium, approximately 68 feet total building height) mixed-use building. The new building would include approximately 259 dwelling units, 2,340 sf of retail space, 12,440 sf of "Flex" space (ground floor space that could be used for residential use or residential use with accessory office), and a maximum of 147 parking spaces located at grade in the concrete podium utilizing car stackers.

(Continued on next page)

EXEMPT STATUS:

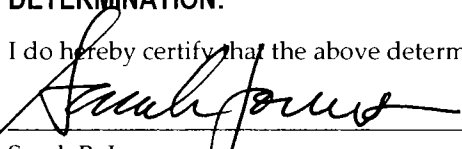
Exempt per Section 15183 of the California Environmental Quality Act (CEQA) Guidelines California.

REMARKS:

(See page 3)

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and Local requirements.


 Sarah B. Jones
 Environmental Review Officer

April 23, 2014
 Date

cc: AGI Capital, Project Sponsor; Supervisor Malia Cohen, District 10; Rich Sucre, Current Planning Division; Virna Byrd, M.D.F.; Exemption/Exclusion File

PROJECT DESCRIPTION (CONTINUED):

Retail uses and residential uses would be provided on the ground floor with additional residential uses on floors two through six. The project includes a mix of approximately 99 studio apartments, 49 one-bedroom units, 83 two-bedroom units, six three-bedroom units, 14 townhomes, and eight Flex units for which a configuration has not been determined. The project includes approximately 9,700 sf of publicly accessible open space along the northern property boundary with an additional 6,120 sf of common open space and 1,080 sf of private open space throughout floors two through six. Total square footage of the project would be 263,540 sf.

Access to site parking would be provided from a driveway on Tennessee Street. Two on-street parking spaces on Tennessee Street adjacent to the driveway would be designated as a loading zone for project residents. In addition to vehicular parking, 179 Class 1 bicycle parking spaces and 84 Class 2 bicycle parking spaces are proposed.

New streetscaping would be planted along Third, 23rd, and Tennessee Streets. The proposed common open space areas would include a variety of pedestrian amenities. The mid-block alley is approximately 9,700 sf. The interior podium courtyard is approximately 11,700 sf. Approximately 4,900 sf of this would have the proper exposure to be considered "Usable Open Space." Also at the podium would be an additional 2,500 sf of green space in the two small pockets facing Third and Tennessee Streets at the unit bridges. The open space area on the northern edge of the project site would include a stormwater bio-infiltration swale with an elevated wood deck bridge for pedestrians. The bridge would connect a large plaza to a small urban courtyard. The community plaza would include a table, a barbeque pit, and seating walls. The urban courtyard would include a water feature with native plants and a decorative wall. Amenities in the common open space areas are proposed to include tables, a fire pit, landscaped courtyards and terraces, and seating areas. Potential interior amenities would include a fitness center, bicycle shop, and tech center. The project is anticipated to commence construction in the third quarter of 2014, with construction projected for completion in the second quarter of 2016.

PROJECT APPROVALS:

The project requires the following approvals:

- Large Project Authorization (LPA) from the Planning Commission per *Planning Code* Section 329 with the following exceptions requested:
 - > Dwelling unit exposure per Section 140; conforms to modification guidelines 329
 - > Horizontal mass break per Section 270.1; conforms to modification guidelines 270.1(d)
 - > Rear yard per Section 134; superior open space provided
 - > Exception for off street loading
 - > Exception for accessory use provisions for dwelling unit
- Building permit applications for demolition and construction

Approval Action: The approval of the LPA by the San Francisco Planning Commission is the Approval Action for the whole of the proposed project. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

REMARKS:

CEQA Guidelines Section 15183 provides an exemption from environmental review for projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an Environmental Impact Report (EIR) was certified, except as might be necessary to examine whether there are project-specific effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that: a) are peculiar to the project or parcel on which the project would be located; b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent; c) are potentially significant off-site and cumulative impacts which were not discussed in the underlying EIR; and d) are previously identified in the EIR, but which are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for the project solely on the basis of that impact.

This determination evaluates the potential project-specific environmental effects peculiar to the 1201–1225 Tennessee Street project described above, and incorporates by reference information contained within the Eastern Neighborhoods Rezoning and Area Plans Final EIR (FEIR) (Planning Department Case No. 2004.0160E and State Clearinghouse No. 2005032048), which is the underlying EIR for the proposed project. Project-specific studies summarized in this determination were prepared for the proposed project to determine if there would be any additional potentially significant impacts attributable to (i.e., "peculiar" to) the proposed project.

This determination assesses the proposed project's potential to cause environmental impacts and concludes that the proposed project would not result in new, significant environmental effects, or effects of greater severity than were already analyzed and disclosed in the FEIR. This determination does not identify new or additional information that would alter the conclusions of the FEIR. In addition, this determination identifies mitigation measures contained in the FEIR that would be applicable to the proposed project. Relevant information pertaining to prior environmental review conducted for the FEIR as well as an evaluation of potential environmental effects are provided in the Community Plan Exemption (CPE) Checklist for the proposed project.¹

BACKGROUND:

After several years of analysis, community outreach, and public review, the Eastern Neighborhoods FEIR was adopted in December 2008. The Eastern Neighborhoods FEIR was adopted in part to support housing development in some areas previously zoned to allow industrial uses, while preserving an adequate supply of space for existing and future production, distribution, and repair (PDR) employment and businesses. The Eastern Neighborhoods FEIR also included changes to existing height and bulk districts in some areas, including the project site at 1201–1225 Tennessee Street

During the Eastern Neighborhoods adoption phase, the Planning Commission held public hearings to consider the various aspects of the proposed area plans, and *Planning Code* and Zoning Map

¹ The CPE Checklist is on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California, 94103, under case no. 2012.0493E.

amendments. On August 7, 2008, the Planning Commission certified the Eastern Neighborhoods FEIR by Motion 17659 and adopted the Preferred Project for final recommendation to the Board of Supervisors.^{2,3}

In December 2008, after further public hearings, the Board of Supervisors approved and the Mayor signed the Eastern Neighborhoods Rezoning and *Planning Code* amendments. New zoning districts include districts that would permit PDR uses in combination with commercial uses; districts mixing residential and commercial uses and residential and PDR uses; and new residential-only districts. The districts replaced existing industrial, commercial, residential single-use, and mixed-use districts.

The Eastern Neighborhoods FEIR is a comprehensive programmatic document that presents an analysis of the environmental effects of implementation of the Eastern Neighborhoods Rezoning and Area Plans, as well as the potential impacts under several proposed alternative scenarios. The Eastern Neighborhoods Draft EIR evaluated three rezoning alternatives, two community-proposed alternatives which focused largely on the Mission District, and a “No Project” alternative. The alternative selected, or the Preferred Project, represents a combination of Options B and C. The Planning Commission adopted the Preferred Project after fully considering the environmental effects of the Preferred Project and the various scenarios discussed in the FEIR.

A major issue of discussion in the Eastern Neighborhoods rezoning process was the degree to which existing industrially zoned land would be rezoned to primarily residential and mixed-use districts, thus reducing the availability of land traditionally used for PDR employment and businesses. Among other topics, the Eastern Neighborhoods FEIR assesses the significance of the cumulative land use effects of the rezoning by analyzing its effects on the City’s ability to meet its future PDR space needs as well as its ability to meet its housing needs as expressed in the City’s General Plan.

As a result of the Eastern Neighborhoods rezoning process, the project site has been rezoned to UMU (Urban Mixed Use) District. The UMU District is intended to promote a vibrant mix of uses while maintaining the characteristics of this formerly industrially zoned area. It is also intended to serve as a buffer between residential districts and PDR districts in the Eastern Neighborhoods. The proposed project and its relation to PDR land supply and cumulative land use effects is discussed further in the CPE Checklist, under Land Use. The 1201–1225 Tennessee Street site, which is located in the Central Waterfront District of the Eastern Neighborhoods, was designated as a site with buildings up to 68 feet in height.

Individual projects that could occur in the future under the Eastern Neighborhoods Rezoning and Area Plans will undergo project-level environmental evaluation to determine if they would result in further impacts specific to the development proposal, the site, and the time of development and to assess whether additional environmental review would be required. This determination concludes that the proposed project at 1201–1225 Tennessee Street is consistent with and was encompassed within the analysis in the Eastern Neighborhoods FEIR. This determination also finds that the Eastern Neighborhoods FEIR adequately anticipated and described the impacts of the proposed 1201–1225

² San Francisco Planning Department, *Eastern Neighborhoods Rezoning and Area Plans Final EIR*, Planning Department Case No. 2004.0160E (certified August 7, 2008). This document is available online at <http://www.sf-planning.org/index.aspx?page=1893> (accessed August 17, 2012).

³ San Francisco Planning Department, San Francisco Planning Commission Motion 17659 (August 7, 2008). This motion is available online at <http://www.sf-planning.org/Modules/ShowDocument.aspx?documentid=1268> (accessed August 17, 2012).

Tennessee Street project, and identified the mitigation measures applicable to the 1201–1225 Tennessee Street project. The proposed project is also consistent with the zoning controls and the provisions of the *Planning Code* applicable to the project site.⁴ Therefore, no further CEQA evaluation for the 1201–1225 Tennessee Street project is required. In sum, the Eastern Neighborhoods FEIR and this Certificate of Exemption for the proposed project comprise the full and complete CEQA evaluation necessary for the proposed project.

PROJECT SETTING:

The project site is located within the Central Waterfront neighborhood and is part of the planning area subject to the Central Waterfront Plan. The project site fronts along 23rd, Third, and Tennessee Streets. The approximately 64,600 sf project site is currently developed with warehouse and office/commercial uses (fronting Third Street), an automobile and truck fueling station on the corner of 23rd and Third Streets, and a surface parking lot. The site building is currently being used for a variety of commercial/light industrial uses, including product warehousing/distribution, a sandwich shop, meat packing, digital photography, computer repair, and custom upholstery. Existing uses are currently located within existing one- and two-story buildings with a maximum height of 35 feet. The existing project site includes 20 parking spaces (5,000 sf) and six loading spaces. The entire project site is covered with impermeable surfaces.

SURROUNDING LAND USES:

The following land uses are adjacent to the proposed project site:

- North: Residential uses ranging from one story to six-story multifamily residential occur north of the project site along Tennessee Street. On Third Street north of the project site are commercial/industrial buildings from one story to the four-story American Industrial Center.
- East: East of the project site across Third Street are a parking lot and a three-story industrial building.
- South: South across 23rd Street is a parking lot and a truck storage facility.
- West: Across Tennessee Street to the west is the Muni bus yard and two-story industrial uses.

POTENTIAL ENVIRONMENTAL EFFECTS:

The Eastern Neighborhoods FEIR included analyses of environmental issues including: land use; plans and policies; visual quality and urban design; population, housing, business activity, and employment (growth inducement); transportation; noise; air quality; parks, recreation and open space; shadow; archeological resources; historic architectural resources; hazards; and other issues not addressed in the previously issued initial study for the Eastern Neighborhoods project. The proposed 1201–1225 Tennessee Street project is in conformance with the height, use and density for the site described in the Eastern Neighborhoods FEIR and would represent a small part of the growth that was forecast for the Eastern Neighborhoods. Thus, the project analyzed in the Eastern Neighborhoods FEIR considered the incremental impacts of the proposed 1201–1225 Tennessee Street project. As a result, the proposed project

⁴ Adam Varat, San Francisco Planning Department, *Community Plan Exemption Eligibility Determination, Citywide Planning and Policy Analysis, 1201–1225 Tennessee Street* (July 31, 2013). This document is on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California, 94103, under case no. 2012.0493E.

would not result in any new or substantially more severe impacts than were identified in the Eastern Neighborhoods FEIR.

Significant and unavoidable impacts were identified for the following topics: land use, historic architectural resources, transportation and circulation, and shadow. The discussion in Attachment A, Community Plan Exemption Checklist, demonstrates that the proposed 1201–1225 Tennessee Street project would not result in significant impacts that were not identified or a more severe adverse impact than discussed in the Eastern Neighborhoods FEIR, including project-specific impacts.

The Eastern Neighborhoods FEIR identified feasible mitigation measures to address significant impacts related to: Noise (F-1, F-2, F-3, F-4, F-5, and F-6), Air Quality (G-1, G-2, G-3, and G-4), Archeological Resources (J-1, J-2, and J-3), Historical Resources (K-1, K-2, and K-3), Hazardous Materials (L-1), and Transportation (E-1, E-2, E-3, E-4, E-5, E-6, E-7, E-8, E-9, E-10, and E-11).

As analyzed and discussed in the CPE Checklist, the following mitigation measures identified in the FEIR do not apply to the proposed project. Mitigation Measure F-3 – Interior Noise Levels, which includes measures for noise-sensitive uses that are not subject to Title 24, Noise Insulation Standards, is not applicable to the project because the proposed multi-unit structure would be subject to Title 24 standards. Mitigation Measure F-5 – Siting of Noise-Generating Uses would not apply to the proposed project because, as shown in Table NO-1, the proposed project would not cause noise levels on Tennessee and 22nd Streets to exceed 60 dBA L_{dn}. Mitigation Measure G-2 – Air Quality for Sensitive Land Uses, Mitigation Measure G-3 – Siting of Uses that Emit DPM, and Mitigation Measure G-4 – Siting of Uses that Emit Other TACs would not apply to the proposed project because the proposed project site is not located within an identified Air Pollutant Exposure Zone, The project would not be expected to generate substantial DPM emissions or be served by 100 trucks per day or 40 refrigerator trucks per day, and the proposed project would not generate more than 10,000 vehicle trips per day, 1,000 truck trips per day, or include a new stationary source, items that would emit TACs as part of everyday operations.

As discussed in the CPE Checklist, Eastern Neighborhoods Plan FEIR Mitigation Measure J-2 – Properties with No Previous Studies; Mitigation Measure F-1 – Construction Noise; Mitigation Measure F-2 – Construction Noise; Mitigation Measure F-4 – Siting of Noise-Sensitive Uses; Mitigation Measure F-6 – Open Space in Noisy Environments; Mitigation Measure G-1 – Construction Air Quality; and Mitigation Measure L-1 – Hazardous Building Materials were determined to apply to the proposed project for the reasons discussed, above. Also, all transportation Mitigation Measure E-1 – Traffic Signal Installation through Mitigation Measure E-11 – Transportation Demand Management would apply to the proposed project. In addition to the mitigation measures identified from the FEIR, the proposed project includes five traffic improvement measures, including Implementation Measures I–TR-1 – Queue Abatement; I-TR-2 – Street Sweeping Requirements; I-TR-3 – Bicycle Parking Requirements; I-TR-4 – On-Site Loading Spaces; and I-TR-5 – Construction Management. As no archaeological report has been prepared for the project site, FEIR Mitigation Measure J-2 would apply to the proposed project. As the proposed project would potentially require pile-driving activities, Mitigation Measures F-1 and F-2 would apply. The project sponsor has conducted an environmental noise study demonstrating that the proposed project can feasibly attain acceptable interior noise levels consistent with Title 24.⁵ Therefore, Mitigation Measure F-4

⁵ Atkins North America, Inc., *Noise Assessment for the 1201–1225 Tennessee Street Project* (February 21, 2014). This document is on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California, 94103, under case no. 2012.0493E.

is applicable to the proposed project. Mitigation Measure F-6 from the Eastern Neighborhoods FEIR would apply to the proposed project because the project site is in a portion of the City subject to substantial ambient noise. Mitigation Measure G-1 requires individual projects that include construction activities to include dust control measures and maintain and operate construction equipment so as to minimize exhaust emissions of particulates and other pollutants. Because the proposed development includes demolition of an existing building, Mitigation Measure L-1 would apply to the proposed project.

Please see the attached Mitigation Monitoring and Reporting Program (MMRP) for the complete text of the applicable mitigation measures.

With implementation of these mitigation measures the proposed project would not result in significant impacts beyond those analyzed in the FEIR.⁶

Public Notice and Comment

A “Notification of Project Receiving Environmental Review” was mailed on September 11, 2013, to adjacent occupants and owners of properties within 300 feet of the project site. Overall, concerns and issues raised by the public in response to the notice were taken into consideration and incorporated in the environmental review as appropriate for CEQA analysis. Comments regarding physical environmental effects were related to traffic, parking, and sewage overflow. The proposed project would not result in significant adverse environmental impacts associated with the issues identified by the public.

Conclusion

The Eastern Neighborhoods Plan FEIR incorporated and adequately addressed all potential impacts of the proposed 1201–1225 Tennessee Street project. As described above, the proposed 1201–1225 Tennessee Street project would not have any project-specific significant adverse effects that are peculiar to the project or its site that were not examined in the Eastern Neighborhoods Plan FEIR, nor has any new or additional information come to light that would alter the conclusions of the Eastern Neighborhoods Plan FEIR. Thus, the proposed project would not have any new significant effects on the environment not previously identified in the Eastern Neighborhoods Plan FEIR, nor would any environmental impacts be substantially greater than described in the Eastern Neighborhoods Plan FEIR. Therefore, the proposed project is exempt from further environmental review pursuant to Section 21083.3 of CEQA and Section 15183 of the CEQA Guidelines.

⁶ Refer the CPE Checklist for a complete discussion.

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**ATTACHMENT A COMMUNITY PLAN EXEMPTION
CHECKLIST**



SAN FRANCISCO PLANNING DEPARTMENT

Community Plan Exemption Checklist

Case No.: 2012.0493E
Project Address: 1201–1225 Tennessee Street
Zoning: UMU (Urban Mixed-Use) District
Life Science and Medical Special Use District (SUD)
68-X Height and Bulk District
Block/Lot: 4172/022
Lot Size: 64,600 square feet
Plan Area: Eastern Neighborhoods Area Plan
Project Sponsor: Jesse Herzog, AGI Capital
415.775.7005
Staff Contact: Brett Bollinger – 415.575.9024
Brett.Bollinger@sfgov.org

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CA 94103-2479

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Information:
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PROJECT DESCRIPTION:

The project site is located within the Central Waterfront neighborhood and is part of the planning area subject to the Eastern Neighborhoods Area Plan. The project site fronts along 23rd, Third, and Tennessee Streets. The approximately 64,600-square-foot (sf) project site is currently developed with warehouse and office/commercial uses (fronting Third Street), an automobile and truck fueling station on the corner of 23rd and Third Streets, and a surface parking lot. The site building is currently being used for a variety of commercial/light industrial uses, including product warehousing/distribution, a sandwich shop, meat packing, digital photography, computer repair, and custom upholstery. Existing uses are currently located within existing one- and two-story buildings with a maximum height of 35 feet. The existing project site includes 20 parking spaces (5,000 sf) and six loading spaces. The entire project site is covered with impermeable surfaces.

Retail uses and residential uses would be provided on the ground floor with additional residential uses on floors two through six. The project includes a mix of approximately 99 studio apartments, 49 one-bedroom units, 83 two-bedroom units, six three-bedroom units, 14 townhomes, and eight Flex units for which a configuration has not been determined. The project includes approximately 9,700 sf of publicly accessible open space along the northern property boundary with an additional 6,120 sf of common open space and 1,080 sf of private open space throughout floors two through six. Total square footage of the project would be 263,540 sf. The project would demolish the existing 65,336 sf, one- and two-story structures, an automobile and truck fueling station, and surface parking totaling approximately 79,336 sf and construct a new approximately six-story (five floors over a concrete podium, approximately 68 feet total building height) mixed-use building. The project's regional location is shown in Figure 1, Regional Vicinity, p. 3, and the project site is shown in Figure 2, Project Location, p. 4. Existing site photos are illustrated on Figure 3, Existing Site Photos, p. 5, and the future site views from Third Street is illustrated on Figure 4, Future Site View from Third Street, p. 6.

The new building would include approximately 259 dwelling units, 2,340 sf of retail space, 12,440 sf of "Flex" space (ground floor space that could be used for residential use or residential use with accessory office), and a maximum of 147 parking spaces located at grade in the concrete podium utilizing car

stackers. Retail uses and residential uses would be provided on the ground floor with additional residential uses on floors two through six. The project site plan is provided in Figure 5, Site Plan, p. 7. The project includes a mix of approximately 94 studio apartments, 56 one-bedroom units, 81 two-bedroom units, five three-bedroom units, 13 townhomes, and nine Flex units for which a configuration has not been determined. The project includes approximately 9,700 sf of publicly accessible open space along the northern property boundary with an additional 6,120 sf of common open space and 1,080 sf of private open space throughout floors two through six. Individual floor plans are illustrated in Figure 6, Ground Floor Plan, p. 8, through Figure 13, Sixth Floor Mezzanine Plan, p. 15. Total square footage of the project would be 263,540 sf.

Proposed north and south site elevations are shown in Figure 14, North and South Project Elevations, p. 16, and east and west elevations are provided in Figure 15, East and West Project Elevations, p. 17. As shown, access to site parking would be provided from a driveway on Tennessee Street. Two on-street parking spaces on Tennessee Street adjacent to the driveway would be designated as loading zone for project residents. In addition to vehicular parking, a minimum of 77 Class I bicycle parking spaces are proposed.

New streetscaping would be planted along Third, 23rd, and Tennessee Streets. The proposed common open space areas would include a variety of pedestrian amenities. The mid-block alley is approximately 9,700 sf. The interior podium courtyard is approximately 11,700 sf. Approximately 4,900 sf of this would have the proper exposure to be considered "Usable Open Space." Also at the podium would be an additional 2,500 sf of green space in the two small pockets facing Third and Tennessee Streets at the unit bridges. The open space area on the northern edge of the project site would include a stormwater bio-infiltration swale with an elevated wood deck bridge for pedestrians. The bridge would connect a large plaza to a small urban courtyard. The community plaza would include a table, a barbeque pit, and seating walls. The urban courtyard would include a water feature with native plants and a decorative wall. Amenities in the common open space areas are proposed to include tables, a fire pit, landscaped courtyards and terraces, and seating areas. Potential interior amenities would include a fitness center, bicycle shop, and tech center. The project is anticipated to commence construction in the third quarter of 2014, with construction projected for completion in the second quarter of 2016.

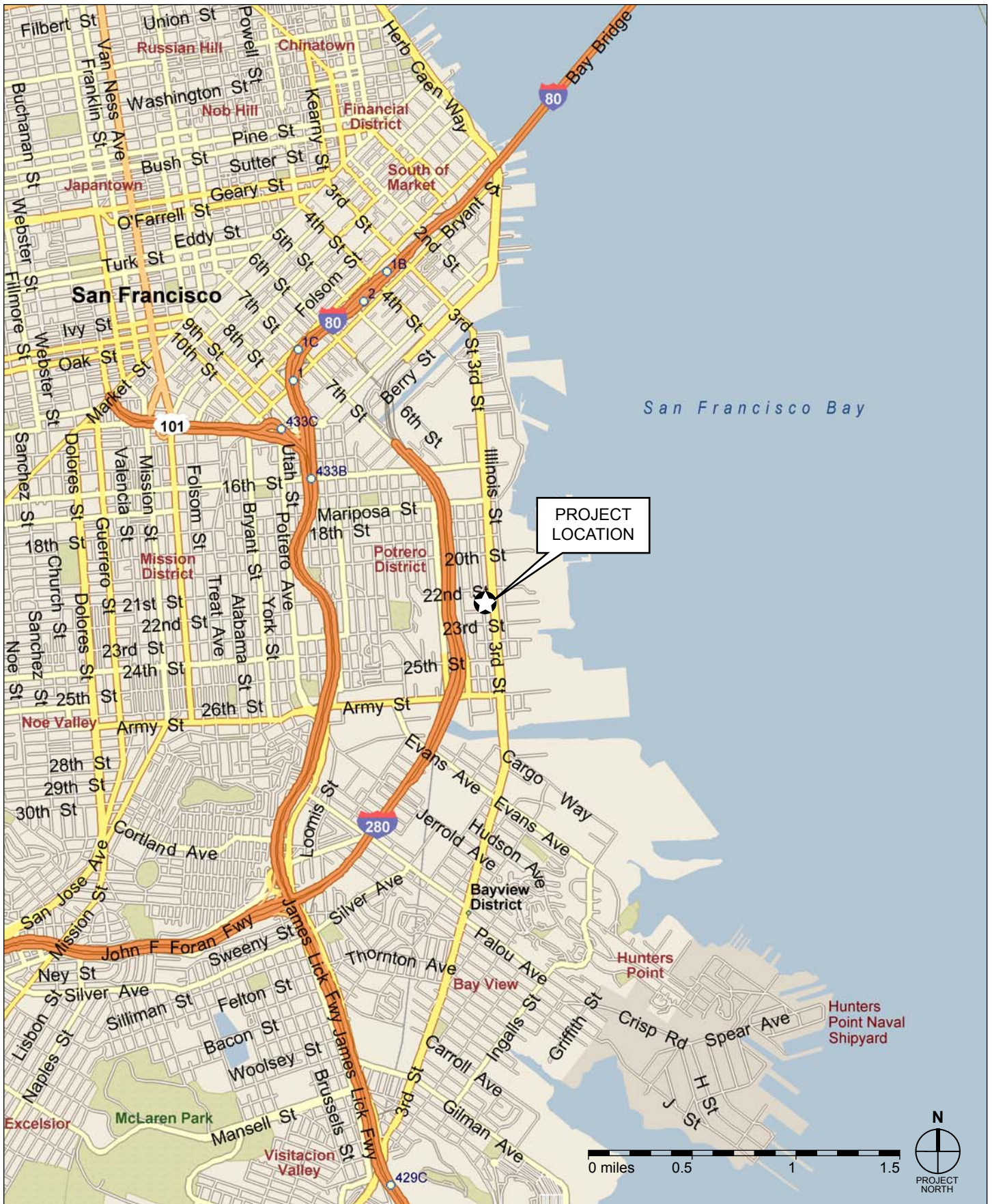
The proposed 1201–1225 Tennessee Street project would require the following approvals:

Actions by the Planning Commission

- Large Project Authorization from the Planning Commission per *Planning Code* Section 329 with the following exceptions requested:
 - > Dwelling unit exposure per Section 140; conforms to modification guidelines 329
 - > Horizontal mass break per Section 270.1; conforms to modification guidelines 270.1(d)
 - > Rear yard per Section 134; superior open space provided
 - > Exception for off street loading
 - > Exception for accessory use provisions for dwelling unit

Actions by other City Departments

- Building permit applications for demolition and construction



SOURCE: Microsoft Street and Trips, basemap, 2009.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 1: REGIONAL VICINITY



SOURCE: Google Earth Pro, basemap, 2013; Atkins, 2013.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 2: PROJECT LOCATION



view of site from 3rd street



view of site from tennessee street



view of site from 23rd street

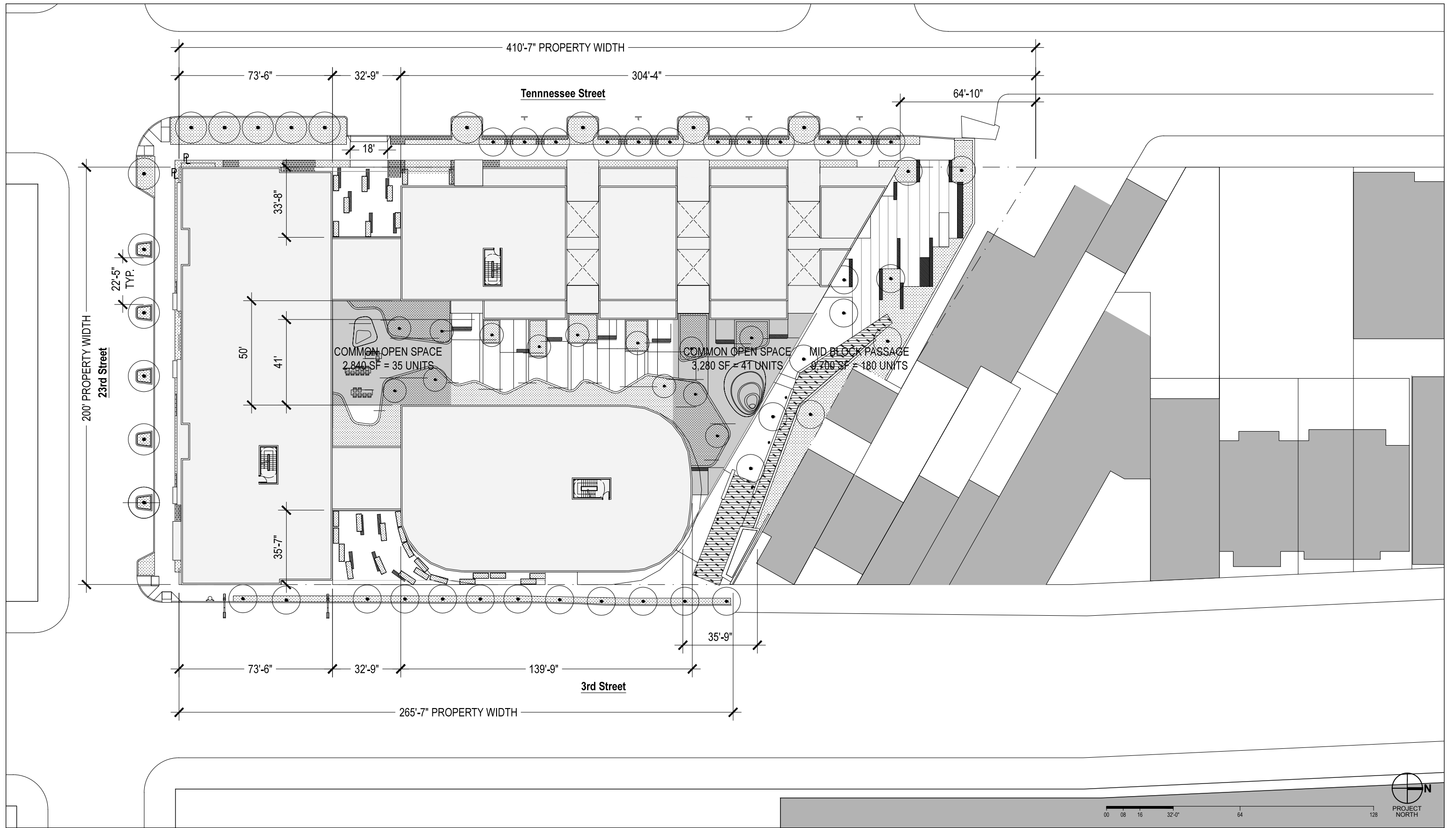
SOURCE: Fougeron Architecture 2013.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 3: EXISTING SITE PHOTOS



SOURCE: Fougerson Architecture 2013.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 4: FUTURE SITE VIEW FROM THIRD STREET



SOURCE: Fougerson Architecture 2013.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 5: SITE PLAN



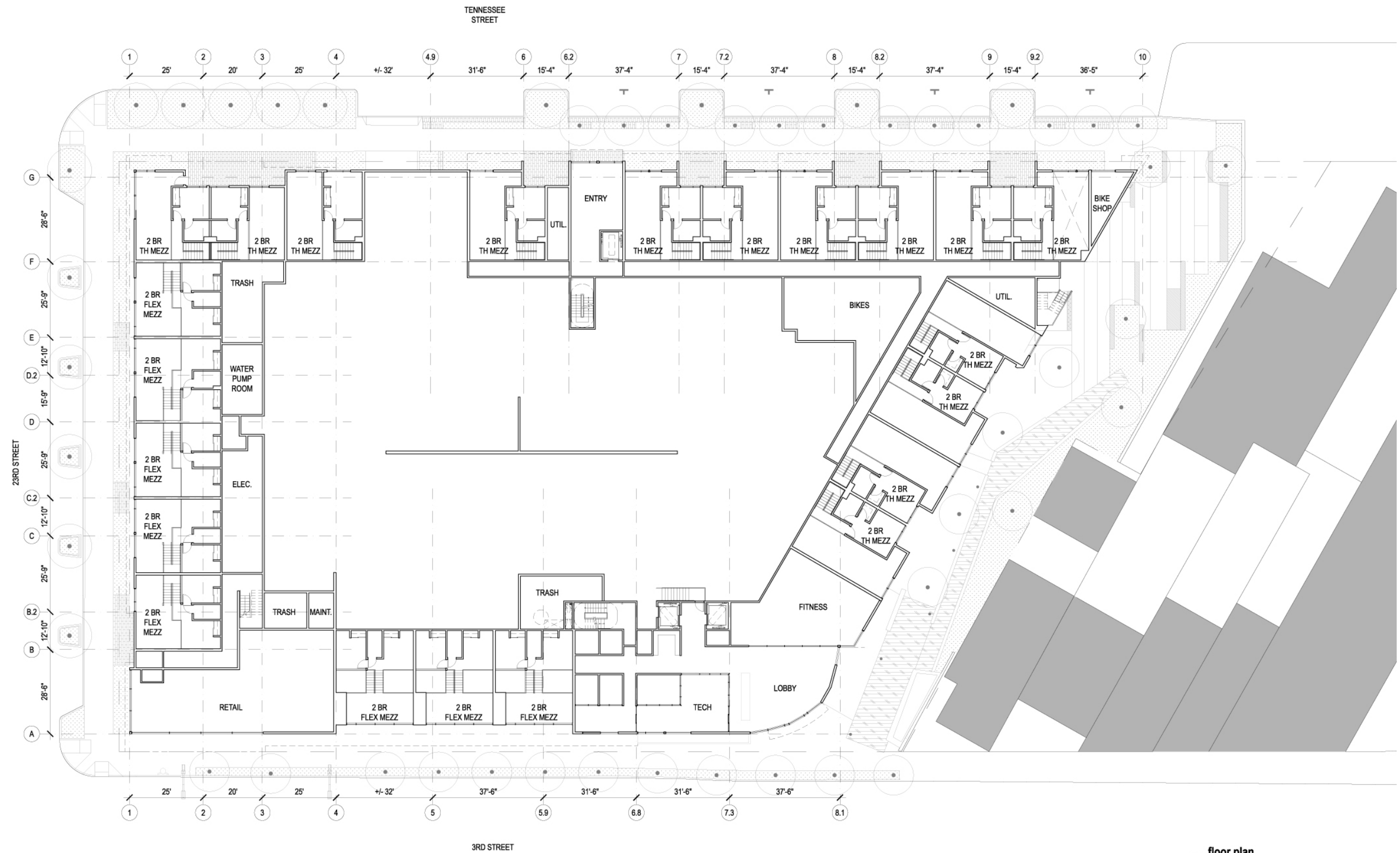
01 floor plan

- keynotes**
- 2.01 PERFORATED METAL GUARDRAIL AND SCREEN.
- legend**



SOURCE: Fletcher Studio, 2014.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 6: GROUND FLOOR PLAN



01 floor plan
0' 5' 10'

keynotes
2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend



SOURCE: Fletcher Studio, 2014.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 7: GROUND FLOOR MEZZANINE



01 floor plan

keynotes

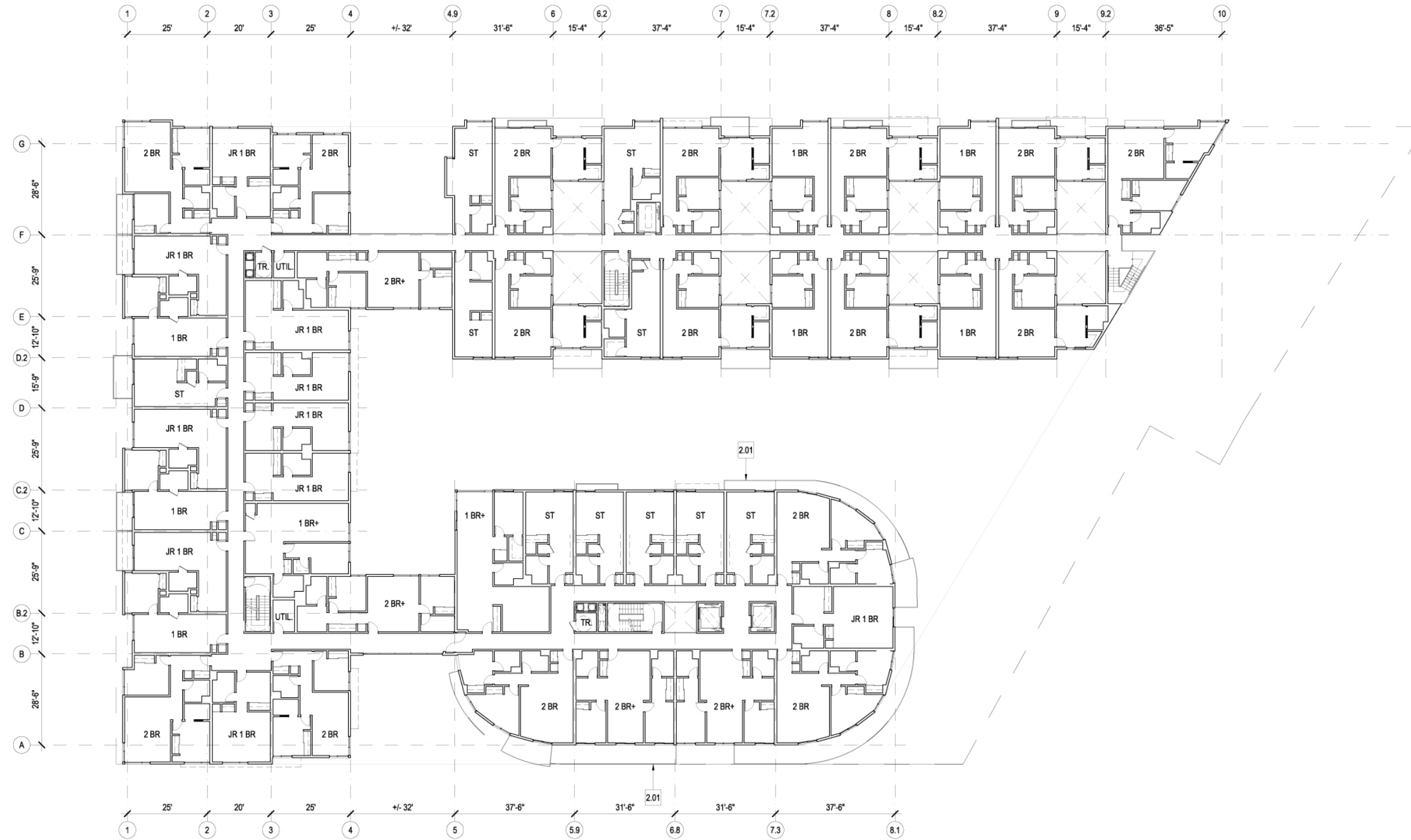
2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend



SOURCE: Fletcher Studio, 2014.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 8: SECOND FLOOR PLAN



01 floor plan

keynotes

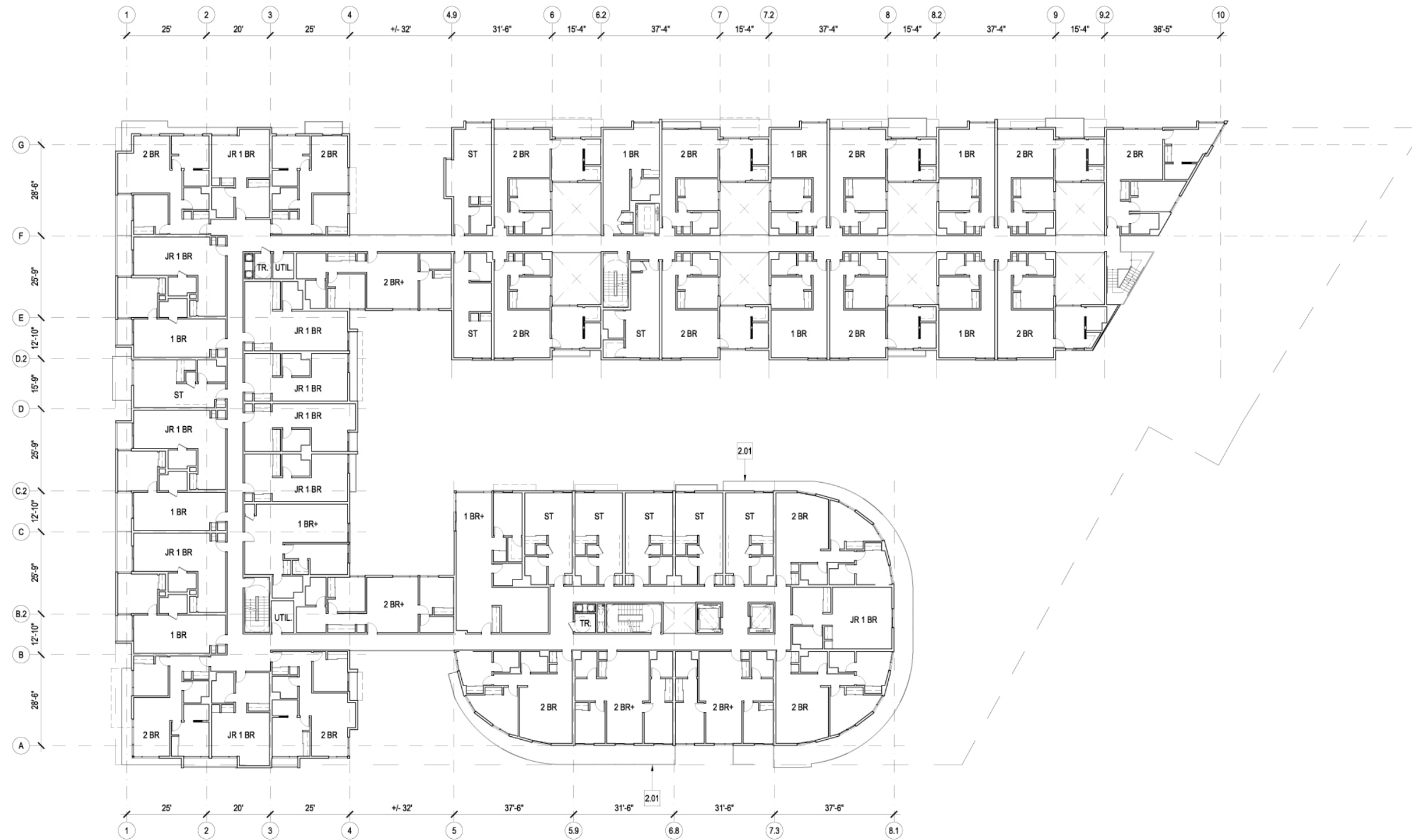
2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend



SOURCE: Fletcher Studio, 2014.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 9: THIRD FLOOR PLAN

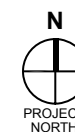


01 floor plan

keynotes

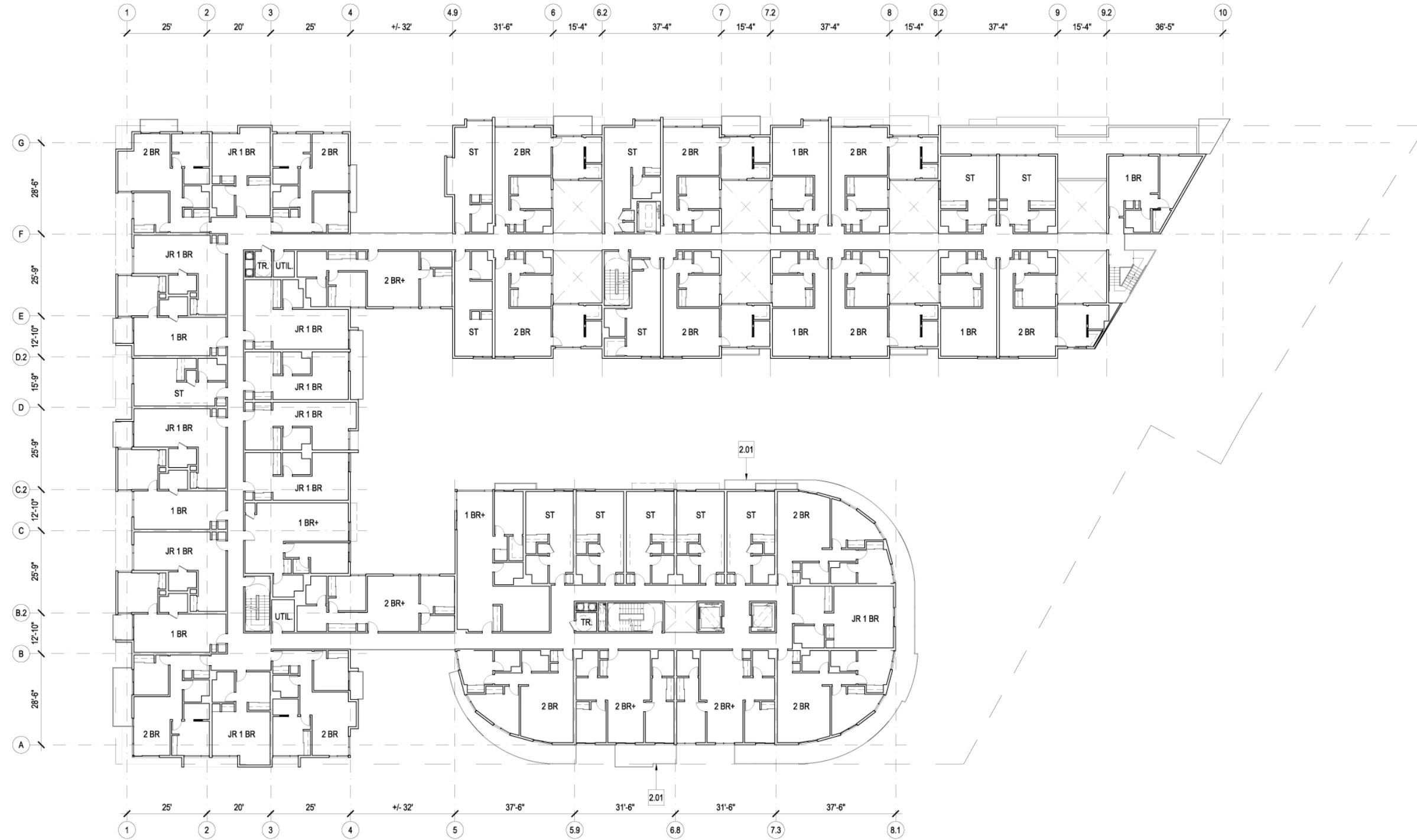
2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend



SOURCE: Fletcher Studio, 2014.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 10: FOURTH FLOOR PLAN



01 floor plan

keynotes

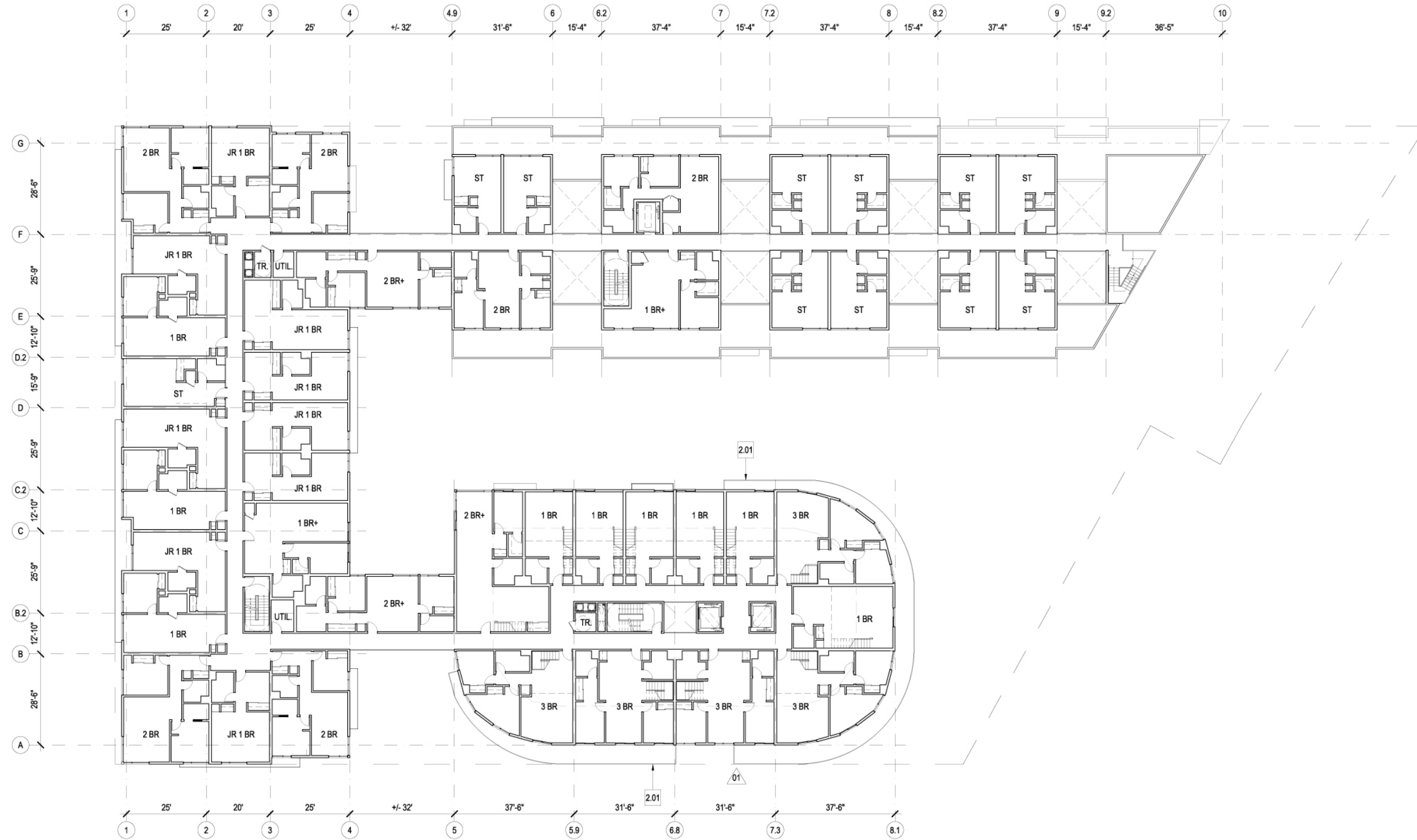
2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend



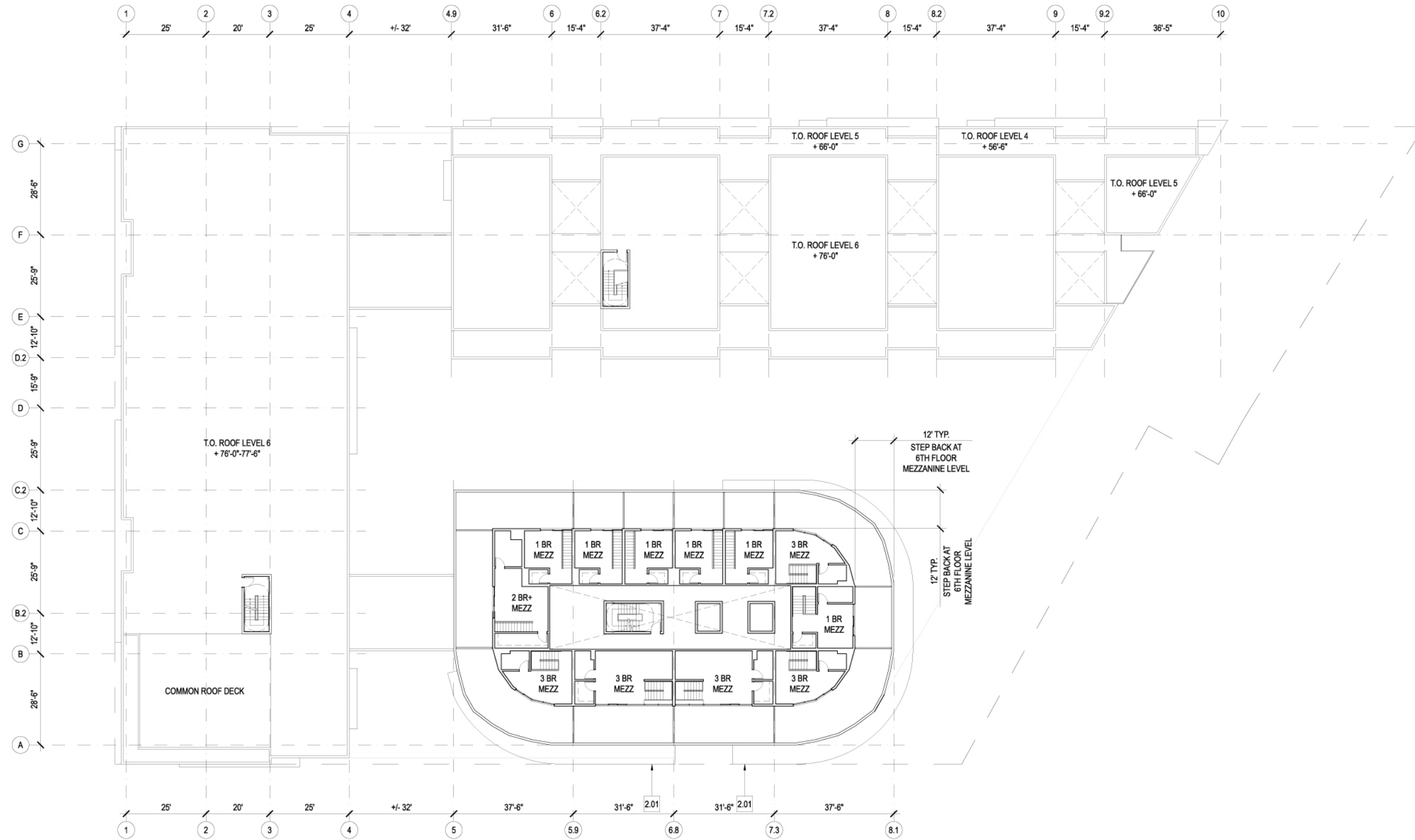
SOURCE: Fletcher Studio, 2014.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 11: FIFTH FLOOR PLAN



SOURCE: Fletcher Studio, 2014.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 12: SIXTH FLOOR PLAN



01 floor plan

keynotes

2.01 PERFORATED METAL GUARDRAIL AND SCREEN.

legend



SOURCE: Fletcher Studio, 2014.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 13: SIXTH FLOOR MEZZANINE PLAN

keynotes

- 3.01 PAINTED CEMENT PLASTER
- 3.02 ALUMINUM STOREFRONT GLAZING SYSTEM
- 3.03 CONCRETE CURB
- 3.04 CONCRETE PLANTER
- 3.05 METAL AWNING
- 3.06 CORRUGATED METAL SIDING
- 3.07 PERFORATED CORRUGATED METAL GUARDRAIL
- 3.08 FIBER CEMENT PANEL
- 3.09 OPEN CORRIDOR AND PERFORATED CORRUGATED METAL GUARDRAIL
- 3.10 CONCRETE PODIUM SLAB EXTENSION AS AWNING
- 3.11 NOT USED
- 3.12 WOOD LAMINATE SLAT FENCE / GATE
- 3.13 GARAGE DOOR
- 3.14 6"x 6" GLASS BLOCK
- 3.15 WOOD LAMINATE PANELS



02 south elevation



01 north elevation

SOURCE: Fougeron Architecture 2013.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 14: NORTH AND SOUTH PROJECT ELEVATIONS



keynotes

- 3.01 PAINTED CEMENT PLASTER
- 3.02 ALUMINUM STOREFRONT GLAZING SYSTEM
- 3.03 CONCRETE CURB
- 3.04 CONCRETE PLANTER
- 3.05 METAL AWNING
- 3.06 CORRUGATED METAL SIDING
- 3.07 PERFORATED CORRUGATED METAL GUARDRAIL
- 3.08 FIBER CEMENT PANEL
- 3.09 OPEN CORRIDOR AND PERFORATED CORRUGATED METAL GUARDRAIL
- 3.10 CONCRETE PODIUM SLAB EXTENSION AS AWNING
- 3.11 NOT USED
- 3.12 WOOD LAMINATE SLAT FENCE / GATE
- 3.13 GARAGE DOOR
- 3.14 6"x 6" GLASS BLOCK
- 3.15 WOOD LAMINATE PANELS



SOURCE: Fougerson Architecture 2013.

1201-1225 TENNESSEE STREET PROJECT
FIGURE 15: EAST AND WEST PROJECT ELEVATIONS

EVALUATION OF ENVIRONMENTAL EFFECTS:

This Community Plan Exemption (CPE) Checklist examines the potential environmental impacts that would result from implementation of the proposed project and indicates whether such impacts are addressed in the applicable programmatic FEIR (PEIR)¹ for the Eastern Neighborhoods Rezoning and Area Plans Final EIR (FEIR) (Planning Department Case No. 2004.0160E and State Clearinghouse No. 2005032048).² Items checked "Project-Specific Significant Impact Not Identified in PEIR" identify topics for which the proposed project would result in a significant impact that is peculiar to the project, i.e., the impact is not identified as significant in the PEIR. Any impacts not identified in the PEIR are addressed in the CPE Checklist below.

Items checked "Significant Unavoidable Impact Identified in PEIR" identify topics for which a significant impact is identified in the PEIR. In such cases, the analysis considers whether the proposed project would result in impacts that would contribute to the impact identified in the PEIR. Mitigation measures identified in the PEIR are discussed under each topic area, and mitigation measures that are applicable to the proposed project are identified under each topic area and in the "Mitigation and Improvement Measures" section beginning on pp. 72.

For any topic that was found to result in less-than-significant (LTS) impacts in the PEIR and for the proposed project, or would have no impacts, the topic is marked "No Significant Impact (Project or PEIR)" and is discussed in the CPE Checklist below.

Topics:	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
1. LAND USE AND LAND USE PLANNING— Would the project:						
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial impact upon the existing character of the vicinity?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The division of an established community typically involves the construction of a physical barrier to neighborhood access, such as a new freeway, or the removal of a means of access, such as a bridge or a roadway. The proposed project would not construct a physical barrier to neighborhood access or remove an existing means of access. The proposed project would not alter the established street grid or permanently close any streets or sidewalks. Although portions of the sidewalk adjacent to the project site

¹ In this CPE Checklist, the acronyms FEIR and PEIR both refer to the Eastern Neighborhoods Plan FEIR and are used interchangeably.

² San Francisco Planning Department, *Eastern Neighborhoods Rezoning and Area Plans Final EIR*, Planning Department Case No. 2004.0160E (certified August 7, 2008). This document is available online at <http://www.sf-planning.org/index.aspx?page=1893>.

could be closed for periods of time during project construction, these closures would be temporary in nature. As a result, the proposed project would not physically divide an established community.

With regard to threshold 1b), the Central Waterfront neighborhood (which includes the proposed project site) contains a mix of zoning districts, including Mixed-Use Residential (MUR) Urban Mixed-Use (UMU), Employment and Business Development (EBD), Heavy PDR/Pier 70 Mixed-Use (primarily Port lands), and Other (primarily Public, including parks, open space, and street rights-of-way). The proposed parcel was rezoned to the UMU zoning district and is within the Life Science and Medical Special Use District (SUD). The UMU zoning district allows a wide variety of uses, including retail and housing, and to act as a buffer between residential and PDR-only zoning districts. Permitted uses within the UMU District include PDR uses such as light manufacturing, home and business services, arts activities, warehouses, and wholesaling. Additional permitted uses include residential, retail, educational facilities, nighttime entertainment, and motor vehicle services (e.g., automobile sale or rental). The proposed project is consistent with existing zoning and would, therefore, not conflict with applicable land use plans.

As a result, the proposed project would not conflict with any land use plans, policies, or regulations adopted for the purpose of avoiding or mitigating an environmental effect.

The Eastern Neighborhoods Area Plan rezoned much of the city's industrially zoned land. The goals of the Area Plan were to reflect local values, increase housing, maintain some industrial land supply, and improve the quality of all existing areas with future development. A major issue discussed in the Area Plan process was the degree to which existing industrially zoned land would be rezoned to primarily residential and mixed-use districts, thus reducing the availability of land traditionally used for PDR (Production, Distribution, and Repair) employment and businesses.

The Eastern Neighborhoods FEIR evaluated three land use alternatives. Option A retained the largest amount of existing land that accommodated PDR uses and converted the least amount of industrially zoned land to residential use. Option C converted the most existing land accommodating PDR uses to residential and mixed uses. Option B fell between Options A and C.

While all three options were determined to result in a decline in PDR employment, the loss of PDR jobs was determined to be greatest under Option C. The alternative ultimately selected – the 'Preferred Project' – represented a combination of Options B and C. Because the amount of PDR space to be lost with future development under all three options could not be precisely gauged, the FEIR determined that the Preferred Project would result in a significant and unavoidable impact on land use due to the cumulative loss of PDR use in the Plan Area. This impact was addressed in a Statement of Overriding Considerations with CEQA Findings and adopted as part of the Eastern Neighborhoods Rezoning and Area Plans approval on January 19, 2009.

The Eastern Neighborhoods FEIR included one mitigation measure, Mitigation Measure A-1, for land use controls in Western SoMa that could incorporate, at a minimum, no net loss of land currently designated for PDR uses, restrict non-PDR uses on industrial (or other PDR-designated) land, and incorporate restrictions on potentially incompatible land uses proximate to PDR zones. The measure was judged to be infeasible, because the outcome of the community-based Western SoMa planning process could not be known at the time, and the measure was seen to conflict with other City policy goals, including the

provision of affordable housing. The project site is not located in Western SoMa; therefore this mitigation measure is not applicable.

Based on available information,³ historical tenant uses of the property typically included warehouse and distribution operations in the single-story building and commercial/office users in the two-story portion of the building fronting Third Street. The existing site building was constructed in 1967. It consists of one-story, high-ceilinged warehouse spaces fronting Tennessee Street, and two-story, retail commercial/office spaces fronting Third Street. Portions of the site not covered by the building include a commercial cardlock vehicle fueling station operated by Flyers Energy in the southeastern portion of the site, an asphalt-paved parking area along the Third Street frontage, and a former gravel-covered loading dock area on the north side of Tennessee Street. The proposed project would result in the conversion of the existing warehouse and office uses to Flex, retail, and residential uses.

The Central Waterfront neighborhood (which includes the proposed project site) contains a mix of zoning districts, including Mixed-Use Residential (MUR), Urban Mixed-Use (UMU), Employment and Business Development (EBD), Heavy PDR/Pier 70 Mixed-Use (primarily Port lands), and Other (primarily Public, including parks, open space, and street rights-of-way). The proposed parcel was rezoned to the UMU zoning district and is within the Life Science and Medical Special Use District (SUD). The UMU zoning district allows a wide variety of uses, including retail and housing, and to act as a buffer between residential and PDR-only zoning districts. Permitted uses within the UMU District include PDR uses such as light manufacturing, home and business services, arts activities, warehouses, and wholesaling. Additional permitted uses include residential, retail, educational facilities, nighttime entertainment, and motor vehicle services (e.g., automobile sale or rental). The district requires higher residential affordability standards (minimum 20 percent of the total residential units constructed shall be affordable to, and occupied by, qualifying persons and families – see *Planning Code* Section 419.3(b)(2) for details) as compared to other districts in the City and requires a minimum proportion of units be family sized dwellings (i.e., at least (1) 40 percent two or more bedrooms, or (2) 30 percent three or more bedrooms).

As noted above, the Eastern Neighborhoods FEIR determined that the cumulative loss of PDR use in the Plan Area would result in a significant and unavoidable land use impact. The proposed change in use from PDR (warehouse and office) to Flex, retail, and residential would contribute to this significant and unavoidable cumulative impact. However, this impact would not be peculiar to the project or the project site, was identified in the FEIR, and would not have a more severe impact on land use than that identified in the FEIR.

The Citywide Planning and Current Planning Divisions of the Planning Department have determined that the proposed project is consistent with the development density of the UMU zoning district and satisfies the requirements of the General Plan and the *Planning Code*.^{4,5}

³ PES Environmental, Inc., *Phase I Environmental Site Assessment* (August 14, 2012).

⁴ Adam Varat, San Francisco Planning Department, *Community Plan Exemption Eligibility Determination, Citywide Planning Analysis, 3420 18th Street* (July 31, 2013). This document is on file and available for review as part of Case File No. 2012.1572E.

⁵ Brittany Bendix, San Francisco Planning Department, *Community Plan Exemption Eligibility Determination, Current Planning Analysis, 3420 18th Street* (July 31, 2013). This document is on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California, 94103, under case no. 2012.1572E.

For these reasons, implementation of the proposed project would not result in significant impacts that were not identified in the Eastern Neighborhoods FEIR related to land use and land use planning, and no mitigation measures are necessary.

The Eastern Neighborhoods FEIR determined that the Eastern Neighborhoods Rezoning and Area Plans, as adopted, would result in a significant and unavoidable impact on the existing character of the Eastern Neighborhoods Area Plans due to the cumulative loss of PDR uses in the plan area. Therefore, this topic is discussed in full in the Certificate of Determination.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
2. AESTHETICS —Would the project:						
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and other features of the built or natural environment which contribute to a scenic public setting?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area or which would substantially impact other people or properties?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR states that implementation of the Plan would not substantially damage scenic resources that contribute to a scenic public setting. As a proposed rezoning and planning process, the Plan would not directly result in any physical changes. Rather, any changes in urban form and visual quality would be the secondary result of individual development projects that would occur subsequent to the adoption of changes in zoning and community plans.

With respect to views, the Eastern Neighborhoods FEIR found that while development pursuant to the Plan would result in height increases and use district changes, the rezoning would not substantially degrade the views and new development up to the proposed height limits may even help define the street edge and better frame urban views. The Plan would not result in a significant adverse impact with regard to views. In addition, the Eastern Neighborhoods FEIR concluded that light and glare impacts would be less than significant because new construction in the Plan Area could generate additional night lighting, but not in amounts unusual for a developed urban area. Furthermore, additional glare from new buildings would not result in a substantial change as use of reflective glass would be restricted by Planning Commission Resolution 9212.

The Eastern Neighborhoods FEIR also noted that minimal visual change is expected in the existing, predominately residential and neighborhood commercial areas of the Mission District as a result of the proposed rezoning options, which would retain existing use regulations and heights in many areas.

For these reasons, the Eastern Neighborhoods FEIR concluded that implementation of the area plans would not substantially degrade the visual character or quality of the area, have a substantial adverse effect on a scenic vista, substantially damage scenic resources that contribute to a scenic public setting, or create a new source of substantial light or glare that would adversely affect day or nighttime views in the area or that would substantially impact other people or properties. No mitigation measures were identified in the FEIR.

Public Resources Code Section 21099(d), effective January 1, 2014, provides that, “aesthetics and parking impacts of a residential, mixed-use residential, or employment center project on an infill site located within a transit priority area shall not be considered significant impacts on the environment.” Accordingly, aesthetics and parking are no longer to be considered in determining if a project has the potential to result in significant environmental effects for projects that meet all of the following three criteria:

- a) The project is in a transit priority area;
- b) The project is on an infill site; and
- c) The project is residential, mixed-use residential, or an employment center.

The proposed project meets each of the above three criteria; thus, this checklist does not consider aesthetics in determining the significance of project impacts under CEQA.⁶

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
3. POPULATION AND HOUSING —Would the project:						
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing housing units or create demand for additional housing, necessitating the construction of replacement housing?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

One of the objectives of the Eastern Neighborhoods Area Plan is to identify appropriate locations for housing in the City’s industrially zoned land to meet the citywide demand for additional housing. The Eastern Neighborhoods FEIR concluded that an increase in population in the Plan Area is expected to occur as a secondary effect of the proposed rezoning and that any population increase would not, in itself, result in adverse physical effects, but would serve to advance key City policy objectives, such as

⁶ San Francisco Planning Department, *Transit-Oriented Infill Project Eligibility Checklist for 1201–1225 Tennessee Street* (February 25, 2014). This document is available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400 as part of Case File No. 2012.0493E.

providing housing in appropriate locations next to Downtown and other employment generators and furthering the City's Transit First policies. It was anticipated that the rezoning would result in an increase in both housing development and population in all of the Area Plan neighborhoods. The Eastern Neighborhoods FEIR determined that the anticipated increase in population and density would not result in significant adverse physical effects on the environment. No mitigation measures were identified in the FEIR.

The proposed project would increase the population and housing on site by constructing 258 dwelling units. This number of dwelling units would result in an increase of approximately 600 residents, based on the City's person-per-household (pph) ratio of 2.31 (U.S. Census 2010). The increase in population represents 0.0007 percent of 825,100, the total San Francisco population as of 2012 and the housing increase represents 0.0007 percent of the existing number of housing units, which was 372,830 at the end of 2011.⁷ The proposed project would add 2,340 sf of retail space, 12,440 sf of "Flex" space (ground floor space that could be used for residential use or residential use with accessory office) to the City. As of 2012, the City provided 586,620 jobs.⁸ Although the City does not have an adopted jobs-housing ratio target, Policy 1.9 of the Housing Element of the San Francisco General Plan encourages new commercial developments that would generate employment to also develop housing or pay in-lieu fees through the City's Jobs-Housing Linkage Program.⁹ Since the proposed project includes residential units in addition to the employment-generating uses, it would not have an adverse effect on the jobs/housing balance in the City.

These direct effects of the proposed project on population and housing are within the scope of the population growth anticipated under the Eastern Neighborhoods Area Plan and evaluated in the Eastern Neighborhoods FEIR.

The proposed project would not involve the expansion of infrastructure, and thus would not indirectly induce substantial population growth. Nor would the proposed project displace substantial numbers of people necessitating the construction of replacement housing.

For the above reasons, the proposed project would not result in significant impacts on population and housing that were not identified in the Eastern Neighborhoods FEIR.

⁷ San Francisco Planning Department, *2011 Housing Inventory* (May 2012). This document is available online at http://www.sf-planning.org/ftp/files/publications_reports/2011_Housing_Inventory_Report.pdf.

⁸ City of San Francisco, 2012 Commerce and Industry Inventory.

⁹ City and County of San Francisco, *General Plan Housing Element* (2004).

Topics:	Project-Specific Significant Impact Not Identified in PEIR	Significant Unavoidable Impact Identified in PEIR	Mitigation Identified in PEIR	PEIR Mitigation Applies to Project	PEIR Mitigation Does Not Apply to Project	No Significant Impact (Project or PEIR)
4. CULTURAL AND PALEONTOLOGICAL RESOURCES —Would the project:						
a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5, including those resources listed in Article 10 or Article 11 of the San Francisco <i>Planning Code</i> ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR determined that the Eastern Neighborhoods Rezoning and Area Plans, as adopted, would result in a significant and unavoidable impact on historic and archaeological/paleontological resources.

Historic Architectural Resources

Pursuant to CEQA Guidelines Sections 15064.5(a)(1) and 15064.5(a)(2), historical resources are buildings or structures that are listed, or are eligible for listing, in the California Register of Historical Resources or are identified in a local register of historical resources, such as Articles 10 and 11 of the San Francisco *Planning Code*. The Eastern Neighborhoods FEIR determined that future development facilitated through the changes in use districts and height limits under the Eastern Neighborhoods Area Plan could have substantial adverse changes on the significance of both individual historical resources and on historical districts within the Plan Area. The FEIR determined that approximately 32 percent of the known or potential historical resources in the Plan Area could potentially be affected under the preferred alternative. The Eastern Neighborhoods FEIR found this impact to be significant and unavoidable. This impact was addressed in a Statement of Overriding Considerations with findings and adopted as part of the Eastern Neighborhoods Rezoning and Area Plans approval on January 19, 2009.

The FEIR identifies three mitigation measures that could reduce the severity of impacts of development enabled under the Eastern Neighborhoods Plan in some cases: Mitigation Measure K-1 – Interim Procedures for Permit Review in the Eastern Neighborhoods Plan Area established interim building permit review policies to protect historical resources within the Plan Area, pending completion of an historical resources survey of the Plan Area and implementation of revised Preservation Policies for protection of historical resources within the Plan Area; Mitigation Measure K-2 – Amendments to Article 10 of the *Planning Code* Pertaining to Vertical Additions in the South End Historic District (East SoMa) identified amendments to Article 10 of the *Planning Code* pertaining to vertical additions in the South End Historic District that would reduce potential impacts to contributing structures in this historic district; and Mitigation Measure K-3 – Amendments to Article 10 of the *Planning Code* Pertaining to Alterations and Infill Development in the Dogpatch Historic District (Central Waterfront) identified amendments to *Planning Code* Article 10 pertaining to alteration and infill development in the Dogpatch

Historic District that would reduce potential impacts on contributing structures in this historic district. However, because the demolition or substantial alteration of a historical resource typically cannot be fully mitigated, the FEIR concluded that the Eastern Neighborhoods Plan would have a significant and unavoidable impact on historical resources.

A Historic Resources Evaluation (HRE) was performed in April 2013 by VerPlanck Historic Preservation Consulting.¹⁰ City staff reviewed the draft HRE and provided a response concurring with the HRE findings.¹¹ The evaluation determined that the subject property at 1201–1225 Tennessee Street is not listed as historic and appears ineligible for listing in the California Register under any of the eligibility criteria. Though the Planning Department does not consider the property to be a historical resource for the purposes of CEQA, the project site is adjacent to the Dogpatch Historic District. The HRE analyzed the proposed replacement building to determine whether the proposed project would affect any off-site historic resources, specifically the adjacent Dogpatch Historic District.

The proposed new mixed-use building would occupy a transitional space between the residential uses within the Dogpatch Historic District and the large mid-century industrial buildings of the southern Central Waterfront District. In order to address this nexus between residential and industrial uses, the proposed building is articulated as three separate but attached buildings. The proposed project would replace a nonhistoric resource with another nonhistoric resource. The building currently located at 1201–1225 Tennessee Street was constructed in 1968 for the John Hancock Mutual Life Insurance Company as an investment property. Designed as a tilt-up concrete industrial building, the building satisfied the demand for light industrial and warehousing in the southeastern sector of San Francisco during the 1960s and 1970s with its large, open-span, single-level work spaces, ample room for loading, and good access to local freeways. Since 1972 the property has belonged to the same consortium of investors, and throughout this period it has been occupied by a variety of light manufacturing, food-processing, moving, and service companies.

Since 1968, the southwestern corner of the property has been used as a gas station, wrecking yard, car rental facility, and now a natural fuel station. The property is adjacent to but not part of the Dogpatch Historic District. It was excluded from the historic district because it was built nearly a quarter-century after the district's period of significance and because it appeared to lack architectural or historical significance. The proposed project would demolish the existing building and replace it with a six-story, mixed-use building containing residential, retail, and open space. Though it would be larger than the existing building on the site, it would not impair the significance or the integrity of the adjoining Dogpatch Historic District, mainly because it is sited outside the Dogpatch Historic District and because its design takes the proximity of the historic district into account and provides for transitional architectural features, building separation, and orientation sensitive to the district, as well as integrating landscape features. For these reasons the project appears to comply with all ten of the Interior's Standards for Rehabilitation; therefore, the proposed project would not result in peculiar impacts that were not identified or a more severe adverse impact than analyzed in the Eastern Neighborhoods FEIR related to historic resources.

¹⁰ VerPlanck Historic Preservation Consulting, *Historic Resource Evaluation 1201–25 Tennessee Street, San Francisco, California* (Draft April 2013, Final Report issued August 2013). A copy of this report is on file for public review at the Planning Department, 1650 Mission Street Suite 400 as part of Case No. 2012.0493U.

¹¹ Tina Tam, Historic Preservation Planner, City of San Francisco, *Historic Resource Evaluation Response* (July 9, 2013). A copy of this report is on file for public review at the Planning Department, 1650 Mission Street Suite 400 as part of Case No. 2012.0493U.

For these reasons, the proposed project would not result in significant impacts on historic architectural resources that were not identified in the Eastern Neighborhoods FEIR. No mitigation is required.

Archeological Resources

The Eastern Neighborhoods FEIR determined that implementation of the Area Plan could result in significant impacts on archeological impacts and identified three mitigation measures that would reduce these potential impacts to a less than significant level. Eastern Neighborhoods FEIR Mitigation Measure J-1 – Properties with Previous Studies applies to properties for which a final archeological research design and treatment plan is on file at the Northwest Information Center and the Planning Department. Mitigation Measure J-2 – Properties with no Previous Studies applies to properties for which no archeological assessment report has been prepared or for which the archeological documentation is incomplete or inadequate to serve as an evaluation of potential effects on archeological resources under CEQA. Mitigation Measure J-3 – Mission Dolores Archeological District, which applies to properties in the Mission Dolores Archeological District, requires that a specific archeological testing program be conducted by a qualified archeological consultant with expertise in California prehistoric and urban historical archeology.

Project Mitigation Measure M-CR-1 – Properties with No Previous Studies (Mitigation Measure J-2 of the Eastern Neighborhoods FEIR). Based on a reasonable presumption that archeological resources may be present within the project site, the following measures shall be undertaken to avoid any potentially significant adverse effect from the proposed project on buried or submerged historical resources. Prior to the issuance of construction permits, the project sponsor shall retain the services of an archeological consultant from the pool of qualified archeological consultants maintained by the Planning Department archaeologist. The archeological consultant shall undertake an archeological testing program as specified herein. In addition, the consultant shall be available to conduct an archeological monitoring and/or data recovery program if required pursuant to this measure. The archeological consultant's work shall be conducted in accordance with this measure at the direction of the Environmental Review Officer (ERO). All plans and reports prepared by the consultant as specified herein shall be considered draft reports subject to revision until final approval by the ERO. Archeological monitoring and/or data recovery programs required by this measure could suspend construction of the project for up to a maximum of four weeks. At the direction of the ERO, the suspension of construction can be extended beyond four weeks only if such a suspension is the only feasible means to reduce potential effects on a significant archeological resource as defined in CEQA Guidelines Section 150664.5(a)(c) to less than significant.

Consultation with Descendant Communities. On discovery of an archeological site associated with descendant Native Americans or the Overseas Chinese, an appropriate representative of the descendant group and the ERO shall be contacted. The representative of the descendant group shall be given the opportunity to monitor archeological field investigations of the site, of recovered data from the site, and, if applicable, any interpretative treatment of the associated archeological site. A copy of the Final Archaeological Resources Report shall be provided to the representatives of the descendant group.

Archaeological Testing Program. The archeological consultant shall prepare and submit to the ERO for review and approval an archeological testing plan (ATP). The archeological testing program shall be conducted in accordance with the approved ATP. The ATP shall identify the property

types of the expected archeological resource(s) that potentially could be adversely affected by the proposed project, the testing method to be used, and the locations recommended for testing. The purpose of the archeological testing program will be to determine to the extent possible the presence or absence of archeological resources and to identify and to evaluate whether any archeological resource encountered on the site constitutes an historical resource under CEQA.

At the completion of the archeological testing program, the archeological consultant shall submit a written report of the findings to the ERO. If based on the archeological testing program the archeological consultant finds that significant archeological resources may be present, the ERO in consultation with the archeological consultant shall determine if additional measures are warranted. Additional measures that may be undertaken include additional archeological testing, archeological monitoring, and/or an archeological data recovery program. If the ERO determines that a significant archeological resource is present and that the resource could be adversely affected by the proposed project, at the discretion of the project sponsor either:

- (a) The proposed project shall be re-designed so as to avoid any adverse effect to the significant archeological resource; or
- (b) A data recovery program shall be implemented, unless the ERO determines that the archeological resource is of greater interpretive than research significance and that interpretive use of the resource is feasible.

Archaeological Monitoring Program. If the ERO in consultation with the archeological consultant determines that an archeological monitoring program shall be implemented the archeological monitoring program shall minimally include the following provisions:

- (a) The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the AMP reasonably prior to any project-related soils disturbing activities commencing.
- (b) The ERO in consultation with the archeological consultant shall determine what project activities shall be archeologically monitored. In most cases, any soils-disturbing activities, such as demolition, foundation removal, excavation, grading, utilities installation, foundation work, driving of piles (foundation, shoring, etc.), site remediation, etc., shall require archeological monitoring because of the risk these activities pose to potential archeological resources and to their depositional context;
- (c) The archeological consultant shall advise all project contractors to be on the alert for evidence of the presence of the expected resource(s), of how to identify the evidence of the expected resource(s), and of the appropriate protocol in the event of apparent discovery of an archeological resource;
- (d) The archeological monitor(s) shall be present on the project site according to a schedule agreed upon by the archeological consultant and the ERO until the ERO has, in consultation with project archeological consultant, determined that project construction activities could have no effects on significant archeological deposits;
- (e) The archeological monitor shall record and be authorized to collect soil samples and artifactual/ecofactual material as warranted for analysis;
- (f) If an intact archeological deposit is encountered, all soils-disturbing activities in the vicinity of the deposit shall cease. The archeological monitor shall be empowered to temporarily redirect demolition/excavation/pile driving/construction activities and

equipment until the deposit is evaluated. If in the case of pile driving activity (foundation, shoring, etc.), the archeological monitor has cause to believe that the pile driving activity may affect an archeological resource, the pile driving activity shall be terminated until an appropriate evaluation of the resource has been made in consultation with the ERO. The archeological consultant shall immediately notify the ERO of the encountered archeological deposit. The archeological consultant shall make a reasonable effort to assess the identity, integrity, and significance of the encountered archeological deposit, and present the findings of this assessment to the ERO.

Whether or not significant archeological resources are encountered, the archeological consultant shall submit a written report of the findings of the monitoring program to the ERO.

Archaeological Data Recovery Program. The archeological data recovery program shall be conducted in accord with an archeological data recovery plan (ADRP). The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the ADRP prior to preparation of a draft ADRP. The archeological consultant shall submit a draft ADRP to the ERO. The ADRP shall identify how the proposed data recovery program will preserve the significant information the archeological resource is expected to contain. That is, the ADRP will identify what scientific/historical research questions are applicable to the expected resource, what data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. Data recovery, in general, should be limited to the portions of the historical property that could be adversely affected by the proposed project. Destructive data recovery methods shall not be applied to portions of the archeological resources if nondestructive methods are practical.

The scope of the ADRP shall include the following elements:

- (a) Field Methods and Procedures. Descriptions of proposed field strategies, procedures, and operations.
- (b) Cataloguing and Laboratory Analysis. Description of selected cataloguing system and artifact analysis procedures.
- (c) Discard and Deaccession Policy. Description of and rationale for field and post-field discard and deaccession policies.
- (d) Interpretive Program. Consideration of an on-site/off-site public interpretive program during the course of the archeological data recovery program.
- (e) Security Measures. Recommended security measures to protect the archeological resource from vandalism, looting, and non-intentionally damaging activities.
- (f) Final Report. Description of proposed report format and distribution of results.
- (g) Curation. Description of the procedures and recommendations for the curation of any recovered data having potential research value, identification of appropriate curation facilities, and a summary of the accession policies of the curation facilities.

Human Remains and Associated or Unassociated Funerary Objects. The treatment of human remains and of associated or unassociated funerary objects discovered during any soils disturbing activity shall comply with applicable State and Federal laws. This shall include immediate notification of the Coroner of the City and County of San Francisco and in the event of the Coroner's determination that the human remains are Native American remains, notification of the

California State Native American Heritage Commission (NAHC) who shall appoint a Most Likely Descendant (MLD) (Pub. Res. Code Sec. 5097.98). The archeological consultant, project sponsor, and MLD shall make all reasonable efforts to develop an agreement for the treatment of, with appropriate dignity, human remains and associated or unassociated funerary objects (CEQA Guidelines Section 15064.5(d)). The agreement should take into consideration the appropriate excavation, removal, recordation, analysis, custodianship, curation, and final disposition of the human remains and associated or unassociated funerary objects.

Final Archaeological Resources Report. The archeological consultant shall submit a Draft Final Archaeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describes the archeological and historical research methods employed in the archeological testing/monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.

Once approved by the ERO, copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Environmental Planning division of the Planning Department shall receive one bound, one unbound and one unlocked, searchable PDF copy on CD of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest in or the high interpretive value of the resource, the ERO may require a different final report content, format, and distribution than that presented above.

The proposed project would result in below-ground surface construction, including piles for building support. A geotechnical report was prepared on May 10, 2012, by Treadwell & Rollo. Like many areas of the City, the soils on the project site are comprised of fill materials. The report identified that the fill in the northern portion of the site is nine feet thick and consists of stiff clay overlying a two-foot-thick medium dense sand layer. In the southern portion of the site the clay and sand fill may be up to 20 feet thick, consisting of a combination of soft to medium stiff clayey soils and loose to medium dense sand. Further, on the southern portion of the site the clay and sand fill is likely underlain by a layer of soft and compressible Marsh deposits/Bay Mud layer, which may extend to a depth of 32 feet below ground surface (bgs). Native stiff clay likely underlies the clay and sand fill and Marsh deposits/Bay Mud across the entire site. Dense to very dense sand likely underlies stiff native clay. The top of the dense to very dense sand is likely on the order of 14 feet deep beneath the northern portion of the site and about 35 feet bgs in the southern portion of the site. Excavation for areas within the clay and sand fill (i.e., nine to 20 feet bgs) would not result in significant effects to archeological resources because these depths are above the historic land surface and Marsh deposits/Bay Mud. However, piles for the proposed project would extend between 25 and 45 feet bgs, which would penetrate the identified fill plus the layers of Marsh deposits/Bay Mud and native stiff clay. These deposits could contain unknown archeological and paleontological deposits.

An archeological review was performed by City staff in July 2013.¹² The review determined that no prehistoric deposits have yet been discovered in the Potrero Hill and former Potrero Point area. Given the locational/ecological/geographic characteristics of the project site location prehistorically, the absence of documented prehistoric sites here is unexpected.

The project site is located within the Late Holocene epoch the northern shoreline of the Islais Creek estuary. Based on the historical cartographic record the southwestern or southern portion of the project site was occupied by a lagoon and sizable freshwater-tidal marsh. From the project geotechnical investigations, this lagoon and marsh is indicated by the presence of late Bay Mud deposits over marsh deposits and extends throughout the southern half of the site. Because these “soft” geologic deposits are deeper within the site, the geotechnical report identifies this area as “Zone B,” requiring distinct geotechnical treatment, including deeper piles.

As no archaeological report has been prepared for the project site, FEIR Mitigation Measure J-2 – Properties with No Previous Studies would apply to the proposed project. With implementation of this mitigation measure, impacts related to archaeological and paleontological resources would be less than significant. In accordance with the Eastern Neighborhoods FEIR requirements, the project sponsor has agreed to implement FEIR Mitigation Measure J-2. With compliance with FEIR Mitigation Measure J-2, the proposed project would not result in peculiar impacts that were not identified or a more severe adverse impact than analyzed in the Eastern Neighborhoods FEIR related to archeological resources. The Eastern Neighborhoods FEIR discussed disturbance of human remains in the Mission Dolores district, for which Mitigation Measure J-3 would apply. Because the proposed project is not located in the Mission Dolores district, this mitigation would not apply. The proposed project is located on a previously developed site and it is unlikely that human remains would be discovered. In the event such remains are discovered, compliance with State and federal laws concerning handling of human remains would ensure this impact is less than significant.

For the above reasons, the proposed project would not result in significant new or more severe impacts that were not identified in the Eastern Neighborhoods FEIR related to cultural resources, either individually or cumulatively.

¹² Randall Dean, San Francisco Planning Department, Environmental Planning, *Preliminary Archeological Review: Checklist* (July 12, 2013).

<i>Topics:</i>	<i>Project-Specific Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
5. TRANSPORTATION AND CIRCULATION— Would the project:						
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels, obstructions to flight, or a change in location, that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR anticipated that growth resulting from the zoning changes could result in significant impacts on traffic and transit ridership, and identified 11 transportation mitigation measures. Even with mitigation, however, it was anticipated that the significant adverse cumulative traffic impacts at certain local intersections and the cumulative impacts on certain transit lines could not be fully mitigated. Thus, these impacts were found to be significant and unavoidable.

Trip Generation

The new building would include approximately 258 dwelling units, 2,340 sf of retail space, 12,440 sf of “Flex” space (ground floor space that could be used for residential use or residential use with accessory office), and a maximum of 147 parking spaces located at grade in the concrete podium utilizing car stackers. Access to site parking would be provided from a driveway on Tennessee Street. Two on-street parking spaces on Tennessee Street adjacent to the driveway would be designated as loading zone for project residents. In addition to vehicular parking, a minimum of 77 Class 1 bicycle parking spaces are proposed.

Trip generation of the proposed project was calculated using information in the *2002 Transportation Impacts Analysis Guidelines for Environmental Review* (SF Guidelines) developed by the San Francisco Planning Department.¹³

The proposed project would generate an estimated 3,281 person trips (inbound and outbound) on a weekday daily basis. During the PM peak hour, the proposed project would generate an estimated 488 vehicle trips (accounting for vehicle occupancy data for this Census Tract), consisting of 292 person trips by auto, 96 transit trips, 27 walk trips and 73 trips by other modes.¹⁴ See Table TR-1, Proposed Project Trip Generation by Mode – PM Peak Hour.

Table TR-1 Proposed Project Trip Generation by Mode – PM Peak Hour								
Land Use	Person Trips					Vehicle Trips		
	Auto	Transit	Walk	Other	Total	Total	In	Out
Residential	237	85	11	72	405	213	142	71
Retail	44	8	15	1	68	23	11	12
Office	11	3	1	0	15	9	1	8
Total	292 (60%)	96 (20%)	27 (5%)^a	73 (15%)	488	245	154 (63%)	91 (37%)

SOURCE: San Francisco Planning Department, *SF Guidelines* (2002), Appendices C and E; Census ACS 2011; Fehr & Peers (2013).

a. Rounded down from 5.5 percent to ensure the percentages add up to 100%.

Traffic Impacts

The proposed project's vehicle trips would travel through the intersections surrounding the project block. Intersection operating conditions are characterized by the concept of level of service (LOS), which ranges from A to F and provides a description of an intersection's performance based on traffic volumes, intersection capacity, and vehicle delays. LOS A represents free flow conditions, with little or no delay, while LOS F represents congested conditions, with extremely long delays; LOS D (moderately high delays) is considered the lowest acceptable level in San Francisco. The intersections near the project site (within approximately 1,500 feet) include those shown in Table TR-2, Weekday PM Peak Hour Intersection Levels of Service – Existing Plus Project, p. 33.

The proposed project would generate an estimated 193 net new PM peak hour vehicle trips that could travel through surrounding intersections. This amount of new PM peak hour vehicle trips would not substantially increase traffic volumes at these or other nearby intersections, would not substantially increase average delay that would cause intersections that currently operate at acceptable LOS to deteriorate to unacceptable LOS, or would not substantially increase average delay at intersections that currently operate at unacceptable LOS.

¹³ Fehr & Peers, *Transportation Impact Study, 1201–1225 Tennessee Street*, Case Number: 2012.0493! (February 2014). These calculations are on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2012.0493E.

¹⁴ Fehr & Peers, *Transportation Impact Study, 1201–1225 Tennessee Street*, Case Number: 2012.0493! (February 2014). This document is on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California, 94103, under case no. 2012.0493E.

Intersection	Traffic Control	Existing		Existing Plus Project	
		Avg. Delay ^a	LOS ^a	Avg. Delay	LOS
1. 16 th Street/Mississippi Street/Seventh Street	Signalized	31.4	C	32.0	C
2. 16 th Street/Third Street	Signalized	25.9	C	26.0	C
3. Mariposa Street/I-280 NB off-ramp	Signalized	22.5	C	22.5	C
4. Mariposa Street/Indiana Street	Side-street stop	16.8 (NB)	C ²	17.0 (NB)	C ^b
5. Mariposa Street/Third Street	Signalized	16.9	B	17.3	B
6. 22 nd Street/Indiana Street	All-way stop	8.8 (WB & NB)	A	9.1 (NB)	A
7. 22 nd Street/Third Street	Signalized	12.0	B	12.1	B
8. 23 rd Street/Pennsylvania Street	All-way stop	10.8 (SB)	B	11.2 (SB)	B
9. 23 rd Street/Tennessee Street	Side-street stop	12.3 (SB)	B	16.6 (SB)	C
10. 23 rd Street/Third Street	Signalized	12.2	B	14.5	B
11. SB I-280 Off-Ramp/Pennsylvania Street	Signalized	16.0 (SB)	C	16.9 (SB)	C
12. Cesar Chavez/NB I-280 Off-Ramp/Pennsylvania Street	Signalized	32.4	C	36.8	D
13. 25 th Street/Indiana Street/I-280 NB On-Ramp	All-way stop	11.9 (WB)	B	12.4 (WB)	B

SOURCE: Fehr & Peers (2013).

LOS = level of service

- a. Delay reported as seconds per vehicle. For signalized intersections, a combined weighted average delay for the various movements within the intersection is reported. For unsignalized intersection, the highest average delay for an approach is reported (approach indicated in parentheses). Based on the methodology in the 2000 Highway Capacity Manual, the LOS is based on the reported delay for signalized and unsignalized intersections.
- b. At this intersection, the northbound approach is modeled as two lanes, northbound-left and northbound-right, due to the width of the lane and reflecting observed driver behavior.

Each of the rezoning options in the Eastern Neighborhoods FEIR identified significant and unavoidable cumulative (2025) impacts relating to weekday PM peak hour traffic conditions, with the adopted version of the Eastern Neighborhoods Plan having significant impacts at four intersections in the Central Waterfront neighborhood, which were projected to operate at LOS E or F during the weekday PM peak hour. These four intersections consist of the following: Third/César Chávez; Third/Evans; César Chávez/Evans; and 25th/Indiana Streets. With the exception of the intersection of 25th/Indiana Streets, no feasible mitigation measures were identified to mitigate the above impacts to less-than-significant levels. General mitigation measures were proposed for the entire Plan Area. These include intelligent traffic management, enhanced transportation funding, and parking management to discourage driving. Even with mitigation, however, cumulative impacts at the above intersections were found to be significant and unavoidable and a Statement of Overriding Considerations related to the significant and unavoidable cumulative traffic impacts was adopted as part of the FEIR Certification and project approval.

As shown in Table TR-2, the addition of project-generated traffic would result in small increases in the average delay per vehicle at the study intersections. All study intersections would continue to operate at an acceptable LOS D or better under Existing Plus Project conditions.

The proposed project would also have a significant impact on traffic if it created or substantially increased potential collision risks in the study area. In general, the proposed project would add vehicle

trips to the surrounding roadways; however, a general increase in traffic would not be considered a significant impact.

Existing volumes on Tennessee Street are low and are not likely to interfere with vehicles entering and exiting the project site. During the peak hours, most Muni buses depart the maintenance yard on Tubbs Street and exit away from the project site towards Minnesota Street. Occasional Muni buses were observed to exit to Tennessee Street to reach Third Street via 23rd Street; however, these vehicles are infrequent (less than five per hour during observations) and would not substantially increase the potential collision risks in the study area. Vehicle queues at the proposed project driveway into the public right-of-way would be subject to the Planning Department's vehicle queue abatement Conditions of Approval.

Although the proposed project would have less-than-significant traffic impacts, there are a number of measures that could be implemented to lessen the effect of automobile traffic in the project vicinity. These are described below as recommended improvements.

Improvement Measure I-TR-1 – Queue Abatement. As an improvement measure to minimize the vehicle queues at the proposed project driveway into the public right-of-way, the proposed project would be subject to the Planning Department's vehicle queue abatement Conditions of Approval.

Improvement Measure I-TR-2 – Street Sweeping Requirements. The proposed streetscape plan includes tree wells that extend into the parking lane. As an improvement measure to ensure the parking spaces between tree wells are regularly cleaned, an agreement shall be made with the building management to take on responsibility for the regular cleaning of any pockets created by the tree wells which cannot be cleaned by DPW street cleaning equipment.

Therefore, the proposed project would not result in significant impacts on traffic that were not identified in the Eastern Neighborhoods FEIR.

Freeway Impacts

Similar to intersections, project trips would be added to study freeway segments to existing traffic volumes to create Existing Plus Project traffic volumes as shown in Table TR-3, PM Peak Hour Freeway Levels of Service – Existing Plus Project Conditions, p. 35. Table TR-3 compares the LOS under Existing and Existing Plus Project conditions. The segment of NB U.S. 101 north of the On-ramp/Cesar Chavez Street would continue to operate at LOS F with or without the proposed project. The project's contribution to traffic on U.S. 101 (one trip northbound) would be minor and result in less than one percent traffic increase during the PM peak hour.

Therefore, the proposed project would not result in significant impacts on freeways that were not identified in the Eastern Neighborhoods FEIR.

Freeway Segment	Existing			Existing Plus Project			
	Volume ^a	Density ^b	LOS	Project Trips	Volume	Density ^b	LOS
SB U.S. 101 north of the Cesar Chavez Street Off-Ramp	6,754	33.9	D	3	6,757	34.0	D
NB U.S. 101 north of the On-Ramp/Cesar Chavez Street	8,426	>45	F	1	8,427	>45	F

SOURCE: Fehr & Peers (2013).

Bold indicates unacceptable conditions (LOS E or F).

SB = southbound; NB = northbound

a. Source: Potrero HOPE Transportation Study (CDM Smith, October 2012); Caltrans traffic counts (2008-2009).

b. Density is reported in passenger cars per mile per lane (pc/mi/ln).

Transit Impacts

The project site is within 0.25 mile of T Third, 22 Fillmore, and 48 Quintara-24th Street, as well as Caltrain. The proposed project would be expected to generate 96 transit trips during the PM peak hour. Given the wide availability of nearby transit, the addition of 96 PM peak hour transit trips would be accommodated by existing capacity (see Table TR-4, Muni Southeast Screenline – PM Peak Hour, p. 35, and Table TR-5, Regional Transit Screenline – Project Conditions, p. 36). As such, the proposed project would not result in unacceptable levels of transit service or cause a substantial increase in delays or operating costs such that significant adverse impacts in transit service could result.

Outbound Screenline	Existing			Existing Plus Project		
	PM Peak Hour Ridership	Hourly Capacity	Capacity Utilization	Project Trips	PM Peak Hour Ridership	Capacity Utilization
Southeast						
Third Street Corridor ^a	508	714	71%	29	537	75%
Mission Street Corridor ^b	1,529	2,789	55%	0	1,529	55%
San Bruno/Bayshore Corridor ^c	1,320	2,134	62%	0	1,320	62%
All Other Lines ^d	1,034	1,712	60%	0	1,034	60%
Total	4,391	7,349	60%	29	4,420	60%

SOURCE: SF Muni (2011); Fehr & Peers (2013), see Appendix F for Transit Line Capacity Calculations.

a. Includes T Third Street.

b. Includes 14 Mission, 14L Mission Limited, 14X Mission Express, and 49 Van Ness-Mission.

c. Includes 8AX Bayshore 'A' Express, 8BX Bayshore 'B' Express, 8X Bayshore Express, 9 San Bruno, and 9L San Bruno Limited.

d. Includes J Church, 10 Townsend, 12 Folsom-Pacific, 19 Polk, and 27 Bryant.

Table TR-5 Regional Transit Screenline – Project Conditions						
<i>Screenline</i>	<i>Existing Conditions</i>			<i>Project Conditions</i>		
	<i>PM Peak Hour Ridership</i>	<i>PM Peak Hourly Capacity</i>	<i>Capacity Utilization</i>	<i>Project Trips</i>	<i>Ridership</i>	<i>Capacity Utilization</i>
East Bay						
BART	19,716	22,050	89%	6	19,722	89%
AC Transit	2,256	3,926	57%	0	2,256	57%
Ferries	805	1,615	50%	0	805	50%
<i>Screenline Subtotal</i>	<i>22,777</i>	<i>27,591</i>	<i>83%</i>	<i>6</i>	<i>22,783</i>	<i>83%</i>
North Bay						
Golden Gate Transit Buses	1,384	2,817	49%	1	1,385	49%
Ferries	968	1,959	49%	1	969	49%
<i>Screenline Subtotal</i>	<i>2,352</i>	<i>4,776</i>	<i>49%</i>	<i>2</i>	<i>2,354</i>	<i>49%</i>
South Bay						
BART	10,682	14,910	72%	7	10,689	72%
Caltrain	2,377	3,100	77%	15	2,392	77%
SamTrans	141	320	44%	0	141	44%
<i>Screenline Subtotal</i>	<i>13,200</i>	<i>18,330</i>	<i>72%</i>	<i>22</i>	<i>13,222</i>	<i>72%</i>
<i>Regional Total</i>	<i>38,330</i>	<i>50,697</i>	<i>76%</i>	<i>30</i>	<i>38,359</i>	<i>76%</i>

SOURCE: San Francisco Planning Department (2012); Fehr & Peers (2013).

Each of the rezoning options in the Eastern Neighborhoods FEIR identified significant and unavoidable cumulative impacts relating to increases in transit ridership on Muni lines, with the Preferred Project having significant impacts on seven lines. Of those lines, the project site is located within a quarter-mile of Muni lines T Third, 22 Fillmore, and 48 Quintara-24th Street. Mitigation measures proposed to address these impacts related to pursuing enhanced transit funding; conducting transit corridor and service improvements; and increasing transit accessibility, service information and storage/maintenance capabilities for Muni lines in the Eastern Neighborhoods. Even with mitigation, however, cumulative impacts on the above lines were found to be significant and unavoidable and a Statement of Overriding Considerations related to the significant and unavoidable cumulative transit impacts was adopted as part of the FEIR Certification and project approval.

The proposed project would not contribute considerably to these conditions as its minor contribution of 96 PM peak hour transit trips would not be a substantial proportion of the overall additional transit volume generated by Eastern Neighborhood projects. The proposed project would also not contribute considerably to 2025 cumulative transit conditions and thus would not result in any significant cumulative transit impacts.

For the above reasons, the proposed project would not result in significant impacts that were not identified in the Eastern Neighborhoods FEIR related to transit and would not contribute considerably to cumulative transit impacts that were identified in the Eastern Neighborhoods FEIR.

Pedestrian Impacts

The proposed project would not include sidewalk narrowing, roadway widening, or removal of a center median; conditions that can adversely affect pedestrians. Pedestrian trips generated by the proposed project would include walk trips to and from the local and regional transit stops, as well as some walk trips to and from nearby commercial and industrial uses. Overall, the proposed project would add up to 123 pedestrian trips to the surrounding streets (this includes 96 transit-access trips and 27 walk trips) during the weekday PM peak hour. These new pedestrian trips would be spread out over several adjacent sidewalks and crosswalks. Pedestrian volumes around the proposed project are generally low and overcrowding on pedestrian facilities is not expected to occur due to the proposed project.

The project proposes the expansion of the frontage sidewalk from current variable widths of five to 16 feet to a minimum of width of 12 feet wide with an eight-foot pedestrian walkway. Sidewalks along Tennessee Street would be just over 15 feet wide, with approximately 7.5-foot wide pedestrian walkways. Sidewalks along 23rd Street would be just over 12 feet wide, with over 9.5-foot wide pedestrian walkway. Sidewalks along Third Street are proposed to be approximately 11.5 feet wide, with just under an eight-foot walkway. The proposed sidewalk widths meet minimum City standards for sidewalks per the Better Streets Plan and will accommodate the pedestrian trips generated by the project.

The new sidewalk would include new landscaping along Tennessee and 23rd Streets to improve the pedestrian experience. The project is consolidating and removing existing driveways and loading docks into one single driveway on Tennessee Street, reducing the number of conflict points between vehicles and pedestrians. The project will also formalize the on-street parking with curbs and gutters which will discourage parking on the sidewalk as currently is the practice on 23rd Street. Additional pedestrian amenities include the public pedestrian pathway along the northern edge of the project site and a bulbout with directional curb ramps on the southwestern and southeastern corners of the project site. The public pedestrian pathway will provide a connection between Third Street and the existing pathway along Tennessee Street north of the project site. The installation of the bulbouts would reduce the crossing distance for pedestrians choosing to cross 23rd and Tennessee Streets at these locations and improve pedestrian visibility for oncoming vehicles from all directions. For several ground-level residential units on Tennessee Street, a 3.5-foot-high wood fence with horizontal slats is proposed to be located at the property line but would not encroach into the public way nor affect the pedestrian experience along this street. In sum, the project's provision for pedestrian accessibility on the project frontage would improve the pedestrian experience on this block.

Project-generated transit trips will begin as pedestrian trips traveling to the appropriate transit stop. Residents and employees traveling to the nearest T Third light rail stop at 23rd and Third Streets would travel along the proposed and existing sidewalks on Third and 23rd Streets and cross at the signalized crossing to the light-rail platform. Residents and employees traveling to the 22nd Street Caltrain station would be accommodated through existing and proposed sidewalks along Tennessee and 22nd Streets as well as the existing pedestrian pathway on Tennessee Street north of Tubbs Street. The pedestrian pathway and 22nd Street are currently popular walking routes and with minimum 10-foot-wide sidewalks and minimal conflicting traffic. Similar to the above, along the project frontage the pedestrian conditions would generally be improved by the project.

Beyond the immediate project frontage, no improvements to the pedestrian facilities in the area are proposed. Sidewalks are not present on Tennessee Street directly south of the site or on Tubbs Street.

While these conditions present an inadequate pedestrian environment, pedestrian activity along these streets is limited as these streets are lined with industrial uses and do not provide through pedestrian access to other destinations. Sidewalks along 23rd Street have rolled curbs and are often partially blocked by parked vehicles or loading vehicles. While not ideal for pedestrian access, a minimum five-foot pedestrian walkway is generally maintained on these sidewalks. Many unsignalized intersections near the project site have unmarked crosswalks. While curb ramps are provided at most intersections in the immediate vicinity of the project, certain corners, such as 22nd Street/Indiana Street, feature curb ramps but these are older and have not been updated for more recent accessibility recommendations (e.g., yellow truncated domes).

The proposed project would not create potential collision risks through increased vehicle conflicts or inadequate sight distance for pedestrians, or otherwise interfere with pedestrian accessibility to the site and adjoining areas. Further while the above discussion identifies some gaps in the pedestrian network, overall pedestrian facilities are generally adequate, and the proposed project would provide an improvement to the pedestrian environment in the neighborhood.

As such, the proposed project would not cause a hazard to pedestrians or otherwise interfere with pedestrian accessibility to the project site and adjoining areas. Pedestrian activity may increase as a result of the proposed project, but not to a degree that would result in substantial overcrowding on public sidewalks. For the above reasons, the proposed project would not result in significant impacts on pedestrian safety that were not identified in the Eastern Neighborhoods FEIR.

Bicycle Impacts

The area around the proposed project has a number of streets designated as bicycle routes. The project site is within convenient bicycling distance of office and retail buildings in the Dogpatch, Mission Bay, Mission District, Potrero Hill, South of Market, and Bayview. As such, it is anticipated that a substantial portion of the 73 “other” trips generated by the proposed project would be bicycle trips. There are bicycle routes nearby to the project site, including bicycle lanes on 16th (Route 40), Illinois (Route 5), and Cesar Chavez Streets, and a bicycle routes on Indiana and Minnesota Streets (Routes 7 and 907). Bicyclists from the project site will use Tennessee, 23rd, or Tubbs Streets to connect to Routes 7 (Minnesota Street) and 5 (Indiana Street), which provide connections to further destinations and designated bicycle routes. Based on observations and traffic counts taken, these streets generally have low traffic volumes with slow speeds and would provide adequate bicycle access between the project site and designated bicycle routes. Although the proposed project would result in an increase in the number of vehicles and loading activity in the vicinity of the project site, this increase would not be substantial enough to affect bicycle travel in the area. The proposed project is not located on a bicycle route and would not create new collision risks through inadequate sight distance or substantial conflicts to bicyclists. Although the proposed project would result in an increase in the number of vehicles in the project vicinity, this increase would not substantially affect bicycle travel in the area.

The proposed project would not increase bicycle traffic to a level that adversely affects bicycle facilities in the area; nor would the proposed project create new potential collision risk or substantial conflict to bicycling. In addition, the frequency of vehicles entering and exiting the project site would not be substantial enough to cause a hazard to bicyclists. For the above reasons, the proposed project would not result in significant impacts on bicycle safety that were not identified in the Eastern Neighborhoods FEIR.

Bicycle Parking: *Planning Code* Section 155.2 describes the requirements for Class 1 and Class 2 bicycle parking spaces for new residential, office, and retail buildings. Class 1 bicycle parking can include bicycle lockers, check-in facilities, monitored parking, or other types of restricted-access parking area. Class 2 bicycle parking should be located in a publicly accessible, highly visible location and are intended for transient or short-term use by visitors, guests, and patrons. Where Class 2 bicycle parking areas are not located in an outdoor location clearly visible to bicyclists, signs shall indicate the locations of the facilities on the exterior of the building at each major entrance and in other appropriate locations. Municipal Code Section 155(j) requires one bicycle parking space for every 20 off-street parking spaces. Based on this code requirement, the proposed project would be required to provide seven bicycle parking spaces. Required bicycle parking spaces shall not be provided within dwelling units, balconies, or required open space. Bicycle parking must otherwise meet the standards set out for parking as described in Section 155.1 of the *Planning Code*.

The proposed project would provide secure bicycle parking for residents and commercial tenants in the ground level parking garage. A total of 179 Class 1 and 84 Class 2 bicycle parking spaces are proposed. The proposed project includes a bicycle storage room with Class 1 bicycle parking near the northwest corner of the project site which is accessible from the proposed public pathway. Class 2 bicycle racks are provided in three locations in the garage which are accessible from all sides via the building lobbies and garage entrances. The proposed project would meet and exceed the *Planning Code* requirement. Additional bicycle facilities proposed include a bike maintenance station located at the northwest corner of the project site.

The proposed streetscape plan does not include Class 2 bicycle parking spaces adjacent to the commercial land uses nor does it include signage indicating the locations of the bicycle amenities at the site. While these are not considered significant impacts, the following Improvement Measure has been identified:

Improvement Measure I-TR-3 – Bicycle Parking Requirements. The project sponsor shall coordinate with SFMTA on the following changes to the proposed project: incorporate Class 2 bicycle parking spaces into the proposed streetscape plan in a publicly accessible and highly visible location; develop signage that directs users to the Class 2 bicycle parking spaces in the parking garage and the bicycle maintenance station in the northwest corner of the site. Signage shall be included in all bicycle parking areas with information about the bicycle maintenance station.

Bicycle Circulation: The area around the proposed project has a number of streets designated as bicycle routes. The project site is within convenient bicycling distance of office and retail buildings in the Dogpatch, Mission Bay, Mission District, Potrero Hill, South of Market, and Bayview. As such, it is anticipated that a substantial portion of the 73 “other” trips generated by the proposed project would be bicycle trips. There are bicycle routes nearby to the project site, including bicycle lanes on 16th Street (Route 40), Illinois Street (Route 5), and Cesar Chavez Street, and a bicycle routes on Indiana and Minnesota Streets (Routes 7 and 907). Bicyclists from the project site will use Tennessee, 23rd, or Tubbs Streets to connect to Routes 7 (Minnesota Street) and 5 (Indiana Street), which provide connections to further destinations and designated bicycle routes. Based on observations and traffic counts taken, these streets generally have low traffic volumes with slow speeds and would provide adequate bicycle access between the project site and designated bicycle routes. Although the proposed project would result in an increase in the number of vehicles and loading activity in the vicinity of the project site, this increase would not be substantial enough to affect bicycle travel in the area. The proposed project is not located on

a bicycle route and would not create new collision risks through inadequate sight distance or substantial conflicts to bicyclists.

As discussed above, the proposed project would not increase bicycle traffic to a level that adversely affects bicycle facilities in the area; nor would the proposed project create new potential collision risk or substantial conflict to bicycling. The proposed project would not affect bicycle accessibility to the project site or adjoining areas. Thus, the proposed project's impact to bicycle circulation would be considered less than significant. For the above reasons, the proposed project would not result in peculiar impacts that were not identified in the Eastern Neighborhoods FEIR related to bicycle circulation or safety.

Loading Impacts

Planning Code Section 152.1 requires no off-street loading for residential development less than 100,000 sf or retail use less than 10,000 sf in gross floor area. The proposed project includes 258 dwelling units, 2,340 sf of retail space, 12,440 sf of "Flex" space (ground floor space that could be used for residential use or residential use with accessory office), and a maximum of 147 parking spaces located at grade in the concrete podium utilizing car stackers. The proposed project's residential and commercial portions would have a demand for less than one delivery/freight loading space during the average hour and peak hour. Residential loading demand would typically be generated when tenants move in and out of the building, which would typically be infrequent, and could require a parking permit from the SFMTA if they park large moving trucks on-street. Parcel delivery vehicles (e.g., UPS) would also arrive at the building; however, these deliveries are usually short and would not substantially affect conditions around the site. Commercial loading demand related to the retail and office uses could include parcel and goods delivery and pick-up. Under *Planning Code* Section 152.1, the proposed project would require one loading space for the proposed residential land uses.¹⁵

The proposed project would not include an off-street loading space within the garage and therefore would not be consistent with the *Planning Code* requirements. The project would however, propose a 29-foot on-street loading zone on Tennessee Street and a designated passenger loading space on 23rd Street near the corner of Third Street, subject to the review and approval of SFMTA. If approved, commercial and passenger loading could occur in the designated loading zones on Tennessee and 23rd Streets. No loading would occur on Third Street.

SFMTA, who is responsible for the review and permitting of all changes to on-street parking zones, is not generally supportive of off-street loading requirements being provided on-street; therefore this proposal may not be approved. If the on-street commercial loading zones are not approved, the project would be required to meet the *Planning Code* requirements for off-street loading or seek an exception, or variance, if allowed under the *Planning Code*. The residential and commercial loading demand can be accommodated with either on- or off-street commercial loading facilities, and therefore the project's commercial loading impact is considered less than significant. Although the proposed project would have less-than-significant loading impacts, the following Improvement Measure has been identified:

¹⁵ Per *San Francisco Planning Code* Table 152.1, 0.1 space (zero spaces) would be required for the proposed 10,000 sf of office space and one space would be required for the residential land uses (100,000 to 200,000 sf). Zero spaces would be required for the retail space (less than 10,000 sf). Per Section 153, the total requirements for off-street loading spaces "shall be the sum of the requirements for the various uses or activities computed separately, including fractional values."

Improvement Measure I-TR-4 – On-Site Loading Spaces. The project sponsor is currently applying for a *Planning Code* exemption through the SFMTA to allow loading to occur at the designated off-site. If the exception is not approved, the project sponsor shall revise the site plan to include one on-site loading space.

Therefore, the proposed project would meet the loading requirements of the *Planning Code*. For the above reasons, the proposed project would not result in significant impacts on transportation and circulation related to loading that were not identified in the Eastern Neighborhoods FEIR.

Emergency Access

The proposed project would not close off any existing streets or entrances to public uses. Therefore, the proposed project would not result in any significant impacts on emergency access that were not identified in the Eastern Neighborhoods FEIR.

Construction

The proposed project's construction activities would last approximately 24 months and would include building construction. Although construction activities would result in additional vehicle trips to and from the project site from workers and material and equipment deliveries, these activities would be limited in duration. Therefore, the proposed project's construction would not result in significant impacts on transportation that were not identified in the Eastern Neighborhoods FEIR.

Although less-than-significant construction impacts, the following Improvement Measure has been identified:

Improvement Measure I-TR-5 – Construction Management.

Traffic Control Plan for Construction. As an improvement measure to reduce potential conflicts between construction activities and pedestrians, transit and autos at the project site, the contractor shall add certain measures to the required traffic control plan for project construction. In addition to the requirements for a construction traffic control/management plan, the project shall include the following measures.

Nonpeak Construction Traffic Hours. In addition, to minimize the construction-related disruption of the general traffic flow on adjacent streets during the AM and PM peak periods, truck movements and deliveries should be limited during peak hours (generally 7:00 to 9:00 a.m. and 4:00 to 6:00 p.m., or other times, as determined by SFMTA and its Transportation Advisory Staff Committee [TASC]).

Carpool and Transit Access for Construction Workers. To minimize parking demand and vehicle trips associated with construction workers, the construction contractor shall include methods to encourage carpooling and transit access to the project site by construction workers in the Construction Management Plan.

Project Construction Updates for Adjacent Businesses and Residents. To minimize construction impacts on access for nearby institutions and businesses, the project sponsor shall provide nearby residences and adjacent businesses with regularly updated information regarding project construction, including a project construction contact person, construction activities, duration, peak construction activities (e.g., concrete pours), travel lane closures, and lane closures.

Parking Analysis

Public Resources Code Section 21099(d), effective January 1, 2014, provides that, “aesthetics and parking impacts of a residential, mixed-use residential, or employment center project on an infill site located within a transit priority area shall not be considered significant impacts on the environment.” Accordingly, aesthetics and parking are no longer to be considered in determining if a project has the potential to result in significant environmental effects for projects that meet all of the following three criteria:

- a) The project is in a transit priority area;
- b) The project is on an infill site; and
- c) The project is residential, mixed-use residential, or an employment center.

The proposed project meets each of the above three criteria and thus, this determination does not consider the adequacy of parking in determining the significance of project impacts under CEQA.¹⁶

The Planning Department acknowledges that parking conditions may be of interest to the public and the decision makers. Therefore, this determination presents a parking demand analysis for informational purposes.

Parking conditions are not static, as parking supply and demand varies from day to day, from day to night, from month to month, etc. Hence, the availability of parking spaces (or lack thereof) is not a permanent physical condition, but changes over time as people change their modes and patterns of travel. While parking conditions change over time, a substantial shortfall in parking caused by a project that creates hazardous conditions or significant delays to traffic, transit, bicycles or pedestrians could adversely affect the physical environment. Whether a shortfall in parking creates such conditions will depend on the magnitude of the shortfall and the ability of drivers to change travel patterns or switch to other travel modes. If a substantial shortfall in parking caused by a project creates hazardous conditions or significant delays in travel, such a condition could also result in secondary physical environmental impacts (e.g., air quality or noise impacts caused by congestion), depending on the project and its setting.

The absence of a ready supply of parking spaces, combined with available alternatives to auto travel (e.g., transit service, taxis, bicycles, or travel by foot) and a relatively dense pattern of urban development, induces many drivers to seek and find alternative parking facilities, shift to other modes of travel, or change their overall travel habits. Any such resulting shifts to transit service or other modes (walking and biking), would be in keeping with the City’s “Transit First” policy and numerous San Francisco General Plan Policies, including those in the Transportation Element. The City’s Transit First Policy, established in the City’s Charter Article 8A, Section 8A.115, provides that “parking policies for areas well served by public transit shall be designed to encourage travel by public transportation and alternative transportation.”

The transportation analysis accounts for potential secondary effects, such as cars circling and looking for a parking space in areas of limited parking supply, by assuming that all drivers would attempt to find parking at or near the project site and then seek parking farther away if convenient parking is

¹⁶ San Francisco Planning Department, *Transit-Oriented Infill Project Eligibility Checklist for 1201–1225 Tennessee Street* (February 25, 2014). This document is on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California, 94103, under case no. 2012.0493E.

unavailable. The secondary effects of drivers searching for parking is typically offset by a reduction in vehicle trips due to others who are aware of constrained parking conditions in a given area, and thus choose to reach their destination by other modes (i.e. walking, biking, transit, taxi). If this occurs, any secondary environmental impacts that may result from a shortfall in parking in the vicinity of the proposed project would be minor, and the traffic assignments used in the transportation analysis, as well as in the associated air quality, noise and pedestrian safety analyses, would reasonably address potential secondary effects.

The proposed project would provide 141 stacked automobile parking spaces (including two car-share spaces) and six handicap parking spaces for a total of 147 off-street parking spaces. In addition, the proposed project would also include 12 public on-street parking spaces along 23rd Street and Tennessee Street through the reconfiguration of the curbface and the removal of existing driveways. The proposed project would remove five existing public on-street parking spaces along Tennessee Street at Tubbs Street, resulting in a net increase of seven parking spaces along the project site frontage compared to existing conditions.

On an average weekday, the peak evening demand for parking would be for 377 spaces and during midday the demand would be 331 parking spaces. The proposed project would provide 147 off-street spaces. Thus, as proposed, the project would have an unmet parking demand of an estimated 230 spaces in peak evening and 184 spaces during midday. At this location, the unmet parking demand could be accommodated within existing on-street and off-street parking spaces within a reasonable distance of the project vicinity. Additionally, the project site is well served by public transit and bicycle facilities. Therefore, any unmet parking demand associated with the project would not materially affect the overall parking conditions in the project vicinity such that hazardous conditions or significant delays would be created.

Planning Code Parking Requirements: This project falls within the Urban Mixed-Use designation. Under this designation, the City's *Planning Code* specifies parking maximums, rather than parking minimums. The City of San Francisco's maximum allowed parking for Urban Mixed Use development according to Section 151.1 of the *Planning Code* is:

- 0.75 space per dwelling unit under two bedrooms or with at least two bedrooms and less than 1,000 sf of occupied floor area (165 units, 124 spaces)
- One space per dwelling unit with at least two bedrooms and at least 1,000 sf of occupied floor area (110 units, 110 spaces)
- One space per 500 sf of gross floor area for retail (5,078 sf, 10 spaces)
- One space per 1,000 sf of gross floor area for office (10,000 sf, 10 spaces)

As applied to this project, 254 parking spaces would be the maximum allowed. The project's proposed 147 total parking spaces falls within the *Planning Code* maximum. In addition, as required by the *Planning Code* Section 167, the parking spaces shall be sold separately from the purchase fees for dwelling units.

It should be noted that the Planning Commission has the discretion to adjust the number of on-site parking spaces included in the proposed project, typically at the time that the project entitlements are sought. The Planning Commission may not support the parking ratio proposed. In some cases, particularly when the proposed project is in a transit rich area, the Planning Commission may not support the provision of any off-street parking spaces. This is, in part, owing to the fact that the parking

spaces are not “bundled” with the residential units. In other words, residents would have the option to rent or purchase a parking space, but one would not be automatically provided with the residential unit.

If the project were ultimately approved with no off-street parking spaces, the proposed project would have an unmet demand of 230 peak evening spaces and 184 midday spaces. As mentioned above, the unmet parking demand could be accommodated within existing on-street and off-street parking spaces nearby and through alternative modes such as public transit and bicycle facilities. Given that the unmet demand could be met by existing facilities and given that the proposed project site is well-served by transit and bicycle facilities, a reduction in the number of off-street parking spaces associated with the proposed project, even if no off-street spaces are provided, would not result in significant delays or hazardous conditions.

In summary, the proposed project would not result in a substantial parking shortfall that would create hazardous conditions or significant delays affecting traffic, transit, bicycles or pedestrians.

The project site is not located within an airport land use plan area, or in the vicinity of a private airstrip. Therefore, topic 16c from the CEQA Guidelines Appendix G is not applicable. Emergency access would remain unchanged from existing conditions. Emergency vehicles would continue to access the site from Third, 23rd, and Tennessee Streets. Aside from the relatively minor increase in vehicle traffic that would result from the additional activity at the site, the proposed project would not inhibit emergency access to the project site; therefore, the proposed project would have a less-than-significant impact to emergency access.

For these reasons, the proposed project would neither result in a significant impact related to emergency access nor result in any peculiar impacts related to emergency access that were not identified in the Eastern Neighborhoods FEIR.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
6. NOISE —Would the project:						
a) Result in exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Result in exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Result in a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<i>Topics:</i>	<i>Project-Specific Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
e) For a project located within an airport land use plan area, or, where such a plan has not been adopted, in an area within two miles of a public airport or public use airport, would the project expose people residing or working in the area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project located in the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Be substantially affected by existing noise levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

The Eastern Neighborhoods FEIR identified potential conflicts related to residences and other noise-sensitive uses in proximity to noisy uses such as PDR, retail, entertainment, cultural/institutional/educational uses, and office uses. In addition, the Eastern Neighborhoods FEIR noted that implementation of the Area Plan would incrementally increase traffic-generated noise on some streets in the Plan Area and result in construction noise impacts from pile driving and other construction activities. The Eastern Neighborhoods FEIR therefore identified six noise mitigation measures that would reduce noise impacts to less-than-significant levels.

Eastern Neighborhoods FEIR Mitigation Measures F-1 and F-2 relate to construction noise. Mitigation Measure F-1 addresses individual projects that include pile-driving, and Mitigation Measure F-2 addresses individual projects that include particularly noisy construction procedures (including pile-driving). These mitigation measures would apply to the proposed project, since it will likely involve pile-driving.

Project Mitigation Measure M-NO-1 – Construction Noise (Mitigation Measure F-1 from the Eastern Neighborhoods FEIR). For subsequent development projects within proximity to noise-sensitive uses that would include pile-driving, individual project sponsors shall ensure that piles be pre-drilled wherever feasible to reduce construction-related noise and vibration. No impact pile drivers shall be used unless absolutely necessary. Contractors would be required to use pile-driving equipment with state-of-the-art noise shielding and muffling devices. To reduce noise and vibration impacts, sonic or vibratory sheetpile drivers, rather than impact drivers, shall be used wherever sheetpiles are needed. Individual project sponsors shall also require that contractors schedule pile-driving activity for times of the day that would minimize disturbance to neighbors.

Project Mitigation Measure M-NO-2 – Construction Noise (Mitigation Measure F-2 from the Eastern Neighborhoods FEIR). Where environmental review of a development project undertaken subsequent to the adoption of the proposed zoning controls determines that construction noise controls are necessary due to the nature of planned construction practices and the sensitivity of proximate uses, the Planning Director shall require that the sponsors of the subsequent development project develop a set of site-specific noise attenuation measures under the supervision of a qualified acoustical consultant. Prior to commencing construction, a plan for such measures shall be submitted to the Department of Building Inspection to ensure that

maximum feasible noise attenuation will be achieved. These attenuation measures shall include as many of the following control strategies as feasible:

- Erect temporary plywood noise barriers around a construction site, particularly where a site adjoins noise-sensitive uses
- Utilize noise control blankets on a building structure as the building is erected to reduce noise emission from the site
- Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings housing sensitive uses
- Monitor the effectiveness of noise attenuation measures by taking noise measurements
- Post signs on-site pertaining to permitted construction days and hours and complaint procedures and who to notify in the event of a problem, with telephone numbers listed.

The increase in noise in the project area during project construction would not be considered a peculiar impact of the proposed project, because the construction noise would be temporary (maximum 24 months), intermittent, and restricted in occurrence and level, as the contractor would be subject to and would comply with the Noise Ordinance. FEIR Mitigation Measures F-1 and F-2 would be implemented to address particularly noisy pile-driving activities.

In addition, all construction activities for the proposed project (approximately 24 months) would be subject to and would comply with the San Francisco Noise Ordinance (Article 29 of the San Francisco Police Code) (Noise Ordinance). Construction noise is regulated by the Noise Ordinance. The Noise Ordinance requires that construction work be conducted in the following manner: (1) noise levels of construction equipment, other than impact tools, must not exceed 80 dBA at a distance of 100 feet from the source (the equipment generating the noise); (2) impact tools must have intake and exhaust mufflers that are approved by the Director of the Department of Public Works (DPW) or the Director of the Department of Building Inspection (DBI) to best accomplish maximum noise reduction; and (3) if the noise from the construction work would exceed the ambient noise levels at the site property line by 5 dBA, the work must not be conducted between 8:00 p.m. and 7:00 a.m. unless the Director of DPW authorizes a special permit for conducting the work during that period.

DBI is responsible for enforcing the Noise Ordinance for private construction projects during normal business hours (8:00 a.m. to 5:00 p.m.). The Police Department is responsible for enforcing the Noise Ordinance during all other hours. Nonetheless, during the construction period for the proposed project of approximately nine months, occupants of the nearby properties could be disturbed by construction noise. Times may occur when noise could interfere with indoor activities in nearby residences and other businesses near the project site and may be considered an annoyance by occupants of nearby properties. The increase in noise in the project area during project construction would not be considered a significant impact of the proposed project, because the construction noise would be temporary (approximately 24 months), intermittent, and restricted in occurrence and level, as the contractor would be subject to and would comply with the Noise Ordinance.

Eastern Neighborhoods FEIR Mitigation Measures F-3, F-4, and F-6 include additional measures for individual projects that include new noise-sensitive uses. Mitigation Measure F-3 requires that new development that includes noise-sensitive uses located along streets with noise levels above 60 dBA (L_{dn}), where such development is not already subject to California Noise Insulation Standards in Title 24, the

project sponsor shall conduct a detailed analysis of noise reduction requirements. Mitigation Measure F-4 requires the preparation of an analysis that includes, at minimum, a site survey to identify potential noise-generating uses within 900 feet of and that have a direct line of sight to the project site, and at least one 24-hour noise measurement (with maximum noise levels taken every 15 minutes) to demonstrate that acceptable interior noise levels consistent with Title 24 can be attained. Mitigation Measure F-3, which includes measures for noise-sensitive uses that are not subject to Title 24, Noise Insulation Standards, is not applicable to the project because the proposed multi-unit structure would be subject to Title 24 standards.

Project Mitigation Measure M-NO-3 – Siting of Noise-Sensitive Uses (Mitigation Measure F-4 from the Eastern Neighborhoods FEIR). To reduce potential conflicts between existing noise-generating uses and new sensitive receptors, prior to issuance of grading permits, the project sponsor shall demonstrate to the lead agency that the proposed project complies with Title 24 standards.

A noise survey was conducted on May 20, 2013, using a Larson-Davis ANSI Type II integrating sound level meter.¹⁷ One long-term (24-hour) measurement was conducted at the vacant lot in the northwest corner of the site near the intersection of Tennessee and Tubbs Streets. This location was selected because it is subject to the major sources of noise in the project vicinity, including vehicular traffic, light rail, industrial uses, with minimal influence from existing noise sources that would be removed as part of the proposed project, such as the on-site gas station. The measured noise level on the project site is 69.3 dBA CNEL (68.7 L_{dn}). Noise levels between 60 to 70 dBA CNEL are considered conditionally acceptable for high-density residential land uses.¹⁸ The noise levels are conditionally acceptable because it is feasible for noise attenuation to be incorporated to reduce interior noise levels to an acceptable noise standard of 45 dBA CNEL. Standard building materials provide at least 15 dBA CNEL of noise attenuation. It is reasonable to assume that enhanced building materials, such as dual paned windows, could be incorporated into the project to meet Title 24 standards. Accordingly, the project sponsor has conducted an environmental noise study demonstrating that the proposed project can feasibly attain acceptable interior noise levels consistent with Title 24.¹⁹ Therefore, this mitigation measure is applicable to the proposed project.

Mitigation Measure F-6 requires that open space required under the *Planning Code* for individual projects located in noisy areas be protected, to the maximum feasible extent, from existing ambient noise levels.

The proposed project would have the potential to generate new traffic noise. Ambient noise levels in San Francisco are largely influenced by traffic-related noise. The proposed project would generate approximately 3,281 net new vehicle trips. The project's contribution to traffic noise on surrounding roadways is assessed using standard noise modeling equations adapted from the FHWA noise prediction model and the traffic impact analysis. This analysis is conservative because it assumes 100 percent distribution of the project trips on all roads. As shown in Table NO-1, Noise Levels With and Without the

¹⁷ Atkins North America, Inc., *Noise Assessment for the 1201–1225 Tennessee Street Project* (February 21, 2014). This document is on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California, 94103, under case no. 2012.0493E.

¹⁸ City and County of San Francisco, *San Francisco General Plan*, Environmental Protection Element (June 27, 1996).

¹⁹ Atkins North America, Inc., *Noise Assessment for the 1201–1225 Tennessee Street Project* (February 21, 2014). This document is on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California, 94103, under case no. 2012.0493E.

Proposed Project, p. 48, the proposed project would not cause noise levels on Tennessee and 22nd Streets to exceed 60 L_{dn}. The proposed project would not result in a perceptible (more than 3 dBA) increase in noise level on Third Street, which would exceed 60 L_{dn} without implementation of the proposed project. The proposed project would result in a potentially perceptible (3 dBA) increase in noise levels on 23rd Street and cause this roadway to exceed 60 L_{dn}. However, the measured existing ambient noise level in the project area is 68.7 L_{dn}. The increase in noise level on 23rd Street would not be noticeable over existing ambient noise levels generated primarily by nearby freeway traffic on Interstate 280. Therefore, the proposed project would not result in a substantial permanent increase in noise levels related to traffic noise. Table NO-1 shows noise levels with and without the project. As demonstrated below, the proposed project would not result in a substantial permanent increase in ambient noise levels in the project vicinity.

<i>Location</i>	<i>Existing Traffic Volume^a</i>	<i>Existing Traffic Noise Levels^b</i>	<i>Traffic Noise Levels with Project Traffic</i>
Tennessee Street	1,863	56	60
Third Street	4,712	61	63
23 rd Street	2,889	58	61
22 nd Street	2,285	57	60

a. Based on the traffic volume for the segment of the roadway closest to the project site provided in the San Francisco Municipal Transportation Agency Traffic Counts, available at <http://www.sfmta.com/cms/rtraffic/trafficrelatedindx.htm> (accessed May 13, 2013).

b. Based on vehicle mix, speed limit, and day-night split assumptions provided in Table 44 of the FEIR, Future Noise Level Changes Along Selected Roadway Segments.

Mitigation Measure F-6 from the Eastern Neighborhoods FEIR would apply to the proposed project. Under this mitigation measure, open space areas required under the *Planning Code* must be protected from existing ambient noise levels. The project provides protection for common open space on the project site using the building itself to shield onsite open space from off-site noise sources. Where possible, private balconies are oriented over the common open space area and are provided noise attenuation by the building itself. At the midblock passage, there would be a sound wall on the northern edge to shield the project from the neighbors, and a planted wall would also be added. There would be two water features at the midblock passage, a pool next to the Third street frontage, and a sculptural rain basin on the podium deck level that trickles rainwater down to a cistern in the midblock passage to provide ambient noise. Street trees around all three frontages of the building would be planed, which would dampen noise. Windows with increased STC ratings would be installed.

Project Mitigation Measure M-NO-4 – Open Space in Noisy Environments (Mitigation Measure F-6 from the Eastern Neighborhoods FEIR). Prior to issuance of building permits, the project sponsor shall demonstrate to the lead agency that that open space required under the *Planning Code* for such uses will be protected, to the maximum feasible extent, from existing ambient noise levels that could prove annoying or disruptive to users of the open space. Implementation of this measure could involve, among other things, site design that uses the building itself to shield on-site open space from the greatest noise sources, construction of noise barriers between noise sources and open space, and appropriate use of both common and private open space in multi-family dwellings, and implementation would also be undertaken consistent with other principles of urban design.

Eastern Neighborhoods FEIR Mitigation Measure F-5 addresses impacts related to individual projects that include new noise-generating uses that would be expected to generate noise levels in excess of ambient noise in the proposed project site vicinity. Ambient noise levels in San Francisco are largely influenced by traffic-related noise. An approximate doubling in traffic volumes in the area would be necessary to produce an increase in ambient noise levels barely perceptible to most people (three-decibel increase). The proposed project would not double traffic volumes because the proposed project would generate approximately 3,281 daily vehicle trips, with approximately 488 trips during the p.m. peak-hour. In addition, operation of the proposed project would not include any other constant or short-term noise sources (e.g., diesel generator) that would be perceptible in the project vicinity. FEIR Mitigation Measure F-5 would not apply to the proposed project. As shown in Table NO-1, Noise Levels With and Without the Proposed Project, p. 48, the proposed project would not cause noise levels on Tennessee and 22nd Streets to exceed 60 L_{dn}. The proposed project would not result in a perceptible (more than 3 dBA) increase in noise levels on Third Street, which would exceed 60 L_{dn} without implementation of the proposed project. The proposed project would result in a potentially perceptible (3 dBA) increase in noise levels on 23rd Street and cause this roadway to exceed 60 L_{dn}. However, the measured existing ambient noise level in the project area is 68.7 L_{dn}. The increase in noise level on 23rd Street would not be noticeable over existing ambient noise levels generated primarily by nearby freeway traffic on Interstate 280. Therefore, the proposed project would not generate noise levels in excess of ambient noise in the proposed project site vicinity.

The project site is not located within an airport land use plan area, within two miles of a public airport, or in the vicinity of a private airstrip. Therefore, topic 12e and f from the CEQA Guidelines, Appendix G is not applicable.

For the above reasons, the proposed project would not result in significant noise impacts that were not identified in the Eastern Neighborhoods FEIR.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
7. AIR QUALITY: Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.—Would the project:						
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal, state, or regional ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The Eastern Neighborhoods FEIR identified potentially significant air quality impacts related to construction activities that may cause wind-blown dust and pollutant emissions; roadway-related air quality impacts on sensitive land uses; and the siting of uses that emit diesel particulate matter (DPM) and toxic air contaminants (TACs) as part of everyday operations. These significant impacts would conflict with the applicable air quality plan at the time, the Bay Area 2005 Ozone Strategy. The Eastern Neighborhoods FEIR identified four mitigation measures that would reduce air quality impacts to less-than-significant levels.

Eastern Neighborhoods FEIR Mitigation Measure G-1 – Construction Emissions Minimization (Mitigation Measure G 1 of the Eastern Neighborhoods FEIR) requires individual projects that include construction activities to include dust control measures and maintain and operate construction equipment so as to minimize exhaust emissions of particulates and other pollutants. This mitigation measure was identified in the Initial Study. Subsequent to publication of the Initial Study, the San Francisco Board of Supervisors approved a series of amendments to the San Francisco Building and Health Codes, generally referred to as the Construction Dust Control Ordinance (Ordinance 176-08, effective July 30, 2008). The intent of the Construction Dust Control Ordinance is to reduce the quantity of dust generated during site preparation, demolition, and construction work in order to protect the health of the general public and of on-site workers, minimize public nuisance complaints, and to avoid orders to stop work by DBI.

Project Mitigation Measure M-AQ-1 – Construction Emissions Minimization (Mitigation Measure G-1 from the Eastern Neighborhoods FEIR). The project sponsor shall maintain and operate construction equipment so as to minimize exhaust emissions of particulates and other pollutants, by such means as a prohibition on idling motors when equipment is not in use or when trucks are waiting in queues, and implementation of specific maintenance programs to reduce emissions for equipment that would be in frequent use for much of the construction period. The project sponsor shall also implement a basic dust control program that shall include, but not necessarily be limited to, the following:

- Water all active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour.
- Reclaimed water should be used whenever possible.
- Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
- Pave, apply water (reclaimed if possible) three times daily, or apply (nontoxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
- Sweep streets (with water sweepers using reclaimed water if possible) at the end of each day if visible soil material is carried onto adjacent paved roads.
- Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site.
- Install windbreaks, or plant tree/vegetative wind breaks at windward side(s) of construction areas.

- Suspend excavation and grading activity when winds (instantaneous gusts) exceed 25 mph.

Also subsequent to publication of the Initial Study, the Bay Area Air Quality Management District (BAAQMD), the regional agency with jurisdiction over the nine-county San Francisco Bay Area Air Basin (SFBAAB), provided updated 2011 BAAQMD CEQA Air Quality Guidelines (Air Quality Guidelines),²⁰ which provided new methodologies for analyzing air quality impacts, including construction activities. The Air Quality Guidelines provide screening criteria for determining whether a project's criteria air pollutant emissions may violate an air quality standard, contribute to an existing or projected air quality violation, or result in a cumulatively considerable net increase in criteria air pollutants. If a project meets the screening criteria, then the lead agency or applicant would not need to perform a detailed air quality assessment of their proposed project's air pollutant emissions and construction or operation of the proposed project would result in a less-than-significant air quality impact.

For determining potential health risk impacts, San Francisco has partnered with the BAAQMD to inventory and assess air pollution and exposures from mobile, stationary, and area sources within San Francisco and identify portions of the City that result in additional health risks for affected populations ("Air Pollutant Exposure Zone"). The Air Pollutant Exposure Zone was identified based on two health based criteria:

- (1) Excess cancer risk from all sources > 100; and
- (2) PM_{2.5} concentrations from all sources including ambient >10 µg/m³.

Sensitive receptors²¹ within the Air Pollutant Exposure Zone are more at risk for adverse health effects from exposure to substantial air pollutant concentrations than sensitive receptors located outside the Air Pollutant Exposure Zone. These locations (i.e., within the Air Pollutant Exposure Zone) require additional consideration when projects or activities have the potential to emit TACs, including DPM emissions from temporary and variable construction activities.

Construction activities from the proposed project may result in dust, primarily from ground-disturbing activities outside the existing structures (e.g., modifications to curb cuts and driveways). The proposed project would be subject to and would comply with the Construction Dust Control Ordinance, therefore the portions of Mitigation Measure G-1 that deal with dust control are not applicable to the proposed project. Construction activities from the proposed project would also result in the emission of criteria air pollutants and DPM from equipment exhaust, construction-related vehicular activity, and construction worker automobile trips. Construction would last approximately 24 months. Diesel-generating equipment would be required for approximately 12 months.

The project site is not located within an identified Air Pollutant Exposure Zone;²² therefore, the ambient health risk to sensitive receptors from air pollutants is not considered substantial. The proposed project's construction activities would be temporary and variable in nature. Furthermore, the proposed project

²⁰ Bay Area Air Quality Management District, *CEQA Air Quality Guidelines* (updated May 2011).

²¹ The BAAQMD considers sensitive receptors as: children, adults or seniors occupying or residing in (1) residential dwellings, including apartments, houses, condominiums; (2) schools, colleges, and universities; (3) daycares; (4) hospitals; and (5) senior care facilities. Bay Area Air Quality Management District (BAAQMD), *Recommended Methods for Screening and Modeling Local Risks and Hazards* (May 2011), p. 12.

²² Michele Kirian, MPH, San Francisco Department of Public Health (April 1, 2013).

would be subject to California regulations limiting idling times to five minutes, which would further reduce sensitive receptors exposure to temporary and variable DPM emissions.²³

Air pollutant emissions generated by construction of the project were estimated using the worst-case activity data and the emission factors included in the CalEEMod model (Version 2013.2.2), which takes into account the hours of operation, load factor, and the emission factors for each piece of equipment. While a detailed construction schedule is not available at this time, construction of the project is projected to begin in the third quarter of 2014 and last 24 months. It is assumed that demolition of the approximately 79,336 sf of existing development would require approximately six months, site preparation would require approximately six months, and building construction and coating would occur simultaneously for 12 months. The default construction fleet and vehicle trips are assumed. The site is already graded for existing development and it is assumed that any cut and fill during site preparation would be balanced on-site. Modeling assumes implementation of the measures required pursuant to the Construction Dust Control Ordinance. Construction emissions expected to be generated by the proposed project are provided in Table AQ-1, Estimated Construction Maximum Air Pollutant Emissions, p. 52, and compared to the applicable BAAQMD screening criteria. As shown in Table AQ-1, the proposed project would not exceed the BAAQMD's screening criteria for criteria air pollutants and would not have the potential to violate an air quality standard, contribute considerably to an existing or projected air quality violation, or result in a cumulatively considerable increase in criteria air pollutants.

<i>Phase</i>	<i>Maximum Daily Emissions (pounds/day)</i>			
	<i>VOC</i>	<i>NO_x</i>	<i>PM₁₀</i>	<i>PM_{2.5}</i>
Demolition	4	33	3	2
Site Preparation	3	28	7	3
Building Construction/ Architectural Coating	38	30	4	2
BAAQMD Threshold^a	54	54	82	54
Impact?	No	No	No	No

SOURCE: CalEEMod Version 2013.2.2²⁴ (see Attachment C for model output and assumptions).
a. Based on 2010 CEQA Air Quality Guidelines

As the proposed project meets the construction screening criteria provided in the BAAQMD studies for construction-related criteria air pollutants, the remainder of Mitigation Measure G-1 that deals with maintenance and operation of construction equipment is not applicable to the proposed project. Therefore, the construction of the proposed project would not expose sensitive receptors to substantial pollutant concentrations.

Mitigation Measure G-2 requires new sensitive receptors near sources of TACs, including DPM, to include an analysis of air pollutant concentrations (PM_{2.5}) to determine whether those concentrations would result in a substantial health risk to new sensitive receptors. The proposed project would include new sensitive receptors. However, the project site is not located within an identified Air Pollutant

²³ California Code of Regulations, Title 13, Division 3, § 2485.

²⁴ Model output and assumptions prepared by Atkins North America are on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California, 94103, under case no. 2012.0493E.

Exposure Zone; therefore, the ambient health risk to sensitive receptors from air pollutants is not considered substantial. The DPH analyzed the potential emissions of PM_{2.5} at the project site from nearby roadways using the EPA approved dispersion model CAL3QHCR and one year of meteorological data provided by the BAAQMD from the Mission Bay monitoring site in San Francisco. Vehicle counts were taken from the SF CHAMP traffic model maintained by the San Francisco County Transportation Agency. Vehicle emission levels were determined using EMFAC 2007, the California Air Resource Board emission model, for the County of San Francisco. Results of the air quality modeling indicate that 1201–1225 Tennessee Street is below the action level of 0.2 micrograms per cubic meter annual exposure at a height of 3.2 meters. No residential floor with operable windows would be located below a height of 3.2 meters. Thus, enhanced ventilation pursuant to Article 38 is not required and Mitigation Measure G-2 is not applicable to the proposed project.

Mitigation Measure G-3 minimizes potential exposure of sensitive receptors to DPM by requiring uses that would be served by at least 100 trucks per day or 40 refrigerated trucks per day be located no less than 1,000 feet from residential units and other sensitive receptors. The proposed project would construct a new mixed-use building with approximately 258 dwelling units, 2,340 sf of retail space, and 7,200 sf of Flex space. The project would not be expected to generate substantial DPM emissions or be served by 100 trucks per day or 40 refrigerator trucks per day. Therefore, Mitigation Measure G-3 is not applicable to the proposed project.

Mitigation Measure G-4 involves the siting of commercial, industrial, or other uses that emit TACs as part of everyday operations. The proposed project would construct a new mixed-use building with approximately 258 dwelling units, 2,340 sf of retail space, and 7,200 sf of Flex space and would not generate more than 10,000 vehicle trips per day, 1,000 truck trips per day, or include a new stationary source, items that would emit TACs as part of everyday operations. Furthermore, the project site is not located within an identified Air Pollutant Exposure Zone; therefore, the ambient health risk to sensitive receptors from air pollutants is not considered substantial. Therefore, Mitigation Measure G-4 is not applicable to the proposed project.

The proposed project would result in an increase in operational-related criteria air pollutants including from the generation of daily vehicle trips and energy demand. The proposed project meets the screening criteria provided in the BAAQMD CEQA Air Quality Guidelines (May 2011) for operational-related criteria air pollutants.

For the above reasons, the proposed project would not result in significant impacts on air quality that were not identified in the Eastern Neighborhoods FEIR.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
8. GREENHOUSE GAS EMISSIONS —Would the project:						
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Topics:	Project-Specific Significant Impact Not Identified in PEIR	Significant Unavoidable Impact Identified in PEIR	Mitigation Identified in PEIR	PEIR Mitigation Applies to Project	PEIR Mitigation Does Not Apply to Project	No Significant Impact (Project or PEIR)
b) Conflict with any applicable plan, policy, or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Background

The BAAQMD is responsible for attaining and maintaining air quality in the San Francisco Bay Area Air Basin within federal and state air quality standards, as established by the federal Clean Air Act (CAA) and the California Clean Air Act (CCAA), respectively. The CAA and the CCAA require plans to be developed for areas that do not meet air quality standards, generally. The most recent air quality plan, the 2010 Clean Air Plan includes a goal of reducing greenhouse gas (GHG) emission to 1990 levels by 2020 and 40 percent below 1990 levels by 2035.

The BAAQMD also assists local jurisdictions and lead agencies in complying with the requirements of CEQA regarding potentially adverse impacts to air quality in their CEQA Air Quality Guidelines. The BAAQMD advises that local agencies may consider adopting a Greenhouse Gas Reduction Strategy consistent with Assembly Bill 32 goals and that subsequent projects be reviewed to determine the significance of their GHG emissions based on the degree to which that project complies with a Greenhouse Gas Reduction Strategy.²⁵ The following analysis is based on the findings in the Eastern Neighborhoods EIR and incorporates BAAQMD’s methodology for analyzing GHG emissions, as well as other amendments to the CEQA Guidelines related to GHGs (e.g., CEQA Guidelines Section 15183.5).

The Eastern Neighborhoods FEIR assessed the GHG emissions that could result from rezoning of the Central Waterfront Area Plan under the three rezoning options. The Eastern Neighborhoods Rezoning Options A, B, and C are anticipated to result in GHG emissions on the order of 4.2, 4.3 and 4.5 metric tons of CO₂E per service population,²⁶ respectively. The Eastern Neighborhoods FEIR concluded that the resulting GHG emissions from the three options analyzed in the Eastern Neighborhoods Area Plans would be less than significant. No mitigation measures were identified in the FEIR.

The proposed project would comprise demolition of the existing warehouse and gas station structures, as well as surface parking, and construction of a new six-story structure fronting Tennessee Street at the intersection with 23rd Street. Therefore, the proposed project would contribute to annual long-term increases in GHGs as a result of increased vehicle trips (mobile sources) and residential and commercial operations that result in an increase in energy use, water use and wastewater treatment, and solid waste disposal. Construction activities would also result in temporary increases in GHG emissions. Construction of the proposed project is estimated at approximately 24 months. Proposed project

²⁵ BAAQMD, *California Environmental Quality Act Air Quality Guidelines* (May 2012). This document is available online at http://www.baaqmd.gov/~media/Files/Planning%20and%20Research/CEQA/BAAQMD%20CEQA%20Guidelines_Final_May%202012.ashx?la=en (accessed September 25, 2012).

²⁶ Jessica Range, memorandum from MEA to MEA staff, *Greenhouse Gas Analyses for Community Plan Exemptions in Eastern Neighborhoods* (April 20, 2010). This memorandum provides an overview of the GHG analysis conducted for the Eastern Neighborhoods Rezoning EIR and provides an analysis of the emissions using a service population (equivalent of total number of residents and employees) metric.

operations would generate both direct and indirect GHGs. Direct operational emissions would be from vehicle trips and area sources (natural gas combustion). Indirect emissions would be from electricity providers, energy required to pump, treat, and convey water, and emissions associated with landfill operations.

As discussed above, the BAAQMD prepared guidelines and methodologies for analyzing GHGs. These guidelines identify a methodology for either a quantitative or qualitative assessment of a project's GHG impact. The qualitative assessment allows for projects that are consistent with a Qualified GHG Reduction Strategy to conclude that the project's GHG impact is less than significant. San Francisco's Strategies to Address Greenhouse Gas Emissions (GHG Reduction Strategy)²⁷ presents a comprehensive assessment of policies, programs, and ordinances that collectively represent San Francisco's Qualified GHG Reduction Strategy in compliance with the BAAQMD's guidelines. In reviewing the GHG Reduction Strategy, the BAAQMD concluded that the strategy meets the criteria outlined in its guidelines and stated that San Francisco's "aggressive GHG reduction targets and comprehensive strategies help the Bay Area move toward reaching the State's AB 32 goals, and also serve as a model from which other communities can learn."²⁸ San Francisco's collective actions, policies and programs have resulted in a 14.5 percent reduction in GHG emissions in 2010 compared to 1990 levels, exceeding the year 2020 reduction goals outlined in the BAAQMD's 2010 Clean Air Plan, Executive Order S-3-05, and Assembly Bill 32 (also known as the Global Warming Solutions Act.)^{29,30} Therefore, projects that are consistent with San Francisco's GHG Reduction Strategy would not result in GHG emissions that would have a significant effect on the environment and would not conflict with state, regional, and local GHG reduction plans and regulations.

The proposed project would be subject to and required to comply with several regulations adopted to reduce GHG emissions as identified in the GHG Reduction Strategy. The regulations that are applicable to the proposed project include the Commuter Benefits Ordinance, Emergency Ride Home Program, Bicycle Parking requirements, Street Tree Planting Requirements for New Construction, Mandatory Recycling and Composting Ordinance, SF Green Building Requirements for Energy Efficiency, and Stormwater Management.

These regulations, as outlined in San Francisco's Strategies to Address Greenhouse Gas Emissions, have proven effective as San Francisco's GHG emissions have measurably reduced when compared to 1990 emissions levels, demonstrating that the City has met and exceeded EO S-3-05, AB 32, and the Bay Area 2010 Clean Air Plan GHG reduction goals for the year 2020. The proposed project was determined to be consistent with San Francisco's GHG Reduction Strategy.³¹ Other existing regulations, such as those implemented through AB 32, will continue to reduce a proposed project's contribution to climate change. Therefore, the proposed project's GHG emissions would not conflict with state, regional, and local GHG

²⁷ San Francisco Planning Department, *Strategies to Address Greenhouse Gas Emissions in San Francisco* (2010). This document is available online at <http://www.sf-planning.org/index.aspx?page=2627>.

²⁸ Jean Roggenkamp, letter from BAAQMD to Bill Wycko, San Francisco Planning Department (October 28, 2010). This letter is available online at <http://www.sf-planning.org/index.aspx?page=2627> (accessed November 12, 2010).

²⁹ San Francisco Department of Environment (DOE), "San Francisco Community-Wide Carbon Emissions by Category." Excel spreadsheet provided via email between Pansy Gee, DOE, and Wade Wietgreffe, San Francisco Planning Department (June 7, 2013).

³⁰ The Clean Air Plan, Executive Order S-3-05, and Assembly Bill 32 goals, among others, are to reduce GHGs in the year 2020 to 1990 levels.

³¹ Greenhouse Gas Analysis: Compliance Checklist (December 26, 2012). This document is on file and available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California, 94103, under case no. 2012.0493E.

reduction plans and regulations, and thus the proposed project’s contribution to GHG emissions would not be cumulatively considerable or generate GHG emissions, either directly or indirectly, that would have a significant impact on the environment. As such, the proposed project would result in a less-than-significant impact with respect to GHG emissions. No mitigation measures are necessary.

Topics:	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
9. WIND AND SHADOW —Would the project:						
a) Alter wind in a manner that substantially affects public areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create new shadow in a manner that substantially affects outdoor recreation facilities or other public areas?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Wind

No significant impacts related to wind were anticipated to result from the implementation of the Eastern Neighborhoods Rezoning and Area Plans. Specific projects within Eastern Neighborhoods require analysis of wind impacts where deemed necessary. Thus, wind impacts were determined not to be significant in the Eastern Neighborhoods Initial Study and were not analyzed in the Eastern Neighborhoods FEIR. No mitigation measures relative to wind impacts were identified in the Eastern Neighborhoods FEIR.

Based upon experience of the Planning Department in reviewing wind analyses and expert opinion on other projects, it is generally (but not always) the case that projects under 80 feet in height do not have the potential to generate significant wind impacts. Although the proposed 68-foot-tall building would be taller than the immediately adjacent buildings, it would be similar in height to existing buildings in the surrounding area. For the above reasons, the proposed project is not anticipated to cause significant impacts related to wind and shadow that were not identified in the Eastern Neighborhoods FEIR.

As a result, the proposed project would not have any significant wind impacts, either individually or cumulatively.

Shadow

Planning Code Section 295 generally prohibits new structures above 40 feet in height that would cast additional shadows on open space that is under the jurisdiction of the San Francisco Recreation and Park Commission between one hour after sunrise and one hour before sunset, at any time of the year, unless that shadow would not result in a significant adverse effect on the use of the open space. Under the Eastern Neighborhoods Area Plan, sites surrounding parks could be redeveloped with taller buildings without triggering Section 295 of the *Planning Code* because certain parks are not subject to Section 295 of the *Planning Code* (i.e., under jurisdiction by departments other than the Recreation and Parks Department or privately owned). The Eastern Neighborhoods FEIR could not conclude if the rezoning and community plans would result in less-than-significant shadow impacts because the feasibility of complete mitigation for potential new shadow impacts of unknown proposed proposals could not be

determined at that time. Therefore, the FEIR determined shadow impacts to be significant and unavoidable. No mitigation measures were identified in the FEIR.

The proposed project would construct a 68-foot-tall building; therefore, the Planning Department prepared a preliminary shadow fan analysis a shadow analysis to determine whether the project would have the potential to cast new shadow on nearby parks.³² The Planning Department prepared a shadow fan analysis pursuant to *Planning Code* Section 295 (also known as Proposition K or the Sunlight Ordinance). The shadow fan analysis found that the proposed project would not have a shadow impact on any property under the jurisdiction of the Recreation and Parks Commission covered by Proposition K. The shadow fan analysis also found the proposed project would shade portions of nearby streets and sidewalks and private property at times within the project vicinity. Shadows upon streets and sidewalks would not exceed levels commonly expected in urban areas and would be considered a less-than-significant effect under CEQA. Although occupants of nearby property may regard the increase in shadow as undesirable, the limited increase in shading of private properties as a result of the proposed project would not be considered a significant impact under CEQA.

The proposed project would also shade portions of nearby streets and sidewalks and private property at times within the project vicinity. Shadows upon streets and sidewalks would not exceed levels commonly expected in urban areas and would be considered a less-than-significant effect under CEQA. Although occupants of nearby property may regard the increase in shadow as undesirable, the limited increase in shading of private properties as a result of the proposed project would not be considered a significant impact under CEQA.

For the above reasons, the proposed project would not result in significant impacts related to shadow that were not identified in the Eastern Neighborhoods FEIR.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
10. RECREATION —Would the project:						
a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facilities would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Physically degrade existing recreational resources?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR concluded that implementation of the Eastern Neighborhoods Rezoning and Area Plans would not result in substantial or accelerated deterioration of existing recreational resources or require the construction or expansion of recreational facilities that may have an

³² City of San Francisco Planning Department, *Shadow Fan Analysis* (June 4, 2012).

adverse effect on the environment. No mitigation measures related to recreational resources were identified in the Eastern Neighborhoods FEIR.

The project includes approximately 9,700 sf of publicly accessible open space along the northern property boundary with an additional 6,120 sf of common open space and 1,080 sf of private open space throughout floors two through six. The project location is served by the following existing parks: Esprit Park at 22nd and Indiana Streets, Warm Water Cove on the Bay at the foot of 24th Street, and Tulare Park, on Islais Creek between Third and Illinois Streets.

With the proposed addition of 258 dwelling units, the proposed project would be expected to generate additional demand for recreational facilities. The increase in demand would be to some extent offset by the proposed on-site open space, and would not be in excess of amounts expected and provided for in the area and the City as a whole. The additional use of the recreational facilities would be relatively minor compared with the existing use, and therefore the proposed project would not result in substantial physical deterioration of existing recreational resources. Thus, the proposed project would not result in significant impacts, either individually or cumulatively, on existing recreation facilities, nor require the construction or expansion of public recreation facilities that would have a significant impact on the environment.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
11. UTILITIES AND SERVICE SYSTEMS —Would the project:						
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have sufficient water supply available to serve the project from existing entitlements and resources, or require new or expanded water supply resources or entitlements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in a determination by the wastewater treatment provider that would serve the project that it has inadequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR determined that the anticipated increase in population would not result in a significant impact to the provision of water, wastewater collection and treatment, and solid waste collection and disposal. No mitigation measures were identified in the FEIR.

The project would be subject to the City’s Stormwater Management Ordinance, which requires the project to maintain or reduce the existing volume and rate of stormwater runoff discharged from the site. To achieve this, the project would implement and install appropriate stormwater management systems that retain runoff on site, promote stormwater reuse, and limit site discharges entering the combined sewer collection system. This, in turn, would limit the incremental demand on both the collection system and wastewater facilities resulting from stormwater discharges, and minimize the potential need for expanding or construction new facilities. Thus, the project would not require or result in the construction of new stormwater drainage facilities or expansion of existing facilities, the construction of which would cause significant environmental effects.

The proposed project would not exceed wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB) and would not require the construction of new wastewater/storm water treatment facilities or expansion of existing ones. The proposed project would have sufficient water supply available from existing entitlement, and solid waste generated by project construction and operation would not result in the landfill exceeding its permitted capacity, and the project would not result in a significant solid waste generation impact. The proposed project would be required to comply with current state and local regulations related to energy consumption, waste disposal, wastewater treatment, and water conservation. For these reasons, implementation of the proposed project would not result in significant impacts on utilities and service systems that were not identified in the Eastern Neighborhoods FEIR, and no mitigation measures are necessary.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
12. PUBLIC SERVICES —Would the project:						
a) Result in substantial adverse physical impacts associated with the provision of, or the need for, new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any public services such as fire protection, police protection, schools, parks, or other services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR determined that the anticipated increase in population would not result in a significant impact to public services , including fire protection, police protection, and public schools. No mitigation measures were identified in the FEIR.

The proposed project would result in 258 dwelling units, 2,340 sf of retail space, and 7,200 sf of Flex space. This population growth would generate an increase in demand for public services, but this additional demand would not exceed the planned service levels and capacity discussed in the Eastern Neighborhoods FEIR. In addition, no new facilities would need to be constructed in order to maintain

acceptable service ratios, response times, or other performance objectives for any public services. For these reasons, implementation of the proposed project would not result in significant impacts on public services, and no mitigation measures are necessary.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
13. BIOLOGICAL RESOURCES —Would the project:						
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

As discussed in the Eastern Neighborhoods FEIR, the Eastern Neighborhoods Plan Area is in a developed urban environment that does not provide native natural habitat for any rare or endangered plant or animal species. There are no riparian corridors, estuaries, marshes, or wetlands in the Plan Area that could be affected by the development anticipated under the Area Plan. In addition, development envisioned under the Eastern Neighborhoods Area Plan would not substantially interfere with the movement of any resident or migratory wildlife species. For these reasons, the FEIR concluded that implementation of the Area Plan would not result in significant impacts on biological resources, and no mitigation measures were identified.

The proposed project site is completely covered by existing buildings and paved parking areas, and there are no street trees on the project site perimeter. Moreover, the site is located in a densely built urban environment. There are no candidate, sensitive, or special-status species, riparian habitat, or wetlands on

the project site, so implementation of the proposed project would not adversely affect a candidate, sensitive, or special-status species, a riparian habitat, or wetlands.

San Francisco is located within the Pacific Flyway, a major north-south route of travel for migratory birds along the western portion of the Americas, extending from Alaska to Patagonia, Argentina. Every year, migratory birds travel some or all of this distance in the spring and autumn, following food sources, heading to and from breeding grounds, or traveling to and from overwintering sites. High-rise buildings are potential obstacles that can injure or kill birds in the event of a collision, and bird strikes are a leading cause of worldwide declines in bird populations.

Planning Code Section 139, Standards for Bird-Safe Buildings, establishes building design standards to reduce avian mortality rates associated with bird strikes. This ordinance focuses on location-specific hazards and building feature-related hazards. Location-specific hazards apply to buildings in, or within 300 feet of and having a direct line of sight to, an Urban Bird Refuge, which is defined as an open space “two acres and larger dominated by vegetation, including vegetated landscaping, forest, meadows, grassland, or wetlands, or open water.” The project site is not in or within 300 feet of an Urban Bird Refuge, so the standards related to location-specific hazards are not applicable to the proposed project. Feature-related hazards, which can occur on buildings anywhere in San Francisco, are defined as freestanding glass walls, wind barriers, skywalks, balconies, and greenhouses on rooftops that have unbroken glazed segments of 24 sf or larger. The proposed project would comply with the feature-related standards of *Planning Code* Section 139 by using bird-safe glazing treatment on 100 percent of any feature-related hazards. As a result, the proposed project would not interfere substantially with the movement of any native resident or migratory wildlife species or with established native resident or migratory wildlife corridors.

There are no existing trees or other vegetation on the project site that would need to be removed as part of the proposed project. Implementation of the proposed project would include the planting of numerous street trees along Third, 23rd, and Tennessee Streets, with additional trees and other planting in the interior open space areas in compliance with the provisions of the San Francisco Green Landscape Ordinance. As a result, the proposed project would not conflict with any local policies or ordinances that protect biological resources.

The project site is not within an area covered by an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, state, or regional habitat conservation plan. As a result, the proposed project would not conflict with the provisions of any such plan.

For these reasons, implementation of the proposed project would not result in significant impacts on biological resources, and no mitigation measures are necessary.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
14. GEOLOGY AND SOILS —Would the project:						
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Topics:	Project-Specific Impact Not Identified in PEIR	Significant Unavoidable Impact Identified in PEIR	Mitigation Identified in PEIR	PEIR Mitigation Applies to Project	PEIR Mitigation Does Not Apply to Project	No Significant Impact (Project or PEIR)
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? (Refer to Division of Mines and Geology Special Publication 42.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be located on geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code, creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Change substantially the topography or any unique geologic or physical features of the site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR concluded that implementation of the Plan would indirectly increase the population that would be subject to an earthquake, including seismically induced ground-shaking, liquefaction, and landslides. The FEIR also noted that new development is generally safer than comparable older development due to improvements in building codes and construction techniques. Compliance with applicable codes and recommendations made in project-specific geotechnical analyses would not eliminate earthquake risks, but would reduce them to an acceptable level, given the seismically active characteristics of the Bay Area. Thus, the FEIR concluded that implementation of the Plan would not result in significant impacts with regard to geology, and no mitigation measures were identified in the Eastern Neighborhoods FEIR.

A geotechnical investigation was prepared for the proposed project.³³ The following discussion relies on the information provided in the geotechnical investigation.

Treadwell & Rollo prepared a preliminary geotechnical evaluation for the subject property in May 2012. That report summarized two previous geotechnical evaluations³⁴ for the project area, which revealed that

³³ Dames & Moore, *Geotechnical Study, American Industrial Center Addition, San Francisco, California, for American Industrial Center* (April 30, 1987).

north of the site the fill is nine feet thick and consists of seven feet of stiff clay underlain by a two-foot-thick layer of medium dense sand fill. The fill is underlain by stiff native clay which extends to a depth of 14 feet beneath the existing ground surface (bgs). The stiff clay is in turn underlain by dense sand. Although not investigated by Balbi & Chang Associates, the dense sand is likely underlain by bedrock. The Dames & Moore report³⁵ provides subsurface information for the parcel east of Third Street, currently occupied by American Industrial Center (AIC). In particular, this information was used to provide insight regarding the potential subsurface conditions in the southern portion of the 1201 Tennessee site. In the southern portion of the AIC site the subsurface conditions consist of 17 to 20 feet of fill, consisting of a mixture of soft to medium stiff clay and loose to medium dense sand with scattered debris. The fill was underlain by soft, compressible clay deposits, locally referred to as Marsh deposits or Bay Mud, which extend to a depth of 24 feet bgs. The Marsh/Bay Mud layers are underlain by native stiff clay and silt soil. The stiff clay and silt are underlain by dense sand. In the southern portion of the AIC site the estimated depth of the top of the dense sand is between 25 and 32 feet bgs.

In the Balbi & Chang Associates report, groundwater was observed at a depth of five feet bgs (north of the site), while on the south side of the AIC site (just east of the subject site) groundwater was encountered on the order of 10 to 20 feet bgs. Much of the project area underlain by unconsolidated sediments is identified as an area of liquefaction potential on General Plan Community Safety Element Map 4 and is identified as a Seismic Hazards Study Zone (SHSZ) for liquefaction designated by the California Geological Survey, as shown on the 2001 State of California Seismic Hazards Zone Map for San Francisco prepared by the California Geological Survey under the Seismic Hazards Mapping Act of 1990. Liquefaction could affect much of the northern part of the Mission District, Showplace Square and the area just to the east, Eastern SoMa (except for the area around the flank of Rincon Hill and the historic contour of Steamboat Point, northwest of the ballpark), and the majority of the Central Waterfront (excepting the area historically known as Point San Quentin, which extended southeast to what is now Warmwater Cove). As with the likelihood of relatively stronger groundshaking in an earthquake, liquefaction hazard would thus affect most of the area where new development is anticipated to occur in the study area.

The Treadwell & Rollo report determined that the fill and Marsh/Bay Mud are not suitable for support of the proposed building, as some of the fill is likely compressible and potentially liquefiable and the Marsh/Bay Mud is compressible. Accordingly, the Treadwell & Rollo report concludes that the building should be supported on a foundation gaining capacity in the dense to very dense sand below the fill and mud deposits. A conventional driven pile foundation, such as 14-inch-square prestressed, precast concrete piles, would be appropriate for vertical support of the proposed building, or alternative piles such as or 18" diameter auger cast in place piles. The report notes that additional measures or alternative foundations may be needed to mitigate across the entire site for liquefaction and lateral spreading. Additional measures may also be required, which could include the use of a grid of soil-cement mixed (SMX) columns or drilled displacement sand cement (DDSC) columns.

³⁴ Balbi & Chang Associates, *Cellular One Site #116 – 2650 Third Street, San Francisco, California* (1993); Dames & Moore, *Geotechnical Study, American Industrial Center Addition, San Francisco, California, for American Industrial Center* (April 30, 1987).

³⁵ Dames & Moore, *Geotechnical Study, American Industrial Center Addition, San Francisco, California, for American Industrial Center* (April 30, 1987).

The final building plans would be reviewed by DBI. In reviewing building plans, DBI refers to a variety of information sources to determine existing hazards. Sources reviewed include maps of Special Geologic Study Areas and known landslide areas in San Francisco as well as the building inspectors' working knowledge of areas of special geologic concern. DBI will review the geotechnical report and building plans for the proposed project to determine the adequacy of the proposed engineering and design features and to ensure compliance with all applicable San Francisco Building Code provisions regarding structural safety. The above-referenced geotechnical investigation reports would be available for use by DBI during its review of building permits for the site. In addition, DBI could require that additional site specific soils report(s) be prepared in conjunction with permit applications, as needed. The DBI requirement for a geotechnical report and review of the building permit application pursuant to DBI's implementation of the Building Code would ensure that the proposed project would have no significant impacts related to soils or geology.

For these reasons, the proposed project would not result in significant impacts related to geology and soils that were not identified in the Eastern Neighborhoods FEIR, and no mitigation measures are necessary.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
15. HYDROLOGY AND WATER QUALITY— Would the project:						
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other authoritative flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures that would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Expose people or structures to a significant risk of loss, injury or death involving inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR determined that the anticipated increase in population would not result in a significant impact on hydrology and water quality, including the combined sewer system and the potential for combined sewer outflows. No mitigation measures were identified in the FEIR.

Stormwater drainage during construction would flow to the City’s combined sewer system, where it would receive treatment at the Southeast plant or other wet weather facilities and would be discharged through an existing outfall or overflow structure in compliance with the existing NPDES permit. Prior to issuance of a building permit, the project sponsor is required to prepare and submit a Stormwater Control Plan (SCP) to the San Francisco Public Utilities Commission Wastewater Enterprise, Urban Watershed Management Program. The SCP must demonstrate compliance with the City’s Stormwater Design Guidelines.

The proposed project would be constructed in compliance with all applicable federal, state and local regulations governing water quality and discharges to surface and ground water bodies. The proposed project would not alter drainage patterns in a manner that would result in substantial erosion, siltation, or flooding. Runoff from the project site would drain into the City’s combined stormwater/sewer system, ensuring that such runoff is properly treated at the Southeast Water Pollution Control Plant before being discharged into San Francisco Bay. In accordance with the City’s Stormwater Management Ordinance (Ordinance No. 83-10), the proposed project would be subject to Low Impact Design (LID) approaches and stormwater management systems to comply with the Stormwater Design Guidelines. In addition, the project sponsor would be required to prepare a Stormwater Pollution Prevention Plan (SWPPP) that would be reviewed, approved, and enforced by the San Francisco Public Utilities Commission. The SWPPP would specify best management practices and erosion and sedimentation control measures to prevent sedimentation from entering the City’s combined stormwater/sewer system. As a result, the proposed project would not violate any water quality standards or waste discharge requirements or otherwise substantially degrade water quality.

Groundwater is relatively shallow throughout the project site, approximately five feet bgs (north of the site), while on the south side of the AIC site (just east of the subject site) groundwater was encountered on the order of 10 to 20 feet bgs. Any groundwater that is encountered during construction would be

subject to requirements of the City’s Sewer Use Ordinance (Ordinance Number 19-92, amended 116-97), as supplemented by Department of Public Works Order No. 158170, requiring a permit from the Wastewater Enterprise Collection System Division of the San Francisco Public Utilities Commission. A permit may be issued only if an effective pretreatment system is maintained and operated. Each permit for such discharge shall contain specified water quality standards and may require the project sponsor to install and maintain meters to measure the volume of the discharge to the combined sewer system. Effects from lowering the water table due to dewatering, if any, would be temporary and would not be expected to substantially deplete groundwater resources. As a result, the proposed project would not deplete groundwater supplies or substantially interfere with groundwater recharge.

The project site is not in a designated flood zone, so the proposed project would not place housing within a 100-year flood hazard area, would not impede or redirect flood flows in a 100-year flood hazard area, and would not expose people or structures to a significant risk of loss, injury, or death involving flooding, including flooding as a result of the failure of a levee or dam. As shown on Map 5, Tsunami Hazard Zones, San Francisco, 2012, in the Community Safety Element of the *General Plan*, the project site is not within a tsunami hazard zone.³⁶ As a result, the proposed project would not expose people or structures to a significant risk of loss, injury, or death involving inundation by seiche or tsunami.

For these reasons, the proposed project would not result in significant impacts on hydrology and water quality that were not identified in the Eastern Neighborhoods FEIR, and no mitigation measures are necessary.

Topics:	Project-Specific Significant Impact Not Identified in PEIR	Significant Unavoidable Impact Identified in PEIR	Mitigation Identified in PEIR	PEIR Mitigation Applies to Project	PEIR Mitigation Does Not Apply to Project	No Significant Impact (Project or PEIR)
16. HAZARDS AND HAZARDOUS MATERIALS —Would the project:						
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

³⁶ San Francisco Planning Department, *San Francisco General Plan*, Community Safety Element, p. 15. This document is available online at http://www.sf-planning.org/ftp/General_Plan/Community_Safety_Element_2012.pdf.

<i>Topics:</i>	<i>Project-Specific Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR noted that implementation of any of the proposed project’s rezoning options would encourage construction of new development within the project area. The FEIR found that there is a high potential to encounter hazardous materials during construction activities in many parts of the project area because of the presence of 1906 earthquake fill, previous and current land uses associated with the use of hazardous materials, and known or suspected hazardous materials cleanup cases. However, the FEIR found that existing regulations for facility closure, Under Storage Tank (UST) closure, and investigation and cleanup of soil and groundwater would ensure implementation of measures to protect workers and the community from exposure to hazardous materials during construction.

Hazardous Building Materials

The Eastern Neighborhoods FEIR determined that future development in the Plan Area may involve demolition or renovation of existing structures containing hazardous building materials. Some building materials commonly used in older buildings could present a public health risk if disturbed during an accident or during demolition or renovation of an existing building. Hazardous building materials addressed in the FIER include asbestos, electrical equipment such as transformers and fluorescent light ballasts that contain PCBs or di (2 ethylhexyl) phthalate (DEHP), fluorescent lights containing mercury vapors, and lead-based paints. Asbestos and lead based paint may also present a health risk to existing building occupants if they are in a deteriorated condition. If removed during demolition of a building, these materials would also require special disposal procedures. The Eastern Neighborhoods FEIR identified a significant impact associated with hazardous building materials including PCBs, DEHP, and mercury and determined that that Mitigation Measure L-1: Hazardous Building Materials, as outlined below, would reduce effects to a less-than-significant level. Because the proposed development includes demolition of an existing building, Mitigation Measure L-1 would apply to the proposed project.

Project Mitigation Measure M-HZ-1 – Hazardous Building Materials (Mitigation Measure L-1 of the Eastern Neighborhoods FEIR). The City shall condition future development approvals to require that the subsequent project sponsors ensure that any equipment containing PCBs or DEHP, such as fluorescent light ballasts, are removed and properly disposed of according to applicable federal, state, and local laws prior to the start of renovation, and that any fluorescent light tubes, which could contain mercury, are similarly removed and properly disposed of. Any

other hazardous materials identified, either before or during work, shall be abated according to applicable federal, state, and local laws.

Soil and Groundwater Contamination

The proposed project would excavate for building foundations and ancillary utilities. A portion of the project site is currently occupied by a card lock fueling facility with four underground fuel storage tanks (UST), an oil-water separator, and compressed gas storage and dispensing facility. The UST are double-walled with monitoring and were installed in 1994. Adjacent property uses are commercial and light industrial, including a MUNI bus maintenance yard, paper warehouse, the American Industrial Center, and a truck rental facility. Nearby facilities, including the Ryder Truck facility at 2700 Third Street, National Cab at 1200 Minnesota Street, and the MUNI Wood maintenance facility at 1095 Indiana, currently or formerly contained fuel tanks. The MUNI Wood yard is a former LUFT case that was closed in 2010.

The southeast property corner has been a fueling station since 1967, demolished and reconstructed in the current configuration in 1994. The fueling station was a leaking underground fuel tank (LUFT) case twice, once during the tank replacement in 1994 and again between 2002 and 2006. Soils were over-excavated and groundwater monitoring installed, and the case was closed and the wells removed in 1994. Groundwater monitoring began again in 2002 and continued to 2006. Tank testing showed no current leaks, so the later contamination was presumed to be from a prior release. Tank testing to the date of the Phase I has continued to show the tanks as in compliance. The second LUFT case was closed by SFDPH in 2006. The existing buildings to be demolished may contain asbestos and lead-based paint.

The proposed project would demolish the existing structure on the project site. The portion of the site not covered by the building and associated parking (the southeastern corner) has been used as a gasoline service station/commercial cardlock fueling facility. This fueling facility contains two underground storage tanks (UST), fuel delivery piping and dispenser islands, and compressed natural gas equipment with a storage tank. The gasoline service station operated until the mid 1980s and was demolished in 1993, replaced by the commercial cardlock fueling facility. The four original UST installed in 1967 and 1971 were removed along with approximately 1,700 yards of contaminated soil. Contaminated soil remains beneath the off-site sidewalk along Third Street. Groundwater monitoring wells were installed and monitored until 1994, when the case was closed and the monitoring wells removed. Additionally, an unauthorized fuel release in 2002 resulted in contamination of shallow groundwater beneath the site, and four groundwater monitoring wells were installed. The case was closed in 2006 and the wells removed.

Based on past uses of the site, the project is subject to Article 22A of the Health Code, also known as the Maher Ordinance, which is administered and overseen by the Department of Public Health (DPH). The Maher Ordinance requires the project sponsor to retain the services of a qualified professional to prepare a Phase I Environmental Site Assessment (ESA) that meets the requirements of Health Code Section 22.A.6.

The Phase I ESA would determine the potential for site contamination and level of exposure risk associated with the project. Based on that information, the project sponsor may be required to conduct soil and/or groundwater sampling and analysis. Where such analysis reveals the presence of hazardous substances in excess of state or federal standards, the project sponsor is required to submit a site

mitigation plan (SMP) to the DPH or other appropriate state or federal agency(ies), and to remediate any site contamination in accordance with an approved SMP prior to the issuance of any building permit.

In compliance with the Maher Ordinance, the project sponsor has submitted a Maher Application to DPH and a Phase I ESA has been prepared to assess the potential for site contamination.³⁷ The Phase I ESA indicated that there is a potential for the presence of asbestos- or lead-containing building materials in the existing structure that will require a predemolition survey for proper management. Further, a site mitigation plan may be required to properly address and manage the fill materials during redevelopment.

The proposed project would be required to remediate potential soil and/or groundwater contamination described above in accordance with Article 22A of the Health Code. Therefore, the proposed project would not result in any significant impacts related to hazardous materials that were not identified in the Eastern Neighborhoods FEIR.

The project site is not located within an area covered by an airport land use plan, within two miles of a public airport or a public use airport, or in the vicinity of a private airstrip. Therefore, the proposed project would not result in a safety hazard for people residing or working in the project area.

In San Francisco, fire safety is ensured through the provisions of the Building Code and the San Francisco Fire Code. During the review of the building permit application, DBI and the San Francisco Fire Department will review the project plans for compliance with all regulations related to fire safety. Compliance with fire safety regulations would ensure that the proposed project would not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan or expose people or structures to a significant risk of loss, injury, or death involving fires.

For these reasons, the proposed project would not result in significant impacts related to hazards or hazardous materials that were not identified in the Eastern Neighborhoods FEIR.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
17. MINERAL AND ENERGY RESOURCES— Would the project:						
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Encourage activities which result in the use of large amounts of fuel, water, or energy, or use these in a wasteful manner?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

³⁷ PES Environmental, Inc., *Phase I Environmental Site Assessment for 1201-1225 Tennessee Street, San Francisco, CA* (August 14, 2012).

The Eastern Neighborhoods FEIR determined that the Area Plan would facilitate the construction of both new residential units and commercial buildings. Development of these uses would not result in use of large amounts of fuel, water, or energy in a wasteful manner or in the context of energy use throughout the City and region. The energy demand for individual buildings would be typical for such projects and would meet, or exceed, current state and local codes and standards concerning energy consumption, including Title 24 of the California Code of Regulations enforced by DBI. The Plan Area does not include any natural resources routinely extracted and the rezoning does not result in any natural resource extraction programs. Therefore, the Eastern Neighborhoods FEIR concluded that implementation of the Area Plan would not result in a significant impact on mineral and energy resources. No mitigation measures were identified in the FEIR.

The proposed project would be required to comply with the standards of Title 24 and the requirements of the San Francisco Green Building Ordinance. The project site is not designated as an area of significant mineral deposits or as a locally important mineral resource recovery site. The proposed project would not result in the loss of mineral resources that are of value to the region or the residents of the state, would not result in the loss of availability of a locally important mineral resource recovery site, and would not encourage activities that result in the use of large amounts of fuel, water, or energy, or use them in a wasteful manner.

For these reasons, the proposed project would not result in significant impacts on mineral and energy resources that were not identified in the Eastern Neighborhoods FEIR, and no mitigation measures are necessary.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
18. AGRICULTURE AND FOREST RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board.—Would the project:						
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)) or timberland (as defined by Public Resources Code Section 4526)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR determined that no agricultural resources exist in the Area Plan; therefore the rezoning and community plans would have no effect on agricultural resources. No mitigation measures were identified in the FEIR. The Eastern Neighborhoods FEIR did not analyze the effects on forest resources.

The project site does not contain agricultural uses, forest land, or timberland, and it is not zoned for such uses. The proposed project would not convert farmland to non-agricultural use and would not convert forest land or timberland to nonforest use.

For these reasons, the proposed project would have no impacts on agriculture or forest resources that were not identified in the Eastern Neighborhoods FEIR, and no mitigation measures are necessary.

<i>Topics:</i>	<i>Project-Specific Significant Impact Not Identified in PEIR</i>	<i>Significant Unavoidable Impact Identified in PEIR</i>	<i>Mitigation Identified in PEIR</i>	<i>PEIR Mitigation Applies to Project</i>	<i>PEIR Mitigation Does Not Apply to Project</i>	<i>No Significant Impact (Project or PEIR)</i>
19. MANDATORY FINDINGS OF SIGNIFICANCE— Would the project:						
a) Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have impacts that would be individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have environmental effects that would cause substantial adverse effects on human beings, either directly or indirectly?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods FEIR identified significant impacts related to land use, transportation, cultural resources, shadow, noise, air quality, and hazardous materials. Mitigation measures reduced all impacts to less than significant, with the exception of those related to land use (cumulative impacts on PDR use), transportation (traffic impacts at nine intersections and transit impacts on seven Muni lines), cultural (demolition of historical resources), and shadow (impacts on parks).

The proposed project would include construction of approximately 258 dwelling units, 2,340 sf of retail space, 12,440 sf of “Flex” space (ground floor space that could be used for residential use or residential use with accessory office), and a maximum of 147 parking spaces located at grade in the concrete podium utilizing car stackers. As discussed in this document, the proposed project would not result in new, significant environmental effects, or effects of greater severity than were already analyzed and disclosed in the Eastern Neighborhoods FEIR.

MITIGATION AND IMPROVEMENT MEASURES

Cultural and Paleontological Resources

Project Mitigation Measure M-CR-1 – Properties with No Previous Studies (Mitigation Measure J-2 of the Eastern Neighborhoods FEIR). Based on a reasonable presumption that archeological resources may be present within the project site, the following measures shall be undertaken to avoid any potentially significant adverse effect from the proposed project on buried or submerged historical resources. Prior to the issuance of construction permits, the project sponsor shall retain the services of an archeological consultant from the pool of qualified archeological consultants maintained by the Planning Department archaeologist. The archeological consultant shall undertake an archeological testing program as specified herein. In addition, the consultant shall be available to conduct an archeological monitoring and/or data recovery program if required pursuant to this measure. The archeological consultant’s work shall be conducted in accordance with this measure at the direction of the Environmental Review Officer (ERO). All plans and reports prepared by the consultant as specified herein shall be considered draft reports subject to revision until final approval by the ERO. Archeological monitoring and/or data recovery programs required by this measure could suspend construction of the project for up to a maximum of four weeks. At the direction of the ERO, the suspension of construction can be extended beyond four weeks only if such a suspension is the only feasible means to reduce potential effects on a significant archeological resource as defined in CEQA Guidelines Section 150664.5(a)(c) to less than significant.

Consultation with Descendant Communities. On discovery of an archeological site associated with descendant Native Americans or the Overseas Chinese, an appropriate representative of the descendant group and the ERO shall be contacted. The representative of the descendant group shall be given the opportunity to monitor archeological field investigations of the site, of recovered data from the site, and, if applicable, any interpretative treatment of the associated archeological site. A copy of the Final Archaeological Resources Report shall be provided to the representatives of the descendant group.

Archaeological Testing Program. The archeological consultant shall prepare and submit to the ERO for review and approval an archeological testing plan (ATP). The archeological testing program shall be conducted in accordance with the approved ATP. The ATP shall identify the property types of the expected archeological resource(s) that potentially could be adversely affected by the proposed project, the testing method to be used, and the locations recommended for testing. The purpose of the archeological testing program will be to determine to the extent possible the presence or absence of archeological resources and to identify and to evaluate whether any archeological resource encountered on the site constitutes an historical resource under CEQA.

At the completion of the archeological testing program, the archeological consultant shall submit a written report of the findings to the ERO. If based on the archeological testing program the archeological consultant finds that significant archeological resources may be present, the ERO in consultation with the archeological consultant shall determine if additional measures are warranted. Additional measures that may be undertaken include additional archeological testing, archeological monitoring, and/or an archeological data recovery program. If the ERO determines that a significant archeological resource is present and that the resource could be adversely affected by the proposed project, at the discretion of the project sponsor either:

- (a) The proposed project shall be re-designed so as to avoid any adverse effect to the significant archeological resource; or
- (b) A data recovery program shall be implemented, unless the ERO determines that the archeological resource is of greater interpretive than research significance and that interpretive use of the resource is feasible.

Archaeological Monitoring Program. If the ERO in consultation with the archeological consultant determines that an archeological monitoring program shall be implemented the archeological monitoring program shall minimally include the following provisions:

- (a) The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the AMP reasonably prior to any project-related soils disturbing activities commencing.
- (b) The ERO in consultation with the archeological consultant shall determine what project activities shall be archeologically monitored. In most cases, any soils-disturbing activities, such as demolition, foundation removal, excavation, grading, utilities installation, foundation work, driving of piles (foundation, shoring, etc.), site remediation, etc., shall require archeological monitoring because of the risk these activities pose to potential archeological resources and to their depositional context;
- (c) The archeological consultant shall advise all project contractors to be on the alert for evidence of the presence of the expected resource(s), of how to identify the evidence of the expected resource(s), and of the appropriate protocol in the event of apparent discovery of an archeological resource;
- (d) The archeological monitor(s) shall be present on the project site according to a schedule agreed upon by the archeological consultant and the ERO until the ERO has, in consultation with project archeological consultant, determined that project construction activities could have no effects on significant archeological deposits;
- (e) The archeological monitor shall record and be authorized to collect soil samples and artifactual/ecofactual material as warranted for analysis;
- (f) If an intact archeological deposit is encountered, all soils-disturbing activities in the vicinity of the deposit shall cease. The archeological monitor shall be empowered to temporarily redirect demolition/excavation/pile driving/construction activities and equipment until the deposit is evaluated. If in the case of pile driving activity (foundation, shoring, etc.), the archeological monitor has cause to believe that the pile driving activity may affect an archeological resource, the pile driving activity shall be terminated until an appropriate evaluation of the resource has been made in consultation with the ERO. The archeological consultant shall immediately notify the ERO of the

encountered archeological deposit. The archeological consultant shall make a reasonable effort to assess the identity, integrity, and significance of the encountered archeological deposit, and present the findings of this assessment to the ERO.

Whether or not significant archeological resources are encountered, the archeological consultant shall submit a written report of the findings of the monitoring program to the ERO.

Archaeological Data Recovery Program. The archeological data recovery program shall be conducted in accord with an archeological data recovery plan (ADRP). The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the ADRP prior to preparation of a draft ADRP. The archeological consultant shall submit a draft ADRP to the ERO. The ADRP shall identify how the proposed data recovery program will preserve the significant information the archeological resource is expected to contain. That is, the ADRP will identify what scientific/historical research questions are applicable to the expected resource, what data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. Data recovery, in general, should be limited to the portions of the historical property that could be adversely affected by the proposed project. Destructive data recovery methods shall not be applied to portions of the archeological resources if nondestructive methods are practical.

The scope of the ADRP shall include the following elements:

- (a) Field Methods and Procedures. Descriptions of proposed field strategies, procedures, and operations.
- (b) Cataloguing and Laboratory Analysis. Description of selected cataloguing system and artifact analysis procedures.
- (c) Discard and Deaccession Policy. Description of and rationale for field and post-field discard and deaccession policies.
- (d) Interpretive Program. Consideration of an on-site/off-site public interpretive program during the course of the archeological data recovery program.
- (e) Security Measures. Recommended security measures to protect the archeological resource from vandalism, looting, and non-intentionally damaging activities.
- (f) Final Report. Description of proposed report format and distribution of results.
- (g) Curation. Description of the procedures and recommendations for the curation of any recovered data having potential research value, identification of appropriate curation facilities, and a summary of the accession policies of the curation facilities.

Human Remains and Associated or Unassociated Funerary Objects. The treatment of human remains and of associated or unassociated funerary objects discovered during any soils disturbing activity shall comply with applicable State and Federal laws. This shall include immediate notification of the Coroner of the City and County of San Francisco and in the event of the Coroner's determination that the human remains are Native American remains, notification of the California State Native American Heritage Commission (NAHC) who shall appoint a Most Likely Descendant (MLD) (Pub. Res. Code Sec. 5097.98). The archeological consultant, project sponsor, and MLD shall make all reasonable efforts to develop an agreement for the treatment of, with appropriate dignity, human remains and associated or unassociated funerary objects (CEQA Guidelines Section 15064.5(d)). The agreement should take into consideration the appropriate

excavation, removal, recordation, analysis, custodianship, curation, and final disposition of the human remains and associated or unassociated funerary objects.

Final Archaeological Resources Report. The archeological consultant shall submit a Draft Final Archaeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describes the archeological and historical research methods employed in the archeological testing/monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.

Once approved by the ERO, copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Environmental Planning division of the Planning Department shall receive one bound, one unbound and one unlocked, searchable PDF copy on CD of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest in or the high interpretive value of the resource, the ERO may require a different final report content, format, and distribution than that presented above.

Transportation and Circulation

Improvement Measure I-TR-1 – Queue Abatement. As an improvement measure to minimize the vehicle queues at the proposed project driveway into the public right-of-way, the proposed project would be subject to the Planning Department's vehicle queue abatement Conditions of Approval.

Improvement Measure I-TR-2 – Street Sweeping Requirements. The proposed streetscape plan includes tree wells that extend into the parking lane. As an improvement measure to ensure the parking spaces between tree wells are regularly cleaned, an agreement shall be made with the building management to take on responsibility for the regular cleaning of any pockets created by the tree wells which cannot be cleaned by DPW street cleaning equipment.

Improvement Measure I-TR-3 – Bicycle Parking Requirements. The project sponsor shall coordinate with SFMTA on the following changes to the proposed project: incorporate Class 2 bicycle parking spaces into the proposed streetscape plan in a publicly-accessible and highly visible location; develop signage that directs users to the Class 2 bicycle parking spaces in the parking garage and the bicycle maintenance station in the northwest corner of the site. Signage shall be included in all bicycle parking areas with information about the bicycle maintenance station.

Improvement Measure I-TR-4 – On-Site Loading Spaces. The project sponsor is currently applying for a *Planning Code* exemption through the SFMTA to allow loading to occur at the designated off-site. If the exception is not approved, the project sponsor shall revise the site plan to include one on-site loading space.

Improvement Measure I-TR-5 – Construction Management.

Traffic Control Plan for Construction. As an improvement measure to reduce potential conflicts between construction activities and pedestrians, transit and autos at the project site, the

contractor shall add certain measures to the required traffic control plan for project construction. In addition to the requirements for a construction traffic control/management plan, the project shall include the following measures.

Nonpeak Construction Traffic Hours. In addition, to minimize the construction-related disruption of the general traffic flow on adjacent streets during the AM and PM peak periods, truck movements and deliveries should be limited during peak hours (generally 7:00 to 9:00 a.m. and 4:00 to 6:00 p.m., or other times, as determined by SFMTA and its Transportation Advisory Staff Committee [TASC]).

Carpool and Transit Access for Construction Workers. To minimize parking demand and vehicle trips associated with construction workers, the construction contractor shall include methods to encourage carpooling and transit access to the project site by construction workers in the Construction Management Plan.

Project Construction Updates for Adjacent Businesses and Residents. To minimize construction impacts on access for nearby institutions and businesses, the project sponsor shall provide nearby residences and adjacent businesses with regularly-updated information regarding project construction, including a project construction contact person, construction activities, duration, peak construction activities (e.g., concrete pours), travel lane closures, and lane closures.

Noise

Project Mitigation Measure M-NO-1 – Construction Noise (Mitigation Measure F-1 from the Eastern Neighborhoods FEIR). For subsequent development projects within proximity to noise-sensitive uses that would include pile-driving, individual project sponsors shall ensure that piles be pre-drilled wherever feasible to reduce construction-related noise and vibration. No impact pile drivers shall be used unless absolutely necessary. Contractors would be required to use pile-driving equipment with state-of-the-art noise shielding and muffling devices. To reduce noise and vibration impacts, sonic or vibratory sheetpile drivers, rather than impact drivers, shall be used wherever sheetpiles are needed. Individual project sponsors shall also require that contractors schedule pile-driving activity for times of the day that would minimize disturbance to neighbors.

Project Mitigation Measure M-NO-2 – Construction Noise (Mitigation Measure F-2 from the Eastern Neighborhoods FEIR). Where environmental review of a development project undertaken subsequent to the adoption of the proposed zoning controls determines that construction noise controls are necessary due to the nature of planned construction practices and the sensitivity of proximate uses, the Planning Director shall require that the sponsors of the subsequent development project develop a set of site-specific noise attenuation measures under the supervision of a qualified acoustical consultant. Prior to commencing construction, a plan for such measures shall be submitted to the Department of Building Inspection to ensure that maximum feasible noise attenuation will be achieved. These attenuation measures shall include as many of the following control strategies as feasible:

- Erect temporary plywood noise barriers around a construction site, particularly where a site adjoins noise-sensitive uses
- Utilize noise control blankets on a building structure as the building is erected to reduce noise emission from the site

- Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings housing sensitive uses
- Monitor the effectiveness of noise attenuation measures by taking noise measurements
- Post signs on-site pertaining to permitted construction days and hours and complaint procedures and who to notify in the event of a problem, with telephone numbers listed

Project Mitigation Measure M-NO-3 – Siting of Noise-Sensitive Uses (Mitigation Measure F-4 from the Eastern Neighborhoods FEIR). To reduce potential conflicts between existing noise-generating uses and new sensitive receptors, prior to issuance of grading permits, the project sponsor shall demonstrate to the lead agency that the proposed project complies with Title 24 standards.

Project Mitigation Measure M-NO-4 – Open Space in Noisy Environments (Mitigation Measure F-6 from the Eastern Neighborhoods FEIR). Prior to issuance of building permits, the project sponsor shall demonstrate to the lead agency that that open space required under the *Planning Code* for such uses will be protected, to the maximum feasible extent, from existing ambient noise levels that could prove annoying or disruptive to users of the open space. Implementation of this measure could involve, among other things, site design that uses the building itself to shield on-site open space from the greatest noise sources, construction of noise barriers between noise sources and open space, and appropriate use of both common and private open space in multi-family dwellings, and implementation would also be undertaken consistent with other principles of urban design.

Air Quality

Project Mitigation Measure M-AQ-1 – Construction Emissions Minimization (Mitigation Measure G-1 from the Eastern Neighborhoods FEIR). The project sponsor shall maintain and operate construction equipment so as to minimize exhaust emissions of particulates and other pollutants, by such means as a prohibition on idling motors when equipment is not in use or when trucks are waiting in queues, and implementation of specific maintenance programs to reduce emissions for equipment that would be in frequent use for much of the construction period. The project sponsor shall also implement a basic dust control program that shall include, but not necessarily be limited to, the following:

- Water all active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour.
- Reclaimed water should be used whenever possible.
- Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
- Pave, apply water (reclaimed if possible) three times daily, or apply (nontoxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
- Sweep streets (with water sweepers using reclaimed water if possible) at the end of each day if visible soil material is carried onto adjacent paved roads.

- Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site.
- Install windbreaks, or plant tree/vegetative wind breaks at windward side(s) of construction areas.
- Suspend excavation and grading activity when winds (instantaneous gusts) exceed 25 mph.

Hazards and Hazardous Materials

Project Mitigation Measure M-HZ-1 – Hazardous Building Materials (Mitigation Measure L-1 of the Eastern Neighborhoods FEIR). The City shall condition future development approvals to require that the subsequent project sponsors ensure that any equipment containing PCBs or DEPH, such as fluorescent light ballasts, are removed and properly disposed of according to applicable federal, state, and local laws prior to the start of renovation, and that any fluorescent light tubes, which could contain mercury, are similarly removed and properly disposed of. Any other hazardous materials identified, either before or during work, shall be abated according to applicable federal, state, and local laws.