



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: NOVEMBER 10, 2011

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: November 3, 2011
Case No.: **2011.1077D**
Project Address: **10 Cumberland Street**
Permit Application: 2011.06.10.7922
Zoning: RH-3 (Residential House, Two-Family) District
40-X Height and Bulk District
Block/Lot: 3598/046
Project Sponsor: Jon Schwartz
10 Cumberland Street
San Francisco, CA 94118
Staff Contact: Adrian C. Putra – (415) 575-9079
adrian.putra@sfgov.org
Recommendation: **Do not take DR and approve**

PROJECT DESCRIPTION

The project is to construct a 3.5 foot high, 1-hour fire rated parapet and a 3.5 foot high tempered glass guardrail at the rear of a two-story, single-family building. The proposed parapet and tempered glass guardrails will serve as guardrails for an approximately 480 square-foot roof deck area located at the rear section of the building. The proposed parapet would raise the existing roofline at the rear section of the building by approximately 2 feet. The project also involves infilling a west facing lightwell at the first and second floors which faces a blind wall, and interior alterations at the second floor to add a spiral staircase to access the roof deck through an approximately 3.5 foot high stair penthouse that would match the height of the proposed parapet. The proposed area of work is located at least 39 feet from the front of the building.

SITE DESCRIPTION AND PRESENT USE

The project site is a 22.5 foot wide by 89 feet deep lot containing 2,002.5 square-feet, and located on the north side of Cumberland Street between Dolores and Guerrero Streets. The lot contains a two-story, single-family building with a maximum building height of approximately 29.25 feet above grade at the rear. Per City records the building was originally constructed circa 1914. The building is located within the Mission Reconstruction Historic District and is considered a Known Historical Resource (CEQA Category A).

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the Mission Dolores neighborhood. The subject block is within an RH-3 Zoning District, and the immediate area is entirely residential in character. The subject blockface contains residential buildings that range from two to four stories but are primarily three-story residential buildings. The adjacent lot to the west (14 Cumberland Street) contains a three-story, 5-unit residential

building. The adjacent lot to the east (744 Guerrero Street) contains a four-story, 12-unit residential building that faces Guerrero Street. The project site is located one block east of Dolores Park.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
10-Day Book Notice (BBN)	10 days	September 1, 2010 – September 11, 2011 (Sunday)	September 12, 2011	November 10, 2011	60 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	October 31, 2011	October 31, 2011	10 days
Mailed Notice	10 days	October 31, 2011	October 31, 2011	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)		1 (DR Requestor)	
Other neighbors on the block or directly across the street		2	
Neighborhood groups			

The Department has received a phone call from the owner of 19 Cumberland Street and an email from the owner of 9-11 Cumberland Street, which are both properties located across the street from the project site. Both these owners expressed concerns that the proposed parapet would block views from their buildings.

DR REQUESTOR

Ralph R.C. Irming-Geissler, owner of 14 Cumberland Street, which is the adjacent property to the west of the project site.

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated September 12, 2011.

PROJECT SPONSOR’S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated October 6, 2011.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the project following the filing of the DR application and found the project to be consistent with the Residential Design Guidelines (RDGs). The RDT found that the new firewall (parapet) for the roof deck will have minimal light and air impacts to the adjacent neighbors (RDG, pages 16 and 17), because the parapet would only raise the height of the existing roofline by approximately two feet. Additionally, views from private buildings and decks are not protected under the Planning Code or the RDGs. As a result, the RDT determined that there are no unusual or exceptional circumstances to warrant any changes to the project.

Under the Commission’s pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

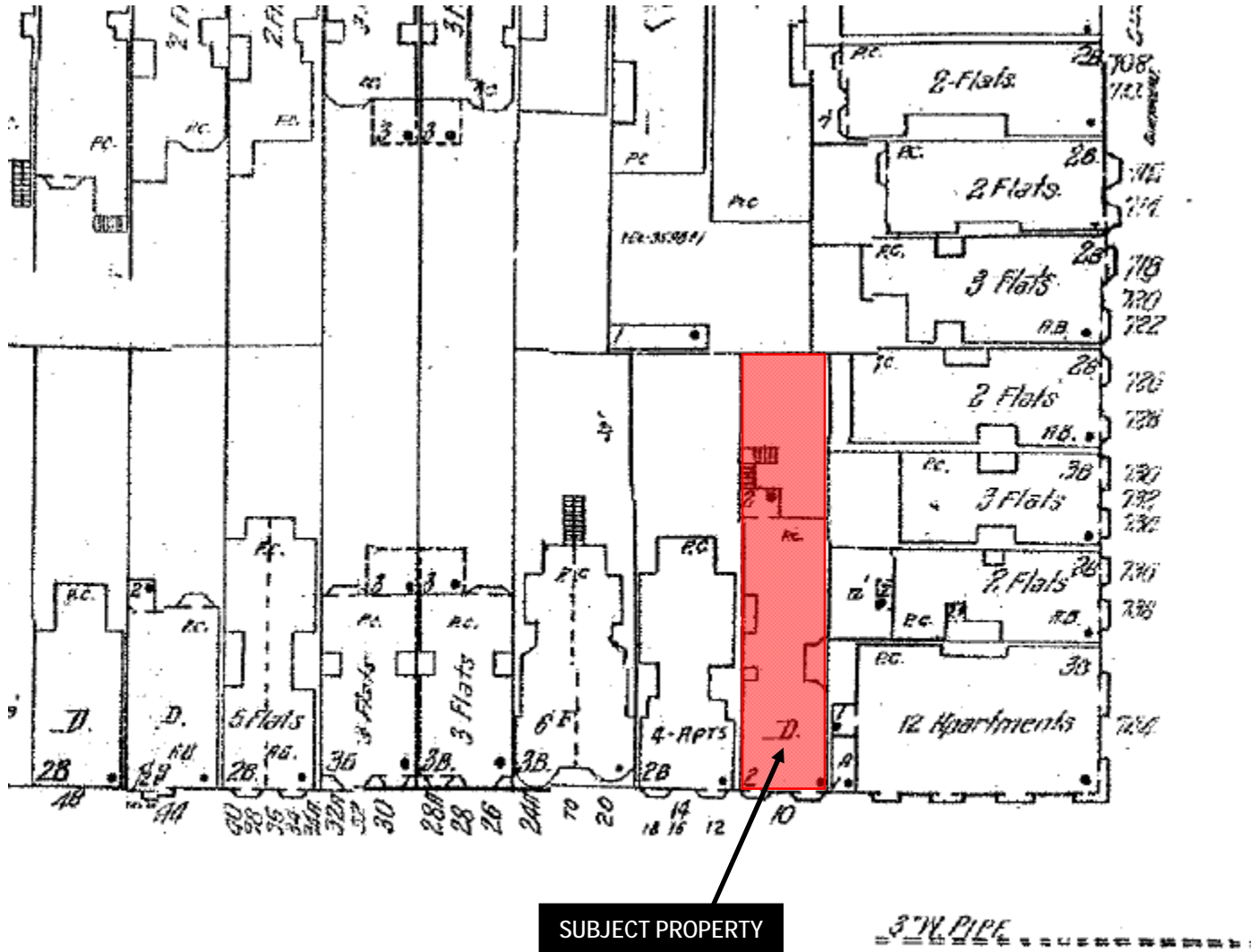
RECOMMENDATION: Do not take DR and approve
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
DR Application
Response to DR Application dated October 6, 2011
10-Day Block Book Notice
Reduced Plans

ACP: G:\Documents\DRs\10 Cumberland Street\10 Cumberland Street - 2011.1077D - DR - Abbreviated Analysis.doc

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2011.1077D
Abbreviated Analysis
10 Cumberland Street

Aerial Photo 1



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2011.1077D
Abbreviated Analysis
10 Cumberland Street

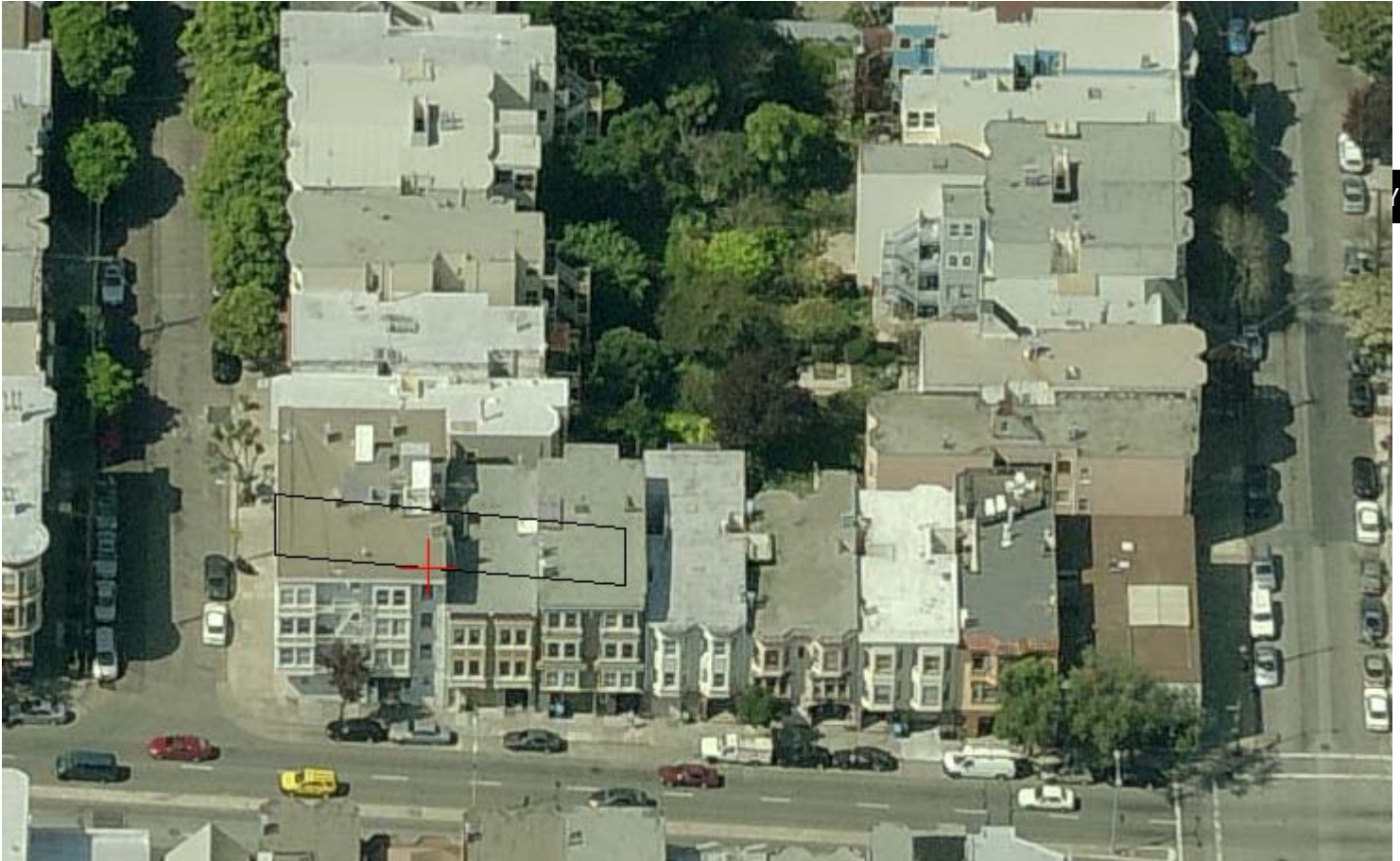
Aerial Photo 2



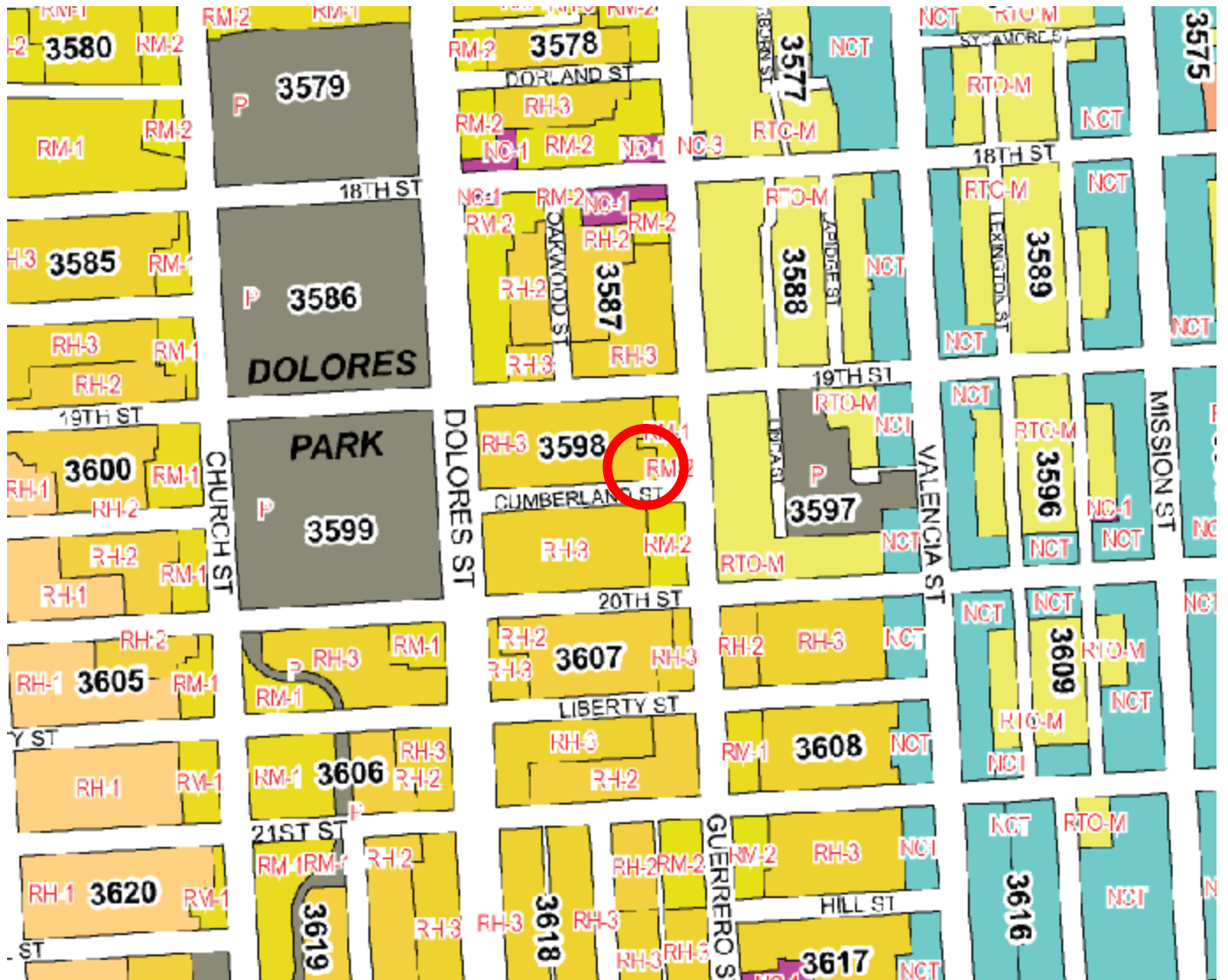
Aerial Photo 3



Aerial Photo 4



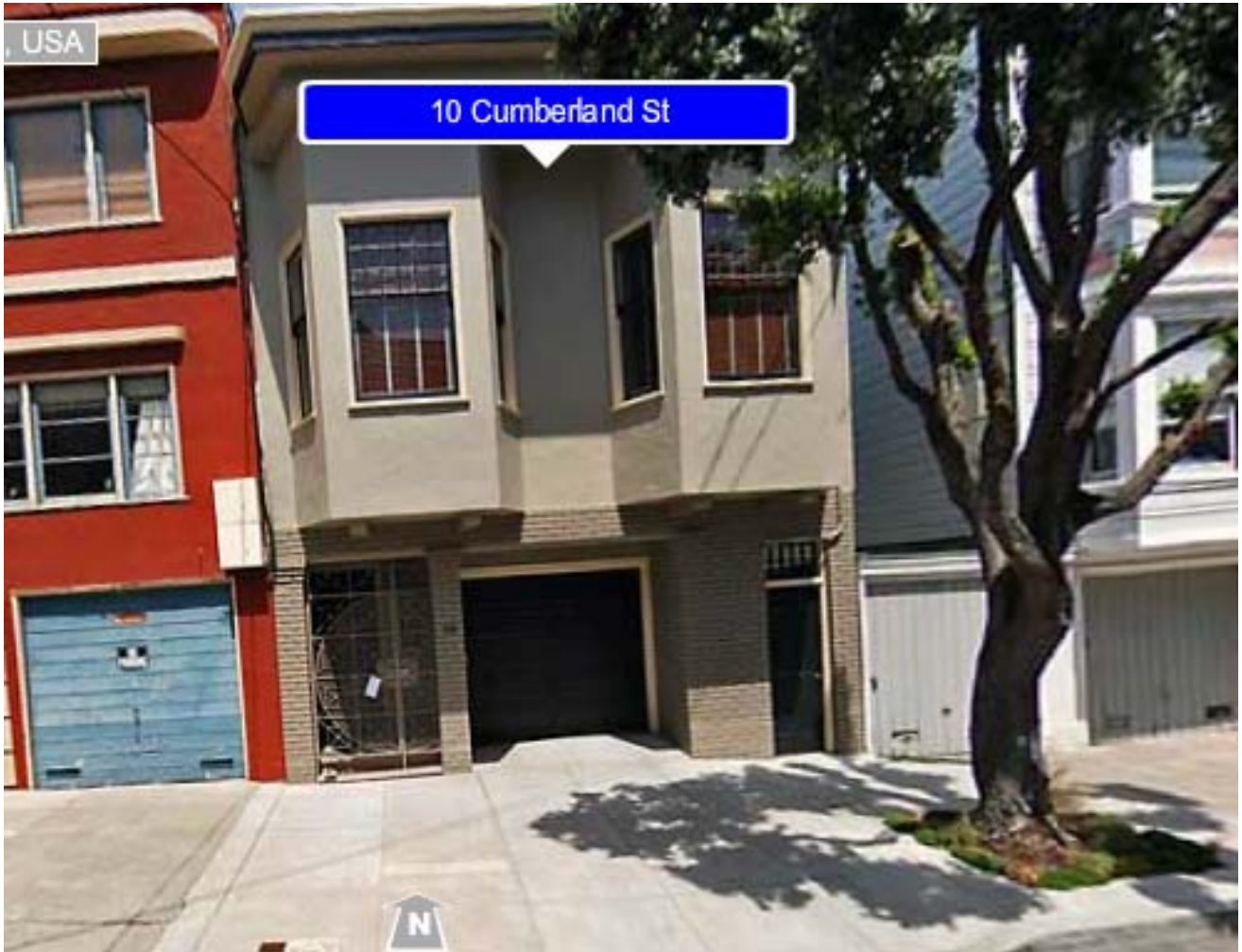
Zoning Map



Discretionary Review Hearing
Case Number 2011.1077D
Abbreviated Analysis
10 Cumberland Street

Site Photo

from the front



Discretionary Review Hearing
Case Number 2011.1077D
Abbreviated Analysis
10 Cumberland Street

APPLICATION FOR Discretionary Review Application

1. Owner/Applicant Information

DR APPLICANT'S NAME: RALPH R.C. IRMING-GEISSLER (RALPH GEISSLER)		
DR APPLICANT'S ADDRESS: 19 DANVERS STREET, SAN FRANCISCO.	ZIP CODE: 94114	TELEPHONE: (415) 626-1576
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: JON SCHWARTZ		
ADDRESS: 10 CUMBERLAND STREET, SAN FRANCISCO.	ZIP CODE: 94110	TELEPHONE: (415) 305-3210
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS: NONE.		

2. Location and Classification

STREET ADDRESS OF PROJECT: 10 CUMBERLAND STREET, SAN FRANCISCO.		ZIP CODE: 94110		
CROSS STREETS: GURRERRO STREET				
ASSESSORS BLOCK/LOT: 3598 / 046	LOT DIMENSIONS: 22.5 x 89'	LOT AREA (SQ FT): 2002.5	ZONING DISTRICT: RH-3	HEIGHT/BULK DISTRICT: 29.5

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard

Present or Previous Use: COVERED FLAT ROOF

Proposed Use: NEW ADDITIONAL ROOF DECK, PLUS STAIRWAY TO ROOF.

Building Permit Application No. 2011.06.10.7922

Date Filed: 03-08-2011

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input checked="" type="checkbox"/> *	<input type="checkbox"/>

* (I met with architect discussing other options)

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

I met the architect Jaime R. Romero at 14 Cumberland Street, and went onto my roof, showing him how this project would interfier with views and espessially much needed light for both my apts, number #2, and top apt.#4. he also noticed a discrepancy in the measurements of my building on his proposed plans, The actual measurements will show that his proposed project would interfere with my views and light more then shown. He stated that he would build a temperary addition wall to show the actual impact it would have. this he didn't do.

I suggested him doing a diaganial wall across his roof, instead of having it directly on the buildings edge. this would still give the owner plenty of space to party on or use. without infringing on my or my tenants space.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

BY BUILDING THIS PARTITION WALL OF THE PROPOSED SUN-DECK, IT WILL SUBSTANTIALLY CUT DOWN ON THE LIGHT FACTOR (NEEDED) FOR BOTH APTS #2 AND #4. OF MY BUILDING WHICH IS NEXT TO THE BUILDING. PLUS ILLUMINATE EXISTING DOWN-TOWN VIEWS.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

MYSELF AND MY TWO TENANTS, AND THE RENT STATED FOR BOTH APTS, AND THE PROPOSED INCOME ASKED IN THE FUTURE. AS AIRY APTS WITH LIGHT AND VIEWS DEMAND A HIGHER INCOME THAN A DARK DAMP APT WITH NO POSSIBILITY OF LIGHT OR VIEWS.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

BUILD A HORIZONTAL WALL ACROSS THE ROOF, SO THAT IT DOESN'T HAND ON THE BUILDING EDGE, AND MAKE SURE BOTH LIGHT WALLS ARE NOT IMPRODDED AT ALL. AS THIS LIGHT IS NEEDED FOR THE HALLWAYS AND THE BATH ROOM.

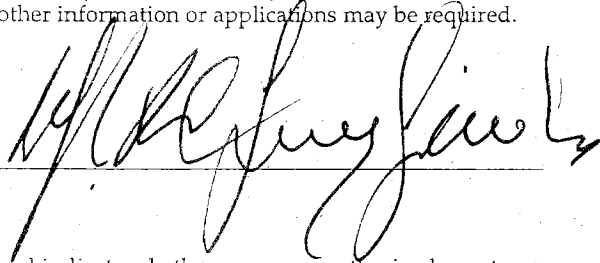
ALSO THE OWNER HAS A BEAUTIFUL BACK-YARD WHICH HE DOESN'T EVEN USE, AND HE HAS LET TO BE OVERRGROWN WITH WEEDS. MANY TENANTS AND OWNERS WOULD BE ONLY TOO GLAD TO EVEN HAVE A BACK YARD TO USE.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

12 June 2011

Print name, and indicate whether owner, or authorized agent:

RAUSH R. C. IMMINT-GEISLER

Owner / Authorized Agent (circle one)

OWNER,

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels-(copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Convenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/> N/A
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

9/12/11

GEISSLER PROPERTIES

19 Danvers Street, San Francisco, California. 94114

415 626-1576

Jon Schwartz
10 Cumberland Street
San Francisco, California.
94110

11.10770

20 April.2011

Re; Roof Addition to 10 Cumberland Street.

Dear Mr Schwartz;

Thankyou for letting me know of your plans to build a roof deck on your building,that is right up and next to mine.

You state in your brief note,that it will have little impact on your neighbours, This I beg to differ. I contacted my tenants in Apartment #4 at 14 Cumberland Street, and showed them your intentions. And checked out the actual impact, and found that your proposed addition would completely block their views that they have now from their living room window, plus it would cut down the light factor that is desperately needed in that part of the building. Also it would cut down the light factor that are presently needed for both apartments #2 and #4. in the light wells that give light to the hallways and the bathrooms, making it very dark to use electricity and energy all the time.

The rental impact on both apartments would be significant,limiting the amount of rent that I charge and can charge for future tenants,changing the facts of a brightly and open airy apartment to a dark closed in space.

I had a good repore with the previous owners of your building, and they constantly used the back yard garden area and maintained it. I see no reason why you can't do the same,as you do have a beautifull garden area,which many people or owners would be gratefull to have. So I see no reason why you can't do the same as it is a beautiful area in the rear of your house. And maybe you have noticed that many of the buildings th abound in the rear area of both our buildings and have back yards,use them and esspecially with summer approach- ing are out there looking after them. So I suggest that you do the same.

I feel that your roof deck addition will not be appreciated by me or by my tenants and will infringe on our rights views and light space, and we will express ourselves to the city planning department to not issue the required permits needed for you to do the work to build the addition.

Sincerely;


Ralph R.C. Irving-Geissler

c.c. Department of S.F.Planning.

11.1077D

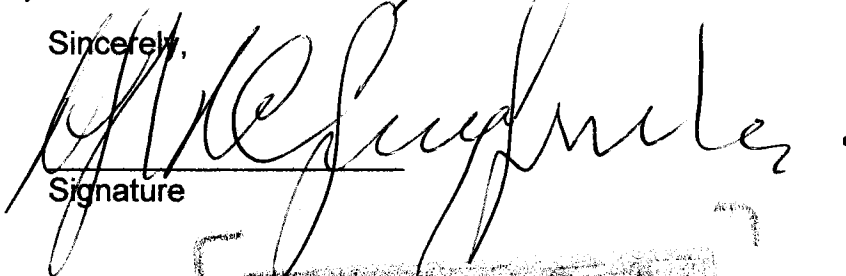
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103
Phone: 415-558-6378 - 6377
Fax: 415-558-6409

April 1, 2011

To whom it may concern,

My name is RALPH GEISLER and I am the owner of 14 Cumberland Street. It is my understanding that Mr. Jonathan Schwartz is proposing the remodeling of his house located at 10 Cumberland Street. The project involves removal of an interior wall, and building a staircase leading to a new Roof-Deck that will extend to the property line. I have reviewed the proposed Architectural plans dated 03/08/2011 AND OBJECT TO application to remodel. IT WILL DELETE DOWNTOWN VIEWS FROM MY EXISTING APARTMENTS, AND CUT DOWN ON THE LIGHT FACTOR THAT MY TENANTS NOW ENJOY.

Sincerely,



Signature

Ralph R.C. Irving-Geissler
GEISLER PROPERTIES
19 Danvers Street
San Francisco, CA 94134

415-626-1576.

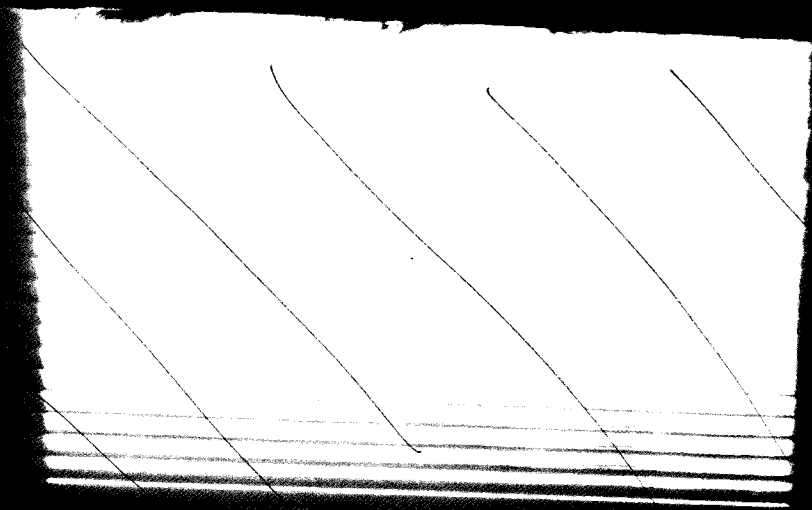
KEVIN MORTIMER KATE CORCORAN.
BLOCK BOOK NOTATION REQUEST x 32⁰⁰/₁₀₀















SAN FRANCISCO PLANNING DEPARTMENT

RESPONSE TO DISCRETIONARY REVIEW

Case No.: 11. 1077D

Building Permit No.: 2011.06.10.7922

Address: 10 Cumberland St.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Project Sponsor's Name: JONATHAN SCHWARTZ

Telephone No.: 415.305.3210 (for Planning Department to contact)

Planning
Information:
415.558.6377

- Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

See attached

- What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

See attached

- If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

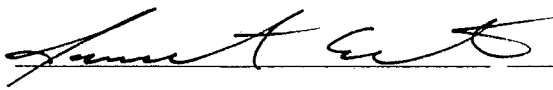
See attached

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

4. Please supply the following information about the proposed project and the existing improvements on the property.

<u>Number of</u>	<u>Existing</u>	<u>Proposed</u>
Dwelling units (only one kitchen per unit –additional kitchens count as additional units)	<u>1</u>	<u>N/A</u>
Occupied stories (all levels with habitable rooms) ...	<u>1</u>	<u>N/A</u>
<hr/>		
Basement levels (may include garage or windowless storage rooms)	<u>1</u>	<u>N/A</u>
Parking spaces (Off-Street)	<u>2</u>	<u>N/A</u>
Bedrooms	<u>3</u>	<u>N/A</u>
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas.....	<u>~ 1475</u>	<u>N/A</u>
Height	<u>23'11" (front) 29'5" (back)</u>	<u>N/A</u>
Building Depth	<u>UNKNOWN</u>	<u>N/A</u>
Most recent rent received (if any)	<u>N/A</u>	<u>N/A</u>
Projected rents after completion of project	<u>N/A</u>	<u>N/A</u>
Current value of property	<u>1.2M</u>	<u>1.3M</u>
Projected value (sale price) after completion of project (if known)	<u>N/A</u>	<u>N/A</u>

I attest that the above information is true to the best of my knowledge.


10/6/11
JONATHAN SCHWARTZ
 Signature Date Name (please print)

RESPONSE TO DISCRETIONARY REVIEW

Case No: 11.1077D

Address: 10 Cumberland Street, San Francisco, CA 94110

1. Given the concerns of the DR Requester and other concerned parties, why do you feel that your proposed project should be approved?

When we made the decision to move to the Mission District of San Francisco, we initially were not willing to purchase any property without substantial outdoor space given that our long-term goal is to remain in San Francisco and raise our children here. However, upon viewing the property at 10 Cumberland Street, the Sellers informed us of their plans to build a deck and convinced us that we could have the home that we envisioned here.

Prior to moving forward and deciding to purchase the property, we brought in an architect and a structural engineer in order to ensure that we could build a deck following all regulations required by the City of San Francisco and the Planning Department. We reviewed the San Francisco Residential Design Guidelines, the General Plan and the Planning Code's Priority Policies in advance because we wanted to ensure that we would be staying within our rights and meeting the requirements of the City in order to move forward to purchase our dream home. This was not a decision that was made without great thought and great expense on our part.

Our proposed project has two main goals: 1) opening up the wall between our living room and kitchen (the back portion of our home which is furthest from the street), and 2) adding a roof deck to increase our outdoor space. Upon review by our structural engineer, we learned that the removal of the load-bearing wall would require adding support to the existing structure, and adding a roof deck would also require adding support to the existing structure. The only way to feasibly accomplish both of these goals is to combine the projects into one, adding support to the roof of the back section of our home which would allow us to remove the load-bearing wall while supporting the existing roof deck directly above that same area.¹ To put the deck in any other location on the roof would double the expense of adding additional support to the structure.

Additionally, our proposed plans include the addition of a stairway to the roof in an existing light well and that is the only feasible location to put the stairway without actually sacrificing a bedroom in our home. Based on these two issues, it is not a possibility to take Ralph Geissler's proposed suggestion and move the roof deck to a different section of our roof. Plus, if we hypothetically were to move the roof deck from the back of the house further to the front of the house, we would then be blocking the 3 windows in Ralph's building that face the light well closer to the front of his house. This light well is already partially blocked.²

¹ See Photos on Page 1 of the Appendix showing the Proposed Location of the Roof Deck. This photo of our roof has an indication of where the existing load-bearing wall is that is being removed as part of our plans. This is the location of our roof that needs to be restructured to provide additional support.

² See Photos on Page 5 of the Appendix showing Ralph Geissler's Existing Light Well. Please note that this light well will not be affected at all by our proposed plans (even though Ralph Geissler included photos of these windows, which are already partially blocked, in his Discretionary Review Application).

Additionally, we believe that our proposed plans as they are currently drafted will only minimally affect our neighbors. Our plan is consistent with the existing pattern of our neighborhood and according to page 16 of the San Francisco Residential Design Guidelines, “in areas with dense building pattern, some reduction of light to neighboring buildings can be expected with a building expansion.” There is no reason to believe that the neighbor’s tenants will be either dark or damp as the Discretionary Review Application indicates. With our proposed plans, there will be no change to the existing space between the two buildings. There is currently *over 5 feet of space* between our existing wall and Ralph Geissler’s wall that is parallel to ours. This amount of space allows for plenty of air flow and light.³ We are simply asking to extend our existing wall upwards, along the same lines of the existing frame of our building.

From our personal experience of living next to a building that is taller than ours (Ralph Geisler’s building at 14 Cumberland), we have learned that enclosed light wells can actually provide a significant amount of light into a home. Our home actually abuts our neighbors at 14 Cumberland and *every window* that we have on the entire left side of our house is *completely blocked* by Ralph Geisler’s building. Instead of receiving direct light, each window that we have on the left side of our property opens into a light well that is enclosed on all 4 sides by the two buildings. Additionally, given the height of the buildings, our windows are significantly below the roof levels (at least 6 feet below the roof line). Our proposed plans would simply raise the height of the walls in our building to accommodate the 42” parapet wall. This would only affect 2 of the 5 windows on the top story of Ralph Geisler’s property, and those 2 affected windows would still be facing a light well that is much larger than ours (and one that is only enclosed on 3 sides) as opposed to being enclosed on all four sides like ours are.⁴ The tenants at 14 Cumberland Street will still have plenty of light and there is no reason to believe that they will live in either a darkened or damp environment.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

Though we have designed our plan to meet the requirements of the City and the planning department, and in accordance with the Residential Design Guidelines, we have already been willing to make modifications to our plans in order to offer the neighbors greater access to light. We have included in our proposal to Ralph Geissler, at our sole expense, the potential of reducing the 42” parapet wall to 30”, while providing glass for the remaining 12” at the top. Though this is not standard and adds to our costs, we have been made aware that this has previously been approved by the City and we would be more than happy to take on the additional

³ See Photos on Page 2 of the Appendix showing Ample Space Between Buildings which will not be affected by our proposed plans

⁴ See Photos on Page 3 of the Appendix showing Plenty of Light in our Fully-Enclosed Light Well (please note that this light well is even smaller than the space that will be between our building and Ralph Geissler’s building if our plans were to go through).

expense in order to offer a suitable compromise. This was not in our initial plans that were submitted to the City, but was offer to Ralph Geissler by our architect, Jaime Romero, and was rejected.

As an alternative, we would also be willing to use glass as opposed to the parapet wall for those portions of the deck which are at least 5 feet away from our neighbor's existing structure (the wall leading up to the corner of our deck).⁵

In order to further compromise, we would also be willing to have an additional natural light source added to our neighbor's property. We would be willing to purchase and pay for the installation of one Solatube (<http://www.solatube.com/residential/room-gallery/before-after-gallery.php>) to be placed in the upstairs unit facing ours at 14 Cumberland. This would actually provide our neighbors with access to more natural light than they currently have now.⁶ Also, because Solatube is a Green option that allows for natural light without incurring PG&E expense, this will actually save the tenants the cost of lighting their room during the day. Though we do not feel that this is necessary step given that the neighbors would have a much larger light well than we currently have, we are willing to incur the additional expense in order to be good neighbors.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have an adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Unfortunately, as stated in our response to number one, it is not a possibility to take the neighbor's proposed suggestion and move the roof deck to a different section of our house. The load-bearing wall that will be removed as part of our plans is in the back section of our home and the only location for the stairway is in the existing light well. Additionally, even if we were willing to sacrifice one of the bedrooms in our home to move the stairway, and double the amount of restructuring costs needed to support multiple locations on our roof, moving the deck towards the front of the house would then block the 3 other windows of Ralph Geissler's building that face out over our roof (in a much smaller light well).

Our neighbor cites the loss of partial downtown views repeatedly throughout the Discretionary Review Application as a reason to block our proposal. Please keep in mind that our neighbor already has a deck with views, which encroaches into their rear yard further past our home.⁷ Our home is shorter than the neighbor's property, less wide than the neighbor's property and goes less far back than the neighbor's property. If our

⁵ See Sketch on Page 6 of the Appendix outlining another potential option for the side of the deck closest to Ralph Geissler's property.

⁶ See Photos on Page 7 of the Appendix showing the before and after effects of the Solatube product. Page 8 of the Appendix also provides additional information about the product.

⁷ See Photos on Page 4 of the Appendix showing the existing deck with views on Ralph Geissler's property (that will not be affected at all if our plans were to go through)

plans were to go through as we hope, the neighbors will continue to have views from that deck that will not be obstructed at all by allowing us the opportunity to have our own outdoor space as well.

Additionally, page 18 of the San Francisco Residential Design Guidelines states that the Guidelines “do not provide for protecting views from private property”. Though the City affords protection of the major public views (as seen from public spaces such as streets and parks), no one citizen has the right to have a view from their private property. We understand that even if we go through the expense of building a deck, we could easily lose any views that we may gain if a neighbor chooses to build in a direction that blocks our views. We understand that we do not have a right to downtown views from our private property, just as our neighbor does not.

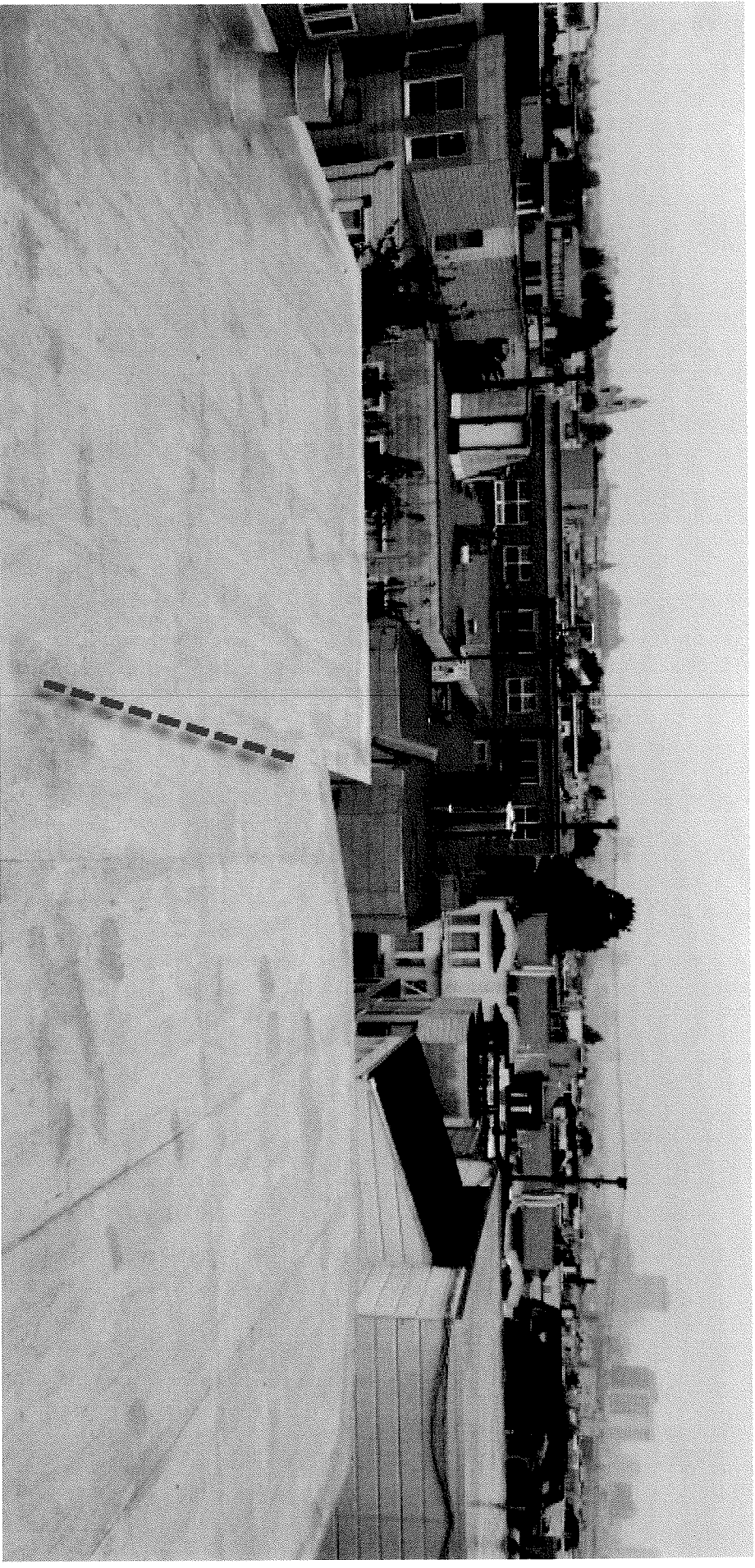
Based on the factors detailed above (and summarized below), we feel that our proposed project should be approved:

- Our proposal follows all regulations required by the City of San Francisco and the Planning Department and we purchased the property in anticipation that we would be able to modify our home in accordance with city guidelines
- Our proposal is consistent with the San Francisco Residential Design Guidelines, minimally impacting our neighbors and keeping consistent with the theme of the building plan in the neighborhood
- The location of our roof deck cannot be modified based on the existing structure of our home
- Though we believe there will only be a minimal impact to our neighbors with regard to light, we have now offered three options to reduce and/or eliminate the impact
 - o We have offered to modify our plans at our additional expense to include glass for the 12” at the top of the parapet wall
 - o We have offered to modify our plans at our additional expense to include glass alongside Ralph Geissler’s property (to the extent that the areas are at least 5 feet from Ralph Geissler’s property in every direction)
 - o We are offering to purchase and pay for the installation of one Solatube for Unit 4 at 14 Cumberland Street in order to ensure that there will be substantial natural light in the apartment
- The loss of views from private property (including the neighbor’s window adjacent to our proposed roof deck) is not a protected right according to the San Francisco Residential Design Guidelines, and the views from the neighbor’s existing deck will not be obstructed at all by our proposed plans.

APPENDIX TO RESPONSE TO DISCRETIONARY REVIEW (Case No. 2011.06.10.7922)

PROPOSED LOCATION OF ROOF DECK (according to current plans)

This is a picture of the back portion of the roof where our proposed roof deck would be built. The dotted red line indicates the location of the wall between the kitchen and the living room that we are removing. This is the area of the roof that we need to rebuild in order to support the weight of the roof. As you can see, moving the location from this section of the roof will cause us to have to not only rebuild this portion of the deck, but to rebuild another significant portion as well.



AMPLE SPACE BETWEEN BUILDINGS

As you can see from the photos below, there is over 5 feet of space between the parallel walls of Ralph Geisler's building and our building. Though raising the existing wall of our building to accommodate the parapet wall (required at the border of our property), there will still be ample space between buildings, allowing for plenty of light and air to flow freely. Even if our proposed plans are approved as is, the existing space between our buildings will still be wide open to the backyard area (as seen in the photo on the left below). The space between our homes would only be enclosed on 3 sides.



To the left is the deck off of the top unit of Ralph Geisler's building and to the right is our building. This space will remain open even if our plans are approved as is.



Note that there is over 5 feet of space between the two walls

PLENTY OF LIGHT IN OUR FULLY-ENCLOSED EXISTING LIGHT WELL

In the above photos we have shown that there will be ample space between the buildings which will allow for plenty of light and air flow. To further that point, below are photos of our fully enclosed light well (which abuts Ralph Geisler's building). Due to the height of Ralph Geisler's property and the fact that our windows are significantly lower than our roof line, this light well is not only enclosed on all 4-sides, but the buildings also jet up over 6 feet above the top of the windows, meaning that our windows are sunk deep into our light well. Despite these facts, as you can see, there is plenty of light that shines into these light wells (which are significantly smaller than the space that will be in the "affected area" if our plans were to go through as proposed.



RALPH GEISLER'S EXISTING DECK WITH VIEWS

This is a photo of Ralph Geisler's existing deck that will not be affected at all by our proposed plans to build a deck. As you can see, he has unhampered views from his deck. The deck off of his building protrudes further than our home.



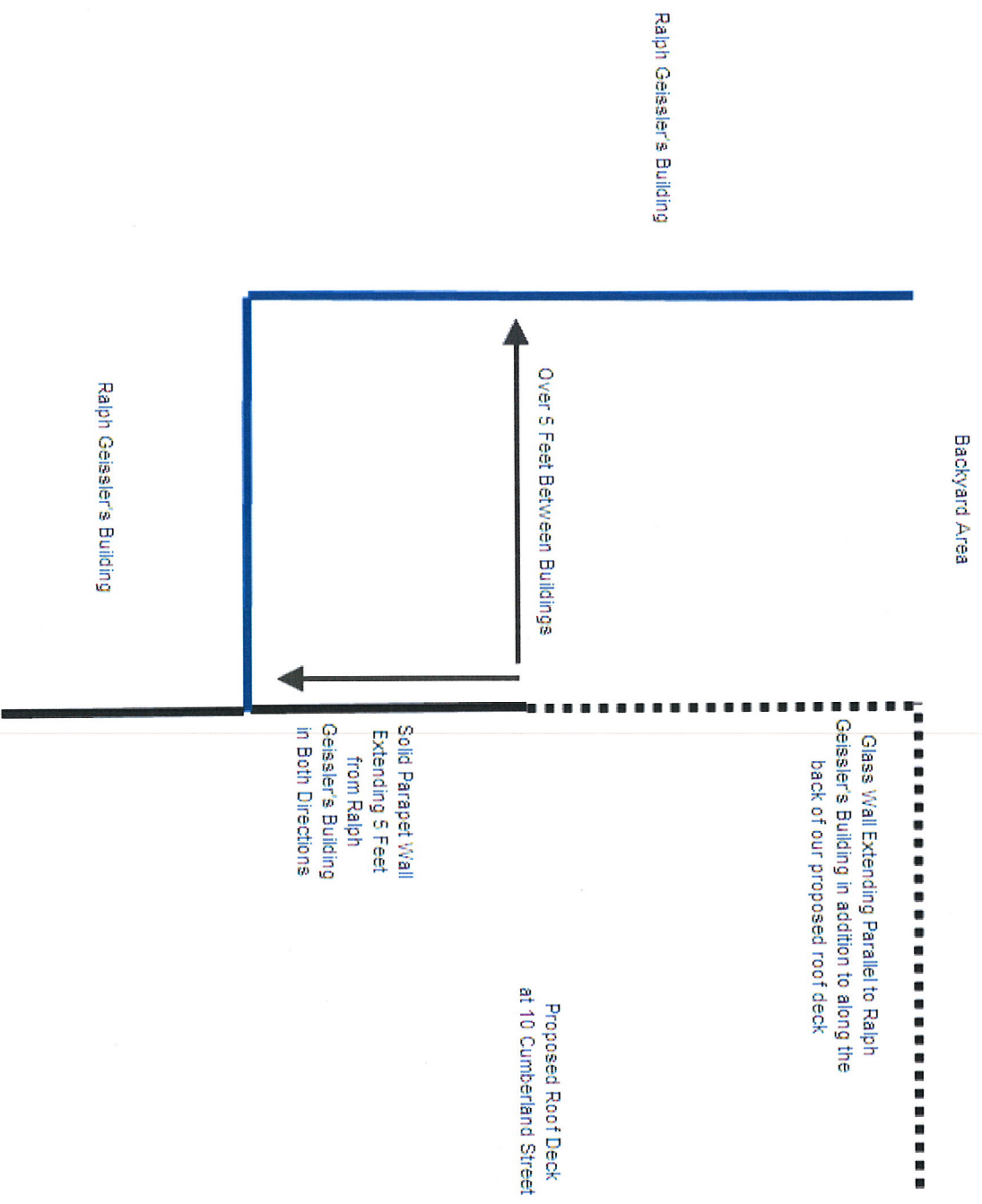
RALPH GEISLER'S EXISTING LIGHT WELL (not proposed to be affected at all by our plans)

As you can see from the photo below, Ralph Geisler has an existing light well that abuts our house. Our current plans do not impede at all on this light well. If we were to move our deck further towards the front of our house, we would then be blocking his smaller, narrower, light well.



SKETCH OF POTENTIAL COMPROMISE

We would be willing to use glass as opposed to the parapet wall for those portions of the deck which are at least 5 feet away from our neighbor's existing structure (the wall leading up to the corner of our deck).



SOLATUBE LIGHTING

BEFORE PHOTO

(dark hallway without any windows or natural light)



AFTER PHOTO

(hallway has plenty of natural light with use of Solatube lighting)



ADDITIONAL INFORMATION ABOUT SOLATUBE

- Solatube is one of the most technologically advanced daylighting products available today. Solatube is a Tubular Daylighting Devise (TDD) which provides an abundance of pure, clear natural light for any interior space. The light output is incredible, providing as much light as you would expect from a skylight many times its size.
- The compact and flexible design of TDDs allow them to be installed in just about any room, including rooms without direct roof access and smaller spaces where daylighting would usually not be an option.
- They require no structural reframing, tunneling, dry walling or painting. A professional can install the product in less than two hours and most Do-It-Yourselfers can finish the project in one day
- TDDs allow you to switch off electric lights during the day, which provides savings on energy bills and also reduces environmental pollution.
- For more information about Solatube, see their website at www.solatube.com



SAN FRANCISCO PLANNING DEPARTMENT

Notice of Proposed Approval

10-Day Block Book Notice

September 1, 2011

Ralph Geissler
19 Danver Street
San Francisco, CA 94114

Dear Mr. Geissler:

RE: 10 Cumberland Street (Address of Permit Work)
3598/046 (Assessor's Block/Lot)
2011.06.10.7922 (Building Permit Application Number)

In accordance with your block book notation request, this letter is to inform you that the Planning Department received a Building Permit Application for the property located at 10 Cumberland Street.

The proposed scope of work involves the following:

- Infilling a west facing lightwell at the first and second floors which faces a blind wall,
- Constructing a 42" high, 1-hour fire rated parapet wall and 42" high tempered glass guardrail at the rear of the building to create an approximately 492 sq. ft. roof-deck at the rear of the building, and
- Interior alterations at the second floor to add new spiral staircase to access new roof-deck area above.

No expansion of the building envelope is proposed under this permit.

If you would like to review the associated plans or have any questions about this application, please contact the assigned planner for this project, Adrian C. Putra, at (415) 575-9079 or adrian.putra@sfgov.org within 10 days from the date of this letter. This project will be approved by the Planning Department if no request for Discretionary Review is filed by the end of the 10-day noticing period, September 11, 2011.

Sincerely,

Adrian C. Putra, Planner
SW Team

CC:
Jaime Romero
10 Terners Drive, Suite 11

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

10-Day Letter

September 1, 2011
10 Cumberland Street

Sausalito, CA 94965

Jonathan Schwartz
10 Cumberland Street
San Francisco, CA 94110

GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA BUILDING CODE AND LOCAL BUILDING DEPARTMENT ORDINANCES LATEST EDITION (INCLUDING BUT NOT LIMITED TO THE 2010 CALIFORNIA BUILDING CODE (CBC), 2010 SAN FRANCISCO BUILDING CODE (SFCBC), 2010 CALIFORNIA MECHANICAL CODE (CMC), 2010 CALIFORNIA FIRE CODE (CFC), 2010 NATIONAL ELECTRICAL CODE (NEC), AMERICAN CONCRETE INSTITUTE (ACI), AND APPLICABLE LOCAL CODES.

THE CONTRACTOR SHALL GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO LAUNCH ERECTION OF THE WORK. ALSO THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK.

THE DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR A FINISHED PIECE OF WORK. THE CONTRACTOR SHALL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE COMPLETED IN A GOOD AND WORKMANLIKE MANNER AND IN EVERY DETAIL. ALL THOUGH EVERY NECESSARY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED EXCEPT AS OTHERWISE SPECIFICALLY STATED. THE CONTRACTOR (IF THERE ARE NOT OTHER ARRANGEMENT WITH THE OWNER) SHALL PAY FOR ALL NECESSARY PERMITS, FEES, AND COSTS OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE INCLUDING SAFETY OF PEOPLE, SUBJECT PROPERTY, AND ADJACENT PROPERTIES. RR DESIGNERS WILL NOT BE RESPONSIBLE FOR THE ADEQUACY OF THE CONTRACTOR SAFETY MEASURES.

RR DESIGNERS GROUP SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTORS PERFORMING ANY OF THE WORK OF THE FALLS AND SPECIAL CONDITIONS OF THE WORK IN CONFORMANCE WITH THE FALLS AND SPECIAL CONDITIONS.

ALL DRAINAGES SPECIFICATIONS, AND INFORMATION FURNISHED HERE WITH ARE AND SHALL REMAIN THE PROPERTY OF THE RR DESIGNERS GROUP AND SHALL BE HELD CONFIDENTIAL AND SHALL NOT BE USED FOR ANY PURPOSE OR PURPOSES OTHER THAN THOSE FOR WHICH THEY HAVE BEEN SUPPLIED AND PREPARED. RR DESIGNERS GROUP WILL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL SCAFFOLDING, BRACING, UNDERPINNING AND SHORING ARE REQUIRED FOR INSTALLATION, STABILITY, AND SAFETY OF NEW WORK AS WELL AS EXISTING STRUCTURES, PIPING AND FOUNDATION SYSTEM, AND SHALL RETAIN HIS OWN CONSULTANTS TO INSPECT AND REVIEW ALL JOB CONDITIONS.

THE CONTRACTOR SHALL PROVIDE PROTECTION AS REQUIRED, AND BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL PROVIDE PROTECTION AS REQUIRED, AND BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE SCOPE OF ALL WORK WITH EXISTING AND JOB CONDITIONS AND COMPARE STRUCTURAL DRAWINGS FOR COORDINATION WITH OTHER DRAWINGS BEFORE COMMENCING WORK.

UNLESS OTHERWISE SHOWN OR NOTED ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN OR SPECIFIED, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE CALLED FOR OR DETAILED. DO NOT SCALE DRAWINGS. THE MORE STRINGENT NOTE OR SPECIFICATION SHALL TAKE PRECEDENCE.

NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES, SPECIAL, OR CHANGED CONDITIONS BEFORE PROCEEDING WITH THE WORK. IF PREDICABLY PLACED STRUCTURAL MEMBERS, PIPING OR DUCTWORK INTERFERE WITH PLACEMENT OF STRUCTURAL MEMBERS, NOTIFY ARCHITECT/ENGINEER FOR MODIFICATIONS. THE CONTRACTOR SHALL PROVIDE AND COORDINATE TESTS AND INSPECTIONS AS REQUIRED BY THE BUILDING CODE AND THE APPROVED SET OF PERMIT DRAWINGS.

STRUCTURAL STEEL

1. STRUCTURAL STEEL SHAPES AND STEEL PLATES SHALL CONFORM TO ASTM A36 STRUCTURAL STEEL PIPE SHALL BE ASTM A-53 GRADE B STRUCTURAL STEEL TUBE SHALL CONFORM TO ASTM A500 GRADE B
3. ALL CONNECTION BOLTS SHALL CONFORM TO ASTM A-307 UNLESS SPECIFIED OTHERWISE
4. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODE BY CERTIFIED WELDERS.
5. STRUCTURAL STEEL WORKMANSHIP AND DETAILING SHALL CONFORM TO AISC SPECIFICATIONS FOR THE "DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS."

6. ALL EXPOSED STEEL ITEMS SHALL BE GALVANIZED AFTER FABRICATION. MISCELLANEOUS METALS TO BE SHOP PAINTED. ALL FERROUS METALS WHOLELY OR PARTIALLY EXPOSED TO WEATHER TO BE COATED WITH A ZINC RICH PRIMER. AFTER INSTALLATION TOUCH UP OR PAINT FIELD CONNECTIONS AND ABRASIONS WITH SAME PAINT USED FOR SHOP PAINTING. ALL FERROUS METALS TO BE EMBEDED IN CONCRETE SHALL BE SHOP COATED WITH LEAD LEAD PRIMER.
1. ALL STEEL WORKS SHALL CONFORM TO MANUAL OF STEEL CONSTRUCTION LATEST EDITION.
8. FULL PENETRATION WELDS SHALL HAVE A RATED CHARPY V-ACTOCH TOUGHNESS OF 20 FT-LB AT -20° F.

FOUNDATIONS & FATHWORK

1. CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF UTILITY SYSTEMS, PIPING AND FOUNDATION SYSTEM ADJACENT TO THE WORK PRIOR TO START OF CONSTRUCTION.
2. FOOTING SHALL BE EXCAVATED TO DEPTHS SHOWN ON THE DRAWINGS. AREAS TO RECEIVE FILL SHALL BE EXCAVATED TO DEPTHS REQUIRED TO PROVIDE FIRM BEARING FOR THE FILL.
4. BACKFILL MATERIALS SHALL BE FREE FROM ORGANIC MATTER AND OTHER DEleterious SUBSTANCES, AND SHALL NOT BE PLACED AGAINST WALLS UNTIL THE WALLS AND THEIR BRACING SLABS HAVE DEVELOPED THEIR DESIGN STRENGTH.
5. FILL MATERIALS SHALL BE PLACED IN EIGHT-INCH LAYERS WITH SUFFICIENT MOISTURE CONTENT TO BE COMPACTED TO 98% OF MAXIMUM DRY DENSITY BY ASTM D1557 TEST METHOD. USE 90% COMPACTION AT REAR AS MORE THAN FIVE FEET FROM BUILDING THAT ARE NOT TO RECEIVE FILLING.

ROUGH CARPENTRY

1. ALL FRAMING LUMBER EXCEPT SILL'S AGAINST CONCRETE SHALL BE DOUGLAS FIR AND LARCH OR DOUGLAS FIR COAST REGION AND SHALL BEAR THE WESTERN WOOD PRODUCTS ASSOCIATION OR WEST COAST LUMBERMANS ASSOCIATION GRADE MARK FOR THE FOLLOWING GRADES OR BETTER: JOIST 4 BEAMS 4" THICK NO. 1 GRADE, 4 & 6 (190P) BEAMS 8" AND THICKER NO. 2 GRADE, 8" (195P) STUDS BLOCKING ETC. NO. 1 GRADE, 8" (190P) 2x4 2x6 & LARGER NO. 1 GRADE, 1 & 1 (200P)
2. SILL'S AGAINST CONCRETE SHALL BE AT LEAST 3x4 FOUNDATION GRADE REDWOOD OR PRESSURE TREATED DOUGLAS FIR
3. ALL JOISTS, RAFTERS, HEADERS, OR BEAMS BLIND OR FLUSH FRAMED INTO CARRYING MEMBERS SHALL BE SUPPORTED BY JOIST HANGERS FULLY NAILED TO SUPPORT AND TO JOIST (IE ALL HOLES FILLED) USING THE FOLLOWING SCHEDULE EXCEPT AS NOTED ON PLANS:

MEMBERS SIZE	JOIST HANGER
2x4 THRU 2x12	SIMPSON LUS,
3x4 AND 2x6	SIMPSON LUS,
4x4 THRU 2x16	SIMPSON LUS,
2x4 THRU 4x6	SIMPSON LUS,
5-2x10 THRU 5-2x16	SIMPSON "HT"
6x6 THRU 6x16	12 GAUGE

4. WOOD POSTS BEARING ON CONCRETE SHALL BE SECURED DIRECTLY TO THE CONCRETE WITH POST ANCHORS FULLY NAILED (IE ALL HOLES FILLED) TO USE 1/2 GAUGE 6" POST ANCHORS OR SIMPSON PA. SEE DETAILS FOR NAILING.
5. BOLTS BEARING ON WOOD SHALL HAVE SQUARE WAGHERS 3/8x3/4x2 1/4"
6. ALL BLOCKING BRIDGING DOUBLING OF JOISTS UNDER PARALLEL PARTITIONS, FIRESTOPPING, ETC. NOT INDICATED SHALL BE AS REQUIRED BY BUILDING CODE.

1. ALL PLYWOOD SHEATHING SHALL BE APPROVED STRUCTURAL 1, CDX EXTERIOR GRADE. AP A GRADE MARKED OR APPROVED EQUAL. PLYWOOD SUBJECT TO MOISTURE DURING CONSTRUCTION SHALL HAVE EXTERIOR GRADE GLUE. PLYWOOD SUBJECT TO MOISTURE AFTER CONSTRUCTION SHALL BE EXTERIOR GRADE PLYWOOD.
8. NON-GEAR WALL PLYWOOD NAILING SHALL BE 2D AT 6" ON CENTER ON EDGES AND 2D AT 12" ON CENTER AT FIELD. (U.O.N.)
4. ALL STUD WALLS SHALL BE 2x4 @ 16" ON CENTER (U. O. N.)
10. PROVIDE 2x6 STUD WALLS @ 16" ON CENTER FOR ALL PLUMBING WALLS.

11. PLYWOOD FOR SHEARWALLS SHALL HAVE ALL EDGES SUPPORTED AND NAILED. ADJOINING SHEETS SHALL BE NAILED TO SAME FRAMING MEMBER OR BLOCKING PIECE. SEE PLANS FOR EDGE NAILING. FIELD NAILING 16" (12" ON CENTER IN ALL CASES). SHEARWALL PLYWOOD SHALL BE C-C EXTERIOR GRADE.
12. PROVIDE DOUBLE JOIST BELOW ALL WALLS.
13. GYPSUM SHEATHING SHALL BE NAILED AT 7" ON CENTER MAXIMUM TO EACH STUD, SILL AND PLATE WITH 11 GAUGE 1-1/4" LONG, 1/8" DIAMETER HEAD GALVANIZED DIAMOND POINT NAILS.
14. GYPSUM WALL BOARD SHALL BE NAILED WITH 6D COOLER NAILS AT 7" ON CENTER TO SILL, STUDS AND PLATE.

15. ALL MANUFACTURED FRAMING ANCHORS, HOLD-DOWNS, POST BASES, POST CAYS ETC. REFERRED TO BY FIGURE NUMBER ON THE PLANS ARE AS MANUFACTURED BY SIMPSON COMPANY. SIMILAR ITEMS MANUFACTURED BY OTHER BRANDS OR TYPES PROVIDED THEY ARE APPROVED BY THE CITY DEPARTMENT OF BUILDING INSPECTION.
6. PSL SHALL BE MANUFACTURED BY TRUS JOIST APPROVED COMPANY.
17. INSTALL PSL PER MANUFACTURER'S RECOMMENDATIONS.
18. ALL PLYWOOD CONNECTED TO FLOOR JOIST SHALL BE GLUED & NAILED.
19. ALL CONNECTORS, NAILS, BOLTS, ETC. IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
20. TJI - FOLLOW ALL MANUFACTURER'S SPECIFICATIONS.

22. HARDY WALLS - FOLLOW ALL MANUFACTURER'S SPECIFICATIONS.

REINFORCEMENT

1. REINFORCING STEEL SHALL BE GRADE 40. IN ACCORDANCE WITH REQUIREMENTS OF ASTM A615 USE GRADE 60 FOR ALL BARS #6 & LARGER. THE WIRE SHALL BE 1/8 GAUGE OR HEAVIER BLACK ANNEALED, ASTM A62.
2. FOR ALL REBAR WITH LESS THAN 12" OF FRESH CONCRETE BENEATH, WITH NO EPOXY COATING AND WITH STANDARD WEIGHT AGRADATE AS PER 1912 OF THE 2001 CALIFORNIA BUILDING CODE:
20. SHOTCRETE - LAR 25 BAR DIAMETERS CONCRETE WITH #5 AND SMALLER - LAR 32 BAR DIAMETERS CONCRETE WITH #6 AND LARGER - LAR 48 BAR DIAMETERS CONCRETE WITH #7 AND LARGER - LAR 60 BAR DIAMETERS FOR ALL OTHER CASES AS PER ENGINEER OF RECORD'S SPECIFICATION.
3. REINFORCING STEEL SHALL BE FREE FROM LOOSE RUST OR ANY OTHER COATING OR MATERIALS WHICH WILL DESTROY OR REDUCE BOND BETWEEN THE CONCRETE AND REINFORCING STEEL.
4. REINFORCING STEEL SHALL NOT BE BENT OR STRAIGHTENED IN MANNER WHICH WILL INJURE THE MATERIALS AND SHALL BE ACCURATELY PLACED AND POSITIVELY SECURED IN DESIGNATED LOCATIONS AGAINST DISPLACEMENT.
5. MAXIMUM SIZE REBAR SHALL BE #5 IF SHOTCRETE IS USED.

CONCRETE

1. CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES", ACI 315-77, AND ASTM C94, UNLESS OTHERWISE NOTED.
2. CONCRETE SHALL BE PROPORTIONED WITH CEMENT, HARDROCK AGGREGATES AND SANDS TO PROVIDE STRENGTHS AS SHOWN AND THE REQUIREMENTS FOR TABLE 19.4.1 FROM 19.4.1 OF THE CBC AND THE CEMENT RATIOS AND AIR CONTENT.
3. ALL CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. SHOTCRETE SHALL HAVE A MINIMUM STRENGTH OF 4000 PSI AT 28 DAYS.
4. ALL EXCAVATIONS, FORMWORK, AND REINFORCEMENT SHALL BE INSPECTED BY THE BUILDING INSPECTOR PRIOR TO PLACEMENT OF CONCRETE.
5. CONCRETE COVERAGE OF REINFORCING BARS SHALL BE AS FOLLOWS:
 1. CONCRETE IF EXPOSED TO EARTH BUT POLISHED IN FORMS, 1 1/2" FOR BEAM, COLUMN, AND EXTERIOR SURFACES.
 - 3/4" FOR INTERIOR SLAB, JOIST AND WALL.
6. ANCHOR BOLTS SHALL BE ASTM A-307 UNFINISHED BOLTS.

CONCRETE FORMWORK

1. FORMWORK SHALL BE PROPERLY CONSTRUCTED TO CONCRETE SURFACES.
2. LUMBER SHALL BE DOUGLAS FIR CONSTRUCTION GRADE, S1S2E OR BETTER. PLYWOOD SHALL BE APA GRADED, PLYFORM, B-B EXTERIOR.
3. FOR EXPOSED CONCRETE FORMWORK SHALL BE JOINT TIGHT-Y TO PRODUCE A SMOOTH FINISH SURFACE. ALL EXPOSED CONCRETE SURFACE IRREGULARITIES SHALL BE CORRECTED TO THE SATISFACTION OF THE OWNER.
4. COORDINATE WITH OTHER TRADES FOR LOCATION OF EMBEDDED ITEMS, SUCH AS PIPES AND CONDUITS, ETC. INSTALL AND SECURELY TIE IN PLACE ALL INSERTS, BOLTS, ANCHORS AND SLEEVES PRIOR TO PLACEMENT OF CONCRETE.
5. FORMS ON VERTICAL SURFACES SHALL NOT BE REMOVED UNTIL 72 HOURS AFTER PLACEMENT OF CONCRETE. FORMS FOR HORIZONTAL SURFACES SHALL NOT BE REMOVED FOR AT LEAST 21 DAYS.

BUILDING CODE REQUIREMENTS

1. HOT MOPPED SHOWER PAN SHALL BE INSPECTED UPON COMPLETION OF HOT MOPPING AND SHALL BE FILLED WITH WATER FOR INSPECTION.
2. PROVIDE AN ATTIC ACCESS (24"x30") WITH WEATHER STRIPS TO PER BACK DRAFT. LOCATE WHERE ATTIC IS 30" HEIGHT OR MORE PER 2007 CBC.
3. SHOWER COMPARTMENTS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN NILET. PER 2010 CBC 1210.3
4. EVENT FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS, AND WALL AND CEILING PANELS IN SHOWER AREAS. 2010 CBC 2509.2
5. WHERE ANY 2" VENT RING HORIZONTALLY THROUGH WALL STUD, THE MINIMUM STUD SIZE OF 2x6 SHALL BE USED FOR THAT PLUMBING WALL.
6. PROVIDE A 1/2" THICK MINIMUM SOLID CORE DOOR WITH SELF CLOSING DEVICE & SMOKE GASKET BETWEEN GARAGE AND PROPOSE (ROOM) 2007 CBC SECTION 715
1. DRYER DUCT TO BE SMOOTH METAL AND SHALL HAVE A BACK DRAFT DAMPER PER CBC
8. ALL INSULATION MATERIALS SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 75 AND A SMOKE DENSITY NOT TO EXCEED 450
9. PROVIDE FIRE BLOCKING AT ALL INTERSECTIONS BETWEEN CONCEALED WALL AND HORIZONTAL SPACES SUCH AS SOFFITS, FLOORS OR CEILING.
10. ALL "OR EQUAL" SUBSTITUTION MUST BE SUBMITTED AND APPROVED BY THE CITY BUILDING INSPECTOR PRIOR TO INSTALLATION OF THE ITEM.
11. BEDROOM WINDOWS FOR EMERGENCY ESCAPE AND RESCUE SHALL HAVE A FINISHED SILL HEIGHT OF NOT BE MORE THAN 44" ABOVE THE FLOOR 2007 CBC 1026.7 (WINDOWS MUST COMPLY 2010 CBC SECTION 1026)
12. NFIC TEMPORARY LABELING ON NEW WINDOWS SHALL NOT BE REMOVED UNTIL INSPECTED BY THE ENFORCEMENT AGENCY. (CEES STD 116(6) 2-B)
13. ALL NEW WINDOWS TO BE VINYL FRAME AND DOUBLE GLASS INSULATED WITH A MINIMUM U-FACTOR OF 0.35 FENESTRATION VALUE, TYPE SLIDING OR GATE WITH 1x6 REDWOOD TRIM. (U.O.N)
14. PROVIDE 3/4" THICK TYPE 'X' SHEETROCK ON ALL GARAGE WALLS AND CEILING. (CBO)
15. PROVIDE R-19 FIBER GLASS INSULATION BETWEEN THE NEW HABITABLE SPACE AND GARAGE (2010 CBC)
16. PROVIDE R-19 FIBER GLASS INSULATION BETWEEN GARAGE CEILING AND HABITABLE SPACE ABOVE THE GARAGE (2010 CBC)
17. PROVIDE MINIMUM R-19 FIBER GLASS INSULATION AT ALL NEW EXTERIOR WALLS (2010 CBC)
18. PROVIDE MINIMUM 36" WIDTH STAIRWAY (2010 CBC 1009.1 EXCEPTION 1)
19. PROVIDE A MINIMUM 6'-0" HEADROOM CLEARANCE FOR THE STAIRWAY TO (ROOM) (2010 CBC 1009.2)
20. PROVIDE A MINIMUM 36" LANDING FOR THE STAIRWAY (2010 CBC 1009.4)
21. PROVIDE HANDRAILS FOR STAIRWAY HANGUP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/4" OF MORE THAN 12 GROSS DIAGONAL AND SHALL HAVE SMOOTH SURFACE WITH NO SHARP CORNERS (2010 CBC 1012)
22. PROVIDE A ONE HOUR FIRE RESISTIVE CONSTRUCTION ON WALLS AND CEILING UNDER THE INTERIOR STAIRWAY (2010 CBC 1009.5.9)

FLASHING WORK

1. FLASHING WINDOWS AND DOOR OPENINGS, ROOF DECKS AND OTHER STRUCTURES, WILL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND APPLICABLE CODES.

PLUMBING CODE REQUIREMENTS

1. INTERIOR FINISH MATERIALS ON TUB-SHOWERS SHALL HAVE SMOOTH, HARD NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIALS WHICH EXTENDS TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN NILET (2010 CBC 1210.3 - 2509.2)
2. SHOWER HEADS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE OF 2.5 GALLONS PER MINUTE (2010 CPC 402.1)
3. THE SHOWER AND TUB-SHOWER COMBINATION SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE VALVE (CPC 420)
4. WHERE ANY 2" VENT RING HORIZONTALLY THROUGH WALL STUD, THE MINIMUM STUD SIZE OF 2x6 SHALL BE USED FOR THAT PLUMBING WALL.
5. WATER CLOSET SHALL HAVE A 1/6 GALLONS PER TANK PER WATER FLUSH (CPC 402.3)
6. PROVIDE A 24" MINIMUM CLEAR SPACE IN FRONT OF THE WATER CLOSET (CPC 402.6)
7. PROVIDE A 30" MINIMUM CLEAR WIDTH WHERE THE WATER CLOSET IS LOCATED (CPC 402.6)
8. KITCHEN SINK FACETS SHALL BE EQUIPPED WITH AERATORS AND SHALL NOT EXCEED A WATER FLOW OF 2.2 GALLONS PER MINUTE (CPC 402.7)
4. NO PLASTIC PIPE ALLOWED IN WATER SUPPLY OR SEWER LINES, USE COPPER & CAST IRON PIPES RESPECTIVELY.
10. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND THIRTY-FOUR SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY NCH CIRCLE. (2010 CPC 412.1)

SHEET NAME: **GENERAL NOTES**

ATN: **3598 - 046**

ZONING: **RH-3**

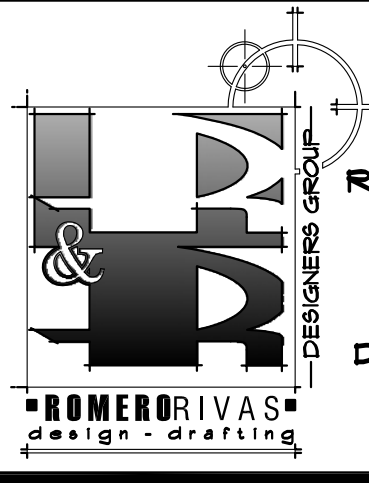
PROJECT: **CUSTOM REMODELING**

JONATHAN SCHWARTZ

PROJECT ADDRESS: **10 CUMBERLAND STREET SAN FRANCISCO, CALIFORNIA 94110**

DESIGN BY: **JAIME R ROMERO**

10 TERNERS DRIVE-SUITE II SAUSALITO, CALIFORNIA 94965 PHONE: (415) 424-2631 E-MAIL ADDRESS: RRDESIGNERSGROUP@HOTMAIL.COM



CAD DRAIN BY: **JR-AR**

CHECKED BY: **JR**

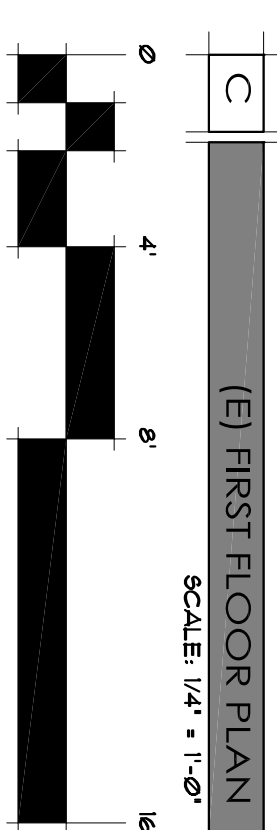
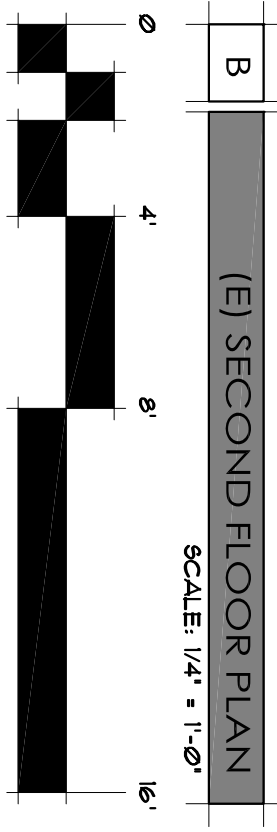
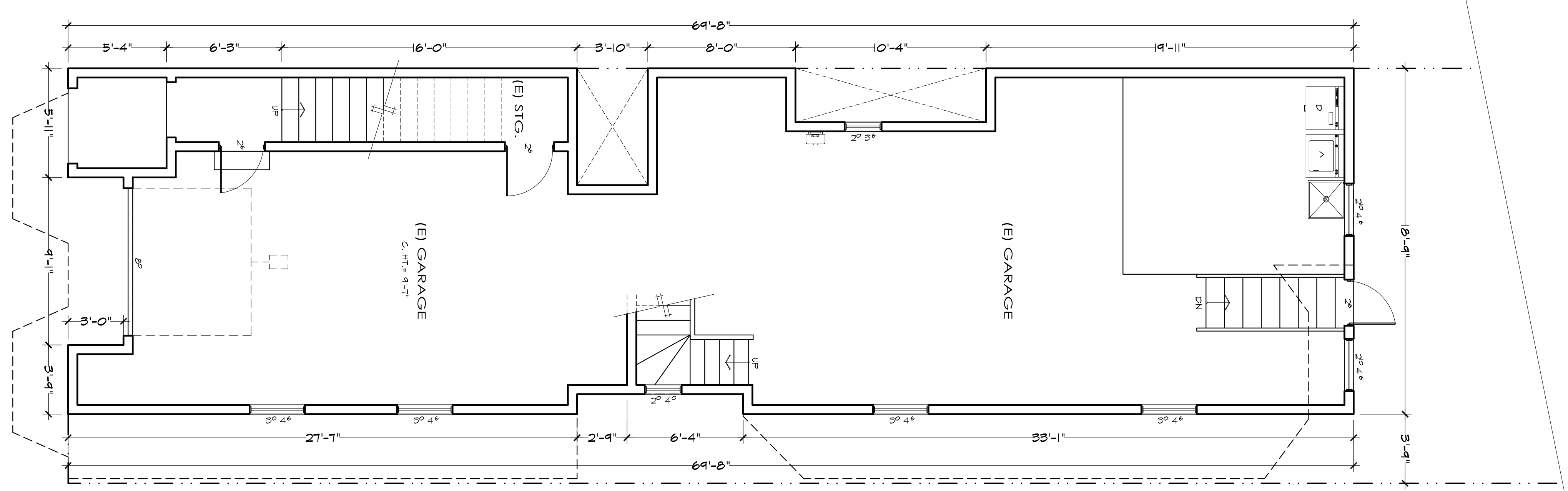
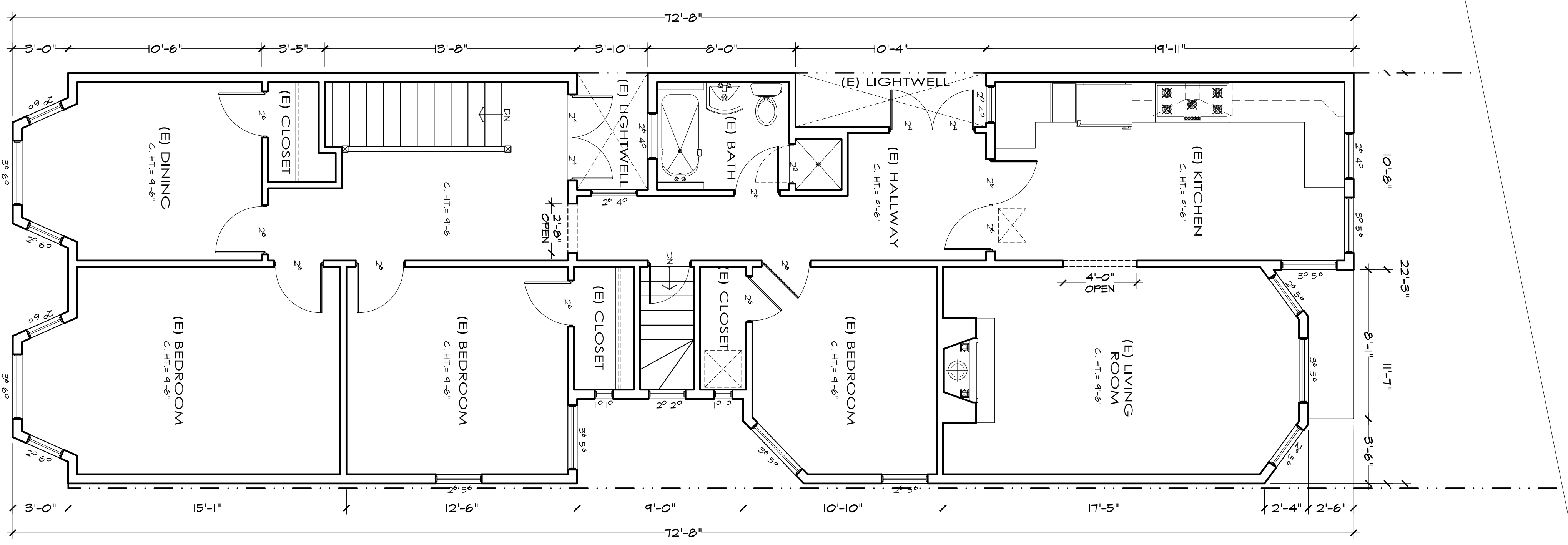
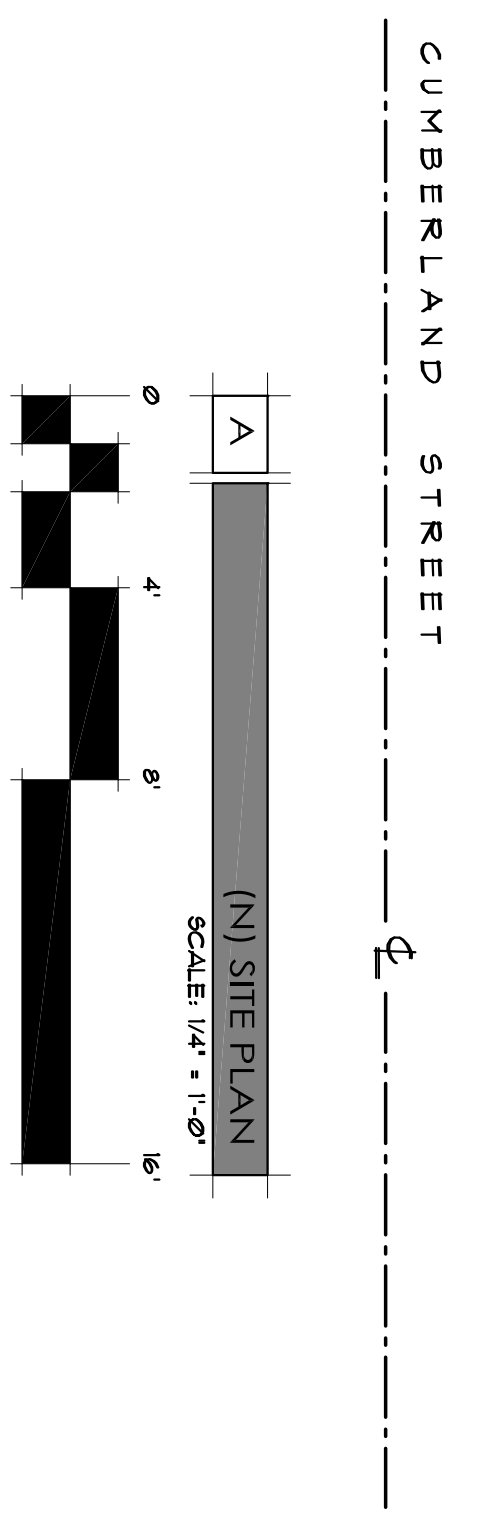
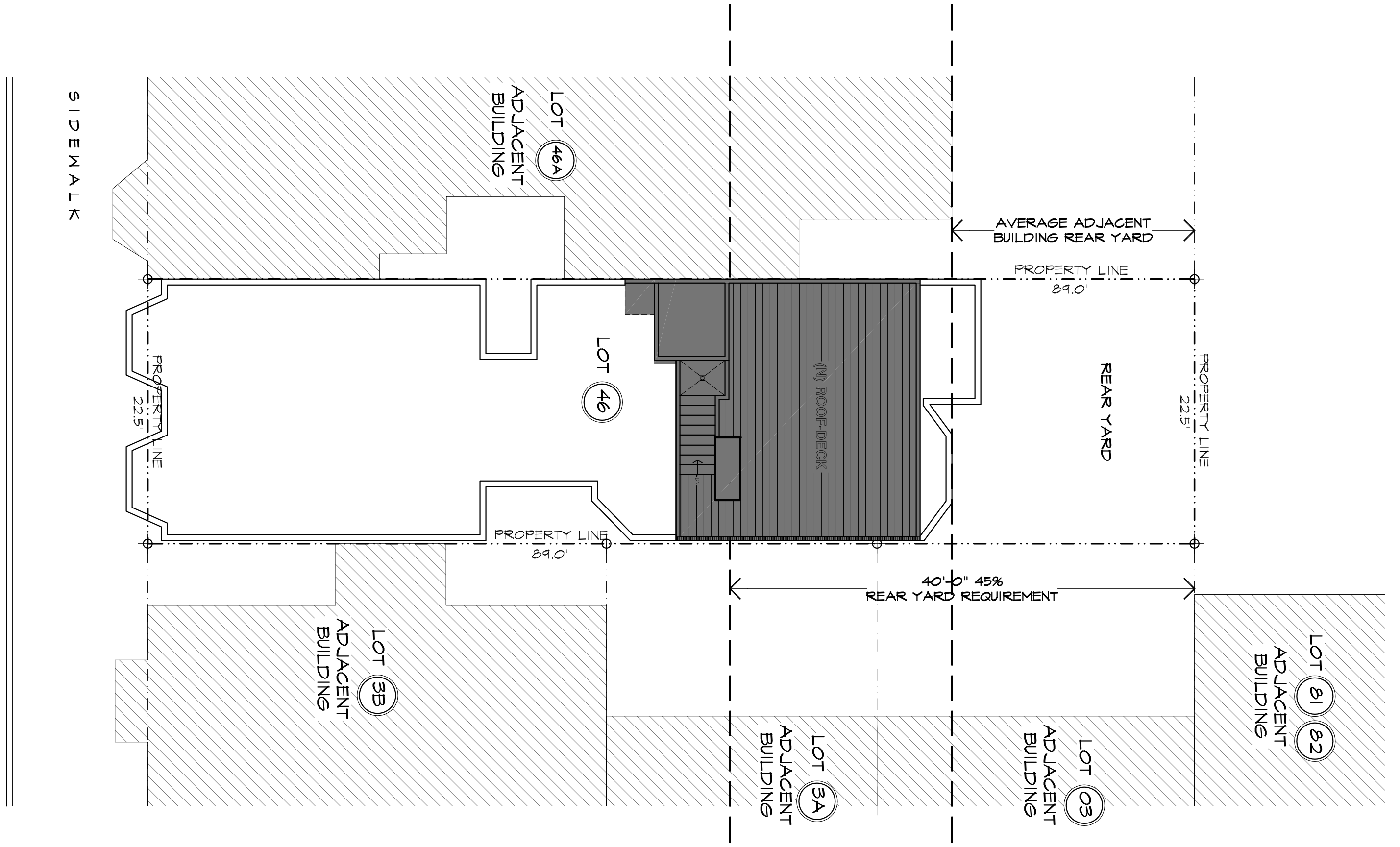
SCALE: **AS INDICATED**

DATE: **DECEMBER-20-2010**

JOB No.: **2K1014**

SHEET No.: **9-1**

REVISIONS BY



REVISIONS	BY

CAD DRAWN BY: JR-AR
CHECKED BY: JR
SCALE: AS INDICATED
DATE: DECEMBER-20-2010
JOB No.: 2K10/014

SHEET No.: A-1

SHEET NAME:
NEW SITE & (EO FLOOR PLANS)

APN: 3598 - 046 ZONING: RH-3

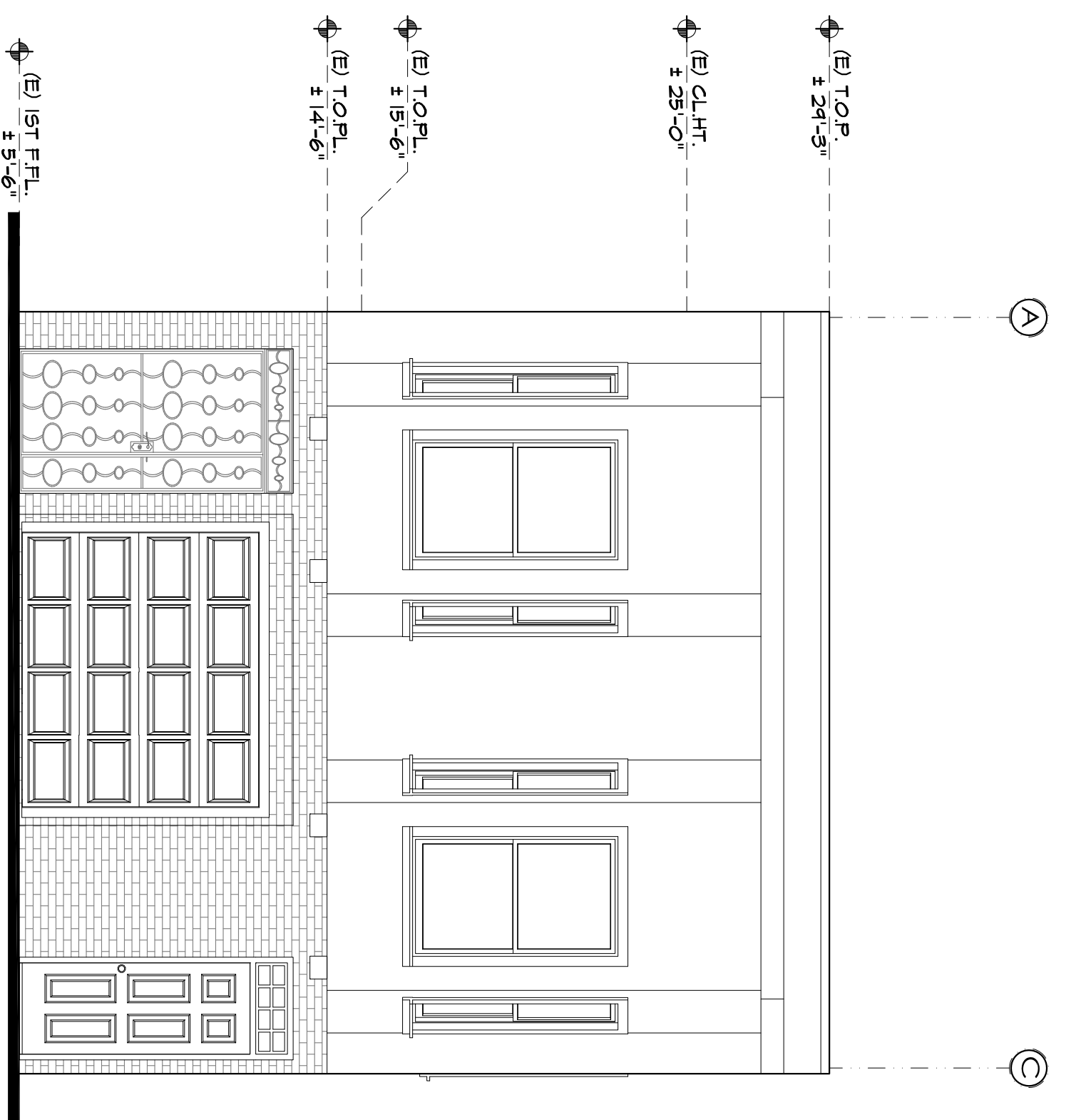
PROJECT: CUSTOM REMODELING
JONATHAN SCHWARTZ

PROJECT ADDRESS:
10 CUMBERLAND STREET
SAN FRANCISCO, CALIFORNIA 94110

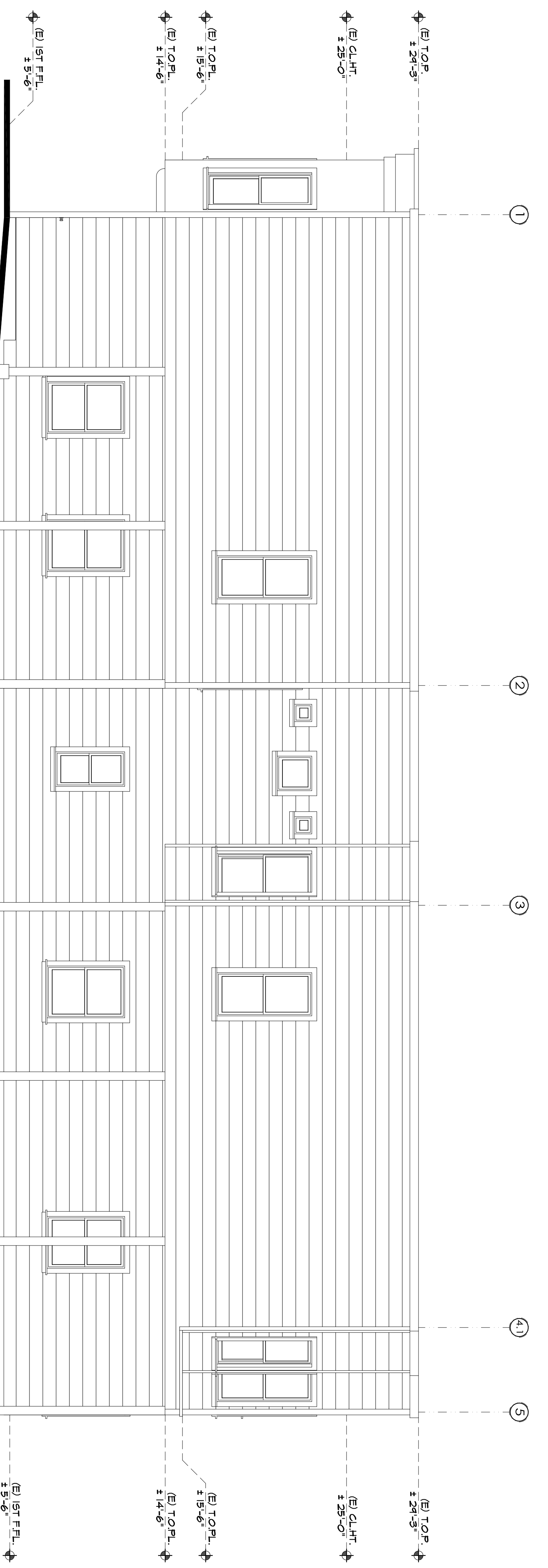
ROMERO & ROMEROS ARCHITECTS
DESIGNERS GROUP

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PHONE: (415) 931-2631
E-MAIL ADDRESS:
RRDESIGNERSGROUP@HOTMAIL.COM

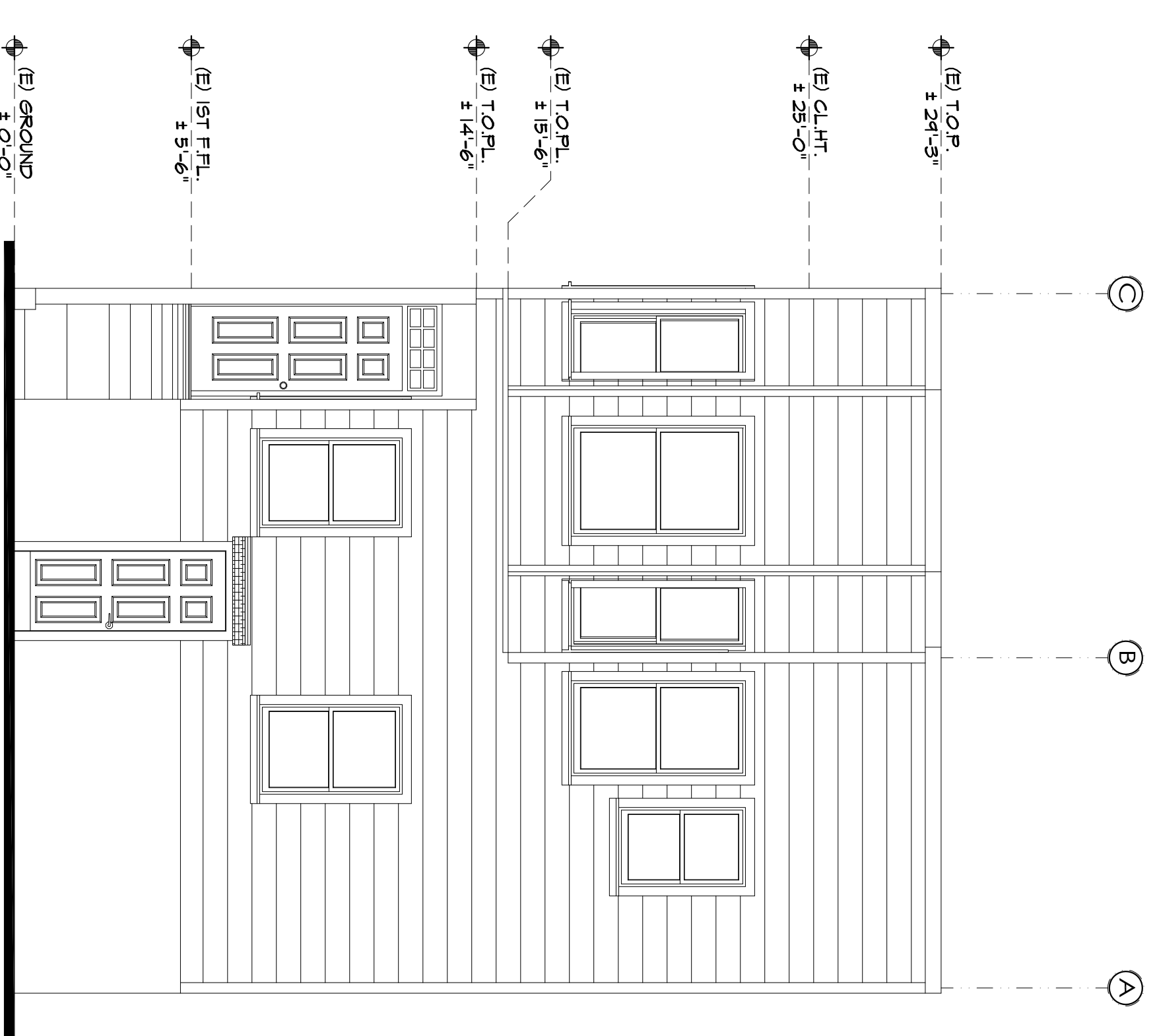
DESIGN BY:
JAIME R. ROMERO



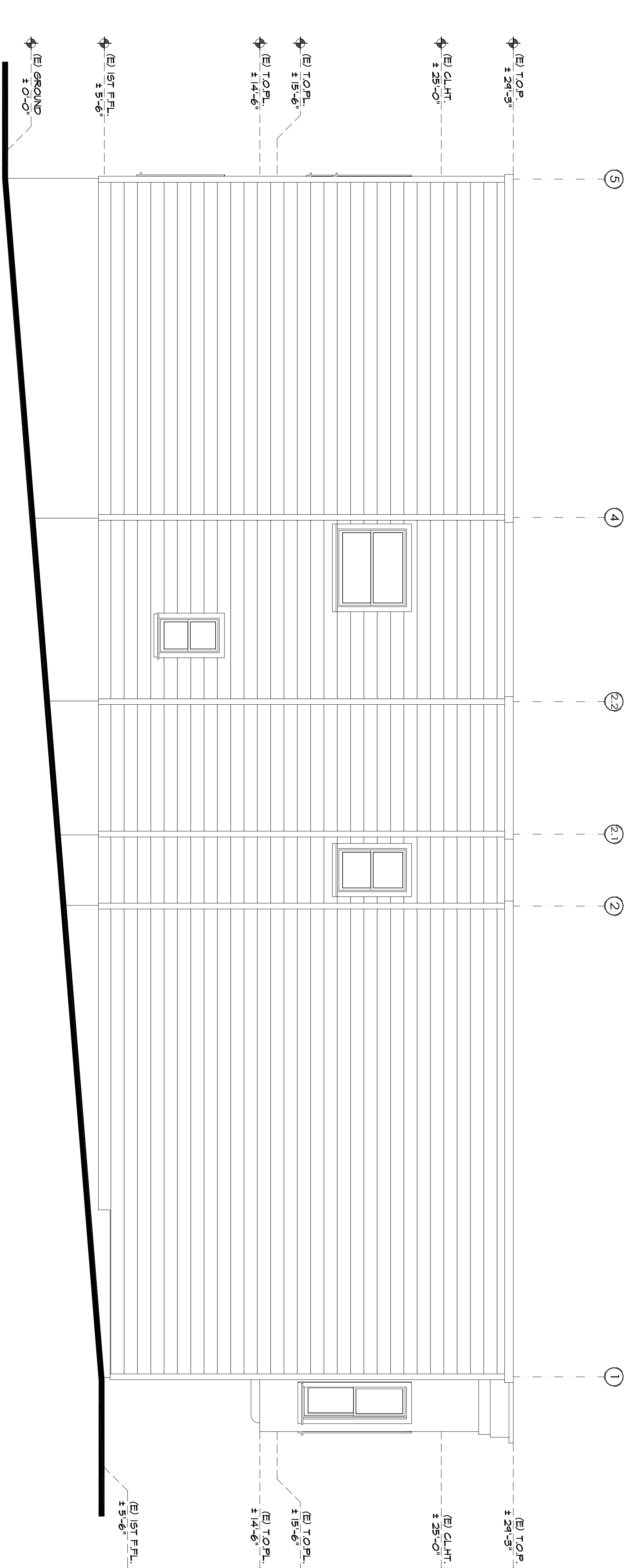
A (E) SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



B (E) EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



C (E) NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



D (E) WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

SHEET NAME:

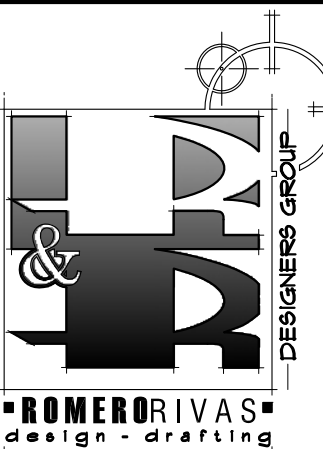
(E) EXTERIOR ELEVATIONS

APN: 3598 - 046

ZONING: RH-3

PROJECT: CUSTOM REMODELING
JONATHAN SCHWARTZ

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PHONE: (650) 931-2631
E-MAIL ADDRESS:
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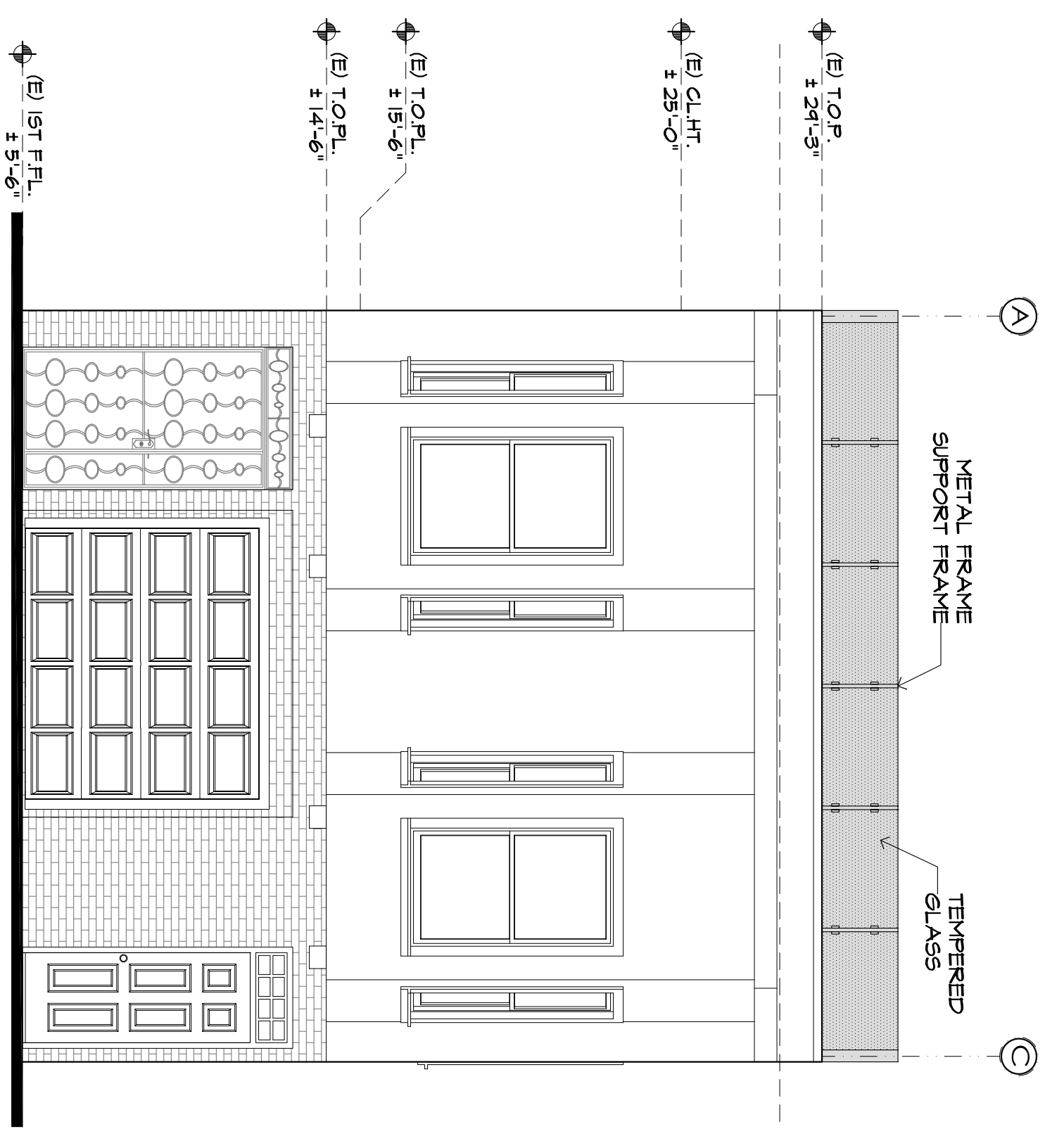
DESIGN BY:
JAIME R. ROMERO

REVISIONS BY

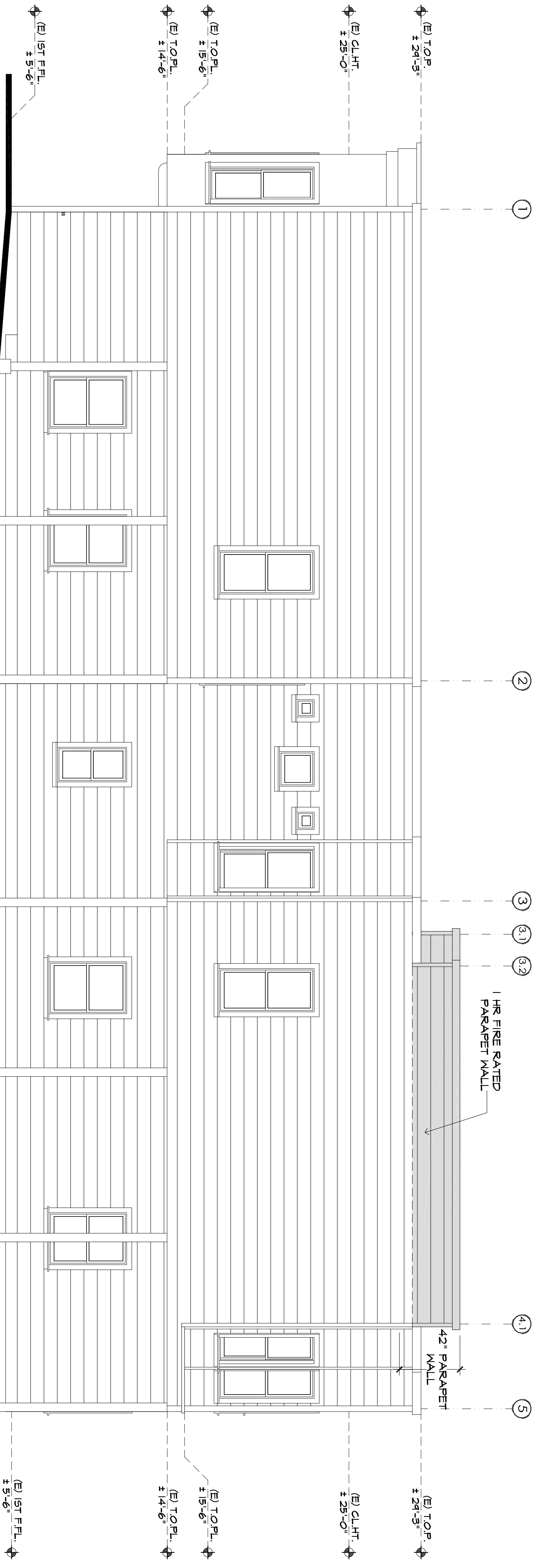
CAD DRAIN BY: JR-AR
CHECKED BY: JR
SCALE: AS INDICATED
DATE: DECEMBER-20-2010
JOB No.: 2K101014

SHEET No.:

A-2



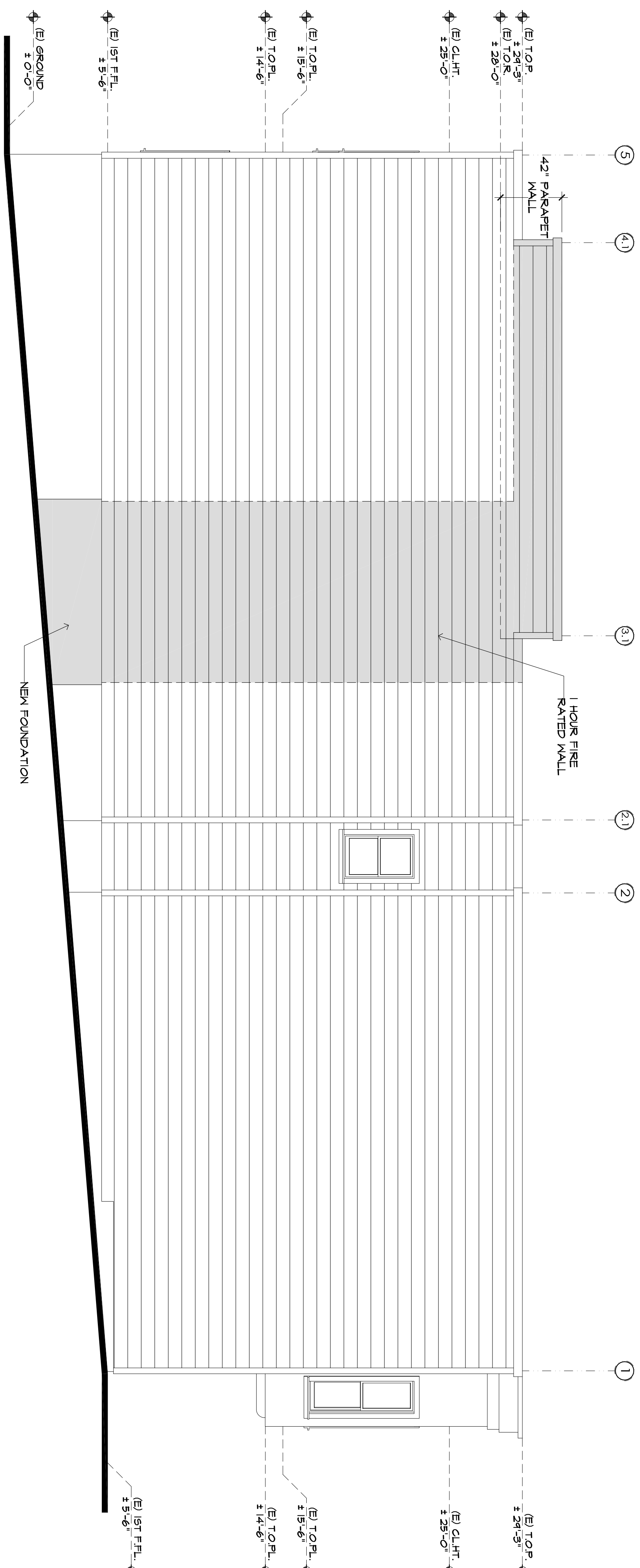
A (N) SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



B (N) EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



C (N) NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



D (N) WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

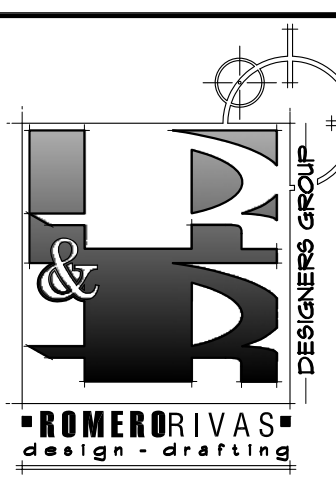
SHEET NAME:
(N) EXTERIOR ELEVATIONS

APN: 3598 - 046

ZONING: RH-3

PROJECT: CUSTOM REMODELING
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E-MAIL ADDRESS:
RRDESIGNERSGROUP@HOTMAIL.COM

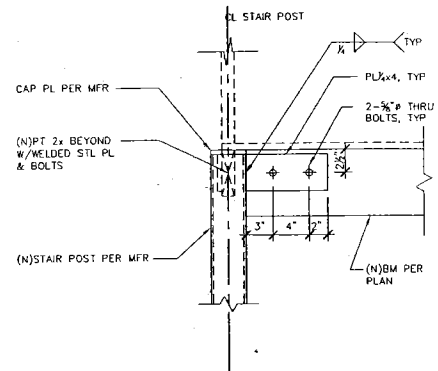
DESIGN BY:
JAIME R ROMERO

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CHECKED BY: JR
SCALE: AS INDICATED
DATE: DECEMBER-20-2010
JOB No.: 2K10/014

SHEET No.:

A-4



10 SPIRAL STAIR CENTER POST TOP CONN $1/2"=1'-0"$

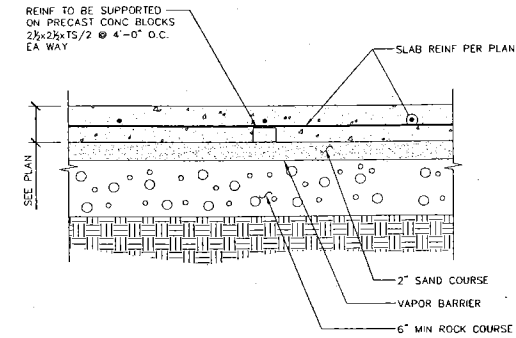
CONCRETE STRENGTH		$f_c = 3000$ PSI			
CLASS OF LAP SPLICE		CLASS "A"		CLASS "B"	
BAR SIZE	CASE	TOP BARS	OTHER BARS	TOP BARS	OTHER BARS
#3		1'-10"	1'-5"	2'-4"	1'-10"
#4		2'-5"	1'-10"	3'-1"	2'-5"
#5		3'-0"	2'-4"	3'-11"	3'-0"
#6		3'-7"	2'-9"	4'-8"	3'-5"
#7		5'-3"	4'-0"	6'-9"	5'-2"
#8		6'-0"	4'-7"	7'-9"	6'-0"
#9		6'-9"	5'-2"	8'-9"	6'-9"
#10		7'-7"	5'-10"	9'-10"	7'-7"
#11		8'-5"	6'-6"	10'-11"	8'-5"

- NOTES:
- UNLESS INDICATED OTHERWISE, USE THE CLASS "B" LAP SPLICE LENGTHS, MULTIPLIED BY THE APPLICABLE FACTOR(S) LISTED BELOW.
 - WHERE THE CLEAR SPACING OF BARS BEING SPLICED IS LESS THAN 2 BAR DIAMETERS, INCREASE THE LAP LENGTH BY 50%.
 - WHERE THE BAR COVER IS LESS THAN OR EQUAL TO THE BAR DIAMETER, INCREASE THE LAP LENGTH BY 50%.
 - A CLASS "A" SPLICE MAY BE USED ONLY WHERE NOTED ON THE DRAWINGS, WHERE DEVELOPMENT LENGTH (LD) IS REQUIRED OR CALLED OUT ON THE DRAWINGS, USE CLASS "A" LAP SPLICE LENGTH.
 - TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12 INCHES OF CONCRETE CAST BELOW THE BARS.

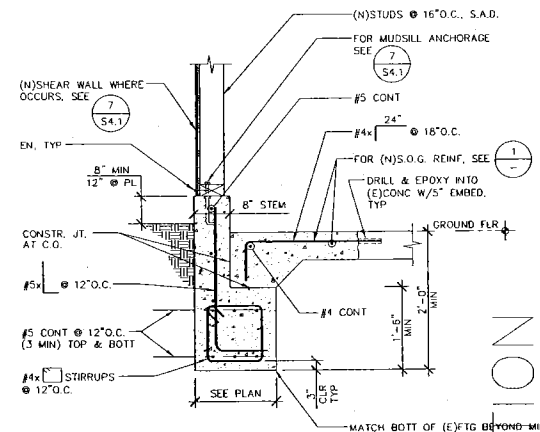
7 REBAR OFFSET AND LAP SPLICE $3/4"=1'-0"$

BAR SIZE	MAIN REINFORCEMENT		STIRRUPS & TIES		
	90° HOOK LENGTH "L"	INSIDE DIA. "D1"	180° HOOK LENGTH "L"	90° HOOK LENGTH "L"	INSIDE DIA. "D2"
#3	4 1/2"	2 1/4"	2 1/2"	3"	1 1/2"
#4	6"	3"	2 1/2"	3"	2"
#5	7 1/2"	3 3/4"	2 1/2"	3 3/4"	2 1/2"
#6	9"	4 1/2"	3"	9"	4 1/2"
#7	10 1/2"	5 1/4"	3 1/2"	10 1/2"	5 1/4"
#8	1'-0"	6"	4"	1'-0"	6"
#9	1'-1/2"	9 1/2"	4 1/2"	-	-
#10	1'-3 1/4"	10 3/4"	5 1/4"	-	-
#11	1'-5"	1'-0"	5 3/4"	-	-

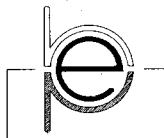
4 STANDARD HOOKS $3/4"=1'-0"$



1 TYPICAL SLAB-ON-GRADE DETAIL $3/4"=1'-0"$



2 (N)EXTERIOR WALL FOOTING DETAIL $3/4"=1'-0"$



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PROJECT
ROOF DECK/
INTERIOR REMODEL
10 CUMBERLAND ST
SAN FRANCISCO, CA
94110

PROJECT No.
11-024

TYPICAL CONCRETE DETAILS

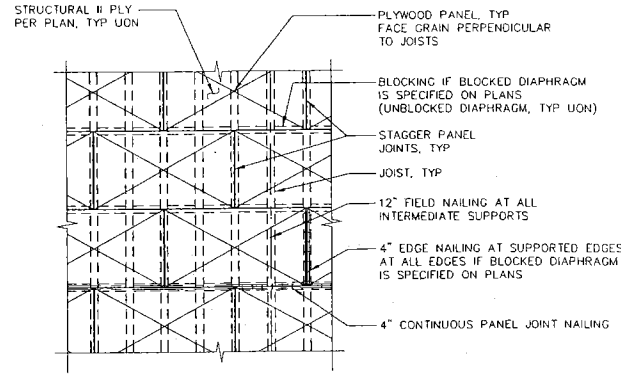
MILESTONES

SHEET

S3.1

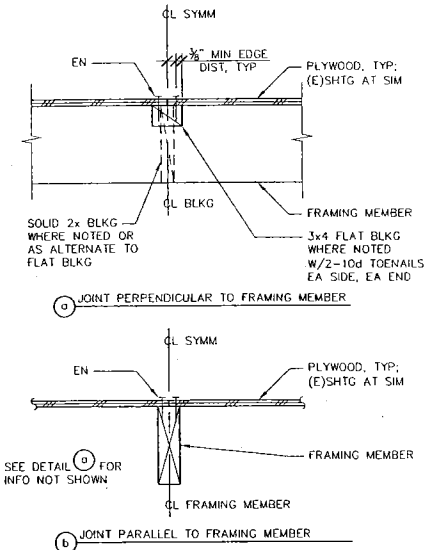
SHEET 3 OF 5

NOT FOR CONSTRUCTION

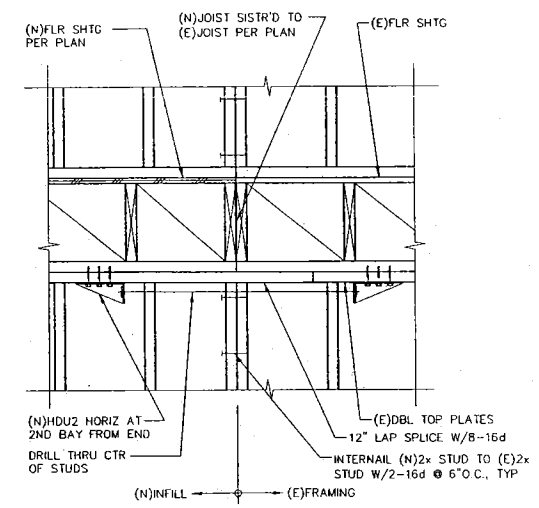


- NOTES:
1. SEE PLANS AND GENERAL NOTES FOR MORE INFORMATION
 2. PLYWOOD = WOOD STRUCTURAL PANEL
 3. USE 10d NAILS
 4. BOUNDARY EDGE NAIL SPACING = 4"

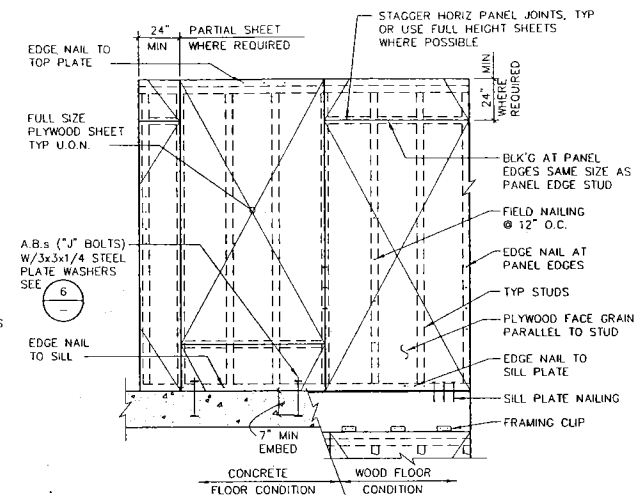
10 TYPICAL PLYWOOD SHEATHING AT ROOF AND FLOORS



11 PLYWOOD NAILING

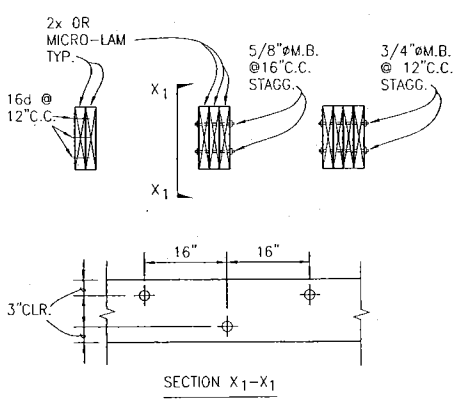


12 WALL ELEVATION DETAIL

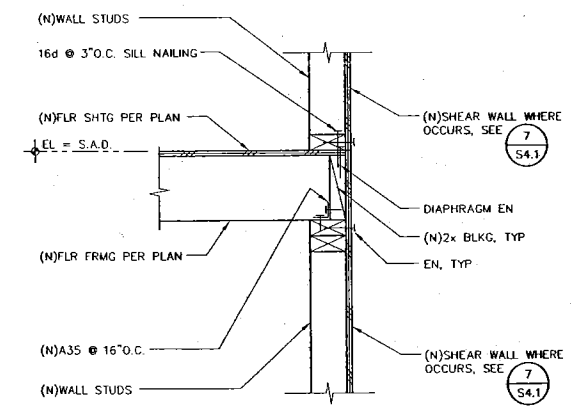


- NOTES:
1. PLYWOOD SHALL BE NAILED DIRECTLY TO FRAMING
 2. STAGGER SHEETS SO THAT EDGES OCCUR AT DIFFERENT STUDS WHEN PLYWOOD IS APPLIED TO BOTH FACES
 3. DO NOT OVER SHOOT NAILS THRU OUTER LAYER OF WALL PLYWOOD
 4. NAILING TO P.T. SILL TO BE GALVANIZED
 5. PLYWOOD = WOOD STRUCTURAL PANEL
 6. EDGE NAILING SPACING SHALL BE 4\"/>

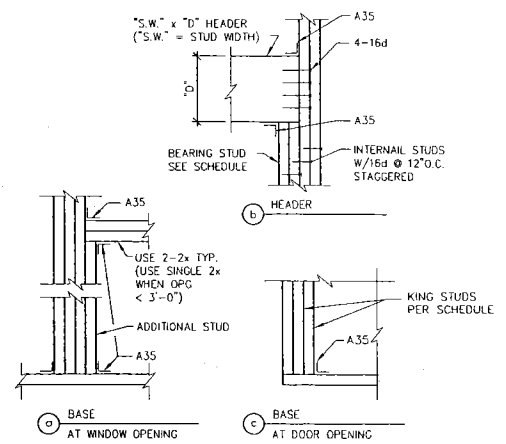
7 SHEAR WALL FRAMING ELEVATION



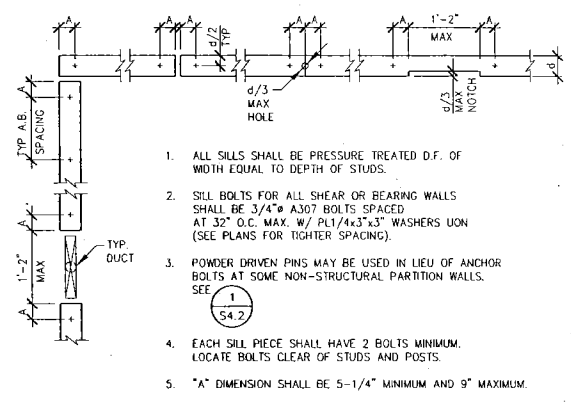
8 TYPICAL JOIST SISTERING DETAIL



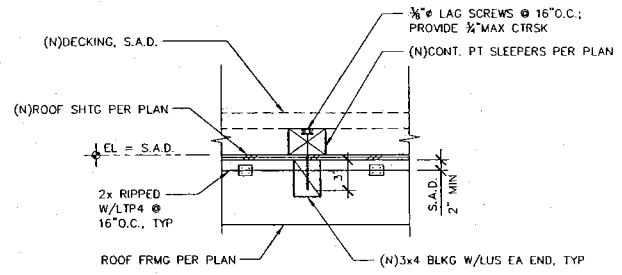
9 EXTERIOR SHEAR WALL PERPENDICULAR TO FRAMING



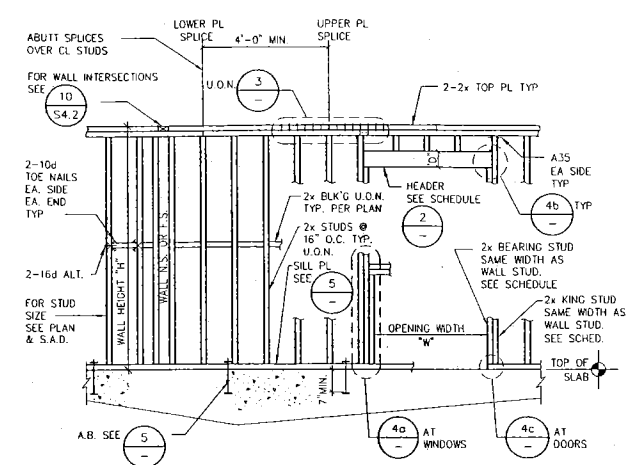
4 WALL OPENING



5 ANCHOR BOLT AND SILL PLATE



6 (N)SLEEPERS AT ROOF DECK PERPENDICULAR TO FRAMING

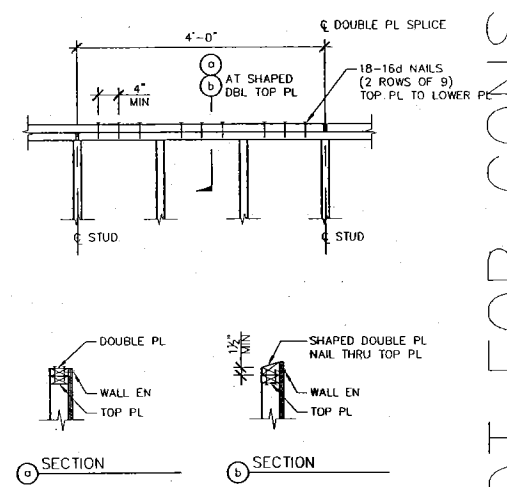


1 STRUCTURAL WALL FRAMING

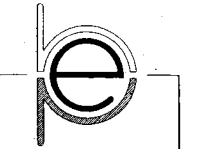
OPENING WIDTH \"W\" MIN	\"D\" UON	NO. OF BEARING STUDS REQ'D	NO. OF KING STUDS REQ'D
W < 5'-0"	7 1/4"	1	1
5'-0" < W < 7'-0"	9 1/4"	2	2
7'-0" < W < 10'-0"	11 1/4"	2	3
> 10'-0"	SEE PLANS	3 (OR SINGLE 4x)	3

- NOTES:
1. SIZE DOOR AND WINDOW HEADERS PER ABOVE SCHEDULE UON ON PLANS.
 2. AT HD, USE POST PER PLAN IN LIEU OF KING STUDS. ADD KING STUD TO HD POST IF REQUIRED SO THAT WIDTH OF STUD & POST IS AT LEAST THE WIDTH OF KING STUDS REQUIRED PER SCHEDULE.

2 HEADER SCHEDULE



3 TYPICAL DOUBLE TOP PLATE SPLICE



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PROJECT No.
11-024

TYPICAL WOOD DETAILS

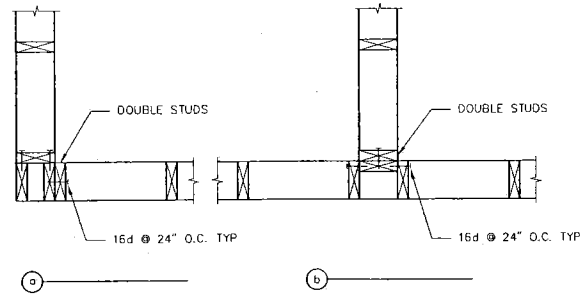
NOT FOR CONSTRUCTION

MILESTONES

SHEET

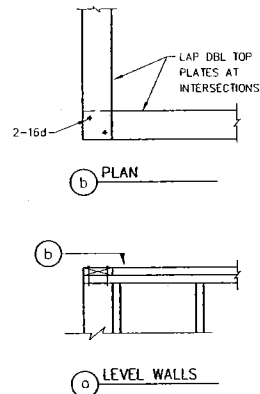
S4.1

SHEET 4 OF 5

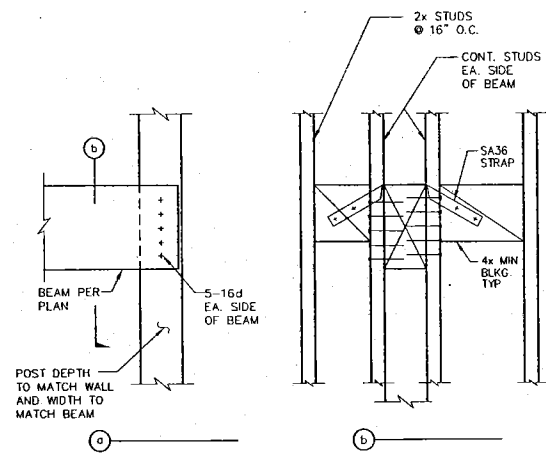


NOTES:
1. THIS DETAIL APPLIES TO BOTH BEARING AND NON-BEARING WALLS.

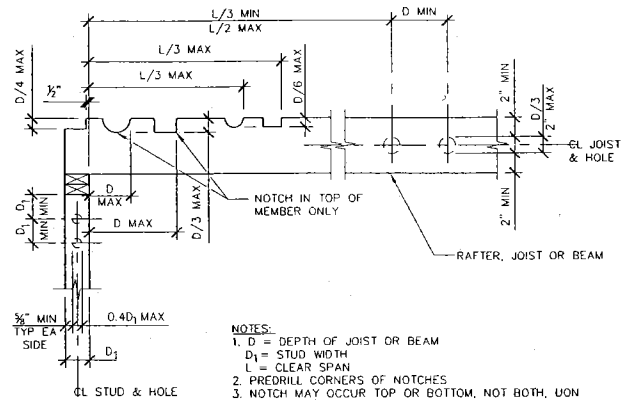
10 NON-SHEAR WALL INTERSECTIONS



11 TYPICAL TOP PLATE INTERSECTION

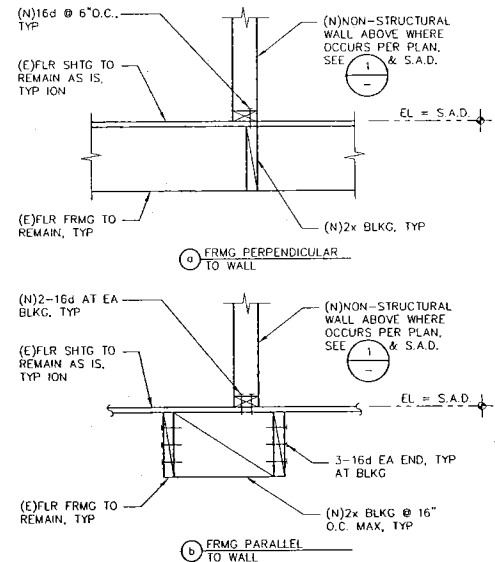


12 BEAM CONNECTION AT STUD WALL

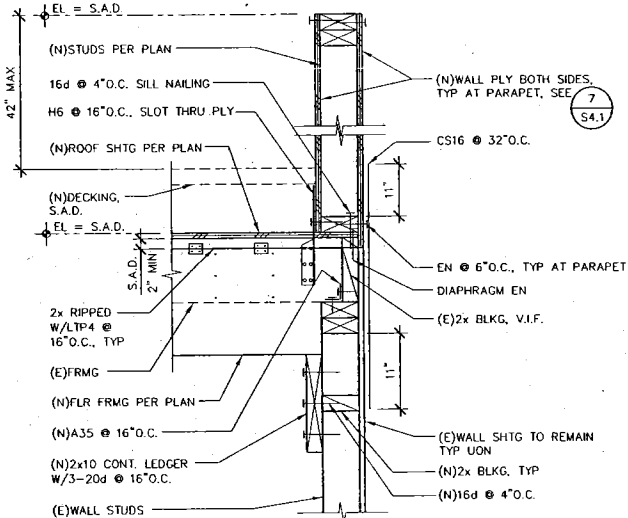


NOTES:
1. D = DEPTH OF JOIST OR BEAM
D₁ = STUD WIDTH
L = CLEAR SPAN
2. PREDRILL CORNERS OF NOTCHES
3. NOTCH MAY OCCUR TOP OR BOTTOM, NOT BOTH, UON

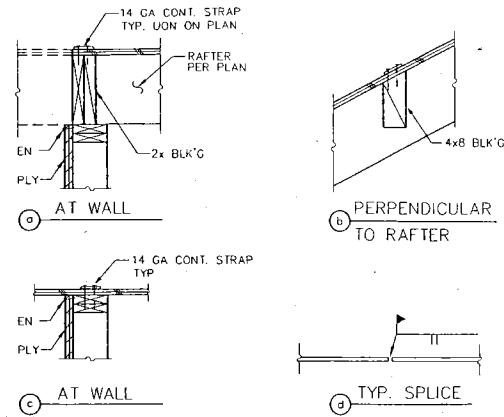
7 HOLES AND NOTCHING IN FRAMING MEMBERS



8 NON-STRUCTURAL WALL ANCHORAGE AT FLOOR

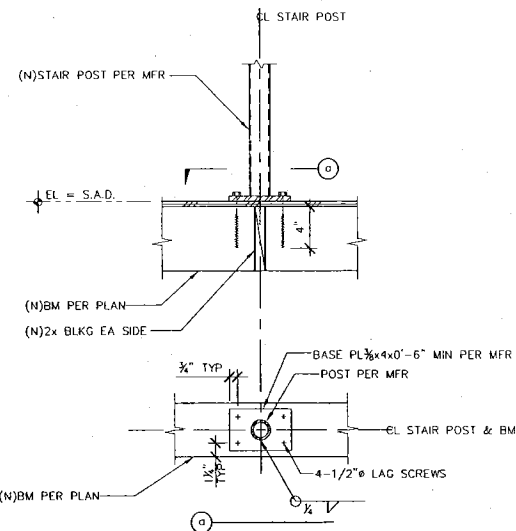


9 (N)PARAPET PERPENDICULAR TO ROOF FRAMING

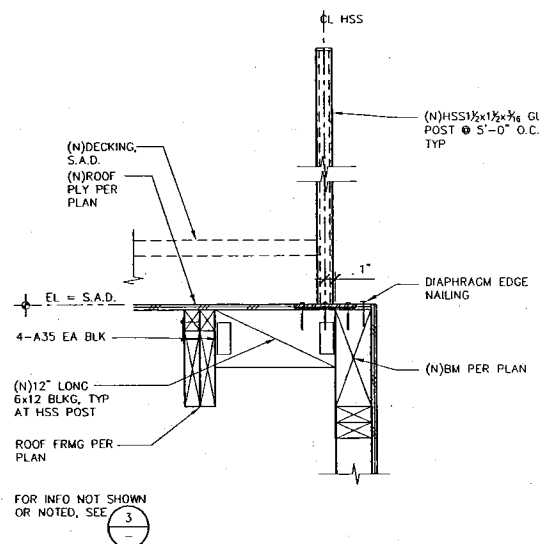


NOTES:
1. --- DENOTES A CONTINUOUS FLOOR OR ROOF DRAG STRAP. SEE FRAMING PLANS FOR STRAP LOCATIONS.
2. USE 14GAx3\"/>

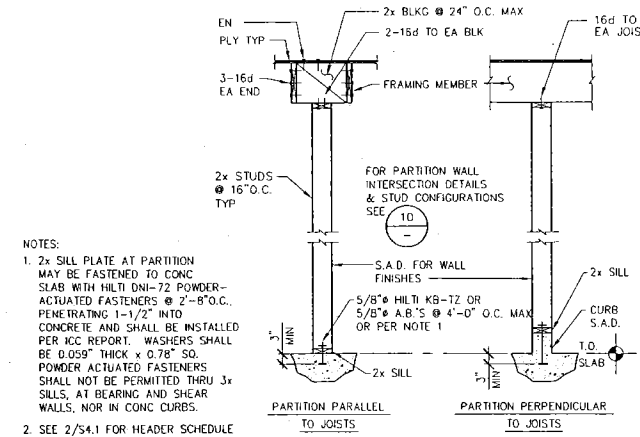
4 FLOOR AND ROOF DRAG STRAPS



5 SPIRAL STAIR POST AT BEAM

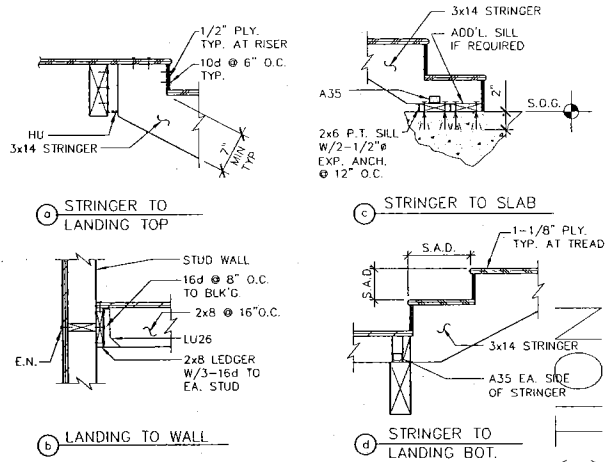


6 GUARDRAIL PARALLEL TO FRAMING

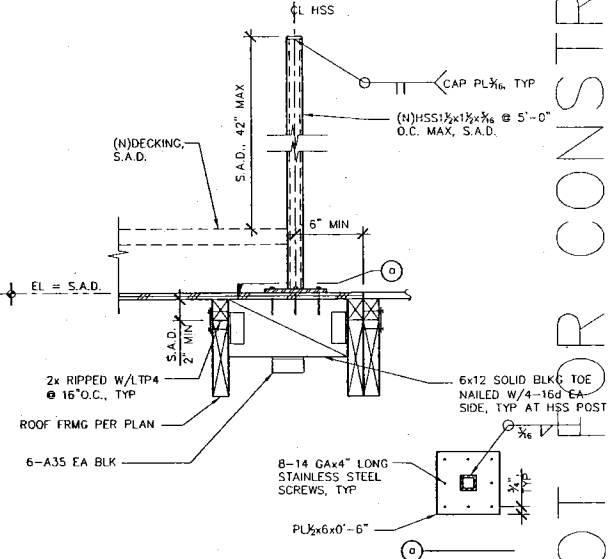


NOTES:
1. 2x SILL PLATE AT PARTITION MAY BE FASTENED TO CONC SLAB WITH HILTI DNI-72 POWDER-ACTUATED FASTENERS @ 2\"/>

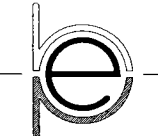
1 NON-STRUCTURAL PARTITION



2 STAIR DETAILS



3 GUARDRAIL POST DETAIL



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WOOD DETAILS

MILESTONES

SHEET

S4.2

SHEET 5 OF 5

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