



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis Residential Demolition/New Construction

HEARING DATE: FEBRUARY 21ST, 2013

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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415.558.6377

Date: February 14th, 2013
Case No's.: 2012.0391D and 2012.0394D
Project Address: 524 Vienna Street
Zoning: RH-1 (Residential House, One-Family) Zoning District
 40-X Height and Bulk District
Block/Lot: 6090/004
Project Sponsor: Santos & Urrutia Structural Engineers
 2451 Harrison Street
 San Francisco, CA 94116
Staff Contact: Thomas Wang – (415) 588-6335
thomas.wang@sfgov.org
Recommendation: Do not take DR and approve demolition and new construction as proposed

DEMOLITION APPLICATION		NEW BUILDING APPLICATION	
Demolition Case Number	2012.0391D	New Building Case Number	2012.0394D
Recommendation	Do Not Take DR and Approve	Recommendation	Do not Take DR and Approve
Demolition Application Number	2010.10.07.2484	New Building Application Number	2010.10.07.2487
Number Of Existing Units	One	Number Of New Units	One
Existing Parking	None	New Parking	Two
Number Of Existing Bedrooms	One	Number of New Bedrooms	Five
Existing Building Area	+/- 504 Sq. Ft.	New Building Area	+/- 3,856 Sq. Ft.
Public DR Also Filed?	None	Public DR Also Filed?	None
311 Expiration Date	December 29 th , 2011	Date Time & Materials Fees Paid	\$3,509.00

PROJECT DESCRIPTION

The Project includes the demolition of an existing one-story over crawl space, single-family dwelling and the construction of a new two-story over garage, single-family dwelling.

SITE DESCRIPTION AND PRESENT USE

The subject property at 524 Vienna Street is on the northwest side of Vienna Street between Persia and Russia avenues. The subject lot contains an existing vacant, one-story over basement, single-family dwelling, constructed circa 1912. The subject lot has a frontage of 25 feet along Vienna Street and a depth of 100 feet. The existing single-family dwelling with one bedroom and two bathrooms contains a gross floor of approximately 675 square feet and is approximately 20 feet at the street. The subject property is within an RH-1 (Residential, House, Single-Family) Zoning District and a 40-X Height and Bulk District.

SURROUNDING PROPERTIES & NEIGHBORHOOD

The subject property is in the Excelsior neighborhood. The surrounding residential neighborhood is defined by predominantly two-story, single-family dwellings built from 1910 to the present with a range of architectural styles and forms. Buildings along the subject block-face were constructed with fairly uniform front setbacks and scale but varied rear yard depths. Both of the two adjacent lots measure 25 feet wide by 100 feet deep. The adjacent lot immediately northeast of the subject property contains a one-story, single-family dwelling. The adjacent lot immediately southwest of the subject property contains a two-story, single-family dwelling.

As noted in the Historic Resource Evaluation Response (HRER) under Case No. 2010.0074E, this neighborhood is not within a historic district and does not appear to be a potential historic district.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	February 11 th , 2013	February 8 th , 2013	13 days
Mailed Notice	10 days	February 11 th , 2013	February 8 th , 2013	13 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	--	--	--
Other neighbors on the block or directly across the street	--	--	--
Neighborhood groups	--	--	--

REPLACEMENT STRUCTURE

The replacement structure will be a two-story over garage, single-family dwelling with a front setback of 4 feet and a rear yard of 30 feet 4 inches. It will be 65 feet 8 inches deep and 20 feet 6 inches tall at the front façade, rising to a maximum height of 27 feet at the third story roof. The third-story's front wall will be set back 15 feet from the front main building wall. The replacement structure's flat roof and front entry are in a similar style to the roof and entry patterns that currently exist at many other buildings in the immediate vicinity. The materials for the front façade include stucco, wood, and glass, which are consistent with exterior materials on other residential buildings in the surrounding neighborhood.

With a total floor area of approximately 3,856 square-feet, the replacement single-family dwelling will contain 5 bedrooms and 5 full-bathrooms. Features of this proposed dwelling include a living/dining room, kitchen, family room, rumpus room, study and a garage that contains two parking spaces in a tandem fashion. A front roof deck at the third floor will function as the outdoor open space in addition to the rear yard open space.

The replacement single-family dwelling complies with the respective quantitative standards of the Planning Code, including front setback, rear yard and building height requirements. Its overall scale will also be consistent with the Residential Design Guidelines with respect to the current building scale at the street and at the mid-block open space.

PUBLIC COMMENT

The Project has completed Section 311 Notice of Building Permit Application and Mandatory DR hearing notification. No separate public Discretionary Review Application was filed.

GENERAL PLAN COMPLIANCE

The project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDING HOUSING.

Policy 1.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.10:

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

While the project does not propose affordable housing, it will replace an unsound, one-bedroom, single-family dwelling with a five-bedroom, family-sized single-family dwelling, within a residential district zoned for a density of one unit per lot.

The location of the subject property is within the service area of a variety of neighborhood commercial uses along Mission Street and is near Muni 52 Excelsior line.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Project complies with these policies as follows:

1. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The project will not affect neighborhood-serving retail uses as the project proposes a residential structure within a residential zoning district.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project, including design modifications recommended by the Department, will be in a manner that is compatible in scale with the surrounding neighborhood character.

3. That the City's supply of affordable housing be preserved and enhanced.

The project will not affect affordable housing as the existing dwelling is not an affordable housing unit, as defined by the Mayor's Office of Housing.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project will provide two off-street parking spaces in a single-family dwelling while only one space is required by the Planning Code. The proposed single-family will not typically engender significant traffic or parking impacts.

5. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project will not displace any industrial or service uses as the project is within a residential zoning district.

6. The City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project will be designed and constructed in accordance with the current Building Code to protect against injury and loss of life in an earthquake.

7. Landmarks and historic buildings be preserved.

The project proposes demolition of a building that has been determined by the Department not to be an historic resource.

8. Parks and open space and their access to sunlight and vistas be protected from development.

The project is not located within the vicinity of any parks or public open spaces.

ENVIRONMENTAL REVIEW

Under Case No. 2010.0074E, the existing single-family dwelling proposed for demolition was determined not to be a historic resource for the purposes of CEQA on July 1st, 2011, and the proposed single-family dwelling was issued a Categorical Exemption from Environmental Review on July 12th, 2011.

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) has reviewed the original design of the replacement two-story over garage, single-family dwelling and requested the following changes: (1) setting the third-story back 15 feet from the front main building wall and (2) setting both the second- and third-story back 8 feet from the rear building wall.

The Project Sponsor has submitted a revised design that fulfills all of the changes requested by the RDT. Pursuant to the Residential Design Guidelines, the RDT determined that the revised design of the replacement dwelling would be compatible with the existing building scale at the street and at the mid-block open space.

BASIS FOR RECOMMENDATION

The Department recommends that both of the proposed residential demolition and the replacement single-family dwelling be approved. The project is consistent with the Objectives and Policies of the General Plan and complies with applicable provisions of the Planning Code. Furthermore, the design of the replacement single-family dwelling is consistent with the Residential Design Guidelines as described above. The project meets the criteria set forth in Section 101.1 of the Planning Code in that:

- The project will replace an unsound single-family dwelling, containing only one bedroom and no off-street parking, with a family-sized single-family dwelling, containing five bedrooms and two off-street parking spaces;
- No tenants will be displaced as a result of this project because the dwelling to be demolished is currently vacant;
- Given the scale of the project, there will be no significant impact on the existing capacity of the local streets or Muni transit system
- Although the project will maintain the same number of unit at the site, it will provide four additional bedrooms as compared to the existing bedroom count and is therefore, an appropriate in-fill development;
- Although the existing structure is more than 50 years old, a review of the Historic Resource Evaluation resulted in a determination that the existing building is not an historic resource or landmark for the purposes of CEQA.

RECOMMENDATION:

Case No. 2012.0391D – Do not take DR and approve the demolition.

Case No. 2012.0394D – Do not take DR and approve the new construction.

DEMOLITION CRITERIA – ADMINISTRATIVE REVIEW

Existing Value and Soundness

1. Whether the Project Sponsor has demonstrated that the value of the existing land and structure of a single-family dwelling is not affordable or financially accessible housing (above the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months);

Project Does Not Meet Criterion

The Project Sponsor does not claim that the property is valued at or above 80% of the median single-family home price in San Francisco. As such, the property is considered relatively affordable and financially accessible housing for the purposes of this report and Planning Code Section 317.

2. Whether the housing has been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings);

Project Meets Criterion

The Planning Department provides criteria for evaluating the soundness of residential structures. "Soundness" is an economic measure that expresses the feasibility of repairing a sub-standard dwelling. It compares the estimated cost to upgrade the structure to the estimated cost to replace the same structure.

The Soundness Report was prepared by Patrick Buscovich – an independent third party for this project. The soundness report states that the structure is on the verge of being unsafe to enter and the floors of the main dwelling rooms are inadequately supported by the framing, footings and soil below them. The legal structure is beyond any reasonable economic feasibility to make it habitable.

Department staff performed a site visit and reviewed the soundness report. It is staff's opinion that the soundness report credibly demonstrates that the cost to upgrade the existing house to make it "safe and habitable" would exceed 50 percent of the cost to replace the entire structure in-kind, based upon the Department's criteria for evaluating the soundness of residential structures. Therefore, the proposed residential demolition is recommended for approval.

DEMOLITION CRITERIA

Existing Building

1. Whether the property is free of a history of serious, continuing code violations;

Project Meets Criterion

A review of the databases for the Department of Building Inspection and the Planning Department did not reveal any enforcement case or active notice of violation.

2. Whether the housing has been maintained in a decent, safe, and sanitary condition;

Project Does Not Meet Criterion

The existing housing has not been properly maintained by previous or current owners and is not in a decent, safe, and sanitary condition.

3. Whether the property is a "historical resource" under CEQA;

Project Meets Criterion

Although the existing structure is more than 50 years old, a review of the Historic Resource Evaluation resulted in a determination that it is not a historic resource for the purposes of CEQA.

4. If the property is a historical resource, whether the removal of the resource will have a substantial adverse impact under CEQA;

Criterion Not Applicable to Project
The property is not a historical resource.

Rental Protection

5. Whether the Project converts rental housing to other forms of tenure or occupancy;

Criterion Not Applicable to Project
The subject dwelling is currently vacant and is not rental housing.

6. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

Project Meets Criterion
According to the Project Sponsor, the unit is not subject to rent control because it is a single-family dwelling that is currently vacant.

7. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Project Does Not Meet Criterion
The project does not meet this criterion because the existing dwelling will be demolished. Nonetheless, the proposed replacement single-family dwelling will be compatible in scale with the neighborhood character.

8. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

Project Meets Criterion
The project will conserve neighborhood character to preserve neighborhood cultural and economic diversity by constructing a replacement structure that will be compatible with other residential structures in the surrounding neighborhood, including scale, glazing pattern and materials and by creating family-sized housing.

9. Whether the Project protects the relative affordability of existing housing;

Project Does Not Meet Criterion
Although the existing dwelling proposed for demolition is not above the 80% average price of a single-family dwelling and thus considered "relatively affordable and financially accessible" housing, the dwelling is not defined as an "affordable dwelling unit" by the Mayor's Office of Housing and has been determined to be unsound.

10. Whether the Project increases the number of permanently affordable units as governed by Section 415;

Criterion Not Applicable to Project
The project does not include any permanently affordable unit, as the construction of one dwelling unit does not trigger Section 415 review.

Replacement Structure

11. Whether the Project located in-fill housing on appropriate sites in established neighborhoods;

Project Meets Criterion

The project replaces an existing single-family dwelling with a new single-family dwelling in a neighborhood characterized by single-family dwellings.

12. Whether the Project creates quality, new family housing;

Project Meets Criterion

The project will create one family-sized dwelling, containing five bedrooms, which will better meet the contemporary family housing needs.

13. Whether the Project creates new supportive housing;

Project Does Not Meet Criterion

The project is not specifically designed to accommodate any particular Special Population Group as defined in the Housing Element.

14. Whether the Project promotes construction of well-designed housing to enhance existing neighborhood character;

Project Meets Criterion

The Project Sponsor has submitted a revised design of the replacement building that fulfills all of the changes requested by the Residential Design Team. The replacement structure will be in scale with the surrounding neighborhood character and constructed with quality materials.

15. Whether the Project increases the number of on-site dwelling units;

Project Does Not Meet the Criterion

The project proposes to replace an unsound single-family dwelling with a new single-family dwelling.

16. Whether the Project increases the number of on-site bedrooms.

Project Meets Criterion

The project increases the number of on-site bedrooms from one to five.

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)*

QUESTION	
The visual character is: (check one)	
Defined	X
Mixed	

Comments: The surrounding residential neighborhood is defined by predominantly two-story, single-family dwellings from 1910 to the present with a range of architectural styles and forms. Buildings along the subject block-face were constructed with a fairly uniform building scale.

SITE DESIGN (PAGES 11 - 21)*

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?			X
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?			X
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?			X

Comments: The replacement structure respects the existing building pattern on the subject block by not impeding into the established mid-block open space and by providing a landscaped front setback that is the average of the two adjacent front setbacks for an appropriate transition between varied front setbacks of both adjacent buildings.

BUILDING SCALE AND FORM (PAGES 23 - 30)*

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

Comments: The proposed single-family dwelling's third-story, which will be set back 15 feet from the front building wall, will appear subordinate to the two-story mass with limited visibility from the street. The proposed single-family dwelling's second and third stories, which will be set back 8 feet from the rear building wall, will minimize the loss of light and air and view to the mid-block open space that are currently available to the adjacent building northeast of the proposed dwelling. The overall scale of the proposed dwelling will be compatible with the existing building scale at the street and at the mid-block open space. The proposed dwelling's form, bay window articulation, façade pattern, window proportions, and flat roofline will also be compatible with the existing neighborhood context.

ARCHITECTURAL FEATURES (PAGES 31 - 41)*

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?			X
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?	X		
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?	X		

Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?			X
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

Comments: The proposed single-family dwelling's raised entry responds to the majority of building entrances on the subject block-face. The front bay window provides needed texture to the front façade and is compatible with the style of bay windows found throughout the neighborhood. The location and width of the garage door at 10 feet are compatible with the façade of the proposed dwelling and other homes' garage doors in the surrounding area, respectively. The 10-foot curb cut is placed in a location that will minimize the loss of on-street parking availability. The proposed single-family dwelling will contain no rooftop features, including stair penthouse, parapets, dormers, or windscreens.

BUILDING DETAILS (PAGES 43 - 48)*

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

Comments: The placement and scale of architectural details on the front façade are compatible with those of other buildings on the subject block-face. Exterior building materials, including cement plaster and wood garage door are compatible with those found at many other dwellings throughout the neighborhood. The proposed windows are of appropriate size, residential in character and compatible with those found on the surrounding buildings.

SPECIAL GUIDELINES FOR ALTERATIONS TO BUILDINGS OF POTENTIAL HISTORIC OR ARCHITECTURAL MERIT (PAGES 49 – 54)*

QUESTION	YES	NO	N/A
Is the building subject to these Special Guidelines for Alterations to Buildings of Potential Historic or Architectural Merit?		X	
Are the character-defining features of the historic building maintained?			X
Are the character-defining building form and materials of the historic building maintained?			X
Are the character-defining building components of the historic building maintained?			X
Are the character-defining windows of the historic building maintained?			X
Are the character-defining garages of the historic building maintained?			X

Comments: The project is not an alteration and the dwelling that is proposed to be demolished has been determined not to be a historical resource for the purposes of CEQA.

Attachments:

Department staff's packet includes:

- Parcel Map
- Sanborn Map
- Zoning Map
- Section 311 Notice
- Aerial Photographs
- Categorical Exemption/Historical Resource Evaluation Response

Project Sponsor's packet includes:

- Project Description
- Application for Dwelling Unit Removal/Demolition
- Proposition M Findings
- Neighborhood Context Photographs
- Reduced Plans
- Color Rendering
- Soundness Report

* All page numbers refer to the Residential Design Guidelines.

Parcel Map

6090

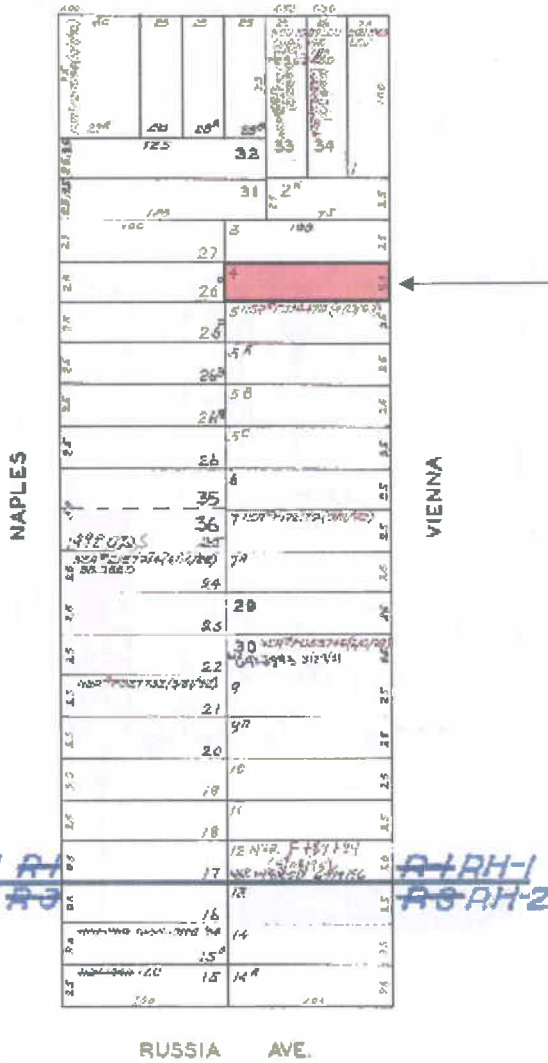
EXCELSIOR HD ASS'N
BLK 56

REVISED '68
'78
'82

40-X



FLORSIA AVE.



SUBJECT PROPERTY

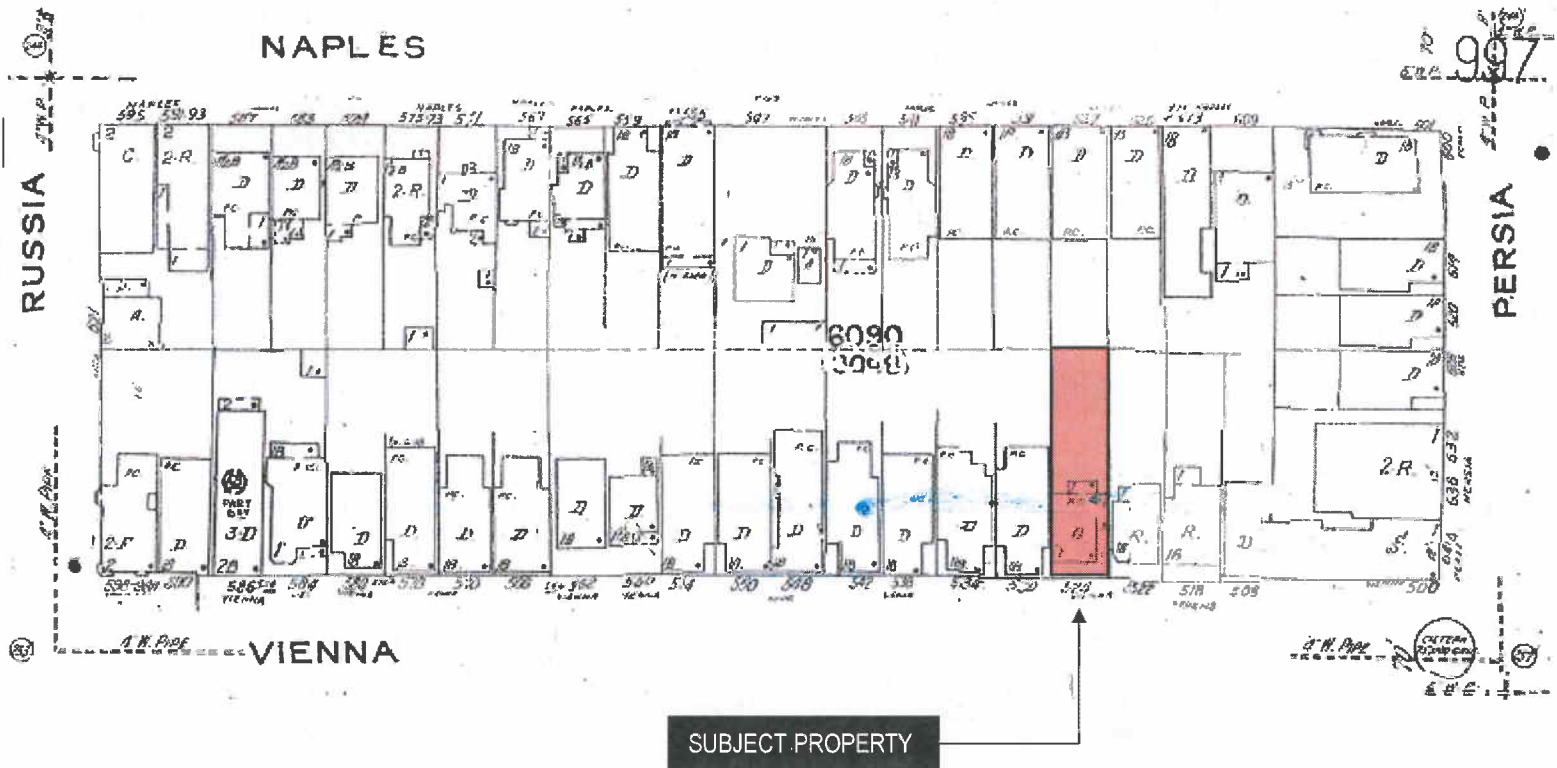
RH-1 RH-2 #3

RH-1 AS RH-2

Planning Commission Hearing
Case Number 2012.0391D and 2012.0394D
524 Vienna Street



Sanborn Map*

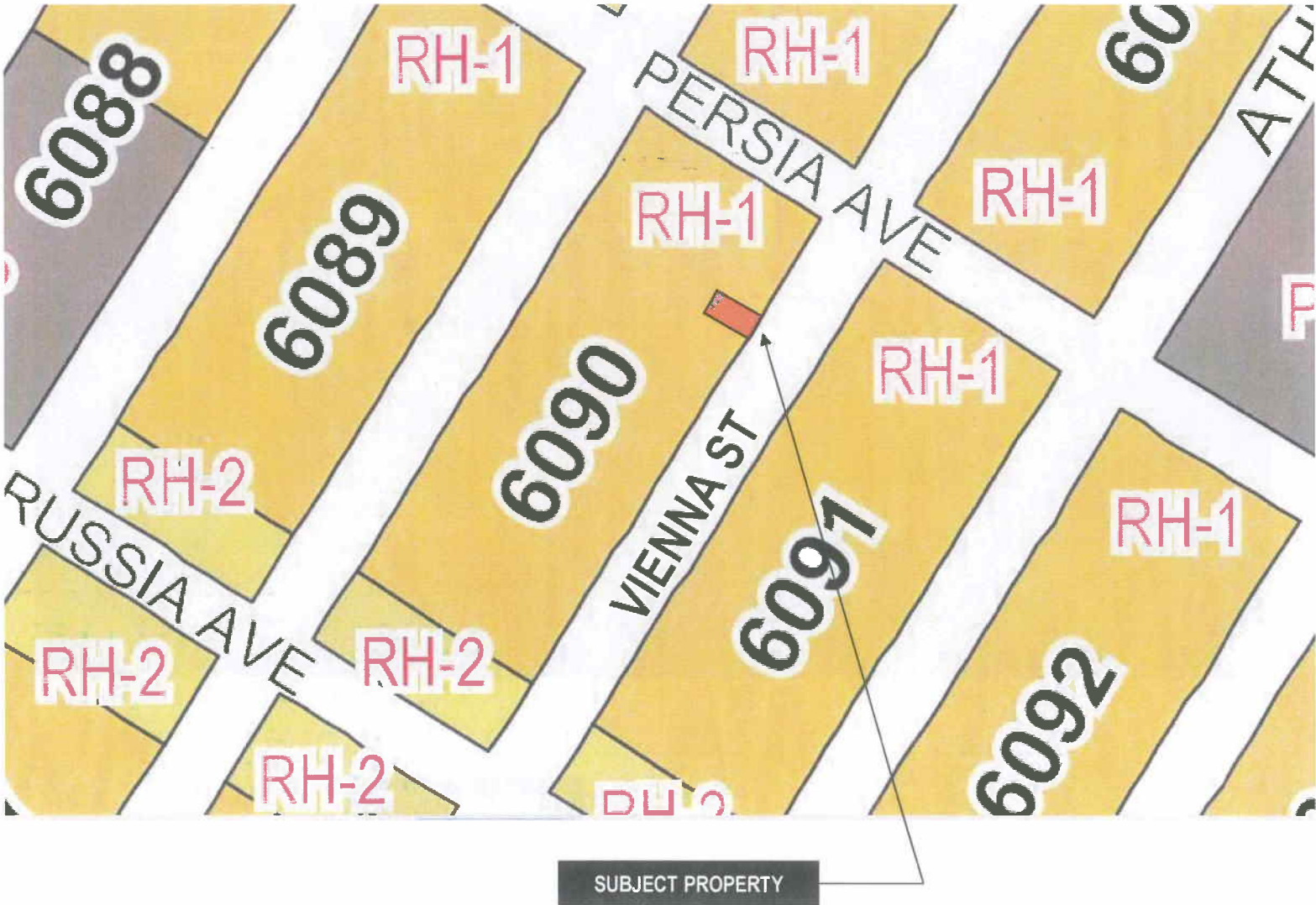


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Planning Commission Hearing
Case Number 2012.0391D and 2012.0394D
524 Vienna Street

Zoning Map

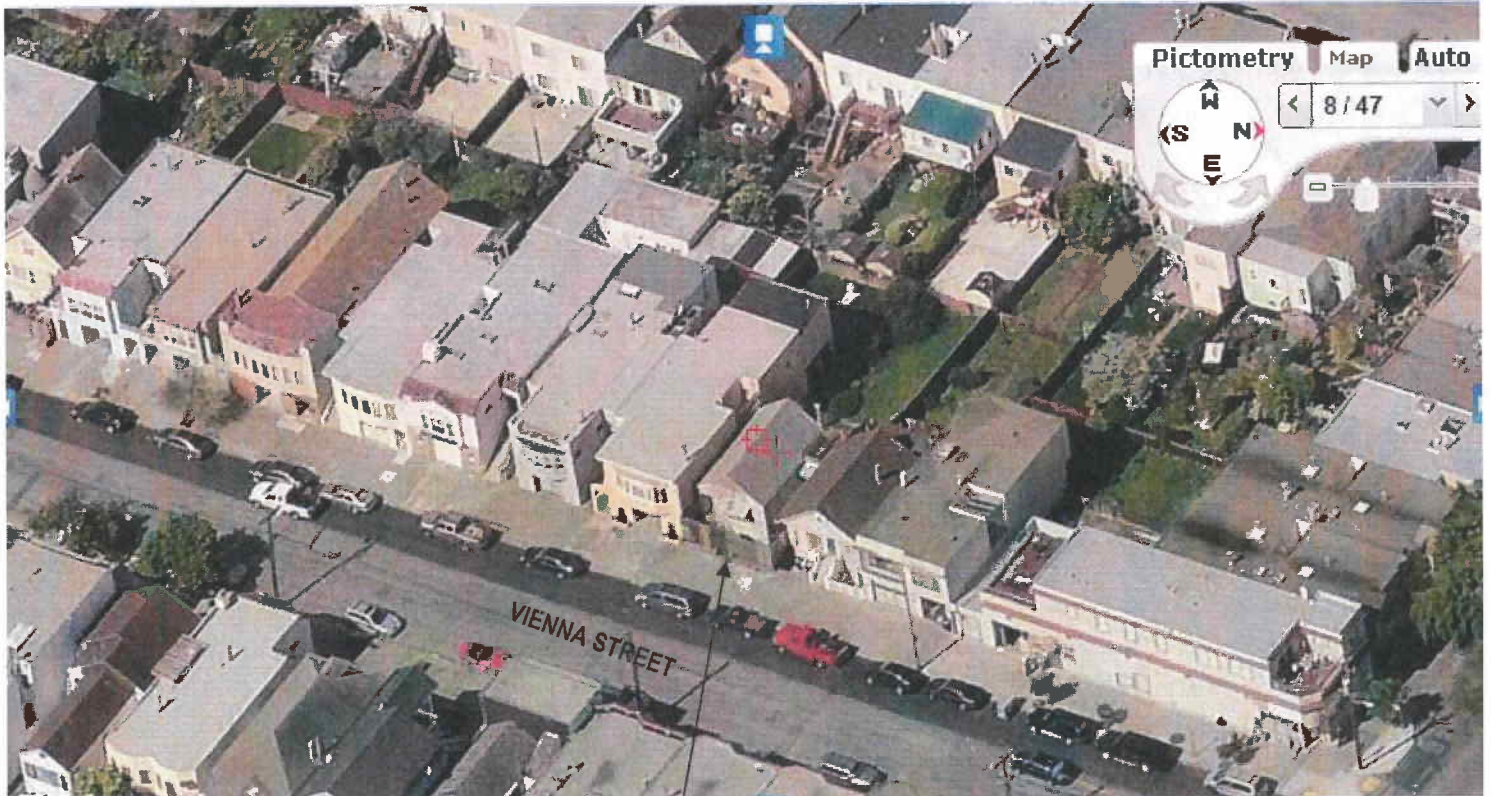


SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2012.0391D and 2012.0394D
524 Vienna Street

Aerial Photo



SUBJECT PROPERTY



Aerial Photo

SUBJECT PROPERTY





SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On October 20th, 2010, the Applicant named below filed Building Permit Application No. 2010.10.07.2484 (Residential Demolition) and 2010.10.07.2487 (New Building) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Tommy Lee/Ronald Yu	Project Address:	524 Vienna Street
Address:	259 Broad Street	Cross Streets:	Between Persia & Russia
City, State:	San Francisco, CA 94112	Assessor's Block /Lot No.:	6090/004
Telephone:	(415) 793-2722	Zoning Districts:	RH-1/40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE			
<input checked="" type="checkbox"/> DEMOLITION	and/or	<input checked="" type="checkbox"/> NEW CONSTRUCTION	or <input type="checkbox"/> ALTERATION
<input type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS	<input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE)	<input type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE	Single-family dwelling	No Change
FRONT SETBACK	8 feet 6 inches	4 feet
SIDE SETBACKS	None	No Change
BUILDING DEPTH	35 feet 5 inches	65 feet 8 inches
REAR YARD	56 feet	27 feet
HEIGHT OF BUILDING	20 feet	28 feet 6 inches
NUMBER OF STORIES	One-story	Two-story over garage
NUMBER OF DWELLING UNITS	One	No Change
NUMBER OF OFF-STREET PARKING SPACES	None	One

PROJECT DESCRIPTION

The proposed work is to demolish an existing one-story, single-family dwelling and construct a new two-story over garage, single-family dwelling.

The proposed work will require a Mandatory Discretionary Review hearing before the Planning Commission.

PLANNER'S NAME: **Thomas Wang**
 PHONE NUMBER: **(415) 558-6335**
 EMAIL: **thomas.wang@sfgov.org**

DATE OF THIS NOTICE: 11-29-11
 EXPIRATION DATE: 12-29-11

NOTICE OF BUILDING PERMIT APPLICATION GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the site plan and elevations (exterior walls), and floor plans (where applicable) of the proposed project, including the position of any adjacent buildings, exterior dimensions, and finishes, and a graphic reference scale, have been included in this mailing for your information. Please discuss any questions with the project Applicant listed on the reverse. You may wish to discuss the plans with your neighbors and neighborhood association or improvement club, as they may already be aware of the project. Immediate neighbors to the project, in particular, are likely to be familiar with it.

Any general questions concerning this application review process may be answered by the **Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00 a.m. - 5:00 p.m.** Please phone the Planner listed on the reverse of this sheet with questions specific to this project.

If you determine that the impact on you from this proposed development is significant and you wish to seek to change the proposed project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Seek a meeting with the project sponsor and the architect to get more information, and to explain the project's impact on you and to seek changes in the plans.
2. Call the nonprofit organization **Community Boards at (415) 920-3820**. They are specialists in conflict resolution through mediation and can often help resolve substantial disagreement in the permitting process so that no further action is necessary.
3. Where you have attempted, through the use of the above steps, or other means, to address potential problems without success, call the assigned project planner whose name and phone number are shown at the lower left corner on the reverse side of this notice, to review your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects, which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission over the permit application, you must make such request **within 30 days of this notice, prior to the Expiration Date shown on the reverse side**, by completing an application (available at the **Planning Department, 1660 Mission Street, 1st Floor, or on-line at www.sfplanning.org**). You must submit the application to the **Planning Information Center (PIC) during the hours between 8:00 a.m. and 5:00 p.m.**, with all required materials, and a check, **for each Discretionary Review request payable to the Planning Department**. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org or at the PIC located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. If the project includes multi building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the approval (or denial) of the permit application by the Planning Department or Planning Commission may be made to the **Board of Appeals within 15 days** after the permit is issued (or denied) by the Superintendent of the Department of Building Inspection. Submit an application form in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including their current fees, **contact the Board of Appeals at (415) 575-6880**.



**SAN FRANCISCO
PLANNING DEPARTMENT**

Date received:

Environmental Evaluation Application

The California Environmental Quality Act (CEQA) requires public agencies to review the environmental impacts of proposed projects. In San Francisco, environmental review under CEQA is administered by the Major Environmental Analysis (MEA) division of the Planning Department. The environmental review process begins with the submittal of a completed Environmental Evaluation (EE) Application to the Planning Department. Only the current EE Application form will be accepted. No appointment is required but staff is available to meet with applicants upon request.

The EE Application will not be processed unless it is completely filled out and the appropriate fees are paid in full. Checks should be made payable to the San Francisco Planning Department. See the current *Schedule of Application Fees* and contact the staff person listed below for verification of the appropriate fees. Fees are generally non-refundable. Documents in italics are available online at sfgov.org/planning.

The EE Application is comprised of four parts. Part 1 is a checklist to ensure that the EE Application is complete; Part 2 requests basic information about the site and the project; Part 3 is a series of questions to help determine if additional information is needed for the EE Application; and Part 4 is a project summary table.

The complete EE Application should be submitted to the Planning Department staff as follows: For projects greater than 10,000 square feet in size and where Part 3 Questions #3, #8, #10, or #11 are answered in the affirmative, or for projects that require mitigation measures, please send the application materials to the attention of Ms. Fordham or Ms. Pereira. For all other projects, please send the application materials to the attention of Mr. Bollinger.

Brett Bollinger
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9024, brett.bollinger@sfgov.org

Chelsea Fordham or Jeanie Poling
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9071, chelsea.fordham@sfgov.org
(415) 575-9072, jeanie.poling@sfgov.org

PART 1 – EE APPLICATION CHECKLIST	Provided	Not Applicable
Two copies of this application with all blanks filled in	<input checked="" type="checkbox"/>	
Two sets of project drawings (see "Additional Information" at the end of page 4.)	<input checked="" type="checkbox"/>	
Photos of the project site and its immediate vicinity, with viewpoints labeled	<input checked="" type="checkbox"/>	
Fee	<input checked="" type="checkbox"/>	
<i>Supplemental Information Form for Historical Resource Evaluation and/or Historic Resource Evaluation Report, as indicated in Part 3 Questions 1 and 2</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Geotechnical Report, as indicated in Part 3 Questions 3a and 3b	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Tree Disclosure Statement, as indicated in Part 3 Question 4</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Phase I Environmental Site Assessment, as indicated in Part 3 Question 8	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Additional studies (list)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Applicant's Affidavit. I certify the accuracy of the following declarations:

- a. The undersigned is the owner or authorized agent of the owner(s) of this property.
- b. The information presented is true and correct to the best of my knowledge.
- c. I understand that other applications and information may be required.

Signed (owner or agent) 
(For Staff Use Only) Case No. 2010.0074E

Date: 4/7/11
Address: 524 Virginia St
Block/Lot: 6090/005

PART 2 – PROJECT INFORMATION

Owner/Agent Information

Property Owner	YIN KWAN TAM	Telephone No.	
Address	524 VIENNA STREET	Fax No.	
		Email	
Project Contact	STEPHEN KWOK	Telephone No.	415-577-0203
Company		Fax No.	
Address	1235 40 TH AVENUE	Email	kwoksf@yahoo.com
	SAN FRANCISCO, CA 94122		

Site Information

Site Address(es):	524 VIENNA STREET		
Nearest Cross Street(s)	PERSIA AVENUE		
Block(s)/Lot(s)	6090 / 004	Zoning District(s)	RH-1
Site Square Footage	2,495	Height/Bulk District	40-X
Present or previous site use	SINGLE FAMILY RESIDENTIAL		
Community Plan Area (if any)	N/A		

Project Description - please check all that apply

<input type="checkbox"/> Addition	<input type="checkbox"/> Change of use	<input type="checkbox"/> Zoning change	<input checked="" type="checkbox"/> New construction
<input type="checkbox"/> Alteration	<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> Lot split/subdivision or lot line adjustment	
<input type="checkbox"/> Other (describe) _____	Estimated Cost _____		

Describe proposed use SINGLE FAMILY DWELLING

Narrative project description. Please summarize and describe the purpose of the project.
 The proposed project is to demolish existing building and construct a new three story building.

PART 3 – ADDITIONAL PROJECT INFORMATION	Yes	No
<p>1. Would the project involve a major alteration of a structure constructed 50 or more years ago or a structure in an historic district?</p> <p>If yes, submit a <i>Supplemental Information Form for Historical Resource Evaluation</i>. Instructions on how to fill out the form are outlined in the <i>San Francisco Preservation Bulletin No. 16</i> (see pages 28-34 in Appendix B).</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>2. Would the project involve demolition of a structure constructed 50 or more years ago or a structure located in an historic district?</p> <p>If yes, a Historic Resource Evaluation Report (HRER)* will be required. The scope of the HRER will be determined in consultation with the Department's Preservation Coordinator.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>3a. Would the project result in excavation or soil disturbance/modification greater than 10 feet below grade?</p> <p>If yes, how many feet below grade would be excavated? _____</p> <p>What type of foundation would be used (if known)? _____</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>3b. Is the project site located in an area of potential geotechnical hazard as identified in the San Francisco General Plan or on a steep slope or would the project be located on a site with an average slope of 20% or more?</p> <p>If yes to either Question 3a or 3b, please submit a Geotechnical Report.*</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>4. Would the project involve expansion of an existing building envelope, or new construction, or grading, or new curb cuts, or demolition?</p> <p>If yes, please submit a <i>Tree Disclosure Statement</i>.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>5. Would the project result in ground disturbance of 5,000 gross square feet or more?</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>6. Would the project result in any construction over 40 feet in height?</p> <p>If yes, apply for a Section 295 (Proposition K) Shadow Study. This application is available on the Planning Department's website and should be submitted at the Planning Information Center, 1660 Mission Street, First Floor.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>7. Would the project result in a construction of a structure 80 feet or higher?</p> <p>If yes, an initial review by a wind expert, including a recommendation as to whether a wind analysis* is needed, may be required, as determined by Department staff.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8. Would the project involve work on a site with an existing or former gas station, auto repair, dry cleaners, or heavy manufacturing use, or a site with underground storage tanks?</p> <p>If yes, please submit a Phase I Environmental Site Assessment (ESA).* A Phase II ESA (for example, soil testing) may be required, as determined by Department staff.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9. Would the project require any variances, special authorizations, or changes to the Planning Code or Zoning Maps?</p> <p>If yes, please describe.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>10. Is the project related to a larger project, series of projects, or program?</p> <p>If yes, please describe.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>11. Is the project in Eastern Neighborhoods or Market & Octavia Community Plan Area?</p> <p>If yes, and the project would be over 55 feet tall or 10 feet taller than an adjacent building built before 1963, please submit an elevation or renderings showing the project with the adjacent buildings.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

* Report or study to be prepared by a qualified consultant who is contracted directly by the project sponsor.

PART 4 – PROJECT SUMMARY TABLE

If you are not sure of the eventual size of the project, provide the **maximum** estimates.

Gross Square Footage (GSF)	Existing Uses	Existing Uses to be Retained	Net New Construction and/or Addition	Project Totals
Residential	625	0	2875	3500
Retail	0	0	0	0
Office	0	0	0	0
Industrial	0	0	0	0
Parking	0	0	500	500
Other (specify use)				
Total GSF	625	0	3375	4000

Dwelling units	1	1	0	1
Hotel rooms	0	0	0	0
Parking spaces	0	0	1	1
Loading spaces	0	0	0	0
Number of buildings	1	0	1	1
Height of building(s)	20	0	27	27
Number of stories	1	0	3	3

Please describe any additional project features that are not included in this table:

Additional Information: Project drawings in 11x17 format should include existing and proposed site plans, floor plans, elevations, and sections, as well as all applicable dimensions and calculations for existing and proposed floor area and height. The plans should clearly show existing and proposed off-street parking and loading spaces; driveways and trash loading areas; vehicular and pedestrian access to the site, including access to off-street parking and parking configuration; and bus stops and curbside loading zones within 150 feet of the site. A **transportation study** may be required, depending on existing traffic conditions in the project area and the potential traffic generation of the proposed project, as determined by the Department's transportation planners. **Neighborhood notification** may also be required as part of the environmental review processes.

SAN FRANCISCO DEPARTMENT OF CITY PLANNING
 CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW

CLASS 3

W. O. S. [Signature]

JUL 12 2011



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Historic Resource Evaluation Response

Environmental Planner: Brett Bollinger
(415) 575-9024
brett.bollinger@sfgov.org

Preservation Planner: Michael Smith
(415) 558-6322
michael.e.smith@sfgov.org

Project Address: 524 Vienna Street
Block/Lot: 6090/004
Case No.: 2010.0074E

Date of Review: June 15, 2011 (Part I)

PART I: HISTORIC RESOURCE EVALUATION

BUILDING(S) AND PROPERTY DESCRIPTION

524 Vienna Street is located on the west of the street between Persia and Russia Avenues in the Excelsior neighborhood. The property is located within a RH-1 (Residential, House, One-Family) Zoning District and a 40 -X Height and Bulk District.

The subject property was constructed in 1912 by A. Flermann, according to Assessor's records. However, archival building permit records indicate that a building permit to construct the building was issued in April 1908 and Spring Valley Water Company records show that an application for water service was granted in May 1908. Based upon this information the building is estimated to have been constructed circa 1908. The subject building is a one story vernacular cottage with a gabled roof. The front of the building is composed of two structural bays that are set back from the street and set back over five feet from the north side property line. Together the bays are 18-feet in width, with one bay housing the elevated and recessed front entry and the other bay housing a pair of double-hung wood windows that are flanked by decorative wood shutters. A striped metal awning shades the windows from the sun. The exterior of the building is finished in wood siding and topped with a gabled roof. The building appears to be in poor condition.

PRE-EXISTING HISTORIC RATING / SURVEY

The subject property is not included on any historic resource surveys or listed on any local, state or national registries. The building is considered a "Category B" property (Properties Requiring Further Consultation and Review) for the purposes of the Planning Department's California Environmental Quality Act (CEQA) review procedures due to its age (constructed circa 1908).

NEIGHBORHOOD CONTEXT AND DESCRIPTION

The immediate neighborhood is defined by single-family dwellings of similar height and scale. The buildings' dates of construction range from 1910 to the present. Architectural styles vary from the Victorian era to the Modern era. Architectural continuity in the neighborhood is mixed with no predominant era or style represented; therefore, the immediate neighborhood does not appear to meet the criteria for listing as an historic district.

It should be noted that the immediate blocks surrounding the site have not been formally surveyed.

CEQA HISTORICAL RESOURCE(S) EVALUATION

Step A: Significance

Under CEQA section 21084.1, a property qualifies as a historic resource if it is "listed in, or determined to be eligible for listing in, the California Register of Historical Resources." Properties that are included in a local register are also presumed to be historical resource for the purpose of CEQA. The fact that a resource is not listed in, or determined to be eligible for listing in, the California Register of Historical Resources or not included in a local register of historical resources, shall not preclude a lead agency from determining whether the resource may qualify as a historical resource under CEQA. (Please note: The Department's determination is made based on the Department's historical files on the property and neighborhood and additional research provided by the project sponsor.)

Based on information in the Planning Department's files and provided by the project sponsor, the subject property is eligible for the California Register of Historical Resources based on the following Criterion(s):

- | | | | |
|--------------------------------------|---|--|--|
| Criterion 1 - Event: | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Unable to determine |
| Criterion 2 - Persons: | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Unable to determine |
| Criterion 3 - Architecture: | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Unable to determine |
| Criterion 4 - Information Potential: | <input type="checkbox"/> Further investigation recommended. | | |

District or Context: Yes, may contribute to a potential district or significant context

If Yes; Period of significance:

Criterion 1: It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

The subject property, constructed circa 1908, represents the post earthquake development of the Excelsior neighborhood, but it cannot be demonstrated that the structure has a specific association with its evolution as required by the guidelines.

The immediate context is predominantly single-family dwellings of similar height and scale. The buildings' dates of construction range from 1905 to the present. Architectural styles vary from the

Victorian era to the Modern era. Architectural continuity in the neighborhood is mixed with no predominant era or style represented; therefore, the immediate neighborhood does not appear to meet the criteria for listing as an historic district.

There were no other events found to be associated with the subject property, therefore, the property does not meet the criteria for listing on the California Register under Criterion 1.

Criterion 2: It is associated with the lives of persons important in our local, regional or national past.

Theodor Bachmann is the first known owner/occupant of the subject property. Neither Mr. Bachmann nor any of the subsequent owners or occupants of the property were found to be significant in our local, regional, or national past. Therefore, the property does not qualify for listing on the California Register under Criterion 2.

Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.

The subject building is an example of a Victorian era vernacular cottage. The building does not appear to be a unique example of this building type and has almost none of the ornamentation that characterized buildings from this period. It is unclear whether ornamentation has been removed from the building but archival Sanborn Maps clearly indicate that an addition was constructed at the rear northwest corner of the building. The building's original designer is unknown though it does not appear to be the work of a master. The property does not appear to meet the criteria to qualify for listing on the California Register under Criterion 3.

Criterion 4: It yields, or may be likely to yield, information important in prehistory or history.

Based upon a review of information in the Departments records, the subject property is not significant under Criterion 4, which is typically associated with archaeological resources. Furthermore, the subject property is not likely significant under Criterion 4, since this significance criteria typically applies to rare construction types when involving the built environment. The subject property is not an example of a rare construction type.

Step B: Integrity

To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register of Historical Resources criteria, but it also must have integrity. Integrity is defined as "the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's period of significance." Historic integrity enables a property to illustrate significant aspects of its past. All seven qualities do not need to be present as long the overall sense of past time and place is evident.

The subject property has retained or lacks integrity from the period of significance noted in Step A:

Location:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Setting:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Association:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Feeling:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Design:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Materials:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks

Workmanship: Retains Lacks

524 Vienna Street is not eligible for the California Register; therefore, an investigation into its integrity was not conducted.

Step C: Character-defining Features

If the subject property has been determined to have significance and retains integrity, please list the character-defining features of the building(s) and/or property. A property must retain the essential physical features that enable it to convey its historic identity in order to avoid significant adverse impacts to the resource. These essential features are those that define both why a property is significant and when it was significant, and without which a property can no longer be identified as being associated with its significance.

CEQA HISTORIC RESOURCE DETERMINATION

No Historical Resource Present

If there is no historical resource present, please have the Senior Preservation planner review, sign, and process for the Environmental Division.

Property is not a Historical Resource but is located within a California Register-eligible historic district

If there is a California Register-eligible historic district present, please fill out the *Notice of Additional Environmental Evaluation Review* and have the project sponsor file the **Part II: Project Evaluation** application fee directly to the Environmental Division.

Historical Resource Present

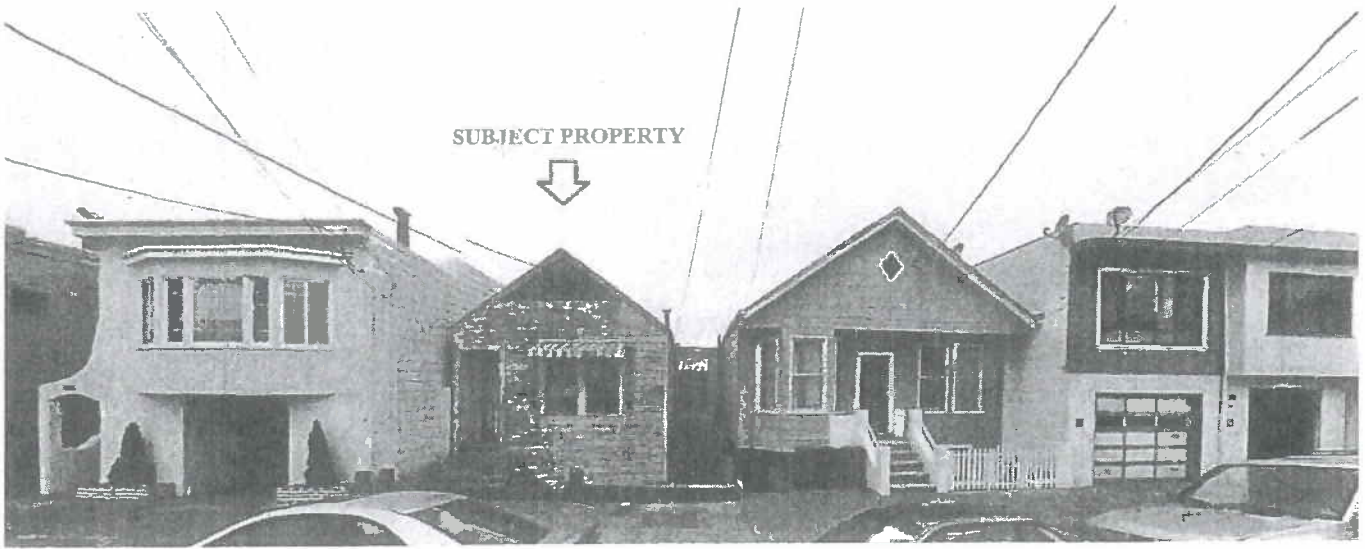
If a historical resource is present, please fill out the *Notice of Additional Environmental Evaluation Review* and have the project sponsor file the **Part II: Project Evaluation** application fee directly to the Environmental Division.

PART I: SENIOR PRESERVATION PLANNER REVIEW

Signature: 
Tina Tam, Senior Preservation Planner

Date: 7/1/2011

SUBJECT PROPERTY: WESTSIDE OF VIENNA STREET



WEST SIDE VIENNA STREET (SAME SIDE BUILDINGS):



SANTOS & URRUTIA

STRUCTURAL
ENGINEERS



Planner: Thomas Wang
Application: 2010/1007/2487
Hearing Date: February 21, 2013
Project: 524 Vienna Street

February 5, 2013

Dear President Fong and fellow Commissioners,

The project before you is a proposal to demolish the existing unsound single family residence and construct a new single family residence at 524 Vienna St.

Current Condition

The current building is a small one bedroom single family residence. The property is currently underutilized as it can only house a small family. We believe that an upgrade is needed to afford the opportunity to use this property to its full potential.

According to the soundness report the cost of repairs is over the 50% threshold compared to the cost to rebuild this single family home. This includes major repairs such as replacement of the entire house foundation perimeter, re-leveling of the property, and fumigation of pests such as powder post beetle. While most of the repairs are possible the fumigation to rid the property of pest is not, due to its proximity to adjacent properties. It appears to be more efficient to demolish and replace the building rather than go through extensive repairs.

Proposal

We are proposing to replace the building with a new three-story single family residence. This new residence will have 5 bedrooms, 5 bathrooms, as well as two-car tandem off-street parking. The gross square footage of this project will be 3,276 square feet. It will also be built to meet current seismic and life-safety standards. The design of the building will reflect many of the design features that appear throughout the neighborhood. The goal is to bring this property up to the standards of the neighboring properties

Summary

We are confident that based on the merits of this case, supported by the fact that the existing property is unsound, you will share our conclusion and support our client's desire to rebuild this property.

Thank you for your time and consideration.

Sincerely,
Rodrigo Santos, S.E.
Santos & Urrutia Structural Engineers, Inc.
2451 Harrison St, San Francisco
Phone: 415-642-7722

CASE NUMBER:
For Staff Use only

APPLICATION FOR Dwelling Unit Removal Merger, Conversion, or Demolition

1. Owner/Applicant Information

PROPERTY OWNER'S NAME:		ALFRED LEE
PROPERTY OWNER'S ADDRESS:	TELEPHONE:	(415) 240-6198
524 VIENNA ST., SAN FRANCISCO, CA 94112	EMAIL:	goodviewlumber@yahoo.com

APPLICANT'S NAME:		RODRIGO SANTOS	Same as Above <input type="checkbox"/>
APPLICANT'S ADDRESS:	TELEPHONE:	(415) 642-7722	
2451 HARRISON ST., SAN FRANCISCO, CA 94110	EMAIL:	rsantos@santosurrutia.com	

CONTACT FOR PROJECT INFORMATION:		RODRIGO SANTOS	Same as Above <input type="checkbox"/>
ADDRESS:	TELEPHONE:	(415) 642-7722	
2451 HARRISON ST., SAN FRANCISCO, CA 94110	EMAIL:	rsantos@santosurrutia.com	

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR):			Same as Above <input type="checkbox"/>
ADDRESS:	TELEPHONE:	()	
	EMAIL:		

2. Location and Classification

STREET ADDRESS OF PROJECT:		524 VIENNA ST.		ZIP CODE:	94112
CROSS STREETS:					
PERSIA ST & RUSSIA ST					
ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:	
6090 / 004	25'X100'	2,500	RH-1	40'-X	

	PROJECT INFORMATION	EXISTING	PROPOSED	NET CHANGE
1	Total number of units	1	1	0
2	Total number of parking spaces	0	1	+1
3	Total gross habitable square footage	505	3,856	+3,351
4	Total number of bedrooms	1	5	+4
5	Date of property purchase	2010		
6	Total number of rental units	0	0	0
7	Number of bedrooms rented	0	0	0
8	Number of units subject to rent control	0	0	0
9	Number of bedrooms subject to rent control	0	0	0
10	Number of units currently vacant	0	0	0
11	Was the building subject to the Ellis Act within the last decade?	NO		
12	Number of owner-occupied units	1	1	0

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

2/12/2013

Print name, and indicate whether owner, or authorized agent:

RODRIGO SANTOS

Owner / Authorized Agent (circle one)

Loss of Dwelling Units Through **Demolition**

(FORM A - COMPLETE IF APPLICABLE)

Pursuant to Planning Code Section 317(d), the demolition of residential dwellings not otherwise subject to a Conditional Use Authorization shall be either subject to a Mandatory Discretionary Review hearing or will qualify for administrative approval. Administrative approval only applies to (1) single-family dwellings in RH-1 Districts proposed for Demolition that are not affordable or financially accessible housing (valued by a credible appraisal within the past six months to be greater than 80% of combined land and structure value of single-family homes in San Francisco); or (2) residential buildings of two units or fewer that are found to be unsound housing. Please see website under Publications for Loss of Dwelling Units Numerical Values.

The Planning Commission will consider the following criteria in the review of applications to demolish Residential Buildings. Please fill out answers to the criteria below:

Existing Value and Soundness

1. Whether the Project Sponsor has demonstrated that the value of the existing land and structure of a single-family dwelling is not affordable or financially accessible housing (above the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months);

NO, WE HAVE NOT DEMONSTRATED THAT IT IS NOT AFFORDABLE, THE EXISTING BUILDING IS UNDER THE 80% AVERAGE THRESHOLD. THE PROPOSED WILL ALSO BE UNDER AS IS THE ADJACENT PROPERTIES.

2. Whether the housing has been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings).

THE COST OF REPAIR IS GREATER THAN 50% OF THE COST TO REBUILD THUS IT IS DEEMED UNSOUND.

3. Whether the property is free of a history of serious, continuing code violations;

THIS PROJECT IS FREE OF CODE VIOLATIONS.

Existing Building (continued)

4. Whether the housing has been maintained in a decent, safe, and sanitary condition;

THE EXISTING BUILDING HAS BEEN POORLY MAINTAINED AND HAS BEEN DEEMED UNSOUND. THE REQUIRED REPAIRS INCLUDE REPLACEMENT/ADDITION/REINFORCEMENT OF FOUNDATION (FOOTINGS), LEVELING BUILDING AND THE FUMIGATION OF FUNGUS AND POWDER POST BEETLE.

5. Whether the property is a *historical resource* under CEQA;

THIS PROPERTY IS NOT CONSIDERED A HISTORICAL RESOURCE.

6. If the property is a historical resource, whether the removal of the resource will have a substantial adverse impact under CEQA;

THIS PROPERTY IS NOT CONSIDERED A HISTORICAL RESOURCE.

Rental Protection

7. Whether the Project converts rental housing to other forms of tenure or occupancy;

NO, THE PROJECT DOES NOT CONVERT RENTAL HOUSING TO OTHER FORMS OF OCCUPANCY.

8. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

THE PROJECT DOES NOT REMOVE RENTAL UNITS SUBJECT TO THE RENT STABILIZATION AND ARBITRATION ORDINANCE.

Priority Policies

9. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

THIS PROJECT WILL BE REPLACING AN EXISTING SINGLE FAMILY RESIDENCE WITH A NEW SINGLE FAMILY RESIDENCE THUS WILL PRESERVE THE CULTURAL AND ECONOMIC NEIGHBORHOOD DIVERSITY.

10. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

THIS PROJECT CONSERVES NEIGHBORHOOD CHARACTER BY IMPLEMENTING MANY CHARACTERISTIC FEATURES OF NEIGHBORING PROPERTIES.

11. Whether the Project protects the relative affordability of existing housing;

THIS PROJECT CONFORMS WITH THE RELATIVE AFFORDABILITY OF THE NEIGHBORHOOD.

12. Whether the Project increases the number of permanently affordable units as governed by Section 415;

THIS PROJECT WILL NEITHER INCREASE NOR DECREASE THE NUMBER OF PERMANENTLY AFFORDABLE UNITS.

Replacement Structure

13. Whether the Project located in-fill housing on appropriate sites in established neighborhoods;

THE PROJECT IS AN IN-FILL PROJECT IN AN ESTABLISHED NEIGHBORHOOD WHICH NEEDS REPLACEMENT TO BRING THE PROPERTY UP TO THE STANDARD OF ADJACENT PROPERTIES.

Replacement Structure

14. Whether the Project creates quality, new family housing;

THIS PROJECT CREATES A QUALITY NEW FAMILY RESIDENCE WITH MORE BEDROOMS. IT WILL INCLUDE A SEISMIC UPGRADE WHICH WILL MAKE THIS PROPERTY MORE SAFE AS WELL.

15. Whether the Project creates new supportive housing;

THIS PROJECT WILL NOT BE CREATING NEW SUPPORTIVE HOUSING.

16. Whether the Project promotes construction of well-designed housing to enhance existing neighborhood character;

THIS PROJECT IS SITE-SENSITIVE AND WELL-DESIGNED THUS ENHANCING NEIGHBORHOOD CHARACTER.

17. Whether the Project increases the number of on-site dwelling units;

WHILE THE PROJECT IS NOT INCREASING THE NUMBER OF DWELLING UNITS, IT WILL BE FOR A LARGER FAMILY THUS INCREASING THE NUMBER OF OCCUPANTS ON THE PROPERTY.

18. Whether the Project increases the number of on-site bedrooms.

THE PROJECT INCREASES THE NUMBER OF ON-SITE BEDROOM FROM 1 TO 5 BEDROOMS.

Priority General Plan Policies – Planning Code Section 101.1

(APPLICABLE TO ALL PROJECTS SUBJECT TO THIS APPLICATION)

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed alterations and demolitions are consistent with eight priority policies set forth in Section 101.1 of the Planning Code. These eight policies are listed below. Please state how the Project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. If a given policy does not apply to your project, explain why it is not applicable.

Please respond to each policy; if it's not applicable explain why:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

THERE WILL BE NO DIRECT EFFECT TO ANY NEIGHBORHOOD SERVING RETAIL USE.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

MANY CHARACTERISTIC ARCHITECTURAL FEATURES AND MATERIALS OF NEIGHBORING PROPERTIES WILL BE IMPLEMENTED ON THIS PROJECT THUS PRESERVING THE CULTURAL AND ECONOMIC DIVERSITY OF THE NEIGHBORHOOD.

3. That the City's supply of affordable housing be preserved and enhanced;

THIS PROJECT WILL REPLACE AN EXISTING MARKET-RATE SINGLE-FAMILY RESIDENCE WITH A NEW MARKET-RATE SINGLE-FAMILY RESIDENCE RESULTING IN NO NEGATIVE IMPACT TOWARDS AFFORDABLE HOUSING.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

THIS PROPERTY WILL NOT GREATLY IMPACT COMMUTER TRAFFIC. THE PROPOSAL ADDS AN INDEPENDENT PARKING SPACE WITH THE POSSIBILITY OF 2 TANDEM PARKING SPACES FOR A SINGLE FAMILY. THIS SHOULD MITIGATE THE IMPACT OF THIS PROPERTY ON NEIGHBORHOOD STREET PARKING.

Please respond to each policy; if it's not applicable explain why:

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

THIS PROJECT HAS NO DIRECT IMPACT ON THE INDUSTRIAL AND SERVICE SECTORS.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

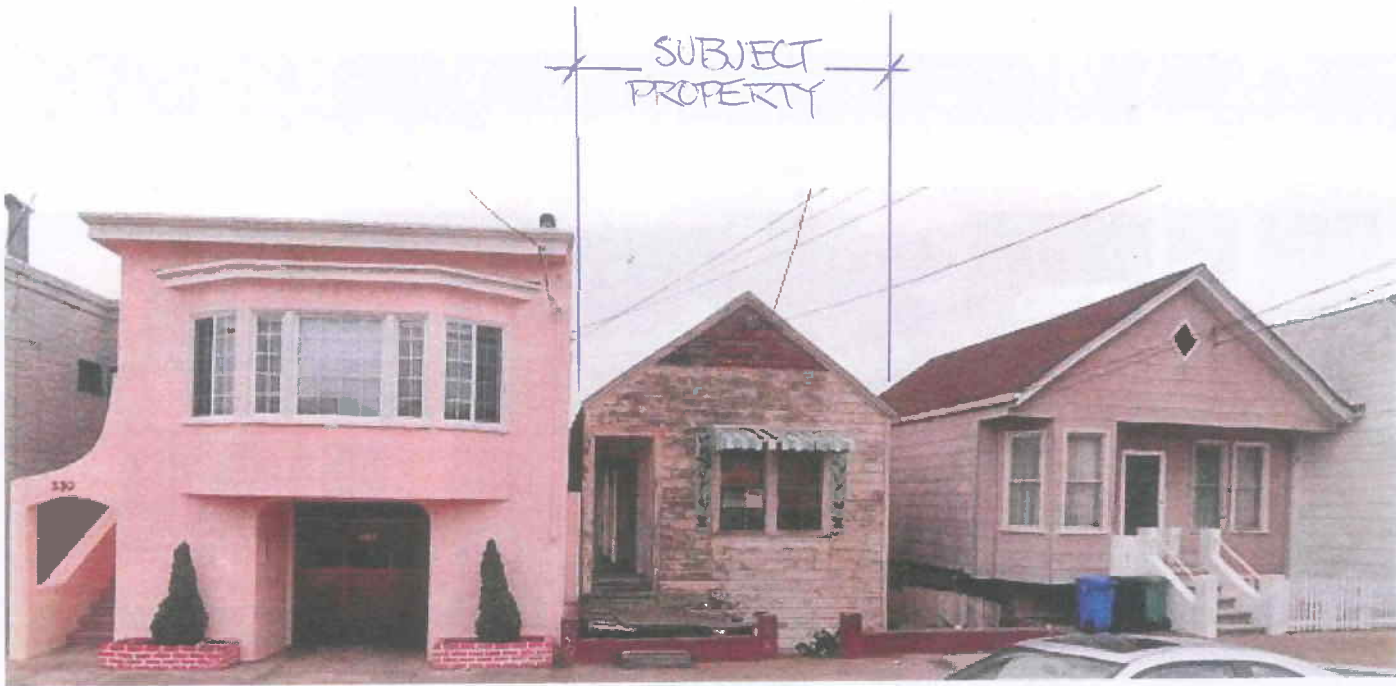
THE PROPOSAL INCLUDES A FULL SEISMIC UPGRADE TO BETTER PRESERVE AGAINST INJURY OR LOSS OF LIFE IN THE EVENT OF AN EARTHQUAKE.

7. That landmarks and historic buildings be preserved; and

THIS PROJECT HAS NO IMPACT ON ANY LANDMARKS AND HISTORIC BUILDINGS.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

THIS PROJECT WILL HAVE NO EFFECT ON PARKS AND OPEN SPACES IN THE NEIGHBORHOOD.



FACADE OF (E) BUILDING
524 VIENNA ST.

SUBJECT
PROPERTY



PROPOSED
FRONT RENDERING
524 VIENNA ST.

524 VIENNA ST.
ISOMETRIC RENDERING
PROPOSED



SUBJECT
PROPERTY

Tommy Lee Consulting

ENGINEER
 259 BROAD STREET
 SAN FRANCISCO CA.
 (415) 793-2722

REVISIONS

NO.	DESCRIPTION	DATE

LOCATION

524 Vienna
 San Francisco, Ca

DRAWN

R.YU

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R.YU



SCALE

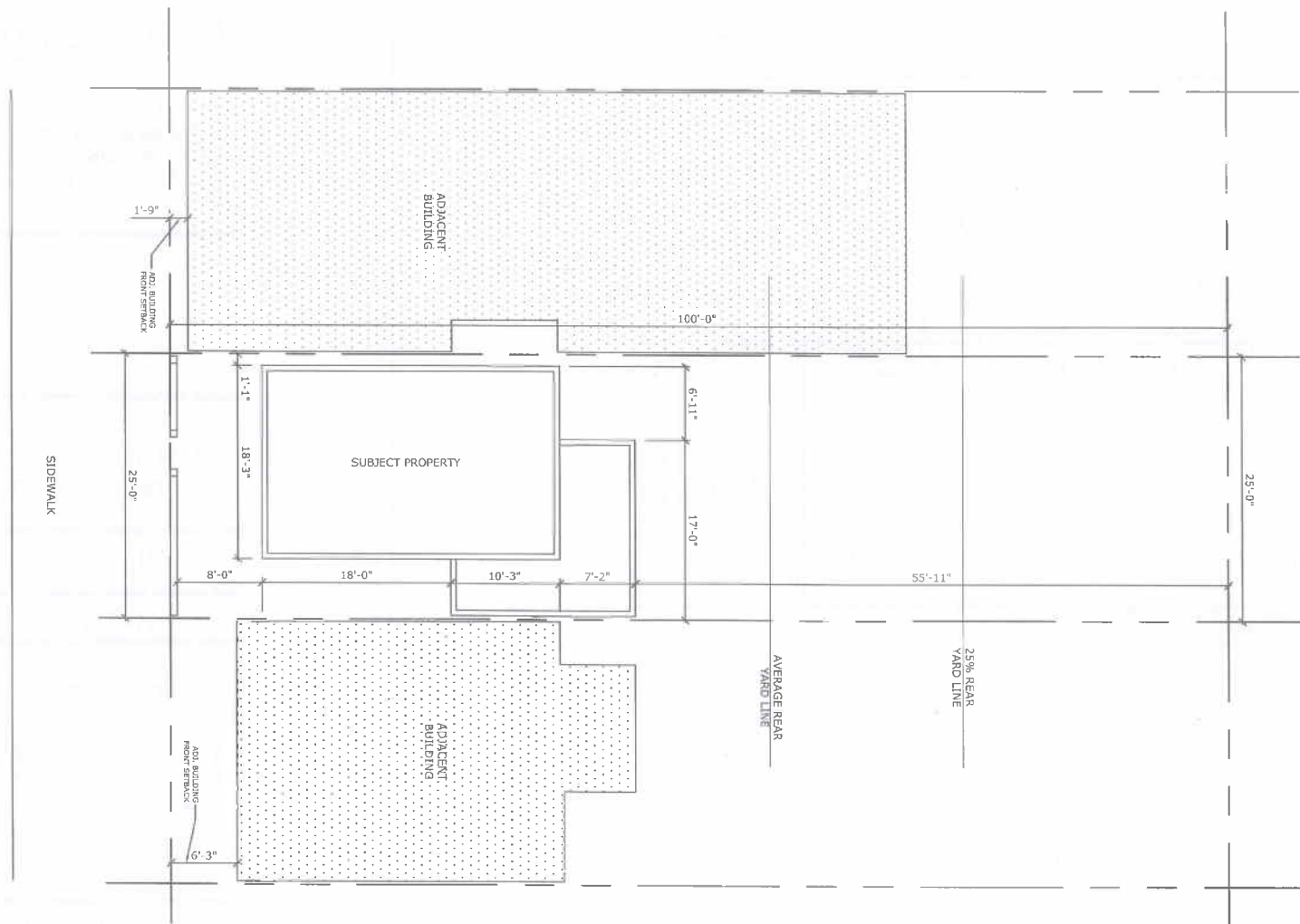
AS NOTED

DATE

NOV, 2011

SHEET

A1



Existing Site Plan

3/32" = 1' - 0"

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LOCATION

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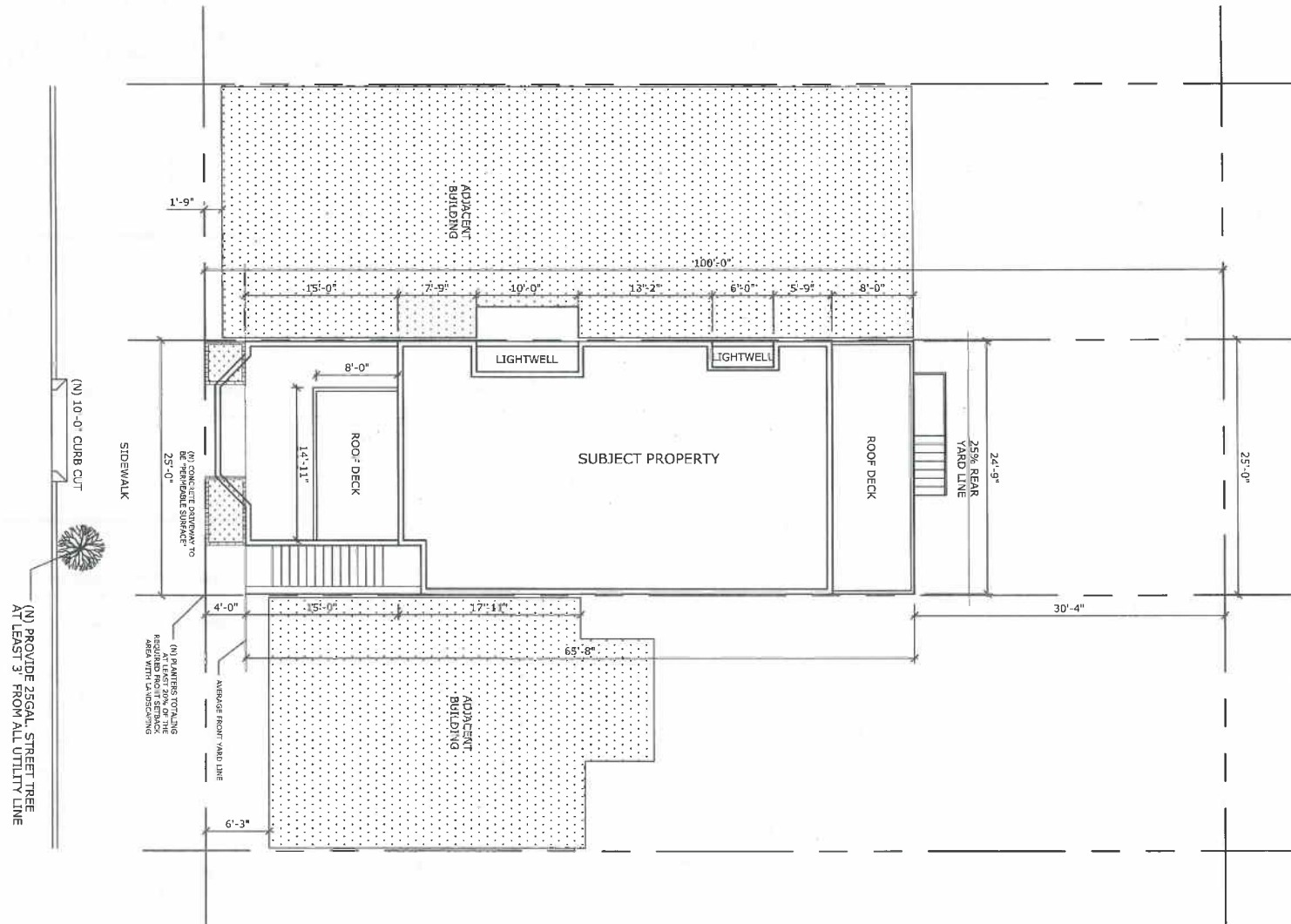
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DATE

NOV, 2011

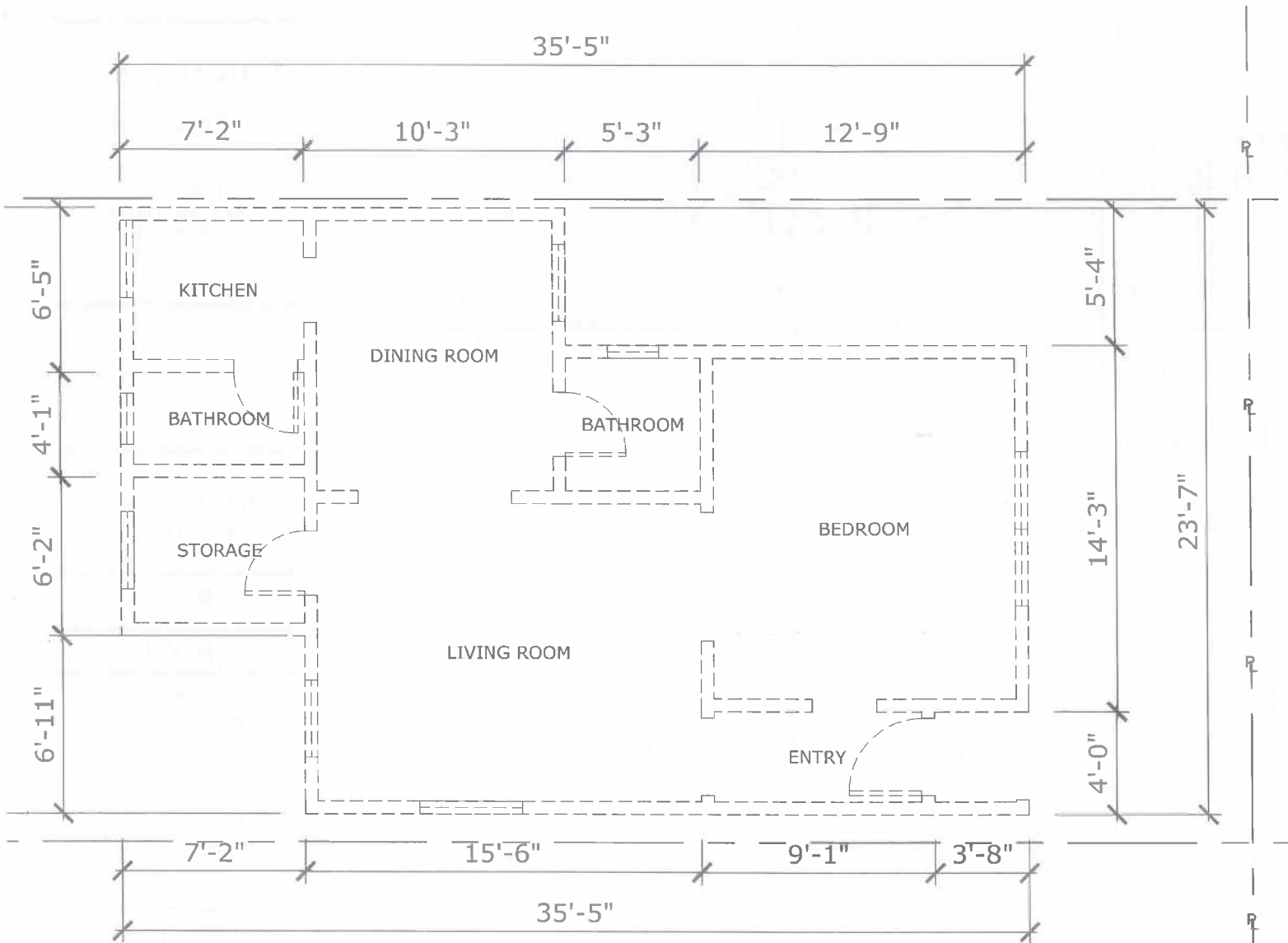
SHEET

A2



Proposed Site Plan

3/32" = 1'-0"



EXISTING FLOOR PLAN / DEMO PLAN

1/4" = 1'-0"

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 SAN FRANCISCO CA.
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SCALE

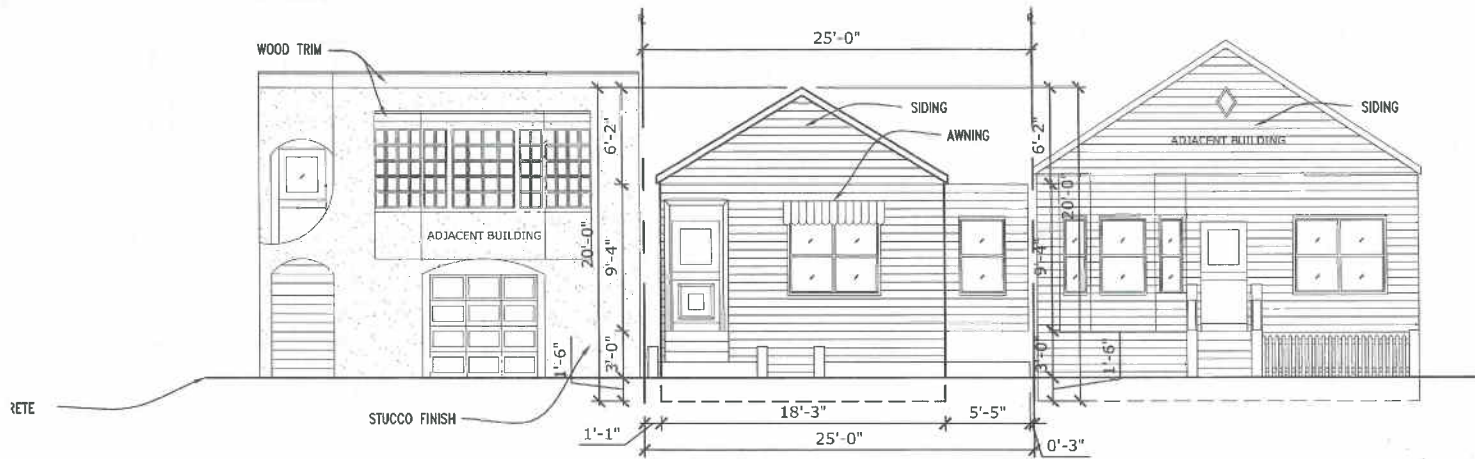
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DATE

NOV, 2011

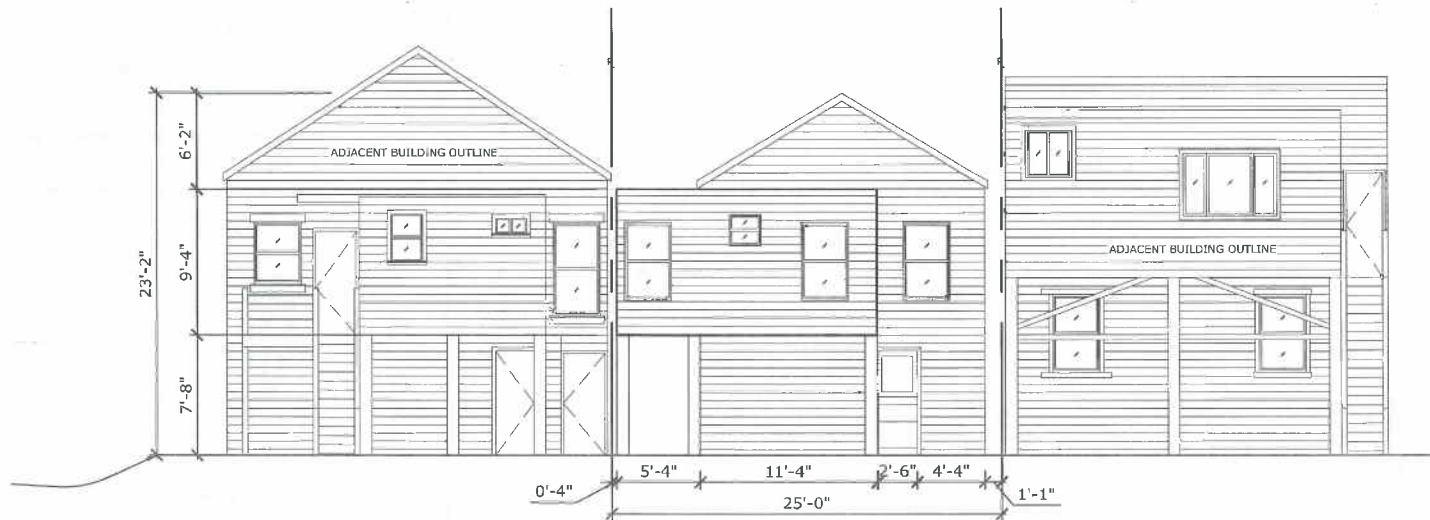
SHEET

A3



Existing Front Elevation

1/8" = 1' - 0"



Existing Rear Elevation

1/8" = 1' - 0"

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SAN FRANCISCO CA.
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SCALE

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DATE

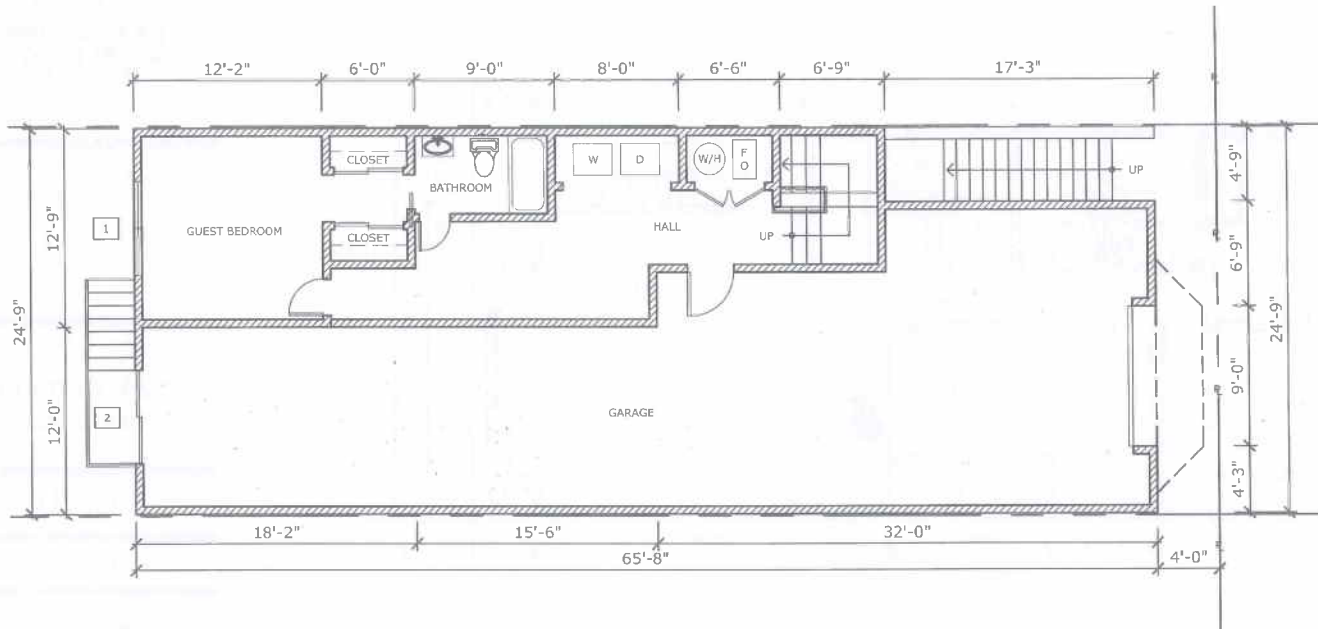
NOV, 2011

SHEET

A4

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Proposed First Floor Plan

1/8" = 1'-0"

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SCALE

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A5

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LOCATION

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SCALE

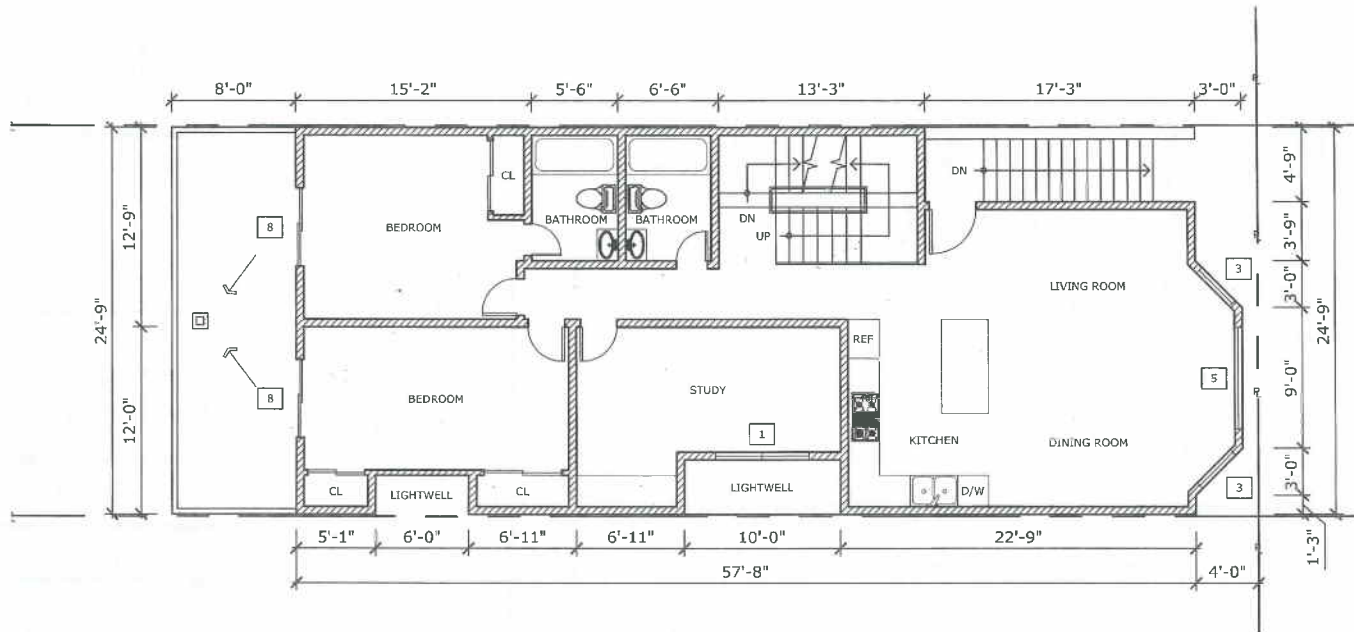
AS NOTED

DATE

NOV, 2011

SHEET

A6



Proposed Second Floor Plan

1/8" = 1'-0"

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R.YU



SCALE

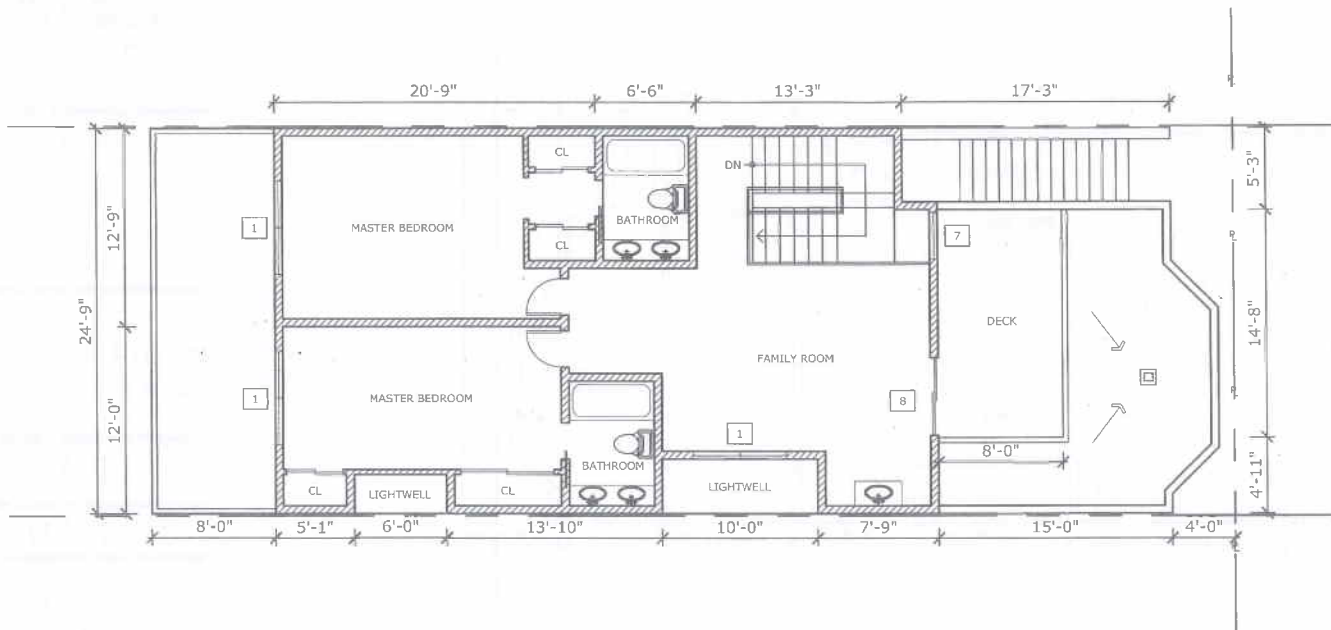
AS NOTED

DATE

NOV, 2011

SHEET

A7



Proposed Third Floor Plan

1/8" = 1'-0"

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SAN FRANCISCO CA.
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LOCATION

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SCALE

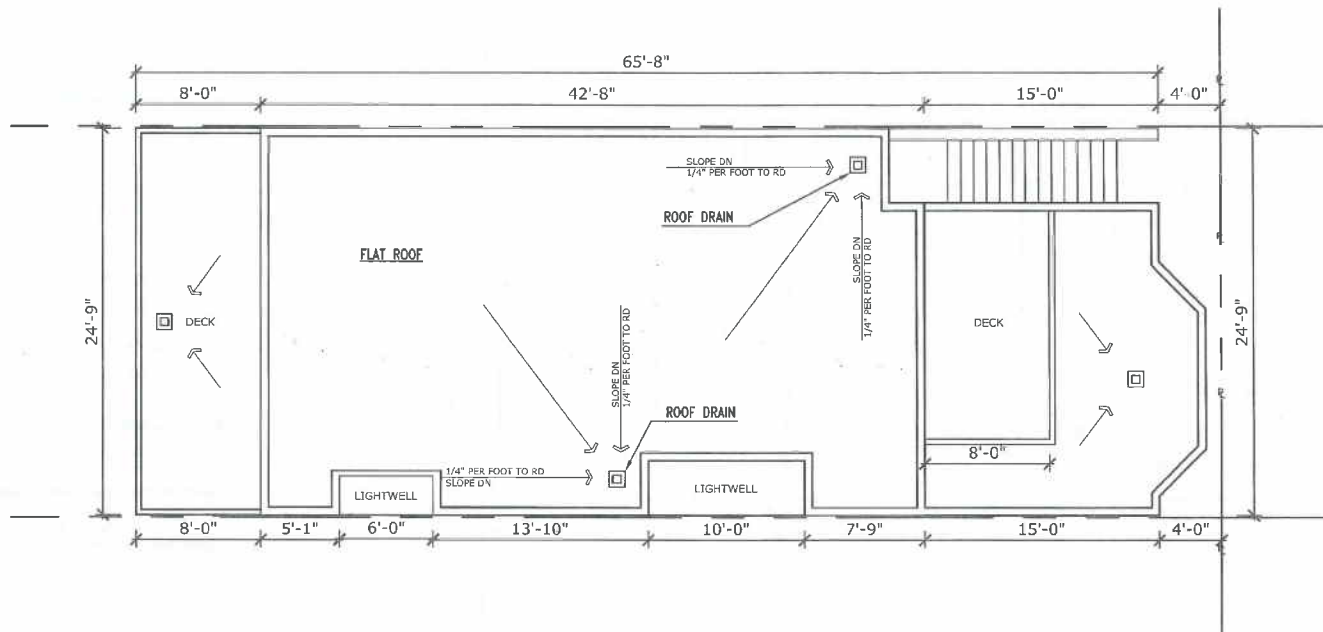
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DATE

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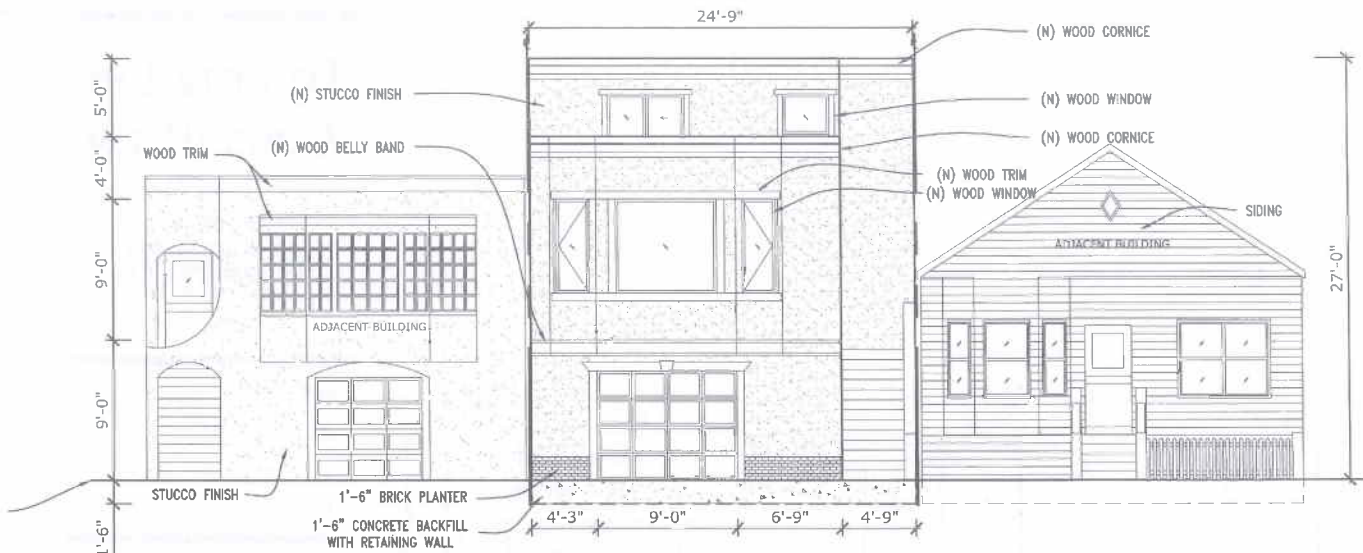
SHEET

A8



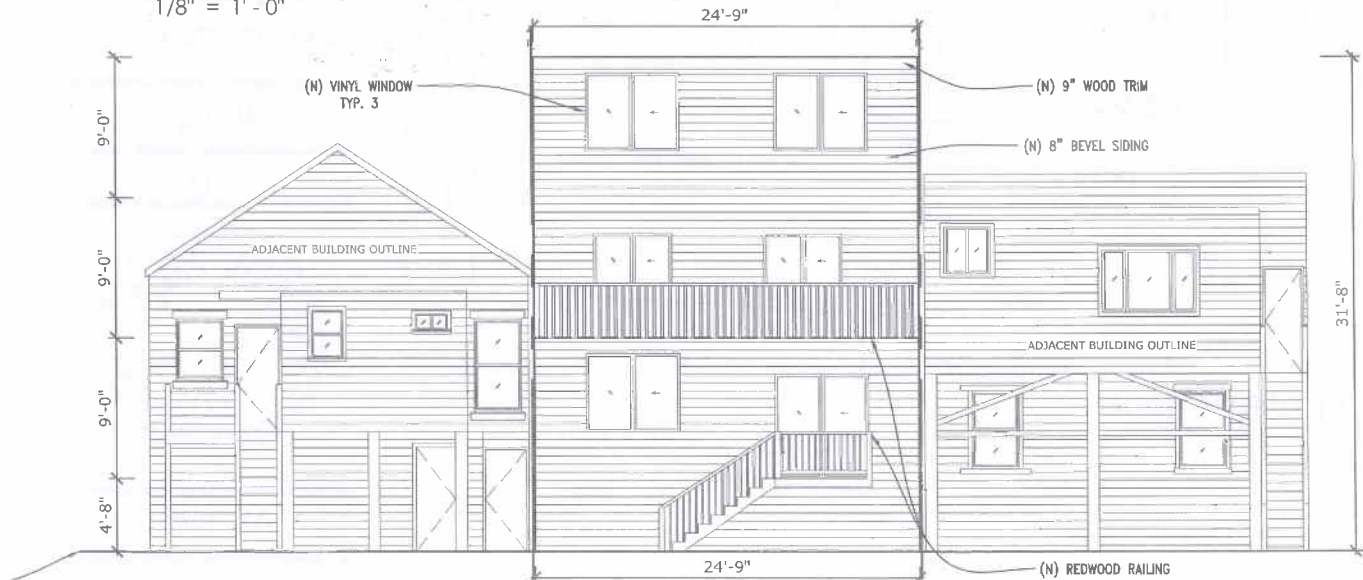
Proposed Roof Plan

1/8" = 1' - 0"



Proposed Front Elevation

1/8" = 1' - 0"



Proposed Rear Elevation

1/8" = 1' - 0"

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259 BROAD STREET
SAN FRANCISCO CA.
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REVISIONS

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SCALE

AS NOTED

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SHEET

A9

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SAN FRANCISCO CA.
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REVISIONS

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LOCATION

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San Francisco, Ca

DRAWN

R.YU

CHECKED

R.YU



SCALE

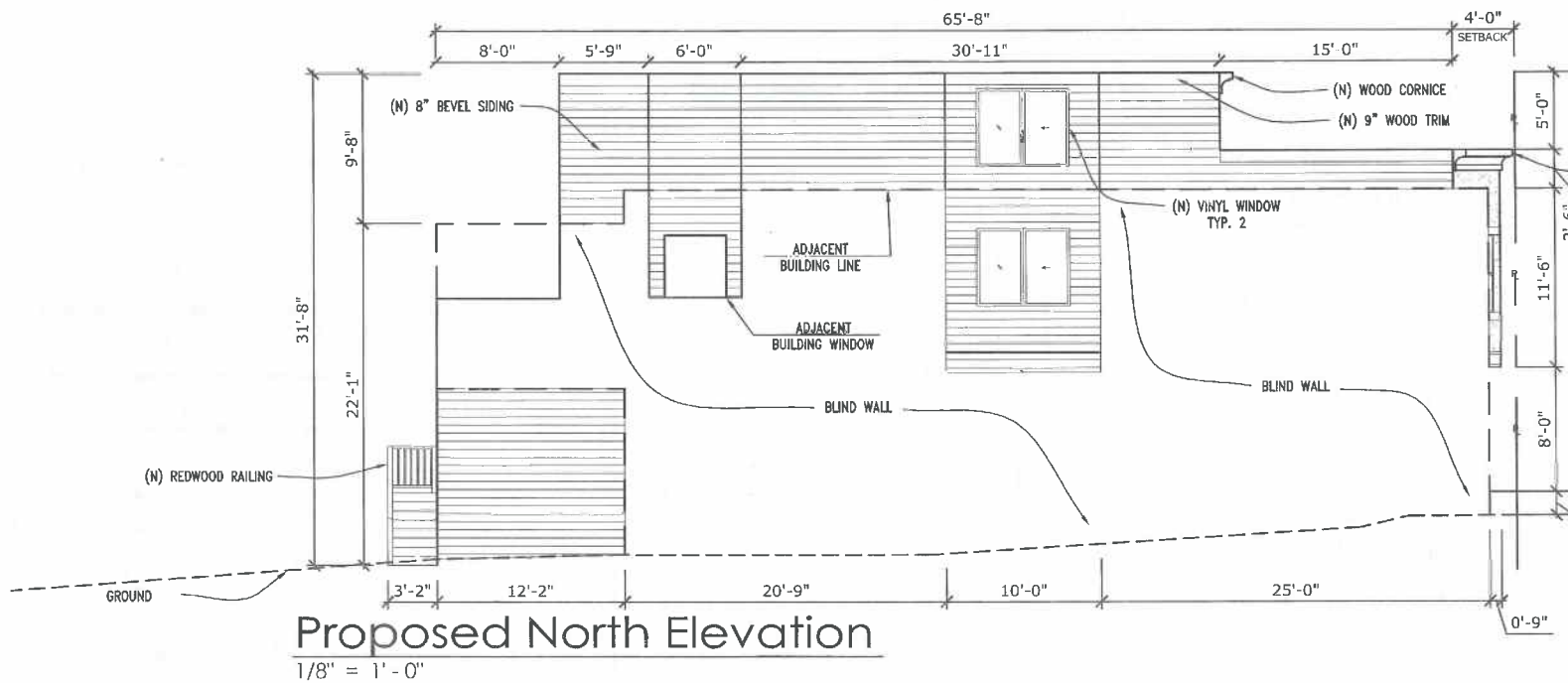
AS NOTED

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SHEET

A10



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REVISIONS

NO.	DESCRIPTION	DATE

LOCATION

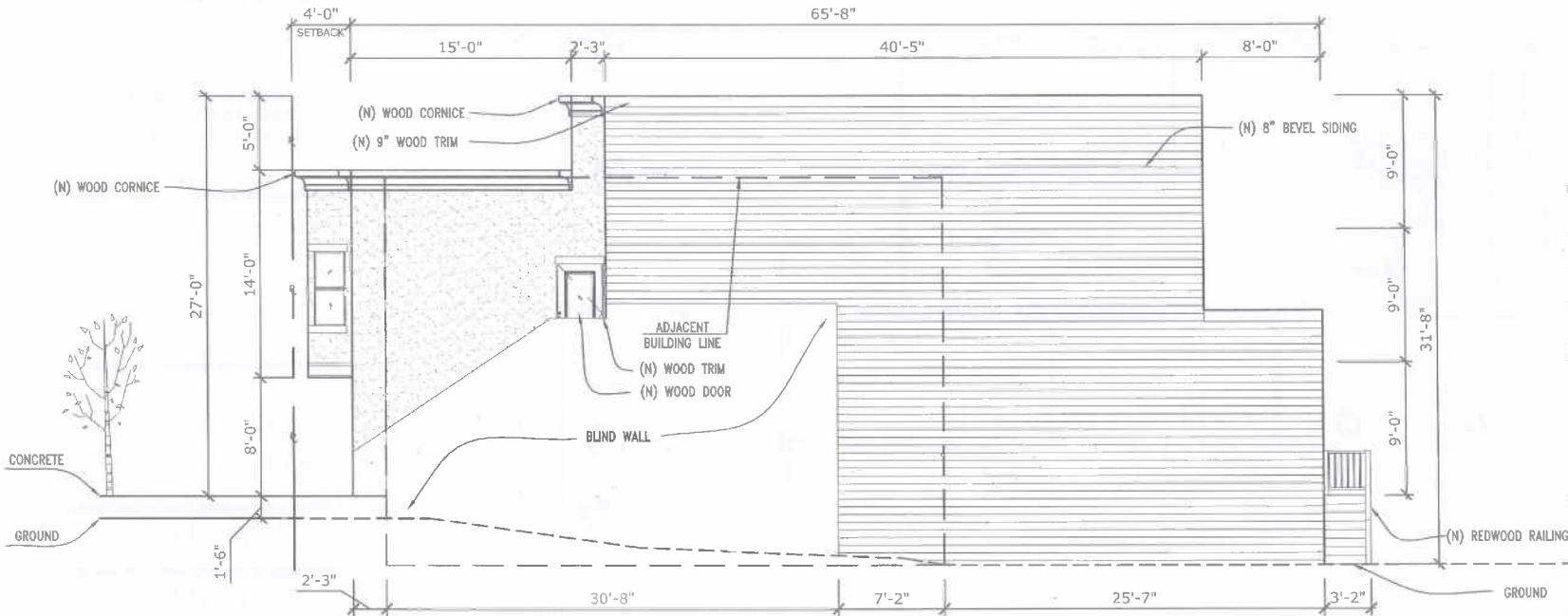
524 Vienna
San Francisco, Ca

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R.YU



Proposed South Elevation

1/8" = 1'-0"



SCALE

AS NOTED

DATE

NOV, 2011

SHEET

A11

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REVISIONS

NO.	DESCRIPTION	DATE

LOCATION

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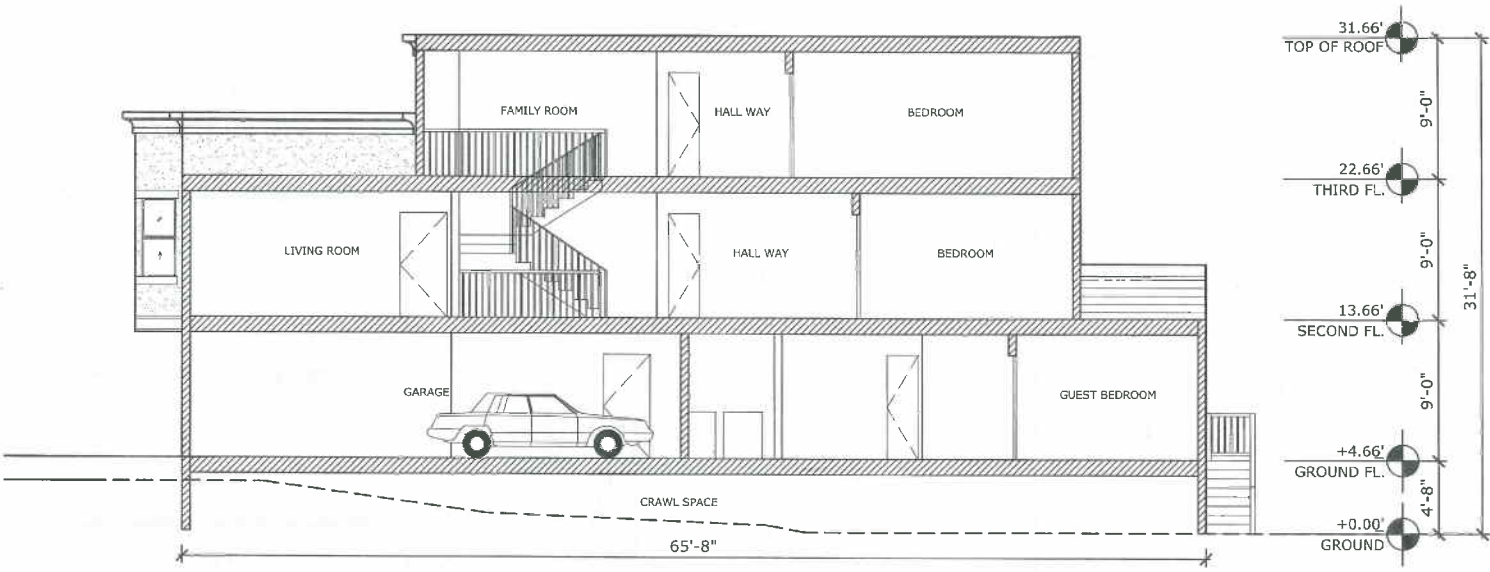
CHECKED **R.YU**



SCALE **AS NOTED**

DATE **NOV, 2011**

SHEET **A12**



Proposed Section

1/8" = 1'-0"

SOUNDNESS REPORT

524 Vienna

San Francisco, CA 94112

Prepared By:

**Patrick Buscovich & Associates
Structural Engineers, Inc.**
235 Montgomery Street, 823
San Francisco, CA 94104

Copyright 2010

Job Number: 10.013

Date: February 12, 2013

Disclaimer:

This report is a soundness study on the subject structure. The Patrick Buscovich has prepared this report under generally recognized engineering principles. The preparer has no interest in this property or any other property of the owner nor is the preparer of this report doing any other work on this property or any other property owned by this owner.

Basis of Soundness Report

This soundness evaluation will be based upon the cost to repair and/or remediate applicable soundness deficiencies using the latest DCP soundness standard. Please note that dilapidation due to vacancy or neglect cannot be counted towards the upgrade cost (“*Upgrade Cost*” is an estimate of the cost to make the existing housing safe and habitable, that is, the cost to bring a sub-standard dwelling into compliance with the minimum standards of the current San Francisco Housing Code and with the San Francisco Building Code in effect at the time of its construction with certain retroactive life-safety-exceptions.”)

These construction costs are based upon the house being vacant, which it is currently. The cost estimates are prepared in conjunction with a licensed contractor (Wong Construction) and license termite contractor (Markoff Structural Pest) and represent current construction costs. Not included in these costs are architectural and engineering fees. Permit fees are included as well as an 18% profit/overhead (P/O) mark up (except for termite cost which already includes the 18% P/O). This soundness cost is then compared to a replacement cost. The replacement cost is based upon the legal existing as measured square footage multiplied by DCP approved cost’s per square foot. Not included in this replacement cost is the demolition cost of the existing structure.

It is important to note that the soundness cost do not include the following:

1. Deterioration due to intentional, willful negligence.
2. Maintenance.
3. Remodeling not associated with required work.
4. Upgrade not associated with required work.

The official DCP Soundness Matrix Item numbering system has been used in this report. The complete DCP Soundness Report Template and Matrix is in Appendix A.

Planning Information

The lot has an area of 2495 ft². The lot dimensions are 25 feet wide by 100 feet long (2500 ft² ?). The zoning is RH-1, 40-x Height. The DCP property information report is in Appendix C. Per the DCP property information report, the assessor lists this building as a single family dwelling with a habitable floor of 625 ft². There are two unpermitted addition to this small house.

Building History

This wood frame building was built in 1908 as a one-story “over basement”, single-family house. The 1908 permit (attached, Appendix D) lists the floor plan dimensions as 18 feet wide by 28 feet deep (for a floor area of 504 ft² $18 \times 28 = 504$ S.F). The “basement” level is non-habitable, “storage rooms” with a low ceiling height of +/- 5 feet. The assessor’s currently list the total floor area of the house as 625 square feet (ft²). The field measured occupied area of the house is 504 ft² at the 1st floor plus a 78 ft² unpermitted kitchen plus a 84 ft² unpermitted bathroom for a total of 666 ft² and a 504 ft² basement. The total legal habitable floor area of 504 ft². 504 ft² at \$240/ ft² plus 504 ft² at \$110/ ft² measured storage gives the total replacement cost is \$121,200 + \$55,500 = \$176,800

Building Description

The building is a one story “over basement”, wood framed, single family house. The “basement level” has low ceiling and is limited to storage. The first floor is composed of a main room (18 feet x 28) feet and an unpermitted kitchen and an unpermitted bathroom. The foundations are unreinforced concrete footings, original to the house. Portion of these footings show signs of deterioration. In addition, the building has settled about 4½ inches, front to back, due to the insufficient original foundation design. 4½” over 28 feet is 1.6 inches in 10 feet. Industry standard floor slope is ½” acceptable to 1” inch maximum over 10 feet. 1.6 inches in 10 feet makes the house not habitable because of this insufficient design resulting in significant settlement, the entire house’s foundation requires replacement. The interior of the house is in a state of habitability. There is also major termite work due to powder post beetle infestation. The rooms where the kitchen and bath are located are unpermitted additions. For this report these unpermitted rooms will be ignored even though the rest of the house is a single room.

Summary of Deficiencies

DCP Matrix #8 –Foundation

The entire perimeter of the house's foundation needs to be replaced due to the significant building settlement of 4½ inches, front to back. There is 92 linear feet of perimeter (18'+25'+18'+25' – 4x corners) foundation. As part of the foundation work, the rear of the building has to be lifted 4½ inches to level out the house. The interior pier footings also needs to be replaces, as part of this foundation releveling work. Differential releveling of the house will crack all interior finishes, the exterior wall, the roof membrane and break/ damage all Mechanical, Electrical and Plumbing (MEP) systems. Removing plaster and replacing with gypboard is about \$20/SF. For a 504 SF house this is \$10,000. To lift and relevel the house is include in the shoring cost. To replace the MEP is over \$20,000. I have not included interior and exterior finished work and MEP costs to avoid the question of how much of these costs should be included in a soundness analyses.

DCP Matrix #17 –Structural Pest

The Markoff Structural Pest cost attributable to Matrix #17 soundness is \$100,000 out of total cost of the Markoff work of \$200,000, (Attached Appendix E). The other portion of the Markoff cost estimate is foundation work which is already included in DCP Martix #8 \$55,700 plus interior and exterior finishes and MEP\$44,300, but is not counted.

Powder post beetle infestation noted throughout the substructure framing, including, but not limited to, the rear enclosed porch overhang, extending up into inaccessible wall areas. Perimeter foundations are deteriorated, unreinforced, non-existent in many cases and non-supportive.

RECOMMENDATION:

In our opinion, the majority of this structure must be completely reconstructed, including foundations, walls, floors, etc. Complete fumigation for control of powder post beetle infestation cannot be performed due to the proximity of neighboring structures. Therefore, all infested materials that may extend into inaccessible areas must be removed and reframed.

New Construction Cost

Based upon as-built condition, the legal area of the house is 504 square feet plus 162 ft² of unpermitted additions and 504 ft² storage (ceiling height less than 6'-0"). The unpermitted additions are where the kitchen and bathroom is located. Based upon DCP cost of \$240/ ft² to rebuild legal habitable floor, the rebuild cost is:

$$(504/\text{ft}^2 \times \$240/\text{ft}^2) + (505 \text{ ft}^2 \times \$110/\text{ft}^2) = \$120,960 + \$55,440 = \$176,400.$$

Cost Evaluation

Cost to repair	\$155,700	=	+88% > 50% un Sound Building
Cost to rebuild	\$176,400		

Conclusion

Based upon Department of City Planning Guidelines and Engineering Principle's, the building is unsound.

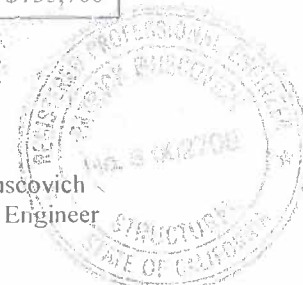
The follow items will require work:

Cost Breakdown

<u>DCP Matrix Item #</u>	<u>Description</u>	<u>Cost</u>	<u>Mark-up 18%</u>	<u>Mark-up Amount</u>
1	Building Permit	\$3,000		
8	Replace foundation 92 L.F. @\$300/LF	\$27,600	18%	\$5,000
8	Lift and Shoring building for foundation work	\$12,000	18%	\$2,200
8	Replace Interior Footings	\$5,000	18%	\$900
8	Interior and exterior finishes & Mechanical Electrical and Plumbing work	Not Counted		
#16	Power post beetle infestation and fungus (50% of \$200,000)	\$100,000	Ø%	
		Subtotal	\$147,600	
		18% Markup	+\$8,100	←\$8,100
		Total	+\$155,700	

Sincerely,

Patrick Buscovich
Structural Engineer



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List Attachment:

- Floor Plans
- DBI
- Photographs
- DCP
- TRA Report

SOUNDNESS REPORT

524 VIENNA STREET
SAN FRANCISCO, CA

PROJECT INFORMATION

ADDRESS: 524 VIENNA STREET
SAN FRANCISCO, CA
6090-004

BLOCK/LOT: RHI

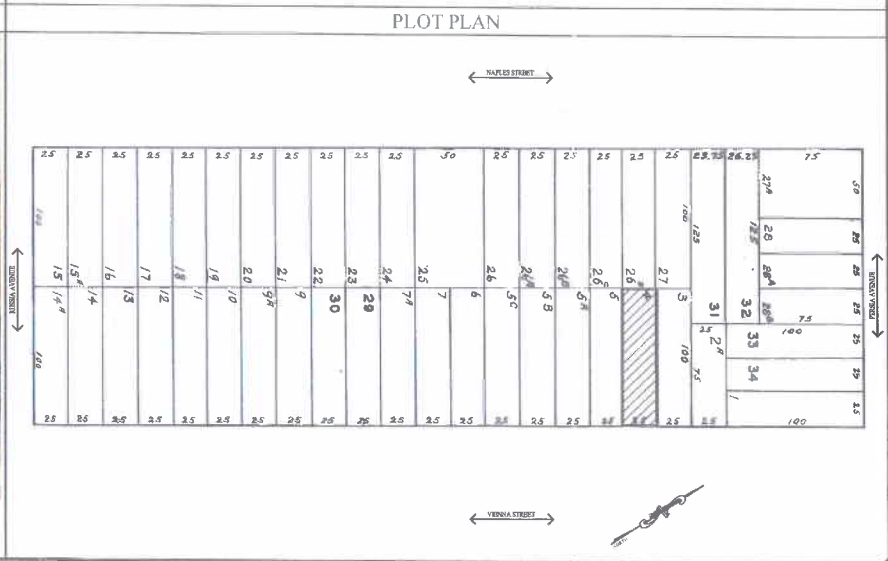
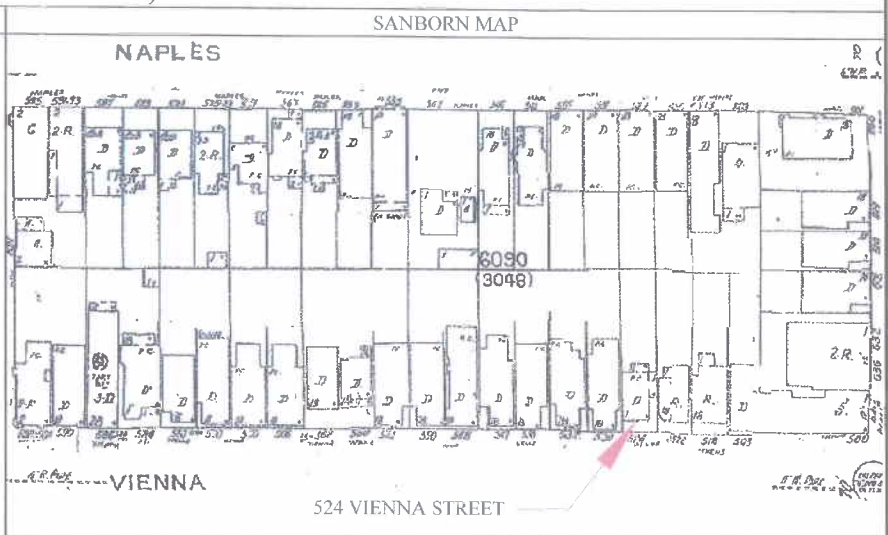
ZONING DISTRICT: 2,495 SQ. FT.

LOT SIZE: SFBC OCCUPANCY CLASS:

CONSTRUCTION TYPE: NUMBER OF STORIES: 1

DRAWING INDEX

STRUCTURAL
S0.0 COVER SHEET
S2.1 EXISTING PLAN



REV.	DATE	DESCRIPTION

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AND ASSOCIATES
STRUCTURAL ENGINEERS, INC.
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SAN FRANCISCO, CALIFORNIA 94104
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524 VIENNA STREET
SAN FRANCISCO, CA

SOUNDNESS REPORT
COVER SHEET

DESIGNED/CHECKED
P/BCH

DATE
01/10/13

JOB NO.
10.013

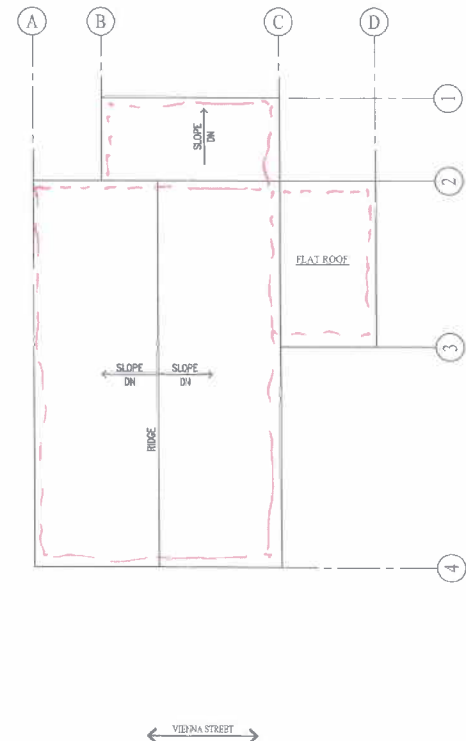
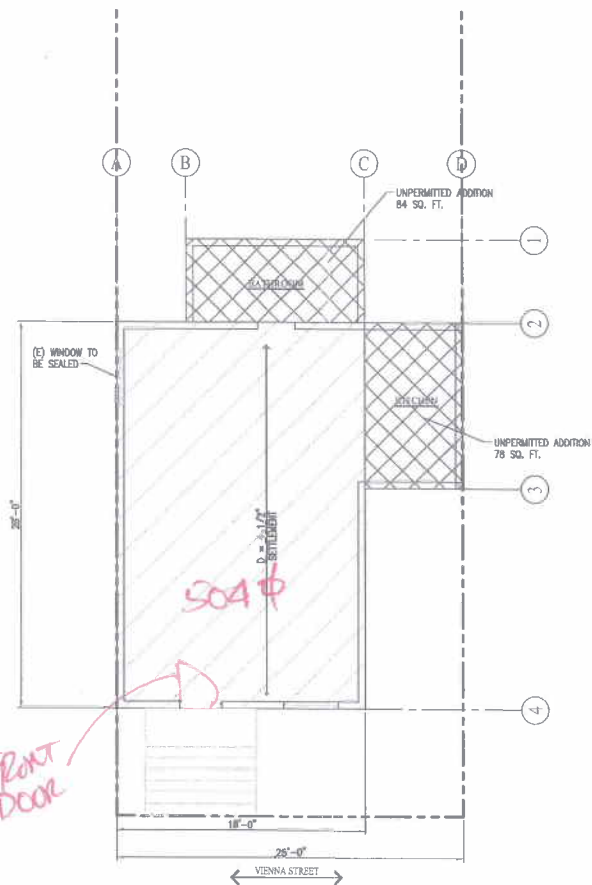
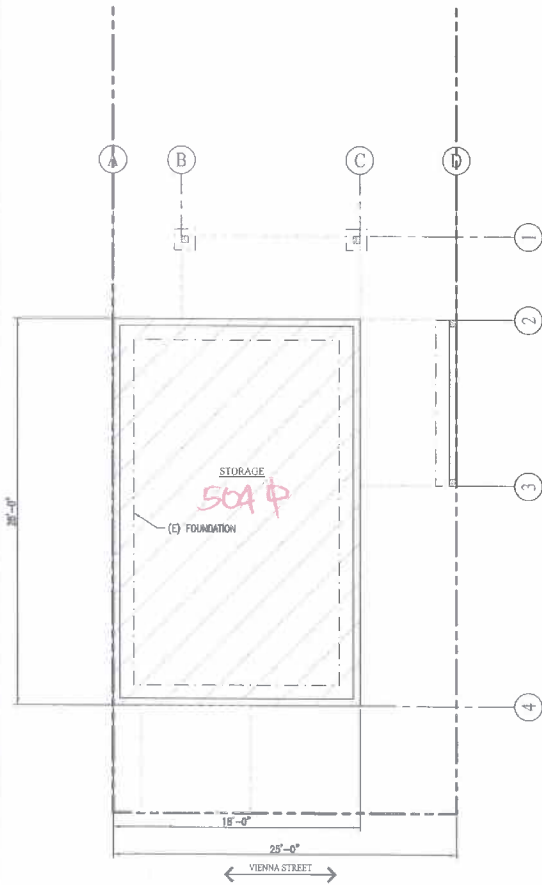
SHEET

S0.0

OF SHEETS

BASEMENT FLOOR PLAN			
LOCATION	AREA IN FT. ²		UNPERMITTED FT. ²
	HABITABLE FT. ²	NON-HABITABLE FT. ²	
STORAGE		506.00 FT. ²	
		504	
TOTAL SPACE	0.00	506.00 FT. ²	
		504	

FIRST FLOOR PLAN			
LOCATION	AREA IN FT. ²		UNPERMITTED FT. ²
	HABITABLE FT. ²	NON-HABITABLE FT. ²	
FIRST FLOOR	506.00 FT. ²		
KITCHEN	504		78 FT. ²
BATH-ROOM			84 FT. ²
TOTAL SPACE	506.00 FT. ²		162.00 FT. ²
			504



DESCRIPTION	
REV.	DATE
1	
2	
3	

PATRICK BUSCOVICH
AND ASSOCIATES
STRUCTURAL ENGINEERS, INC.
315 MONTGOMERY STREET, SUITE 803
SAN FRANCISCO, CALIFORNIA 94104
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524 VIENNA STREET
SAN FRANCISCO, CA.

SOUNDNESS REPORT
EXISTING BASEMENT PLAN,
EXISTING FIRST FLOOR PLAN
AND EXISTING ROOF PLAN

DESIGNER	LA
DESIGNED / CHECKED	PS
DATE	
SCALE	AS NOTED
409 105	10.0.0
	SHEET

S2.1

DESCRIPTION

APPENDIX A	SOUNDNESS REPORT TEMPLATE
APPENDIX B	PHOTOGRAPHS
APPENDIX C	DCP
APPENDIX D	DBI
APPENDIX E	TERMITE REPORT

SOUNDNESS REPORT TEMPLATE

DCP 50% Soundness Items

<u>Item</u>	<u>Description</u>
1.	Building permit application cost
2.	Min. 70 S.F. habitable room
3.	One electrical outlet in habitable rooms, 2 in kitchen
4.	Light switch in kitchen and bathroom
5.	Correct lack of Flashing/Weather protection
6.	Install Weather protection/ventilation
7.	Garbage storage
8.	Foundation structural hazard
9.	Floor structural hazard
10.	Wall structural hazard
11.	Roof structural hazard
12.	Chimney hazard
13.	Electrical per code in effect
14.	Plumbing per code in effect
15.	Exiting per code in effect
16.	Correct roofing or drainage
17.	Structural pest
18.	Repair fire resistant construction
19.	Deck deterioration
20.	Bathroom
21.	Kitchen sink
22.	Kitchen appliance
23.	Water heater
24.	Hot & cold water plumbing
25.	Sewage connection
26.	Repair heating facilities
27.	Repair ventilation
28.	Provision of operable window in habitable room
29.	Repair electrical in safe condition
30.	Repair plumbing in good condition
31.	Eliminate structural hazarding ceiling, roof & floor
32.	Fireplace (See Item 12)
33.	Mold & Mildew
34.	Lead & Asbestos
35.	18% Profit/overhead

Appendix A

Sample Soundness Report Template

Project Address: 524 Vienna

Job Number: 10.013

Replacement Cost \$176,800

	Type of Space	Area (Square Feet)	Cost per Square Foot	Cost
1	occupied, finished spaces	504	\$240/S.F.	\$120,960
2	unfinished space with flat ceiling & > 7'-6" of headroom (e.g., basements, garages)	504	\$110/ S.F.	\$55,440
3				
Replacement Cost Total				\$176,400

WORK THAT COULD BE INCLUDED IN THE UPGRADE COST ESTIMATE FOR THE 50% THRESHOLD:
 (Attach cost estimates from relevant consultants)

	Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
1	Building Permit Fee				\$3,000
2	Providing room dimensions at a minimum of 70 sq. ft. for any habitable room.				
3	Providing at least one electrical outlet in each habitable room and 2 electrical outlets in each kitchen.				
4	Providing at least one switched electrical light in any room where there is running water.				
5	Correcting lack of flashing or proper weather protection if not originally installed.				

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
6	Installing adequate weather protection and ventilation to prevent dampness in habitable rooms if not originally constructed.			
7	Provision of garbage and rubbish storage and removal facilities if not originally constructed (storage in garage is permitted).			
8	Eliminating structural hazards in foundation due to structural inadequacies.	92 LF @\$300/LF Feet of Perimeter foundation, replace + Shoring Plus Interior Footing		\$44,600
9	Eliminating structural hazards in flooring or floor supports, such as defective members, or flooring or supports of insufficient size to safely carry the imposed loads.			
10	Correcting vertical walls or partitions which lean or are buckled due to defective materials or which are insufficient in size to carry vertical loads.			
11	Eliminating structural hazards in ceilings, roofs, or other horizontal members, such as sagging or splitting, due to defective materials, or insufficient size.			
12	Eliminating structural hazards in fireplaces and chimneys, such as listing, bulging or settlement due to defective materials or due to insufficient size or strength.			
13	Upgrading electrical wiring which does not conform to the regulations in effect at the time of installation.	-----		
14	Upgrading plumbing materials and fixtures that were not installed in accordance with regulations in effect at the time of installation.	-----		
15	Providing exiting in accordance with the code in effect at the time of construction.	-----		

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
16	Correction of improper roof, surface or sub-surface drainage if not originally installed, if related to the building and not to landscape or yard areas.			
17	Correction of structural pest infestation (termites, beetles, dry rot, etc.) to extent attributable to original construction deficiencies (e.g., insufficient earth-wood separation).	See Termite Report attributable to soundness		\$100,000
18	Repair of fire-resistive construction and fire protection systems if required at the time of construction, including plaster and sheet rock where fire separation is required, and smoke detectors, fire sprinklers, and fire alarms when required.			
19	Wood and metal decks, balconies, landings, guardrails, fire escapes and other exterior features free from hazardous dry rot, deterioration, decay or improper alteration.			
20	Repairs as needed to provide at least one properly operating water closet, and lavatory, and bathtub or shower.			
21	Repair of a kitchen sink not operating properly.			
22	Provision of kitchen appliances, when provided by the owner, in good working condition, excluding minor damage.			
23	Repair if needed of water heater to provide a minimum temperature of 105° and a maximum of 102°, with at least 8 gallons of hot water storage.			
24	Provision of both hot and cold running water to plumbing fixtures.			

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
25	Repair to a sewage connection disposal system, if not working.			
26	Repair heating facilities that allow the maintenance of a temperature of 70° in habitable rooms, if not working.			
27	Repair ventilation equipment, such as bathroom fans, where operable windows are not provided, if not working.			
28	Provision of operable windows in habitable rooms (certain exceptions apply).			
29	Repair of electrical wiring if not maintained in a safe condition.			
30	Repair of plumbing materials and fixtures if not maintained in good condition.			
31	Elimination structural hazards in ceilings, roofs, or other horizontal members.			
32	Fireplace (See Item #12)			
33	Mold & Mildew			
34	Building Permit Application Cost			
35	Contractor's profit & overhead, not to exceed 18% of construction subtotal. if unit costs used for repair items do not include profit & overhead			\$8,100
			50% Threshold Cost Subtotal	\$155,700

Summary

Replacement Cost: \$176,400

50% Threshold Upgrade Cost: $\$176,400 \times 50\% = \$88,200 < \$155,700$ Unsound ←

PHOTOGRAPHS

Appendix B



1. _____



2. _____



3. _____



4. _____



5. _____



6. _____



7. _____



8. _____



9. _____



10. _____



11. _____



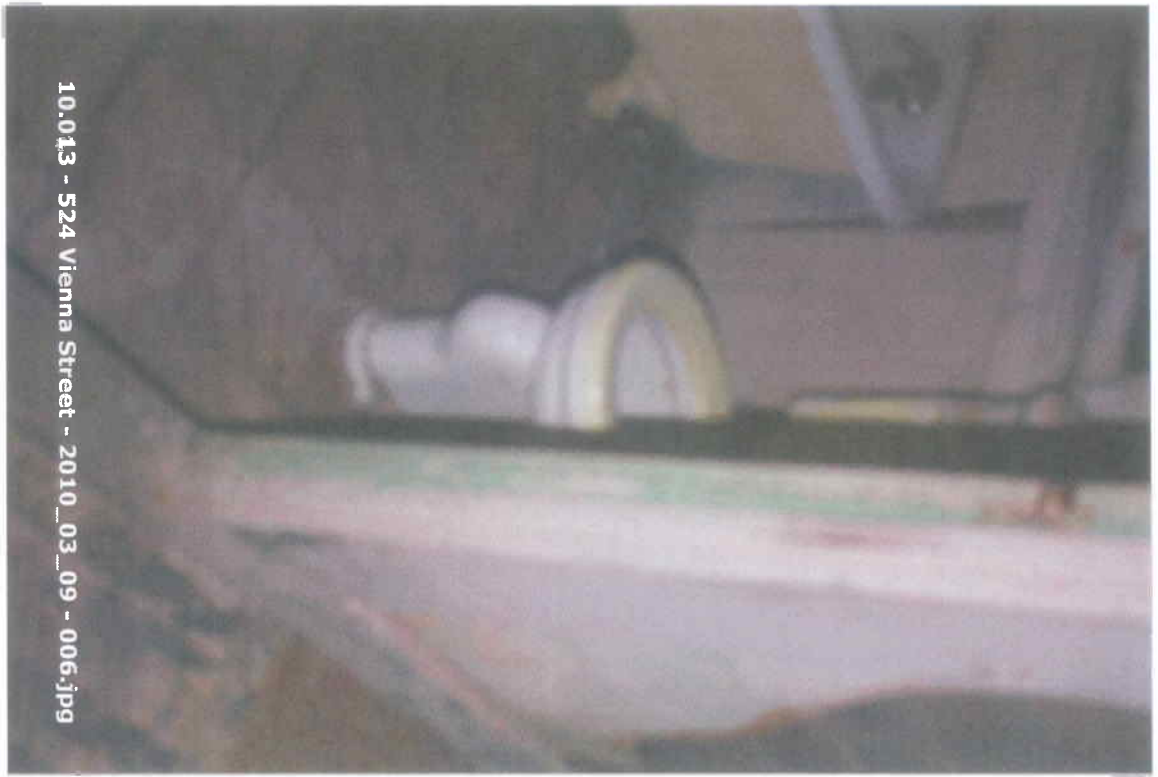
12. _____



13. _____



14. _____



10.013 - 524 Vienna Street - 2010_03_09 - 006.jpg

15. _____



10.013 - 524 Vienna Street - 2010_03_09 - 007.jpg

16. _____



17. _____



18. _____



19. _____



20. _____



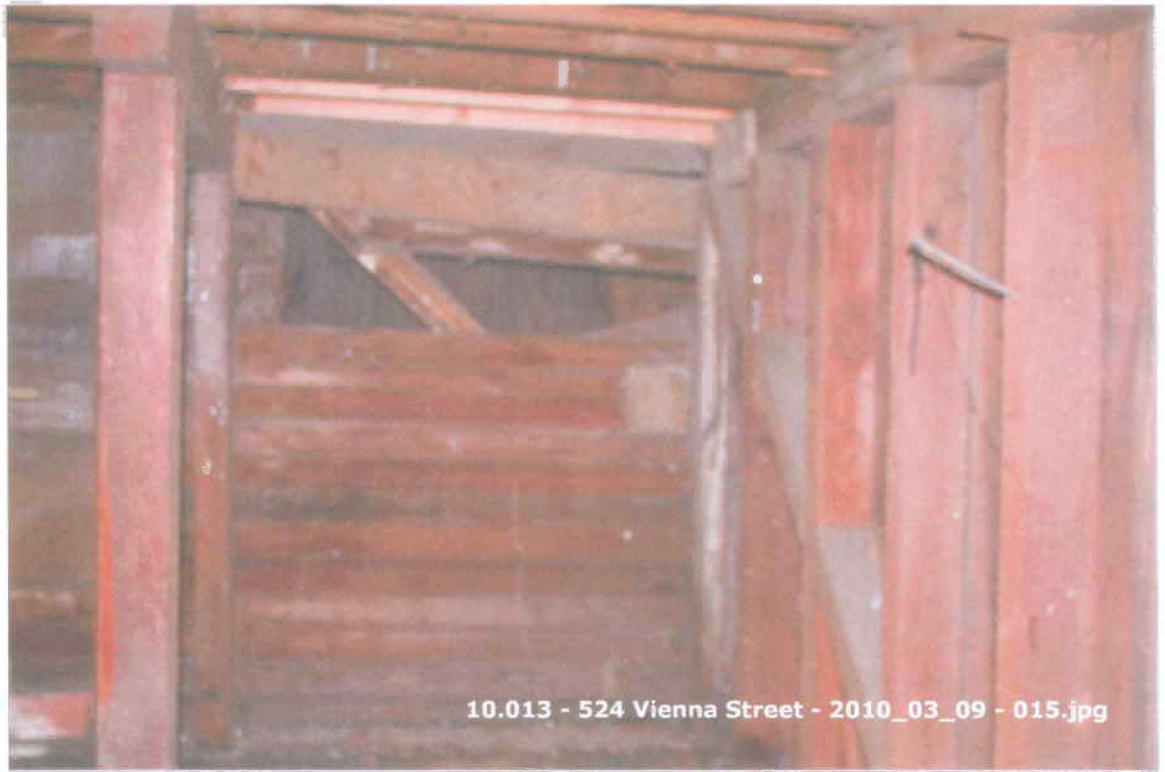
21. _____



22. _____



23. _____



24. _____

DCP

Appendix C

San Francisco Planning Department
Office of Analysis and Information Systems
PROPERTY INFORMATION REPORT

Block 6090 Lot 004 Census Tract 260 Census Block 313

Site Address: 524 VIENNA ST

Site Zip Code: 94112

OWNER

TAM YIN KWAN
524 VIENNA ST
SAN FRANCISCO CA
94112

PROPERTY VALUES

Land	\$22,044.00	Sales Date	08/18/2009
Structure	\$7,878.00	Price	\$248,000.00
Fixture	\$0.00		
Other	\$0.00		

PHYSICAL CHARACTERISTICS

Lot Frontage		Year Built	1912
Lot Depth		Stories	1
Lot Area	2,495.00	Assessor Units	1
Lot Shape		Bedrooms	0
Building Sq.Ft.	625.00	Bathrooms	1
Basement Sq.Ft.	0.00	Rooms	4
		Assessor Use	DWELLING (ONE UNIT)

Authorized Use ONE FAMILY DWELLING
Original Use ONE FAMILY DWELLING

PLANNING INFORMATION

Zoning	RH-1	Planning District	12
Height Limit	40-X	SUD	
Quadrant	SOUTHWEST	SSD	
Leg. Setback		Redevelopment Area	NOT IN RDA PROJECT AREA

Notices of Special Restrictions:
Non-Conforming Uses:
Comments:

Physical characteristics information is not guaranteed accurate or complete

APPLICABLE REGULATIONS (Special Zones)

Type	Value	Description
------	-------	-------------

6090

EXCELSIOR HD ASS'N
BLK 56

REVISED '62
'78
'92

40-X



PERSIA AVE.

NAPLES

VIENNA

400	50	28	25	25	632	636	2.5
NSR #217054 (10/7/92)				7.5	25 NSU 1980 LCU 25 NSU 1980 LCU NSR #217054 (10/7/92) NSR #217054 (10/7/92)	25 NSU 1980 LCU 25 NSU 1980 LCU NSU 1980 LCU	100
	27 ^A	28	28 ^A	28 ^B	33	34	1
	12.5			32			
	12.5			31	2 ^A		2.5
	100			3	7.5		2.5
		27					2.5
		26 ^D					2.5
		26 ^C			5 NSR #F334478 (4/13/93)		2.5
		26 ^B			5 ^A		2.5
		26 ^A			5 ^B		2.5
					5 ^C		2.5
					6		2.5
		35					2.5
		36			7 NSR #F192179 (9/1/92)		2.5
	998 0925	25					2.5
	NSR #E15791A (4/14/88)				7 ^A		2.5
	28.368D				24		2.5
					29		2.5
					23		2.5
					22		2.5
					30 NSR #F065749 (2/5/92)		2.5
					9		2.5
					9 ^A		2.5
					10		2.5
					11		2.5
					12 NSR F789784		2.5
					17 NSR F94058 (2/19/92)		2.5
					13		2.5
					14		2.5
					15 ^A		2.5
					15 ^A		2.5
					100		100

~~RH-1~~
~~RH-2~~

~~RH-1~~
~~RSRH-2~~

RUSSIA AVE.

NOTE:

The hatched lines separating some of the parcels on this block represent approximate boundaries.

They should not be used for legal measurement. For official boundaries, please consult the maps at the Assessor's Office or use the City's GIS system.



Property Detail

San Francisco, CA MABEL TENG, ASSESSOR

Parcel # (APN): **6090 -004**

Use Description:

Parcel Status:

Owner Name: **KINDNESS CHARLES A**

Mailing Address: **524 VIENNA ST SAN FRANCISCO CA 94112**

Situs Address: **524 VIENNA ST SAN FRANCISCO CA 94112-2818 C044**

Legal

Description:

ASSESSMENT

Total Value: **\$27,106**

Use Code: **D**

Zoning: **RH1**

Land Value: **\$19,968**

Tax Rate Area: **1000**

Census Tract: **260.03/2**

Impr Value: **\$7,138**

Year Assd: **2004**

Improve Type:

Other Value:

Property Tax:

Price/SqFt:

% Improved **26%**

Delinquent Yr

Exempt Amt: **\$7,000**

HO Exempt?: **Y**

SALES HISTORY

Sale 1

Sale 2

Sale 3

Transfer

Recording Date:

03/20/1969

Recorded Doc #:

Recorded Doc Type:

Transfer Amount:

Sale 1 Seller (Grantor):

1st Trst Dd Amt:

Code1:

2nd Trst Dd Amt:

Code2:

PROPERTY CHARACTERISTICS

Lot Acres: **0.057**

Year Built: **1912**

Fireplace:

Lot SqFt: **2,495**

Effective Yr:

A/C:

Bldg/Liv Area: **625**

Heating:

Units: **1**

Total Rooms: **4**

Pool:

Buildings:

Bedrooms:

Stories: **1.0**

Baths (Full): **1**

Park Type:

Style:

Baths (Half):

Spaces:

Construct:

Site Inflnce:

Quality:

Garage SqFt:

Building Class:

Timber Preserve:

Condition:

Ag Preserve:

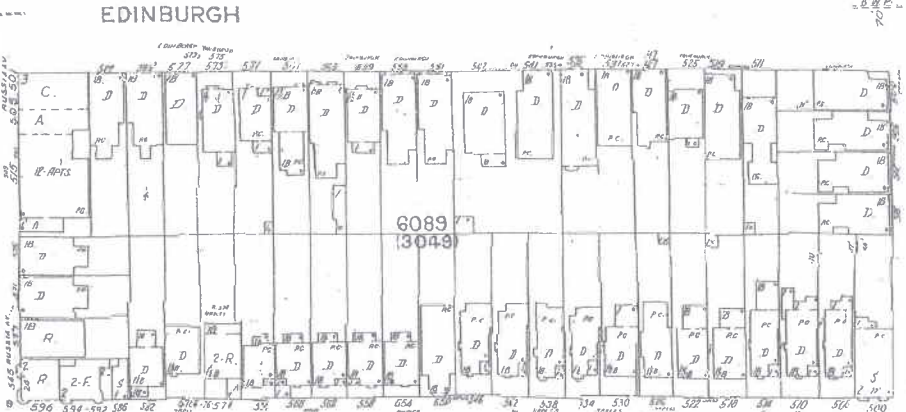
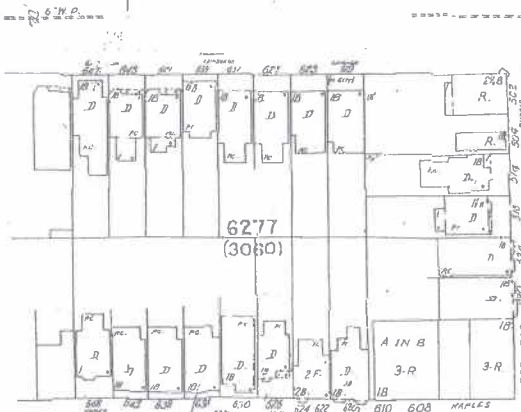
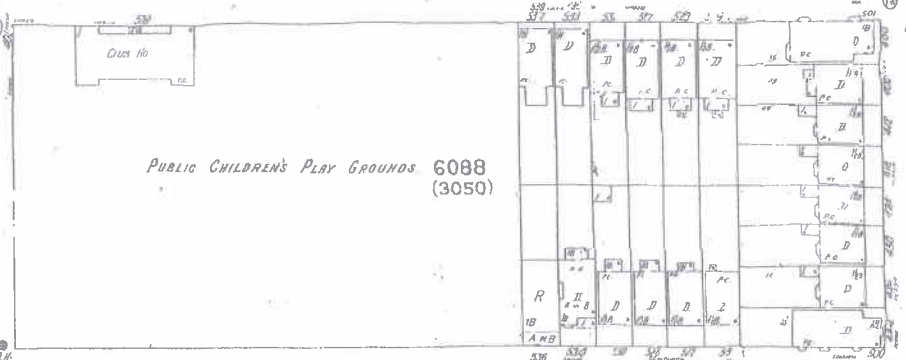
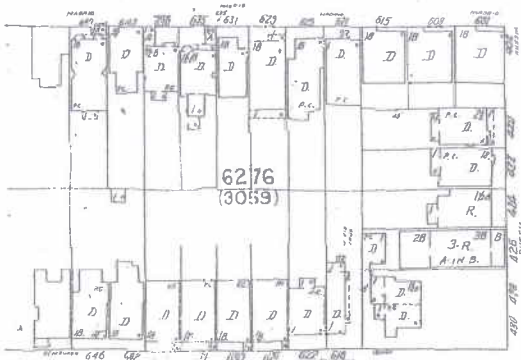
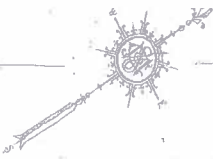
Other Rooms:

* The information provided here is deemed reliable, but is not guaranteed.

988

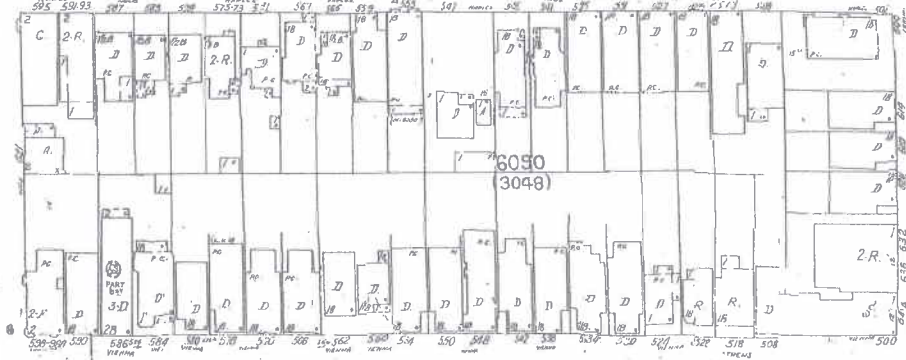
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MADRID



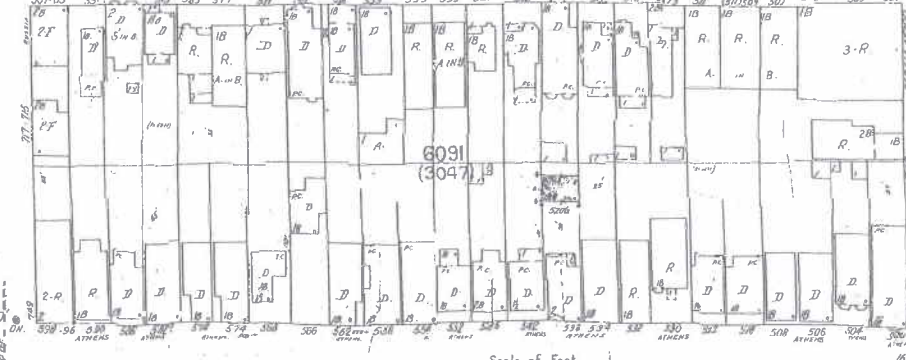
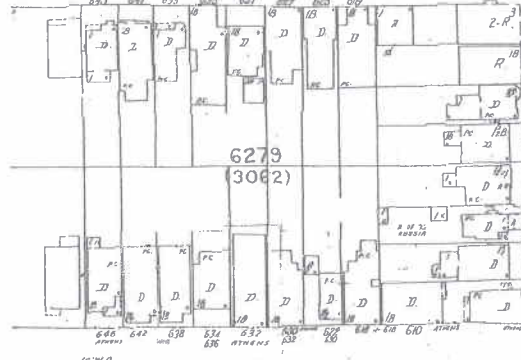
995

NAPLES



70

VIENNA



ATHENS

Scale of Feet.

© 1915, MAY 1993, THE SANDORNY MAP CO. INC.

1001

1002

DBI

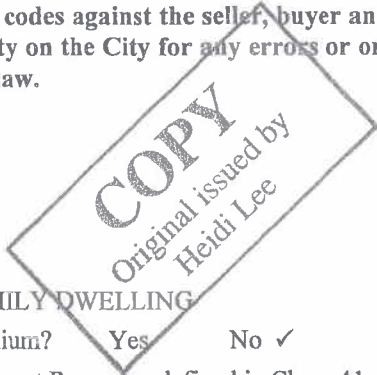
- 1908 New construction
- 5'-6" Cellar Height
- 18'-x 28' First Floor = 504 ft²
- 2009 Notice of Violation
- Secure Home

Appendix D



Report of Residential Building Record (3R)
(Housing Code Section 351(a))

BEWARE: This report describes the current legal use of this property as compiled from records of City Departments. There has been no physical examination of the property itself. This record contains no history of any plumbing or electrical permits. The report makes no representation that the property is in compliance with the law. Any occupancy or use of the property other than that listed as authorized in this report may be illegal and subject to removal or abatement, and should be reviewed with the Planning Department and the Department of Building Inspection. Errors or omissions in this report shall not bind or stop the City from enforcing any and all building and zoning codes against the seller, buyer and any subsequent owner. The preparation or delivery of this report shall not impose any liability on the City for any errors or omissions contained in said report, nor shall the City bear any liability not otherwise imposed by law.



Address of Building 524 VIENNA ST

Block 6090

Lot 004

Other Addresses

- 1. A. Present authorized Occupancy or use: ONE FAMILY DWELLING
- B. Is this building classified as a residential condominium? Yes No ✓
- C. Does this building contain any Residential Hotel Guest Rooms as defined in Chap. 41, S.F. Admin. Code? Yes No ✓
- 2. Zoning district in which located: RH-1 3. Building Code Occupancy Classification: R-3
- 4. Do Records of the Planning Department reveal an expiration date for any non-conforming use of this property? Yes No ✓
If Yes, what date? The zoning for this property may have changed. Call Planning Department, (415) 558-6377, for the current status.
- 5. Building Construction Date (Completed Date): 1908
- 6. Original Occupancy or Use: ONE FAMILY DWELLING
- 7. Construction, conversion or alteration permits issued, if any:

Application #	Permit #	Issue Date	Type of Work Done	Status
16256	16256	Apr 18, 1908	NEW CONSTRUCTION	N

- 8. A. Is there an active Franchise Tax Board Referral on file? Yes No ✓
- B. Is this property currently under abatement proceedings for code violations? Yes No ✓
- 9. Number of residential structures on property? 1
- 10. A. Has an energy inspection been completed? Yes No ✓ B. If yes, has a proof of compliance been issued? Yes No ✓

Date of Issuance: 24 APR 2009
Date of Expiration: 24 APR 2010
By: PETER CHOW
Report No: 200904237038

Patty Herrera, Manager, Support Services

Pamela J. Levin, Deputy Director
Department of Building Inspection

THIS REPORT IS VALID FOR ONE YEAR ONLY.

The law requires that, prior to the consummation of the sale or exchange of this property, the seller must deliver this report to the buyer and the buyer must sign it.

(For Explanation of terminology, see attached)

Support Services
1660 Mission Street - San Francisco CA 94103
Office (415) 558-6080 - FAX (415) 558-6402 - www.sfdbi.org

No. 16011

APPLICATION

OF

Robert R. Hoffmann, Owner

For Permit to Erect

524 Williams

frame bldg

Robert R. Hoffmann, Applicant

APR 15 1908

Since 351 to be complied with

Handwritten signature and notes

APR 18 1908

Chief Building Inspector

Handwritten signature of Chief Building Inspector

DEPARTMENT OF BUILDING INSPECTION

OFFICIAL COPY

Done
James M. Messing
Apr 16 08



OFFICIAL COPY

DEPARTMENT OF BUILDING INSPECTION

Applicant must indicate in ink correctly and distinctly on the back of this sheet, a diagram of the lot with street, alley, location of existing buildings on the lot, if any, and location and dimensions of proposed buildings. Plans and Specifications must be fastened together.

APPLICATION FOR BUILDING PERMIT

FRAME BUILDING

Application is hereby made to the Board of Public Works of the City and County of San Francisco for permission to build Frame Building on the lot situated on the west side of Virginia Street, 150 ft. South of Persimmon Avenue in accordance with the plans and specifications submitted herewith.

All provisions of the building law shall be complied with in the erection of said building, whether specified here or not.

Estimated cost of building \$ 600 Building to be occupied as Residence by No. 1 families

Size of Lot 25 ft feet front feet rear 100 ft feet deep.

Size of proposed building 18 ft. by 28 ft. Extreme height of building 22 ft.

Height in clear of cellar 5 to 6 ft Height in clear of first story 9'6"

Height in clear of second story Height in clear of third story

Height in clear of fourth story Height in clear of fifth story

Foundation to be of material Redwood Sills thickness, 2" inches

Size footings 12x12x2 inches. Greatest height

Size of studs in basement 3" by 4" inches 16" inches on centers.

Size of studs in first story 2 by 4" inches 16" inches on centers.

Size of studs in second story by inches inches on centers.

Size of studs in third story by inches inches on centers.

Size of studs in fourth story by inches inches on centers.

Size of studs in fifth story by inches inches on centers.

Wall covering to be of Plaster

First floor joists 2" by 8" inches 16" inches on centers. Longest span between supports ft.

Second floor joists by inches inches on centers. Longest span between supports ft.

Third floor joists by inches inches on centers. Longest span between supports ft.

Fourth floor joists by inches inches on centers. Longest span between supports ft.

Fifth floor joists by inches inches on centers. Longest span between supports ft.

Rafters 2" by 4 inches 32" inches on centers. Longest span between supports ft.

Roof covered with Shingles Steep or Flat? 1/2 Pitch

Studs in bearing partitions 2 by 4 inches 16" inches on centers. } Bearing partitions must be same as outside ones.

Chimneys of partition lined with plastered

Any gas grates? no Any patent flues? one Is the building to be heated, and how? no

Any opening to basement in sidewalk? Any elevator, freight-passage or dumb?

There are to be no front stairways 3 ft ft. wide located

I hereby agree to save, indemnify and keep harmless the City and County of San Francisco against all liabilities, judgments, costs and expenses which may in anywise accrue against said city and county in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street or sub-sidewalk placed by virtue thereof, and will in all things strictly comply with the conditions of this Permit.

Name of Architect none
Address
Name of Builder A. Hermann
Address 452 Tehama St.

Theodor Bachmann Owner
Address 2425 Delmonico St.
By A. Hermann

(Note—The owner's name must be signed by himself or by his Architect or authorized Agent.)

APPROVED
Dept. of Building Insp.

NOV 05 2009

Vivian L. Day

VIVIAN L. DAY
CHIEF BUILDING OFFICIAL
DEPT. OF BUILDING INSPECTION

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

FORM 3 OTHER AGENCIES REVIEW REQUIRED

FORM 8 OVER-THE COUNTER ISSUANCE

0 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

DATE FILED 10/28/09	PLUMBING FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 524 VIENNA	BLOCK & LOT 6090/004
PERMIT NO. 1198581	ISSUED 11/05/09	(2A) ESTIMATED COST OF JOB \$2,000	(2B) REVISED COST: \$2,000.00 BY: A Greco DATE: 10/28/09

BDDG. FORM 318
OCT 27 2009
OCT 27 2009
APPROVED FOR ISSUANCE
APPLICATION NUMBER
00091050616
OSHA APPROVAL REQ'D
APPROVAL NUMBER:

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. 5-B	(5A) NO. OF STORIES OF OCCUPANCY 1	(6A) NO. OF BASEMENTS AND CELLARS 0	(7A) PRESENT USE SPD	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS 1
(4) TYPE OF CONSTR. 5-B	(5) NO. OF STORIES OF OCCUPANCY 7	(6) NO. OF BASEMENTS AND CELLARS 0	(7) PROPOSED USE (LEGAL USE) SPD	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS 1
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? NO <input checked="" type="checkbox"/>		

(14) GENERAL CONTRACTOR TBD	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
(15) OWNER - LESSEE (CROSS OUT ONE) YIN KWAN TAM	ADDRESS 2311 DIAMOND	ZIP	PHONE (FOR CONTACT BY DEPT.) 415-240-6198		

(18) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
• TO COMPLY WITH VIOLATION 2008 39040
• SECURE HOME AND REPAIR FRONT STAIRS.
• REMOVE GARBAGE FROM EXTERIOR.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT. FT.	(19) DOES THIS ALTERATION CREATE DECK OR PORCH, EXTENSION TO BUILDING? NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT. SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? NO <input checked="" type="checkbox"/>
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> ADDRESS	CALIF. CERTIFICATE NO.		
(26) CONSTRUCTION LEADER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION LEADER, ENTER "UNKNOWN") NA	ADDRESS		

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 8'0" to any wire containing more than 750 volts See Sec 305, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

<input type="checkbox"/> OWNER	<input type="checkbox"/> ARCHITECT
<input type="checkbox"/> LESSEE	<input type="checkbox"/> AGENT
<input type="checkbox"/> CONTRACTOR	<input type="checkbox"/> ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claim, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City or County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (I), or (II) designated below or shall indicate item (III), or (IV), or (V), whichever is applicable. If however item (V) is checked item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- () II. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____
- () III. The cost of the work to be done is \$100 or less.
- () IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
- () V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

Date

10-26-09

CONDITIONS AND STIPULATIONS

OFFICIAL COPY

REFER TO: APPROVED:
DEPARTMENT OF
BUILDING INSPECTION

Call 415-558-8870, to schedule inspections for building, electrical and / or plumbing. This application is approved without site inspection. Detailed plumbing or electrical plan review and does constitute an approval of the building. Work shall require appropriate separate permits. Any electrical or plumbing work shall require appropriate separate permits.

By: *A Grieco*
TONY GRIECO/DBI

OCT 20 2009

<input type="checkbox"/>	APPROVED:	DEPARTMENT OF CITY PLANNING	DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION	DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	<i>NA</i> CIVIL ENGINEER, DEPT. OF BLDG INSPECTION	DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	BUREAU OF ENGINEERING	DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	REDEVELOPMENT AGENCY	DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT _____

TERMITE REPORT

Note: This is a one story wood frame structure, with rustic siding primarily on the exterior surfaces. The structure is currently vacant and uninhabitable due to excessive leakage and conditions as noted below.

SUBSTRUCTURE

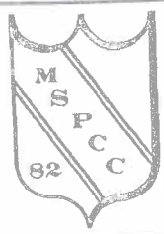
- 1) Powder post beetle infestation noted throughout the substructure framing, including, but not limited to, the rear enclosed porch overhang, extending up into inaccessible wall areas. We also noted extensive fungus damage to many of the substructure framing members, including flooring, joists, wall framing, etc. Conditions apparently caused by excessive leakage and deferred maintenance over a long period of ~ Perimeter foundations are deteriorated, unreinforced, non-existent in many cases and non-supportive. Front and rear stair assemblies no longer exist due to excessive fungus damage. We also noted damage and/or deterioration to interior walls, floors, window sash and other associated framing and trim members.

RECOMMENDATION:

In our opinion, the majority of this structure must be completely reconstructed, including foundations, walls, floors, etc. Complete fumigation for control of powder post beetle infestation cannot be performed due to the proximity of neighboring structures. Therefore, all infested materials that may extend into inaccessible areas must be removed and reframed. Lastly, the majority of the systems in the structure must be renewed including roof surfaces, plumbing, wiring and kitchen and all appliance services. Estimates for reconstruction will be provided upon request.

Per verbal phone call 08/12/10, Markoff estimate is in excess of \$200,000 to rebuild.

Appendix E



MARKOFF STRUCTURAL PEST CONTROL

6018 MISSION STREET
DALY CITY, CALIFORNIA 94014
TEL: (650) 992-8900 FAX: (650) 992-4404

email: markofftermite@aol.com

REGISTRATION NO. PR0347

COMPANY REPORT# 10356

Ordered by: ALFRED LEE c/o 1320 MARIN STREET SAN FRANCISCO, CA	Property Owner and/or Party of Interest: SAME	Report sent to: SAME
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COMPLETE REPORT LIMITED REPORT SUPPLEMENTAL REPORT REINSPECTION REPORT

General Description: ONE STORY WOOD FRAME RESIDENCE VACANT	Inspection Tag Posted: BASEMENT
	Other Tags Posted:

An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.

Subterranean Termites Drywood Termites Fungus / Dryrot Other Findings Further Inspection
If any of the above boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for details on checked items.

SUBSTRUCTURE: SEE #1	OTHER INTERIOR: SEE #1
FOUNDATION: SEE #1	OTHER EXTERIOR: SEE #1
STEPS/DECKS: SEE #1	OTHER: NONE

PLEASE READ THIS DOCUMENT CAREFULLY.

**INQUIRIES REGARDING THE CONTENT, ACCURACY,
AND RECOMMENDATIONS SHOULD BE
IMMEDIATELY REFERRED TO THE INSPECTOR.**

Inspected by: Paul Markoff State License No: OPR4739 Signature: *Paul Markoff*
 You are entitled to obtain copies of all reports and completion notices on this property reported to the Structural Pest Control Board during the preceding two years. To obtain copies contact: Structural Pest Control Board, 1418 Howe Avenue, Suite 18, Sacramento, California, 95825-3204.
 NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with services performed may be directed to the Structural Pest Control Board at (916) 561-8708, (800) 737-8188 or www.pestboard.ca.gov.

Address

524

VIENNA STREET

SAN FRANCISCO

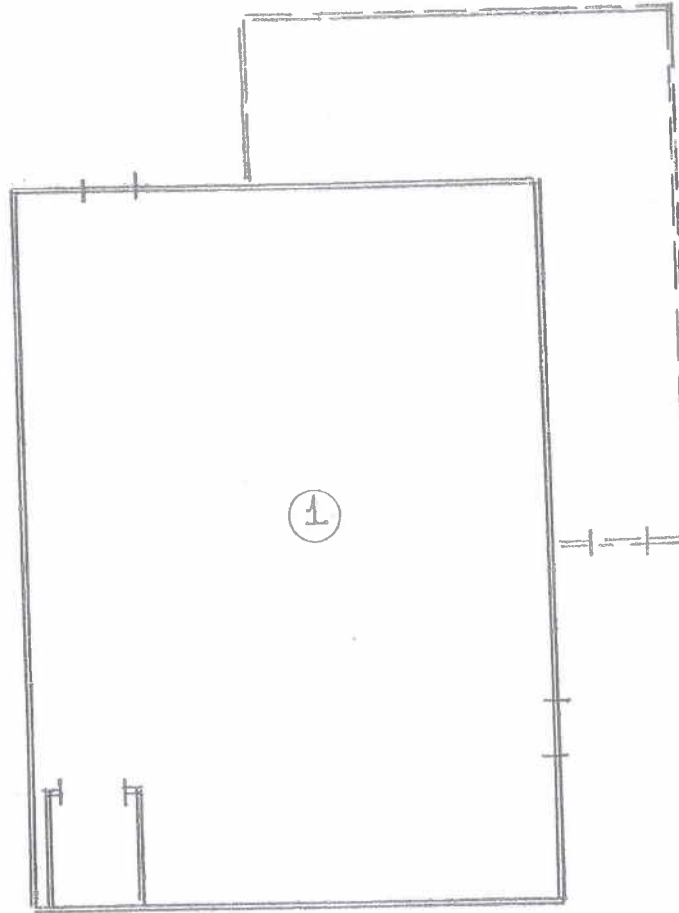
94112

DATE OF INSPECTION

4/6/10

CO. REPORT NO.

10356



FRONT
NOT TO SCALE

Address 524 VIENNA STREET SAN FRANCISCO 94112

Date of Inspection 4/6/10 Co. Report No. 10356

Note: This is a one story wood frame structure, with rustic siding primarily on the exterior surfaces. The structure is currently vacant and uninhabitable due to excessive leakage and conditions as noted below.

SUBSTRUCTURE

- 1) Powder post beetle infestation noted throughout the substructure framing, including, but not limited to, the rear enclosed porch overhang, extending up into inaccessible wall areas. We also noted extensive fungus damage to many of the substructure framing members, including flooring, joists, wall framing, etc. Conditions apparently caused by excessive leakage and deferred maintenance over a long period of time. Perimeter foundations are deteriorated, unreinforced, non-existent in many cases and non-supportive. Front and rear stair assemblies no longer exist due to excessive fungus damage. We also noted damage and/or deterioration to interior walls, floors, window sash and other associated framing and trim members.

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WOOD DESTROYING
Address 524 VIENNA STREET SAN FRANCISCO 94112
Date of Inspection 4/6/10 Co. Report No. 10356

READ THIS DOCUMENT, IT EXPLAINS THE SCOPE AND LIMITATIONS OF A STRUCTURAL PEST CONTROL INSPECTION AND A WOOD DESTROYING PEST AND ORGANISM INSPECTION REPORT.

A Wood Destroying Pest and Organism Inspection Report contains findings as to the presence or absence of evidence of wood destroying pests and organisms in visible and accessible areas and contains recommendations for correcting any infestations or infections found. The contents of Wood Destroying Pest and Organism Inspection Reports are governed by the Structural Pest Control Act and regulations.

Some structures do not comply with building code requirements or may have structural, plumbing, electrical, heating, air conditioning or other defects that do not pertain to wood destroying organisms. A Wood Destroying Pest and Organism Inspection Report does not contain information on such defects, if any, as they are not within the scope of the licenses of either the inspector or the company issuing a Wood Destroying Pest and Organism Inspection Report.

The Structural Pest Control Act requires inspection of only those areas which are visible and accessible at the time of the inspection. Some areas of the structure are not accessible to inspection, such as the interior of hollow walls, spaces between floors, areas concealed by carpeting, built-in appliances, or cabinet work. Infestations or infections may be active in these areas without visible and accessible evidence. If you desire information about these areas, a further inspection may be performed upon request and at additional cost.

The exterior surface of the roof was not inspected. If you want the water tightness of the roof determined, you should contact a roofing contractor who is licensed by the Contractor's State License Board.

Areas subject to moisture, such as, but not limited to roofs, gutters, windows, shower enclosures, and plumbing fixtures, are to be maintained by homeowners. This Company assumes no liability for these areas.

If work, as outlined in this report, is performed by others, we will reinspect the property upon authorization and payment of standard inspection fee, within a four month period.

Recommendations, as outlined in this report, are subject to the approval of the local building department officials. Additional alterations, drawings and/or calculations as may be required by said officials will be performed upon specific authorization and at additional expense to the ordering party.

NOTICE: Reports on this structure prepared by various registered companies should list the same findings (i.e. termite infestation, termite damage, fungus damage, etc.) However, recommendations to correct these findings may vary from company to company. Therefore, you may wish to seek a second opinion since there may be alternative methods of correcting the findings listed on this report that may be less costly.

CHEMICAL MATERIAL TO BE USED:

- DRAGNET (Active ingredient - Permethrin)
- COPPER NAPHTHENATE (Active ingredient - Copper Salts of Naphthenic Acids)
- TIM-BOR (Active ingredient - Disodium Octaborate Tetrahydrate)
- OTHER _____
- NONE