



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Large Project Authorization

HEARING DATE: DECEMBER 18, 2014

Date: December 8, 2014
Case No.: **2011.1374EKX**
Project Address: **800 Indiana Street**
Zoning: UMU (Urban Mixed-Use) Zoning District
Life Science and Medical Special Use District
58-X Height and Bulk District
Block/Lot: 4105/009
Project Sponsor: Joe Kirchofer, AvalonBay Communities, Inc.
455 Market Street, Ste. 1650
San Francisco, CA 94105
Staff Contact: Richard Sucre – (415) 575-9108
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Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The proposed project includes demolition of the existing two-story industrial warehouse and one-story office (measuring approximately 74,847 square feet) on the subject lot, and new construction of a five-story, residential building (approximately 431,020 gross square feet) with 326 dwelling units, 4 car-share parking spaces, 260 off-street parking spaces, 195 Class 1 bicycle parking spaces, 16 Class 2 bicycle parking spaces, and 147 additional bicycle parking spaces. The project includes a dwelling unit mix consisting of nine three-bedroom units, 121 two-bedroom units, 86 one-bedroom units, and 110 studio units. The proposed project includes common open space (approximately 22,235 square feet), private open space for 73 dwelling units via private decks and balconies, and a publically-accessible plaza (measuring approximately 3,510 sq ft). The project will also incorporate a public dog park underneath the overpass along 20th Street.

SITE DESCRIPTION AND PRESENT USE

The proposed project is located on the eastern portion of the block bounded by 20th, Tennessee, and 22nd Street on an irregularly-shaped lot (with a lot area of 116,455± sq ft) with approximately 606-ft 4-in of frontage along Tennessee Street and 139-ft 3-in of frontage along 20th Street. The 20th Street frontage is located underneath the 20th Street elevated roadway. To the west of the subject lot is the I-280 Freeway. Currently, the subject lot contains a two-story industrial warehouse with a connected one-story office. These buildings were most recently used by the San Francisco Opera.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the UMU Zoning District along a mixed-use corridor within the Central Waterfront Area Plan. The immediate neighborhood includes: three-to-five story tall, converted warehouse and residential property across Tennessee Street; one-to-two-story tall, commercial and industrial properties to the south; and, a two-story industrial warehouse and staging yard and Espirit Park to the north. The subject lot is located within proximity to 22nd Street, which is one of the main commercial corridors in the Dogpatch neighborhood. Across Tennessee Street is the western boundary of the Dogpatch Landmark District, which encompasses the residential development at 900 Minnesota Street. To the east of the project site, the neighborhood context is primarily smaller-scale residential, while to the north and south of the project site, the neighborhood context is primarily industrial in nature with warehouses, storage yards, and light industrial properties. Other zoning districts in the vicinity of the project site include: P (Public); RH-2 (Residential, House, Two-Family); RH-3 (Residential, House, Three-Family); NCT-2 (Small-Scale Neighborhood Commercial Transit); and, PDR-1-G (Production, Distribution and Repair-General).

ENVIRONMENTAL REVIEW

On August 13, 2014, the Department published a Draft Environmental Impact Report (“DEIR”) for the Project for public review (Case No. 2011.1374E). The DEIR was available for public comment until September 29, 2014. On September 11, 2014, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting to solicit comments regarding the DEIR. On November 5, 2014, the Department published a Comments and Responses document, responding to comments made regarding the DEIR for the Project.

On December 4, 2014, the Commission certified the FEIR for the Project as adequate, accurate and complete.

On December 18, 2014, the Commission must adopt the CEQA Findings for the FEIR, prior to the approval of the Project (See Case No. 2011.1374E).

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	November 27, 2014	November 26, 2014	22 days
Posted Notice	20 days	November 27, 2014	November 26, 2014	22 days
Mailed Notice	20 days	November 27, 2014	November 26, 2014	22 days

The proposal requires a Section 312 Neighborhood notification, which was conducted in conjunction with the required hearing notification for the Large Project Authorization.

PUBLIC COMMENT

As of December 8, 2014, the Department has received three letters in support of the proposed project.

ISSUES AND OTHER CONSIDERATIONS

- Large Project Authorization Modifications: As part of the Large Project Authorization (LPA), the Commission may grant modifications from certain Planning Code requirements for projects that exhibit outstanding overall design and are complementary to the design and values of the surrounding area. The proposed project requests modifications from 1) rear yard (Planning Code Section 134); 2) open space (Planning Code 135); 3) permitted obstructions over the street, yard or useable open space (Planning Code Section 136); 4) dwelling unit exposure (Planning Code Section 140); 5) off-street loading (Planning Code Section 152.1); and, 6) horizontal mass reduction (Planning Code Section 270.1(d)). Department staff is generally in agreement with the proposed modifications given the overall project and its outstanding and unique design.
- Shadow Analysis: Per Planning Code Section 295, the Commission must grant authorization to new construction projects that will cast shade or shadow upon any property under the jurisdiction of the Recreation and Park Commission. Currently, the Project is scheduled for review by the Recreation and Park Commission on December 18, 2014. The Project will cast new shadow upon the nearby Espirit Park; therefore, the Commission must adopt a motion that the additional shadow cast by the Project on Espirit Park would not be adverse to its use.
- Affordable Housing Fee: The Project Sponsor has elected the affordable housing fee, identified in Planning Code Section 415.5. Per Planning Code Section 419.3(b)(1), the amount of the fee shall be based upon the number of units equivalent to the applicable off-site percent of the number of units in the project, which is 23 percent of the total number of units. The Project includes 326 dwelling units (nine three-bedroom units, 121 two-bedroom units, 86 one-bedroom units, and 110 studio units); therefore, the Project is required to pay the affordable housing fee for 65.2 units (2.07 three-bedroom units, 27.83 two-bedroom units, 19.78 one-bedroom units, and 25.3 studio units).
- Development Impact Fees: The Project would be subject to the following development impact fees, which are estimated as follows:

FEE TYPE	PLANNING CODE SECTION/FEE	AMOUNT
Eastern Neighborhoods Impact Fee (74,847 sq ft – Tier 1; Change in Use from PDR to Residential)	423 (@ \$6.07)	\$454,322
Eastern Neighborhoods Impact Fee (356,173 sq ft – Tier 1; New Residential)	423 (@ \$9.71)	\$3,458,440
Affordable Housing Fee (25.3) – Studios	415 (@ \$199,698)	\$5,052,359
Affordable Housing Fee (19.78) – 1 Bedroom Units	415 (@ \$270,441)	\$5,349,323
Affordable Housing Fee (27.83) – 2 Bedroom Units	415 (@ \$367,711)	\$10,233,397
Affordable Housing Fee (2.07) – 3 Bedroom Units	415 (@ \$419,621)	\$868,615
	TOTAL	\$25,416,456

Please note that these fees are subject to change between Planning Commission approval and approval of the associated Building Permit Application, as based upon the annual updates managed by the Development Impact Fee Unit of the Department of Building Inspection.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant a Large Project Authorization pursuant to Planning Code Section 329 to allow the new construction of a five-story residential building with 326 dwelling units, and to allow modifications to the requirements for rear yard (Planning Code Section 134), open space (Planning Code Section 135), permitted obstructions over the street, yard or useable open space (Planning Code Section 136), dwelling unit exposure (Planning Code Section 140), off-street loading (Planning Code Section 152.1), and, horizontal mass reduction (Planning Code Section 270.1(d)).

In addition, with a recommendation from the General Manager of the Recreation and Park Department and in consultation with the Recreation and Park Commission, the Planning Commission must adopt a motion that finds additional shadow cast by the Project on Espirit Park would not be adverse to the use of the park, pursuant to Planning Code 295.

BASIS FOR RECOMMENDATION

The Department believes this project is approvable for the following reasons:

- The Project complies with the applicable requirements of the Planning Code.
- The Project is consistent with the objectives and policies of the General Plan.
- The Project is located in a zoning district where residential is principally permitted.
- The Project produces a new residential development with significant site updates, including landscaping, private and common open space, a publically-accessible plaza, and a public dog park.
- The Project is consistent with and respects the existing neighborhood character, and provides an appropriate massing and scale for a large block.
- The Project complies with the First Source Hiring Program.
- The Project adds 326 new dwelling units for rent to the City's housing stock.
- The Project casts only an additional .18 increment of shadow on Espirit Park
- The Project will fully utilize the Eastern Neighborhoods Area Plan controls, and will pay the appropriate development impact fees.

RECOMMENDATION: Approval with Conditions
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Attachments:

Draft Motion-Large Project Authorization
Draft Motion-Shadow Analysis
Parcel Map

Executive Summary
Hearing Date: December 18, 2014

CASE NO. 2011.1374EKX
800 Indiana Street

Sanborn Map
Aerial Photograph
Zoning Map
Major Projects Map
Project Sponsor Submittal
Public Correspondence
Motion No. 19284
Architectural Drawings

Attachment Checklist

- | | |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project Sponsor Submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> Health Dept. Review of RF levels |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Community Meeting Notice |
| <input checked="" type="checkbox"/> Context Photos | <input checked="" type="checkbox"/> Inclusionary Affordable Housing Program:
Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos | |

Exhibits above marked with an "X" are included in this packet

_____ RS _____
Planner's Initials

RS: G:\Documents\Large Project Authorization\2011.1374X 800 Indiana St\ExecutiveSummary_800 Indiana St.doc



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other (EN Impact Fees)

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Planning Commission Draft Motion

HEARING DATE: DECEMBER 18, 2014

Date: December 18, 2014
Case No.: **2011.1374KX**
Project Address: **800 INDIANA STREET**
Zoning: UMU (Urban Mixed-Use) Zoning District
 Life Science and Medical Special Use District
 58-X Height and Bulk District
Block/Lot: 4105/009
Project Sponsor: Joe Kirchofer, AvalonBay Communities, Inc.
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Staff Contact: Richard Sucre – (415) 575-9108
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Recommendation: **Approval with Conditions**

ADOPTING FINDINGS RELATING TO A LARGE PROJECT AUTHORIZATION PURSUANT TO PLANNING CODE SECTION 329, TO ALLOW EXCEPTIONS TO 1) REAR YARD PURSUANT TO PLANNING CODE SECTION 134, 2) OPEN SPACE PURSUANT TO PLANNING CODE SECTION 135, 3) PERMITTED OBSTRUCTIONS OVER A STREET, YARD OR USEABLE OPEN SPACE PURSUANT TO PLANNING CODE SECTION 136, 4) DWELLING UNIT EXPOSURE PURSUANT TO PLANNING CODE SECTION 140, 5) OFF-STREET LOADING PURSUANT TO PLANNING CODE SECTION 152.1, AND, 6) HORIZONTAL MASS REDUCTION PURSUANT TO PLANNING CODE SECTION 270.1(D), TO ALLOW CONSTRUCTION OF A NEW FIVE-STORY RESIDENTIAL BUILDING (APPROXIMATELY 431,020 GSF) WITH 326 DWELLING UNITS (CONSISTING OF 110 STUDIOS, 86 1-BEDROOM UNITS, 121 2-BEDROOM UNITS, AND 9 3-BEDROOM UNITS), LOCATED AT 800 INDIANA STREET, LOT 009 IN ASSESSOR’S BLOCK 4105, WITHIN THE UMU (URBAN MIXED-USE) ZONING DISTRICT AND A 58-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On October 9, 2013, Joe Kirchofer of AGI Capital, Inc. (hereinafter "Project Sponsor") filed Application No. 2011.1374KX (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Large Project Authorization to construct a new five-story residential building with 326 dwelling units at 800 Indiana Street (Block 4105 Lot 009) in San Francisco, California.

On December 4, 2014, the San Francisco Planning Commission (hereafter "Commission") by Motion No. 19284 certified the Final Environmental Impact Report (FEIR), Case No. 2011.1374E, for the Project at 800 Indiana Street.

On December 18, 2014, the Commission by Motion No. XXXXX approved the California Environmental Quality Act (CEQA) Findings, including adoption of a Mitigation Monitoring and Reporting Program (MMRP), under Case No. 2011.1374E, for approval of the Project at 800 Indiana Street.

On December 18, 2014, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Large Project Authorization Application Case No. 2011.1374X.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Large Project Authorization requested in Application No. 2011.1374X, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The proposed project is located on the eastern portion of the block bounded by 20th, Tennessee, and 22nd Street on an irregularly-shaped lot (with a lot area of 116,455± sq ft) with approximately 606-ft 4-in of frontage along Tennessee Street and 139-ft 3-in of frontage along 20th Street. The 20th Street frontage is located underneath the 20th Street elevated roadway. To the west of the subject lot is the I-280 Freeway. Currently, the subject lot contains a two-story industrial warehouse with a connected one-story office. These buildings were most recently used by the San Francisco Opera.
3. **Surrounding Properties and Neighborhood.** The project site is located in the UMU Zoning District along a mixed-use corridor within the Central Waterfront Area Plan. The immediate neighborhood includes: three-to-five story tall, converted warehouse and residential property across Tennessee Street; one-to-two-story tall, commercial and industrial properties to the south; and, a two-story industrial warehouse and staging yard and Espirit Park to the north. The subject lot is located within proximity to 22nd Street, which is one of the main commercial corridors in the Dogpatch neighborhood. Across Tennessee Street is the western boundary of the Dogpatch Landmark District, which encompasses the residential development at 900 Minnesota Street. To the east of the project site, the neighborhood context is primarily smaller-scale residential, while

to the north and south of the project site, the neighborhood context is primarily industrial in nature with warehouses, storage yards, and light industrial properties. Other zoning districts in the vicinity of the project site include: P (Public); RH-2 (Residential, House, Two-Family); RH-3 (Residential, House, Three-Family); NCT-2 (Small-Scale Neighborhood Commercial Transit); and, PDR-1-G (Production, Distribution and Repair-General).

4. **Project Description.** The proposed project includes demolition of the existing two-story industrial warehouse and one-story office (measuring approximately 74,847 square feet) on the subject lot, and new construction of a five-story, residential building (approximately 431,020 gross square feet) with 326 dwelling units, 4 car-share parking spaces, 260 off-street parking spaces, 195 Class 1 bicycle parking spaces, 16 Class 2 bicycle parking spaces, and 147 addition bicycle parking spaces. The project includes a dwelling unit mix consisting of nine three-bedroom units, 121 two-bedroom units, 86 one-bedroom units, and 110 studio units. The proposed project includes common open space (approximately 22,235 square feet), private open space for 73 dwelling units via private decks and balconies, and a publically-accessible plaza (measuring approximately 3,510 sq ft). The project will also incorporate a public dog park underneath the overpass along 20th Street.
5. **Public Comment.** As of December 8, 2014, the Department has not received any public correspondence regarding the proposed project.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Permitted Uses in UMU Zoning Districts.** Planning Code Section 843.45 states that residential use is principally permitted use within the UMU Zoning District.

The proposed project would construct a new residential development within the UMU Zoning District; therefore, the proposed project complies with Planning Code Section 843.45.

- B. **Rear Yard.** Planning Code Section 134 requires a minimum rear yard equal to 25 percent of the total lot depth of the lot to be provided at every residential level. Therefore, the Project would have to provide a rear yard, which measures approximately 29,114 sq ft.

Currently, the Project is organized into three distinct masses with a series of plazas and courtyards, which provide access at-grade to Indiana Street. The Project provides open space through a series of private balconies, courtyards and the publically-accessible plaza. In total, the project provides 73 dwelling units with private useable open space and 253 dwelling units with common useable open space. The Project provides a total of 30,605 sq ft of private and common open space (includes compliant and non-complaint open space) and 3,510 sq ft of a publically-accessible plaza. Thus, the amount of open space, which would have been provided through the required rear yard, is exceeded. Since the Project does not provide a rear yard against the rear lot line, the Project is seeking a modification of the rear yard requirement as part of the Large Project Authorization (See Below).

The Project occupies a large lot bounded by I-280, 20th, Indiana and 22nd Streets. The subject block does not possess a pattern of mid-block open space, since the subject block was primarily industrial in character. Given the unique characteristics of the subject lot against a freeway and by using three distinct masses, the Project provides a varied street wall, which avoids a large massing along Indiana Street, thus providing an urban intervention with varied open space on the project site.

- C. **Useable Open Space.** Planning Code Section 135 requires a minimum of 80 sq ft of open space per dwelling unit, if not publically accessible, or 54 sq ft of open space per dwelling unit, if publically accessible. Private useable open space shall have a minimum horizontal dimension of six feet and a minimum area of 36 sq ft is located on a deck, balcony, porch or roof, and shall have a minimum horizontal dimension of 10 feet and a minimum area of 100 sq ft if located on open ground, a terrace or the surface of an inner or outer court. Common useable open space shall be at least 15 feet in every horizontal dimension and shall be a minimum of 300 sq ft. Further, inner courts may be credited as common useable open space if the enclosed space is not less than 20 feet in every horizontal dimension and 400 sq ft in area, and if the height of the walls and projections above the court on at least three sides is such that no point on any such wall or projection is higher than one foot for each foot that such point is horizontally distant from the opposite side of the clear space in the court.

For the proposed 326 dwelling units, the Project is required to provide 20,240 sq ft of common open space for 253 dwelling units, and 5,840 sq ft of private open space for the remaining 73 dwelling units.

In total, the Project exceeds the requirements for open space by constructing a total of 30,605 sq ft of useable open space, and an additional 3,510 sq ft of a publically-accessible plaza. The Project would construct private balconies for 38 dwelling units and private decks patios for 35 dwelling units. In addition, the Project would construct common open space via five ground-level courtyards (measuring a total of 22,235 sq ft) to address the open space requirement for 253 dwelling units. As defined in Planning Code Section 102.4, two of the five courtyards are considered outer courts, since one side of these courtyards face onto a public street.

Although the project provides the correct amount of open space per dwelling unit, certain aspects of the provided open space do not meet the dimensional requirements of the Planning Code, including some of the exterior private balconies, private patios and inner courts. Therefore, the Project is seeking a modification of the open space requirement as part of the Large Project Authorization (See Below).

- D. **Permitted Obstructions.** Planning Code Section 136 outlines the requirements for features, which may be permitted over street, alleys, setbacks, yards or useable open space.

Currently, the Project includes overhead horizontal projections, which project over the street that are purely architectural in nature, which are approximately 4-ft 6-in wide and project less than 2-ft over the property line; therefore, these features do not meet the dimensional requirements of the Planning Code. Therefore, the Project is seeking a modification of the permitted obstruction requirements as part of the Large Project Authorization (See Below).

- E. **Streetscape and Pedestrian Improvements.** Planning Code Section 138.1 requires one new street tree for every 20 feet of street frontage for projects proposing new construction, as well as a streetscape plan, which includes elements from the Better Streets Plan.

The Project includes the new construction of a five-story residential building on a lot with approximately 606-ft of frontage along Indiana Street and 139-ft of frontage along 20th Street. Therefore, the Project is required to provide a total of 30 street trees along Indiana Street and seven street trees along 20th Street.

Currently, the Project includes 21 street trees along Indiana Street. For the sixteen street trees not provided along the street, the Project shall seek a waiver from the Zoning Administrator to pay an in-lieu fee for each street tree not provided along the street.

In addition, the Project includes streetscape elements, including extended bulb outs, diagonal street parking, bicycle parking racks, sidewalk planters, and site furnishings. These features extend into the publically-accessible central plaza, which features landscaping and access to the lounge and entry lobby. The Project will also incorporate a public dog park underneath the freeway along 20th Street.

Therefore, the proposed project complies with Planning Code Section 138.1.

- F. **Bird Safety.** Planning Code Section 139 outlines the standards for bird-safe buildings, including the requirements for location-related and feature-related hazards.

The subject lot is not located in close proximity to an Urban Bird Refuge. The proposed project meets the requirements of feature-related standards and does not include any unbroken glazed segments 24-sq ft and larger in size; therefore, the proposed project complies with Planning Code Section 139.

- G. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street, rear yard or other open area that meets minimum requirements for area and horizontal dimensions. To meet exposure requirements, a public street, public alley, side yard or rear yard must be at least 25 ft in width, or an open area (inner court) must be no less than 25 ft in every horizontal dimension for the floor at which the dwelling unit is located.

The Project organizes the dwelling units to have exposure on Indiana Street, or within one of the five courtyards. Currently, 46 dwelling units (eight on the first floor, eight on the second floor, ten on the third floor, ten on the fourth floor, and ten on the fifth floor) do not face onto an open area, which meets the dimensional requirements of the Planning Code. Therefore, the Project is seeking a modification of the dwelling unit exposure requirements for 46 dwelling units as part of the Large Project Authorization (See Below).

- H. **Street Frontage in Mixed Use Districts.** Planning Code Section 145.1 requires off-street parking at street grade on a development lot to be set back at least 25 feet on the ground

floor; that no more than one-third of the width or 20 feet, whichever is less, of any given street frontage of a new structure parallel to and facing a street shall be devoted to parking and loading ingress or egress; that space for active uses be provided within the first 25 feet of building depth on the ground floor; that non-residential uses have a minimum floor-to-floor height of 14 feet; that the floors of street-fronting interior spaces housing non-residential active uses and lobbies be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces; and that frontages with active uses that are not residential or PDR be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level.

The Project meets the requirements of Planning Code Section 145.1. At grade, the off-street parking is setback by more than 25-ft from the street. The Project has two 10-ft wide garage entrances to the off-street parking located off of Indiana Street. The Project features the appropriate amount of active use with the ground floor walk-up dwelling units, which provide direct, individual pedestrian access to a public sidewalk. Finally, the Project features appropriate street-facing ground level spaces, as well as the ground level transparency and fenestration requirements.

- I. **Off-Street Parking.** Planning Section 151.1 of the Planning Code allows off-street parking at a maximum ratio of .75 per dwelling unit. For dwelling units in the UMU Zoning District with at least 2 bedrooms and at least 1,000 square feet of occupied floor area, off-street parking is permitted at 1 car for each dwelling unit for these dwelling units per the criteria under 151.1(g).

The Project includes 129 dwelling units, which possess at least two bedrooms and are at least 1,000 square feet in size; therefore, the Project is permitted 129 off-street parking spaces for these dwelling units. For the remaining 197 dwelling units, the Project is allowed to have a maximum of 148 off-street parking spaces. Therefore, the Project is permitted a total of 277 off-street parking spaces.

Currently, the Project provides 260 off-street parking spaces via mechanical lifts. Of these 260 off-street parking spaces, eleven handicap parking spaces have been identified, as well as four car-share parking spaces. Therefore, the proposed project complies with Planning Code Section 151.1.

- J. **Off-Street Freight Loading.** Planning Section 152.1 of the Planning Code requires two off-street freight loading space for apartment use between 200,001 and 500,000 gsf.

The Project includes approximately 431,020 square feet of apartment use, thus at least two off-street freight loading spaces are required. The Project does not possess any off-street freight loading parking spaces; however, the Project is proposing three on-street loading spaces on Indiana Street. Therefore, the Project is seeking a modification of this requirement as part of the Large Project Authorization (See Below).

- K. **Bicycle Parking.** Planning Section 155.2 of the Planning Code requires at least 100 Class 1 bicycle parking spaces plus one Class 1 bicycle parking space for every four dwelling units and one Class 2 bicycle parking spaces for every 20 dwelling units.

The Project includes 326 dwelling units; therefore, the Project is required to provide 157 Class 1 bicycle parking spaces and 16 Class 2 bicycle parking spaces. The Project will provide 195 Class 1 bicycle parking spaces and 16 Class 2 bicycle parking space, which exceeds the requirement. In addition, the Project will provide an additional 147 bicycle parking spaces via vertical stackers. Therefore, the proposed project complies with Planning Code Section 155.2.

- L. **Car Share Requirements.** Planning Code Section 166 requires two car-share parking spaces, plus one for every 200 dwelling units over 200, for projects with 201 residential units or more.

Since the Project includes 326 dwelling units, it is required to provide a minimum of two car-share parking spaces. The Project provides four car-share parking spaces. Therefore, the proposed project complies with Planning Code Section 166.

- M. **Unbundled Parking.** Planning Code Section 167 requires that all off-street parking spaces accessory to residential uses in new structures of 10 dwelling units or more be leased or sold separately from the rental or purchase fees for dwelling units for the life of the dwelling units.

The Project is providing off-street parking that is accessory to the dwelling units. These spaces will be unbundled and sold and/or leased separately from the dwelling units; therefore, the Project meets this requirement.

- N. **Dwelling Unit Mix.** Planning Code Section 207.6 requires that no less than 40 percent of the total number of proposed dwelling units contain at least two bedrooms, or no less than 30 percent of the total number of proposed dwelling units contain at least three bedrooms.

For the 326 dwelling units, the Project is required to provide at least 130 two-bedroom units or 98 three-bedroom units. The Project provides 110 studios, 86 one-bedroom units, 121 two-bedroom units, and 9 three-bedroom units. Therefore, the Project meets the requirements for dwelling unit mix.

- O. **Horizontal Mass Reduction.** Planning Code Section 270.1 outlines the requirements for horizontal mass reduction on large lots within the Eastern Neighborhoods Mixed Use Districts. For projects with street frontage greater than 200-ft in length, one or more mass reduction breaks must be incorporated to reduce the horizontal scale of the building into discrete sections not more than 200-ft in length. Specifically, the mass reduction must 1) be not less than 30-ft in width; 2) be not less than 60-ft in depth from the street-facing building façade; 3) extend up to the sky from a level not higher than 25-ft above grade or the third story, whichever is lower; and, 4) result in discrete building sections with a maximum plan length along the street frontage not greater than 200-ft.

Given the 606-ft of frontage along Indiana Street, the Project is required to provide two horizontal mass breaks along Indiana Streets, which are not less than 30-ft wide by 60-ft deep starting at the third-story up to the sky.

The Project provides three horizontal mass breaks, which assist in articulating the subject building into three distinct buildings segments, which measure 159-ft, 213-ft 6-in, and 267-ft 4-in. These horizontal mass breaks occur at grade and extend up to the sky. Since the horizontal mass breaks do not meet the dimensions required by Planning Code Section 270.1, the Project is seeking a modification of this requirement as part of the Large Project Authorization.

- P. **Mid-Block Alley.** Planning Code Section 270.2 outlines the requirements for mid-block alleys on large lots within the Eastern Neighborhoods Mixed Use Districts. This requirement applies to all new construction on parcels that have one or more street frontages of over 200 linear feet on a block face longer than 400-ft between intersections. On lots with frontage greater than 300-ft, the project shall provide a publicly-accessible mid-block alley for the entire depth of the property, generally located toward the middle of the subject block face, perpendicular to the subject frontage and connecting to any existing streets and alleys.

Given the subject lot's unique configuration against a freeway, the Zoning Administrator has determined that this requirement does not apply to the Project, since there is no opportunity to connect to any existing street or alley.

- Q. **Shadow.** Planning Code Section 295 restricts net new shadow, cast by structures exceeding a height of 40 feet, upon property under the jurisdiction of the Recreation and Park Commission. Any project in excess of 40 feet in height and found to cast net new shadow must be found by the Planning Commission, with comment from the General Manager of the Recreation and Parks Department, in consultation with the Recreation and Park Commission, to have no adverse impact upon the property under the jurisdiction of the Recreation and Park Commission.

Based upon a detail shadow analysis, the Project would cast new shadow upon Espirit Park, which is a property under the jurisdiction of the Recreation and Parks Commission. Based upon the recommendation of the General Manager of the Recreation and Parks Department, in consultation with Recreation and Park Commission, the net new shadow would not be adverse to the use of Espirit Park. The Commission has adopted findings regarding the impact of shadow on Espirit, as documented in Motion No. XXXXX.

- R. **Inclusionary Affordable Housing Program.** Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Under Planning Code Section 415.3, the current percentage requirements apply to projects that consist of ten or more units, where the first application (EE or BPA) was applied for on or after July 18, 2006. Pursuant to Planning Code Section 415.5, the Project must pay the Affordable Housing Fee ("Fee"). This Fee is made payable to the Department of Building

Inspection (“DBI”) for use by the Mayor’s Office of Housing for the purpose of increasing affordable housing citywide.

The Project Sponsor has submitted a ‘Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,’ to satisfy the requirements of the Inclusionary Affordable Housing Program through payment of the Fee, in an amount to be established by the Mayor’s Office of Housing at a rate equivalent to an off-site requirement. The Project Sponsor has not selected an alternative to payment of the Fee. The Environmental Evaluation Application was submitted on March 29, 2012.

- S. **Eastern Neighborhood Infrastructure Impact Fees.** Planning Code Section 423 is applicable to any development project within the MUO (Mixed Use Office) Zoning District that results in the addition of gross square feet of non-residential space.

The proposed project includes approximately 431,020 gross square feet of new residential development. These uses are subject to Eastern Neighborhood Infrastructure Impact Fees, as outlined in Planning Code Section 423. These fees must be paid prior to the issuance of the building permit application.

- 7. **Large Project Authorization in Eastern Neighborhoods Mixed Use District.** Planning Code Section 329(c) lists nine aspects of design review in which a project must comply; the Planning Commission finds that the project is compliant with these nine aspects as follows:

- A. Overall building mass and scale.

Given the project site’s unique shape and location, the Project’s mass and scale are appropriate for a large lot and the surrounding context, which includes small and large industrial buildings that create varied context along Indiana Street. The Project expresses three distinct masses along Indiana Street, which are articulated by different architectural designs. The Project is consistent with the mass and scale of nearby industrial properties, including those larger-scale four-story industrial properties located within the adjacent Dogpatch Landmark District. Thus, the project is appropriate and consistent with the mass and scale of the surrounding neighborhood.

- B. Architectural treatments, facade design and building materials:

The Project’s architectural treatments, façade design and building materials include brick veneer, metal wall panels, corrugated metal, fiber cement siding, and corten metal wall panels. The Project provides three unique buildings along Indiana Street, which each possess distinctive, yet compatible, designs that are oriented by the massing, material and color. Each of the three masses was designed by a different architect, and appropriately draws from the area’s industrial heritage in varying ways from use of industrial materials to incorporation of industrial features. Overall, the Project offers a high quality architectural treatment, which provides for unique and expressive architectural design that is consistent and compatible with the surrounding neighborhood.

- C. The design of lower floors, including building setback areas, commercial space, townhouses, entries, utilities, and the design and siting of rear yards, parking and loading access;

Along the lower floors, the Project provides walk-up dwelling units with individual pedestrian access. These dwelling units provide activity along the street. The lower floors are further enhanced by the publically-accessible plaza and streetscape improvements along Indiana Street.

- D. The provision of required open space, both on- and off-site. In the case of off-site publicly accessible open space, the design, location, access, size, and equivalence in quality with that otherwise required on-site;

The Project provides the required open space for the 326 dwelling units through private balconies, common open space, and a publically-accessible plaza. In total, the Project provides a total of 30,605 sq ft of useable open space and an additional 3,510 sq ft of open via a publically-accessible plaza, thus far exceeding the required amount for the dwelling units.

- E. The provision of mid-block alleys and pathways on frontages between 200 and 300 linear feet per the criteria of Section 270, and the design of mid-block alleys and pathways as required by and pursuant to the criteria set forth in Section 270.2;

The Project is not required to provide a mid-block alley.

- F. Streetscape and other public improvements, including tree planting, street furniture, and lighting.

In compliance with Planning Code Section 138.1, the Project provides 21 street trees along the street frontages on Indiana Street, and would pay an in-lieu fee for the 16 required street trees not provided due to proximity towards underground utilities, etc. In addition, the Project includes streetscape elements, including extended bulb outs, diagonal street parking, bicycle parking racks, sidewalk planters, and site furnishings. The Commission finds that these improvements would improve the public realm.

- G. Circulation, including streets, alleys and mid-block pedestrian pathways;

The Project provides ample circulation in and around the project site, including a central courtyard, which has two access points along Indiana Street. In addition, the Project provides at-grade access to two additional courtyards along Indiana Street. The primary focal point for the residents would occur through the central plaza, which provides access to the main entry lobby and a lounge. Automobile access is limited to the two openings (one entry and one exit) on Indiana Street.

- H. Bulk limits;

The Project is within an 'X' Bulk District, which does not restrict bulk.

- I. Other changes necessary to bring a project into conformance with any relevant design guidelines, Area Plan or Element of the General Plan;

The Project, on balance, meets the Objectives and Policies of the General Plan. See Below.

8. **Large Project Authorization Exceptions.** Proposed Planning Code Section 329 allows exceptions for Large Projects in the Eastern Neighborhoods Mixed Use Districts:

- A. Exceeding the principally permitted accessory residential parking ratio described in Section [151.1](#) and pursuant to the criteria therein;

In granting such Conditional Use or exception per [329](#) for parking in excess of that principally permitted in [Table 151.1](#), the Planning Commission shall make the following affirmative findings according to the uses to which the proposed parking is accessory:

(A) Parking for All Uses.

- (i) Vehicle movement on or around the project does not unduly impact pedestrian spaces or movement, transit service, bicycle movement, or the overall traffic movement in the district;

The Project does minimize vehicular movement in and around the Project, since the off-street parking garage is located below grade and the entrance/exit to this garage is accessed via two 10-ft wide openings along Indiana Street. This configuration minimizes the potential for conflicts with pedestrians and bicyclists along Indiana Street.

- (ii) Accommodating excess accessory parking does not degrade the overall urban design quality of the project proposal;

The Commission finds that accommodating excess accessory parking would not degrade the overall urban design quality of the Project. All off-street parking is located below-grade. The entrances to the off-street parking are appropriately located, and minimized in size and scale.

- (iii) All above-grade parking is architecturally screened and lined with active uses according to the standards of Section 145.1, and the project sponsor is not requesting any exceptions or variances requiring such treatments elsewhere in this Code; and

The Project does not include above-grade, off-street parking. At the street, the Project accommodates the appropriate amount of active uses, per Planning Code Section 145.1.

- (iv) Excess accessory parking does not diminish the quality and viability of existing or planned streetscape enhancements.

Since the excess parking would be located below-grade, the excess accessory parking would not impact any existing or planned streetscape enhancements. The Project has planned for a large below-grade

parking garage, storage area and basement. Entrances to the off-street parking are minimized to have the least impact upon Indiana Street, thus minimizing the potential for conflicts with pedestrians and bicyclists. The Project would undertake significant site and public realm improvements, including a public dog park, a central plaza, widened sidewalks and bulb outs.

(B) Parking for Residential Uses.

(i) For projects with 50 dwelling units or more, all residential accessory parking in excess of 0.5 spaces per unit shall be stored and accessed by mechanical stackers or lifts, valet, or other space-efficient means that reduces space used for parking and maneuvering, and maximizes other uses.

Although the Project does not accommodate residential accessory parking via mechanical stackers or lifts, the Commission supports the off-street parking ratio due to the urban design quality of the Project and the minimal impact of the accessory parking upon Indiana Street and the surrounding neighborhood.

- B. Exception from residential useable open space requirements. In circumstances where such exception is granted a fee shall be required pursuant to the standards in Sections 135(j), pursuant to the criteria of Section 305(c).

The Project is required to provide 26,080 sq ft of open space for the 326 dwelling units. In total, the Project exceeds the requirements for open space by constructing a total of 34,155 sq ft of useable open space through private balconies and patios, five courtyards, and a publically-accessible plaza. The Project would construct private balconies for 38 dwelling units and private decks patios for 35 dwelling units. In addition, the Project would construct common open space via five ground-level courtyards (measuring a total of 22,235 sq ft) to address the open space requirement for 253 dwelling units. Currently, some of the exterior private balconies, private patios and inner courts do not meet the dimensional requirements of the Planning Code. Given the overall amount of open space, design and the quality of the Project, the modification to the dimensional requirements would not severely impact the usability and quality of the proposed open space. Further, the Project provides ample access to open space throughout the project site in a manner to promote street activity and outdoor recreation.

- C. Modification of the horizontal massing breaks required by Section [270.1](#) in light of any equivalent reduction of horizontal scale, equivalent volume of reduction, and unique and superior architectural design, pursuant to the criteria of Section [270.1\(d\)](#).

Per Planning Code Section 270.1(d), the Planning Commission may modify or waive this requirement through the process set forth in Section 329. When considering any such application, the Commission shall consider the following criteria:

- (1) no more than 50% of the required mass is reduced unless special circumstances are evident;

The Project does not reduce more than 50% of the required mass. The Project exceeds some of the horizontal mass reduction requirements, since the mass reduction occurs at the ground floor and extends upward. Typically, the horizontal mass reduction is only required to occur at the third floor or above a height of 25-ft. Given the overall design and site layout, the Project provides an appropriate mass reduction, which allows for an expressive and unique design.

(2) the depth of any mass reduction breaks provided is not less than 15 feet from the front facade, unless special circumstances are evident;

The Project provides three separate mass breaks at the street, which measure in width approximately 30-ft, 48-ft, and 25-ft. These mass breaks result in building segments, which measure approximately 159-ft, 213-ft, and 267-ft, respectively. Given the mixed and transitioning character of Indiana Street, the proposed mass breaks are appropriate, since the mass breaks allow the overall project to be articulated into three separate buildings. Therefore, the Project provides an appropriate depth in the provided mass reduction breaks.

(3) the proposed building envelope can be demonstrated to achieve a distinctly superior effect of reducing the apparent horizontal dimension of the building; and

The Project achieves a distinctly superior effect of reducing the apparent horizontal dimension of the buildings, since the proposed horizontal mass break occurs from ground floor through the entire height of the Project. Architectural elements separating the street-level and articulation of the façade contribute to reducing the horizontal appearance of the buildings. Further, the mix of materials and colors on the street facades contribute to the perceived reduction.

(4) the proposed building achieves unique and superior architectural design.

The Project achieves unique and superior architectural design with the proposed horizontal mass breaks, due to the project's overall design and composition. The Project provides a unique expression within a transitioning context, and appropriately introduces a design that has responded to community concerns and Planning Code requirements.

D. Exception for rear yards, pursuant to the requirements of Section 134(f);

(f) Modification of Requirements in the Eastern Neighborhoods Mixed Use Districts. The rear yard requirement in Eastern Neighborhoods Mixed Use Districts may be modified or waived by the Planning Commission pursuant to Section 329. The rear yard requirement in Eastern Neighborhoods Mixed Use Districts may be modified by the Zoning Administrator pursuant to the procedures set forth in Section 307(h) for other projects, provided that:

(1) A comparable, but not necessarily equal amount of square footage as would be created in a code conforming rear yard is provided elsewhere within the development;

The Project provides for a comparable amount of open space, in lieu of the required rear yard. Overall, the project site is 116,455 sq ft in size, and would be required to provide a rear yard measuring 29,114 sq ft. The Project provides 34,115 sq ft of open space through private balconies, five courtyards and a publically-accessible central plaza, thus exceeding the amount of space, which would have been provided in a code-conforming rear yard.

(2) The proposed new or expanding structure will not significantly impede the access to light and air from adjacent properties or adversely affect the interior block open space formed by the rear yards of adjacent properties; and

The Project does not impede access to light and air for the adjacent properties. The Project is not located adjacent to any residential use. The subject block does not possess a pattern of mid-block open space. Given the unique configuration of the subject block, the Project establishes an open space pattern, which appropriately addresses the proximity to the freeway, while also providing access to Indiana Street.

(3) The modification request is not combined with any other residential open space modification or exposure variance for the project, except exposure modifications in designated landmark buildings under Section 307(h)(1).

Although the Project is seeking a modification to the open space and exposure requirements, the Project does meet the overall intent of these requirements and is seeking a modification to the dimensional requirements of the Planning Code, as allowed under Planning Code Section 329(d)(11).

- E. Exception from satisfaction of loading requirements per Section 152.1 pursuant to the criteria contained therein.

For projects in the Eastern Neighborhoods Mixed Use Districts that are subject to Section 329, the Planning Commission may waive these requirements per the procedures of Section 329 if it finds that the design of the project, particularly ground floor frontages, would be improved and that such loading could be sufficiently accommodated on adjacent streets and alleys.

The Project provides two on-street loading parking spaces on Indiana Street. Given the existing and proposed character of the related street frontages, the Project can accommodate the two loading parking spaces on the street. Further, by providing for on-street loading, the Project has reduced the overall size and scale of the garage opening, and has limited automobile access to two openings on Indiana Street.

- F. Where not specified elsewhere in Planning Code Section 329(d), modification of other Code requirements which could otherwise be modified as a Planned Unit Development (as set forth in Section 304), irrespective of the zoning district in which the property is located;

In addition to the modification of the requirements for rear yard, open space, off-street loading and horizontal mass reduction, the Project is seeking modifications of the requirements for permitted obstructions (Planning Code Section 136) and exposure (Planning Code Section 140).

Under Planning Code Section 136, an overhead horizontal projection (leaving at least 7½-ft of headroom) of a purely architectural or decorative character, such as cornices, eaves, sills, and belt courses, with a vertical dimension of no more than two feet six inches deep: at the roof level, these overhead horizontal projections may not project more than three feet over a street, alley or setback; while, at every other level, these horizontal projections may not project more than one foot from the face of the façade. The Project proposes overhead horizontal projections over the street, which exceed the dimensions outlined within Planning Code Section 136. Given the overall design and composition, the Commission finds this modification is warranted, due to the project's quality of design and variety in architectural expression, which is a strong urban design element of the Project.

Under Planning Code Section 140, all dwelling units must face onto an open area, which is at least 25'-wide. The Project organizes the dwelling units to have exposure on Indiana Street, or within one of the five courtyards. Of these five courtyards, two courtyards do not meet the dimensional requirements of the Planning Code. Therefore, 46 dwelling units require a modification for exposure. Although these dwelling units do not face onto a code-complying open space, the provided open space still affords sufficient access to light and air. Given the overall design and composition of the Project, the Commission is in support of this modification, due to the Project's high quality of design and amount of open space/open areas.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING

OBJECTIVES AND POLICIES

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

The Project is a higher density residential development in an underutilized, transitioning industrial and residential area. The Project site is an ideal infill site that is currently occupied by an industrial use. The project site was rezoned to UMU as part of a long range planning goal to create a cohesive, higher density residential and mixed-use neighborhood. To the south, the zoning is primarily PDR, while to the north, the zoning is UMU. The surrounding neighborhood features a wide variety of zoning, which is consistent

with the Project's residential character. The Project will pay the Affordable Housing Fee, which will provide opportunities for affordable housing across the City.

OBJECTIVE 4

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.4

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

The Project meets the affordable housing requirements for the UMU Zoning District by paying the Affordable Housing Fee. The Project will provide 326 rental dwelling units into the City's housing stock.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

The architecture of this Project responds to the site's location as a transition between industrial zones and the contemporary and traditional architecture of residential zones. The Project's facades provide a unique expression not commonly found within the surrounding area, while providing for a material palette, which

draws from the surrounding industrial context. The exterior is designed with modern materials including brick veneer, metal wall panels, and aluminum-sash windows.

RECREATION AND OPEN SPACE ELEMENT

OBJECTIVES AND POLICIES

OBJECTIVE 1:

ENSURE A WELL-MAINTAINED HIGHLY UTILIZED AND INTEGRATED OPEN SPACE SYSTEM.

Policy 1.11:

Encourage private recreational facilities on private land that provide a community benefit, particularly to low and moderate-income residents.

OBJECTIVE 2:

INCREASE RECREATION AND OPEN SPACE TO MEET THE LONG-TERM NEEDS OF THE CITY AND BAY REGION.

Policy 2.3:

Provide recreational programs that are responsive to community needs and changing demographics.

Policy 2.8

Consider repurposing underutilized City-owned properties as open space and recreational facilities.

Policy 2.11:

Assure that privately developed residential open space are useable, beautiful and environmentally sustainable.

The Project will create private and common open space areas in a new residential development through private balconies, five courtyards and a central plaza. In addition, the project would provide a new publically-accessible dog park under an overpass along 20th Street, thus using an underutilized space and increasing the opportunities for new recreation and open space.

TRANSPORTATION ELEMENT

OBJECTIVES AND POLICIES

OBJECTIVE 24:

IMPROVE THE AMBIENCE OF THE PEDESTRIAN ENVIRONMENT.

Policy 24.2:

Maintain and expand the planting of street trees and the infrastructure to support them.

Policy 24.3:

Install pedestrian-serving street furniture where appropriate.

Policy 24.4:

Preserve pedestrian-oriented building frontages.

The Project will install new street trees along Indiana Street. Further, the Project will provide new site furnishings and amenities within the publically-accessible central plaza. Frontages are designed with active spaces oriented at the pedestrian level.

OBJECTIVE 28:

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES.

Policy 28.1:

Provide secure bicycle parking in new governmental, commercial, and residential developments.

Policy 28.3:

Provide parking facilities which are safe, secure, and convenient.

The Project includes 358 bicycle parking spaces in secure, convenient locations, which exceeds the requirements specified in the Planning Code.

OBJECTIVE 34:

RELATE THE AMOUNT OF PARKING IN RESIDENTIAL AREAS AND NEIGHBORHOOD COMMERCIAL DISTRICTS TO THE CAPACITY OF THE CITY'S STREET SYSTEM AND LAND USE PATTERNS.

Policy 34.1:

Regulate off-street parking in new housing so as to guarantee needed spaces without requiring excesses and to encourage low auto ownership in neighborhoods that are well served by transit and are convenient to neighborhood shopping.

Policy 34.3:

Permit minimal or reduced off-street parking supply for new buildings in residential and commercial areas adjacent to transit centers and along transit preferential streets.

Policy 34.5:

Minimize the construction of new curb cuts in areas where on-street parking is in short supply and locate them in a manner such that they retain or minimally diminish the number of existing on-street parking spaces.

The Project provides 260 off-street parking spaces, which is below the maximum permitted amount of off-street parking. The parking spaces are accessed by one ingress point and one egress point, each measuring 10-ft wide. Parking is adequate for the project and complies with maximums prescribed by the Planning Code.

URBAN DESIGN ELEMENT

OBJECTIVES AND POLICIES

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.7:

Recognize the natural boundaries of districts, and promote connections between districts.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.6:

Respect the character of older development nearby in the design of new buildings.

The Project is located within the Dogpatch neighborhood, which is characterized by the mix of residential and industrial uses. As such, the Project provides expressive street façades, which respond to the form, scale and material palette of the existing neighborhood, while also providing a new contemporary architectural vocabulary.

OBJECTIVE 4:

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.5:

Design walkways and parking facilities to minimize danger to pedestrians.

Policy 4.13:

Improve pedestrian areas by providing human scale and interest.

Although the project site has two street frontages, it only provides two vehicular access points for the entire project, limiting conflicts with pedestrians and bicyclists. Numerous street trees will be planted on Indiana Street, and a publically-accessible dog park will be constructed along 20th Street. Ample frontages, common and private open spaces, and ground floor dwelling units with direct accessing to street will be provided. Along the project site, the pedestrian experience will be greatly improved.

CENTRAL WATERFRONT AREA PLAN

OBJECTIVES AND POLICIES

Land Use

OBJECTIVE 1.2

IN AREAS OF THE CENTRAL WATERFRONT WHERE HOUSING AND MIXED-USE IS ENCOURAGED, MAXIMIZE DEVELOPMENT POTENTIAL IN KEEPING WITH NEIGHBORHOOD CHARACTER.

Policy 1.2.1

Ensure that infill housing development is compatible with its surroundings.

Policy 1.2.3

In general, where residential development is permitted, control residential density through building height and bulk guidelines and bedroom mix requirements.

Housing

OBJECTIVE 2.1

ENSURE THAT A SIGNIFICANT PERCENTAGE OF NEW HOUSING CREATED IN THE CENTRAL WATERFRONT IS AFFORDABLE TO PEOPLE WITH A WIDE RANGE OF INCOMES.

Policy 2.1.2

Provide land and funding for the construction of new housing affordable to very low and low-income households.

OBJECTIVE 2.3

REQUIRE THAT A SIGNIFICANT NUMBER OF UNITS IN NEW DEVELOPMENTS HAVE TWO OR MORE BEDROOMS EXCEPT SENIOR HOUSING AND SRO DEVELOPMENTS UNLESS ALL BELOW MARKET RATE UNITS ARE TWO OR MORE BEDROOM UNITS.

Policy 2.3.3

Require that a significant number of units in new developments have two or more bedrooms, except Senior Housing and SRO developments.

Policy 2.3.6

Establish an impact fee to be allocated towards an Eastern Neighborhoods Public Benefit Fund to mitigate the impacts of new development on transit, pedestrian, bicycle, and street improvements, park and recreational facilities, and community facilities such as libraries, child care and other neighborhood services in the area.

Urban Form

OBJECTIVE 3.1

PROMOTE AN URBAN FORM THAT REINFORCES THE CENTRAL WATERFRONT'S DISTINCTIVE PLACE IN THE CITY'S LARGER FORM AND STRENGTHENS ITS PHYSICAL FABRIC AND CHARACTER.

Policy 3.1.6

New buildings should epitomize the best in contemporary architecture, but should do so with full awareness of, and respect for, the height, mass, articulation and materials of the best of the older buildings that surrounds them.

OBJECTIVE 3.2

PROMOTE AN URBAN FORM AND ARCHITECTURAL CHARACTER THAT SUPPORTS WALKING AND SUSTAINS A DIVERSE, ACTIVE AND SAFE PUBLIC REALM.

Policy 3.2.1

Require high quality design of street-facing building exteriors.

The Project is a new larger-scale residential development. The Project provides the appropriate use encouraged by the Area Plan for this location. In addition, the Project is located within the prescribed height and bulk guidelines, and includes the appropriate dwelling unit mix, since 40% are two- or three-bedroom dwellings. The Project introduces a contemporary architectural vocabulary, which is sensitive to the prevailing scale and neighborhood fabric. The Project provides for a high quality designed exterior, which features a variety of materials, colors and textures, including brick veneer, metal wall panels, and corrugated metal. The Project will also pay the appropriate development impact fees, including the Eastern Neighborhoods Impact Fees.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site does not possess any retail use. The Project would add new residents, visitors, and employees to the neighborhood, which would assist in strengthening nearby retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No housing exists on the project site. The project will provide up to 326 new dwelling units, thus resulting in a significant increase in the neighborhood housing stock. The Project is expressive in design, and relates to the scale and form of the surrounding neighborhood by providing relationships to the mid-to-large-scale industrial properties. For these reasons, the proposed project would protect and preserve the cultural and economic diversity of the neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced.

The Project will not displace any affordable housing because there is currently no housing on the site. The Project will comply with the City's Inclusionary Housing Program by contributing to the fund for new affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project site is well-served by public transportation. The Project is located within three blocks of the MUNI T-Line Station. In addition, the Project is located within walking distance to the 22nd Street Caltrain Station. Future residents would be afforded close proximity to bus or rail transit. The Project also provides sufficient off-street parking and sufficient bicycle parking for residents and their guests.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project is consistent with the Central Waterfront Area Plan, which provides for a balance between industrial and residential development. The Project does not include commercial office development, and provides new opportunities for housing, which is a top priority for the City.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

There are no landmarks or historic buildings on the project site. The Project would not impact the adjacent Dogpatch Landmark District.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will will cast additional shadow on the nearby Espirit Park and will have an effect on a property managed and owned by the Recreation and Parks Commission. As noted in Planning Commission Motion No. XXXXX, the additional shadow cast by the Project would not be adverse to the usability of Espirit Park.

9. **First Source Hiring.** The Project is subject to the requirements of the First Source Hiring Program as they apply to permits for residential development (Section 83.4(m) of the Administrative

Code), and the Project Sponsor shall comply with the requirements of this Program as to all construction work and on-going employment required for the Project. Prior to the issuance of any building permit to construct or a First Addendum to the Site Permit, the Project Sponsor shall have a First Source Hiring Construction and Employment Program approved by the First Source Hiring Administrator, and evidenced in writing. In the event that both the Director of Planning and the First Source Hiring Administrator agree, the approval of the Employment Program may be delayed as needed.

The Project Sponsor submitted a First Source Hiring Affidavit and prior to issuance of a building permit will execute a First Source Hiring Memorandum of Understanding and a First Source Hiring Agreement with the City's First Source Hiring Administration.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Large Project Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Large Project Authorization Application No. 2011.1374X** under Planning Code Section 329 to allow the new construction of a five-story residential building with 326 dwelling units, and a modification to the requirements for: 1) rear yard (Planning Code Section 134); 2) open space (Planning Code Section 135); 3) permitted obstructions over the street, yard or useable open space (Planning Code Section 136); 4) dwelling unit exposure (Planning Code Section 140); 5) off-street loading (Planning Code Section 152.1); and, 6) horizontal mass reduction (Planning Code Section 270.1(d)), within the UMU (Urban Mixed-Use) Zoning District, and a 58-X Height and Bulk District. The project is subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated December 1, 2014, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth, and adopts the MMRP, attached as "Attachment B" to the CEQA Findings Motion No. XXXXX, as conditions of approval, incorporated herein as part of this Motion as though fully set forth herein.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Section 329 Large Project Authorization to the Board of Appeals within fifteen (15) days after the date of this Motion. The effective date of this Motion shall be the date of adoption of this Motion if not appealed (after the 15-day period has expired) OR the date of the decision of the Board of Appeals if appealed to the Board of Appeals. For further information, please contact the Board of Appeals at (415) 575-6880, 1660 Mission, Room 3036, San Francisco, CA 94103.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on December 18, 2014.

Jonas P. Ionin

**Draft Motion
December 18, 2014**

**CASE NO. 2011.1374KX
800 Indiana Street**

Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: December 18, 2014

EXHIBIT A

AUTHORIZATION

This authorization is for a Large Project Authorization to allow for the new construction of a five-story residential building with 326 dwelling units, and a modification to the requirements for rear yard, open space, permitted obstructions over the street, yard and useable open space, dwelling unit exposure, off-street loading, and horizontal mass reduction, located at 800 Indiana Street, Lot 009 in Assessor's Block 4105, pursuant to Planning Code Section 329 within the UMU (Urban Mixed-Use) Zoning District, and a 58-X Height and Bulk District; in general conformance with plans, dated December 1, 2014, and stamped "EXHIBIT B" included in the docket for Case No. 2011.1374X and subject to conditions of approval reviewed and approved by the Commission on December 18, 2014 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on December 18, 2014 under Motion No. XXXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Office Development Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfpplanning.org

Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfpplanning.org

Diligent Pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfpplanning.org

Extension. All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfpplanning.org

Conformity with Current Law. No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfpplanning.org

Mitigation Measures. Mitigation measures described in the MMRP attached as “Attachment B” to the CEQA Findings Motion No. XXXXX are necessary to avoid potential significant effects of the proposed project and have been agreed to by the project sponsor. Their implementation is a condition of approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Additional Project Authorization. The Project Sponsor must obtain an authorization under Planning Code Section 295 for a project which would cast shadow upon a property under the jurisdiction of the Recreation and Parks Commission, and satisfy all the conditions thereof. The conditions set forth below are additional conditions required in connection with the Project. If these conditions overlap with any other requirement imposed on the Project, the more restrictive or protective condition or requirement, as determined by the Zoning Administrator, shall apply.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

Final Materials. The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Street Trees. Pursuant to Planning Code Section 138.1 (formerly 143), the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species for every 20 feet of street frontage along public or private streets bounding the Project, with any remaining fraction of 10 feet or more of frontage requiring an extra tree, shall be provided. The street trees shall be evenly spaced along the street frontage except where proposed driveways or other street obstructions do not permit. The exact location, size and species of tree shall be as approved by the Department of Public Works (DPW). In any case in which DPW cannot grant approval for installation of a tree in the public right-of-way, on the basis of inadequate sidewalk width, interference with utilities or other reasons regarding the public welfare, and where installation of such tree on the lot itself is also impractical, the requirements of this Section 428 may be modified or waived by the Zoning Administrator to the extent necessary.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Garbage, Composting and Recycling Storage. Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Rooftop Mechanical Equipment. Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application for each building. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Streetscape Plan. Pursuant to Planning Code Section 138.1, the Project Sponsor shall continue to work with Planning Department staff, in consultation with other City agencies, to refine the design and programming of the Streetscape Plan so that the plan generally meets the standards of the Better Streets Plan and all applicable City standards. The Project Sponsor shall complete final design of all required street improvements, including procurement of relevant City permits, prior to issuance of first architectural addenda, and shall complete construction of all required street improvements prior to issuance of first temporary certificate of occupancy.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

Unbundled Parking. All off-street parking spaces shall be made available to Project residents only as a separate “add-on” option for purchase or rent and shall not be bundled with any Project dwelling unit for the life of the dwelling units. The required parking spaces may be made available to residents within a quarter mile of the project. All affordable dwelling units pursuant to Planning Code Section 415 shall have equal access to use of the parking as the market rate units, with parking spaces priced commensurate with the affordability of the dwelling unit. Each unit within the Project shall have the first right of refusal to rent or purchase a parking space until the number of residential parking spaces are no longer available. No conditions may be placed on the purchase or rental of dwelling units, nor may homeowner’s rules be established, which prevent or preclude the separation of parking spaces from dwelling units.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parking Maximum. Pursuant to Planning Code Section 151.1, the Project shall provide no more than 260 off-street parking spaces for the 326 dwelling units contained therein.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Car Share. Pursuant to Planning Code Section 166, no fewer than two (2) car share spaces shall be made available, at no cost, to a certified car share organization for the purposes of providing car share services for its service subscribers.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Bicycle Parking. Pursuant to Planning Code Sections 155.1, 155.4, and 155.5, the Project shall provide no fewer than **195** Class 1 bicycle parking spaces and **16** Class 2 bicycle parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Managing Traffic During Construction. The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

First Source Hiring. The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org

Eastern Neighborhoods Infrastructure Impact Fee. Pursuant to Planning Code Section 423 (formerly 327), the Project Sponsor shall comply with the Eastern Neighborhoods Public Benefit Fund provisions through payment of an Impact Fee pursuant to Article 4.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING

Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Revocation Due to Violation of Conditions. Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints

to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

Garbage, Recycling, and Composting Receptacles. Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>

Sidewalk Maintenance. The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Lighting. All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

INCLUSIONARY HOUSING

1. **Requirement.** Pursuant to Planning Code 415.5, the Project Sponsor must pay an Affordable Housing Fee at a rate equivalent to the applicable percentage of the number of units in an off-site project needed to satisfy the Inclusionary Affordable Housing Program Requirement for the principal project. Per Planning Code Section 419.3(b)(1)(A), the applicable percentage for this project is twenty-three percent (23%).

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing at 415-701-5500, www.sf-moh.org.

2. **Other Conditions.** The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and the terms of the City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the Mayor's Office of Housing ("MOH") at 1 South Van Ness Avenue or on the Planning Department or Mayor's Office of Housing's websites, including on the internet at:

<http://sf-planning.org/Modules/ShowDocument.aspx?documentid=4451>.

As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale or rent.

- a. The Project Sponsor must pay the Fee in full sum to the Development Fee Collection Unit at the DBI for use by MOH prior to the issuance of the first construction document, with an option for the Project Sponsor to defer a portion of the payment prior to issuance of the first certificate of occupancy upon agreeing to pay a deferral surcharge that would be deposited into the Citywide Inclusionary Affordable Housing Fund in accordance with Section 107A.13.3 of the San Francisco Building Code.
- b. Prior to the issuance of the first construction permit by the DBI for the Project, the Project Sponsor shall record a Notice of Special Restriction on the property that records a copy of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOH or its successor.
- c. If project applicant fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor's failure to comply with the requirements of Planning Code Sections 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all other remedies at law.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing at 415-701-5500, www.sf-moh.org.

EXHIBIT B

800 INDIANA STREET - MITIGATION MONITORING AND REPORTING PROGRAM (Including Improvement Measures)

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES AGREED TO BY PROJECT SPONSOR					
CULTURAL RESOURCES					
Mitigation Measure M-CP-1 – Archeological Resources Accidental Discovery (Implements Eastern Neighborhoods FEIR Mitigation Measure J-2: Properties with No Previous Studies).	Project sponsor, contractor(s)	Prior to construction	Distribute the Planning Department “ALERT” sheet to prime and subcontractors, or utilities firms involved in soil disturbing activities.	Project sponsor, contractor(s) to provide ERO with a signed affidavit from responsible parties	Considered complete upon receipt of signed affidavit
The following mitigation measure will be taken to avoid any potential adverse effect from the proposed project on accidentally discovered buried or submerged historical resources as defined in CEQA Guidelines Section 15064.5(a)(c). The project sponsor shall distribute the Planning Department archeological resource “ALERT” sheet to the project prime contractor; to any project subcontractor (including demolition, excavation, grading, foundation, and pile driving firms); or utilities firm involved in soils disturbing activities within the project site. Before any soils disturbing activities are undertaken, each contractor shall be responsible for ensuring that the “ALERT” sheet is circulated to all field personnel, including machine operators, field crew, pile drivers, and supervisory personnel. The project sponsor shall provide the Environmental Review Officer (ERO) with a signed affidavit from the responsible parties (i.e., prime contractor, subcontractor(s), and utilities firm) to the ERO, confirming that all field personnel have received copies of the “ALERT” Sheet.	Project sponsor, contractor(s)	During construction	Suspend soil disturbing activity in the immediate vicinity of the discovery and notify the ERO	Project sponsor, contractor(s)	Considered complete upon receipt of final monitoring report at completion of construction
If any indication of an archeological resource is encountered during any soil disturbing activity of the proposed project, the Head Foreman and/or project sponsor shall notify the ERO immediately and shall suspend any soil disturbing activities immediately in the vicinity of the discovery until the ERO has determined what additional measures need to be undertaken.					

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>If the ERO determines that an archeological resource may be present within the project site, the project sponsor shall retain the services of an archeological consultant from the pool of qualified archeological consultants maintained by the Planning Department archaeologist. The archeological consultant shall advise the ERO as to whether the discovery is an archeological resource, retains sufficient integrity, and is of potential scientific/historical/cultural significance. If an archeological resource is present, the archeological consultant shall identify and evaluate the archeological resource. The archeological consultant shall make a recommendation as to what action, if any, is warranted. Based on this information, the ERO may require, if warranted, specific additional measures to be implemented by the project sponsor.</p> <p>These measures may include: preservation in situ of the archeological resource; an archeological monitoring program; or an archeological testing program. If an archeological monitoring program or archeological testing program is required, it will be consistent with the Environmental Planning (EP) division guidelines for such programs. The ERO also may require that the project sponsor immediately implement a site security program if the archeological resource is at risk from vandalism, looting, or other damaging actions.</p>	<p>Project Sponsor/ Archeological consultant, at the direction of the ERO</p>	<p>During construction</p>	<p>Project sponsor to retain archeological consultant to evaluate the archeological resource, implement additional measures if warranted by the ERO</p>	<p>Project Sponsor, Archeological consultant and ERO</p>	<p>Considered complete upon receipt of final monitoring report at completion of construction</p>
<p>The project archeological consultant shall submit a Final Archeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describes the archeological and historical research methods employed in the archeological monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.</p>	<p>Project Sponsor/ Archeological consultant at the direction of the ERO</p>	<p>After completion of archeological data recovery, inventory, analysis and interpretation</p>	<p>Submit a Draft Final Archeological Resources Report (FARR)</p>	<p>Archeological consultant and ERO</p>	<p>Considered complete on submittal of FARR</p>

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>Copies of the Draft FARR shall be sent to the ERO for review and approval. Once approved by the ERO, copies of the FARR shall be distributed as follows: the California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Environmental Planning division of the Planning Department shall receive one bound copy, one unbound copy, and one unlocked, searchable PDF copy on CD, and three copies of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest or interpretive value, the ERO may require a different final report content, format, and distribution than that presented above.</p>	<p>Project Sponsor/ Archaeological consultant at the direction of the ERO</p>	<p>After approval of FARR by ERO</p>	<p>Distribute FARR</p>	<p>Archaeological consultant and ERO</p>	<p>Considered complete upon distribution of FARR</p>
<p>Mitigation Measure M-CP-1a Complete HABS Documentation. Implementation of this mitigation measure would not reduce the impact to the historical resource to a less than significant level. Therefore, the impacts related to the demolition would remain significant and unavoidable even with the incorporation of mitigation. To partially offset the loss of the historical resource onsite, the project sponsor shall at a minimum, prepare a Historic American Building Survey (HABS) before demolition of the structure onsite. The documentation shall be prepared by a qualified professional who meets the standards for history, architectural history, or architecture (as appropriate), as set forth by the Secretary of the Interior's Professional Qualification Standards (36 CFR, Part 61). The documentation shall consist of the following:</p>	<p>Project Sponsor/qualified historic preservation professional, at the direction of the Planning Department Preservation Technical Specialist</p>	<p>Prior to construction</p>	<p>Prepare a HABS documentation consisting of HABS-level photography and HABS historical report</p>	<p>Project Sponsor/qualified historic preservation professional, and Planning Department Preservation Technical Specialist</p>	<p>Considered complete upon approval of the HABS documentation and dissemination to Planning Department, San Francisco Library History Room, Northwest Information Center-California Historical Resource Information System and San Francisco Architectural Heritage</p>

- HABS-Level Photography: Archival photographs of the interior and the exterior of the subject property. Large format negatives are not required. The scope of the archival photographs should be reviewed by Planning Department Preservation staff for concurrence. The photography shall be

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>undertaken by a qualified professional with demonstrated experience in HABS Photography, and shall be labeled according to HABS Photography Standards; and</p> <ul style="list-style-type: none"> <p>HABS Historical Report: Preparation of a written historical narrative and report, per HABS Historical Report Guidelines.</p> <p>The professional shall prepare the documentation and submit it for review and approval by the Planning Department's Preservation Technical Specialist. The final documentation shall be disseminated to the Planning Department, San Francisco Library History Room, Northwest Information Center-California Historical Resource Information System and San Francisco Architectural Heritage.</p> 	<p>Project Sponsor/contractor(s) at the direction of the Planning Department Preservation Technical Specialist</p>	<p>Prior to and during construction</p>	<p>Prepare and implement a salvage program</p>	<p>Project Sponsor/contractor(s) and Planning Department Preservation Technical Specialist</p>	<p>Considered complete upon approval of the salvage program and receipt of final monitoring report at completion of construction</p>
<p>Mitigation Measure M-CP-1b Salvage Program. The project sponsor shall undertake a salvage program to save and promote reuse of the on-site warehouse building's historically significant materials and features to the extent reasonably feasible, namely any unpainted steel-sash industrial windows throughout, and the sheet metal entablature on the office building. Salvage allows for the removal of individual architectural elements for potential reuse. Salvaged elements can be reused at the proposed project site, or can be given to an architectural salvage company. Salvage will have the added benefit of landfill and waste diversion. The salvage program shall be reviewed and approved by a Planning Department Preservation Technical Specialist.</p>	<p>Project Sponsor/qualified historic preservation professional, at the direction of the Planning Department Preservation Technical Specialist</p>	<p>Prior to occupancy</p>	<p>Prepare and install interpretive program on-site</p>	<p>Project Sponsor/qualified historic preservation professional, and Planning Department Preservation Technical Specialist</p>	<p>Considered complete upon approval of the interpretive program and receipt of final monitoring report</p>
<p>Mitigation Measure M-CP-1c Interpretive Program. The project sponsor shall install a permanent on-site interpretive display in a publicly-accessible outdoor location, such as in one of the plazas along Indiana Street or within the open space area of the variants. The display shall focus on the history of the 800 Indiana Street site, including the Ralston Iron Works and the A.M. Castle & Co. that were previously located on the site. The primary goal</p>	<p>Project Sponsor/qualified historic preservation professional, at the direction of the Planning Department Preservation Technical Specialist</p>	<p>Prior to occupancy</p>	<p>Prepare and install interpretive program on-site</p>	<p>Project Sponsor/qualified historic preservation professional, and Planning Department Preservation Technical Specialist</p>	<p>Considered complete upon approval of the interpretive program and receipt of final monitoring report</p>

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>shall be to educate visitors about the property's historic themes, associations, and lost character-defining features within broader historical, social, and physical landscape contexts. The project sponsor shall work with a historic preservation professional so that the historical information provided in the HRE and supporting documentation and in the HABS report are used as a basis for the interpretive display onsite. The interpretive display shall be reviewed and approved by a Planning Department Preservation Technical Specialist.</p>	Specialist				at completion of construction
<p>NOISE</p> <p>Mitigation Measure M-NO-1 – Construction Noise (Implements Eastern Neighborhoods FEIR Mitigation Measure F-1: Construction Noise). For subsequent development projects within proximity to noise-sensitive uses that would include pile-driving, individual project sponsors shall ensure that piles be pre-drilled wherever feasible to reduce construction-related noise and vibration. No impact pile drivers shall be used unless absolutely necessary. Contractors would be required to use pile-driving equipment with state-of-the-art noise shielding and muffling devices. To reduce noise and vibration impacts, sonic or vibratory sheetpile drivers, rather than impact drivers, shall be used wherever sheetpiles are needed. Individual project sponsors shall also require that contractors schedule pile-driving activity for times of the day that would minimize disturbance to neighbors.</p>	Project sponsor, contractor(s)	During construction	Pre-drill piles wherever feasible, use noise-shielding and muffling devices on pile-driving equipment, schedule pile-driving activity for times of day that would minimize disturbance.	Project sponsor, contractor(s), DBI to provide Planning Department with monthly reports during construction period	Considered complete upon receipt of final monitoring report at completion of construction
<p>Mitigation Measure M-NO-2 – Construction Noise (Implements Eastern Neighborhoods FEIR Mitigation Measure F-2: Construction Noise). Where environmental review of a development project undertaken subsequent to the adoption of the proposed zoning controls determines that construction noise controls are necessary due to the nature of planned construction practices and the sensitivity of proximate uses, the Planning Director shall require that the sponsors of the subsequent</p>	Project sponsor, contractor(s)	During construction	Identify a set of site-specific noise attenuation measures/control strategies under the supervision of a qualified acoustical consultant	Project sponsor, contractor(s), DBI to provide Planning Department with monthly reports during construction period	Considered complete upon receipt of final monitoring report at completion of construction

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>development project develop a set of site-specific noise attenuation measures under the supervision of a qualified acoustical consultant. Prior to commencing construction, a plan for such measures shall be submitted to the Department of Building Inspection to ensure that maximum feasible noise attenuation will be achieved. These attenuation measures shall include as many of the following control strategies as feasible:</p> <ul style="list-style-type: none"> ■ Erect temporary plywood noise barriers around a construction site, particularly where a site adjoins noise-sensitive uses. ■ Utilize noise control blankets on a building structure as the building is erected to reduce noise emission from the site. ■ Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings housing sensitive uses. ■ Monitor the effectiveness of noise attenuation measures by taking noise measurements. ■ Post signs on-site pertaining to permitted construction days and hours and complaint procedures and who to notify in the event of a problem, with telephone numbers listed. 					

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>Mitigation Measure M-NO-3 – Open Space in Noise Environments (implements Eastern Neighborhoods FEIR Mitigation Measure F-6). To minimize effects on development in noisy areas, for new development including noise sensitive uses, the Planning Department shall, through its building permit review process, in conjunction with noise analysis required pursuant to Mitigation Measure F-4, require that open space required under the <i>Planning Code</i> for such uses be protected, to the maximum feasible extent, from existing ambient noise levels that could prove annoying or disruptive to users of the open space. Implementation of this measure could involve, among other things, site design that uses the building itself to shield on-site open space from the greatest noise sources, construction of noise barriers between noise sources and open space, and appropriate use of both common and private open space in multi-family dwellings, and implementation would also be undertaken consistent with other principles of urban design.</p>	<p>Project sponsor, contractor(s)</p>	<p>Prior to issuance of grading or building permits</p>	<p>Project Sponsor to demonstrate that residential open space is protected to maximum feasible extent from existing ambient noise levels</p>	<p>San Francisco Planning Department and Department of Building Inspection (DBI)</p>	<p>Considered complete after DBI approval of final construction documents</p>
<p>HAZARDOUS MATERIALS</p>	<p>Project sponsor, contractor(s)</p>	<p>Prior to demolition of structures</p>	<p>Ensure equipment containing PCBs or DEHP and other hazardous materials is properly disposed</p>	<p>Project sponsor, contractor(s), DPH, various federal and state agencies</p>	<p>Considered complete when equipment containing PCBs or DEHP or other hazardous materials is properly disposed</p>
<p>Mitigation Measure M-HZ-1 – Hazardous Building Materials (implements Eastern Neighborhoods FEIR Mitigation Measure L-1). The City shall condition future development approvals to require that the subsequent project sponsors ensure that any equipment containing PCBs or DEHP, such as fluorescent light ballasts, are removed and properly disposed of according to applicable federal, state, and local laws prior to the start of renovation, and that any fluorescent light tubes, which could contain mercury, are similarly removed and properly disposed of. Any other hazardous materials identified, either before or during work, shall be abated according to applicable federal, state, and local laws.</p>	<p>Project sponsor, contractor(s)</p>	<p>Prior to demolition of structures</p>	<p>Ensure equipment containing PCBs or DEHP and other hazardous materials is properly disposed</p>	<p>Project sponsor, contractor(s), DPH, various federal and state agencies</p>	<p>Considered complete when equipment containing PCBs or DEHP or other hazardous materials is properly disposed</p>

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
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IMPROVEMENT MEASURES AGREED TO BY PROJECT SPONSOR

TRANSPORTATION AND CIRCULATION

Improvement Measure I-TR-1 – Residential Transportation Demand Management Program. The Project Sponsor shall implement Transportation Demand Management (TDM) measures to reduce traffic generated by the proposed project and to encourage the use of rideshare, transit, bicycle, and walk modes for trips to and from the proposed project. In addition, prior to issuance of a temporary permit of building occupancy, the project sponsor must execute an agreement with the Planning Department for the provision of TDM services. The TDM program shall have a monitoring component to ascertain its effectiveness. A monitoring program is included as Improvement Measure TR-2: TDM Monitoring. Recommended components of the TDM program include the following:

TDM Program

The project sponsor should implement the following TDM measures at a minimum:

- **TDM Coordinator:** Provide TDM training to property managers/coordinators. The TDM coordinator should be the single point of contact for all transportation-related questions from residents and City staff.
- **Transportation Information:**
 - **Move-in packet:** Provide a transportation insert for the move-in packet that includes information on transit service (Muni and BART lines, schedules and fares), information on where transit passes may be purchased, and information on the 511 Regional Rideshare Program.
 - **Current transportation information:** Provide ongoing local and regional transportation information (e.g., transit maps and schedules, maps of bicycle routes, internet links) for

Project sponsor, TDM Coordinator, and/or Planning Department staff (with possible assistance from City-hired consultant), as detailed for each TDM program component	Prior to and during occupancy	Implement TDM measures and enter into agreement for the provision of TDM services; carry out TDM program components as specified in Improvement Measure language	Project sponsor and Planning Department	Ongoing, specific for each TDM program component (refer to Improvement Measure language)
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MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>new and existing tenants. Other strategies may be proposed by the Project Sponsor and should be approved by City staff.</p> <p>Ride Board: Provide a "ride board" (virtual or real) through which residents can offer/request rides, such as on the Homeowners Association website and/or lobby bulletin board. Other strategies may be proposed by the Project Sponsor and should be approved by City staff.</p>					
<ul style="list-style-type: none"> ■ Bicycle Access: ■ Signage: Ensure that the points of access to bicycle parking through elevators on the ground floor and the garage ramp include signage indicating the location of these facilities. ■ Tenant Cooperation: Encourage retail tenants to allow bicycles in the workplace. 					
<ul style="list-style-type: none"> ■ Car Share Access: <p>Ensure that points of access to car share spaces are made convenient and easy to use (e.g., signage from public right-of-way and internal lobbies).</p>					
<p>Improvement Measure I-TR-2 – Transportation Demand Management (TDM) Monitoring Program. The Planning Department shall provide the TDM Coordinator with a clearly formatted "Resident Transportation Survey" (online or in paper format) to facilitate the collection and presentation of travel data from residents at the following times: (a) One year after 85 percent occupancy of all dwelling units in the new building; and (b) every two years thereafter, based on a standardized schedule prepared and circulated by the Planning Department staff to the TDM Coordinator.</p>	<p>Project Sponsor, TDM Coordinator, and Planning Department (with possible assistance from City-hired consultant)</p>	<p>One year after 85 percent occupancy of all dwelling units in the new building; and every two years thereafter, based on a standardized schedule</p>	<p>Coordinate, distribute and collect the Residential Transportation Survey and the Building Transportation Survey. Allow trip counts and intercept surveys to be conducted on the premises by City staff or a City-hired consultant.</p>	<p>Project sponsor, TDM Coordinator and Planning Department</p>	<p>Ongoing; considered complete upon conclusion of all required surveys</p>

The TDM Coordinator shall collect responses from no less than

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>33 percent of residents within the newly occupied dwelling units within ninety (90) days of receiving the Resident Transportation Survey from the Planning Department. The Planning Department shall assist the TDM Coordinator in communicating the purpose of the survey, and shall ensure that the identities of individual resident responders are protected. The Department shall provide professionally prepared and easy-to-complete online (or paper) survey forms to assist with compliance.</p>		<p>prepared and circulated by the Planning Department staff to the TDM Coordinator</p>			
<p>The Planning Department shall also provide the TDM Coordinator with a separate "Building Transportation Survey" that documents which TDM measures have been implemented during the reporting period, along with basic building information (e.g., percent unit occupancy, off-site parking utilization by occupants of building, loading frequency, etc.). The Building Transportation Survey shall be completed by the TDM Coordinator and submitted to City staff within thirty (30) days of receipt.</p>					
<p>The Project Sponsor shall also allow trip counts and intercept surveys to be conducted on the premises by City staff or a City-hired consultant. Access to residential lobbies, garages, etc. shall be granted by the Project Sponsor and facilitated by the TDM Coordinator. Trip counts and intercept surveys are typically conducted for 2 to 5 days between 6 AM and 8 PM on both weekdays and weekends.</p>					
<p>Improvement Measure I-TR-3 – Enhanced TDM Program – Car Share</p> <ul style="list-style-type: none"> ■ Project sponsor shall provide Car Share membership and on-site car-share spaces beyond Planning Code requirements. ■ Car Share Membership: Offer a 50 percent subsidy for one (1) annual car-share membership per unit, per year, on request. Include information in the move-in packet. Resident would be responsible for the cost of 50 percent of the annual 	<p>Project Sponsor, TDM Coordinator, and Planning Department (with possible assistance from City-hired consultant)</p>	<p>Prior to and during occupancy</p>	<p>Implement TDM measures and enter into agreement for the provision of TDM services; carry out TDM program components as specified in Improvement Measure language</p>	<p>Project sponsor, TDM Coordinator and Planning Department</p>	<p>Ongoing, specific for each TDM program component (refer to Improvement Measure language)</p>

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>membership as well as usage charges.</p> <ul style="list-style-type: none"> Car Share Fleet: Increase the number of on-site car-share spaces beyond Planning Code requirements). These car share spaces will be hosted for a minimum of 8 years starting at 85 percent project occupancy. 	Owner/operator of off-street parking facility	Upon operation of off-street parking facility	Ensure a vehicle queue does not block any portion of public street, alley, or sidewalk for a consecutive period of three minutes or longer on a daily or weekly basis	Owner/operator; Planning Department	Ongoing during operation
<p>Improvement Measure I-TR-4: Queue Abatement Condition of Approval. The owner/operator of the off-street parking facility shall ensure that recurring vehicle queues do not occur on the public right-of-way. A vehicle queue is defined as one or more vehicles (destined to the parking facility) blocking any portion of any public street, alley or sidewalk for a consecutive period of three minutes or longer on a daily or weekly basis.</p>	<p>If a recurring queue occurs, the owner/operator of the parking facility shall employ abatement methods as needed to abate the queue. Suggested abatement methods include but are not limited to the following: redesign of facility to improve vehicle circulation and/or on-site queue capacity; employment of parking attendants; use of valet parking or other space-efficient parking techniques; use of off-site parking facilities or shared parking with nearby uses; use of parking occupancy sensors and signage directing drivers to available spaces; or travel demand management strategies such as additional bicycle parking.</p>	<p>If the Planning Director, or his or her designee, suspects that a recurring queue is present, the Department shall notify the property owner in writing. Upon request, the owner/operator shall hire a qualified transportation consultant to evaluate the conditions at the site for no less than seven days. The consultant shall prepare a monitoring report to be submitted to the Department for review. If the Department determines that a recurring queue does exist, the facility owner/operator shall have 90 days from the date of the written determination to abate the queue.</p>			

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>Improvement Measure I-TR-5: Construction Management. To minimize the construction-related disruption of the general traffic flow on adjacent streets during the AM and PM peak periods, truck movements and deliveries should be limited during peak hours (generally 7:00 to 9:00 AM and 4:00 to 6:00 PM, or other times, as determined by SFMTA and its Transportation Advisory Staff Committee [TASC]).</p>	Project sponsor, contractor(s)	During construction	Limit truck movements and deliveries during peak hours	Project sponsor, contractor(s)	Considered complete upon receipt of final monitoring report at completion of construction
<p>AIR QUALITY</p> <p>Improvement Measure I-AQ-1 – Enhanced Ventilation System (Eastern Neighborhoods FEIR Mitigation Measure G-2: Air Quality for Sensitive Land Uses). Because the project site is located in proximity to Interstate 280, which is identified as a freeway in the San Francisco General Plan, Transportation Element, the project sponsor should incorporate upgraded ventilation systems to minimize exposure of future residents to DPM and other pollutant emissions, as well as odors.</p> <p><i>Air Filtration and Ventilation Requirements for Sensitive Land Uses.</i> Prior to receipt of any building permit, the project sponsor shall submit an enhanced ventilation plan for the proposed building(s). The enhanced ventilation plan shall be prepared and signed by, or under the supervision of, a licensed mechanical engineer or other individual authorized by the California Business And Professions Code Sections 6700-6799. The enhanced ventilation plan shall show that the building ventilation system will be capable of achieving protection from particulate matter (PM2.5) equivalent to that associated with a Minimum Efficiency Reporting Value (MERV) 13 filtration, as defined by American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) standard 52.2. The enhanced ventilation plan shall explain in detail how the project will meet the MERV-13 performance standard identified in this measure.</p> <p><i>Maintenance Plan.</i> Prior to receipt of any building permit, the project sponsor shall present a plan that ensures ongoing</p>	Project sponsor/engineer	Prior to issuance of grading or building permits	Submit enhanced ventilation and maintenance plans for the building(s)	Project sponsor/engineer and DBI	Considered complete after DBI approval of ventilation and maintenance plans

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Mitigation Reporting Responsibility	Monitoring Schedule
<p>maintenance for the ventilation and filtration systems.</p>	Project sponsor	Prior to occupancy	Ensure disclosure to buyers and renters	Project sponsor	Ongoing
<p><i>Disclosure to buyers and renters.</i> The project sponsor shall also ensure the disclosure to buyers (and renters) that the building is located in an area with existing sources of air pollution and as such, the building includes an air filtration and ventilation system designed to remove 80 percent of outdoor particulate matter and shall inform occupants of the proper use of the installed air filtration system.</p>					



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning
Information:
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Planning Commission Motion No. XXXXX

HEARING DATE: DECEMBER 18, 2014

Date: December 18, 2014
Case No.: **2011.1374EKX**
Project Address: **800 INDIANA STREET**
Zoning: UMU (Urban Mixed-Use) Zoning District
 Life Science and Medical Special Use District
 58-X Height and Bulk District
Block/Lot: 4172/022
Project Sponsor: Joe Kirchofer, AvalonBay Communities, Inc.
 455 Market Street, Ste. 1650
 San Francisco, CA 94105
Staff Contact: Richard Sucre – (415) 575-9108
richard.sucre@sfgov.org

Recommendation: **Approval with Conditions**

ADOPTING FINDINGS, WITH THE RECOMMENDATION OF THE GENERAL MANAGER OF THE RECREATION AND PARK DEPARTMENT, IN CONSULTATION WITH THE RECREATION AND PARK COMMISSION, THAT NET NEW SHADOW ON ESPRIT PARK BY THE PROPOSED PROJECT AT 800 INDIANA STREET WOULD NOT BE ADVERSE TO THE USE OF ESPRIT PARK.

PREAMBLE

Under Planning Code Section ("Section") 295, a building permit application for a project exceeding a height of 40 feet cannot be approved if there is any shadow impact on a property under the jurisdiction of the Recreation and Park Department, unless the Planning Commission, upon recommendation from the General Manager of the Recreation and Park Department, in consultation with the Recreation and Park Commission, makes a determination that the shadow impact will not be significant or adverse.

On February 7, 1989, the Recreation and Park Commission and the Planning Commission adopted criteria establishing absolute cumulative limits for additional shadows on fourteen parks throughout San Francisco (Planning Commission Resolution No. 11595).

Esprit Park is located on Lot 002 in Assessor's Block 4061, is generally bounded by Minnesota Street to the east, 19th Street to the North, Indiana Street to the west and 20th Street to the south. Esprit Park measures approximately 79,729 square feet and is characterized by expanses of grassy lawn encircled by a walking path and an array of maturing trees. The neighborhood immediately surrounding Esprit Park is characterized by one- and two-story buildings, typically of non-residential use. The neighborhood

encompassing Esprit Park is part of the Eastern Neighborhoods Area Plan and is envisioned, generally, for increased building heights and residential density.

On an annual basis, the Theoretically Available Annual Sunlight ("TAAS") on Esprit Park (with no adjacent structures present) is approximately 296,706,366.08 square-foot-hours of sunlight. Existing structures in the area cast shadows on Esprit Park that total approximately 31,378,487 square-foot hours, or approximately 10.58 percent of the TAAS.

On January 31, 2013, Joe Kirchofer of AvalonBay Communities (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for a Shadow Impact Study and a Large Project Authorization on the property at 800 Indiana Street, located on west side of Indiana Street between 20th Street and 22nd Street; Lot 009 in Assessor's Block 4105, (hereinafter "Subject Property") to construct a five-story residential building (hereinafter "the Project"). The Project is located within the UMU (Urban Mixed Use) Zoning District and a 58-X Height and Bulk District.

A technical memorandum, prepared by CADP, was submitted on February 19, 2014, analyzing the potential shadow impacts of the Project to properties under the jurisdiction of the Recreation and Parks Department (Case No. 2011.1374K). In addition, this memorandum examined the cumulative shadow impact caused by the Project and the nearby project at 650 Indiana Street (Case No. 2012.1574K). The memorandum concluded that the Project would cast approximately 633,212.39 square-foot-hours of new shadow on Esprit Park, equal to approximately 0.213 percent of the theoretically available annual sunlight ("TAAS") on Esprit Park.

On December 18, 2014, the Recreation and Park Commission conducted a duly noticed public hearing at a regularly scheduled meeting and recommended that the Planning Commission find that the shadows cast by the Project on Esprit Park will/will not be adverse to the use of Esprit Park.

The Planning Commission has reviewed and considered reports, studies, plans and other documents pertaining to the Project.

The Planning Commission has heard and considered the testimony presented at the public hearing and has further considered the written materials and oral testimony presented on behalf of the Project Sponsor, Department staff, and other interested parties.

FINDINGS

Having reviewed the materials identified in the recitals above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The foregoing recitals are accurate, and also constitute findings of this Commission.
2. The additional shadow cast by the Project, while numerically significant, would not be adverse, and is not expected to interfere with the use of the Park, for the following reasons:
 - a. The proposed project would reduce the annual available insolation by about 0.213 percent (a reduction of 633,212.39 square foot hours of sunlight). This results in a total shadow load of 32,011,699.39 square foot hours equivalent to a shadow load of 10.79 percent of the TAAS. Additional shadow would occur from early October to early

March, primarily within the evening hours.

- b. Although the additional shadow cast by the proposed project has a numerically significant effect, the magnitude of the additional shadow is well below one percent, and amounts to a reasonable and extremely small loss of sunlight for a park in an area of slated for increased building heights and residential density.
 - c. The net new shadow cast upon Esprit Park from the Project occurs exclusively within the last hour of time for which Planning Code Section 295 is concerned; net new shadows occur exclusively in the evening.
 - d. The net new shadow cast is relatively small in area in comparison to the size of Esprit Park and at its greatest extent never exceeds 11.67 percent of the area of Esprit Park. The average duration of the net new shadow is 45 minutes and never exceeds 1 hour 54 minutes.
 - e. The Project would produce new public benefits, including, but not limited to, significant site upgrades and publically-accessible open space opportunities. The Project's new features include new sidewalk bulb-outs and landscaping, a new mid-block central plaza and a publically-accessible dog park underneath the 20th overpass
3. A determination by the Planning Commission and the Recreation and Park Commission to allocate net new shadow to the Project does not constitute an approval of the Project.

DECISION

That based upon the Record, the submissions by the Project Sponsor, the staff of the Planning Department, the recommendation of the General Manager of the Recreation and Park Department, in consultation with the Recreation and Park Commission, and other interested parties, the oral testimony presented to the Planning Commission at the public hearing, and all other written materials submitted by all parties, the Planning Commission hereby DETERMINES, under Shadow Analysis Application No. **2011.1374K**, that the net new shadow cast by the Project on Esprit Park will not be adverse to the use of Esprit Park.

I hereby certify that the foregoing Motion was ADOPTED by the Planning Commission at its regular meeting on December 18, 2014.

Jonas P. Ionin
Commission Secretary

AYES:

NAYES:

ABSENT:

ADOPTED: December 18, 2014

Parcel Map

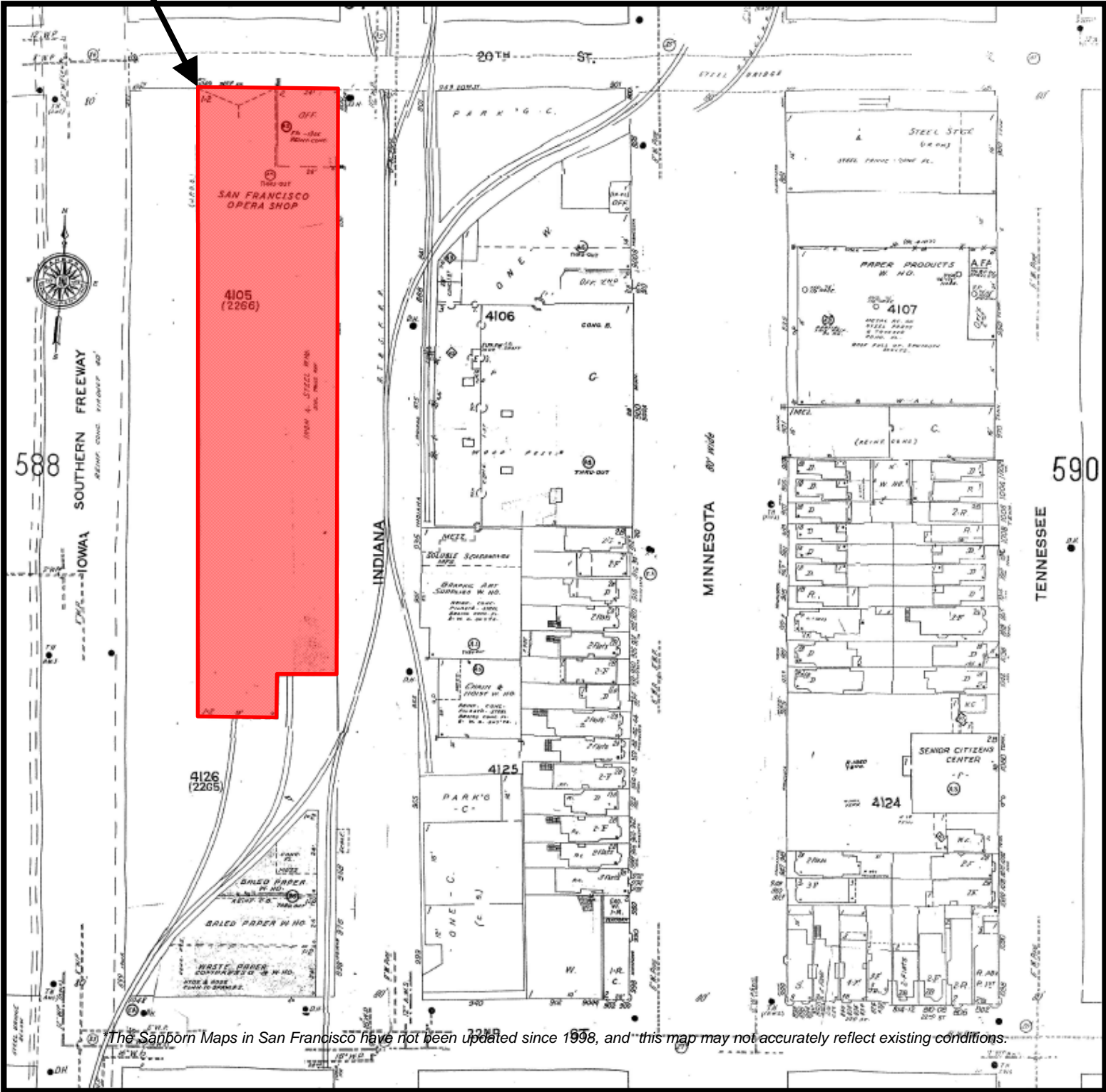
SUBJECT PROPERTY



Large Project Authorization Hearing
Case Number 2011.1374KX
800 Indiana Street

Sanborn Map*

SUBJECT PROPERTY

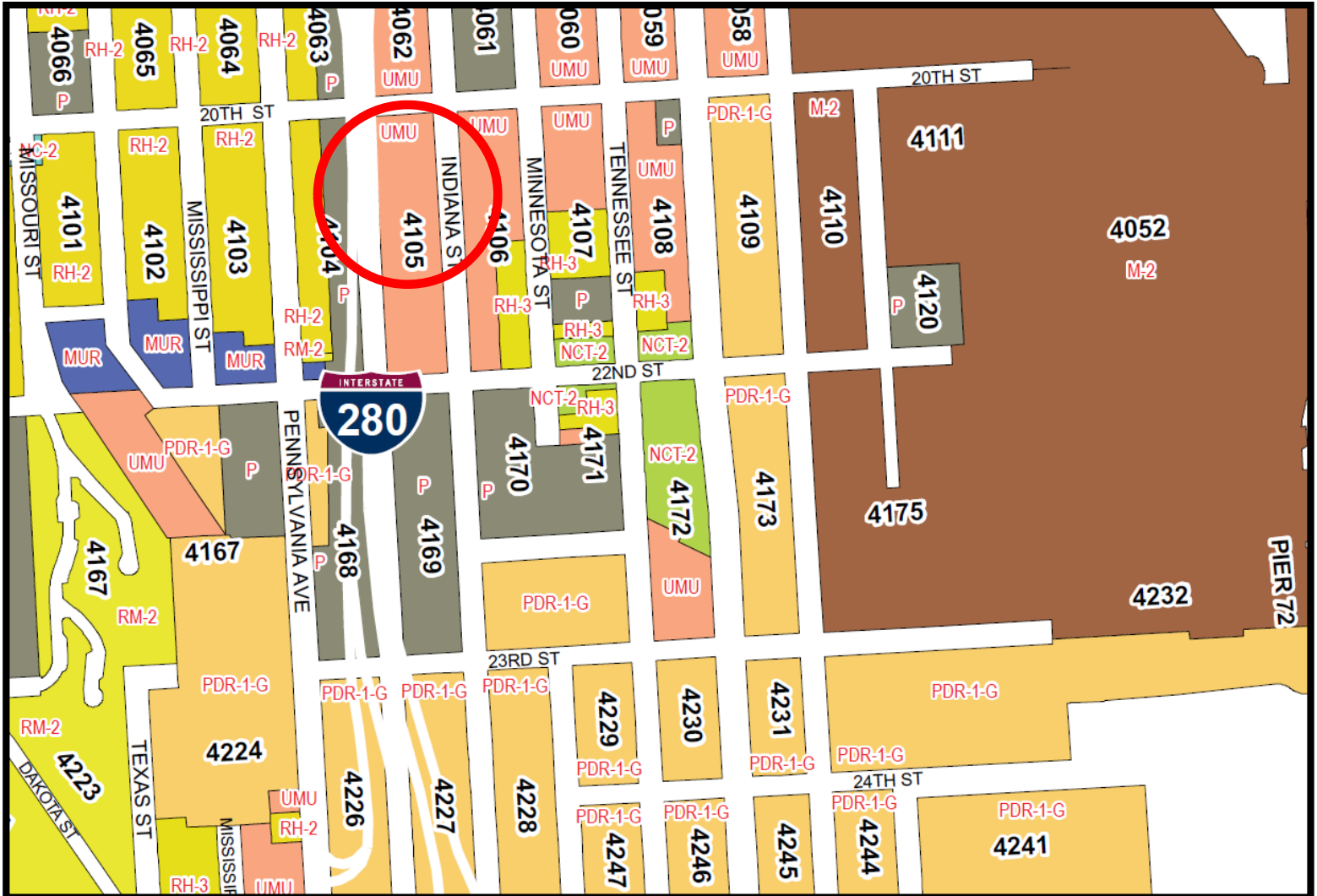


The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



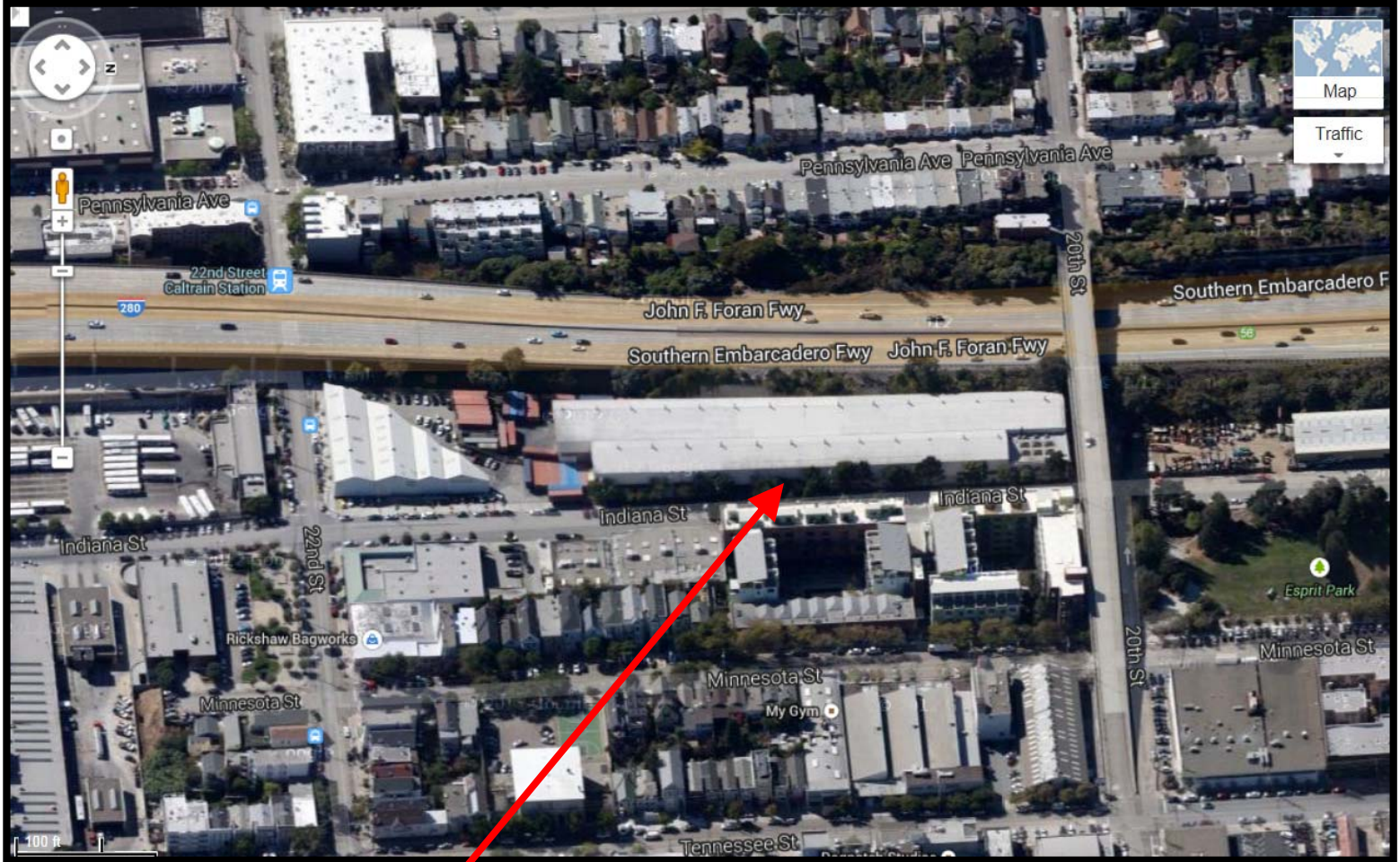
Large Project Authorization Hearing
Case Number 2011.1374KX
800 Indiana Street

Zoning Map



Large Project Authorization Hearing
Case Number 2011.1374KX
800 Indiana Street

Aerial Photo



PROJECT SITE



Large Project Authorization Hearing
Case Number 2011.1374KX
800 Indiana Street

Site Photo



800 Indiana Street, View along Indiana Street (towards 20th Street)

Large Project Authorization Hearing
Case Number 2011.1374KX
800 Indiana Street

Site Photo



800 Indiana Street, View along Indiana Street

Large Project Authorization Hearing
Case Number 2011.1374KX
800 Indiana Street

Site Photo



800 Indiana Street, View along Indiana Street (looking at 20th Street)

Large Project Authorization Hearing
Case Number 2011.1374KX
800 Indiana Street

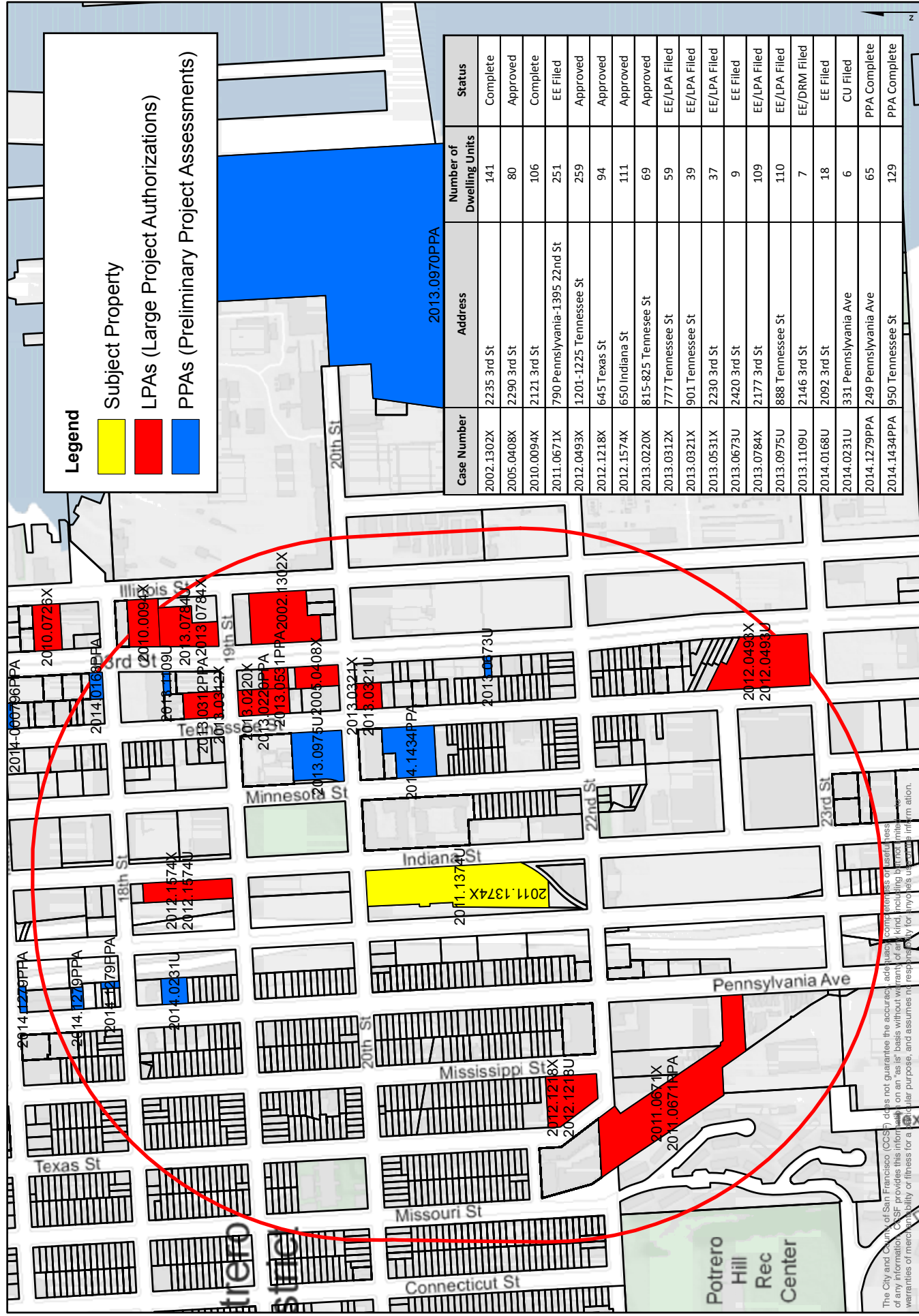
Site Photo



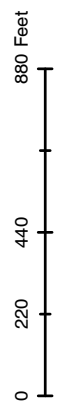
800 Indiana Street, View along Indiana Street towards 22nd Street

Large Project Authorization Hearing
Case Number 2011.1374KX
800 Indiana Street

Major Projects within .25 miles of 800 Indiana Street



The City and County of San Francisco (CCSF) does not guarantee the accuracy, adequacy, completeness or usefulness of any information. CCSF provides this information on an "as is" basis without warranty of any kind, including but not limited to, implied warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for any omissions or errors in this information.



Affidavit for Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415

12/2/2014
Date

I, JOE KIRCHOFER, do hereby declare as follows:

a. The subject property is located at (address and block/lot):

800 INDIANA STREET 4105 - 009
Address Block / Lot

b. The proposed project at the above address is subject to the Inclusionary Affordable Housing Program, Planning Code Section 415 et seq.

The Planning Case Number and/or Building Permit Number is:

2011.1374EKX 2014 0625 9383
Planning Case Number Building Permit Number

This project requires the following approval:

- Planning Commission approval (e.g. Conditional Use Authorization, Large Project Authorization)
 This project is principally permitted.

The Current Planner assigned to my project within the Planning Department is:

RICH SUCKE
Planner Name

Is this project within the Eastern Neighborhoods Plan Area?

- Yes (if yes, please indicate Tier) TIER A
 No

This project is exempt from the Inclusionary Affordable Housing Program because:

- This project uses California Debt Limit Allocation Committee (CDLAC) funding.
 This project is 100% affordable.

c. This project will comply with the Inclusionary Affordable Housing Program by:

- Payment of the Affordable Housing Fee prior to the first site or building permit issuance (Planning Code Section 415.5).
 On-site or Off-site Affordable Housing Alternative (Planning Code Sections 415.6 and 416.7).


Affidavit for Compliance with the Inclusionary Affordable Housing Program

- d. If the project will comply with the Inclusionary Affordable Housing Program through an **On-site or Off-site Affordable Housing Alternative**, please fill out the following regarding how the project is eligible for an alternative and the accompanying unit mix tables on page 4.
- Ownership.** All affordable housing units will be sold as ownership units and will remain as ownership units for the life of the project.
 - Rental.** Exemption from Costa Hawkins Rental Housing Act.² The Project Sponsor has demonstrated to the Department that the affordable units are not subject to the Costa Hawkins Rental Housing Act, under the exception provided in Civil Code Sections 1954.50 through one of the following:
 - Direct financial contribution from a public entity.
 - Development or density bonus or other public form of assistance.
 - Development Agreement with the City. The Project Sponsor has entered into or has applied to enter into a Development Agreement with the City and County of San Francisco pursuant to Chapter 56 of the San Francisco Administrative Code and, as part of that Agreement, is receiving a direct financial contribution, development or density bonus, or other form of public assistance.
- e. The Project Sponsor acknowledges that failure to sell the affordable units as ownership units or to eliminate the on-site or off-site affordable ownership-only units at any time will require the Project Sponsor to:
- (1) Inform the Planning Department and the Mayor's Office of Housing and, if applicable, fill out a new affidavit;
 - (2) Record a new Notice of Special Restrictions; and
 - (3) Pay the Affordable Housing Fee plus applicable interest (using the fee schedule in place at the time that the units are converted from ownership to rental units) and any applicable penalties by law.
- f. The Project Sponsor must pay the Affordable Housing Fee in full sum to the Development Fee Collection Unit at the Department of Building Inspection for use by the Mayor's Office of Housing prior to the issuance of the first construction document, with an option for the Project Sponsor to defer a portion of the payment to prior to issuance of the first certificate of occupancy upon agreeing to pay a deferral surcharge that would be deposited into the Citywide Affordable Housing Fund in accordance with Section 107A.13.3 of the San Francisco Building Code.
- g. I am a duly authorized officer or owner of the subject property.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.
Executed on this day in:

SAN FRANCISCO, CA
Location

12/2/2014
Date


Signature
JOE KIRCHOFER, SENIOR DEVELOPMENT DIRECTOR
Name (Print), Title

cc: Mayor's Office of Housing
Planning Department Case Docket
Historic File, if applicable
Assessor's Office, if applicable

415-284-9682
Contact Phone Number

Unit Mix Tables

NUMBER OF ALL UNITS IN PRINCIPAL PROJECT:					
Total Number of Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units
326		110	87	120	9

If you selected an On-site or Off-Site Alternative, please fill out the applicable section below:

- On-site Affordable Housing Alternative (Charter Section 16.110 (g) and Planning Code Section 415.6): calculated at 12% of the unit total.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

- Off-site Affordable Housing Alternative (Planning Code Section 415.7): calculated at 20% of the unit total.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

Area of Dwellings in Principal Project (in sq. feet)	Off-Site Project Address				
Area of Dwellings in Off-Site Project (in sq. feet)					
Off-Site Block/Lot(s)	Motion No. (if applicable)			Number of Market-Rate Units in the Off-site Project	

- Combination of payment of a fee, on-site affordable units, or off-site affordable units with the following distribution:
Indicate what percent of each option would be implemented (from 0% to 99%) and the number of on-site and/or off-site below market rate units for rent and/or for sale.

1. Fee _____ % of affordable housing requirement.
2. On-Site _____ % of affordable housing requirement.


NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

3. Off-Site _____ % of affordable housing requirement.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

Area of Dwellings in Principal Project (in sq. feet)	Off-Site Project Address				
Area of Dwellings in Off-Site Project (in sq. feet)					
Off-Site Block/Lot(s)	Motion No. (if applicable)			Number of Market-Rate Units in the Off-site Project	

Affidavit for Compliance with the Inclusionary Affordable Housing Program

CONTACT INFORMATION AND DECLARATION OF SPONSOR OF PRINCIPAL PROJECT	CONTACT INFORMATION AND DECLARATION OF SPONSOR OF OFF-SITE PROJECT (IF DIFFERENT)
Company Name AVALON BAY COMMUNITIES, INC.	Company Name
Print Name of Contact Person JOE KIRCHOFER	Print Name of Contact Person
Address 455 MARKET ST., SUITE 165D	Address
City, State, Zip SAN FRANCISCO, CA 94105	City, State, Zip
Phone, Fax 415-284-9082, 415-546-4138	Phone, Fax
Email joe-kirchofer@avalonbay.com	Email
I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.	I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.
 _____ Signature	_____ Signature
JOE KIRCHOFER, SR. DEV. DIRECTOR _____ Name (Print), Title	_____ Name (Print), Title



SAN FRANCISCO
PLANNING
DEPARTMENT

AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM

Administrative Code

Chapter 83

1650 Mission Street, Suite 400 • San Francisco CA 94103-2479 • 415.558.6378 • <http://www.sfplanning.org>

Section 1: Project Information

PROJECT ADDRESS 800 INDIANA STREET		BLOCK/LOT(S) 4105 - 009	
BUILDING PERMIT APPLICATION NO. 201406259383	CASE NO. (IF APPLICABLE) -	MOTION NO. (IF APPLICABLE) -	
PROJECT SPONSOR AVALONBAY COMMUNITIES, INC.	MAIN CONTACT JOE KIRCHOFER	PHONE 415-284-9082	
ADDRESS 455 MARKET ST, SUITE 1650			
CITY, STATE, ZIP SAN FRANCISCO, CA 94105		EMAIL joe_kirchofer@avalonbay.com	
ESTIMATED RESIDENTIAL UNITS 326	ESTIMATED SQ FT COMMERCIAL SPACE Ø	ESTIMATED HEIGHT/FLOORS 58 FT / 5 STORY	ESTIMATED CONSTRUCTION COST \$95M
ANTICIPATED START DATE SEPTEMBER 2015			

Section 2: First Source Hiring Program Verification

CHECK ALL BOXES APPLICABLE TO THIS PROJECT	
<input checked="" type="checkbox"/>	Project is wholly Residential
<input type="checkbox"/>	Project is wholly Commercial
<input type="checkbox"/>	Project is Mixed Use
<input checked="" type="checkbox"/>	A: The project consists of ten (10) or more residential units;
<input type="checkbox"/>	B: The project consists of 25,000 square feet or more gross commercial floor area.
<input type="checkbox"/>	C: Neither 1A nor 1B apply.
NOTES:	
<ul style="list-style-type: none"> If you checked C, this project is <u>NOT</u> subject to the First Source Hiring Program. Sign Section 4: Declaration of Sponsor of Project and submit to the Planning Department. If you checked A or B, your project <u>IS</u> subject to the First Source Hiring Program. Please complete the reverse of this document, sign, and submit to the Planning Department prior to any Planning Commission hearing. If principally permitted, Planning Department approval of the Site Permit is required for all projects subject to Administrative Code Chapter 83. For questions, please contact OEWD's CityBuild program at CityBuild@sfgov.org or (415) 701-4848. For more information about the First Source Hiring Program visit www.workforcedevelopmentsf.org If the project is subject to the First Source Hiring Program, you are required to execute a Memorandum of Understanding (MOU) with OEWD's CityBuild program prior to receiving construction permits from Department of Building Inspection. 	

Continued...

Section 3: First Source Hiring Program – Workforce Projection

Per Section 83.11 of Administrative Code Chapter 83, it is the developer's responsibility to complete the following information to the best of their knowledge.

Provide the estimated number of employees from each construction trade to be used on the project, indicating how many are entry and/or apprentice level as well as the anticipated wage for these positions.


Check the anticipated trade(s) and provide accompanying information (Select all that apply): **SEE ATTACHMENT 'A'**

TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS	TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS
Abatement Laborer	unknown			Laborer	unknown		
Boilermaker	unknown			Operating Engineer	unknown		
Bricklayer	unknown			Painter	unknown		
Carpenter	unknown			Pile Driver	unknown		
Cement Mason	unknown			Plasterer	unknown		
Drywall/Latherer	unknown			Plumber and Pipefitter	unknown		
Electrician	unknown			Roofer/Water proofer	unknown		
Elevator Constructor	unknown			Sheet Metal Worker	unknown		
Floor Coverer	unknown			Sprinkler Fitter	unknown		
Glazier	unknown			Taper	unknown		
Heat & Frost Insulator	unknown			Tile Layer/ Finisher	unknown		
Ironworker	unknown			Other:			
			TOTAL:				TOTAL:

SEE ATTACHMENT 'A'

- | | | |
|--|--------------------------|--------------------------|
| | YES | NO |
| 1. Will the anticipated employee compensation by trade be consistent with area Prevailing Wage? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Will the awarded contractor(s) participate in an apprenticeship program approved by the State of California's Department of Industrial Relations? | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Will hiring and retention goals for apprentices be established? | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. What is the estimated number of local residents to be hired? | | _____ |

Section 4: Declaration of Sponsor of Principal Project

PRINT NAME AND TITLE OF AUTHORIZED REPRESENTATIVE	EMAIL	PHONE NUMBER
JOE KIRCHOFFER, SENIOR DEVELOPMENT DIRECTOR	joe_kirchofer@avalonbay.com	415-284-9082
I HEREBY DECLARE THAT THE INFORMATION PROVIDED HEREIN IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I COORDINATED WITH OEWD'S CITYBUILD PROGRAM TO SATISFY THE REQUIREMENTS OF ADMINISTRATIVE CODE CHAPTER 83.		
		12/2/14
(SIGNATURE OF AUTHORIZED REPRESENTATIVE)		(DATE)

FOR PLANNING DEPARTMENT STAFF ONLY; PLEASE EMAIL AN ELECTRONIC COPY OF THE COMPLETED AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM TO OEWD'S CITYBUILD PROGRAM AT CITYBUILD@SFGOV.ORG

Cc: Office of Economic and Workforce Development, CityBuild
 Address: 1 South Van Ness 5th Floor San Francisco, CA 94103 Phone: 415-701-4848
 Website: www.workforcedevelopmentsf.org Email: CityBuild@sfgov.org

ATTACHMENT 'A'

At the entitlement stage of any large land use project, it is impossible to know any specific information related to the number and/or types of employees and trades that will eventually be building the project. While many, and possibly all, of the trades listed will have some scope of work on the Project, we do not have specific information at this stage of the process.

Following approval of the project, we will instruct our design team to develop Construction Documents, and use these documents to select contractors and determine the exact scope of work for each trade. Once this team of contractors and subcontractors is in place, it will be possible to provide this information to the City.



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Motion No. 19284

HEARING DATE: DECEMBER 4, 2014

Hearing Date: December 4, 2014
Case No.: **2011.1374E**
Project Address: **800 INDIANA STREET**
Zoning: UMU (Urban Mixed-Use) Zoning District
58-X Height and Bulk District
Block/Lot: 4105/009
Project Sponsor: Joe Kirchofer, AvalonBay Communities, Inc.
455 Market Street, Ste. 1650
San Francisco, CA 94105
Staff Contact: Rachel Schuett – (415) 575-9030
rachel.schuett@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

ADOPTING FINDINGS RELATED TO THE CERTIFICATION OF A FINAL ENVIRONMENTAL IMPACT REPORT FOR THE PROPOSED PROJECT AT 800 INDIANA STREET TO DEMOLISH THE EXISTING BUILDING AND CONSTRUCT A 5-STORY RESIDENTIAL BUILDING WITH UP TO 338 RESIDENTIAL UNITS AND BELOW-GRADE PARKING FOR 230 VEHICLES.

MOVED, that the San Francisco Planning Commission (hereinafter "Commission") hereby CERTIFIES the Final Environmental Impact Report identified as Case No. 2011.1374E, 800 Indiana Street (hereinafter "Project"), based upon the following findings:

1. The City and County of San Francisco, acting through the Planning Department (hereinafter "Department") fulfilled all procedural requirements of the California Environmental Quality Act (Cal. Pub. Res. Code Section 21000 *et seq.*, hereinafter "CEQA"), the State CEQA Guidelines (Cal. Admin. Code Title 14, Section 15000 *et seq.*, hereinafter "CEQA Guidelines") and Chapter 31 of the San Francisco Administrative Code (hereinafter "Chapter 31").
 - A. The Department determined that an Environmental Impact Report (hereinafter "EIR") was required and provided public notice of that determination by publication in a newspaper of general circulation on May 21, 2014.
 - B. On August 13, 2014, the Department published the Draft Environmental Impact Report (hereinafter "DEIR") and provided public notice in a newspaper of general circulation of the availability of the DEIR for public review and comment and of the date and time of the Planning Commission public hearing on the DEIR; this notice was mailed to the Department's list of persons requesting such notice.
 - C. Notices of availability of the DEIR and of the date and time of the public hearing were posted near the project site by Department staff on August 13, 2014.

www.sfplanning.org

- D. On August 13, 2014, copies of the DEIR were mailed or otherwise delivered to a list of persons requesting it, to those noted on the distribution list in the DEIR, to adjacent property owners, and to government agencies, the latter both directly and through the State Clearinghouse.
 - E. Notice of Completion was filed with the State Secretary of Resources via the State Clearinghouse on August 13, 2014.
2. The Commission held a duly advertised public hearing on said DEIR on September 11, 2014 at which opportunity for public comment was given, and public comment was received on the DEIR. The period for acceptance of written comments ended on September 29, 2014.
 3. The Department prepared responses to comments on environmental issues received at the public hearing and in writing during the 45-day public review period for the DEIR, prepared revisions to the text of the DEIR in response to comments received or based on additional information that became available during the public review period, and corrected errors in the DEIR. This material was presented in a Draft Comments and Responses document, published on November 5, 2014, distributed to the Commission and all parties who commented on the DEIR, and made available to others upon request at the Department.
 4. A Final Environmental Impact Report (hereinafter "FEIR") has been prepared by the Department, consisting of the DEIR, any consultations and comments received during the review process, any additional information that became available, and the Comments and Responses document all as required by law.
 5. Project EIR files have been made available for review by the Commission and the public. These files are available for public review at the Department at 1650 Mission Street, Suite 400, and are part of the record before the Commission.
 6. On December 4, 2014, the Commission reviewed and considered the FEIR and hereby does find that the contents of said report and the procedures through which the FEIR was prepared, publicized, and reviewed comply with the provisions of CEQA, the CEQA Guidelines, and Chapter 31 of the San Francisco Administrative Code.
 7. The Planning Commission hereby does find that the FEIR concerning File No. 2011.1374E, 800 Indiana Street reflects the independent judgment and analysis of the City and County of San Francisco, is adequate, accurate and objective, and that the Comments and Responses document contains no significant revisions to the DEIR, and hereby does CERTIFY THE COMPLETION of said FEIR in compliance with CEQA and the CEQA Guidelines.
 8. The Commission, in certifying the completion of said FEIR, hereby does find that the project described in the EIR:
 - A. Will have a significant project-specific effect on the environment by demolishing the existing building at 800 Indiana Street, thus causing a substantial adverse change in the significance of historic architectural resources.

9. The Planning Commission reviewed and considered the information contained in the FEIR prior to approving the Project.

I hereby certify that the foregoing Motion was ADOPTED by the Planning Commission at its regular meeting of December 4, 2014.

Jonas P. Ionin
Commission Secretary

AYES: Antonini, Fong, Hillis, Johnson, Moore, Richards and Wu

NOES:

ABSENT:

ADOPTED: December 4, 2014

December 8, 2014

Cindy Wu, Commission President
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: 800 Indiana Street – Hearing Date: December 18, 2014

Dear President Wu and Commissioners:

AvalonBay Communities is pleased to present the enclosed development project, 800 Indiana Street. This building represents an exciting addition to AvalonBay's portfolio of new San Francisco developments. From the vanguard of the new Mission Bay, to the revitalization of corridors on Ocean Avenue and in Mid-Market, to our current project under construction in Hayes Valley, we're very proud of our contribution to the diversity and vitality of the City's neighborhoods. And we're thrilled to be joining the thriving community of the Dogpatch.

800 Indiana Street will create **326 new rental apartments at a transit-oriented infill site** at the heart of the Dogpatch. In an effort to reflect the varied styles and rhythm of the surrounding area, we hired a **team of three distinguished architectural firms**, and we asked them to break down this long site into three separate designs. Our goal was to reflect the unique character and flavor that is already present in the neighborhood, and to provide a visual and physical connection between two important neighborhood nodes – the 22nd Street retail area and Esprit Park.

While we had many talented individuals on our team, our work was also **informed at every point by input and feedback from neighbors and community members**. This extensive engagement came in formal meetings with the Dogpatch Neighborhood Association (which unanimously endorsed the project), as well as meetings at the kitchen tables and living rooms of our future neighbors. This process yielded not only trust and support, but also suggestions and refinements that helped improve the project, from the overall look and feel of our elevations down to specific day-to-day details.

Neighborhood input was also critical in designing the public realm improvements we will undertake. We understood that a shortage of dog-friendly open space was creating issues in neighborhood parks, and we saw an opportunity to create a public amenity in an unimproved dead-end street stub. So, we have **committed to build and maintain a public dog park** in this area. While this may be above and beyond a normal community benefit for new development, it is the right thing to do for this location, and it will be a fantastic amenity for those living nearby.

Moreover, we recognized that the streetscape along Indiana Street, which is so critical in tying this project into the community fabric, could not be considered in a vacuum. So, together with the developers of 650 Indiana Street and the neighbors, we not only **designed a master plan for a four-block stretch of Indiana Street**, we also obtained environmental approval for this plan so that future efforts can more easily implement it.

Project Details:

- 326 high-quality rental apartment units, including studios, one-bedrooms, two bedrooms, and three-bedrooms.
- A variety of unit sizes, types and layouts (i.e. townhouses, lofts) to appeal to a diversity of households.
- A total of at least 326 secured bicycle parking spaces, spread across multiple rooms convenient to residents in all parts of the building.
- 260 automobile parking spaces in a single-level below-grade garage. This is below the maximum allowed ratio.
- Transportation Demand Management measures, including additional car share spaces and a program to encourage resident use.
- A payment of over \$21M to satisfy our Inclusionary Housing requirement. We request that the Mayor's Office of Housing allocate this payment to an affordable housing development in the Dogpatch, or one of the many in Mission Bay or Potrero Hill that are awaiting public funds.
- Committed to achieve LEED Gold Certification.

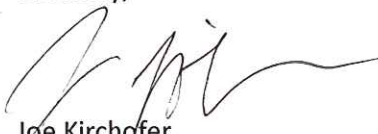
Public Benefits:

- Much-Needed New Housing Supply: 326 well-designed apartments in a Transit-Oriented, Infill location. Exactly the kind of development that is needed to meet rising rental housing demand.
- New Public Dog Park, built and maintained by AvalonBay, to replace the unimproved dead-end 20th Street right-of-way.
- Quality Design – a multifaceted building that skillfully responds to the eclectic neighborhood context.
- Transformation of the streetscape and public realm along Indiana Street. Widened landscaping and sidewalks, large public plazas, safe parking and biking conditions.
- Over \$4M in Eastern Neighborhoods Infrastructure Impact Fees, which will further enhance the neighborhood.

In light of these considerations, we ask that the Commission join the Dogpatch Neighborhood Association, the San Francisco Housing Action Coalition, and several other community members in supporting the project when it comes before you on December 18th. We look forward to this hearing and our team will of course be in attendance to present the project and answer any questions.

Should you have any questions before that date, or if we can provide you with any further information, please feel free to contact me at 284-9082.

Sincerely,



Joe Kirchofer
Senior Development Director
AvalonBay Communities, Inc.



April 28, 2014

Re: 800 Indiana St./ 20th St.

Avalon Bay Communities (residential rental apartments) development proposal (UMU zoning)

The Dogpatch Neighborhood Association (DNA) voted at our Feb. 2014 meeting, unanimously to support the residential development proposal by Avalon Bay Communities at 800 Indiana St./ 20th St.

Neighbors and DNA met with the developer team several times since June 2013 to discuss our many concerns and suggestions as to what we wanted and did not want in the development. Major suggestions from neighbors and our members were: a complete redesign from the previous owner/proposer's project, a greening plan for sidewalks on Indiana St. to be coordinated with the 650 Indiana St. project, sidewalk lighting, on-site affordable units, 3 bdrm. units suitable for growing families, car-share, electric plug-in for cars, maximum possible on-site car parking, at least 1-1 on-site bike parking, on-site loading zones and trash PU areas designed so as not to interfere with traffic and pedestrians, maximum "green" infrastructure, and particularly to further redesign the project to fit into neighborhood context as far as height and bulk of project, and to use local, union labor to the maximum extent possible.

The developer was very responsive to these requests. Our membership, and a majority of the neighbors who contacted us, were pleased with the final outcome. The design allows views of Potrero Hill from Dogpatch with the middle building stepped down in places and the southernmost building stepped down further in height to fit more comfortably with the low-rise buildings of 22nd St. and historic Dogpatch. The three buildings by three different architects are distinct in design and materials, and were developed with sensitivity to neighborhood context. The spaces along the building facades, and openings to view into the project and beyond the facades, help break up the mass of the 700-foot long project site. The developer has pledged to use at least 75% union labor for the project. We understand that the developer will decide on the feasibility of doing on-site affordable units when they pull the permit. We sincerely hope they can keep the affordable units on-site. We are very pleased with the developer's offer/agreement to make/upkeep a public, enclosed off-leash dog park on the dead end part of 20th St. adjacent to their project's north border. This will greatly help alleviate the illegal use of Esprit Park as an off-leash dog park and will be a great asset to the community. We understand that the project will have 326 apartment units including nine 3-bdrm units suitable for larger families, 230 underground vehicle spaces, 300 secured bike parking spaces, a 50 foot wide public plaza at the center of the 700 foot long project sidewalk facade, as well as wide openings at the three building entries. Avalon Bay has provided to us, a Fact Sheet with a list of particulars. We have that pdf and the January 2014 DNA presentation Part A and B, posted on our DNA web site. The project sponsor will update our website posting to keep it current, after discussing any changes with DNA BOD.

We look forward to working with the city's planning/ building departments and the developer team as they move forward into final details and construction. We welcome project as an asset to the neighborhood.

Sincerely,

Janet Carpinelli, President



December 4, 2014

Mr. Rich Sucre
San Francisco City Planning Commission
1650 Mission Street, Suite 400
San Francisco CA 94103

Re: 800 Indiana Street Project

Dear Mr. Sucre:

I am submitting this letter on behalf of Bloom Investment Company LP, a California limited partnership ("Bloom"), in connection with the San Francisco City Planning Commission's consideration of a proposed project located at 800 Indiana Street.

Bloom for many years has owned the property located at 998 Indiana Street, San Francisco, California ("Bloom Property"). It has been used and currently is used for light industrial and design purposes. The Gap, Inc. has been using the whole building for design operations for over 14 years.

AVB Opera Warehouse, LP, a Delaware limited partnership, ("AVB") is in contract to purchase the old San Francisco Opera Warehouse property located at 800 Indiana Street ("800 Indiana Property"). The 800 Indiana Property is directly adjacent to the Bloom Property.

AVB has applied to the City and County of San Francisco for approval to demolish the existing Opera Warehouse on the 800 Indiana Property and construct a new residential development on that site (the "Project"). As part of the Project, AVB will construct improvements along the entirety of the southern property line of the 800 Indiana Property adjacent to the Bloom Property.

AVB and Bloom have engaged in cooperative discussions to assure that, to the extent practicable, the Project and the existing and anticipated uses of the Bloom Property will be compatible. Based on these discussions, AVB and Bloom entered into an agreement effective as of July 14, 2014 to express their understanding regarding the entry of AVB onto the Bloom Property for the construction of the Project and a new fence and gate, the reconfiguration of the driveway for the Bloom Property, the alteration of the garage exit and sidewalks of the Project, and the adaptation of street parking to ensure safe and efficient access to the Project and the Bloom Property.

Consistent with the Agreement, AVB modified its applications to the City for approval of the Project to conform with the parties' understanding. These revised drawings were submitted to the City Planning Department about November 5 ("Revised Design").

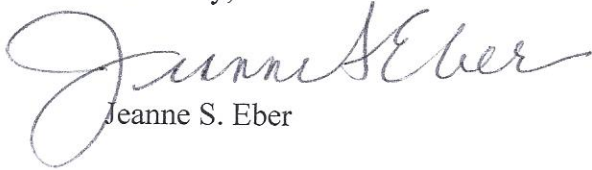
The parties agree that, to assure safe and effective access to and exit from the Bloom Property and from the Project garage, that the City should implement "no parking" restrictions (red curb color) from the southerly edge of the new curb cut (for access to the Bloom Property) for a distance of 20 feet in the southerly direction along Indiana Street,.

Based on the Agreement and the relocated curb cut and parking restriction described above, Bloom supports the issuance of City approvals of AVB's development applications for the Project, as it is shown in the Revised Design. Furthermore, Bloom joins with AVB in requesting that the City implement the "no parking" restrictions (red curb color) described above.

These City actions will facilitate the continuation of long-standing light industrial and design uses on the Bloom Property (and the jobs of the people who work there), while allowing for a sensible redevelopment of the 800 Indiana Property. Moreover, this will continue a healthy mixed-use community in the neighborhood.

Do please contact me should you have any questions.

Sincerely,



Jeanne S. Eber

cc: Joe Kirchofer
Andrew Junius, Esq.
Zane O. Gresham, Esq



Mr. Joe Kirchofer
Development Director
Avalon Bay Communities
455 Market Street
San Francisco, CA 94105

April 21, 2014

Ref: 800 Indiana Street – Mixed-use development

Dear Mr. Kirchofer,

Thank you for bringing your proposed mixed-use project at 800 Indiana Street to the San Francisco Housing Action Coalition's (SFHAC) Project Review Committee. Upon review, we believe your project has many merits and will contribute to SFHAC's mission of increasing the supply of well-designed, well-located housing in San Francisco. Please review this letter, which explains how your project meets our guidelines as well as areas in which improvements are suggested. We have attached a copy of our project review guidelines for your reference.

Project Description:

The proposed project will replace the existing SF Opera warehouse with 326 apartments, accompanied with several residential amenities.

Land Use:

The SFHAC believes this is an appropriate location for new housing. It makes effective use of a very large parcel of land in a rapidly evolving neighborhood where old industrial and commercial uses are being replaced.

Density:

The proposed project is of comparable density to the new developments being built in the neighborhood. It also provides a range of unit types that will serve a variety of tenants.

Affordability:

At the time of your presentation, it was not decided on whether you would provide the below-market-rate (BMR) units on site or pay the *in lieu* fee. The on-site option would equate to 47 BMR units. Payment of the *in lieu* fee equate to \$19.5 million paid to the Mayor's Office of Housing. All things being equal, the SFHAC's preference would be to provide BMR units on site.

Parking and Alternative Transportation:

The site is located near several transit stops, including the 22nd Street Caltrain Station, the 3rd Street Muni rail line and the 48 Muni bus. Your proposal has a target of 230 car parking spaces (an as-of-right parking-to-housing ratio of 0.7:1) and plans to provide four car share spaces. The SFHAC supports your intent to achieve a 1:1 bike-parking ratio.

Preservation:

The existing warehouse has been deemed to be potentially eligible for historic status for CEQA analysis purposes. However, after analysis, you determined repurposing the existing structure would result in a less effective use of this transit-rich location. The SFHAC supports this decision and encourages you to pursue your plans to build 326 new homes.

Urban Design:

The SFHAC commends you for the steps you have taken to ensure your proposed project reflects the character of the surrounding neighborhood. Your design successfully breaks up the floor plan and façade of the building so it's separated into three distinct masses. We support your plans to widen the sidewalks and create a pedestrian-friendly environment, calming the traffic along the building, particularly along Indiana Street. We are also supportive of your plans to incorporate open space throughout the site, including three public plazas, two rooftop decks and five landscaped courtyards. Finally, we applaud your efforts to build dog park on 20th Street.

With the site being at the edge of the neighborhood and bordering along the I-280 freeway, your architects have handled the treatment of the project's west wall very well, both in terms of protecting the living conditions within the building as well as creating an interesting, but not distracting, façade facing the adjacent freeway.

We encourage you to look into ways to get more exposure and lighting for the interior corner units, which will have very limited lighting as currently configured. Additionally, we suggest looking into ways to identify Buildings A, B and C and their lobby entrances more clearly for building residents and non-residents alike.

Environmental Features:

You have set a LEED Homes target of Mid-Rise Gold for the proposed project. The SFHAC supports the numerous environmental features you are proposing as well as the measures you are taking to address water conservation.

Community Input:

You have worked extensively with the surrounding community and have hosted neighborhood meetings with the Dogpatch Neighborhood Association, Potrero Boosters and other neighbors interested in the project. At your presentation to our Committee, you informed the group that the DNA has endorsed the proposed project as designed. While the community has been largely supportive of the proposed project, there have been concerns over the massing and height. The SFHAC applauds your response to those concerns by stepping down the heights along Buildings A and B.

The local neighborhood associations have also asked that Avalon Bay take a more global look at Indiana Street. In response, we understand that Build Inc. and Avalon Bay, both SFHAC members, are collaborating on a streetscape master plan that is currently undergoing environmental review. We enthusiastically support both the extensive street improvements it proposes as well as the exemplary response Avalon Bay has made to accommodate the community's desires.

Mr. Joe Kirchofer
Page Three

Thank you for bringing your project to SFHAC for review. Please keep us abreast of any changes. We are pleased to support your project as it moves forward. Let us know how we may be of assistance.

Sincerely,

A handwritten signature in blue ink, appearing to read "Tim Colen", is shown on a light blue background.

Tim Colen, Executive Director

CC: Planning Commission

SFHAC Project Review Criteria

Land Use: Housing should be an appropriate use of the site given the context of the adjacent properties and the surrounding neighborhood and should enhance neighborhood livability.

Density: The project should take full advantage of the maximum unit density and/or building envelope, allowable under the zoning rules.

Affordability: The need for affordable housing, including middle income (120-150 of Area Median Income) housing, is a critical problem and SFHAC gives special support to projects that propose creative ways to expand or improve unit affordability beyond the legally mandated requirements.

Parking and Alternative Transportation: SFHAC expects the projects it endorses to include creative strategies to reduce the need for parking, such as ample bicycle storage, provision of space for car-share vehicles on-site or nearby, un-bundling parking cost from residential unit cost, and measures to incentivize transit use. Proximity to transit should result in less need for parking.

In districts with an as-of-right maximum and discretionary approval up to an absolute maximum, SFHAC will support parking exceeding the as-of-right maximum only to the extent the Code criteria for doing so are clearly met. In districts where the minimum parking requirement is one parking space per residential unit (1:1), the SFHAC will not, except in extraordinary circumstances, support a project with parking in excess of that amount.

Preservation: If there are structures of significant historic or cultural merit on the site, their retention and/or incorporation into the project consistent with historic preservation standards is encouraged. If such structures are to be demolished, there should be compelling reasons for doing so.

Urban Design: The project should promote principles of good urban design: Where appropriate, contextual design that is compatible with the adjacent streetscape and existing neighborhood character while at the same time utilizing allowable unit density; pleasant and functional private and/or common open space; pedestrian, bicycle and transit friendly site planning; and design treatments that protect and enhance the pedestrian realm, with curb cuts minimized and active ground floor uses provided.

Projects with a substantial number of multiple bedroom units should consider including features that will make the project friendly to families with children.

Environmental Features: SFHAC is particularly supportive of projects that employ substantial and/or innovative measures that will enhance their sustainability and reduce their carbon footprint.

Mr. Joe Kirchofer
Page Five

Community Input: Projects for which the developer has made a good faith effort to communicate to the community and to address legitimate neighborhood concerns, without sacrificing SFHAC's objectives, will receive more SFHAC support.

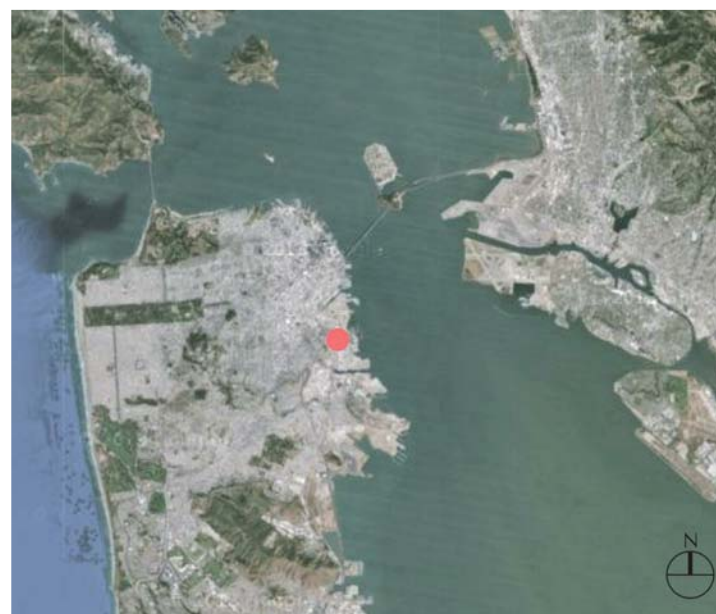


800 INDIANA STREET

LARGE PROJECT APPLICATION #3
DECEMBER 1, 2014

LPA DRAWING INDEX

- T0.01 TITLE SHEET
- T0.02 ZONING CODE SUMMARY & PROJECT DATA
- T0.03 ZONING COMPLIANCE - OPEN SPACE & STREET FRONTAGE DIAGRAMS
- T0.04 ZONING COMPLIANCE - EXPOSURE DIAGRAM
- T0.05 ZONING COMPLIANCE - PROJECTION/OBSTRUCTION, REAR YARD & POTENTIAL FUTURE RETAIL DIAGRAMS
- T0.10 SITE PHOTOS - EXISTING CONDITION
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- T0.90 3D MASSING VIEWS
- T0.91 3D VIEWS - BLOCK A
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- C0.01 SITE SURVEY
- C0.02 SITE SURVEY
- L0.01 LANDSCAPE CONCEPT PLAN
- L0.02 LANDSCAPE SECTIONS AND MATERIALS
- L1.0 OVERALL LANDSCAPE PLAN
- A0.00 PROJECT DIAGRAMS
- A1.00 SITE PLAN
- A1.01 BUILDING PLAN - GARAGE FLOOR & FIRST FLOOR
- A1.02 BUILDING PLAN - SECOND FLOOR & THIRD FLOOR
- A1.03 BUILDING PLAN - FOURTH FLOOR & FIFTH FLOOR
- A1.04 BUILDING PLAN - ROOF PLAN
- A3.00 WHOLE BUILDING ELEVATIONS
- A3.01 ENLARGED ELEVATIONS - BLOCK A
- A3.02 ENLARGED ELEVATIONS - BLOCK B
- A3.03 ENLARGED ELEVATIONS - BLOCK C
- A3.04 ENLARGED ELEVATIONS - WEST WALL
- A3.20 COURTYARD ELEVATIONS - SOUTH COURT
- A3.21 COURTYARD ELEVATIONS - CENTRAL COURT
- A3.22 COURTYARD ELEVATIONS - CENTRAL COURTYARD & PLAZA
- A3.23 COURTYARD ELEVATIONS - NORTH COURT A
- A3.24 COURTYARD ELEVATIONS - NORTH COURT B
- A3.30 BUILDING SECTIONS - NORTH AND SOUTH
- A3.31 BUILDING SECTIONS - BLOCK A
- A3.33 BUILDING SECTIONS - BLOCK B
- A3.35 BUILDING SECTIONS - BLOCK C
- A4.01 TYP. STUDIOS & 1 BR UNIT PLANS
- A4.02 TYP. 2 BR UNIT PLANS
- A4.03 UNIT PLANS - C1, L1 & TH1



STAMP:

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NO	DATE
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2	02/24/14
3	05/01/14
4	12/01/14

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T0.01

ZONING SUMMARY

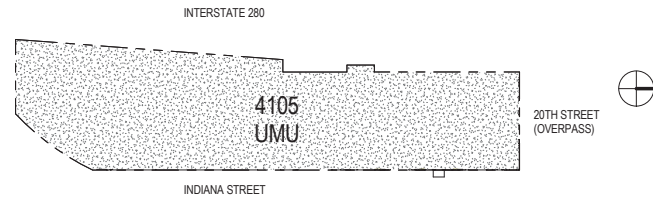
PRIMARY USE

MARKET RATE RENTAL HOUSING WITH FULL UNDERGROUND PARKING GARAGE AND RESIDENTIAL ACCESSORY USES INCLUDING:
 - 326 UNITS
 - RESIDENT AMENITIES (FITNESS CENTER, CENTRAL MAIL ROOM, KITCHEN LOUNGE, WORKLAB, DOGWASH, BIKE WORKSHOP & STORAGE, 20th STREET DOG PARK,
 FIVE LANDSCAPED COURTYARD, THREE PUBLIC PLAZAS, TWO ROOF DECKS)
 - BELOW GRADE PARKING GARAGE
 - WIDENING OF PEDESTRIAN SIDEWALK AND RECONFIGURATION OF PARKING ALONG INDIANA STREET

ZONING

THIS PROJECT HAS BEEN DESIGNED UNDER THE EASTERN NEIGHBORHOOD ZONING REQUIREMENTS, URBAN MIXED USE (UMU).

ADDRESS: 800 INDIANA STREET BETWEEN 20TH AND 22ND STREETS
 BLOCK 4105 / LOT 5
 SAN FRANCISCO, CA 94107



SITE AREA

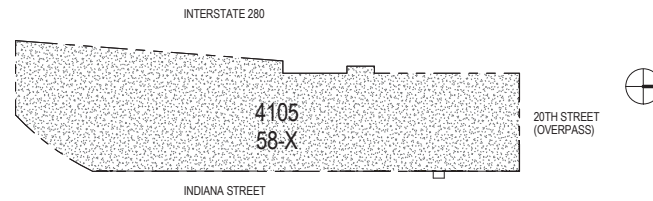
TOTAL SITE AREA	108,385 SF	2.49 acre
PUBLIC PLAZAS:	3,505 SF	0.06 acre
SETBACKS	10,140 SF	0.23 acre
NET DEVELOPABLE AREA	94,740 SF	2.17 acre

CONSTRUCTION TYPE

FIVE LEVELS OF TYPE III-A RESIDENTIAL OVER ONE LEVEL PARTIALLY SUBMERGED TYPE I-A BASEMENT GARAGE.

BUILDING HEIGHT

MAXIMUM ALLOWED: 58-FT
 PROPOSED: 45 TO 58-FT



GROSS AREA TABULATION

RESIDENTIAL	264,020 SF
CIRCULATION (incl. lobbies, stairs, & elevators)	53,130 SF
AMENITIES (see below)	16,745 SF
GARAGE	81,745 SF
SERVICE	9,605 SF
BALCONIES	5,790 SF
TOTAL	431,020 SF

AMENITIES

BIKE WORKSHOP & STORAGE	4,320 SF
FITNESS CENTER	3,540 SF
LEASING OFFICE	2,100 SF
WORKLAB/LOBBY	1,235 SF
MESS HALL	1,020 SF
MAIL ROOM	815 SF
BUILDING-A LOBBY	445 SF
BUILDING-C LOBBY	790 SF
DOGWASH	525 SF
RESIDENT STORAGE	1,745 SF
ROOF DECK	4,240 SF
GREEN ROOF	2,100 SF
SUBTOTAL	23,085 SF

GROSS AREAS (INCLUDES CIRCULATION AND SERVICE SPACES)

GARAGE	94,890 SF
FIRST FLOOR	65,735 SF
SECOND FLOOR	65,605 SF
THIRD FLOOR	68,770 SF
FOURTH FLOOR	68,575 SF
FIFTH FLOOR	61,655 SF
SUBTOTAL GROSS AREA	425,230 SF
SUBTOTAL BALCONIES	5,790 SF
TOTAL GROSS AREA	431,020 SF

TOTAL TYPE I-A CONSTRUCTION	105,170 SF
TOTAL TYPE III-A CONSTRUCTION	325,850 SF

RESIDENTIAL UNIT MIX SUMMARY

Type	Count	
STUDIO	110	
1 BEDROOM	87	} 40%
2 BEDROOM	120	
3 BEDROOM	9	
TOTAL	326 Units	

RESIDENTIAL UNIT MIX DETAIL

Type	Count	Avg. sf/Unit	%Total
STUDIO	62	523 sf	19%
Junior 1BR	48	585 sf	15%
1 BR FLATS	87	701 sf	27%
2 BR FLATS	111	1,069 sf	34%
2BR TH	5	1,250sf	1.5%
2BR LOFTS	4	1,000 sf	1.2%
3BR FLATS	4	1,377 sf	1.2%
3 BR TH	5	1,390 sf	1.5%
TOTAL	326 Units		

AVERAGE UNIT GROSS AREA 806 SF/UNIT

SEC. 207.6: 2 BR + 3 BR % of total = 129 / 326 = 40%

DENSITY = 131 d.u./acre

PARKING

MAXIMUM PARKING ALLOWED:	
2 BR / 3 BR	1:1 max
129 x 1 = 129 spaces max	
1 BR	0.75 : 1 max
84 x 0.75 = 63 spaces max	
Junior 1BR	0.75 : 1 max
51 x 0.75 = 38 spaces max	
STUDIOS	0.75 : 1 max
62 x 0.75 = 47 spaces max	

TOTAL PARKING ALLOWED: 277 max
 TOTAL PARKING PROVIDED: 260 spaces
 Including 11 ADA spaces per Sec. 155(i) & CBC 1109A.5

CAR SHARE (TABLE 166)
 REQUIRED: 2 SPACES
 PROVIDED: 4 SPACES

LOADING

REQUIRED: 2 off-street loading spaces required per Table 152.1
 PROPOSED: 3 on-street loading spaces, exemption per Sec 329(d)(4)

BICYCLE PARKING

CLASS 1 (Table 155.2)	
REQUIRED:	
1-100 units = 1:1	100 spaces
101-326 units = 1:4	57 spaces
	157 spaces Class-1 minimum
PROVIDED:	195 spaces Class-1
	147 additional spaces via vertical stackers
TOTAL:	342 spaces
CLASS 2 (Table 155.2)	
REQUIRED:	
1:20 min	16 spaces Class-2 minimum
326 / 20 =	
PROVIDED:	16 spaces Class-2



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 445 Market Street, Suite 1650
 San Francisco, CA 94105

AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107

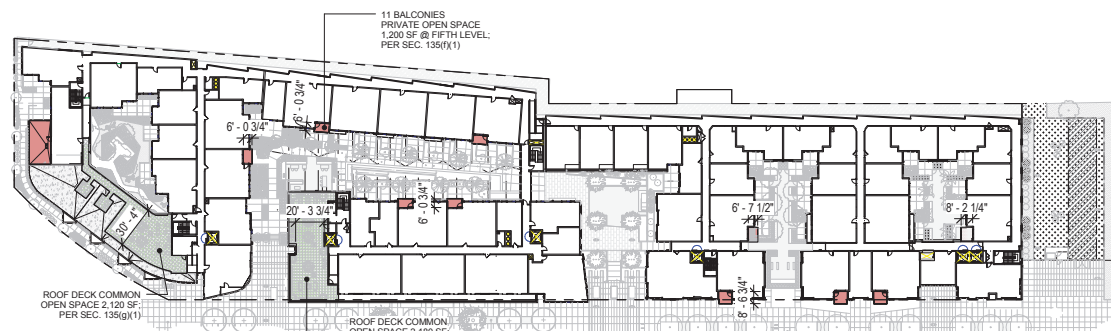
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2	MAPS AND PRELIMINARIES	02/04/14
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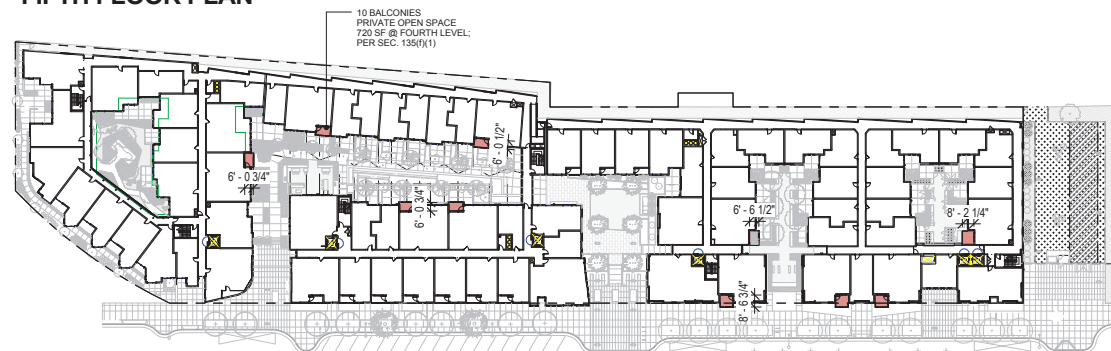
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 CHECKED BY: MCPW
 DATE: 05/14/2014
 SCALE: As indicated

TITLE:
ZONING CODE SUMMARY & PROJECT DATA

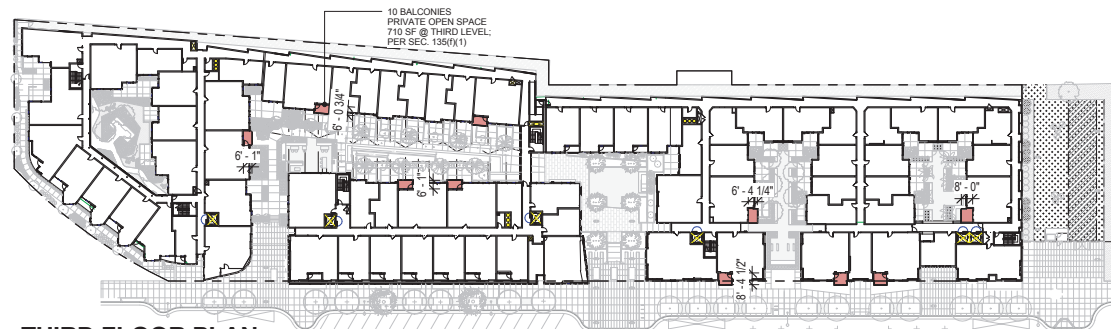
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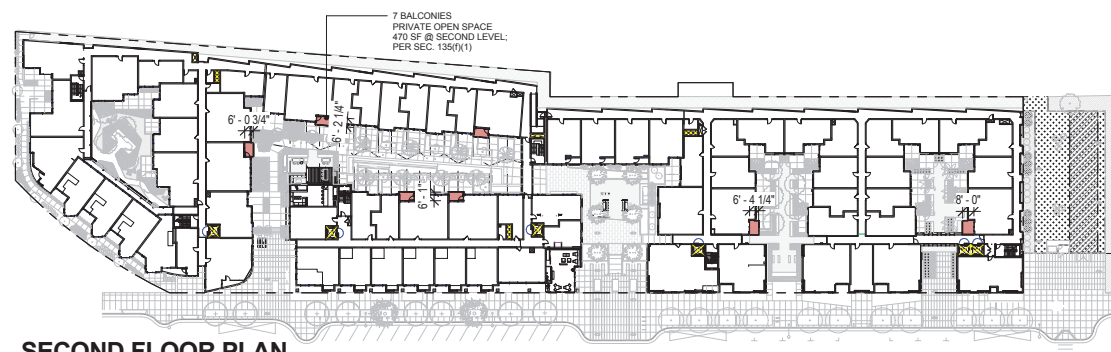
FIFTH FLOOR PLAN



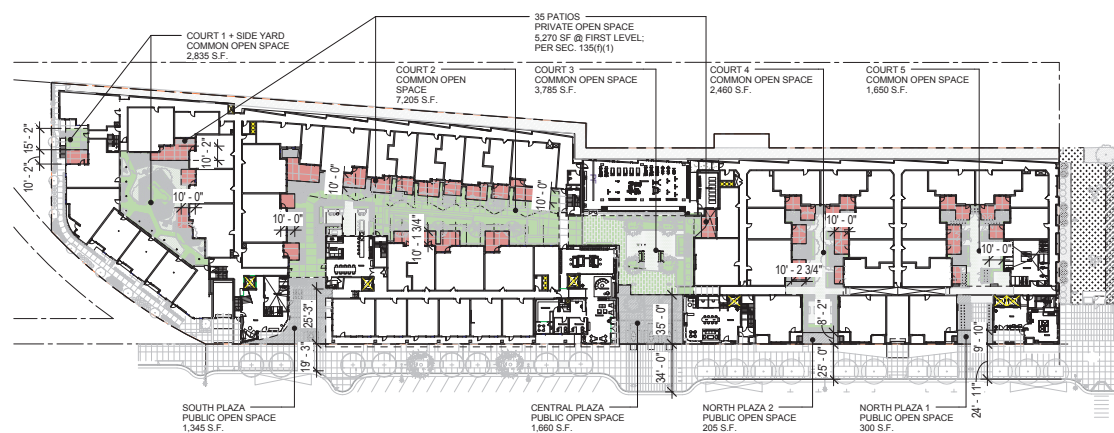
FOURTH FLOOR PLAN



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

SECTION 135 - OPEN SPACE

TABLE 135B - MINIMUM USABLE OPEN SPACE FOR DWELLING UNITS AND GROUP HOUSING IN THE EASTERN NEIGHBORHOODS MIXED USE DISTRICTS

SQUARE FEET OF USABLE OPEN SPACE PER DWELLING UNIT, IF NOT PUBLICLY ACCESSIBLE = 80 S.F.
 SQUARE FEET OF USABLE OPEN SPACE PER DWELLING UNIT, IF PUBLICLY ACCESSIBLE = 94 S.F.
 PERCENT OF OPEN SPACE THAT MAY BE PROVIDED OFFSITE = 50%

SEC. 135(i)(1): ANY SPACE CREDITED AS PRIVATE USABLE OPEN SPACE SHALL HAVE A MINIMUM HORIZONTAL DIMENSION OF 6-FEET AND A MINIMUM AREA OF 36 SQUARE FEET IF LOCATED ON A DECK, BALCONY, PORCH OR ROOF, AND SHALL HAVE A MINIMUM HORIZONTAL DIMENSION OF 10-FEET AND A MINIMUM AREA OF 100 SQUARE FEET IF LOCATED ON OPEN GROUND, A TERRACE OR THE SURFACE OF AN INNER OR OUTER COURT.

SEC. 135(g)(1): ANY SPACE CREDITED AS COMMON USABLE OPEN SPACE SHALL BE AT LEAST 15 FEET IN EVERY HORIZONTAL DIMENSION AND SHALL HAVE A MINIMUM AREA OF 300 SQUARE FEET.

SEC. 135(i)(i): IN DTR DISTRICTS AND THE EASTERN NEIGHBORHOODS MIXED USE DISTRICTS, ANY SPACE CREDITED AS PUBLICLY-ACCESSIBLE USABLE OPEN SPACE, WHERE PERMITTED OR REQUIRED BY THIS CODE, SHALL MEET THE FOLLOWING STANDARDS:

- (1) OPEN SPACE SHALL BE OF ONE OR MORE OF THE FOLLOWING TYPES:
 - (A) AN UNENCLOSED PARK OR GARDEN AT STREET GRADE OR FOLLOWING THE NATURAL TOPOGRAPHY, INCLUDING IMPROVEMENTS TO HILLSIDES OR OTHER UNIMPROVED PUBLIC AREAS.
 - (B) AN UNENCLOSED PLAZA AT STREET GRADE, WITH SEATING AREAS AND LANDSCAPING AND NO MORE THAN 10 PERCENT OF THE TOTAL FLOOR AREA DEVOTED TO FACILITIES FOR FOOD OR BEVERAGE SERVICE, EXCLUSIVE OF SEATING AREAS AS REGULATED IN SUBSECTION 270(6) BELOW.
 - (C) AN UNENCLOSED PEDESTRIAN PATHWAY WHICH COMPLIES WITH THE STANDARDS OF SECTION 270.2 AND WHICH IS CONSISTENT WITH APPLICABLE DESIGN GUIDELINES.
 - (D) STREETSCAPE IMPROVEMENTS WITH LANDSCAPING AND PEDESTRIAN AMENITIES THAT RESULT IN ADDITIONAL PEDESTRIAN SPACE BEYOND THE PRE-EXISTING SIDEWALK WIDTH AND CONFORM TO ANY APPLICABLE STREETSCAPE PLAN OR OTHER RELATED POLICIES SUCH AS THOSE ASSOCIATED WITH SIDEWALK WIDENINGS OR BUILDING SETBACKS, OTHER THAN THOSE INTENDED BY DESIGN FOR THE USE OF INDIVIDUAL GROUND FLOOR RESIDENTIAL UNITS.

REQUIRED
 USEABLE OPEN SPACE = 326 UNITS X 80 S.F./UNIT = 26,080 SQFT

PROVIDED
 PRIVATE OPEN SPACE
 SUBTOTAL PRIVATE DECKS = 3,100 SQFT (38)
 SUBTOTAL PRIVATE PATIOS = 5,270 SQFT (35)
 TOTAL PRIVATE OPEN SPACE = 8,370 SQFT (73)

COMMON OPEN SPACE
 SUBTOTAL COURTS 1-5 = 17,935 SQFT
 SUBTOTAL ROOFDECK = 4,300 SQFT
 TOTAL COMMON OPEN SPACE = 22,235 SQFT

TOTAL PRIVATE AND COMMON OPEN SPACE = 30,605 SQFT
 PUBLICLY ACCESSIBLE OPEN SPACE
 SUBTOTAL PLAZAS = 3,510 SQFT

OPEN SPACE CALCULATIONS
 3,510 SQFT / 54 SF/UNIT = 65 UNITS WHOSE OPEN SPACE REQUIREMENTS ARE MET BY PUBLICLY ACCESSIBLE OPEN SPACE
 326 UNITS - 65 UNITS = 261 UNITS WHOSE OPEN SPACE MUST BE MET BY COMMON AND/OR PRIVATE OPEN SPACE
 261 UNITS X 80 SF/UNIT = 20,880 SQFT MIN. REQUIRED COMMON AND PRIVATE OPEN SPACE
 TOTAL COMMON AND PRIVATE OPEN SPACE = 30,605 SQFT > 22,410 SQFT - EXCEEDS MIN. REQUIREMENT

OPEN SPACE TOTALS AND DIAGRAMS

FLOOR	PUBLIC (SF)	COMMON (SF)	PRIVATE (SF)
1	3,510	17,935	5,270
2	0	0	470
3	0	0	710
4	0	0	720
5	0	4,300	1,200
SUBTOTAL	3,510	22,235	8,370

NOTE: PROJECT COMPLIES WITH MINIMUM OPEN SPACE REQUIREMENTS VIA USE OF PUBLICLY ACCESSIBLE AND COMMON OPEN SPACE. PRIVATE OPEN SPACE IS PROVIDED IN ADDITION TO MINIMUM OPEN SPACE REQUIREMENTS. MINIMUM PROPOSED DIMENSION AT PRIVATE OPEN SPACES DO NOT CONFORM IN ALL CASES WITH ZONING CODE REQUIREMENTS. FOR EXAMPLE, SOME EXTERIOR BALCONIES ARE 5X10' (50 SF) INSTEAD OF THE CODE REQUIRED 6X6' (36 SF) AND SOME PATIOS ARE 13X8' (104 SF) INSTEAD OF THE CODE REQUIRED 10X10' (100 SF). MODIFICATION OF MINIMUM DIMENSION STANDARDS IS REQUESTED PER SECTION 329(c)(4).

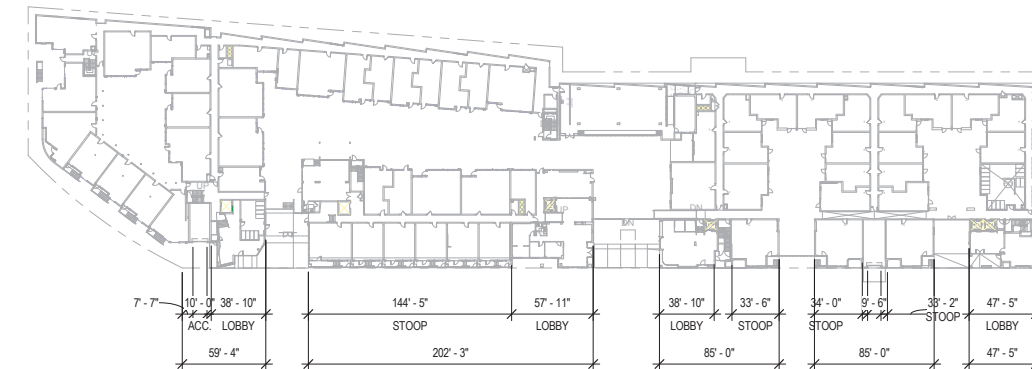
SECTION 135 - USEABLE OPEN SPACE

(2) USE OF INNER COURT. The area of an inner court, as defined by this Code, may be credited as common usable open space, if the enclosed space is not less than 20 feet in every horizontal dimension and 400 square feet in area; and if (regardless of the permitted obstructions referred to in Subsection 135(c) above) the height of the walls and projections above the court on at least three sides (or 75 percent of the perimeter, whichever is greater) is such that no point on any such wall or projection is higher than one foot for each foot that such point is horizontally distant from the opposite side of the clear space in the court.

SECTION 145 (b) (2) - ACTIVE GROUND FLOOR USES

Required:
 Sec 145.1(b)(2)
 (A) Residential uses are considered active uses above the ground floor; on the ground floor, residential uses are considered active uses only if more than 50 percent of the linear residential street frontage at the ground level features walk-up dwelling units which provide direct, individual pedestrian access to a public sidewalk
 (B) Spaces accessory to residential uses, such as fitness or community rooms, are considered active uses only if they meet the intent of this section and have access directly to the public sidewalk or street.
 (C) Building lobbies are considered active uses, so long as they do not exceed 40 feet or 25% of building frontage, whichever is larger.

Provided:
 Total Street Frontage at Indiana Street = 478'-2" (not including publicly accessible plazas)
 (A) Total residential frontage with active walk-up dwelling units (stoops) = 244'-4" (51%)
 (B) Total residential accessory uses = 20'-0" (2%)
 (C) Total Building lobbies = 195'-9" (41%)



SECTION 145 (c) (2) - STREET FRONTAGE

Required:
 Sec 145.1(c)(2): requires that no more than one-third of the width or 20 feet, whichever is less, of any given street frontage of a new or altered structure parallel to and facing a street shall be devoted to parking and loading ingress or egress.
Provided:
 There are two separate single directional movement parking garage entrances each 10'-0" wide. The total width of garage entrances and exits along Indiana Street is 20'-0".



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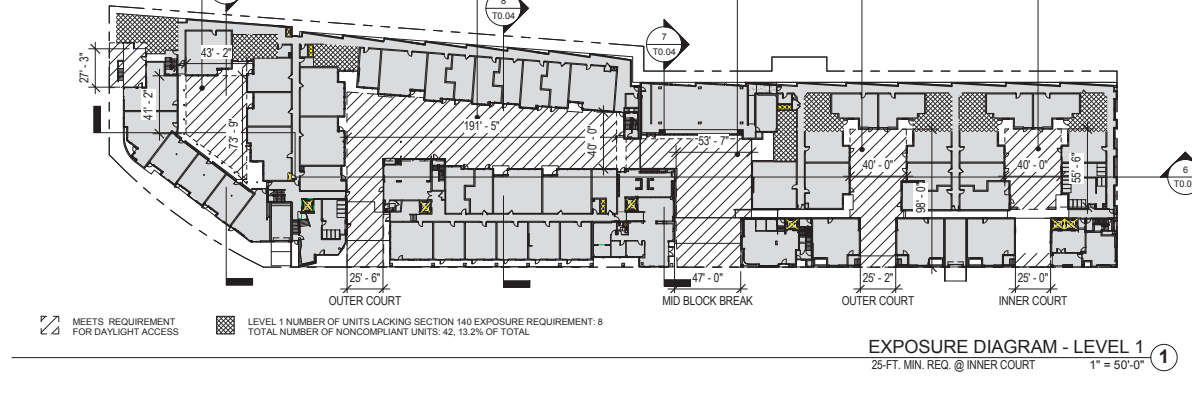
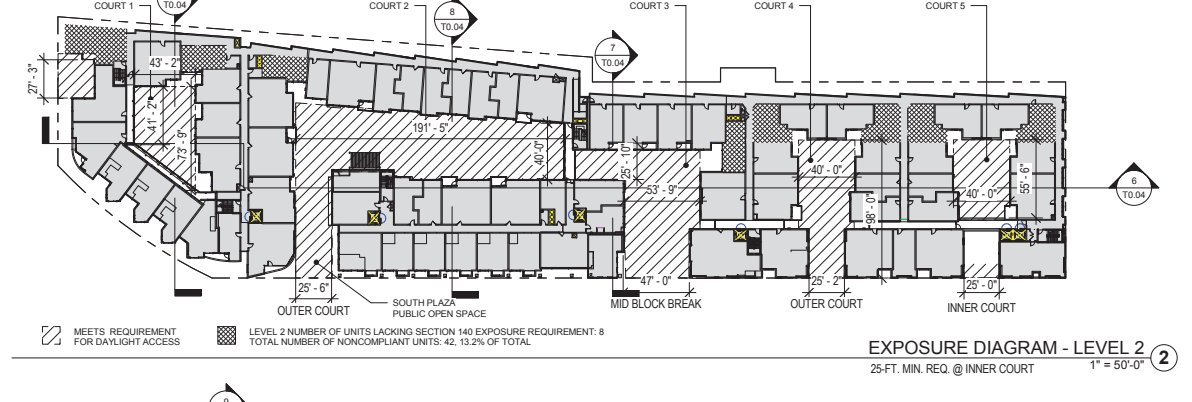
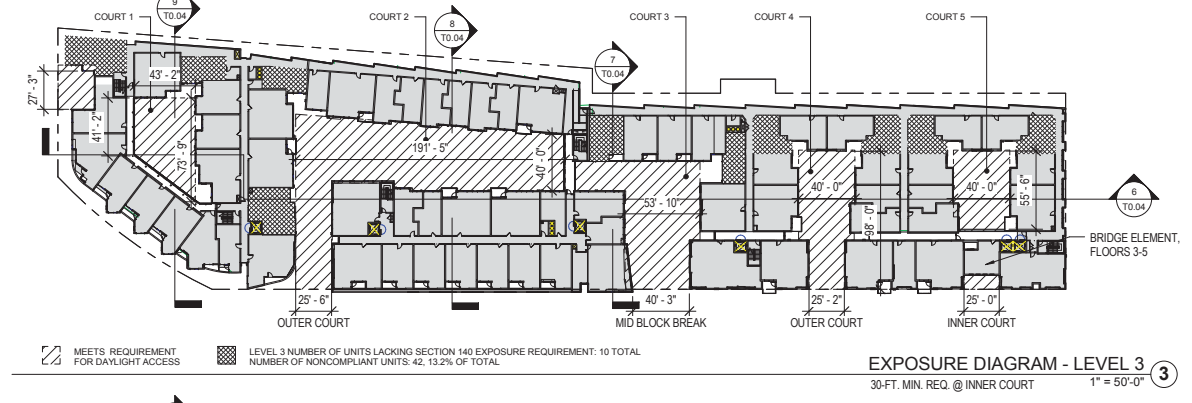
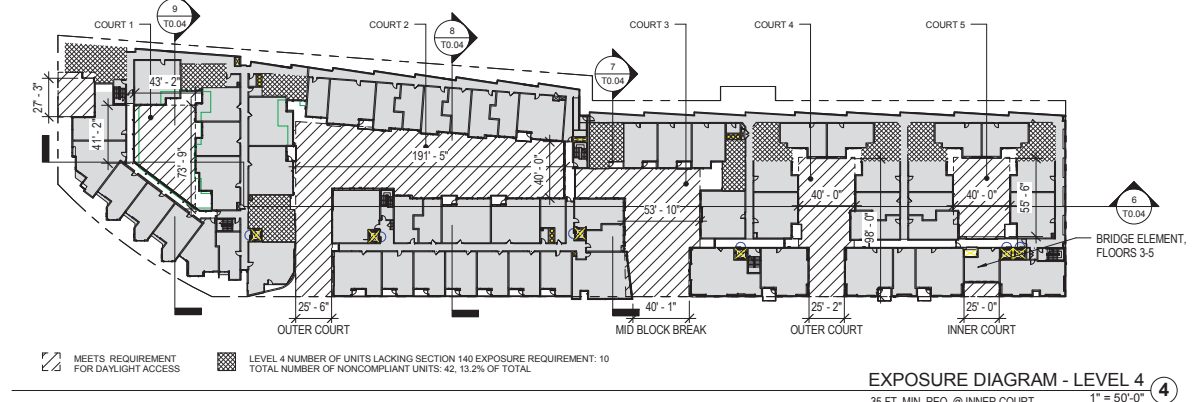
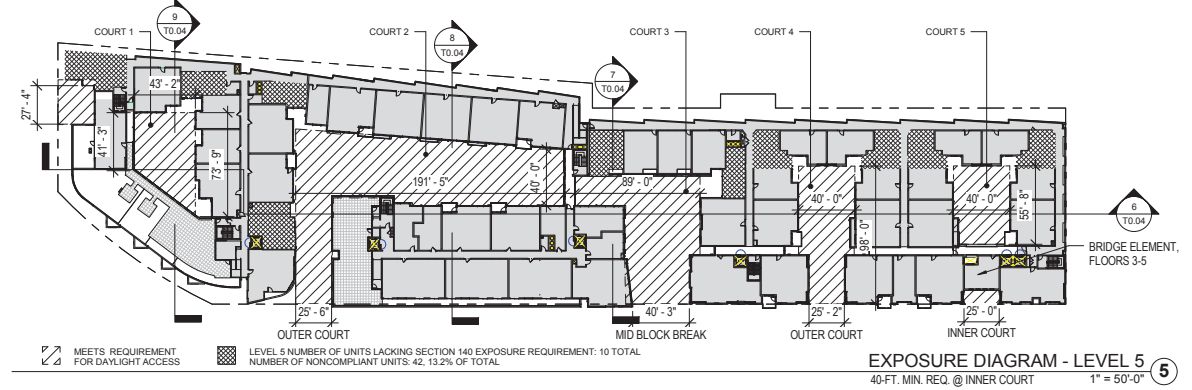
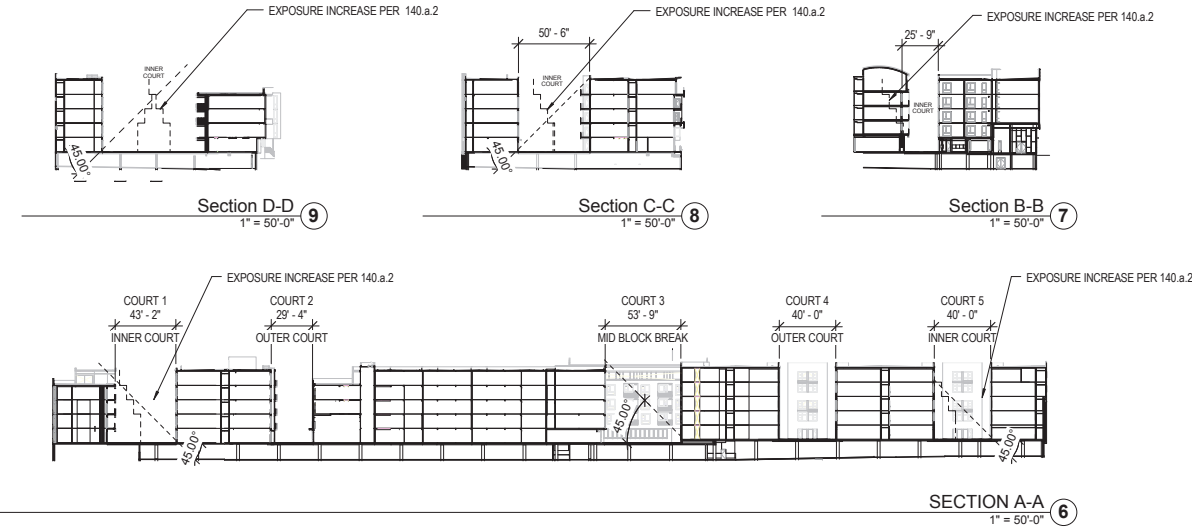
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SECTION 140 - EXPOSURE

SECTIONS 140 (a)(1) AND 140 (a)(2)

THE REQUIRED WINDOW OF AT LEAST ONE ROOM THAT MEETS THE 120-SQFT MINIMUM SUPERFICIAL FLOOR AREA REQUIREMENT OF SECTION 501.1 OF THE HOUSING CODE SHALL FACE DIRECTLY ON AN OPEN AREA OF ONE OF THE FOLLOWING TYPES:
 (1) A PUBLIC STREET, PUBLIC ALLEY AT LEAST 25-FT IN WIDTH, SIDE YARD AT LEAST 25-FT IN WIDTH, OR REAR YARD MEETING THE REQUIREMENTS OF THIS CODE; PROVIDED THAT IF SUCH WINDOWS ARE ON AN OUTER COURT WHOSE WIDTH IS LESS THAN 25-FT, THE DEPTH OF SUCH COURT SHALL BE NO GREATER THAN ITS WIDTH; OR
 (2) AN OPEN AREA (WHETHER AN INNER COURT OR A SPACE BETWEEN SEPARATE BUILDINGS ON THE SAME LOT) WHICH IS UNOBSTRUCTED (EXCEPT FOR FIRE ESCAPES NOT PROJECTING MORE THAN NECESSARY FOR SAFETY AND IN NO CASE MORE THAN 4'-6", CHIMNEYS, AND THOSE OBSTRUCTION PERMITTED IN SECTIONS 136(c)(14), (15), (16), (19), (20) AND (29) OF THIS CODE) AND IS NO LESS THAN 25-FT IN EVERY HORIZONTAL DIMENSION FOR THE FLOOR AT WHICH THE DWELLING UNIT IN QUESTION IS LOCATED AND THE FLOOR IMMEDIATELY ABOVE IT, WITH AN INCREASE OF 5-FT IN EVERY HORIZONTAL DIMENSION AT EACH SUBSEQUENT FLOOR.



STAMP:

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2	UPA SUBMITTAL #2	05/14/2014

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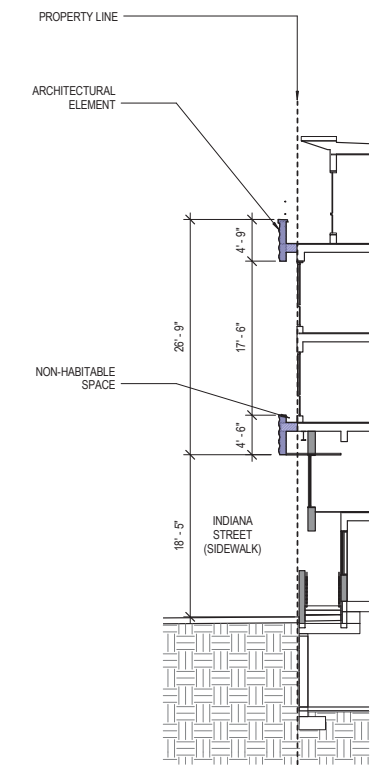
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SHEET:
T0.04
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SECTION 136.1.C - MARQUEES

MARQUEES, AS DEFINED IN SECTION 790.58 OF THIS CODE, SHALL BE REGULATED IN LIMITED COMMERCIAL USES, NEIGHBORHOOD COMMERCIAL DISTRICTS, EASTERN NEIGHBORHOODS MIXED USE AND SOUTH OF MARKET MIXED USE DISTRICTS BELOW

136.1.C.2.C A marquee projecting less than four feet from the property line and not exceeding 2 feet in thickness may extend over the total length of the building along the direction of the street. All portions of such marquee shall not be less than 10 feet nor more than 16 feet above the finished grade, nor higher than the window sill level or windows on the building facade on which the marquee is placed, exclusive of ground story and mezzanine. Each building frontage shall be considered separately.



BLOCK B MARQUEE SECTION
 1/8" = 1'-0" ④

SECTION 134 - REAR YARD

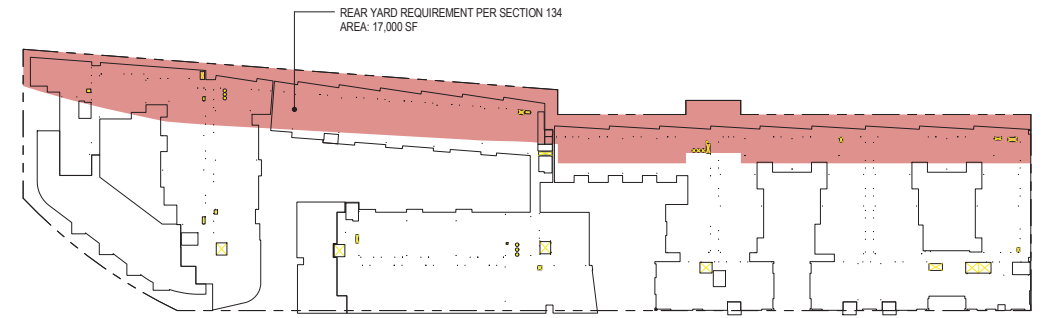
REAR YARD REQUIREMENT = 25% OF TOTAL DEPTH OF LOT
 NORTHERN PORTION OF LOT = 35 FT MIN REAR YARD
 SOUTHERN PORTION OF LOT = 42 FT MIN REAR YARD AVERAGE

SEC. 329(d)(7); EXCEPTION FOR REAR YARDS, PURSUANT TO THE REQUIREMENTS OF SECTION 134(f)
 SEC. 134(f); MODIFICATION OF REQUIREMENTS IN THE EASTERN NEIGHBORHOODS MIXED USE DISTRICTS. THE REAR YARD REQUIREMENT IN EASTERN NEIGHBORHOODS MIXED USE DISTRICTS MAY BE MODIFIED OR WAIVED BY THE PLANNING COMMISSION PURSUANT TO SECTION 329, AND BY THE ZONING ADMINISTRATOR PURSUANT TO THE PROCEDURES AND CRITERIA SET FORTH IN SECTION 307(h) FOR OTHER PROJECTS, PROVIDED THAT:
 (1) RESIDENTIAL USES ARE INCLUDED IN THE NEW OR EXPANDING DEVELOPMENT AND A COMPARABLE AMOUNT OF READILY ACCESSIBLE USABLE OPEN SPACE IS PROVIDED ELSEWHERE ON THE LOT OR WITHIN THE DEVELOPMENT.
 (2) THE PROPOSED NEW OR EXPANDING STRUCTURE WILL NOT SIGNIFICANTLY IMPEDE THE ACCESS TO LIGHT AND AIR FROM ADJACENT PROPERTIES; AND
 (3) THE PROPOSED NEW OR EXPANDING STRUCTURE WILL NOT ADVERSELY AFFECT THE INTERIOR BLOCK OPEN SPACE FORMED BY THE REAR YARDS OF ADJACENT PROPERTIES.

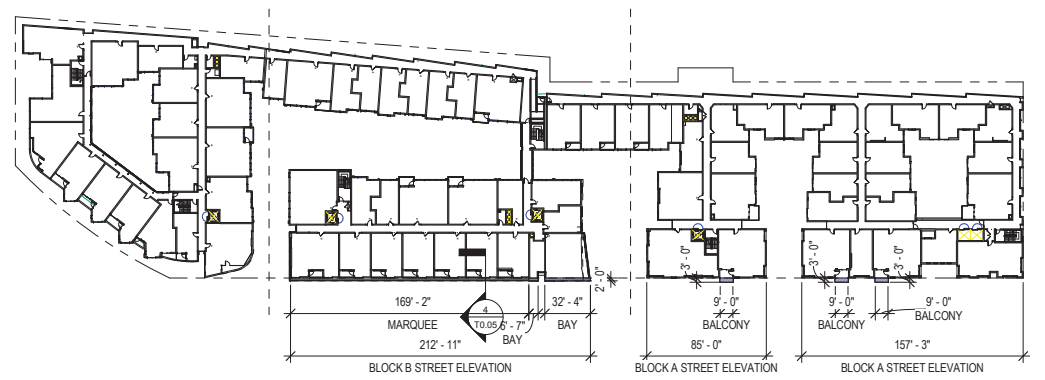
REQUIRED
 REAR YARD REQUIREMENT = 16,997 SQFT

PROVIDED
 GROUND FLOOR COMMON OPEN SPACE = 17,935 SQFT
 ROOF DECK COMMON OPEN SPACE = 4,300 SQFT
 TOTAL COMMON OPEN SPACE = 22,235 SQFT

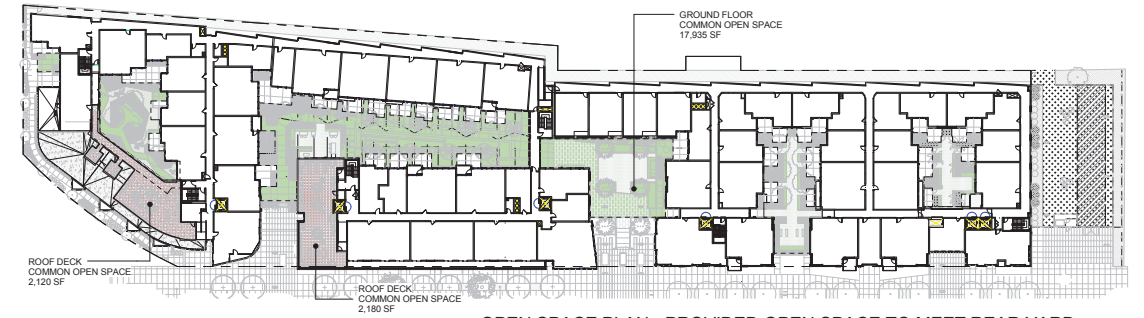
REAR YARD CALCULATIONS
 25% DEPTH OF LOT = 17,000 SQFT REQUIRED REAR YARD
 TOTAL COMMON OPEN SPACE = 22,235 SQFT
 TOTAL COMMON OPEN SPACE = 22,235 SQFT > 17,000 SQFT. EXCEEDS MIN. REQUIREMENT



OPEN SPACE PLAN - REAR YARD REQUIREMENT
 1" = 50'-0" ②



SECTION 136 BAY WINDOWS AND BALCONIES DIAGRAM
 1" = 50'-0" ③



OPEN SPACE PLAN - PROVIDED OPEN SPACE TO MEET REAR YARD REQUIREMENT
 1" = 50'-0" ①

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 PROJECTION/OBSTRUCTION,
 REAR YARD & POTENTIAL
 FUTURE RETAIL DIAGRAMS
 SHEET:

T0.05

AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107



6 - LOOKING NORTH - INDIANA STREET



3 - LOOKING SOUTH - UNDER OVERPASS



5 - LOOKING NORTH - INDIANA STREET



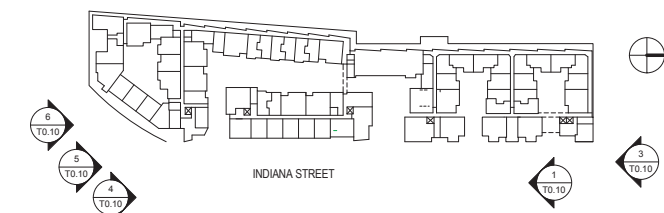
2 - LOOKING SOUTH FROM OVERPASS



4 - LOOKING NORTH - INDIANA STREET & 22ND



1 - LOOKING SOUTH - INDIANA STREET



PYATOK
 1611 Telegraph Avenue, Suite 200
 Oakland, CA 94612
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MITHUN
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MILLER COMPANY
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 445 Market Street, Suite 1650
 San Francisco, CA 94105

AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107

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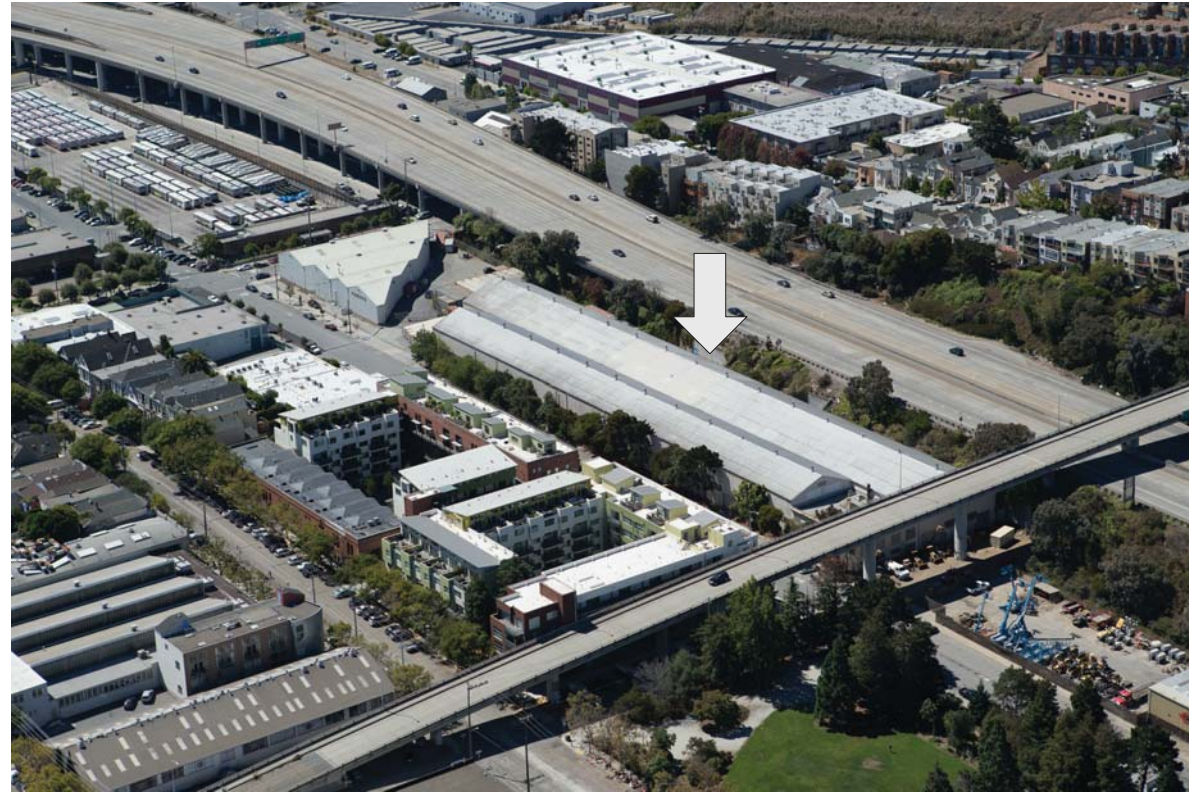
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TITLE:
**SITE PHOTOS - EXISTING
 CONDITION**

SHEET:
T0.10

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LOOKING WEST



LOOKING NORTH - WEST



LOOKING NORTH



LOOKING SOUTH - EAST

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 1611 Telegraph Avenue, Suite 200
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MITHUN
 Kennerly
 Architecture & Planning
 375 Alabama Street, Suite 440
 San Francisco, CA 94103



AvalonBay Communities
 445 Market Street, Suite 1650
 San Francisco, CA 94105

AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107

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 CHECKED BY: MCPW
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TITLE:
 AERIAL PHOTOS - EXISTING
 CONDITION

SHEET:
T0.11

- PRELIMINARY - Not for Construction -



LOOKING EAST



INDIANA STREET - LOOKING WEST

PYATOK
 1611 Telegraph Avenue, Suite 200
 Oakland, CA 94612
 T. 510.445.7010
 www.pyatok.com

MITHUN
 Kennerly
 Architecture & Planning
 375 Alabama Street, Suite 400
 San Francisco, CA 94110-1360



AvalonBay Communities
 445 Market Street, Suite 1650
 San Francisco, CA 94105

AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107

STAMP:

DRAWING ISSUE		DATE
NO.	ISSUE	
1	UPA SUBMITTAL #2	07/01/14
2	LPA SUBMITTAL #2	12/01/14

JOB NUMBER: 1309
 DRAWN BY: SF
 CHECKED BY: MCPW
 DATE: 05/14/2014
 SCALE: 1/8" = 1'-0"
 TITLE:
3D MASSING VIEWS

SHEET:
T0.90

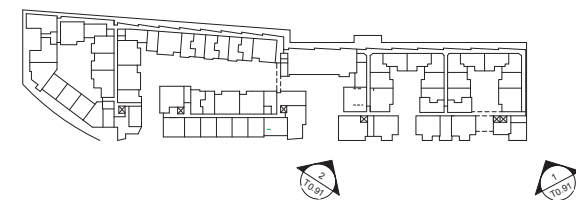
- PRELIMINARY - Not for Construction -



BLOCK A - VIEW TWO
12" = 1'-0" ②



BLOCK A - VIEW ONE
12" = 1'-0" ①



AVALON DOGPATCH
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SAN FRANCISCO, CA 94107

STAMP:

DRAWING ISSUE		DATE
NO.	ISSUE	
1	UPA SUBMITTAL #2	05/05/14
2	UPA SUBMITTAL #3	02/03/14

JOB NUMBER: 1309
DRAWN BY: Author
CHECKED BY: Checker
DATE: 05/14/2014
SCALE: As indicated

TITLE:
3D VIEWS - BLOCK A

SHEET:
T0.91

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BLOCK B - VIEW THREE
12" = 1'-0" ④



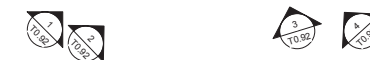
BLOCK B - VIEW ONE
12" = 1'-0" ②



BLOCK B - VIEW TWO
12" = 1'-0" ③



BLOCK B - VIEW ONE ENLARGED
12" = 1'-0" ①



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SAN FRANCISCO, CA 94107

STAMP:

DRAWING ISSUE		DATE
NO	ISSUE	DATE
1	UPA SUBMITTAL #2	07/01/14
2	UPA SUBMITTAL #3	12/01/14

JOB NUMBER: 1309
DRAWN BY: Author
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DATE: 05/14/2014
SCALE: As indicated
TITLE:

3D VIEWS - BLOCK B

SHEET:
T0.92

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BLOCK C - VIEW THREE LOOKING NORTH



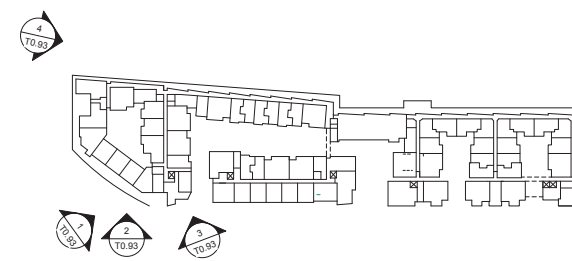
BLOCK C - VIEW ONE



BLOCK C - VIEW TWO



1 - BLOCK B & C



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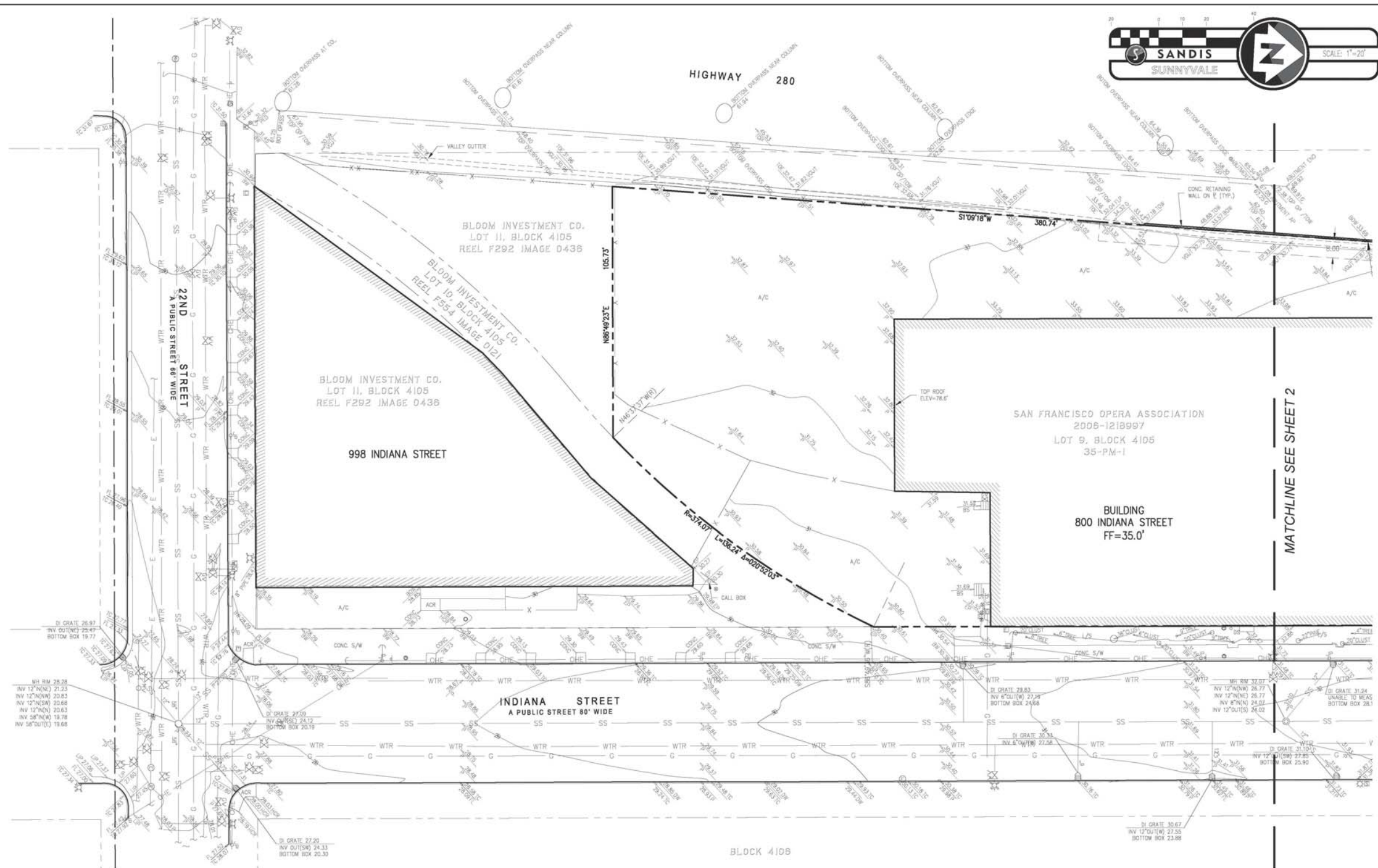
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2	LPA SUBMITTAL #3	12/01/14

JOB NUMBER: 1309
DRAWN BY: Author
CHECKED BY: Checker
DATE: 05/14/2014
SCALE: As indicated
TITLE:
3D VIEWS - BLOCK C

SHEET:
T0.93

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SANDIS
SUNNYVALE

SCALE: 1"=20'

SYMBOLS & ABBREVIATIONS

- ACR ACCESSIBLE RAMP
- BM BENCHMARK
- BOL BOLLARD
- BOW BOTTOM OF WALL
- BS BOTTOM OF STAIRS
- BW BACK OF WALK
- CB CATCH BASIN
- CLF FENCE CHAINLINK
- COLN COLUMN
- COM-MH COMMUNICATION MANHOLE
- COM-PB COMMUNICATION PULLBOX
- CONC CONCRETE
- DI DRAIN INLET
- DS DOWNSPOUT
- DWY DRIVEWAY
- ELEC-MH ELECTRIC MANHOLE
- EP EDGE OF PAVEMENT
- EPB ELECTRIC PULLBOX
- FDC FIRE DEPARTMENT CONNECTION
- FFB BUILDING FINISHED FLOOR
- FG DOOR FINISHED GRADE AT DOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- FNC FENCE
- FND-MON FOUND STANDARD MONUMENT
- G GROUND
- GB GRADE BREAK
- GM GAS METER
- GWY GUY WIRE OR POLE
- GV GAS VALVE
- AS ACCESSIBLE SYMBOL
- IF IRON FENCE
- JP JOINT POLE
- LIP LIP OF GUTTER
- L/S LANDSCAPE
- MISC-CD MISCELLANEOUS CLEANOUT
- MISC-MH MISCELLANEOUS MANHOLE
- MISC-PB MISCELLANEOUS PULLBOX
- MISC-V MISCELLANEOUS VALVE
- MISC-VLT MISCELLANEOUS VAULT
- OH OVERHANG
- OHE OVERHEAD ELECTRIC
- OP OVERPASS
- OP PED PEDESTAL
- PV POST INDICATOR VALVE
- PP ELEC PANEL ON WALL
- PP POWER POLE
- RAIL RAILING HAND OR GUARD
- SOCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- SDM STORM DRAIN MANHOLE
- SDM SIGN
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- STL STREET LIGHT LAMP NO ARM
- STL-D STREET LIGHT DOUBLE ARM
- STL-S STREET LIGHT SINGLE ARM
- STL-T STREET LIGHT TRAFFIC SIGNAL
- STPB STREET LIGHT PULLBOX
- STRIP STRIPING
- SW, S/W SIDEWALK
- TC TOP OF CURB
- TH THRESHOLD
- TOW WALL TOP OF
- TRAF TRAFFIC SIGNAL
- TRAF-S SINGLE TRAFFIC SIGNAL
- TRANS TRANSFORMER
- TS TOP OF STAIRS
- VGUT FLOWLINE VALLEYGUTTER
- VLT ELEC VAULT
- WM WATER METER
- WPB WATER PULLBOX
- WV WATER VALVE

LEGEND

- BUILDING LINE
- BUILDING OVERHANG
- CENTERLINE
- CURB LINE
- EASEMENT LINE
- FENCE LINE
- PROPERTY LINE
- GAS LINE
- COMMUNICATION LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE

NOTES

1. ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. DATE OF FIELD SURVEY: SEPTEMBER 18, 2013

BASIS OF BEARINGS

THE BEARING S03°10'24"E OF THE MONUMENTED LINE OF MINNESOTA STREET AS SHOWN ON THE RECORD OF SURVEY RECORDED SEPTEMBER 26, 2002 IN BOOK AA OF MAPS AT PAGES 41 AND 42, SAN FRANCISCO COUNTY RECORDS, WAS USED AS THE BASIS OF THE BEARINGS SHOWN ON THIS SURVEY.

UNDERGROUND UTILITY NOTE

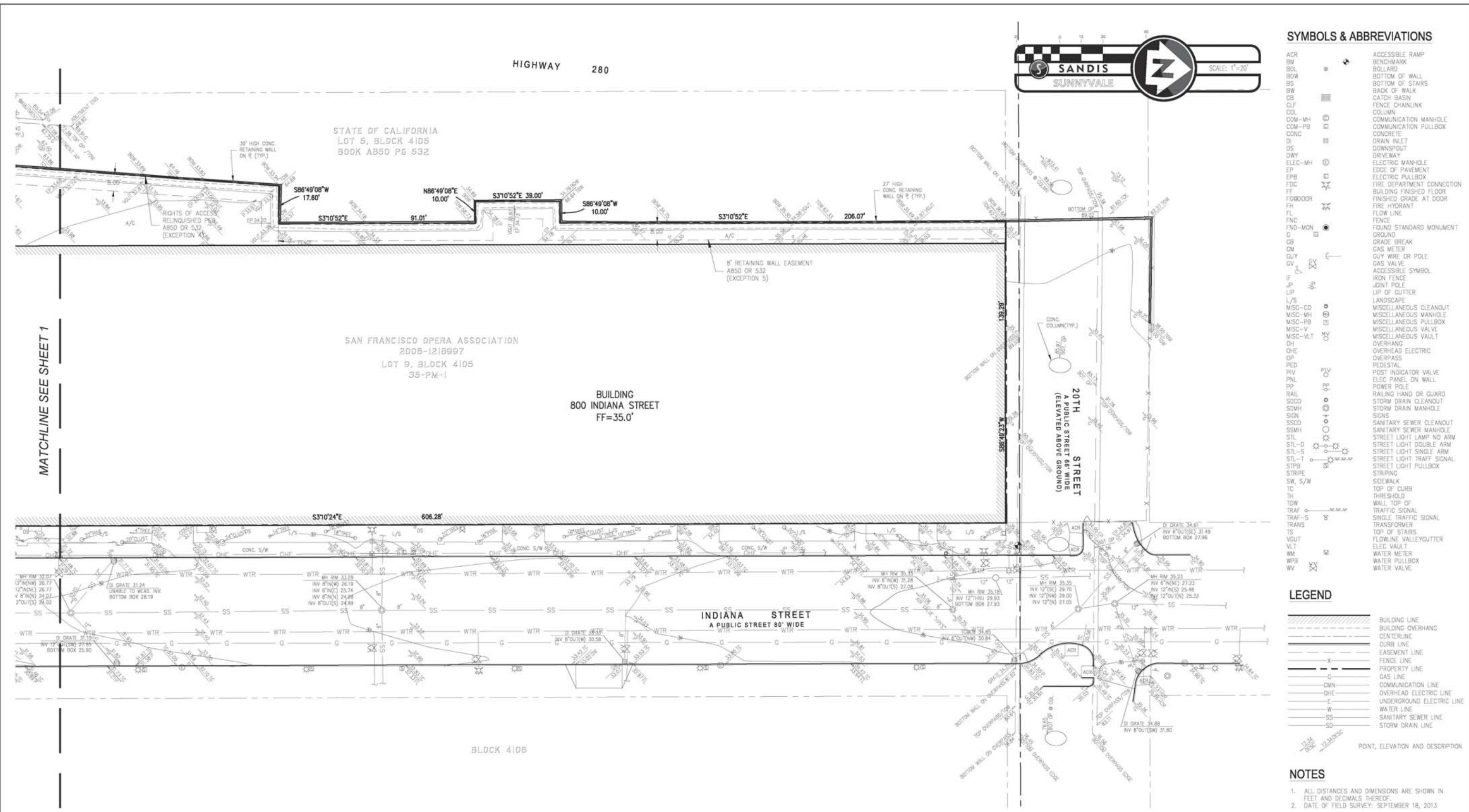
THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS THE LETTER "O" IN "OPEN" LOCATED ON THE TOP OF THE FIRE HYDRANT ON THE SOUTHWEST CORNER OF THE INTERSECTION OF INDIANA STREET AND 20TH STREET SHOWN HEREON (SHEET 2).
ELEV.=38.099 FEET (CITY AND COUNTY OF SAN FRANCISCO DATUM)

<p>SANDIS CIVIL ENGINEERS SURVEYORS PLANNERS</p> <p>936 E. Duane Ave. Sunnyvale, CA 94085 P. 408.636.0900 F. 408.636.0999 www.sandis.net</p> <p>SUNNYVALE ROSEVILLE OAKLAND</p>	<p>DATE: 9/30/13</p> <p>SCALE: 1"=20'</p> <p>DRAWN BY: RMS</p> <p>APPROVED BY: ASC</p> <p>DRAWING NO.: 613067</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>REVISION/ISSUE</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	REVISION/ISSUE	DATE	BY													<p>TOPOGRAPHIC SURVEY</p> <p>800 INDIANA STREET</p> <p>SAN FRANCISCO CALIFORNIA</p>	<p>SHEET</p> <p>C0.01</p> <p>OF 2 SHEETS</p> <p style="font-size: small;">Copyright © 2013 by Sandis</p>
	No.	REVISION/ISSUE	DATE	BY																
<p>File: \\Sv\X\1\613067\SURVEY\MAPPING\613067TOP0.dwg Date: Sep 30, 2013 - 8:02am rsexton</p>																				

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NOTES

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2. DATE OF FIELD SURVEY: SEPTEMBER 18, 2013

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 SUNNYVALE ROSEVILLE OAKLAND

DATE:	9/30/13
SCALE:	1"=20'
DRAWN BY:	RMS
APPROVED BY:	ASC
DRAWING NO.:	613067

No.	REVISION/ISSUE	DATE	BY

TOPOGRAPHIC SURVEY
 800 INDIANA STREET
 SAN FRANCISCO CALIFORNIA

SHEET
C0.02
 OF 2 SHEETS

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ROOFDECK PLAN



GROUND FLOOR PLAN

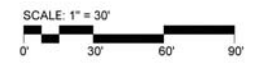
AMENITIES KEY

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	CITY STANDARD SIDEWALK	21	FLOW THROUGH PLANTER
2	PERMEABLE PAVERS	22	BIKE REPAIR STATION
3	BULB OUT	23	PODIUM COURTYARD
4	PARALLEL PARKING	24	UNIT PAVERS
5	BACK-IN ANGLE PARKING	25	CONCRETE TOPPING SLAB
6	LOADING ZONE	26	STEEL WALL PLANTER
7	NEW CROSSWALK	27	16" HIGH CONCRETE PLANTER
8	PUBLICLY ACCESSIBLE PLAZA	28	30" HIGH CONCRETE PLANTER
9	REDWOOD TREE	29	NOT USED
10	RED MAPLE TREE	30	OUTDOOR DINING AREA WITH BBQs
11	GINKGO TREE	31	PRIVATE PATIO
12	AT GRADE PLANTING AREA	32	GAS FIREPLACE
13	BIKE RACK	33	ROOF LEVEL GATHERING AREA
14	LIGHT POLE	34	EXTENSIVE GREEN ROOF
15	LIGHT POLE	35	SUNNING AREA
16	GARAGE VEHICLE ENTRY/EXIT	36	DINING TABLE
17	SECURITY FENCE AND GATE	37	NOT USED
18	SEATING ELEMENT	38	LIGHTWEIGHT PLANTER
19	ACCESSIBLE PEDESTRIAN RAMP	39	PUBLIC DOG PARK
20	EXTERIOR STAIR	40	6" FENCE
		41	4" FENCE
		42	DECOMPOSED GRANITE
		43	NOT USED

PLANT SCHEDULE

SPECIES	COMMON NAME	SIZE
TREES		
ACER PALMATUM 'ATROPURPUREUM'	JAPANESE MAPLE	24" BOX
ACER PALMATUM 'SANGU KAKU'	JAPANESE MAPLE	24" BOX
ACER RUBRUM	RED MAPLE	24" BOX
CITRUS LEMON 'IMP. MEYER'	LEMON	15 GAL
CORDYLINE AUSTRALIS 'RED STAR'	CORDYLINE	15 GAL
DICKSONIA ANTARCTICA	NEW ZEALAND TREE FERN	4" TRUNK
GINKGO BILOBA	GINKGO	24" BOX
NYSSA SYLVATICA	SOUR GUM	24" BOX
SEQUOIA SEMPERVIRENS	REDWOOD	24" BOX
SYAGRUS ROMANOFFIANA	QUEEN PALM	5" TRUNK
TRACHYCARPUS FORTUNEI	WINDMILL PALM	7" TRUNK
SHRUBS		
BRUGMANSIA 'CHARLES GRIMALDI'	ANGEL'S TRUMPET	15 GAL
CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL
CLIVIA MINIATA	CLIVIA	5 GAL
CYCAS REVOLUTA	CYCAD	15 GAL
GERANIUM MACRORRHIZUM 'INGWERSENS'	GERANIUM	1 GAL
HAKONCHLCA MACRA 'AUREOLA'	HAKONE GRASS	5 GAL
HELLEBORE 'ONYX OODESEY'	HELLEBORE	1 GAL

HEUCHERA 'CHERRIES JUBILEE'	HEUCHERA	1 GAL
HEUCHERA 'PALACE PURPLE'	HEUCHERA	1 GAL
LAVANDULA 'MIDCOTE'	ENGLISH LAVENDER	5 GAL
MAHONIA AQUIFOLIUM 'ORANGE FLAME'	OREGON GRAPE	5 GAL
NEPHROLEPIS CORDIFOLIA	SOUTHERN SWORD FERN	5 GAL
PHORMIUM TENAX 'MAORI MAIDEN'	NEW ZEALAND FLAX	5 GAL
POLYSTICHUM MUNITUM	SWORD FERN	5 GAL
SANSEVERIA TRIFASCIATA LAURENTII	MOTHER IN LAW'S TONGUE	5 GAL
		1 GAL
GRND. COVER		
GALIUM ODORATUM	SWEET WOODRUFF	1 GAL
RUBUS PENTALOBUS	RUBUS	1 GAL
VINE		
DISTICTUS BUCCINATORI	BLOOD RED TRUMPET VINE	15 GAL
VITIS CALIFORNICA	CALIFORNIA GRAPE	15 GAL



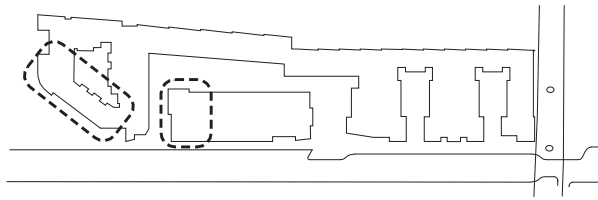
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2	FOR US RECORD	02/19/14
3	LPN SUBMITTAL #2	02/19/14

JOB NUMBER: 1309
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 CHECKED BY: Checker
 DATE: 06/23/2014
 SCALE:
 TITLE: LANDSCAPE CONCEPT PLAN

L-0.01

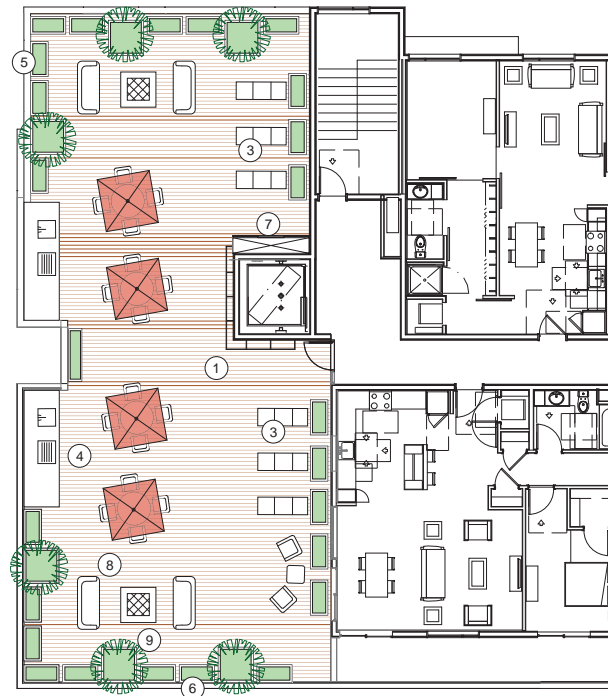
AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107



KEY MAP

AMENITIES KEY

- | | |
|---|---------------------|
| ① WOOD DECKING | ⑥ TREES IN PLANTERS |
| ② GREEN ROOF | ⑦ STORAGE SHED |
| ③ SUNNING AREA | ⑧ LOUNGE AREA |
| ④ BBQ GATHERING AREA W/
(1) OR (2) BBQS AND A SINK | ⑨ GAS FIRE PIT |
| ⑤ PLANTERS | |



NORTH ROOF DECK

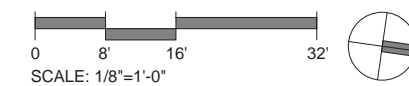


SOUTH ROOF DECK

KB
JM
2/28/2014
1/8"=1'-0"

ROOF DECK PLAN

L1.1 ROOF DECK LANDSCAPE PLAN



L1.1



AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107

STAMP:

DRAWING ISSUE		DATE
NO.	ISSUE	
1	LPA SUBMITTAL	02/13/14
2	100% DC PRELIM	02/04/14
3	LPA SUBMITTAL #2	07/01/14

JOB NUMBER: 1309
 DRAWN BY: Author
 CHECKED BY: Checker
 DATE: 06/23/2014
 SCALE:
 TITLE:
 CENTRAL PLAZA LANDSCAPE SECTION

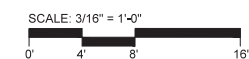
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L-0.02

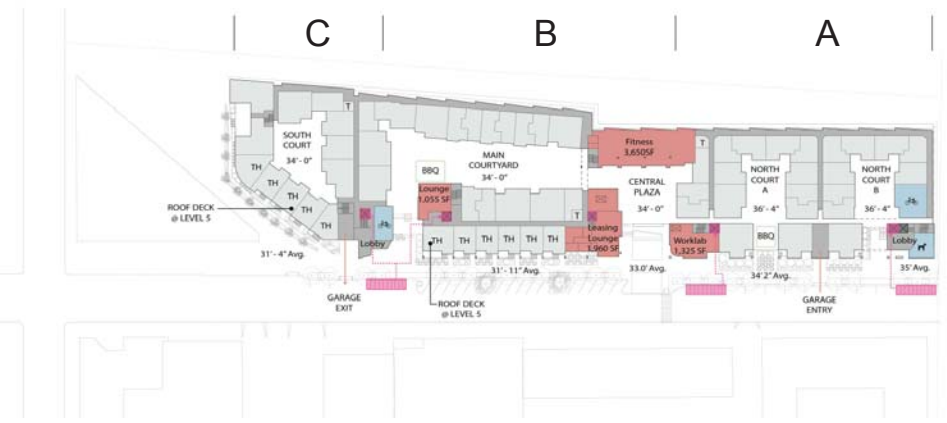
- PRELIMINARY - Not for Construction -
 8/24/2014 1:59:44 PM



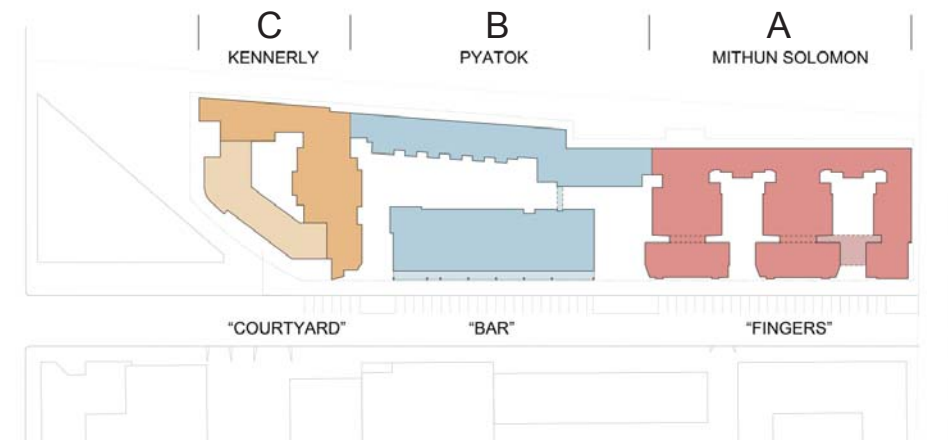
CENTRAL PLAZA LANDSCAPE SECTION



- LEGEND
- Mail
 - Bike Storage
 - Dogwash
 - Leasing Lounge
 - Trash
 - Ramp
 - Outdoor Gathering
 - Auto Entry / Exit
 - Lounge Amenities
 - Bike Storage/Workshop
 - Corridor/Lobby
 - Elevator Core
 - Loading Elevator
 - Loading zone
 - Loading Path



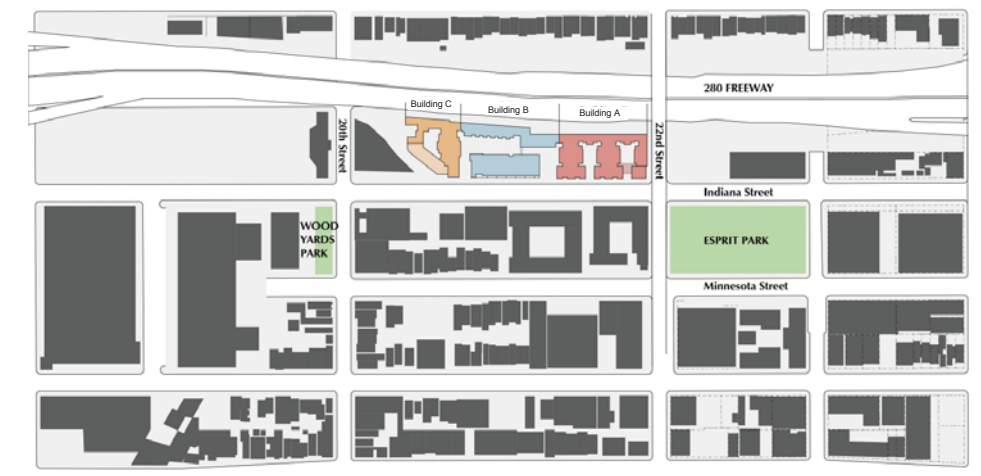
AMENITIES & ACTIVE STREET FRONTAGE
1/64" = 1'-0" 6



DESIGN ARCHITECTS
1/64" = 1'-0" 3



HEIGHT
1/64" = 1'-0" 5



NEIGHBORHOOD CONTEXT - PROPOSED BUILDING
1" = 200'-0" 2



- LEGEND
- Publicly Accessible Outdoor space
 - Outdoor Space
 - Views from street

MASSING BREAKS & OPEN SPACE
1/64" = 1'-0" 4



NEIGHBORHOOD CONTEXT - EXISTING
1" = 200'-0" 1



AVALON DOGPATCH
800 INDIANA STREET
SAN FRANCISCO, CA 94107

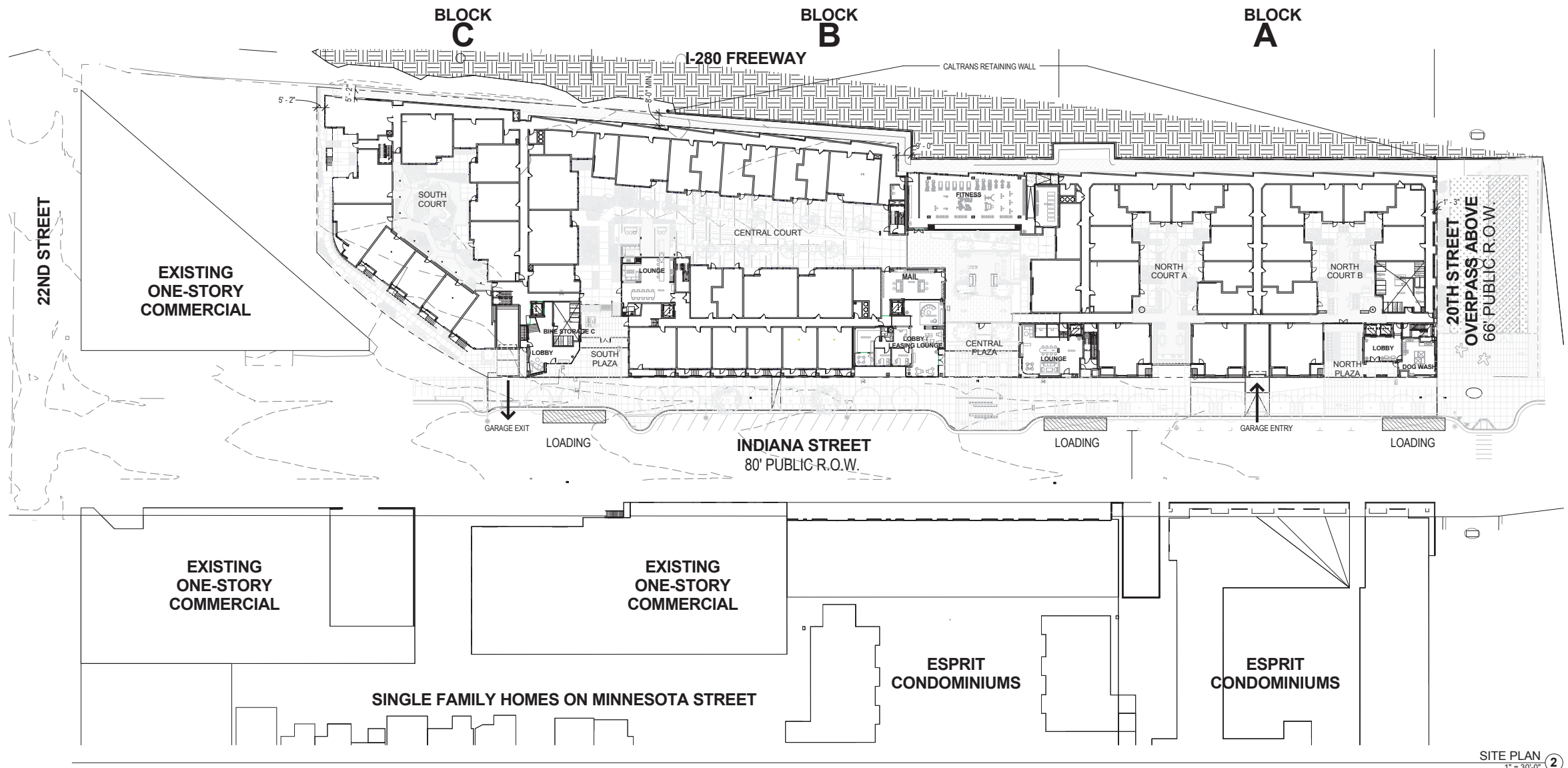
STAMP:

DRAWING ISSUE		DATE
NO	ISSUE	DATE
1	10% SUBMITTAL #1	05/24/14
2	LPA SUBMITTAL #2	07/14/14
3	LPA SUBMITTAL #3	12/01/14

JOB NUMBER:	1309
DRAWN BY:	SF
CHECKED BY:	MCPW
DATE:	05/14/2014
SCALE:	As indicated

TITLE:
PROJECT DIAGRAMS

SHEET:
A0.00



AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107

STAMP:

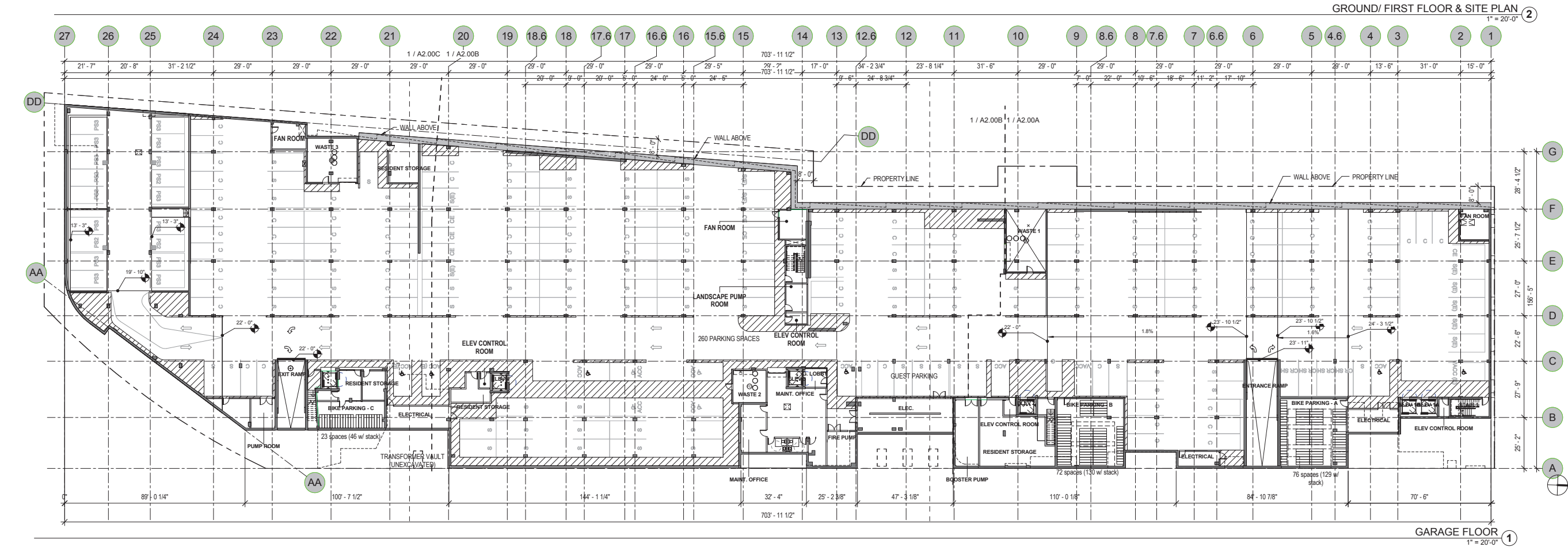
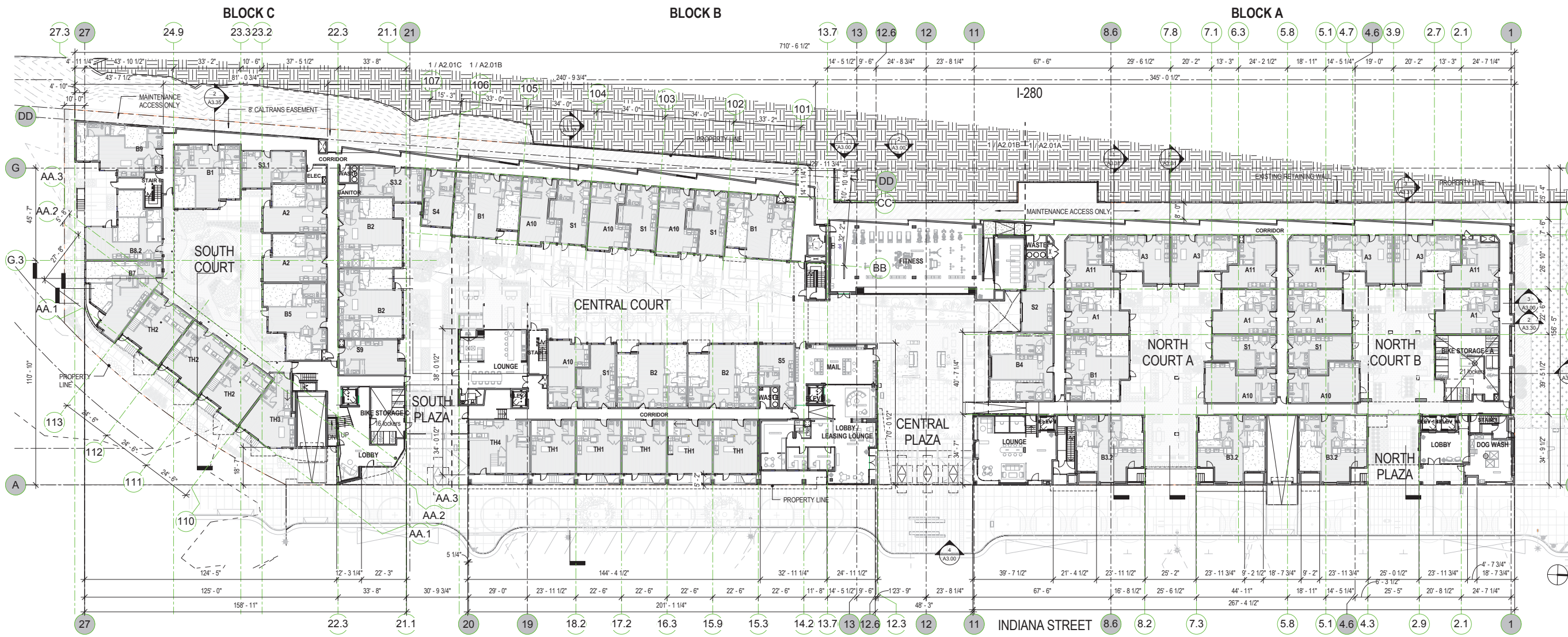
DRAWING ISSUE	
NO	DATE
1	10/10/14
2	02/04/14
3	05/01/14
4	12/01/14

JOB NUMBER: 1309
 DRAWN BY: SF
 CHECKED BY: MCPW
 DATE: 05/14/2014
 SCALE: 1" = 30'-0"

TITLE:
SITE PLAN

SHEET:
A1.00

SITE PLAN
 1" = 30'-0" ②



STAMP:

NO.	ISSUE	DATE
1	LPA SUBMITTAL	10/17/14
2	UPD. SUBMITTAL	02/04/15
3	LPA SUBMITTAL #2	02/01/15
4	LPA SUBMITTAL #3	12/01/14

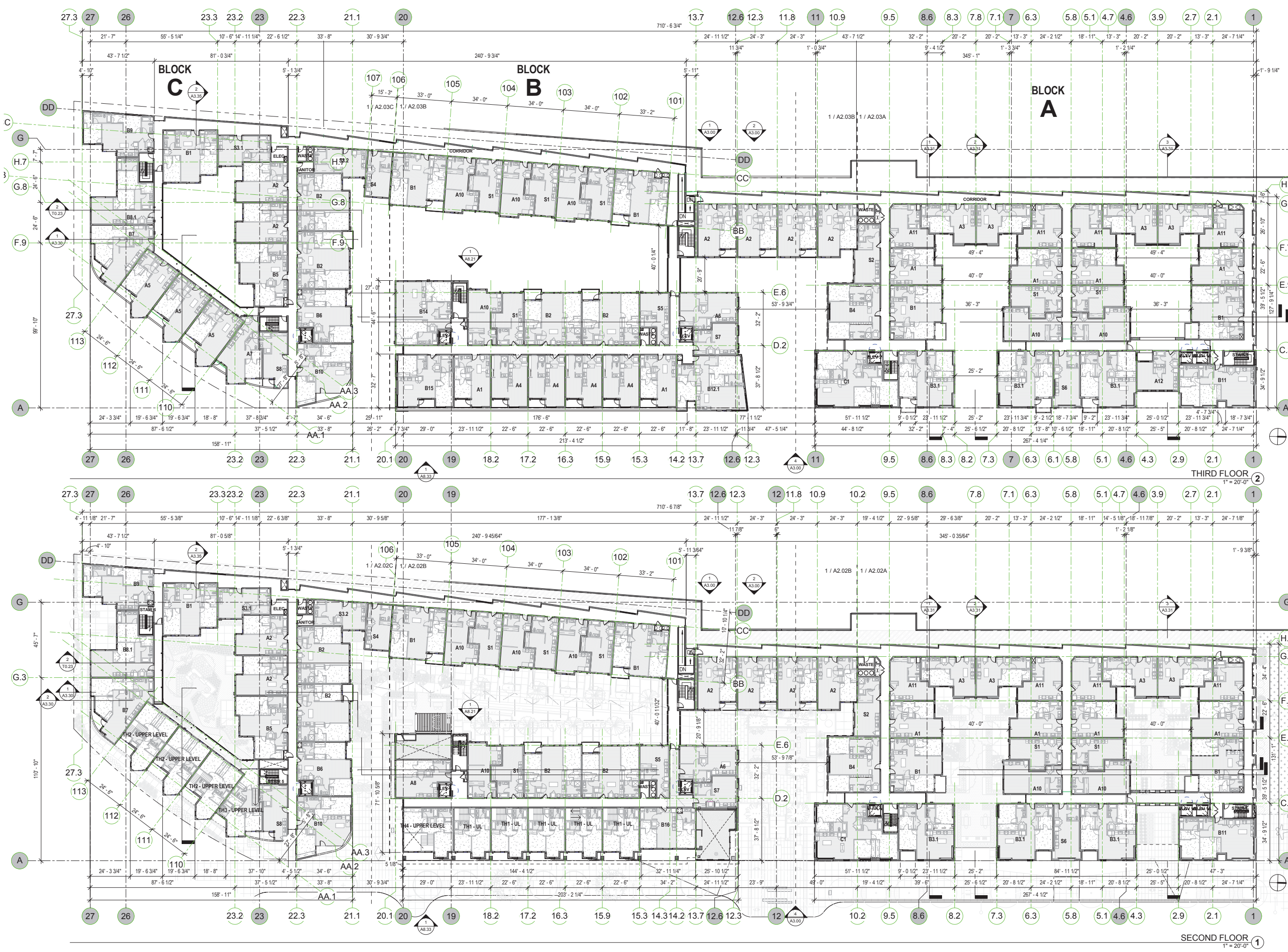
JOB NUMBER: 1309
DRAWN BY: SF
CHECKED BY: MOPW
DATE: 05/14/2014
SCALE: 1" = 20'-0"

TITLE:
BUILDING PLAN - GARAGE FLOOR & FIRST FLOOR

SHEET:
A1.01



AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107



STAMP:

NO.	ISSUE	DATE
1	LPA SUBMITTAL	10/17/14
2	100% DESIGN	02/09/14
3	80% DESIGN	02/09/14
4	90% DESIGN	02/09/14
5	100% DESIGN	02/09/14
6	LPA SUBMITTAL #2	12/01/14

JOB NUMBER:	1309
DRAWN BY:	SF
CHECKED BY:	MCPW
DATE:	05/14/2014
SCALE:	1" = 20'-0"

TITLE:
BUILDING PLAN - SECOND FLOOR & THIRD FLOOR

SHEET:
A1.02

-PRELIMINARY - Not for Construction -



AVALON DOGPATCH
800 INDIANA STREET
SAN FRANCISCO, CA 94107

STAMP:

NO.	ISSUE	DATE
1	LPA SUBMITTAL #1	10/17/14
2	100% DESIGN DEVELOPMENT	02/04/14
3	80% DESIGN DEVELOPMENT	02/03/14
4	60% DESIGN DEVELOPMENT	02/03/14
5	30% DESIGN DEVELOPMENT	08/28/14
6	100% DESIGN DEVELOPMENT	10/17/14
7	LPA SUBMITTAL #2	12/01/14

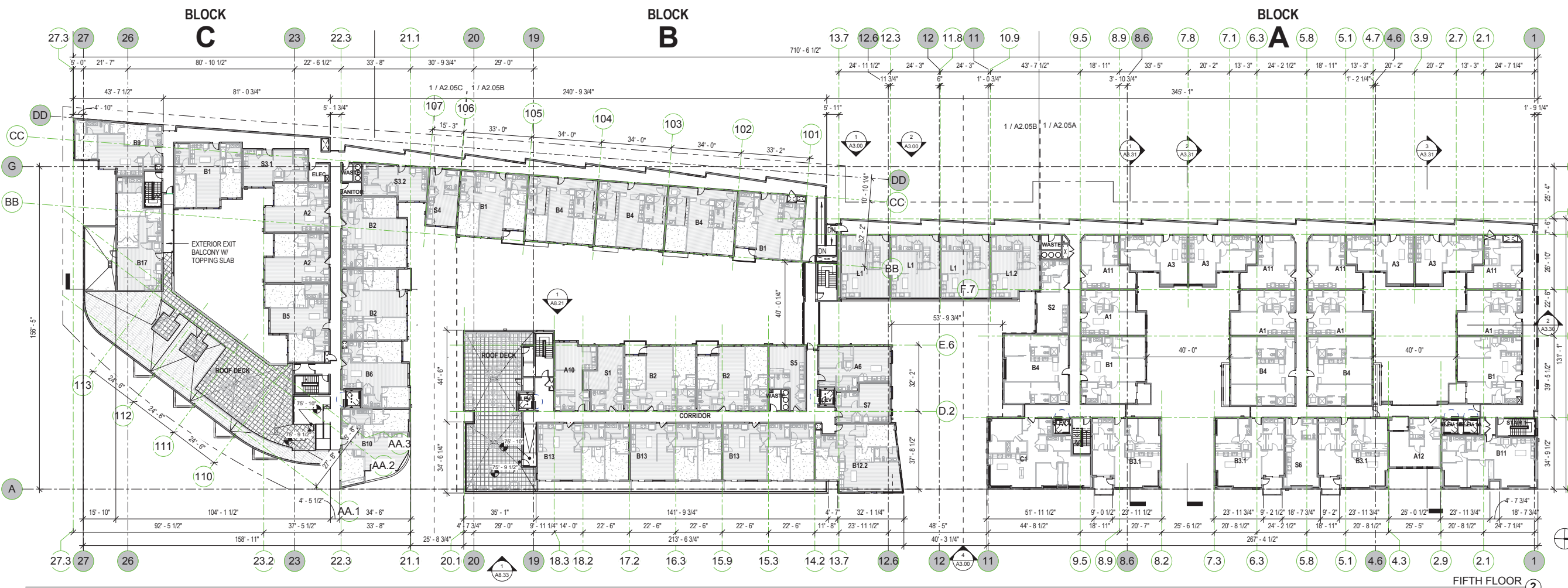
JOB NUMBER:	1309
DRAWN BY:	SF
CHECKED BY:	MCPW
DATE:	05/14/2014
SCALE:	1" = 20'-0"

TITLE:
BUILDING PLAN - FOURTH FLOOR & FIFTH FLOOR

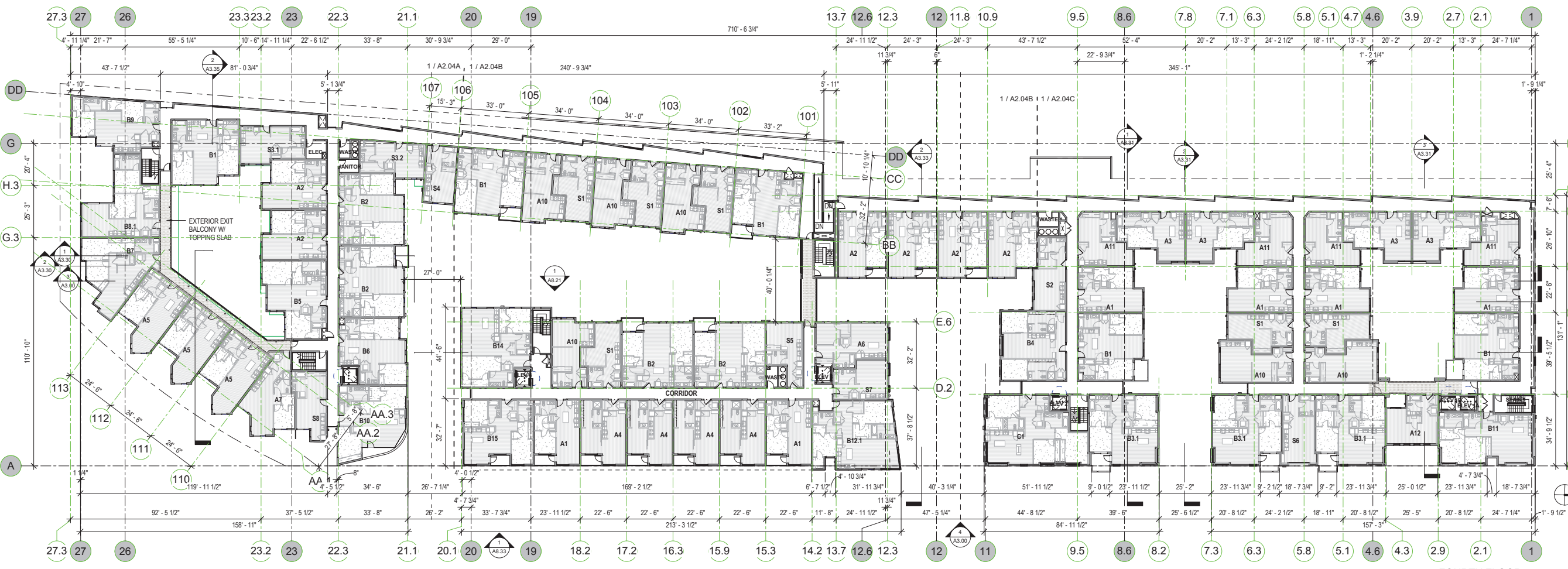
SHEET:

A1.03

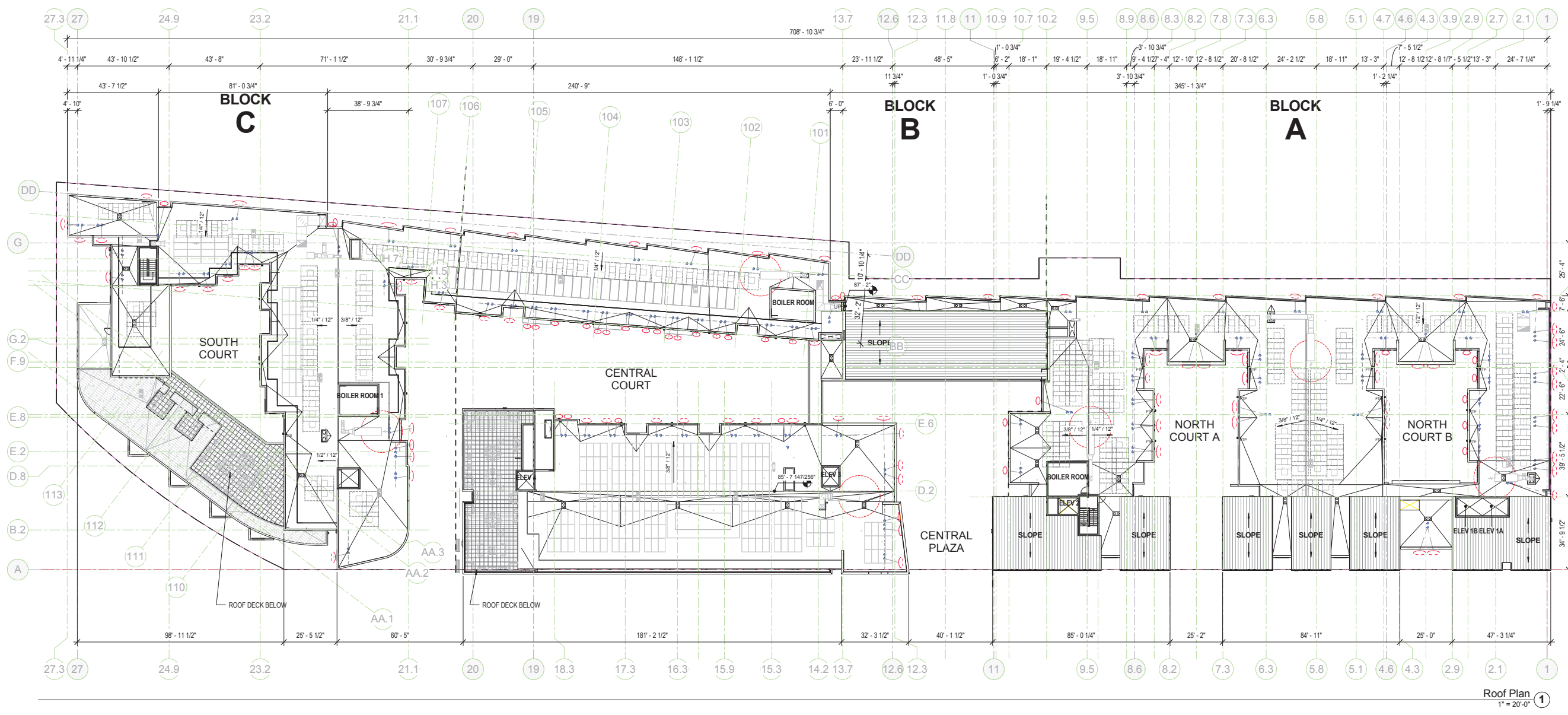
- PRELIMINARY - Not for Construction -



FIFTH FLOOR
1" = 20'-0"



FOURTH FLOOR
1" = 20'-0"



Roof Plan 1
 1" = 20'-0"

AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107

STAMP:

NO	ISSUE	DATE
1	LPA SUBMITTAL #1	10/11/14
2	100% DESIGN DEVELOPMENT	09/26/14
3	80% PERMIT	06/23/14
4	LPA SUBMITTAL #2	07/01/14
5	90% DESIGN DEVELOPMENT	08/29/14
6	90% DESIGN DEVELOPMENT	09/26/14
7	100% DESIGN DEVELOPMENT	10/11/14
8	LPA SUBMITTAL #3	12/01/14

JOB NUMBER:	1309
DRAWN BY:	SF
CHECKED BY:	MCPW
DATE:	05/14/2014
SCALE:	1" = 20'-0"
TITLE:	BUILDING PLAN - ROOF PLAN

SHEET:
A1.04



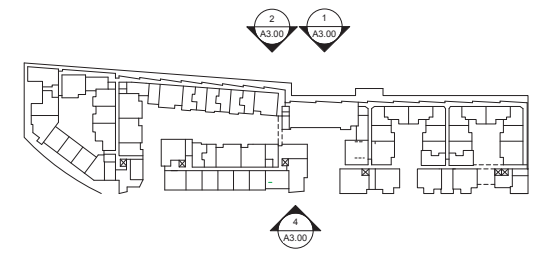
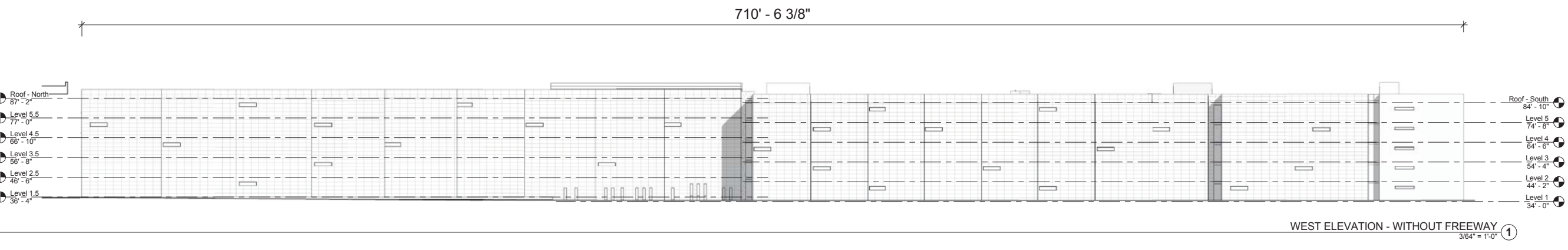
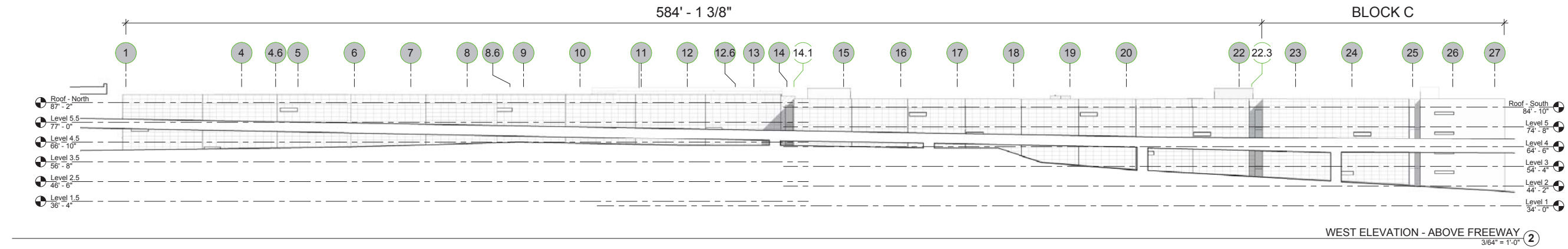
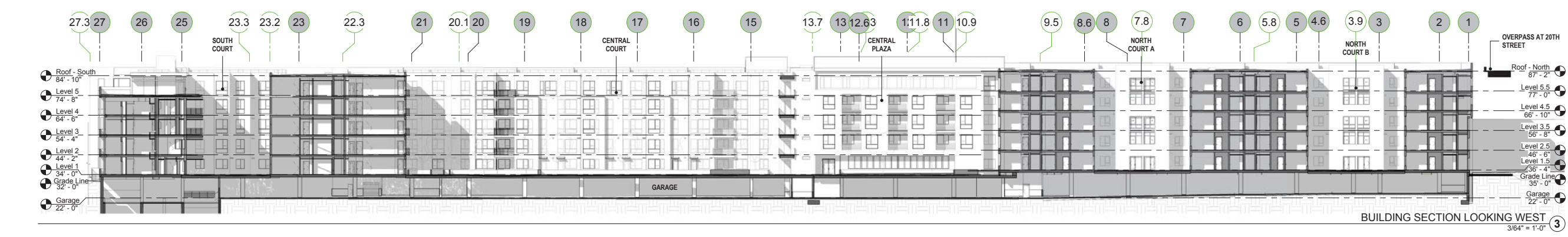
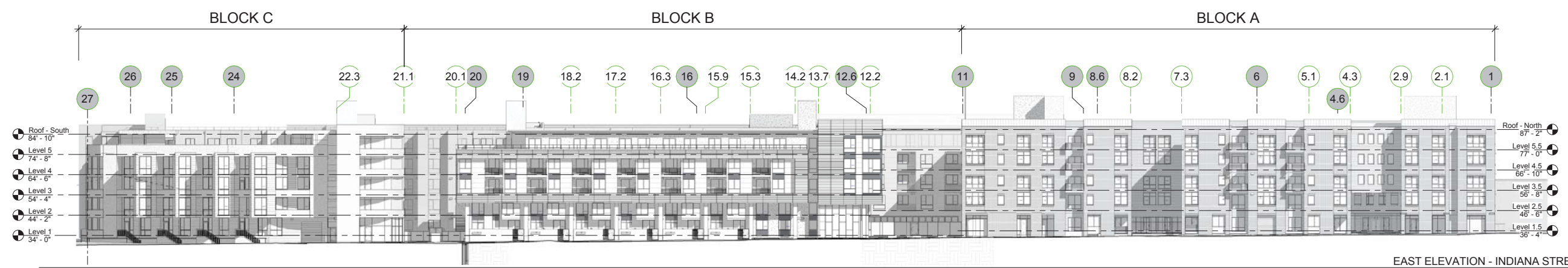
STAMP:

NO.	ISSUE	DATE
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2	20% DEVELOPMENT	05/20/14
3	30% DEVELOPMENT	05/20/14
4	40% DEVELOPMENT	05/20/14
5	50% DEVELOPMENT	05/20/14
6	60% DEVELOPMENT	05/20/14
7	70% DEVELOPMENT	05/20/14
8	80% DEVELOPMENT	05/20/14
9	90% DEVELOPMENT	05/20/14
10	100% DEVELOPMENT	05/20/14

JOB NUMBER: 1309
 DRAWN BY: SF
 CHECKED BY: MCPW
 DATE: 05/14/2014
 SCALE: As indicated
 TITLE:
WHOLE BUILDING ELEVATIONS

SHEET:
A3.00

- PRELIMINARY - Not for Construction -





AVALON DOGPATCH
800 INDIANA STREET
SAN FRANCISCO, CA 94107

STAMP:

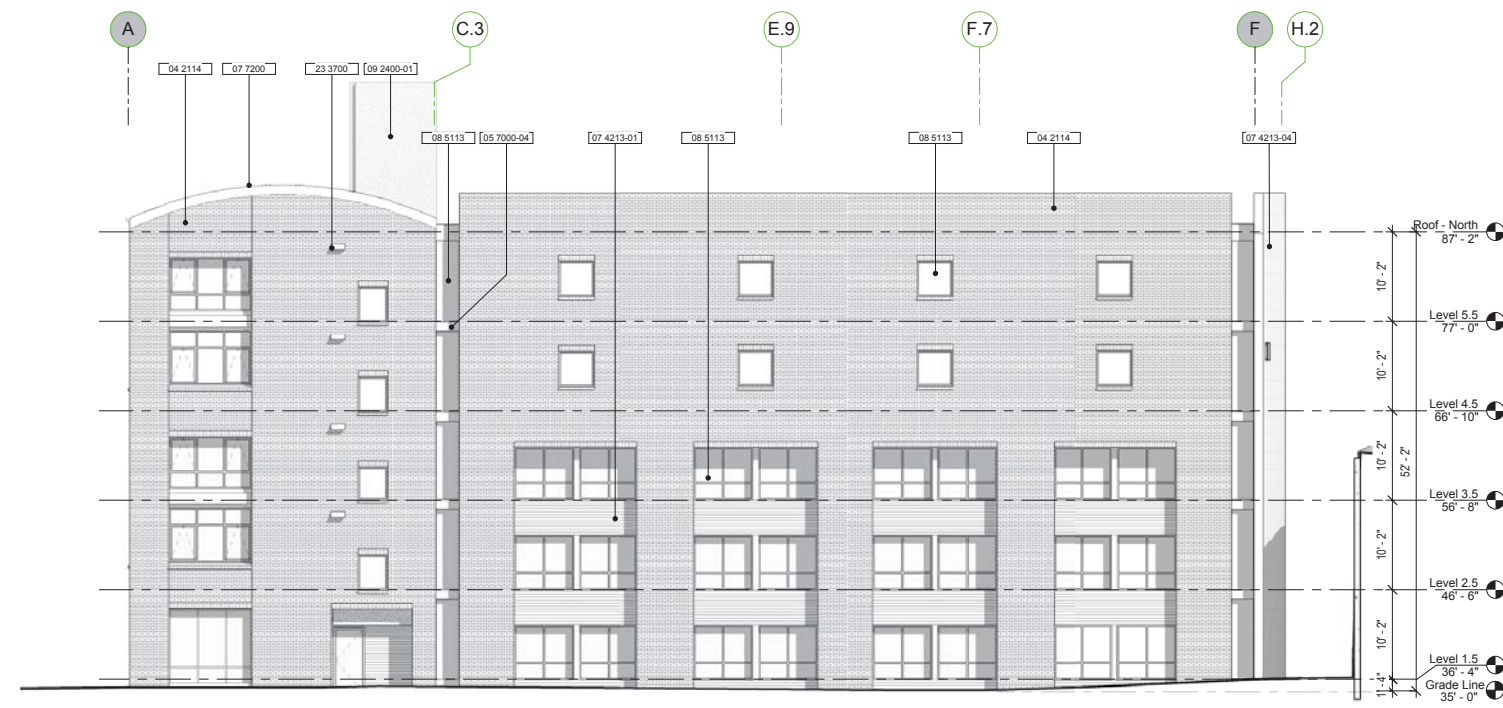
NO.	ISSUE	DATE
1	ISSUE NO. PRELIMINARY	05/14/2014
2	LPA SUBMITTAL #2	05/14/2014
3	ISSUE NO. DEVELOPMENT	05/14/2014
4	ISSUE NO. DEVELOPMENT	05/14/2014
5	LPA SUBMITTAL #3	05/14/2014

JOB NUMBER: 1309
DRAWN BY: SF
CHECKED BY: MCPW
DATE: 05/14/2014
SCALE: As indicated

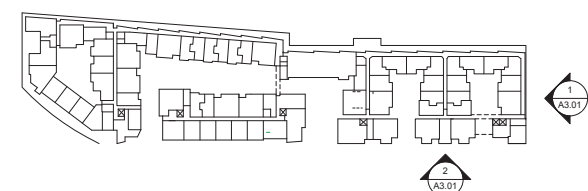
TITLE:
ENLARGED ELEVATIONS - BLOCK A

SHEET:
A3.01

- PRELIMINARY - Not for Construction -



KEYNOTE LEGEND	
Key Value	Keynote Text
04 2114	BRICK VENEER
05 5213-01	STEEL BAR AND HSS GUARDRAIL - UNIT
05 5213-02	STEEL BAR AND HSS GUARDRAIL - TOWNHOUSE
05 7000-01	DECORATIVE METALS - BRAKE FORM DECORATIVE PANEL
05 7000-04	DECORATIVE METALS - BRAKE FORM ALUMINUM SPANDREL
07 4113-01	METAL WALL PANELS
07 4213-01	METAL WALL PANELS
07 4646-02	MINERAL FIBER CEMENT SIDING
07 7100	METAL COPING
07 7200	ROOF ACCESSORIES
08 4113-01	ALUMINUM-FRAMED ENTRANCES & STOREFRONTS - EXTERIOR
08 5113	ALUMINUM WINDOWS
09 2400-01	PORTLAND CEMENT PLASTERING
23 3700	AIR OUTLETS AND INLETS

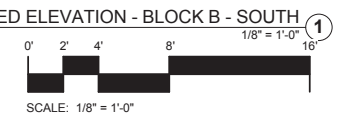
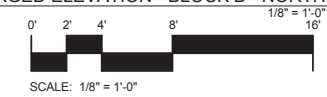
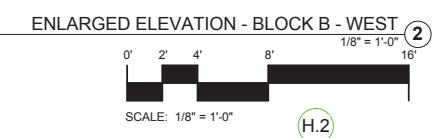




AVALON DOGPATCH
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 SAN FRANCISCO, CA 94107

STAMP:

NO.	ISSUE	DATE
1	ISSUE FOR PERMITS	05/24/14
2	ISSUE FOR PERMITS	02/20/14
3	LPA SUBMITTAL #2	07/01/14
4	ISSUE FOR PERMITS	08/28/14
5	DEVELOPMENT	08/28/14
6	ISSUE FOR PERMITS	10/17/14
7	DEVELOPMENT	12/01/14

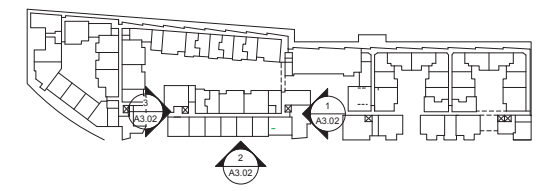


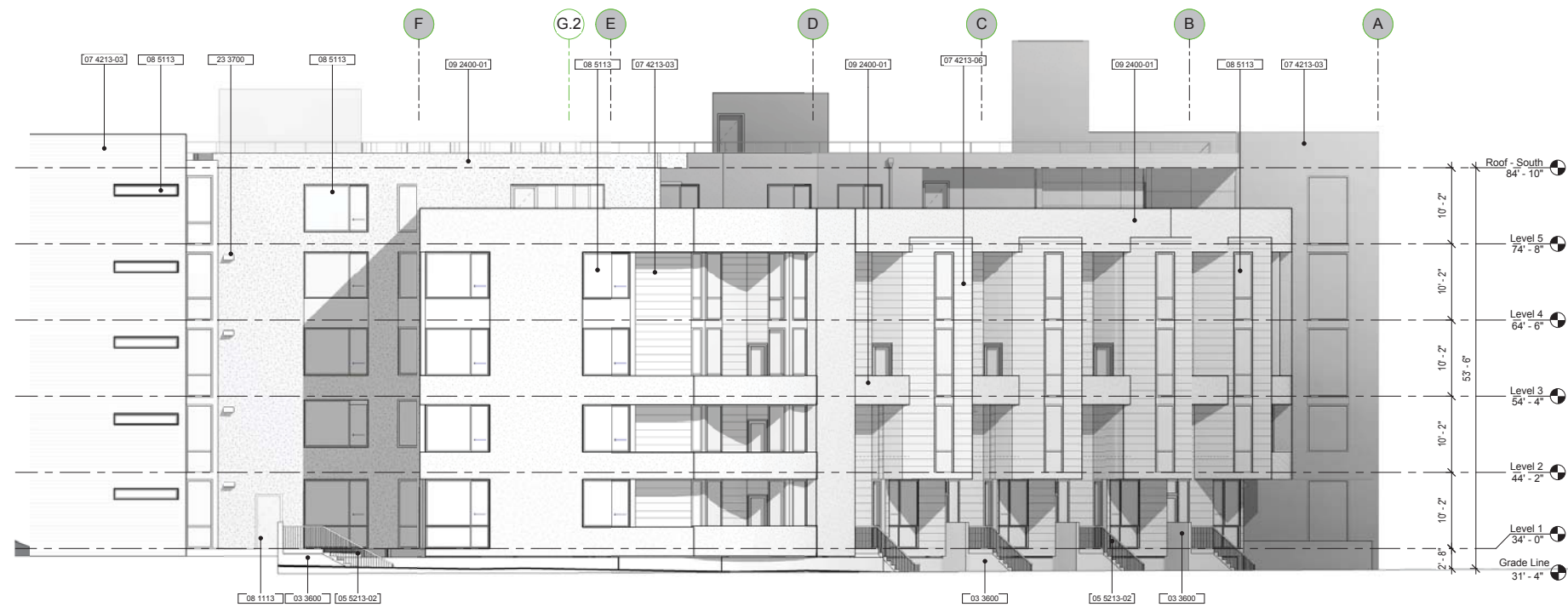
KEYNOTE LEGEND

Key Value	Keynote Text
03 3600	ARCHITECTURAL CONCRETE
03 5216	LIGHTWEIGHT INSULATING CONCRETE
05 5000-03	METAL FABRICATIONS - TRELIS
05 5000-09	METAL FABRICATIONS - MISC STEEL TRIM
05 5213-01	STEEL BAR AND HSS GUARDRAIL - UNIT
05 5213-03	STEEL BAR AND HSS GUARDRAIL - TERRACE
05 7000-01	DECORATIVE METALS - BRAKE FORM DECORATIVE PANEL
05 7000-02	DECORATIVE METALS - BRAKE FORM STEEL PANEL
05 7000-03	DECORATIVE METALS - BRAKE FORM ALUMINUM PANEL
05 7000-04	DECORATIVE METALS - BRAKE FORM ALUMINUM SPANDREL
05 7513	DECORATIVE PERFORATED PANELS
06 1800	GLUED-LAMINATED CONSTRUCTION
07 4213-02	METAL WALL PANELS

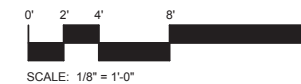
KEYNOTE LEGEND

Key Value	Keynote Text
07 4646-01	MINERAL FIBER CEMENT SIDING
07 7100	METAL COPING
08 1113	HOLLOW METAL DOORS AND FRAME
08 4113-01	ALUMINUM-FRAMED ENTRANCES & STOREFRONTS - EXTERIOR
08 4113-03	ALUMINUM-FRAMED ENTRANCES & STOREFRONTS - DOOR
08 4400	CURTAIN WALLS
08 5113	ALUMINUM WINDOWS
08 5313	VINYL WINDOWS
09 2400	PORTLAND CEMENT PLASTERING
09 2400-01	PORTLAND CEMENT PLASTERING
09 2400-02	VERTICAL CONTROL JOINT

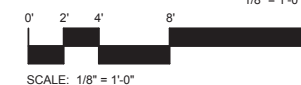




ENLARGED ELEVATION - BLOCK C - NORTH
1/8" = 1'-0"



ENLARGED ELEVATION - BLOCK C - WEST
1/8" = 1'-0"



KEYNOTE LEGEND	
Key Value	Keynote Text
03 3600	ARCHITECTURAL CONCRETE
05 5213-02	STEEL BAR AND HSS GUARDRAIL - TOWNHOUSE
05 5213-03	STEEL BAR AND HSS GUARDRAIL - TERRACE
07 4213-03	METAL WALL PANELS - CORTEN
07 4213-06	ALUMINUM FLAT PANEL; COLOR: CHARCOAL
08 1113	HOLLOW METAL DOORS AND FRAME
08 5113	ALUMINUM WINDOWS
09 2400-01	PORTLAND CEMENT PLASTERING
23 3700	AIR OUTLETS AND INLETS



AVALON DOGPATCH
800 INDIANA STREET
SAN FRANCISCO, CA 94107

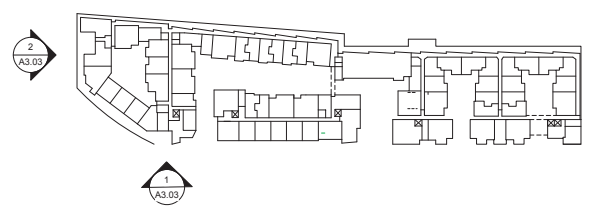
STAMP:

DRAWING ISSUE		
NO	ISSUE	DATE
1	ISSUE FOR PERMITS	05/04/14
2	ISSUE FOR PERMITS	02/20/14
3	LPA SUBMITTAL #2	05/01/14
4	ISSUE FOR PERMITS	08/28/14
5	DEVELOPMENT	08/28/14
6	ISSUE FOR PERMITS	10/01/14
7	DEVELOPMENT	10/01/14
8	LPA SUBMITTAL #3	12/01/14

JOB NUMBER: 1309
DRAWN BY: SF
CHECKED BY: MCPW
DATE: 05/14/2014
SCALE: As indicated

TITLE:
ENLARGED ELEVATIONS -
BLOCK C

SHEET:
A3.03



AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107

STAMP:

NO	ISSUE	DATE
1	ISSUE FOR PERMITS	05/20/14
2	LPA SUBMITTAL #1	05/20/14
3	ISSUE FOR PERMITS	05/20/14
4	LPA SUBMITTAL #2	05/20/14
5	ISSUE FOR PERMITS	05/20/14
6	ISSUE FOR PERMITS	05/20/14
7	ISSUE FOR PERMITS	05/20/14
8	ISSUE FOR PERMITS	05/20/14

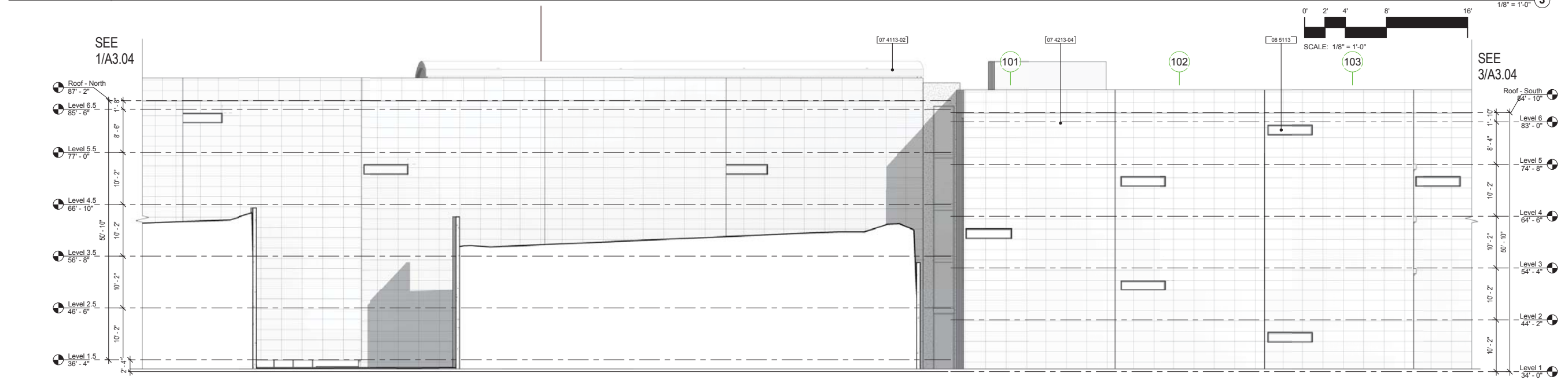
JOB NUMBER: 1309
 DRAWN BY: SF
 CHECKED BY: MCPW
 DATE: 05/14/2014
 SCALE: As indicated
 TITLE:
ENLARGED ELEVATIONS - WEST WALL

SHEET:
A3.04

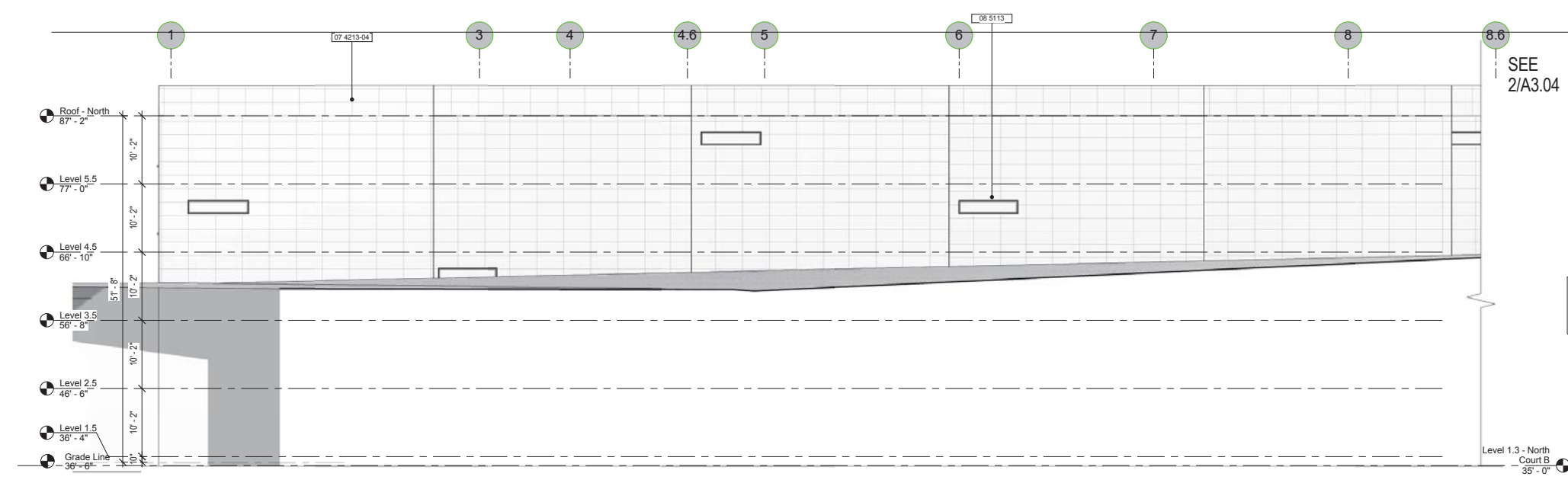
- PRELIMINARY - Not for Construction -



ENLARGED ELEVATIONS - WEST ③
 SCALE: 1/8" = 1'-0"



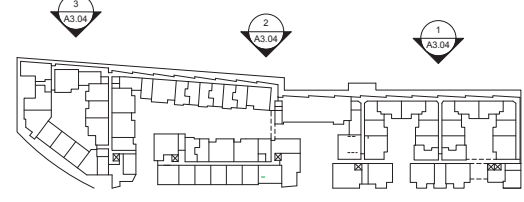
ENLARGED ELEVATIONS - WEST ②
 SCALE: 1/8" = 1'-0"



SEE 2/A3.04
 COURT B
 35'-0"

ENLARGED ELEVATIONS - WEST ①
 SCALE: 1/8" = 1'-0"

Key Value	Keynote Text
07 4113-02	
07 4213-03	METAL WALL PANELS - CORTEN
07 4213-04	METAL WALL PANELS
08 5113	ALUMINUM WINDOWS
08 8100	GLASS GLAZING



ENLARGED ELEVATIONS - WEST ①
 SCALE: 1/8" = 1'-0"

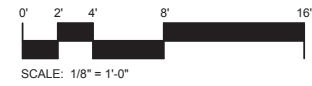


AvalonBay Communities
 445 Market Street, Suite 1650
 San Francisco, CA 94105

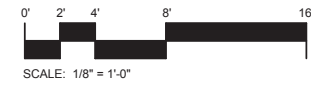
AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107



SOUTH COURT - WEST ELEVATION
 1/8" = 1'-0" ④



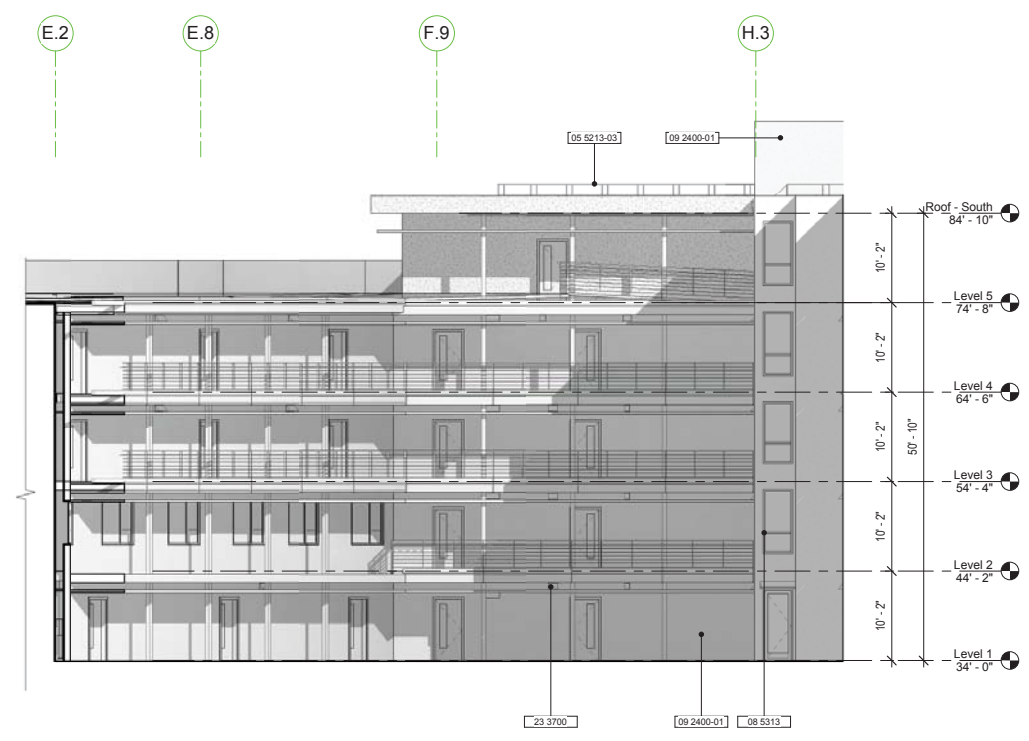
SOUTH COURT - EAST ELEVATION
 1/8" = 1'-0" ②



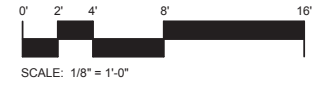
KEYNOTE LEGEND	
Key Value	Keynote Text
03 5216	LIGHTWEIGHT INSULATING CONCRETE
05 1213-01	ARCH. EXPOSED STRUCT. STEEL FRAMING - PROJECTING MARQUEE
05 5213-03	STEEL BAR AND HSS GUARDRAIL - TERRACE
05 7000-01	DECORATIVE METALS - BRAKE FORM DECORATIVE PANEL
05 7000-02	DECORATIVE METALS - BRAKE FORM STEEL PANEL
07 6000-02	GALVANIZED RAINWATER LEADER PIPE, ROUND PIPE TYPICAL; S.P.D.
08 5313	VINYL WINDOWS
09 2400-01	PORTLAND CEMENT PLASTERING
23 3700	AIR OUTLETS AND INLETS

GENERAL NOTES

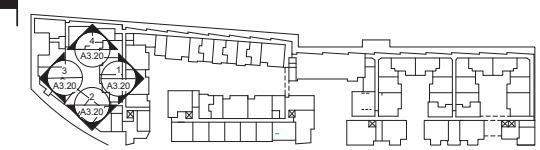
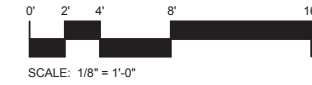
1. ALL LEVELS ARE TO TOP OF PLYWOOD SUBFLOOR, UNLESS OTHERWISE NOTED.
2. REVEALS, EXPANSION JOINTS AND CONTROL JOINTS ARE CONTINUOUS AT JOGS IN WALL, UNLESS OTHERWISE NOTED.
3. AREAS OF CEMENT PLASTER TO BE ENCLOSED BY CEMENT PLASTER CONTROL JOINTS AND SHALL BE 100 SF OF SURFACE AREA OR LESS, TYPICAL.
4. FOR DOOR AND WINDOW TYPES AND SIZES, SEE SCHEDULES AND LEGENDS ON A9-- AND A9--. FOR STOREFRONT SCHEDULES SEE A9--.



SOUTH COURT - SOUTH ELEVATION
 1/8" = 1'-0" ③



SOUTH COURT - NORTH ELEVATION
 1/8" = 1'-0" ①



STAMP:

DRAWING ISSUE		
NO	ISSUE	DATE
1	ISSUE FOR PERMITS	05/14/14
2	ISSUE FOR PERMITS	05/14/14
3	LPA SUBMITTAL #2	05/14/14
4	ISSUE FOR PERMITS	05/14/14
5	DEVELOPMENT	05/14/14
6	ISSUE FOR PERMITS	05/14/14
7	DEVELOPMENT	05/14/14
8	ISSUE FOR PERMITS	05/14/14
9	DEVELOPMENT	05/14/14
10	LPA SUBMITTAL #3	05/14/14

JOB NUMBER: 1309
 DRAWN BY: SF
 CHECKED BY: MCPW
 DATE: 05/14/2014
 SCALE: As indicated

TITLE:
COURTYARD ELEVATIONS - SOUTH COURT

SHEET:
A3.20



CENTRAL COURTYARD - WEST ELEVATION ②



CENTRAL COURTYARD - EAST ELEVATION ①

KEYNOTE LEGEND	
Key Value	Keynote Text
03 3600	ARCHITECTURAL CONCRETE
05 5000-09	METAL FABRICATIONS - MISC STEEL TRIM
05 5213-01	STEEL BAR AND HSS GUARDRAIL - UNIT
05 5213-03	STEEL BAR AND HSS GUARDRAIL - TERRACE
05 7000-02	DECORATIVE METALS - BRAKE FORM STEEL PANEL
05 7000-03	DECORATIVE METALS - BRAKE FORM ALUMINUM PANEL
05 7000-04	DECORATIVE METALS - BRAKE FORM ALUMINUM SPANDREL
05 7513	DECORATIVE PERFORATED PANELS
06 1800	GLUED-LAMINATED CONSTRUCTION
07 4213-02	METAL WALL PANELS
07 4646-01	MINERAL FIBER CEMENT SIDING
07 6000-02	GALVANIZED RAINWATER LEADER PIPE. ROUND PIPE TYPICAL; S.P.D.
07 7100	METAL COPING
08 1113	HOLLOW METAL DOORS AND FRAME
08 4113	
08 5113	ALUMINUM WINDOWS
08 5313	VINYL WINDOWS
09 2400-01	PORTLAND CEMENT PLASTERING
09 2400-02	VERTICAL CONTROL JOINT
09 2400-03	HORIZONTAL CONTROL JOINT
10 3100	MANUFACTURED FIREPLACES
23 3700	AIR OUTLETS AND INLETS



STAMP:

NO	ISSUE	DATE
1	ISSUE FOR PERICING	03/24/14
2	ISSUE FOR PERICING	03/24/14
3	LPA SUBMITTAL #2	05/01/14
4	ISSUE FOR PERICING	05/28/14
5	DEVELOPMENT	08/28/14
6	DEVELOPMENT	09/24/14
7	ISSUE FOR PERICING	10/01/14
8	LPA SUBMITTAL #3	12/01/14

JOB NUMBER: 1309
DRAWN BY: SF
CHECKED BY: MCPW
DATE: 05/14/2014
SCALE: As indicated

TITLE:
COURTYARD ELEVATIONS - CENTRAL COURT

SHEET:
A3.21



AVALON DOGPATCH
 800 INDIANA STREET
 SAN FRANCISCO, CA 94107

STAMP:

NO.	ISSUE	DATE
1	ISSUE NO. PROPOSAL	03/20/14
2	ISSUE NO. PERMITS	02/20/14
3	LPA SUBMITTAL #2	07/01/14
4	ISSUE NO. DEVELOPMENT	08/28/14
5	ISSUE NO. DEVELOPMENT	09/26/14
6	ISSUE NO. DEVELOPMENT	10/01/14
7	LPA SUBMITTAL #3	12/01/14

JOB NUMBER: 1309
 DRAWN BY: SF
 CHECKED BY: MCPW
 DATE: 05/14/2014
 SCALE: As indicated

TITLE:
**COURTYARD ELEVATIONS -
 CENTRAL COURTYARD & PLAZA**

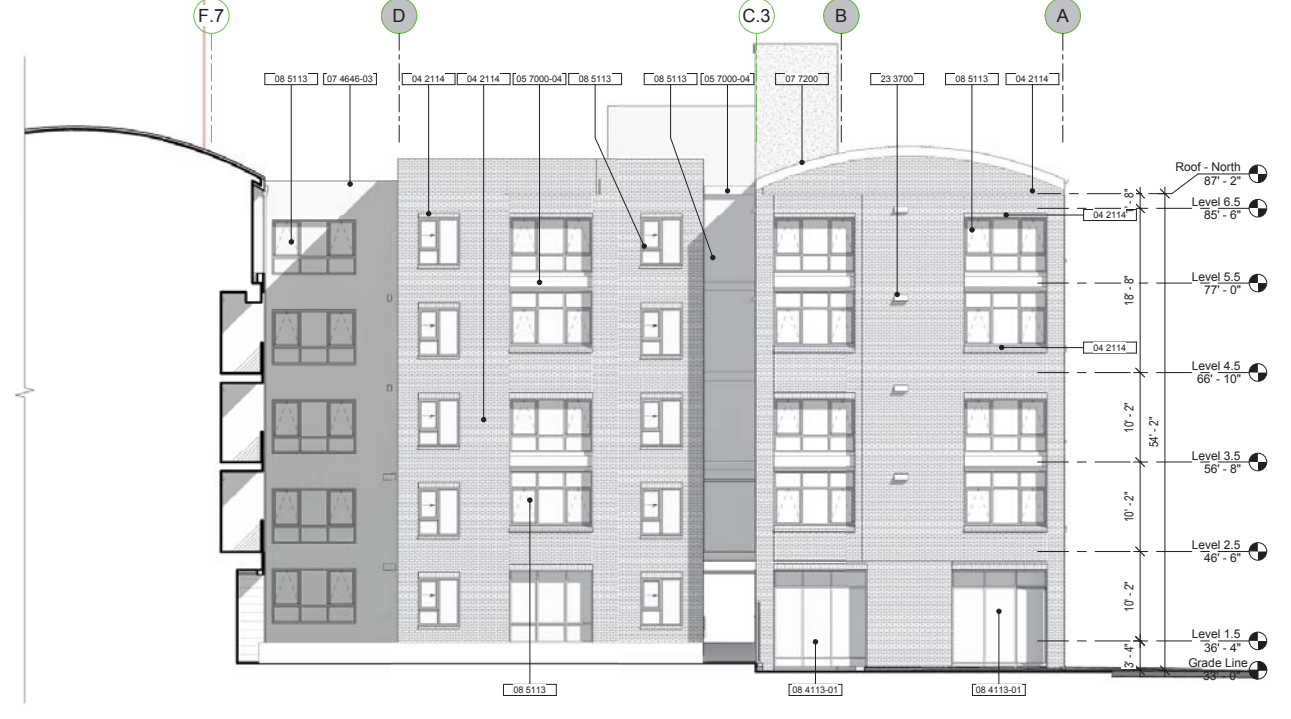
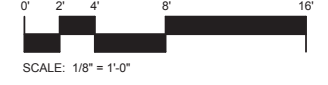
SHEET:

A3.22

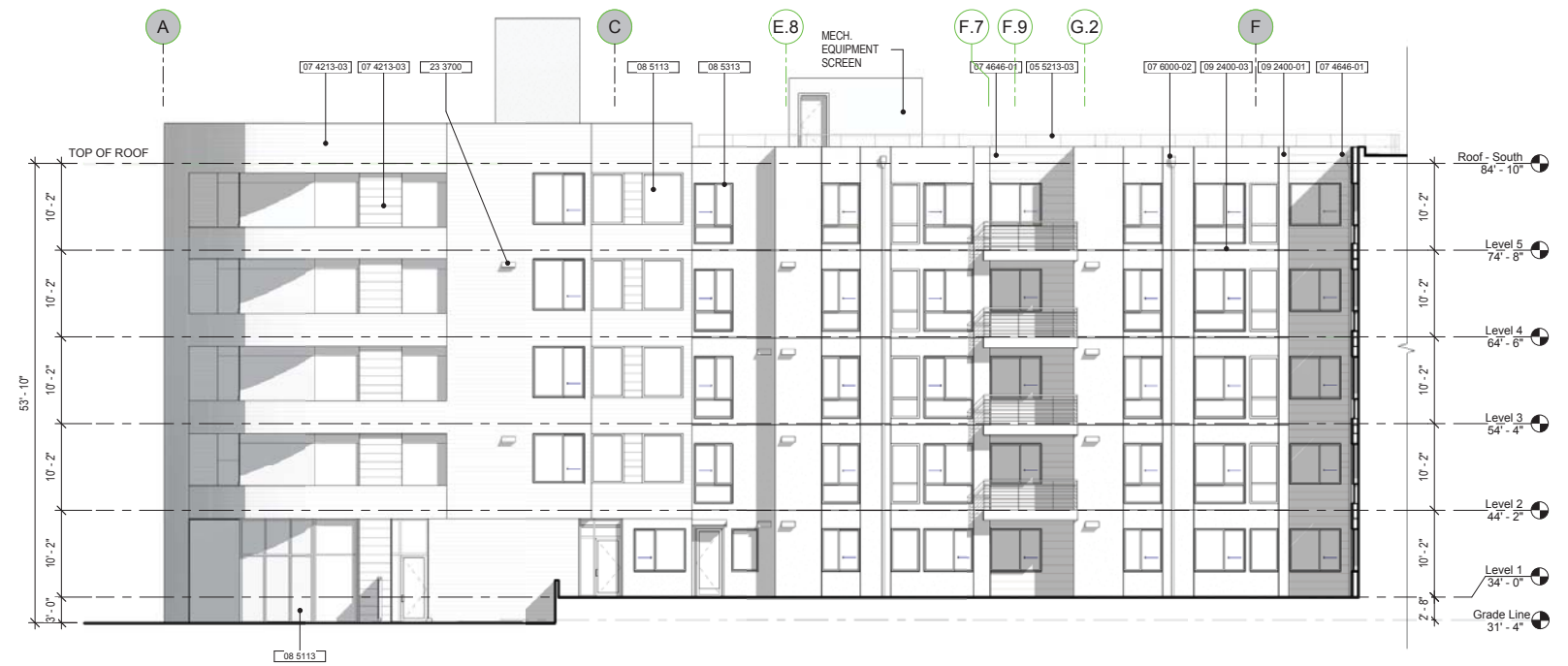
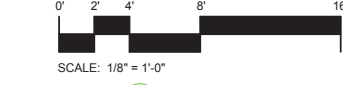
- PRELIMINARY - Not for Construction -



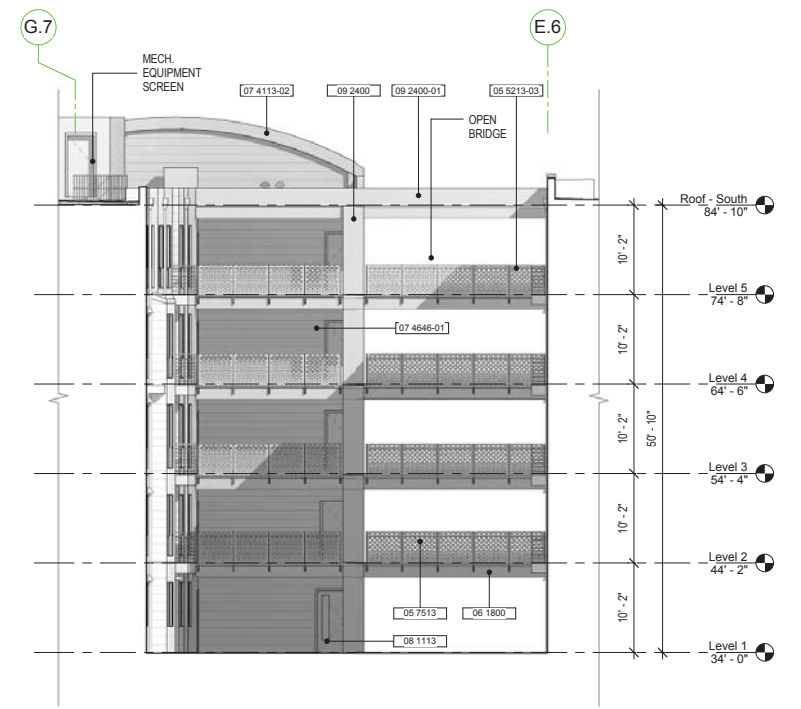
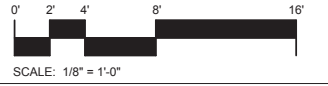
CENTRAL PLAZA - WEST ELEVATION
 1/8" = 1'-0" (4)



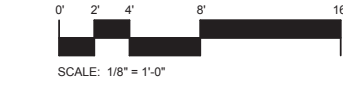
CENTRAL PLAZA - NORTH ELEVATION
 1/8" = 1'-0" (2)



CENTRAL COURTYARD - SOUTH ELEVATION
 1/8" = 1'-0" (3)

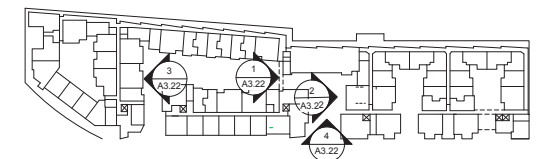


CENTRAL COURTYARD - NORTH ELEVATION
 1/8" = 1'-0" (1)



KEYNOTE LEGEND	
Key Value	Keynote Text
04 2114	BRICK VENEER
05 5213	
05 5213-03	STEEL BAR AND HSS GUARDRAIL - TERRACE
05 7000-04	DECORATIVE METALS - BRAKE FORM ALUMINUM SPANDREL
05 7513	DECORATIVE PERFORATED PANELS
06 1800	GLUED-LAMINATED CONSTRUCTION
07 4113-02	
07 4213-03	METAL WALL PANELS - CORTEN
07 4646-01	MINERAL FIBER CEMENT SIDING
07 4646-03	MINERAL FIBER CEMENT SIDING
07 6000-02	GALVANIZED RAINWATER LEADER PIPE, ROUND PIPE TYPICAL: S.P.D.
07 7200	ROOF ACCESSORIES

KEYNOTE LEGEND	
Key Value	Keynote Text
08 1113	HOLLOW METAL DOORS AND FRAME
08 4113	
08 4113-01	ALUMINUM-FRAMED ENTRANCES & STOREFRONTS - EXTERIOR
08 4113-04	ALUMINUM-FRAMED ENTRANCES & STOREFRONTS
08 5113	ALUMINUM WINDOWS
08 5313	VINYL WINDOWS
08 8100	GLASS GLAZING
09 2400	
09 2400-01	PORTLAND CEMENT PLASTERING
09 2400-03	HORIZONTAL CONTROL JOINT
23 3700	AIR OUTLETS AND INLETS





AvalonBay Communities
445 Market Street, Suite 1650
San Francisco, CA 94105

AVALON DOGPATCH
800 INDIANA STREET
SAN FRANCISCO, CA 94107

STAMP:

DRAWING ISSUE		
NO.	ISSUE	DATE
1	ISSUE FOR PERMITS	03/20/14
2	ISSUE FOR PERMITS	03/20/14
3	LPA SUBMITTAL #2	05/01/14
4	ISSUE FOR PERMITS	05/20/14
5	DEVELOPMENT	08/26/14
6	ISSUE FOR PERMITS	08/26/14
7	DEVELOPMENT	10/17/14
8	ISSUE FOR PERMITS	12/01/14

JOB NUMBER: 1309
DRAWN BY: SF
CHECKED BY: MCPW
DATE: 05/14/2014
SCALE: As indicated

TITLE:
COURTYARD ELEVATIONS - NORTH COURT A

SHEET:

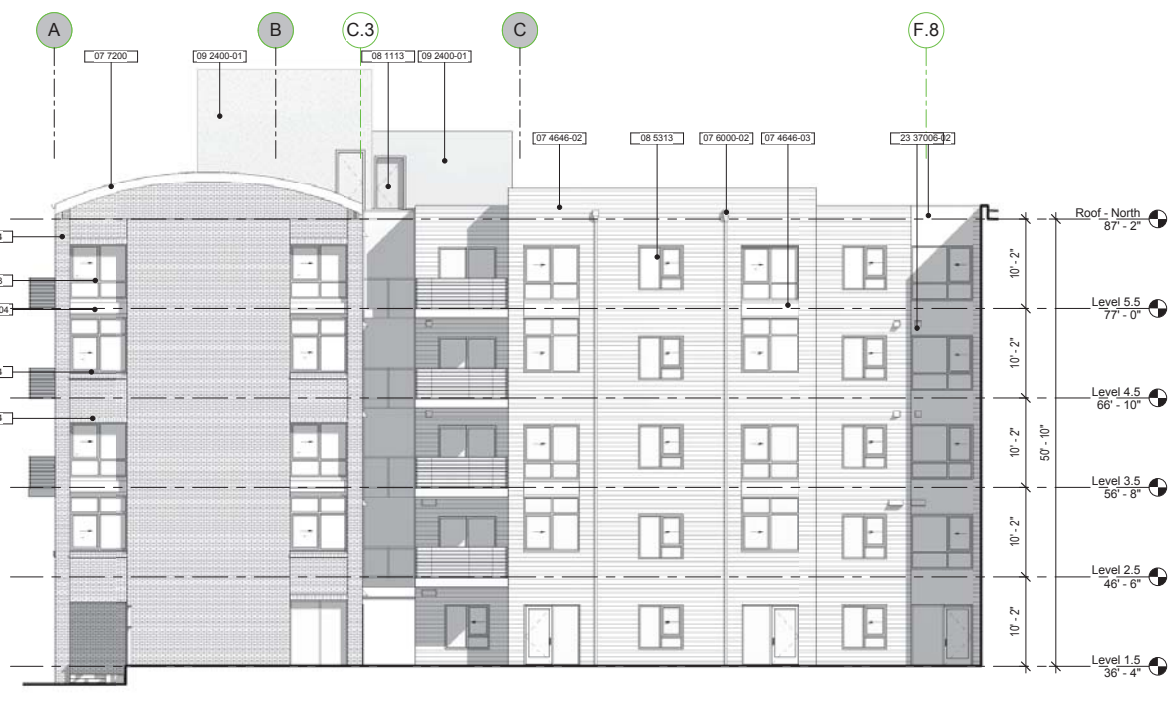
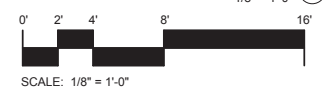
A3.23

- PRELIMINARY - Not for Construction -

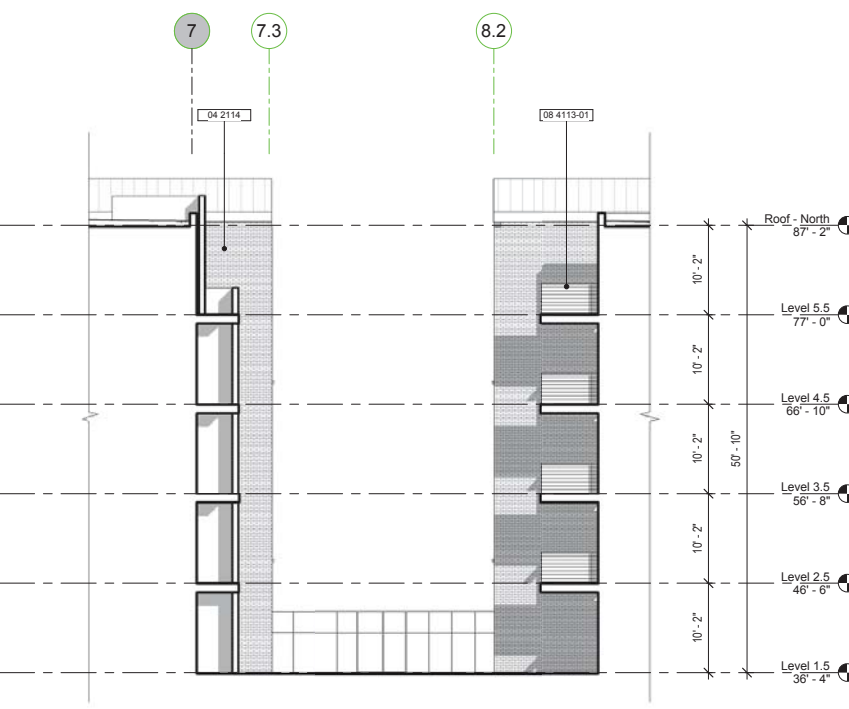
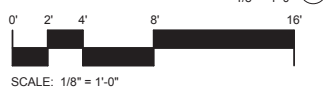
KEYNOTE LEGEND	
Key Value	Keynote Text
04 2114	BRICK VENEER
05 7000-04	DECORATIVE METALS - BRAKE FORM ALUMINUM SPANDREL
07 4646-02	MINERAL FIBER CEMENT SIDING
07 4646-03	MINERAL FIBER CEMENT SIDING
07 6000-02	GALVANIZED RAINWATER LEADER PIPE, ROUND PIPE TYPICAL; S.P.D.
07 7200	ROOF ACCESSORIES
08 1113	HOLLOW METAL DOORS AND FRAME
08 4113-01	ALUMINUM-FRAMED ENTRANCES & STOREFRONTS - EXTERIOR
08 5113	ALUMINUM WINDOWS
08 5313	VINYL WINDOWS
09 2400-01	PORTLAND CEMENT PLASTERING
23 3700	AIR OUTLETS AND INLETS



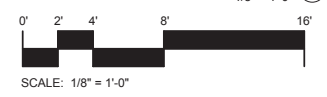
NORTH COURT A - WEST ELEVATION ④



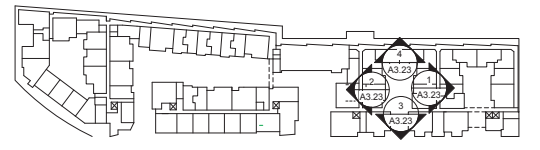
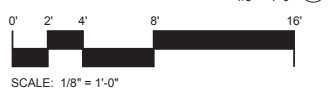
NORTH COURT A - SOUTH ELEVATION ②

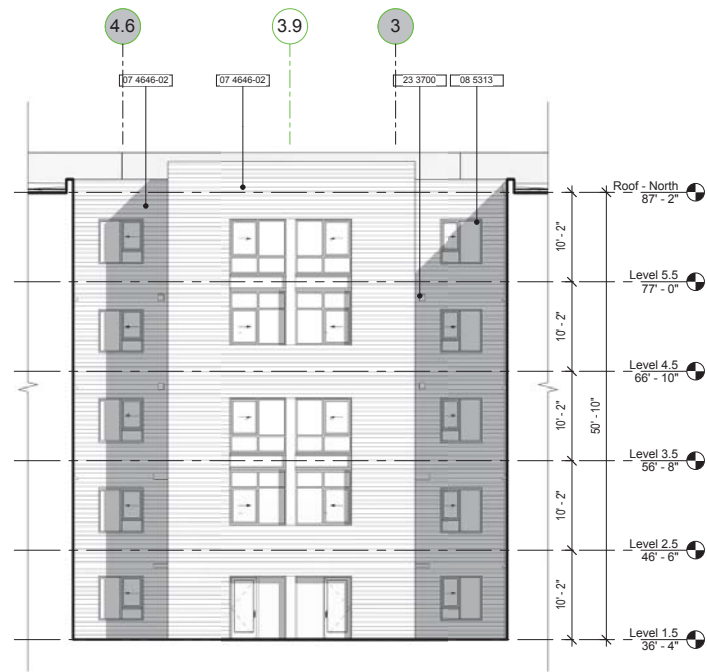


NORTH COURT A - EAST ELEVATION ③

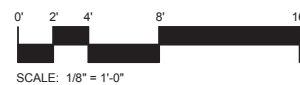


NORTH COURT A - NORTH ELEVATION ①

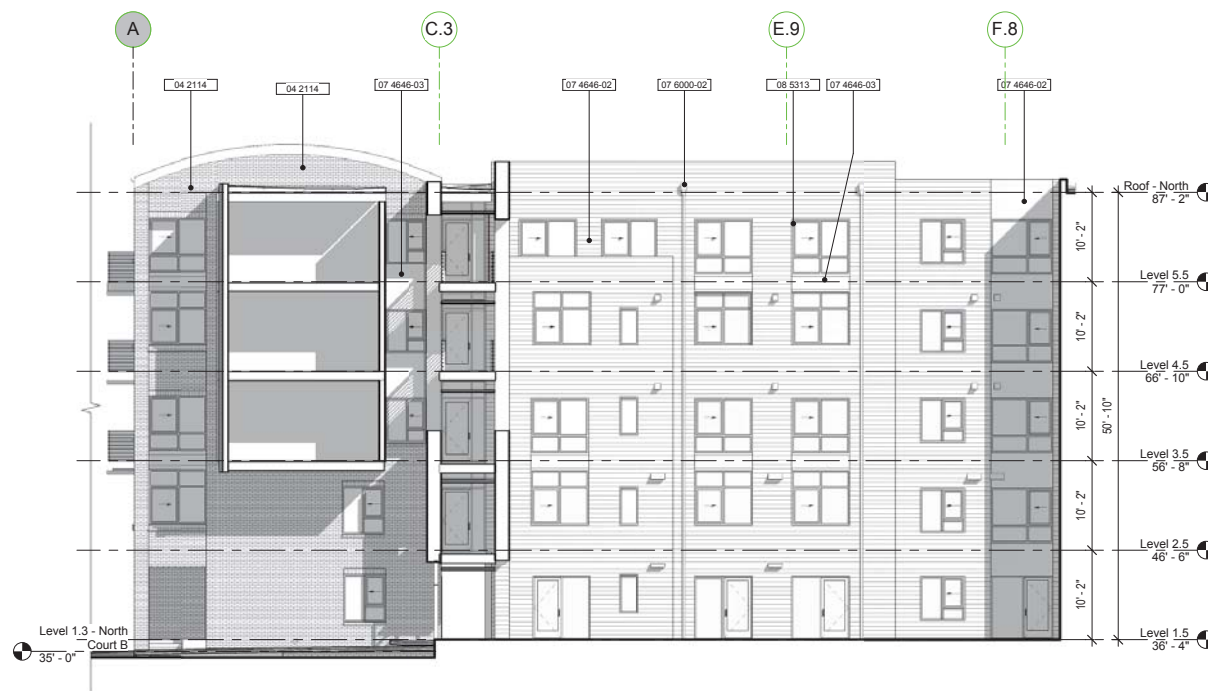




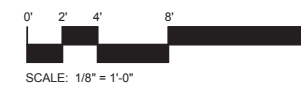
NORTH COURT B - WEST ELEVATION ④
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

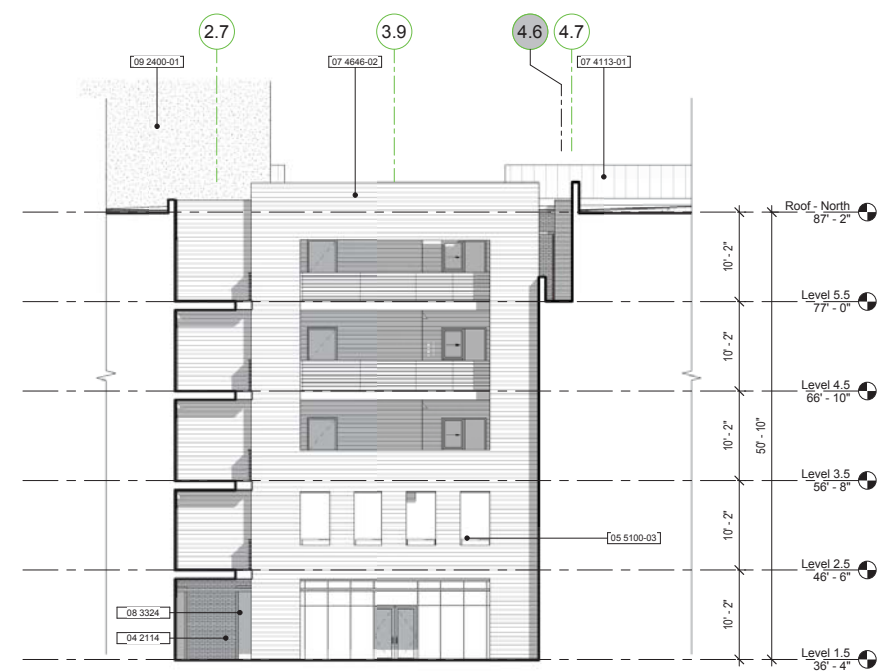


NORTH COURT B - SOUTH ELEVATION ②
1/8" = 1'-0"

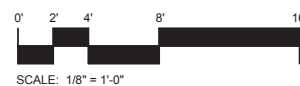


SCALE: 1/8" = 1'-0"

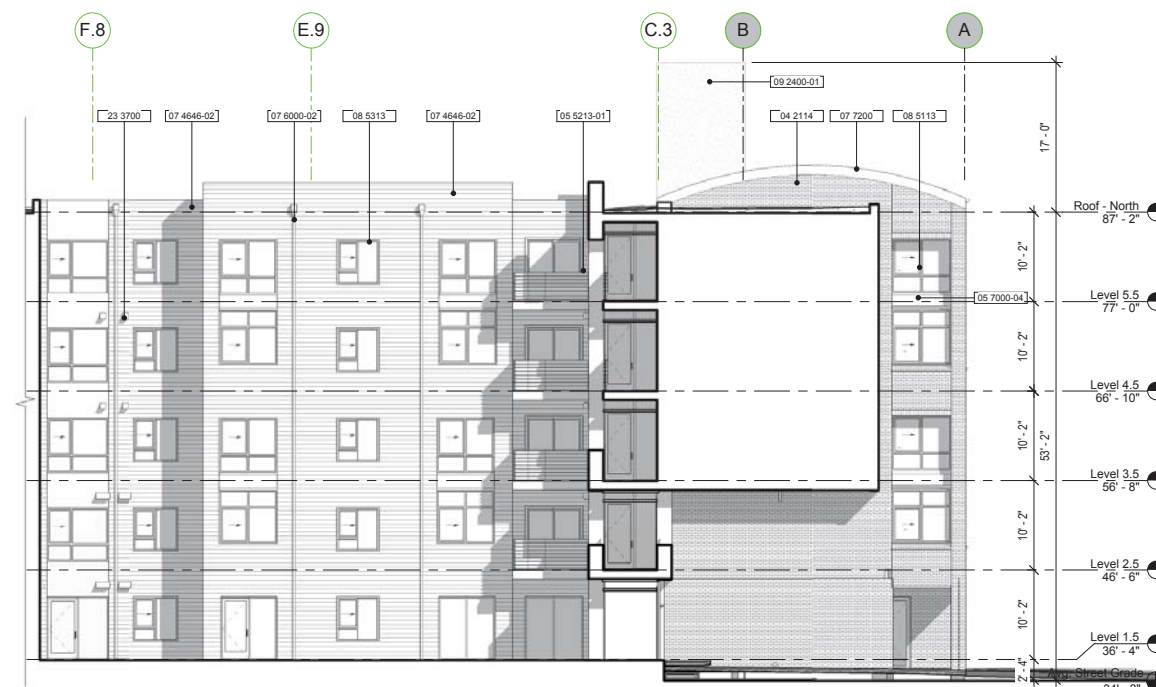
KEYNOTE LEGEND	
Key Value	Keynote Text
04 2114	BRICK VENEER
05 5100-03	METAL STAIRS - STEEL TUBE HANDRAIL
05 5213-01	STEEL BAR AND HSS GUARDRAIL - UNIT
05 7000-04	DECORATIVE METALS - BRAKE FORM ALUMINUM SPANDREL
07 4113-01	
07 4646-02	MINERAL FIBER CEMENT SIDING
07 4646-03	MINERAL FIBER CEMENT SIDING
07 6000-02	GALVANIZED RAINWATER LEADER PIPE, ROUND PIPE TYPICAL; S.P.D.
07 7200	ROOF ACCESSORIES
08 3324	ELEVATOR DOOR SMOKE CONTAINMENT SYSTEM
08 5113	ALUMINUM WINDOWS
08 5313	VINYL WINDOWS
09 2400-01	PORTLAND CEMENT PLASTERING
23 3700	AIR OUTLETS AND INLETS



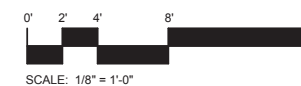
NORTH COURT B - EAST ELEVATION ③
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



NORTH COURT B - NORTH ELEVATION ①
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



STAMP:

NO.	ISSUE	DATE
1	10% DESIGN DEVELOPMENT	05/14/14
2	20% DESIGN DEVELOPMENT	05/14/14
3	30% DESIGN DEVELOPMENT	05/14/14
4	40% DESIGN DEVELOPMENT	05/14/14
5	50% DESIGN DEVELOPMENT	05/14/14
6	60% DESIGN DEVELOPMENT	05/14/14
7	70% DESIGN DEVELOPMENT	05/14/14
8	80% DESIGN DEVELOPMENT	05/14/14
9	90% DESIGN DEVELOPMENT	05/14/14
10	100% DESIGN DEVELOPMENT	05/14/14

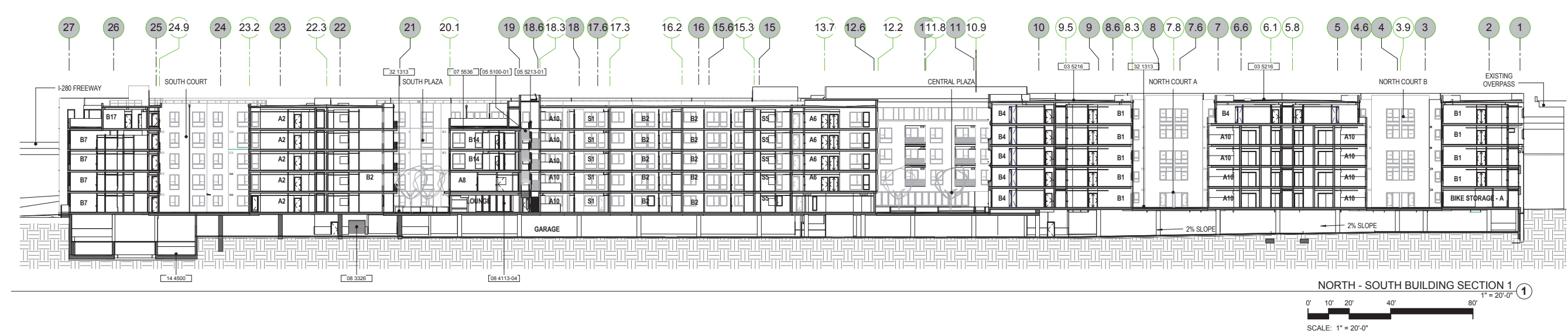
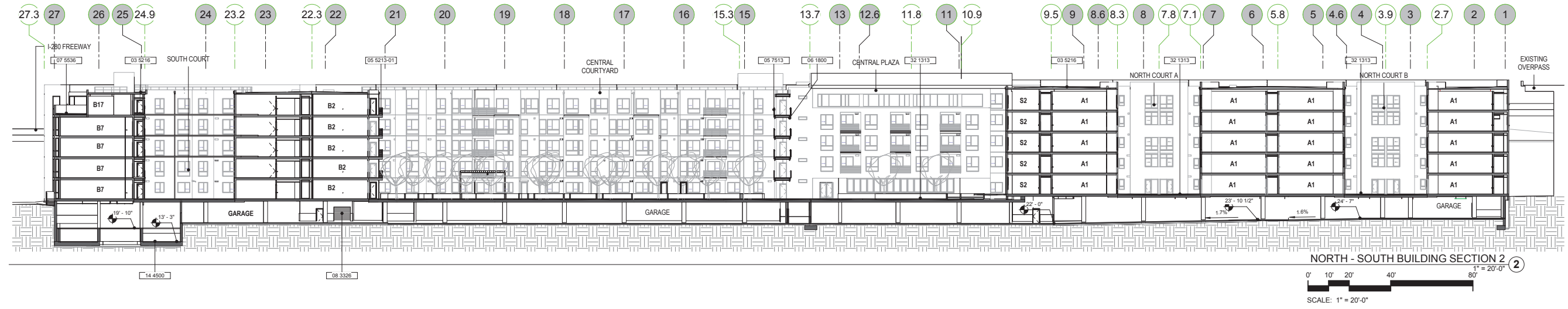
JOB NUMBER: 1309
DRAWN BY: SF
CHECKED BY: MCPW
DATE: 05/14/2014
SCALE: As indicated

TITLE:
COURTYARD ELEVATIONS - NORTH COURT B

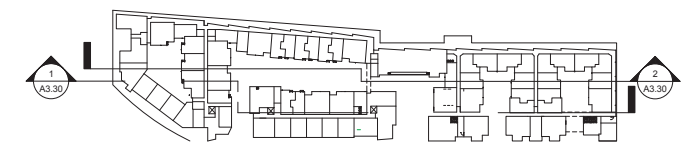
SHEET:

A3.24

- PRELIMINARY - Not for Construction -



KEYNOTE LEGEND	
Key Value	Keynote Text
03 5216	LIGHTWEIGHT INSULATING CONCRETE
05 5100-01	METAL STAIRS
05 5213-01	STEEL BAR AND HSS GUARDRAIL - UNIT
05 7513	DECORATIVE PERFORATED PANELS
06 1800	GLUED-LAMINATED CONSTRUCTION
07 5536	VEGETATED PROTECTED MEMBRANE ROOFING
08 3326	COILING OVERHEAD GRILLES
08 4113-04	ALUMINUM-FRAMED ENTRANCES & STOREFRONTS
14 4500	2-LEVEL PARKING AUTOMAT WITH PIT
32 1313	CONCRETE PAVING



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STAMP:

DRAWING ISSUE NO	ISSUE	DATE
1	ISSUE NO	05/14/2014
2	ISSUE NO	05/14/2014
3	ISSUE NO	05/14/2014
4	ISSUE NO	05/14/2014
5	ISSUE NO	05/14/2014
6	ISSUE NO	05/14/2014
7	ISSUE NO	05/14/2014
8	ISSUE NO	05/14/2014

JOB NUMBER: 1309
 DRAWN BY: SF
 CHECKED BY: MCPW
 DATE: 05/14/2014
 SCALE: As indicated
 TITLE:
BUILDING SECTIONS - NORTH AND SOUTH

SHEET:
A3.30

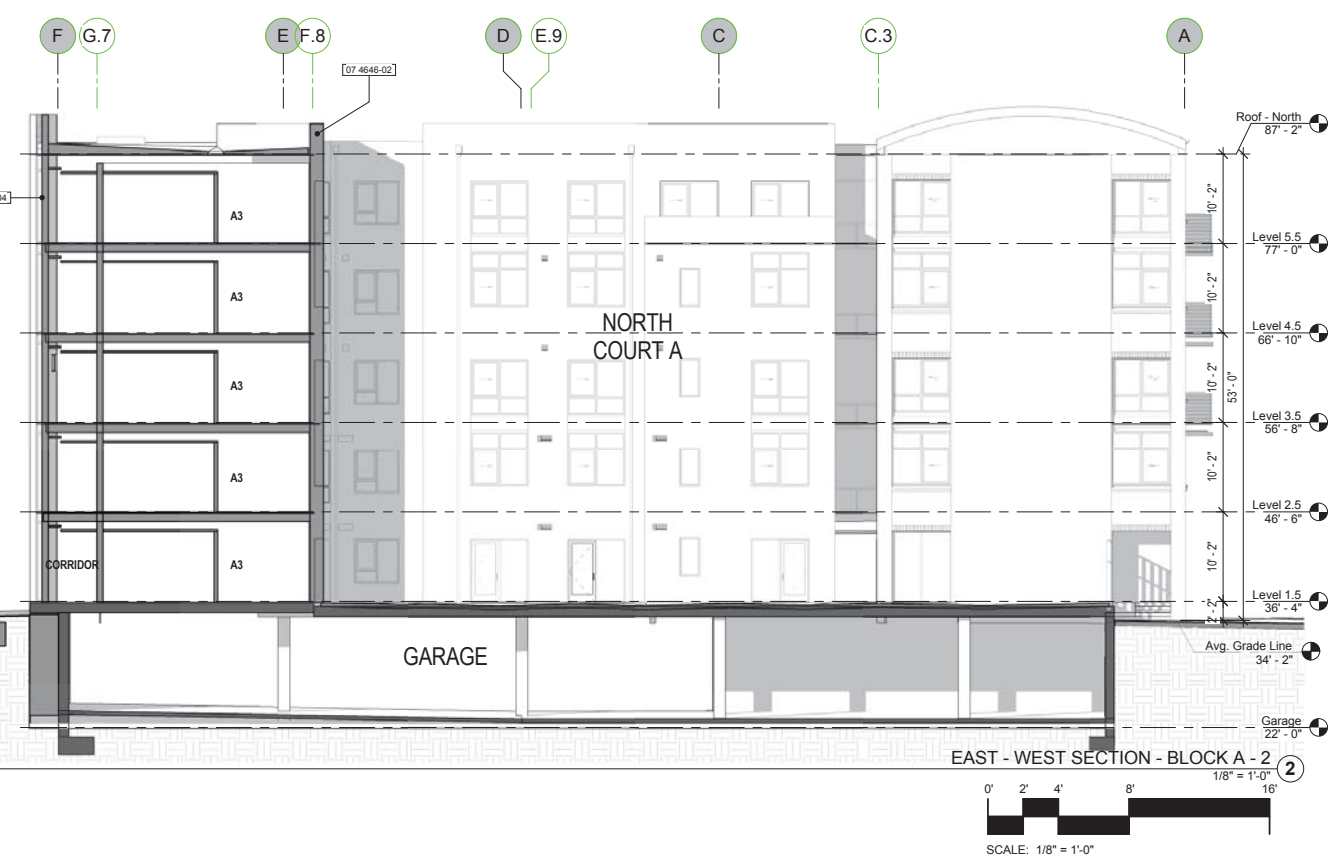
AVALON DOGPATCH
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 SAN FRANCISCO, CA 94107

STAMP:

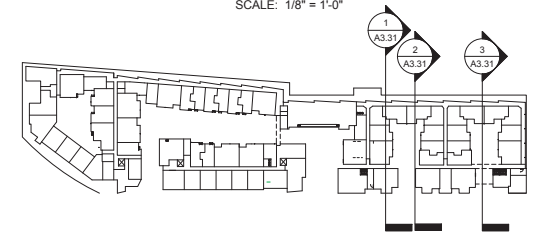
NO	ISSUE	DATE
1	10% DEVELOPMENT	05/04/14
2	30% DEVELOPMENT	05/04/14
3	50% DEVELOPMENT	05/04/14
4	75% DEVELOPMENT	05/04/14
5	90% DEVELOPMENT	05/04/14
6	100% DEVELOPMENT	05/04/14

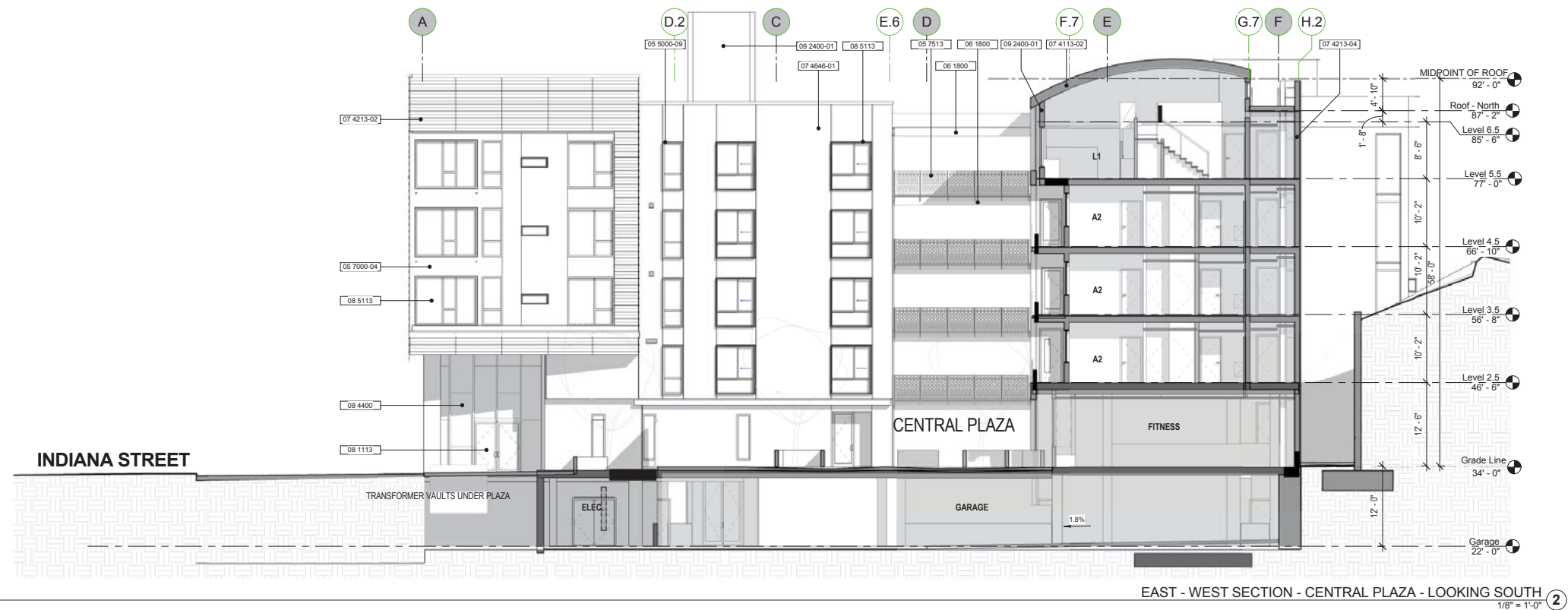
JOB NUMBER: 1309
 DRAWN BY: SF
 CHECKED BY: MCPW
 DATE: 05/14/2014
 SCALE: As indicated
 TITLE: BUILDING SECTIONS - BLOCK A

SHEET:
A3.31
 - PRELIMINARY - Not for Construction -

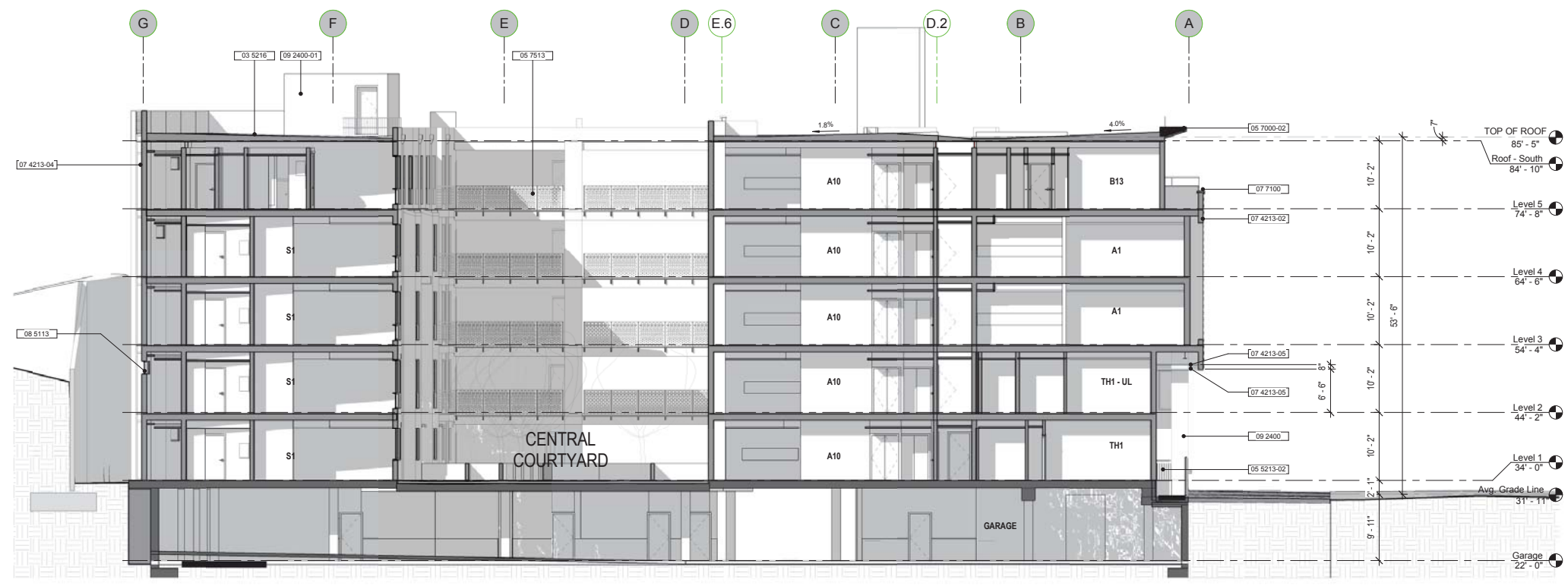


KEYNOTE LEGEND	
Key Value	Keynote Text
03 5216	LIGHTWEIGHT INSULATING CONCRETE
04 2114	BRICK VENEER
05 5213-02	STEEL BAR AND HSS GUARDRAIL - TOWNHOUSE
07 4113-01	METAL WALL PANELS
07 4213-01	METAL WALL PANELS
07 4213-04	METAL WALL PANELS
07 4646-02	MINERAL FIBER CEMENT SIDING
07 7100	METAL COPING
08 5113	ALUMINUM WINDOWS



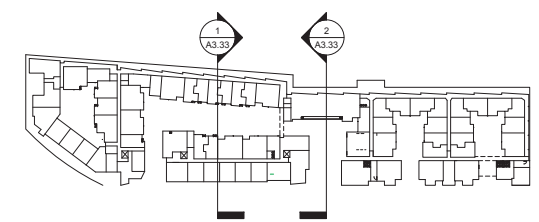


EAST - WEST SECTION - CENTRAL PLAZA - LOOKING SOUTH
1/8" = 1'-0" ②



EAST - WEST SECTION - BLOCK B
1/8" = 1'-0" ①

KEYNOTE LEGEND	
Key Value	Keynote Text
03 5216	LIGHTWEIGHT INSULATING CONCRETE
05 5000-09	METAL FABRICATIONS - MISC STEEL TRIM
05 5213-02	STEEL BAR AND HSS GUARDRAIL - TOWNHOUSE
05 7000-02	DECORATIVE METALS - BRAKE FORM STEEL PANEL
05 7000-04	DECORATIVE METALS - BRAKE FORM ALUMINUM SPANDREL
05 7513	DECORATIVE PERFORATED PANELS
06 1800	GLUED-LAMINATED CONSTRUCTION
07 4113-02	
07 4213-02	METAL WALL PANELS
07 4213-04	METAL WALL PANELS
07 4213-05	STEEL SOFFIT PANELS, COLOR: BLUE GRAY
07 4646-01	MINERAL FIBER CEMENT SIDING
07 7100	METAL COPING
08 1113	HOLLOW METAL DOORS AND FRAME
08 4400	CURTAIN WALLS
08 5113	ALUMINUM WINDOWS
09 2400	
09 2400-01	PORTLAND CEMENT PLASTERING



STAMP:

DRAWING ISSUE		
NO	ISSUE	DATE
1	10% PRELIMINARY	05/20/14
2	30% PRELIMINARY	02/20/14
3	LPA SUBMITTAL #2	05/01/14
4	40% DESIGN DEVELOPMENT	08/28/14
5	50% DESIGN DEVELOPMENT	09/26/14
6	70% DESIGN DEVELOPMENT	10/17/14
7	LPA SUBMITTAL #3	12/01/14

JOB NUMBER: 1309
DRAWN BY: SF
CHECKED BY: MCPW
DATE: 05/14/2014
SCALE: As indicated

TITLE:
BUILDING SECTIONS - BLOCK B

SHEET:
A3.33
- PRELIMINARY - Not for Construction -



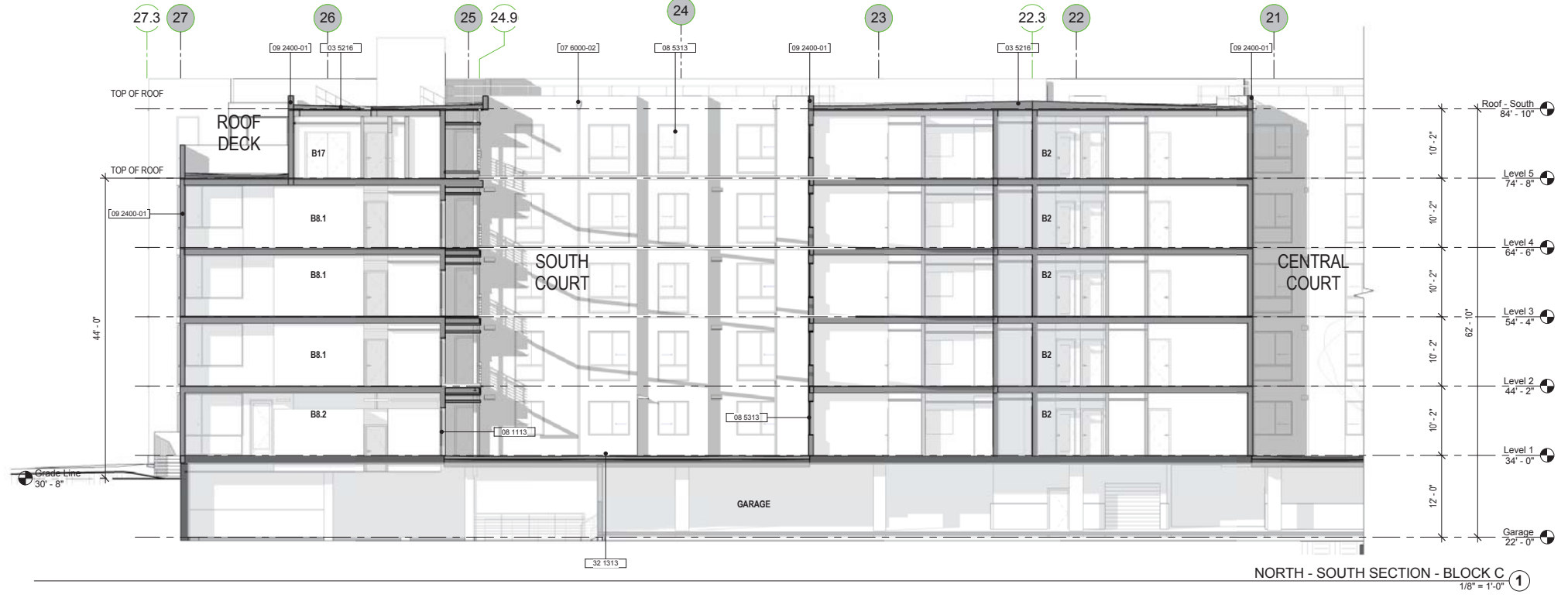
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 SAN FRANCISCO, CA 94107

STAMP:

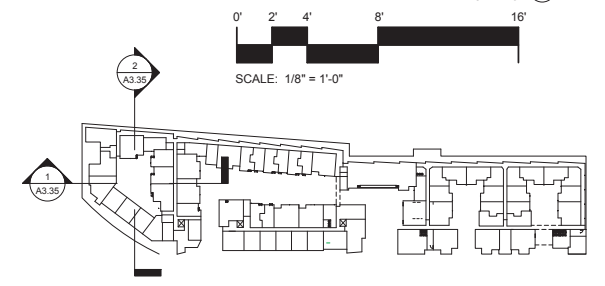
NO.	ISSUE	DATE
1	ISSUE FOR PERMITS	03/20/14
2	ISSUE FOR PERMITS	03/20/14
3	LPA SUBMITTAL #2	05/01/14
4	ISSUE FOR PERMITS	05/01/14
5	DEVELOPMENT	05/28/14
6	ISSUE FOR PERMITS	05/28/14
7	DEVELOPMENT	05/28/14
8	ISSUE FOR PERMITS	05/28/14
9	DEVELOPMENT	05/28/14
10	LPA SUBMITTAL #3	12/01/14

JOB NUMBER: 1309
 DRAWN BY: SF
 CHECKED BY: MCPW
 DATE: 05/14/2014
 SCALE: As indicated
 TITLE: BUILDING SECTIONS - BLOCK C

SHEET:
A3.35



KEYNOTE LEGEND	
Key Value	Keynote Text
03 5216	LIGHTWEIGHT INSULATING CONCRETE
05 5213-02	STEEL BAR AND HSS GUARDRAIL - TOWNHOUSE
05 5213-03	STEEL BAR AND HSS GUARDRAIL - TERRACE
07 4213-04	METAL WALL PANELS
07 4213-06	ALUMINUM FLAT PANEL: COLOR: CHARCOAL
07 6000-02	GALVANIZED RAINWATER LEADER PIPE, ROUND PIPE TYPICAL, S.P.D.
08 1113	HOLLOW METAL DOORS AND FRAME
08 4113-01	ALUMINUM-FRAMED ENTRANCES & STOREFRONTS - EXTERIOR
08 5313	VINYL WINDOWS
09 2400-01	PORTLAND CEMENT PLASTERING
32 1313	CONCRETE PAVING





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STAMP:

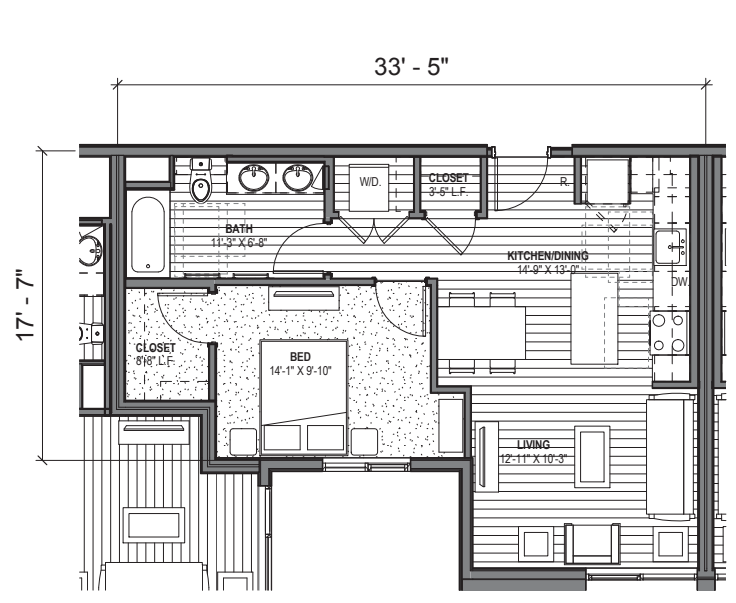
NO.	ISSUE	DATE
1	LPA SUBMITTAL	10/10/14
2	10% SD PHASING	02/04/14
3	LPA SUBMITTAL #2	02/01/14
4	LPA SUBMITTAL #3	12/01/14

JOB NUMBER:	1309
DRAWN BY:	SF
CHECKED BY:	MCPW
DATE:	05/14/2014
SCALE:	As indicated
TITLE:	TYP. STUDIOS & 1 BR UNIT PLANS

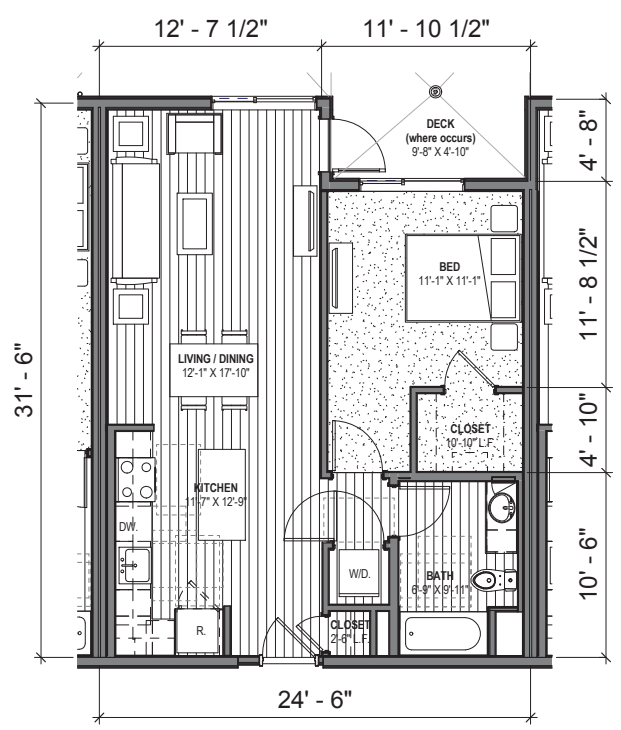
SHEET:

A4.01.

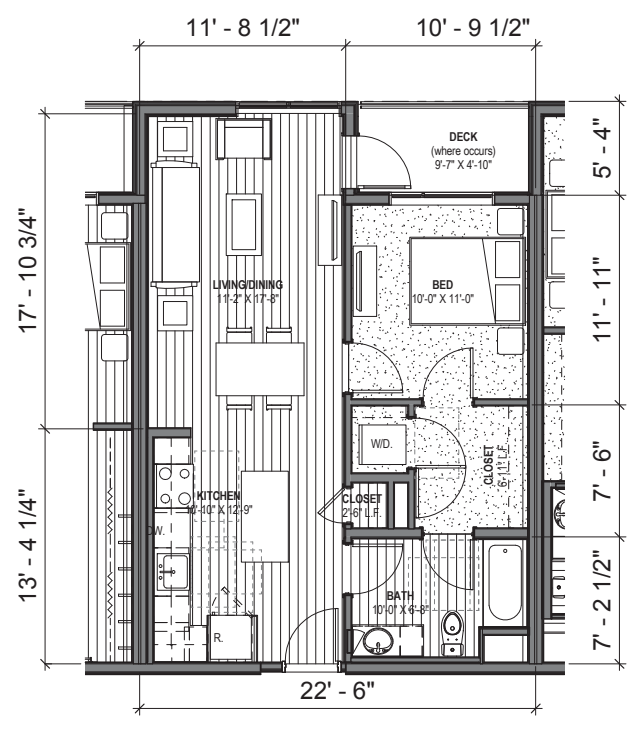
- PRELIMINARY - Not for Construction -



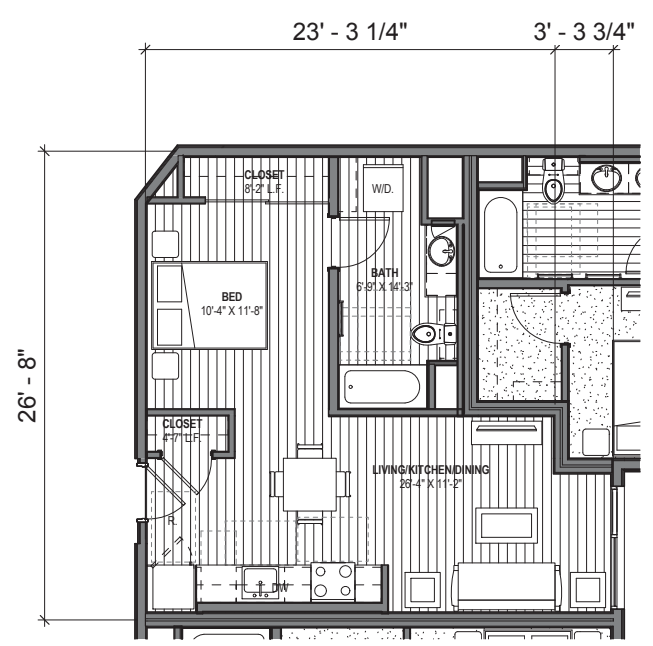
696 SF
 20 UNITS
 UNIT A3
 1/4" = 1'-0"



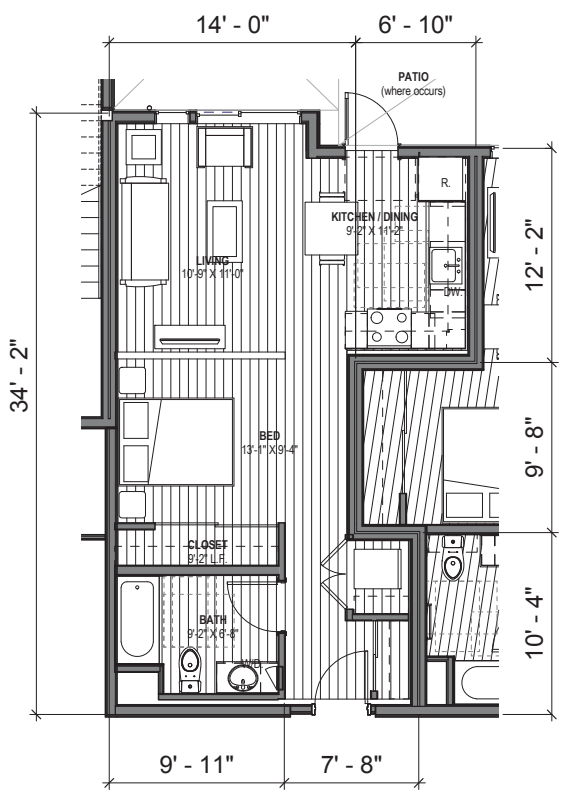
731 SF
 22 UNITS
 UNIT A2
 1/4" = 1'-0"



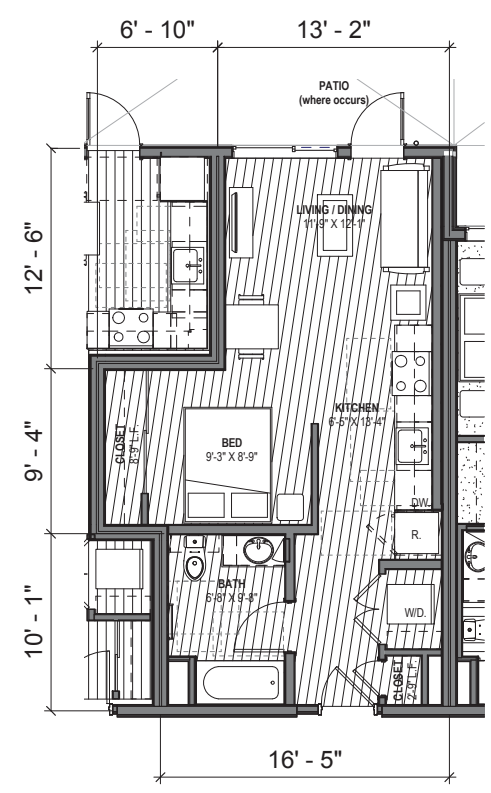
672 SF
 24 UNITS
 UNIT A1
 1/4" = 1'-0"



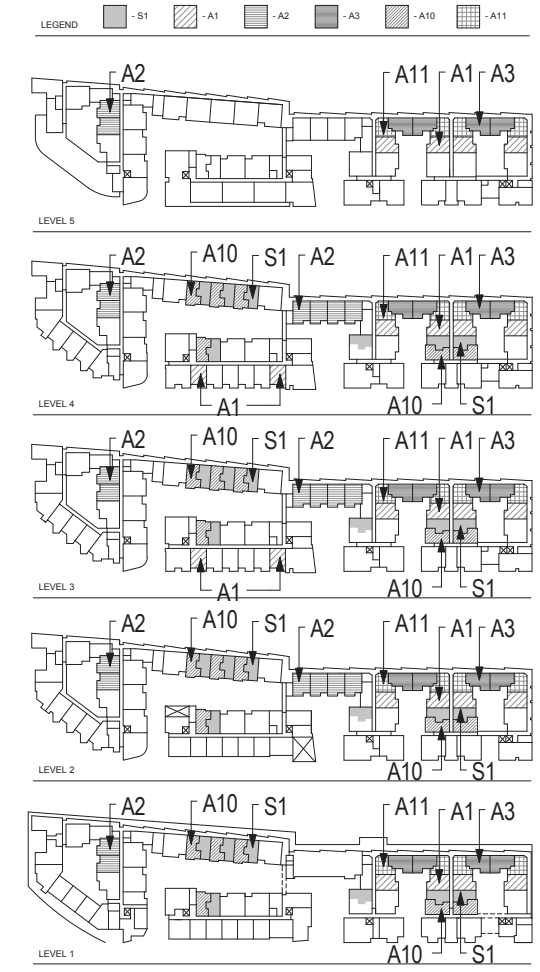
579 SF
 20 TOTAL
 UNIT A11
 1/4" = 1'-0"

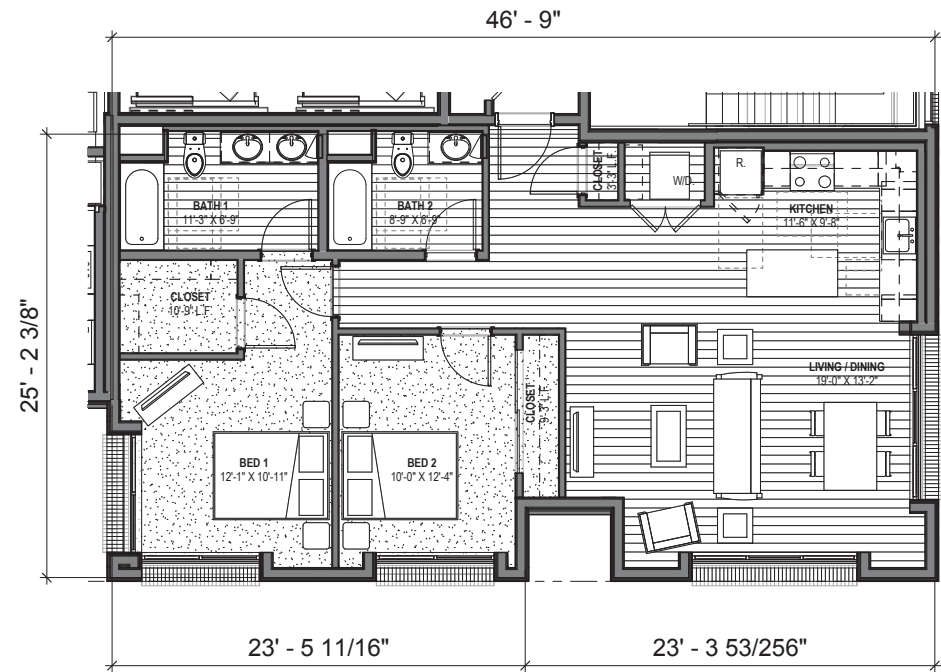


595 SF
 28 TOTAL
 UNIT A10
 1/4" = 1'-0"



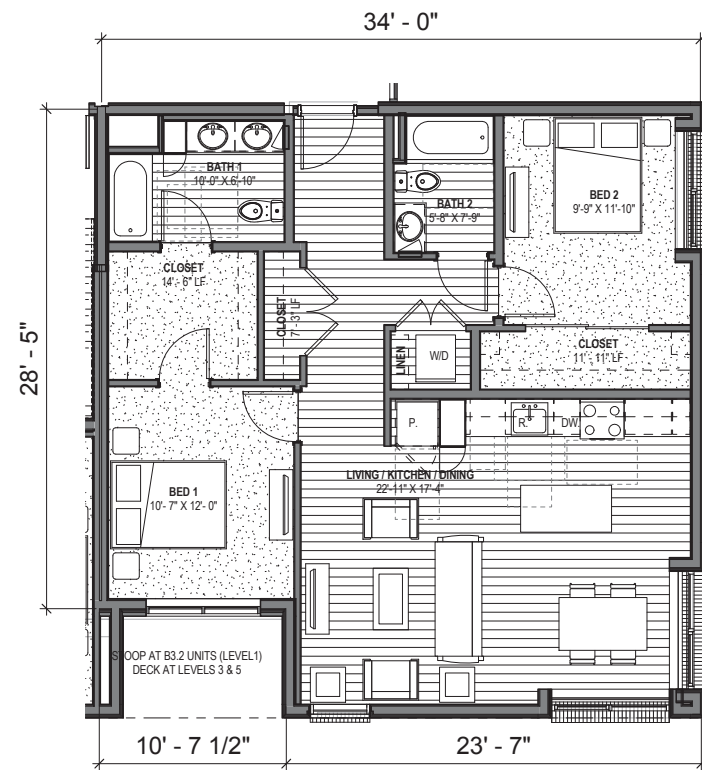
529 SF
 28 TOTAL
 UNIT S1
 1/4" = 1'-0"





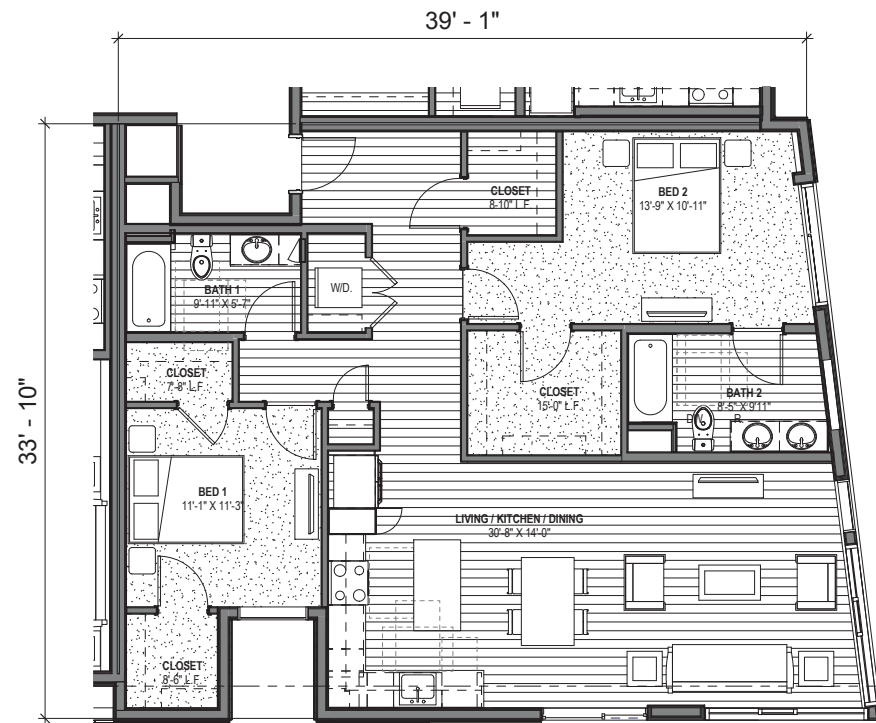
1,132 SF
4 TOTAL

UNIT B11
1/4" = 1'-0" ④



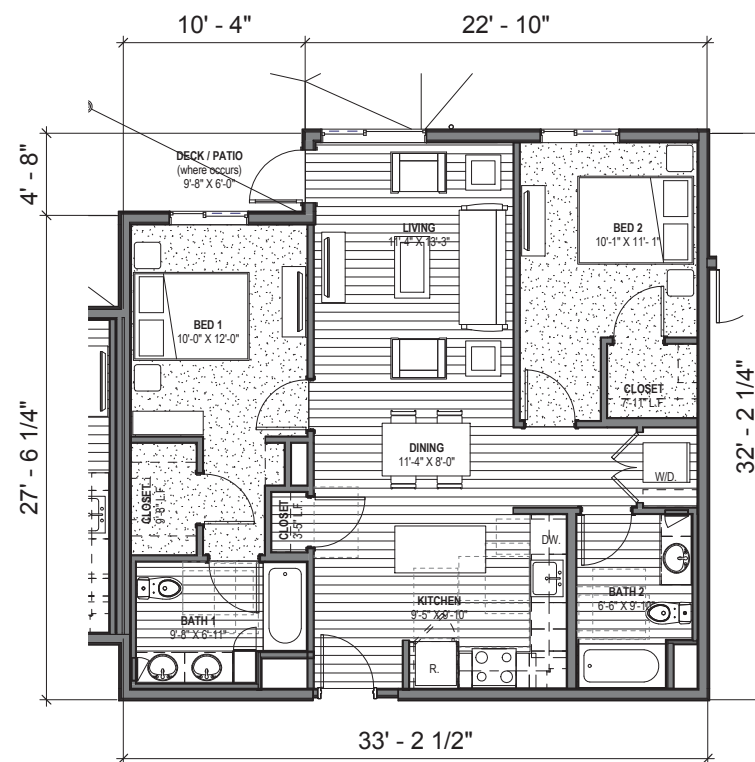
1,100 SF
15 TOTAL

UNIT B3
1/4" = 1'-0" ②



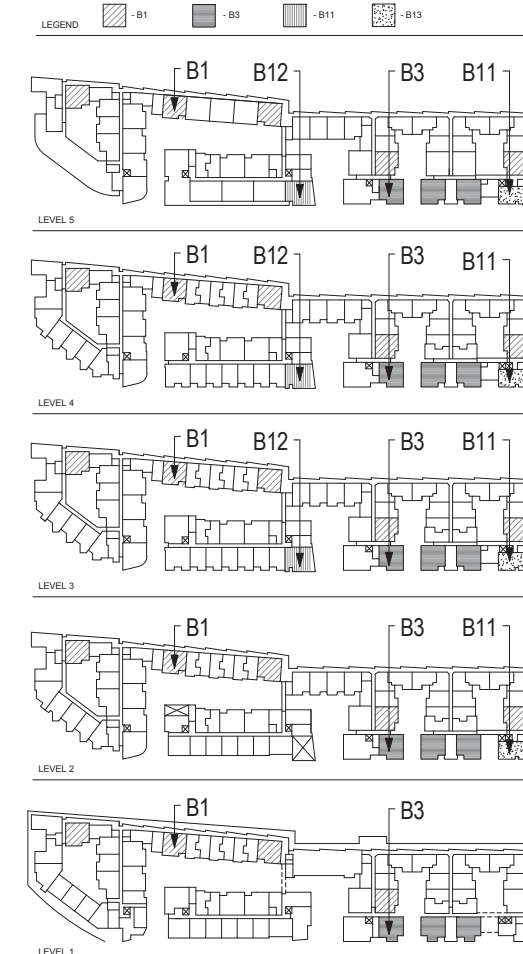
1,185 SF
4 TOTAL

UNIT B12
1/4" = 1'-0" ③



1,016 SF
24 TOTAL

UNIT B1
1/4" = 1'-0" ①



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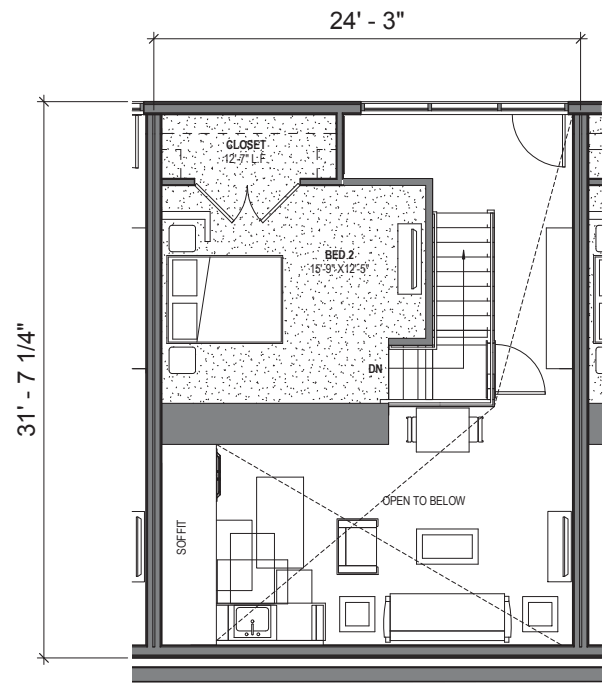
NO.	ISSUE	DATE
1	LPA SUBMITTAL #1	10/10/14
2	10% SD SUBMITTAL	02/04/14
3	LPA SUBMITTAL #2	02/01/14
4	LPA SUBMITTAL #3	12/01/14

JOB NUMBER:	1309
DRAWN BY:	SF
CHECKED BY:	MCPW
DATE:	05/14/2014
SCALE:	As indicated
TITLE:	TYP. 2 BR UNIT PLANS

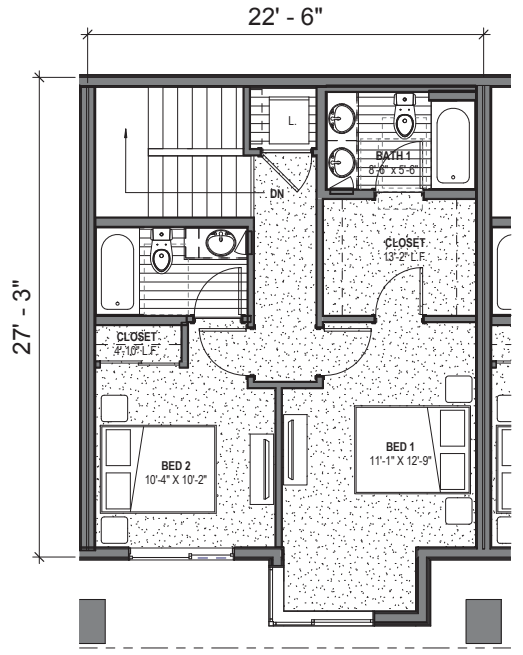
SHEET:
A4.02.



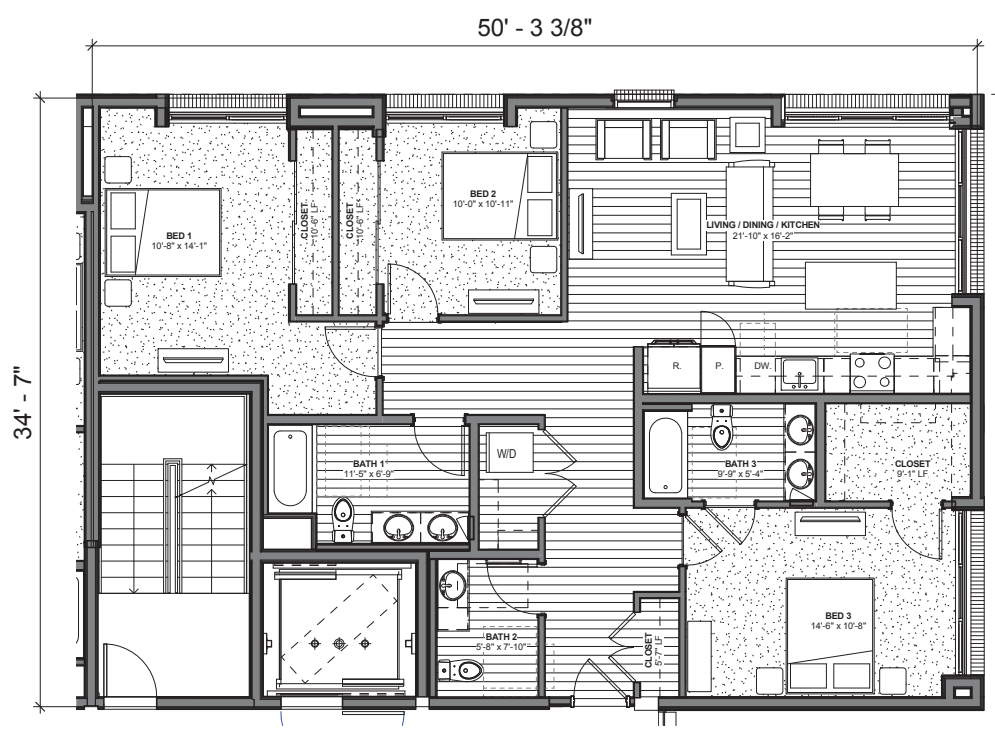
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 800 INDIANA STREET
 SAN FRANCISCO, CA 94107



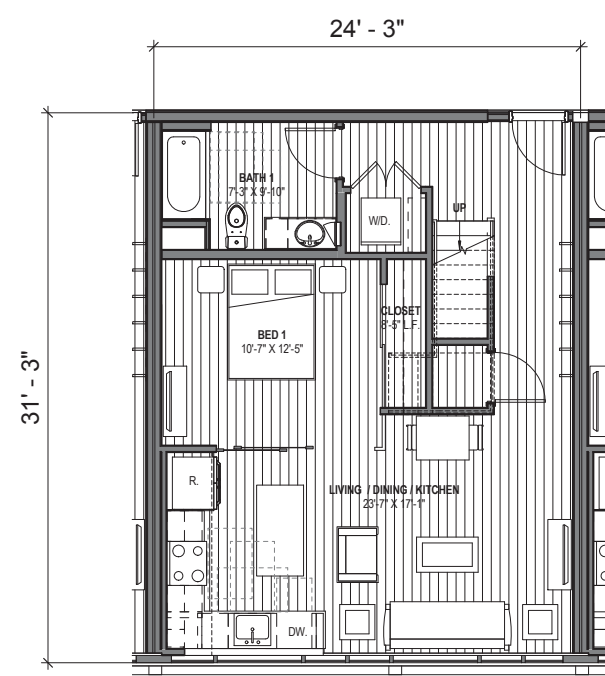
UNIT L1_TOP FLOOR ⑤
 1/4" = 1'-0"



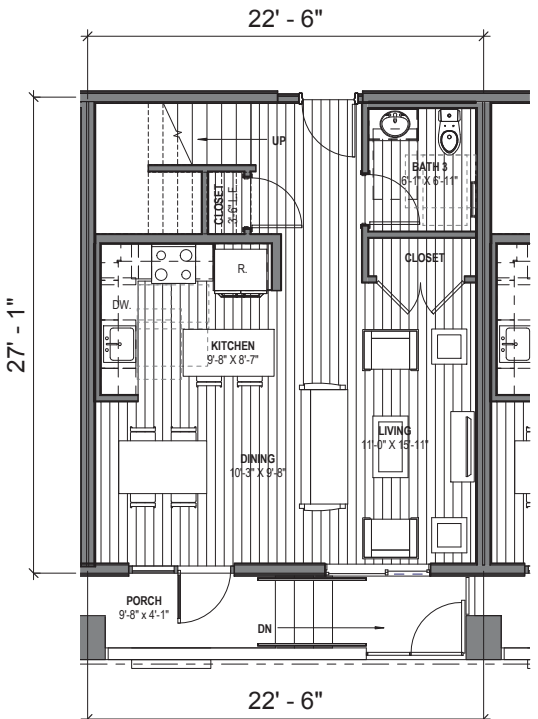
UNIT TH1_TOP FLOOR ③
 1/4" = 1'-0"



1,377 SF
 4 TOTAL
 UNIT C1 ①
 1/4" = 1'-0"

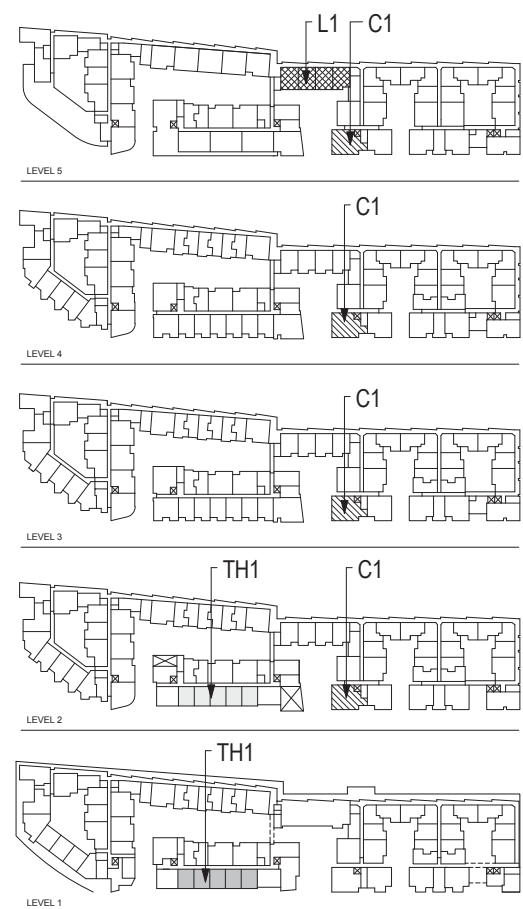


1,168 SF
 5 TOTAL
 UNIT L1 - BOTTOM FLOOR ④
 1/4" = 1'-0"



1,030 SF
 4 TOTAL
 UNIT TH1_BOTTOM FLOOR ②
 1/4" = 1'-0"

LEGEND: - TH1 BTM FLOOR, - TH1 TOP FLOOR, - C1, - L1



STAMP:

DRAWING ISSUE	
NO	DATE
1	10/10/14
2	02/24/14
3	07/01/14
4	07/01/14
5	12/01/14

JOB NUMBER:	1309
DRAWN BY:	SF
CHECKED BY:	MCPW
DATE:	05/14/2014
SCALE:	As indicated
TITLE:	UNIT PLANS - C1, L1 & TH1

SHEET:
A4.03.