



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JANUARY 12, 2012

Date: January 5, 2012
Case No.: **2011.0951 C**
Project Address: **371-375 11th Street**
Zoning: SLR (Service/Light-Industrial/Residential Mixed Use) Zoning District
Western SoMa Planning Area Special Use District
50-X Height and Bulk District
Block/Lot: 3520/021 & 023
Project Sponsor: Jason Anderson
275 8th Street
San Francisco, CA 94103
Staff Contact: Brittany Bendix – (415) 575-9114
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Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The Project Sponsor is seeking a Conditional Use authorization to expand an existing nighttime entertainment use (d.b.a. DNA Lounge). The proposed expansion will create interior connections between the two adjacent buildings on Lots 021 and 023. The floor area of the DNA Lounge will increase from 8,001 square feet to 11,985 square-feet; however, it will not result in the expansion of the existing buildings' envelopes or square-footage. The existing full-service restaurant use will be maintained in the ground floor unit of Lot 023 and the DNA Lounge will continue to offer meal services as part of the activities on-site. The interior connections are intended to better accommodate patrons that would alternatively queue on the sidewalk and to provide an improved flow between the restaurant and entertainment venue. The Project Sponsor is also seeking a variance from Planning Code Section 152.1 for one required off-street freight loading space.

SITE DESCRIPTION AND PRESENT USE

The project is located on the eastern side of 11th Street, between Folsom and Harrison Streets, Lots 021 and 023 of Assessor's Block 3520. The subject property is located within an SLR (Service/Light-Industrial/Mixed Use) Zoning District, the Western SoMa Planning Area Special Use District, and a 50-X Height and Bulk District. The larger, 5,000-square-foot parcel, Lot 021, is developed with a two story commercial building that covers the entire lot. The existing use at this site is a nighttime entertainment operation (d.b.a. DNA Lounge) and has a total floor area of approximately 8,001 square-feet. The smaller, 2,500 square-foot parcel, Lot 023, is also fully developed with a two story commercial building. The ground floor unit is occupied by a full-service restaurant (d.b.a. DNA Pizza) and has a total floor area of 2,003-square-feet. The second story unit, a former art gallery, has a total floor area of 1,981-square-feet and is currently vacant.

Lots 021 and 023 adjoin and are under the same ownership; therefore, pursuant to Planning Code Section 102.14, for the purposes of implementing the Code, they can be considered one developable lot, or project site. Additionally, there is an active subdivision application, Case No. 2011.12435, to merge the two parcels into one.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is situated on the eastern side of the 300 block of 11th Street, and is closest to the Harrison Street intersection. Directly north of the project site is an automotive repair shop (d.b.a. Discount Muffler and Brake), followed by a full-service restaurant (d.b.a. Bar Agricole). Directly south of the project site is a light-industrial use (d.b.a. Glass Block Designs), followed by a four-story mixed use building, with a tattoo parlor on the ground floor (d.b.a. Lefty's Tattoo) and live/work units above. The western side of 11th Street, as well as the broader area, is similarly defined by a mixture of light-industrial, entertainment, professional service, retail and residential uses. The larger neighborhood is characterized by the SLR (Service/Light-Industrial/Residential Mixed Use) and SLI (Service/Light-Industrial) zoning districts.

The site is well served by local and regional public transit. The following transit lines have stops within a half-mile of the project site: all MUNI light-rail lines via the Van Ness Station; the 6-Parnassus, 9-San Bruno, 12-Folsom, 19-Polk, 27-Bryant, 47-Van Ness, 49-Van Ness-Mission, 71-Haight-Noriega and 76-Marin Headlands MUNI bus routes; and connections to regional bus lines such as, Golden Gate Transit and SamTrans.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	December 23, 2011	December 21, 2011	22 days
Posted Notice	20 days	December 23, 2011	December 23, 2011	20 days
Mailed Notice	20 days	December 23, 2011	December 23, 2011	20 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the conditional use authorization process.

PUBLIC COMMENT

- To date, the Department has received five letters regarding this project, one from Jim Meko, Chair of the SoMa Leadership Council, and four from neighbors. All letters have indicated that the DNA Lounge is respectful of neighbors and that the expansion of the venue is a welcomed change in the neighborhood. The Department has not received any opposition to the project.

ISSUES AND OTHER CONSIDERATIONS

- The proposal is to expand an existing nighttime entertainment use. Although the use is non-conforming to the controls for an SLR zoning district, expansion is permitted so long as the use is code compliant and that the operation of the use meets the Good Neighbor policies established in Planning Code Section 805.3(b).
- The proposed changes are interior only and do not result in an expansion of the existing building envelope or square footage.
- Concerns about an increase in noise levels were raised by neighbors at a pre-application meeting held by the Project Sponsor. Although Department Staff has not received contact from the public regarding these concerns, the Project Sponsor conducted a voluntary sound test which demonstrates that “the DNA Lounge operates close to the average of the ambient noise level of the immediate neighborhood (65-70 db); (and) maintains noise levels well below that which is allowed by the San Francisco Noise Ordinance (8 db above ambient).” The test is included in this report as an attachment.

VARIANCE

The Project Sponsor is seeking a loading space variance, which will be considered by the Zoning Administrator. Although the proposal does not include any physical expansion of the existing building envelopes or floor areas, Planning Code Section 152.1 requires one off-street freight loading space for an entertainment use that has a floor area greater than 10,000 square-feet. The expansion of the entertainment use into the adjacent building will result in a total floor area of 11,985. The Project Sponsor has indicated that the conditions for loading and deliveries are not anticipated to change because the proposed alterations are interior only, and there is already an operational association between the site’s existing uses.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use authorization to allow the expansion of a nighttime entertainment use within the SLR (Service/Light-Industrial/Residential Mixed Use) Zoning District, pursuant to Planning Code Sections 181(f) and 803.5(b).

BASIS FOR RECOMMENDATION

- The existing nighttime entertainment use has adhered to, and will continue to adhere to the Good Neighbor policies of Planning Code Section 803.5(b) and meets all applicable requirements of the Planning Code.
- The expansion of the entertainment venue will enable the current business to expand and diversify its current programming while opening additional performance space to both emerging and renowned talent.
- The expansion will also serve to foster the continued success of other arts and entertainment establishments clustered in this area.
- The District is well served by transit, therefore customers and employees should not impact traffic.
- The business would serve the immediate neighborhood and is not a Formula Retail use.
- The proposed Project meets all applicable requirements of the Planning Code.
- The project is desirable for, and compatible with the surrounding neighborhood.

RECOMMENDATION: Approval with Conditions
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Attachments:

- Parcel Map
- Sanborn Map
- Aerial Photographs
- Zoning Map
- Draft Motion
- CEQA Categorical Exemption Determination
- Voluntary Sound Test
- Public Correspondence

Attachment Checklist

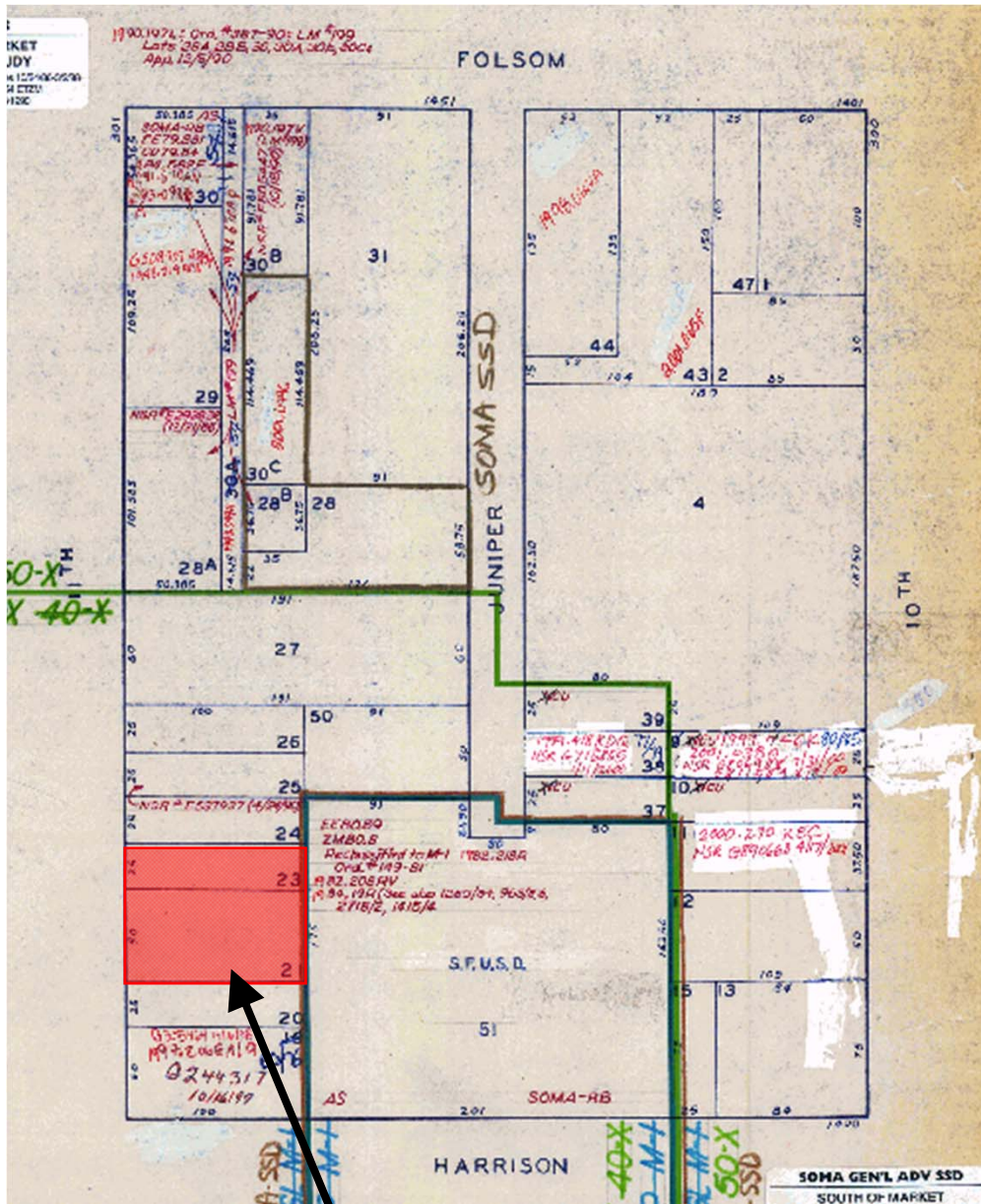
- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Community Meeting Notice |
| <input type="checkbox"/> Context Photos | <input type="checkbox"/> Inclusionary Affordable Housing Program:
Affidavit for Compliance |
| <input type="checkbox"/> Site Photos | |

Exhibits above marked with an "X" are included in this packet

Planner's Initials

BB: G:\DOCUMENTS\Conditional Use\371-375 11th Street\ExecutiveSummary.doc

Parcel Map

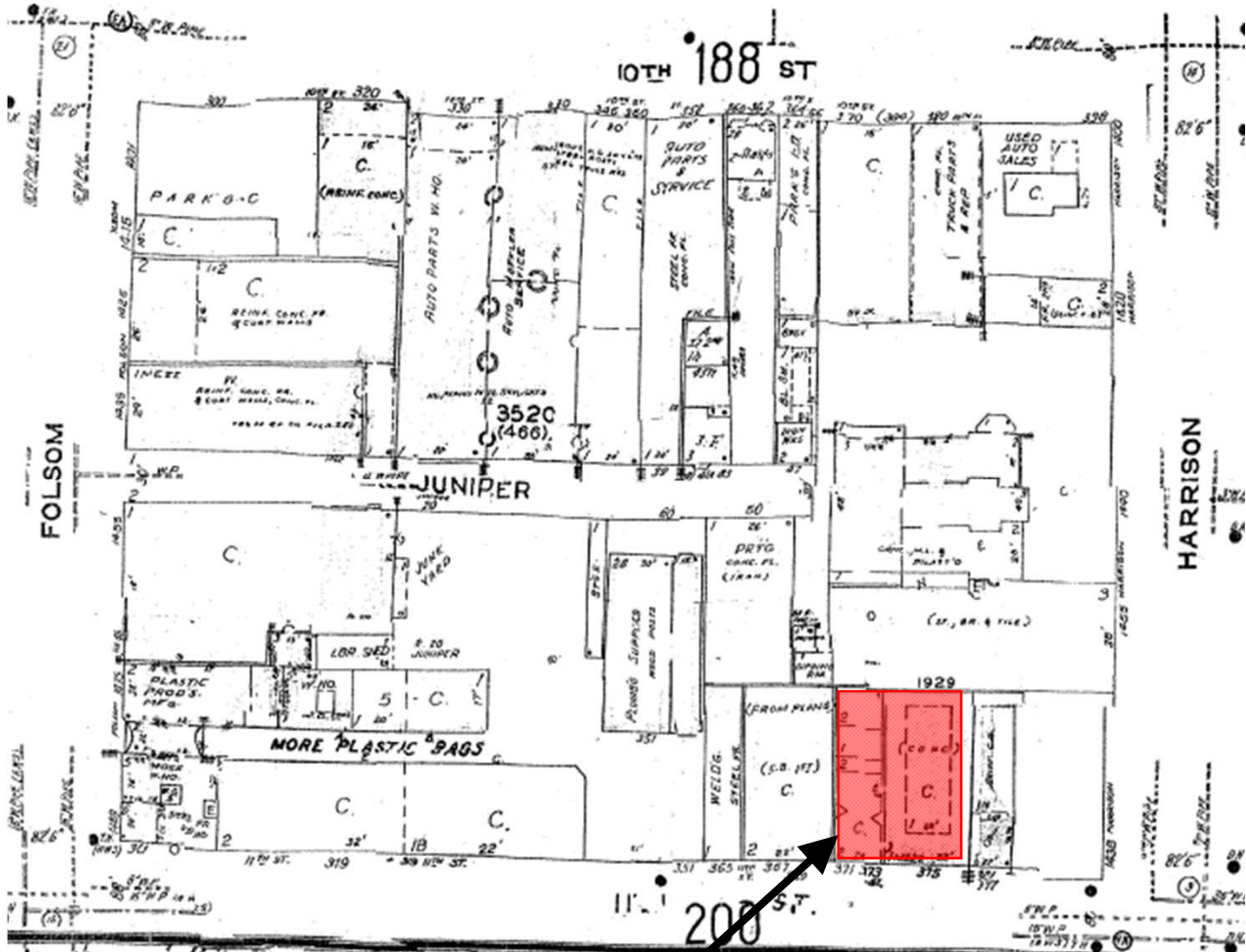


SUBJECT PROPERTIES



Conditional Use Authorization
 Case Number 2011.0951C
 DNA Lounge
 371-375 11th Street

Sanborn Map*

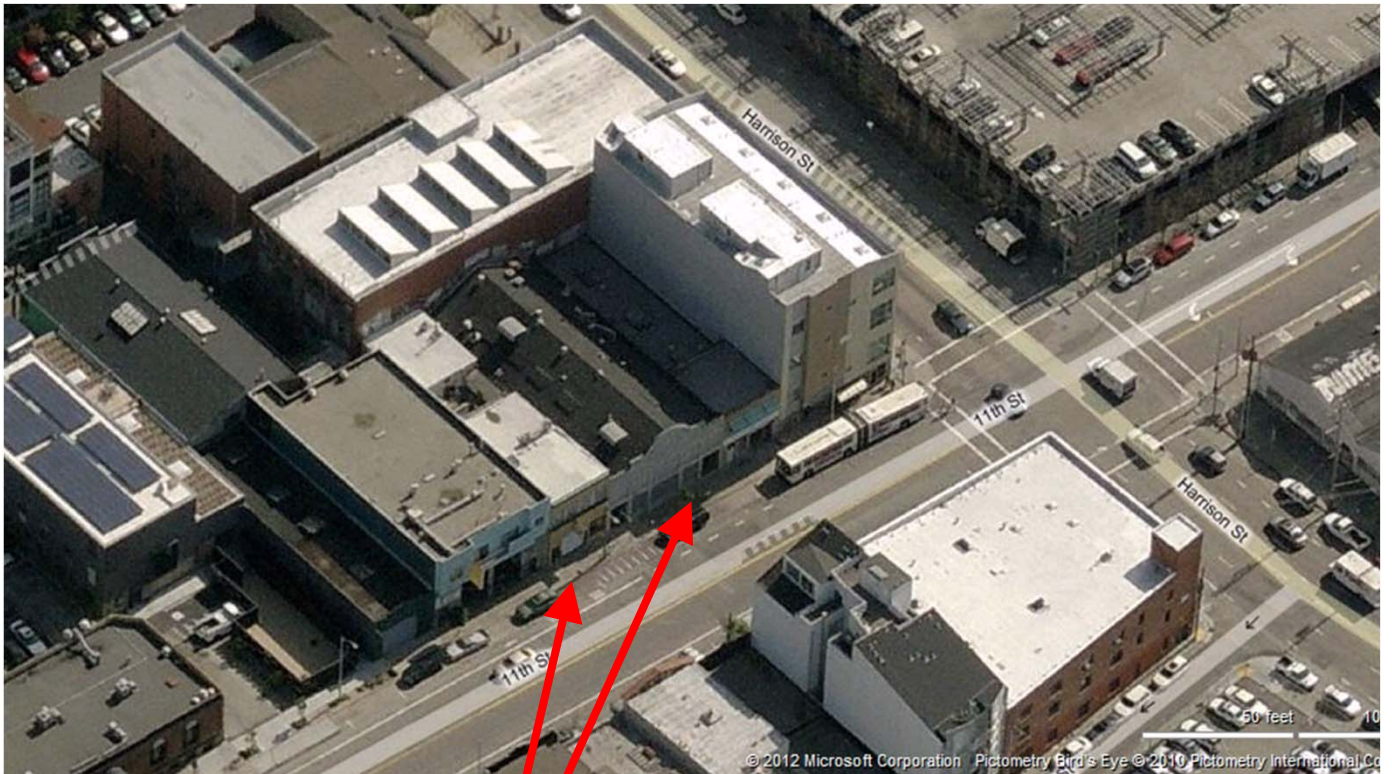


SUBJECT PROPERTIES



Conditional Use Authorization
Case Number 2011.0951C
DNA Lounge
371-375 11th Street

Aerial Photo



**SUBJECT
PROPERTIES**



Conditional Use Authorization
Case Number 2011.0951C
DNA Lounge
371-375 11th Street

Zoning Map



SUBJECT PROPERTIES



Conditional Use Authorization
Case Number 2011.0951C
DNA Lounge
371-375 11th Street

Site Photo



DNA PIZZA
371 11th STREET

DNA LOUNGE
375 11th STREET



Conditional Use Authorization
Case Number 2011.0951C
DNA Lounge
371-375 11th Street



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Other |

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Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 181(f), 303 AND 803.7 OF THE PLANNING CODE TO EXPAND THE EXISTING NIGHTTIME ENTERTAINMENT USE (D.B.A. DNA LOUNGE) WITHIN AN SLR (SERVICE/LIGHT-INDUSTRIAL/RESIDENTIAL MIXED USE) ZONING DISTRICT, THE WESTERN SOMA PLANNING AREA SPECIAL USE DISTRICT AND A 50-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On September 22, 2011, Jason Anderson (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Section(s) 181(f), 303 and 803.7 to expand the existing nighttime entertainment use (d.b.a. DNA Lounge) within an SLR (Service/Light-Industrial/Residential Mixed Use) Zoning District, the Western SoMa Planning Area Special Use District and a 50-X Height and Bulk District.

On January 12, 2012, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2011.0951C.

On August 31, 2011, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 1 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2011.0951 C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the eastern side of 11th Street, between Folsom and Harrison Streets, Lots 021 and 023 of Assessor's Block 3520. The subject property is located within an SLR (Service/Light-Industrial/Mixed Use) Zoning District, the Western SoMa Planning Area Special Use District, and a 50-X Height and Bulk District. The larger, 5,000-square-foot parcel, Lot 021, is developed with a two story commercial building that covers the entire lot. The existing use at this site is a nighttime entertainment operation (d.b.a. DNA Lounge) and has a total floor area of approximately 8,001-square-feet. The smaller, 2,500-square-foot parcel, Lot 023, is also fully developed with a two story commercial building. The ground floor unit is occupied by a full-service restaurant (d.b.a. DNA Pizza) and has a total floor area of 2,003-square-feet. The second story unit, a former art gallery, has a total floor area of 1,981-square-feet and is currently vacant.

Lots 021 and 023 adjoin and are under the same ownership; therefore, pursuant to Planning Code Section 102.14, for the purposes of implementing the Code, they can be considered one developable lot, or project site. Additionally, there is an active subdivision application to merge the two parcels into one.

3. **Surrounding Properties and Neighborhood.** The project site is situated on the eastern side of the 300 block of 11th Street, and is closest to the Harrison Street intersection. Directly north of the project site is an automotive repair shop (d.b.a. Discount Muffler and Brake), followed by a full service restaurant (d.b.a. Bar Agricole). Directly south of the project site is a light-industrial use (d.b.a. Glass Block Designs), followed by a four-story mixed use building, with a tattoo parlor on the ground floor (d.b.a. Lefty's Tattoo) and live/work units above. The western side of 11th Street, as well as the broader area, is similarly defined by a mixture of light-industrial, entertainment, professional service, retail and residential uses. The larger neighborhood is characterized by the

SLR (Service/Light-Industrial/Residential Mixed Use) and SLI (Service/Light-Industrial) zoning districts.

The site is well served by local and regional public transit. The following transit lines have stops within a half-mile of the project site: all MUNI light-rail lines via the Van Ness Station; the 6-Parnassus, 9-San Bruno, 12-Folsom, 19-Polk, 27-Bryant, 47-Van Ness, 49 Van Ness-Mission, 71 Haight-Noriega and 76 Marin Headlands MUNI bus routes; and connections to regional bus lines such as, Golden Gate Transit and SamTrans.

4. **Project Description.** The Project Sponsor is seeking a Conditional Use authorization to expand an existing nighttime entertainment use (d.b.a. DNA Lounge). The proposed expansion will create interior connections between the two adjacent buildings on Lots 021 and 023. The floor area of the DNA Lounge will increase from 8,001 square feet to 11,985 square-feet; however, it will not result in the expansion of the existing buildings' envelopes or square-footage. The existing full-service restaurant use will be maintained in the ground floor unit of Lot 023 and the DNA Lounge will continue to offer meal services as part of the activities on-site. The interior connections are intended to better accommodate patrons that would alternatively queue on the sidewalk and to provide an improved flow between the restaurant and entertainment venue.
5. **Public Comment.** The Department has received five letters regarding this project. All have indicated complete support for the expansion of the nighttime entertainment use and indicate that the DNA Lounge has a history within the immediate community as a respectful neighbor.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Neighborhood Notification.** Pursuant to Planning Code Section 803.7, expansion of an entertainment use within the Western SoMa Planning Area Special Use District requires Section 312 neighborhood notification to all owners and occupants within a 150-foot radius from the project site.

The project site is located within the Western SoMa Planning Area Special Use District. The project proposal includes the expansion of an entertainment use, as defined in Planning Code Section 890.37 and therefore, requires neighborhood notification. Section 312 notification was conducted in conjunction with the Conditional Use authorization notification.

- B. **Nighttime Entertainment Use.** Planning Code Section 181(f) allows for the expansion of an existing nighttime entertainment use within the SLR zoning district provided that: (1) the expansion is approved as a conditional use pursuant to Sections 303 and 316 of the Code; (2) the use as a whole meets the parking and signage requirements, floor area ratio limit, height and bulk limit, and all other requirements of this Code which would apply if the use were a permitted one; and (3) the provisions of Section 803.5(b) of this Code are satisfied.

(1) The project site is located in the SLR zoning district which does not permit the establishment of new nighttime entertainment uses. However, pursuant to Planning Code Section 181(f) an

existing nighttime entertainment use that is also within an SLR zoning district, may be enlarged so long as the criteria stated above are met and the applicant seeks Conditional Use authorization from the Planning Commission. The project site is located within an SLR zoning district. Accordingly, the Project Sponsor is requesting Conditional Use authorization to expand the existing nighttime entertainment use (d.b.a. DNA Lounge) into an adjacent property by means of interior connections on the first and second stories.

- (2) *The proposed use must be compliant with the requirements of the Planning Code as if it were permitted as a principal use within the SLR district. There are no existing, required or proposed off-street parking spaces for this site. Additionally, the proposal does not include any changes to the existing Code compliant signage. Finally, the two existing buildings that will become internally connected are compliant with the floor area, height, and bulk requirements of the Planning Code.*

Notwithstanding these aforementioned conformities, Planning Code Section 152.1 requires that a nighttime entertainment use with a floor area greater than 10,000 square-feet must provide one off-street freight loading space. The expansion of the DNA Lounge to a total of 11,985 square-feet requires one off-street freight loading space. However, to avoid unnecessary alterations to the existing facades that could compromise existing sound barriers, the Project Sponsor has chosen to not provide this space and seek a Variance. Furthermore, the proposal is only to rearrange the interior layout of existing entertainment, arts, and restaurant uses. The rebalancing of these uses, all under one ownership, are not anticipated to alter the loading/delivery needs of the existing tenants.

- (3) *Planning Code Section 803.5(b) establishes "Good Neighbor Policies" for Nighttime Entertainment Activities in South of Market Mixed Use Districts, which includes the SLR zoning district. As discussed in the findings below, this Motion asserts that the existing nighttime entertainment use has adhered to the Good Neighbor policies in the past, and will continue to do so through the conditions of this Motion as documented in Exhibit A.*

C. Good Neighbor Policies. Planning Code Section 803.5(b) establishes good neighbor policies for nighttime entertainment activities in the South of Market Mixed Use Districts. Such uses are not to be allowed except on conditions which, in the judgment of the City agency, board or commission, are reasonably calculated to insure that:

1. Notices shall be well-lit and prominently displayed at all entrances to and exits from the establishment urging patrons to leave the establishment and neighborhood in a quiet, peaceful, and orderly fashion and to please not litter or block driveways in the neighborhood; and
2. Employees of the establishment shall be posted at all the entrances and exits to the establishment during the period from 10:00 p.m. to such time past closing that all patrons have left the premises. These employees shall insure that patrons waiting to enter the establishment and those existing in the premises are urged to respect the quiet and cleanliness of the neighborhood as they walk to their parked vehicle or otherwise leave the area; and,

3. Employees of the establishment shall walk a 100-foot radius from the premises sometime between 30 minutes after closing time and 8:00 a.m. the following morning, and shall pick up and dispose of any discarded beverage containers and other trash left by area nighttime entertainment patrons; and,
4. Sufficient toilet facilities shall be made accessible to patrons within the premises, and toilet facilities shall be made accessible to prospective patrons who may be lined up waiting to enter the establishment; and,
5. The establishment shall provide outside lighting in a manner that would illuminate outside street and sidewalk areas and adjacent parking, as appropriate; and,
6. The establishment shall provide adequate parking for patrons free of charge or at a rate or manner that would encourage use of parking by establishment patrons. Adequate signage shall be well-lit and prominently displayed to advertise the availability and location of such parking resources for establishment patrons; and,
7. The establishment shall provide adequate ventilation within the structures such that doors and/or windows are not left open for such purposes resulting in noise emission from the premises; and,
8. Any indoor and/or outdoor activity allowed as a principal or conditional use and located within 100-feet of a residential or live/work unit shall, during the period from 10:00 p.m. to 6:00 a.m., insure that sound levels emanating from such activities do not exceed the acceptable noise levels established for residential uses by the San Francisco Noise Ordinance; and,
9. The establishment shall implement other conditions and/or management practices, including the prohibition of dancing to recorded music (disco dancing), as determined by the Zoning Administrator, in consultation with Police Department and other appropriate public agencies, to be necessary to insure that management and/or patrons of the establishments maintain the quiet, safety, and cleanliness of the premises and the vicinity of the use, and do not block driveways of neighboring residents or businesses.

The Conditions of Approval set forth in Exhibit A ensure that the Project Sponsor will continue to practice the Good Neighbor Policies as outlined above through ongoing compliance with the Planning Code. Additionally, failure to adhere to the Planning Code requirements may result in a revocation of the Conditional Use authorization. Parking is not included in the subject proposal, nor is it required by the Planning Code. Furthermore, the Entertainment Commission also refers to the City's Good Neighbor Policies when reviewing entertainment permits for related or special events.

- D. **Formula Retail Use.** Planning Code Section 803.6 requires Conditional Use authorization for Formula Retail uses within the Western SoMa Planning Area Special Use District.

The project site is within the Western SoMa Planning Area Special Use District; however, the DNA Lounge is not identified as a Formula Retail establishment as defined in Planning Code Section 803.6.

- E. **Off-Street Parking.** Planning Code Section 151.1 limits the amount of off-street parking allowed for a non-residential use within a South of Market Mixed Use District to off-street parking space for every 1,500 square feet of gross floor area.

The proposal does not include any off-street parking spaces. Although parking is not required by the Planning Code, the Project Sponsor intends to accommodate patrons by continuing to partner with local parking lots and garages.

- F. **Off-Street Freight Loading.** Section 152.1 of the Planning Code requires that a nighttime entertainment use with a floor area greater than 10,000 square-feet must provide one off-street freight loading space.

The expansion of the DNA Lounge to a total of 11,985 square-feet requires one off-street freight loading space; however, the Project Sponsor has chosen to not provide this space and seeks a variance from the requirement.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The proposed project is both necessary and desirable because the expanded entertainment and dining activities will contribute to the economic vitality of the neighborhood and preserve the diversity of goods offered within the general area. Along 11th Street there are two other nighttime entertainment uses (d.b.a. "Slim's" and "Beatbox"), as well as, a few popular full-service restaurant establishments (d.b.a. "Bar Agricole," "Butter," and "Basil"). This clustering of entertainment and dining uses, paired with the DNA Lounge's history of being "a good neighbor" further demonstrates that the expansion is compatible with the existing neighborhood character. The project also attempts to connect two existing uses and facilitate the flow of patrons internally, rather than on the sidewalks of a mixed residential neighborhood.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed project will operate within the existing building envelope. The conditions of this Motion, as stated in Exhibit A, will require that the expansion of the existing nighttime entertainment use will maintain its conformity with the Planning Code, including the Good Neighbor Policies outlined in Section 805.3. These conditions are established to ensure the expansion will not be detrimental to the health or welfare of associated individuals or neighboring residents.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking for any uses within a South of Market Mixed Use District. The subject lot does not have any existing off-street parking spaces. Additionally, the Project does not include any new off-street parking spaces. As previously mentioned, the proposed project is well served by public transit, minimizing the need for private automobile trips.

The Project Sponsor is also seeking a variance from Planning Code Section 152.1 for one required off-street freight loading space. The Project Sponsor has indicated that the conditions for loading and deliveries are not anticipated to change because the proposed alterations are interior only, and there is already an operational association between the site's existing uses.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed use is subject to the standard conditions of approval for a nighttime entertainment use as outlined in Exhibit A. Conditions 6 to 12 specifically obligate the Project Sponsor to mitigate noxious and offensive emissions, and avail a community representative to address any related concerns raised by neighbors.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

Off-street parking areas are not required for the proposed use; additionally, the proposal requests a variance for one off-street loading space. Accordingly, the project does not include any screening for off-street parking spaces. Landscaping is not proposed as the building has no front setback. The Planning Department shall review all proposed signs under separate permit applications.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Mixed Use District.

The proposed project is consistent with the stated purpose of the SLR (Service/Light-Industrial/Residential) Mixed Use District in that the expansion of the existing use will not result in the increase of the existing building envelope or floor area and will serve to deter patrons from loitering on sidewalks. Additionally, the existing entertainment use will continue to provide compatible convenience goods by means of performance and exhibition activities to the immediately surrounding neighborhoods.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

SOUTH OF MARKET AREA PLAN

Objectives and Policies

OBJECTIVE 1:

PROTECT EXISTING INDUSTRIAL, ARTISAN, HOME AND BUSINESS SERVICE, AND NEIGHBORHOOD-SERVING RETAIL, PERSONAL SERVICE AND COMMUNITY SERVICE ACTIVITIES AND FACILITATE THEIR EXPANSION.

Policy 1.3:

Allow nighttime entertainment activities to locate in areas where such uses are compatible with nearby businesses and other daytime, nonresidential uses, and allow expansion of existing nighttime entertainment activities when the expansion would result in improved area livability such as litter patrol, noise reduction and increased parking.

Policy 1.6:

Allow existing businesses, which would not be allowed if they were new, to remain in their present location and space as nonconforming uses.

The expansion is compatible with the existing neighborhood character. This particular area already has a few active nighttime entertainment venues, as well as multiple full-service restaurants. Allowing the existing activity to expand would enable this sector of the neighborhood's economic activities to grow without physical expansion of the building's envelope or square footage. The limitation of work to only the interior enables the existing business to expand while continuing to adhere to the Good Neighbor Policies of Section 805.3(b), as well as the conditions attached to this Motion.

OBJECTIVE 5:

MINIMIZE THE IMPACT ON THE LIVABILITY OF THE AREA OF AUTO TRAFFIC THROUGH AND TO/FROM THE SOUTH OF MARKET.

Policy 5.1:

Provide incentives for the use of transit, taxi, carpools and vanpools, and reduce the dependence on automobile parking facilities, particularly by area workers.

Policy 5.4:

Provide adequate parking and loading resources for new South of Market residential and business development.

Policy 5.5:

Provide an adequate amount of on-street curbside freight loading spaces throughout the South of Market.

The project is seeking a variance from Planning Code Section 152.1 which requires one off-street freight loading space. Currently, the DNA Lounge and DNA Pizza receive an average of six deliveries per week during 9AM to 5PM on Thursdays. These drops are done during off-peak hours and loading spaces can be provided in one of the metered on-street spaces in-front of the subject site. Furthermore, the Project Sponsor is anticipating a reduction in deliveries as a result of the merging of uses.

Individuals travelling to the site are encouraged to use public transit, taxis, or other means of shared transit. The site does not have, nor will it provide off-street parking spaces for employees or patrons. However, the business does have shared parking with the Costco parking lot located at the intersection of 11th and Harrison Streets. Given that the project site is well-served by public transit, and that the scope of work is limited to the interior rearrangement of uses, the project is not anticipated to result in increased pressures on existing parking, transit, or loading conditions.

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development which has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The proposal results in minimal changes to the existing physical environment as the scope of work is limited to interior renovations and a rearrangement of entertainment, arts and restaurant uses. Such changes, however, have positive fiscal and employment benefits for residents and other businesses within the immediate area. Additionally, the Good Neighborhood polices of Planning Code Section 805.3(b) and conditions associated with this Motion will ensure that the expanded use will continue to meet minimum, reasonable performance standards.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

Policy 2.3:

Maintain a favorably social and cultural climate in the city in order to enhance its attractiveness as a firm location.

The DNA Lounge has been an active nighttime entertainment use at the subject location since 1985. The venue features a variety of entertainment activities ranging from "Mortified," a recurring open-mic night accompanied by house (and local) band "Live Evil," to "Silicon Valley Rocks," an event where bands of tech professionals play to raise money for "Music in Schools Today." The success of this programming has enabled the current owners to seek Conditional Use authorization in order to expand internally. Their goal is to offer a broader scope of entertainment programming that will cater to current patrons, as well as new. This increase will avail a more diverse set of entertainment activities to the city's residents and visitors, and will directly contribute to a more favorable social and cultural climate within San Francisco.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 3.1:

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

At present, the DNA Lounge and DNA Pizza restaurant have a combined total of 35 employees. The proposed project will provide approximately 4-6 new employment opportunities, of which approximately half will be entry-level, unskilled and semi-skilled positions.

ARTS ELEMENT

Objectives and Policies

OBJECTIVE I.1:

RECOGNIZE THE ARTS AS NECESSARY TO THE QUALITY OF LIFE FOR ALL SEGMENTS OF SAN FRANCISCO.

Policy I.1.3:

Increase public awareness of the arts in San Francisco by greater promotion of existing art programs and services in the community and schools.

Policy I.1.4:

Provide access to creative process and cultural resources for all neighborhoods, cultural communities, and segments of the city and its populations.

The existing nighttime entertainment use (d.b.a. DNA Lounge) regularly features emerging local artists, as well as internationally renowned talent. This exposure to varying artists facilitates a greater public awareness in arts and entertainment. The expansion of the use will enable the entertainment venue to continue its present activities and to build upon them without enlarging the existing structure.

Furthermore, the DNA Lounge is well-served by local and regional transit. This ease of access makes the venue and its programming much more accessible to varied communities and neighborhoods throughout the region.

OBJECTIVE I-2:

INCREASE THE CONTRIBUTION OF THE ARTS TO THE ECONOMY OF SAN FRANCISCO.

Policy I-2.1:

Encourage and promote opportunities for the arts and artists to contribute to the economic development of San Francisco.

Policy I-2.2:

Continue to support and increase the promotion of the arts and arts activities throughout the City for the benefit of visitors, tourists, and residents.

The expansion of the existing entertainment use will enable the venue to provide more varied forms of music on a regular basis. This increase in use also enhances San Francisco's arts sector and supplies residents, tourists and visitors with a greater diversity of entertainment offerings.

OBJECTIVE VI-1:

SUPPORT THE CONTINUED DEVELOPMENT AND PRESERVATION OF ARTISTS' AND ARTS ORGANIZATIONS' SPACES.

Policy VI-1.2:

Support and expand programs directed at enabling arts organizations and artists to comply with City building and safety codes to rehabilitate arts spaces.

Policy VI-1.4:

Preserve existing performing spaces in San Francisco.

Policy VI-1.9:

Create opportunities for private developers to include arts spaces in private developments city-wide.

Policy VI-1.11

Identify, recognize and support existing arts clusters and wherever possible, encourage the development of clusters of arts facilities and arts related businesses through the city.

The DNA Lounge has provided performing space for both emerging and renowned talent, the expansion of the entertainment space will enable the current business to expand its current programming and create new opportunities for various entertainers. Additionally, the expansion of this entertainment venue will serve to foster the continued success of other arts and entertainment establishments clustered in this area.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

As the proposed alterations will not expand the existing building footprint, the project does not displace any existing neighborhood-serving retail uses. The existing business will continue to generate employment opportunities for the community.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The existing units in the surrounding neighborhood will not be adversely affected. The proposal will contribute to a more active and engaging neighborhood environment along 11th Street.

- C. That the City's supply of affordable housing be preserved and enhanced,

No housing is altered for this Project.

- D. That commuter traffic not impedes MUNI transit service or overburden our streets or neighborhood parking.

The proposed project is on 11th Street between Folsom and Harrison Streets, and is well served by public transit. It is highly likely that both employees and customers of the proposed establishment will either walk, bike or use public transit as the preferred mode of transportation.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The proposed project will not include any commercial office development and will not displace any existing service or industry establishments.

- F. That the City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The proposed project will comply with the City Codes to achieve the proper preparedness in the event of an earthquake.

- G. That landmarks and historic buildings be preserved.

The project as proposed does not include any alterations to the façade and thereby maintains the historic character. Additionally, the subject buildings were found ineligible for the National Register, California Register, and local designation through survey evaluation.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The proposed project will not have a negative effect on existing parks and open space.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2011.0951C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated January 4, 2012, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. 18456. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on January 12, 2012.

Linda D. Avery
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to expand the existing nighttime entertainment use (d.b.a. DNA Lounge) located at 371-375 11th Street pursuant to Planning Code Section(s) 181(f), 303, and 803.7, within an SLR (Service/Light-Industrial/Residential Mixed Use) Zoning District and an 50-X Height and Bulk District; in general conformance with plans, dated **January 4, 2012**, and stamped "EXHIBIT B" included in the docket for Case No. **2011.0951C** and subject to conditions of approval reviewed and approved by the Commission on **January 12, 2012**, under Motion No. **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on January 12, 2012, under Motion No. XXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

MONITORING

3. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

4. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

5. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>
6. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>
7. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.
For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org
For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org
For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-1012 or 415-5530123, www.sf-police.org
8. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
9. **Notices Posted at Bars and Entertainment Venues.** Notices urging patrons to leave the establishment and neighborhood in a quiet, peaceful, and orderly fashion and to not litter or block driveways in the neighborhood, shall be well-lit and prominently displayed at all entrances to and exits from the establishment.
For information about compliance, contact the Entertainment Commission, at 415 554-6678, www.sfgov.org/entertainment

10. **Other Entertainment.** The Other Entertainment shall be performed within the enclosed building only. The building shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance. Bass and vibrations shall also be contained within the enclosed structure. The Project Sponsor shall obtain all necessary approvals from the Entertainment Commission prior to operation. The authorized entertainment use shall also comply with all of the conditions imposed by the Entertainment Commission.

For information about compliance, contact the Entertainment Commission, at 415 554-6678, www.sfgov.org/entertainment

11. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org



**SAN FRANCISCO
PLANNING DEPARTMENT**

Date received:
RECEIVED

AUG 26 2011

Environmental Evaluation Application CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
MEA

The California Environmental Quality Act (CEQA) requires public agencies to review the environmental impacts of proposed projects. In San Francisco, environmental review under CEQA is administered by the Major Environmental Analysis (MEA) division of the Planning Department. The environmental review process begins with the submittal of a completed Environmental Evaluation (EE) Application to the Planning Department. Only the current EE Application form will be accepted. No appointment is required but staff is available to meet with applicants upon request.

The EE Application will not be processed unless it is completely filled out and the appropriate fees are paid in full. Checks should be made payable to the San Francisco Planning Department. See the current *Schedule of Application Fees* and contact the staff person listed below for verification of the appropriate fees. Fees are generally non-refundable. **Documents in italics are available online at sfgov.org/planning.**

The EE Application is comprised of four parts. Part 1 is a checklist to ensure that the EE Application is complete; Part 2 requests basic information about the site and the project; Part 3 is a series of questions to help determine if additional information is needed for the EE Application; and Part 4 is a project summary table.

The complete EE Application should be submitted to the Planning Department staff as follows: For projects greater than 10,000 square feet in size and where Part 3 Questions #3, #8, #10, or #11 are answered in the affirmative, or for projects that require mitigation measures, please send the application materials to the attention of Ms. Fordham or Ms. Pereira. For all other projects, please send the application materials to the attention of Mr. Bollinger.

Brett Bollinger
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9024, brett.bollinger@sfgov.org

Chelsea Fordham or Jeanie Poling
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9071, chelsea.fordham@sfgov.org
(415) 575-9072, jeanie.poling@sfgov.org

PART 1 – EE APPLICATION CHECKLIST	Provided	Not Applicable
Two copies of this application with all blanks filled in	<input checked="" type="checkbox"/>	
Two sets of project drawings (see "Additional Information" at the end of page 4,)	<input checked="" type="checkbox"/>	
Photos of the project site and its immediate vicinity, with viewpoints labeled	<input checked="" type="checkbox"/>	
Fee	<input checked="" type="checkbox"/>	
<i>Supplemental Information Form for Historical Resource Evaluation</i> and/or Historic Resource Evaluation Report, as indicated in Part 3 Questions 1 and 2	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Geotechnical Report, as indicated in Part 3 Questions 3a and 3b	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Tree Disclosure Statement</i> , as indicated in Part 3 Question 4	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Phase I Environmental Site Assessment, as indicated in Part 3 Question 8	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Additional studies (list)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Applicant's Affidavit. I certify the accuracy of the following declarations:

- The undersigned is the owner or authorized agent of the owner(s) of this property.
- The information presented is true and correct to the best of my knowledge.
- I understand that other applications and information may be required.

Signed (owner or agent): *Steve Rich*
(For Staff Use Only) Case No. 2011.0951E

Date: 8/25/11
Address: 371 & 375 - 11th St.
Block/Lot: 3520/21 & 23

PART 2 - PROJECT INFORMATION

Owner/Agent Information

Property Owner	<u>Sensuria Inc</u>	Telephone No.	<u>415-626-2532</u>
Address	<u>375-11th St,</u>	Fax No.	<u>415-626-6031</u>
	<u>SF 94103</u>	Email	<u>Darry@dndlounge.com</u>
Project Contact	<u>Ilene Dick</u>	Telephone No.	<u>415-954-4958</u>
Company	<u>Farella Braun x Martel</u>	Fax No.	<u>415-954-4480</u>
Address	<u>235 Montgomery, 17th Flr</u>	Email	<u>idick@fbm.com</u>
	<u>SF 94104</u>		

Site Information

Site Address(es): 371 + 375- 11th Street

Nearest Cross Street(s): Harrison

Block(s)/Lot(s): 3520/21 + 22 Zoning District(s): SLR

Site Square Footage: 371-2500 sf / 375-5000 Height/Bulk District: SD-X

Present or previous site use Community Plan Area (if any): 371- pizza parlor 375- nighttime entertainment

Project Description - please check all that apply

- Addition
 Change of use
 Zoning change
 New construction
 Alteration
 Demolition
 Lot split/subdivision or lot line adjustment
 Other (describe) _____

Describe proposed use: combine 2 lots for expansion of existing Estimated Cost: _____

Narrative project description. Please summarize and describe the purpose of the project.

See attached. nighttime entertainment wk.

SAN FRANCISCO DEPARTMENT OF CITY PLANNING
 CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW
CLASS 1 - Existing Facilities
 Interior improvements involving negligible expansion of use. No exterior alterations proposed with this project.
Brett Bollinger 8/31/11
 Approved Planning Dept. Brett Bollinger

PART 3 – ADDITIONAL PROJECT INFORMATION	Yes	No
1. Would the project involve a major alteration of a structure constructed 50 or more years ago or a structure in an historic district? If yes, submit a <i>Supplemental Information Form for Historical Resource Evaluation</i> . Instructions on how to fill out the form are outlined in the <i>San Francisco Preservation Bulletin No. 16</i> (see pages 28-34 in Appendix B).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Would the project involve demolition of a structure constructed 50 or more years ago or a structure located in an historic district? If yes, a Historic Resource Evaluation Report (HRER)* will be required. The scope of the HRER will be determined in consultation with the Department's Preservation Coordinator.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3a. Would the project result in excavation or soil disturbance/modification greater than 10 feet below grade? If yes, how many feet below grade would be excavated? _____ What type of foundation would be used (if known)? _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3b. Is the project site located in an area of potential geotechnical hazard as identified in the San Francisco General Plan or on a steep slope or would the project be located on a site with an average slope of 20% or more? If yes to either Question 3a or 3b, please submit a Geotechnical Report.*	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Would the project involve expansion of an existing building envelope, or new construction, or grading, or new curb cuts, or demolition? If yes, please submit a <i>Tree Disclosure Statement</i> .	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Would the project result in ground disturbance of 5,000 gross square feet or more?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Would the project result in any construction over 40 feet in height? If yes, apply for a Section 295 (Proposition K) Shadow Study. This application is available on the Planning Department's website and should be submitted at the Planning Information Center , 1660 Mission Street, First Floor.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Would the project result in a construction of a structure 80 feet or higher? If yes, an initial review by a wind expert, including a recommendation as to whether a wind analysis* is needed, may be required, as determined by Department staff.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Would the project involve work on a site with an existing or former gas station, auto repair, dry cleaners, or heavy manufacturing use, or a site with underground storage tanks? If yes, please submit a Phase I Environmental Site Assessment (ESA).* A Phase II ESA (for example, soil testing) may be required, as determined by Department staff.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Would the project require any variances, special authorizations, or changes to the Planning Code or Zoning Maps? If yes, please describe. <i>CJ under Planning Code Section 18(CF)</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Is the project related to a larger project, series of projects, or program? If yes, please describe.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Is the project in Eastern Neighborhoods or Market & Octavia Community Plan Area? If yes, and the project would be over 55 feet tall or 10 feet taller than an adjacent building built before 1963, please submit an elevation or renderings showing the project with the adjacent buildings.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

* Report or study to be prepared by a qualified consultant who is contracted directly by the project sponsor.

PART 4 – PROJECT SUMMARY TABLE

If you are not sure of the eventual size of the project, provide the **maximum** estimates.

Gross Square Footage (GSF)	Existing Uses	Existing Uses to be Retained	Net New Construction and/or Addition	Project Totals
Residential				
Retail				
Office				
Industrial				
Parking	0	-	0	0
Other (specify use)	Restaurant - 3,984 Nighttime Entertainment	(3,984) restaurant	3,984 nighttime entertainment	11,985 nighttime entertainment
Total GSF	11,985			
Dwelling units				
Hotel rooms				
Parking spaces	0	-	0	0
Loading spaces	0	-	0	0
Number of buildings	2	1	(1) through lot merger	1
Height of building(s)	30'	30'	-	30'
Number of stories	2	2	-	2

Please describe any additional project features that are not included in this table:

Additional Information: Project drawings in 11x17 format should include existing and proposed site plans, floor plans, elevations, and sections, as well as all applicable dimensions and calculations for existing and proposed floor area and height. The plans should clearly show existing and proposed off-street parking and loading spaces; driveways and trash loading areas; vehicular and pedestrian access to the site, including access to off-street parking and parking configuration; and bus stops and curbside loading zones within 150 feet of the site. A **transportation study** may be required, depending on existing traffic conditions in the project area and the potential traffic generation of the proposed project, as determined by the Department's transportation planners. **Neighborhood notification** may also be required as part of the environmental review processes.

December 23rd, 2011

To whom it may concern at the San Francisco Planning Department,

Re: Compliance with San Francisco Noise Ordinance on the part of the DNA Lounge, located at 375 Eleventh Street.

Summary:

This report summarizes the results of our acoustical measurements for the DNA Lounge. We performed these measurements in response to neighbor concerns, which were raised at a recent community meeting hosted by the DNA Lounge, of excessive noise.

Complaints and Criteria:

Our goals were the following: (1) Show that the entertainment sound outside of DNA Lounge is not audible to any nearby resident, or (2) that if it is indeed audible, the level is so low that it would not reasonably disturb quiet enjoyment of residential neighbors, or (3) if it were possible to spike so loudly that it would disturb a neighbor's "quiet enjoyment", that effective controls be installed so as to guarantee that could not happen.

The applicable ordinance reads:

“Commercial and Industrial Property Noise Limits. No person shall produce or allow to be produced by any machine or device, music or entertainment or any combination of same, on commercial or industrial property over which the person has ownership or control, a noise level more than eight dBA above the local ambient at any point outside of the property plane. With respect to noise generated from a licensed Place of Entertainment or licensed Limited Live Performance Locale, in addition to the above dBA criteria a secondary low frequency dBC criterion shall apply to the definition above. No noise or music associated with a licensed Place of Entertainment or licensed Limited Live Performance Locale shall exceed the low frequency ambient noise level defined in Section 2901(f) by more than 8 dBC.”

Conclusion:

We have determined that DNA Lounge is compliant with all San Francisco noise ordinances.

Expanded site details and findings:

The DNA Lounge is located at 375 11th Street, between Folsom and Harrison Streets in the South of Market district. Within the surrounding area there are several other arts and entertainment facilities, restaurants, a variety of light industrial uses (e.g., car repair, self-storage facilities), surface parking lots, and multi-family housing. The Highway 101 Central Skyway is located to the south of the project site.

Installed Acoustical Mitigation Measures:

The DNA Lounge installed several acoustical treatments in 2000 and 2001 to help reduce noise transfer to the surrounding areas. These treatments included major interior and exterior renovations, and upgrades to the front facade as well as to the sound system. These measures are still in place and in good condition. A summary of what was installed is shown below:

- Upgrade of the 11th Street facade to a concrete assembly
- Installation of vestibules at the front entry doors
- Sound absorptive materials installed in the vestibules to reduce noise transmission even when doors are open
- Appropriate selection and placement of new loudspeakers
- Installation of a sound limiter on house sound reinforcement system
- Installation of sound-absorptive treatments on the roof of the club to reduce noise buildup inside the club
- Installation of new HVAC system with lagged ductwork to reduce noise transfer to the outside
- Removal of skylights

Conditions at the DNA Lounge and adjacent properties at the time of the measurements:

- The nearby Slim’s nightclub (333 11th Street) had live music events and was in operation until about 11:30pm, after which Slim’s was dark and vacant.
- There are multiple other bars and nightclubs along both 11th and Folsom Streets, which had varying levels of music noise, occupants, and people standing outside. Several of the venues had open entry doors.
- The “Bootie” event at DNA Lounge is one of its most popular periodic events. On one such event night there was a capacity crowd, according to the club management. This event had one live band along with a series of DJs.
- The DJs, who are independent contractors, used the house sound system (e.g., loudspeakers, mixing board).
- The band brought their instruments and instrument amplifiers, but used the house system for voice and additional instrument amplification.

Acoustical Measurements, Data and Interpretation:

Measurements were taken using an ART Spl-8810 decibel meter. Our measurement program consisted of indoor and outdoor measurements of average noise levels every hour beginning at 9:00pm. Each measurement lasted for approximately two to five minutes. Sound inside the DNA Lounge ranged from 102 to 110 decibels. Measurements were taken on a typical extended weekend from Thursday December 7th through Monday, December 12th.

DECIBEL MEASUREMENTS WEDNESDAY DECEMBER 7TH

In front of DNA		In front of 374 11th (across street)		In front of 340 11th (mid block)	
<u>TIME</u>	<u>DB</u>	<u>TIME</u>	<u>DB</u>	<u>TIME</u>	<u>DB</u>
9:00 PM	57	9:00 PM	56	9:00 PM	52
10:00 PM	56	10:00 PM	58	10:00 PM	63
11:00 PM	61	11:00 PM	56	11:00 PM	54
12:00 PM	63	12:00 PM	58	12:00 PM	56
1:00 AM	60	1:00 AM	56	1:00 AM	52

DECIBEL MEASUREMENTS THURSDAY DECEMBER 8TH

In front of DNA		In front of 374 11th (across street)		In front of 340 11th (mid block)	
<u>TIME</u>	<u>DB</u>	<u>TIME</u>	<u>DB</u>	<u>TIME</u>	<u>DB</u>
9:00 PM	65	9:00 PM	59	9:00 PM	61
10:00 PM	62	10:00 PM	61	10:00 PM	57
11:00 PM	61	11:00 PM	59	11:00 PM	60
12:00 PM	56	12:00 PM	59	12:00 PM	55
1:00 AM	dna closed	1:00 AM	dna closed	1:00 AM	dna closed

DECIBEL MEASUREMENTS FRIDAY DECEMBER 9TH

In front of DNA		In front of 374 11th (across street)		In front of 340 11th (mid block)	
<u>TIME</u>	<u>DB</u>	<u>TIME</u>	<u>DB</u>	<u>TIME</u>	<u>DB</u>
9:00 PM	55	9:00 PM	56	9:00 PM	60
10:00 PM	63	10:00 PM	62	10:00 PM	59
11:00 PM	71	11:00 PM	61	11:00 PM	60
12:00 PM	65	12:00 PM	61	12:00 PM	62
1:00 AM	65	1:00 AM	62	1:00 AM	60

DECIBEL MEASUREMENTS SATURDAY DECEMBER 10TH

In front of DNA		In front of 374 11th (across street)		In front of 340 11th (mid block)	
<u>TIME</u>	<u>DB</u>	<u>TIME</u>	<u>DB</u>	<u>TIME</u>	<u>DB</u>
9:00 PM	61	9:00 PM	59	9:00 PM	61
10:00 PM	69	10:00 PM	67	10:00 PM	67
11:00 PM	75	11:00 PM	70	11:00 PM	69
12:00 PM	72	12:00 PM	68	12:00 PM	70
1:00 AM	73	1:00 AM	69	1:00 AM	67

DECIBEL MEASUREMENTS SUNDAY DECEMBER 11TH

In front of DNA		In front of 374 11th (across street)		In front of 340 11th (mid block)	
<u>TIME</u>	<u>DB</u>	<u>TIME</u>	<u>DB</u>	<u>TIME</u>	<u>DB</u>
9:00 PM	61	9:00 PM	60	9:00 PM	59
10:00 PM	60	10:00 PM	58	10:00 PM	60
11:00 PM	61	11:00 PM	59	11:00 PM	59
12:00 PM	57	12:00 PM	56	12:00 PM	55
1:00 AM	dna closed	1:00 AM	dna closed	1:00 AM	dna closed
<u>TOTAL</u>	<u>1449</u>	<u>TOTAL</u>	<u>1390</u>	<u>TOTAL</u>	<u>1378</u>
AVERAGE	63	AVERAGE	60.4	AVERAGE	60

The data clearly shows that the DNA Lounge operates close to the average of the ambient noise level of the immediate neighborhood. It also demonstrates that the DNA maintains noise levels well below that which is allowed by the San Francisco Noise Ordinance (8 dB above ambient).

On only one occasion did we register a reading 8db above ambient. This occurred at 11:00 PM Friday night and did not correspond to a particularly loud event from the sound system within the club, but rather a particularly loud sound system from a passing car in the street. The car was not present when the db averages were taken across the street and down the block.

Michael Lacina
President, JK Sound Inc.

SOMA LEADERSHIP COUNCIL

October 27, 2011

San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

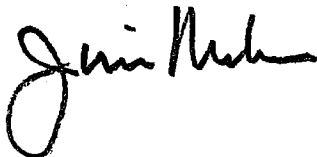
On Wednesday, September 21, 2011, Barry Synoground appeared before the SoMa Leadership Council to describe the DNA Lounge's proposal to expand its nighttime entertainment offerings into the adjacent building.

The SoMa Leadership Council was born out of the turmoil that followed the neighbor/nightclub wars of the late '90s and few community organizations are as familiar with entertainment-related issues as we are. Barry was questioned quite critically about crowd control, sound proofing and neighborhood outreach. In the end, he completely won over the audience.

I am pleased to report that the SoMa Leadership Council voted unanimously to support the Conditional Use application to expand the DNA Lounge. We wish them well.

The SoMa Leadership Council is composed of a diverse variety of South of Market residents. It has been committed since 2001 to ensuring that SoMa remains a compassionate, diverse, vibrant and complete neighborhood.

Sincerely,



Jim Meko, chair
SoMa Leadership Council
366 Tenth Street
San Francisco CA 94103

(415) 552-2401 office
(415) 624-4309 cell
(415) 552-2424 fax
www.somaleadership.org

THIRTYONE | MADISON

November 1, 2011

San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

To Whom It May Concern:

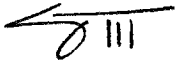
My name is Sean Manchester, and I have been a home owner at 374 11th Street for close to ten years. My wife and I purchased the home in 2002 as our primary residence and lived there with our son until the birth of our second child in 2008 at which point we outgrew the unit. We now maintain the condo as a rental unit and have had two tenants in that time frame who have both been extremely happy with the unit.

In 2002, when we purchased our condo, it was made very clear to us that the building was in close proximity to a number of entertainment venues and that we should be aware of this situation. Our broker even went so far as to encourage us to visit the unit on a weekend night. The selling brokerage also required us to sign a document acknowledging that we were fully aware of the circumstances and surrounding businesses.

In the time that we lived there, our experience with DNA lounge, it's owners and management, were nothing but professional. In my opinion, the management and staff at DNA Lounge are exemplary operators and I wish more operators were like them. They regularly participate and contribute to neighborhood meetings and are quick to respond to requests from the neighbors.

In the entire time that we have owned our unit on 11th street, we have never experienced any loud noise or disturbance from DNA Lounge and the same is true for our tenants as well.

Sincere Regards,



Sean Manchester
374 11th St., Unit #1

and current address:
769 Foerster St.
San Francisco, CA 94127

December 21, 2011

To Whom It May Concern,

I would like to express my support of the DNA Lounge, a business which has been a neighbor of mine for the last eight years, ever since I moved to Norfolk Street, just around the corner from them.

When I moved to the area, the idea of being so close to so much good nightlife was one of the major draws for me, and the DNA Lounge was a major part of that. And once I moved here, I consistently found them to be excellent neighbors, truly a positive influence in our community.

I was pleased as punch when I found out the DNA Lounge bought the restaurant next door to them at 371 Eleventh Street. That space had languished, having been severely neglected under previous tenants, and I immediately knew that the folks at the DNA would give the space some real love. After all, they poured their hearts, souls, and I'm sure a lot of money into the DNA Lounge, making it one of the best performance spaces in San Francisco. I expect no less of their second act.

They've already begun to deliver. What they've done so far with DNA Pizza is good, but combining the lots and businesses will mean the leap from "good" to "totally awesome." As I've seen (both in San Francisco and out in the wider world) an integrated restaurant + performance space makes a ton of sense both for patrons and neighbors. And I have the highest confidence that the staff of the DNA Lounge can make the combination a huge success.

I have nothing but support for the merger proposal. Thank you for your consideration,

A handwritten signature in black ink, appearing to read "Dan Bornstein". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Dan Bornstein
65 Norfolk Street #5
San Francisco CA 94103
415-269-3433
danfuzz@milkm.com

Derek Hena
380 10th st. # 7
San Francisco, CA 94103
(415) 999-4165

To:

SF Planning Board
San Francisco

12/28/11

Re: Plans & Permits for DNA Pizza

To Whom It May Concern,

I am writing to express my support for the Management of DNA Pizza in their efforts to merge the lots of 375 and 371 Eleventh Street. I used to live across the street from the DNA Lounge at 374 11th Street, Unit 1, and found them to be excellent neighbors, and I never had any problem with their club or patrons during the 2 years that I was living there. I currently reside at 10th and Harrison, one block away, and still find them to be a proactive force in the neighborhood, always accessible and very involved with the community, their staff, and their plans for their business.

I have spoken with the Manager about their plans for merging the two lots that share a wall, and I think it's an excellent idea, which will serve not only the business, but the community and neighborhood as well.

DNA Lounge is always striving to make things better around here, and I know their plans for the future always will have the community, their customers and the good of the street in mind.

Thank you,

A handwritten signature in black ink, appearing to be 'Derek Hena', written in a cursive style.

Derek Hena

11/30/2011

To:
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

To Whom it May Concern,

I am delighted to write a letter in support of the DNA Lounge, located at 375 Eleventh Street in San Francisco.

I live at 1488 Harrison #105, just a short distance from the club and have never been bothered by their presence in any way. The DNA Lounge has been, for over a decade now, an asset to this block and neighborhood. They're always striving to make their business and the community around them better for us all.

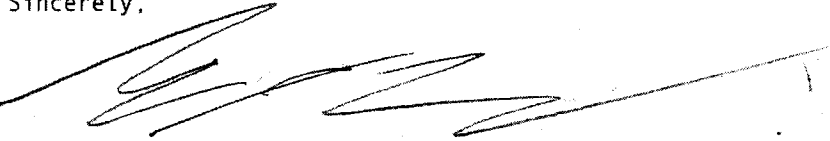
The folks at DNA Lounge make an effort^a to reach out to their neighbors. They create community here. They patronize local businesses, create more business for the merchants around here and run a well-organized, smooth running venture.

The DNA Lounge has been a great neighbor in the one and a half years I have lived next door. I know that the DNA makes a concerted effort to manage the comfort and safety of both their customers and neighbors at all times. Their efforts are obvious to me.

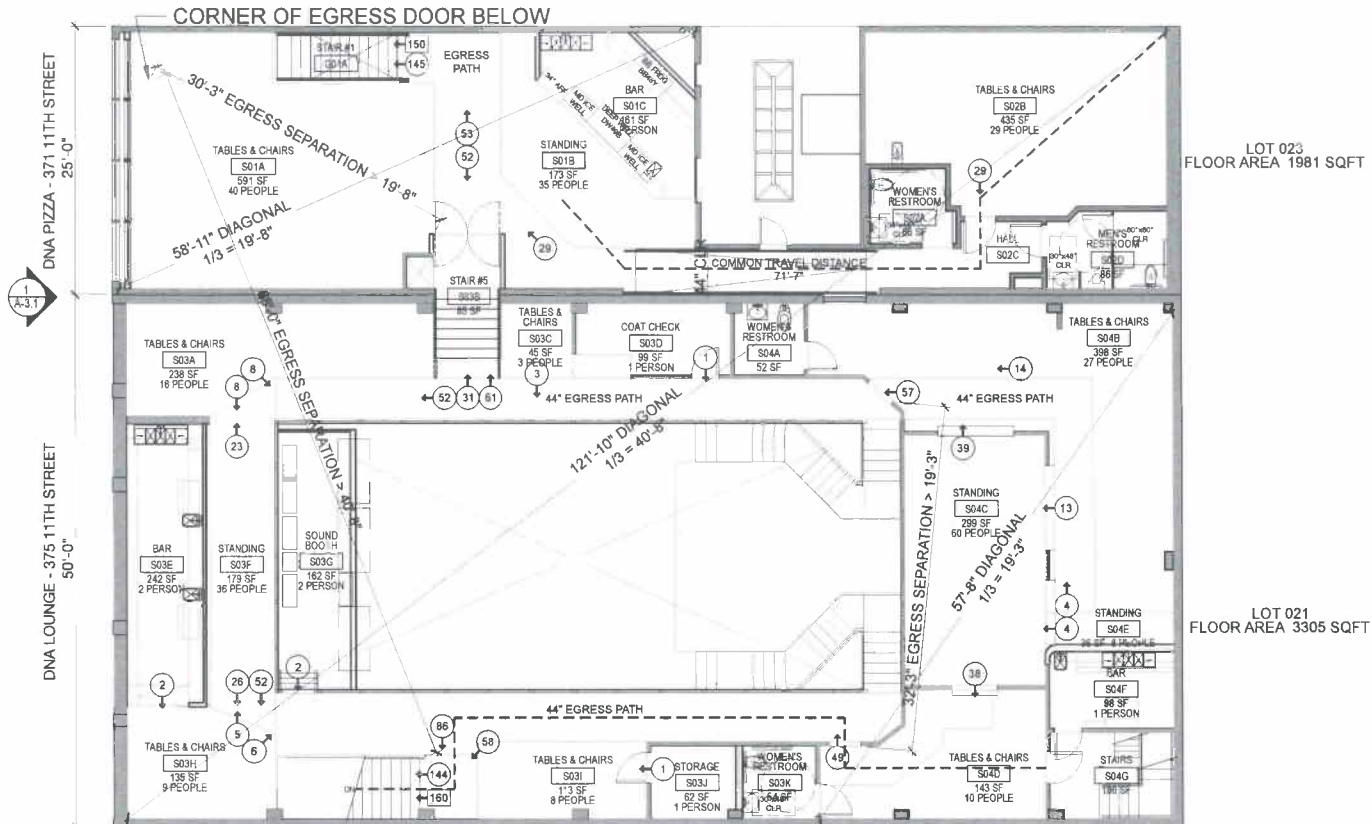
I have never had any problems with the DNA Lounge or its patrons, quite the contrary- I find them to be excellent neighbors and consummate business people as well.

Thank you for your time and consideration.

Sincerely,



Greg Creech
(650) 430- 6160
1488 Harrison #5
San Francisco, CA 94103

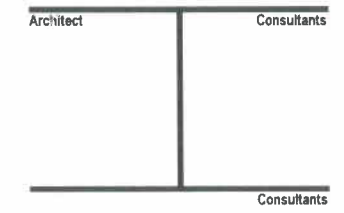


1ST FLR - OCCUPANCY CALCULATIONS

	DESCRIPTION	SQFT	SQFT PER OCC.	OCC. COUNT
G01A	STAIRS	58 SF	-	
G01B	STORAGE	60 SF	300 GROSS	1
G01C	EXTERIOR	161 SF	-	
G01D	DISPLAY KITCHEN	326 SF	200 GROSS	2
G01E	BAR	159 SF	200 GROSS	1
G01F	TABLES & CHAIRS	701 SF	15 NET	47
G02A	KITCHEN	273 SF	200 GROSS	2
G02B	HALL	101 SF	-	
G02C	WOMEN'S RESTROOM	66 SF	-	
G02D	MEN'S RESTROOM	86 SF	-	
G02E	STORAGE	213 SF	300 GROSS	1
G03A	ENTRY	112 SF	5 NET	23
G03B	TICKET BOOTH	44 SF	100 GROSS	1
G03C	BAR	290 SF	200 GROSS	2
G03D	STANDING	94 SF	5 NET	19
G03E	EGRESS	83 SF	5 NET	17
G03F	STAIR	55 SF	-	
G03G	STANDING	30 SF	5 NET	6
G03H	BAR	60 SF	200 GROSS	1
G03I	TABLES & CHAIRS	368 SF	15 NET	25
G03J	STANDING	1032 SF	5 NET	207
G03K	TABLES & CHAIRS	403 SF	15 NET	27
G03L	MEN'S RESTROOM	203 SF	-	
G03M	STAIRS	88 SF	-	
G03N	STAGE	280 SF	5 NET	56
G03O	STAIRS	88 SF	-	
G03P	WOMEN'S RESTROOM	252 SF	-	
G04A	OFFICE	179 SF	100 GROSS	2
G04B	STORAGE	749 SF	300 GROSS	3
G04C	KITCHEN	189 SF	200 GROSS	1
G04D	STAIRS	32 SF	-	
TOTAL PEOPLE - 1ST FLR				444

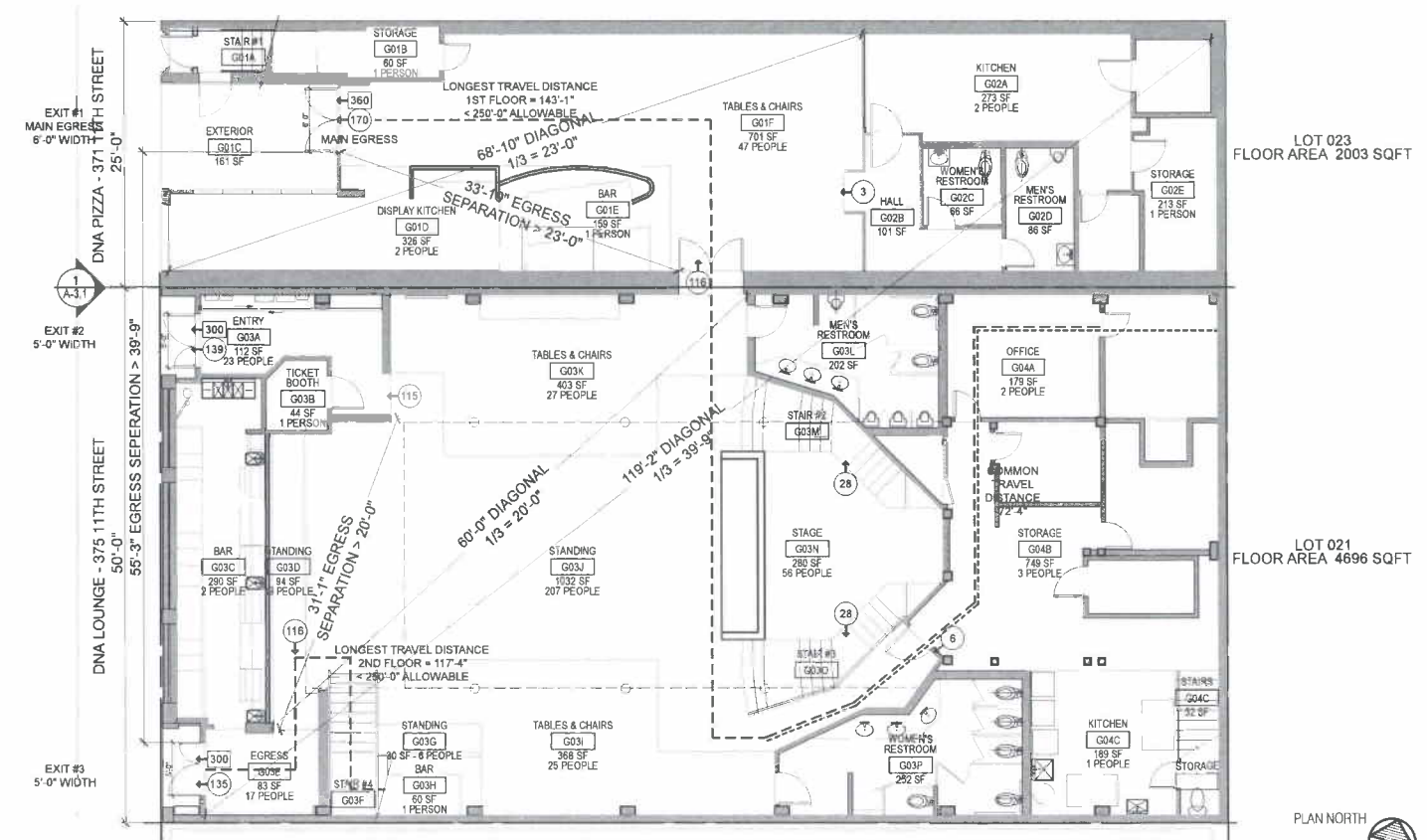
2ND FLR - OCCUPANCY CALCULATIONS

SPACE	DESCRIPTION	SQFT	SQFT PER OCC.	OCC. COUNT
S01A	TABLES & CHAIRS	591 SF	15 NET	40
S01B	STANDING	173 SF	5 NET	35
S01C	BAR	161 SF	200 GROSS	1
S02A	WOMEN'S RESTROOM	86 SF	-	
S02B	TABLES & CHAIRS	435 SF	15 NET	29
S02C	HALL	-	-	
S02D	MEN'S RESTROOM	86 SF	-	
S03A	TABLES & CHAIRS	238 SF	15 NET	16
S03B	STAIRS	85 SF	-	
S03C	TABLES & CHAIRS	45 SF	15 NET	3
S03D	COAT CHECK	99 SF	100 GROSS	1
S03E	BAR	242 SF	200 GROSS	2
S03F	STANDING	179 SF	5 NET	36
S03G	SOUND BOOTH	162 SF	100 GROSS	2
S03H	TABLES & CHAIRS	135 SF	15 NET	9
S03I	TABLES & CHAIRS	200 SF	15 NET	8
S03J	STORAGE	62 SF	300 GROSS	1
S03K	WOMEN'S RESTROOM	54 SF	-	
S04A	WOMEN'S RESTROOM	52 SF	-	
S04B	TABLES & CHAIRS	398 SF	15 NET	27
S04C	STANDING	299 SF	5 NET	60
S04D	TABLES & CHAIRS	143 SF	15 NET	10
S04E	STANDING	36 SF	5 NET	8
S04F	BAR	98 SF	200 GROSS	1
S04G	STAIRS	106 SF	-	
TOTAL PEOPLE - 2ND FLR				289



2 SECOND FLOOR EGRESS PLAN

1/8"=1'



EGRESS CALCULATIONS

TOTAL EXIT WIDTH CALCULATIONS:
1ST FLOOR REQUIRED: 89.4"
1ST FLOOR PROVIDED: 192"

2ND FLOOR REQUIRED: 135.6"
2ND FLOOR PROVIDED: 169"

INDIVIDUAL EGRESS CALCULATIONS:
FIRST FLOOR
EXIT #1 (MAIN): 171 PEOPLE
WIDTH REQUIRED: 34.2"
WIDTH PROVIDED: 72"
EGRESS CAPACITY = 72" / .2" = 360 PEOPLE
360 PEOPLE / 2 = 720 PEOPLE MAX BUILDING CAPACITY

EXIT #2: 140 PEOPLE
WIDTH REQUIRED: 28"
WIDTH PROVIDED: 60"

EXIT #3: 136 PEOPLE
WIDTH REQUIRED: 27.2"
WIDTH PROVIDED: 60"

SECOND FLOOR:
STAIR #1: 145 PEOPLE
WIDTH REQUIRED: 43.5"
WIDTH PROVIDED: 45"

STAIR #2: NOT AN EGRESS ROUTE
STAIR #3: NOT AN EGRESS ROUTE

STAIR #4: 144 PEOPLE
WIDTH REQUIRED: 43.2"
WIDTH PROVIDED: 48"

GENERAL EGRESS NOTES

A. BUILDING TO BE FULLY SPRINKLERED PER NFPA 13

BUILDING AREA CALCULATIONS

1ST FLOOR
LOT 023 2003 SQFT
LOT 021 4696 SQFT

2ND FLOOR
LOT 023 1981 SQFT
LOT 021 3305 SQFT

TOTAL BUILDING AREA: 11,985 SQFT

SYMBOLS

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- - - DEMOLITION WALL
- ←### ALLOWABLE OCCUPANT EGRESS BY WIDTH
- ←### NUMBER OF PEOPLE BY OCCUPANCY

Drawing Record

Issue/ Submission	Date
OUTREACH MEETING	09-13-11
CU HEARING/INTAKE	09-22-11
PLANNING COMMISSION	01-04-12

Project
DNA LOUNGE
375 Eleventh Street
San Francisco, CA 94103

Sheet
EGRESS PLANS
A0.1
Sequence

PLOT DATE:

All work, design arrangements and plans indicated or represented by this drawing are owned by, and are the property of the Architect and shall remain, created, and developed for use by and in connection with this project. None of these design arrangements or plans shall be used by or disclosed to any person, firm, or corporation for any purpose whatsoever without the written permission of the Architect. Incorporation of these drawings or specifications with any public agency is not a publication of the same. No reproduction or further publication without the written consent of the Architect.

Jason Anderson - 275 8th Street - San Francisco CA 94103 - 415.633.9122 - jason@naco.com

August 16, 2011

Pre-Application Review Meeting Notes, August 11th

Attendees:

- Mr. Jeffrey Ma, DBI
- Mr. Don Fields, SFFD
- Ms. Tony Sanchez, Corra, A.H. Sanchez-Correa & Assoc.
- Mr. Jason Anderson, Project Contact

Department of Building Inspection
1660 Mission Street
San Francisco, CA 94103 (415)

Project: DNA Lounge
375 Eleventh St
San Francisco, CA 94103-0414

PRE-APPLICATION PLAN REVIEW QUESTIONS

Dear Mr. Anderson, Permit Services:

We are respectfully requesting a Pre-Application Plan Review Meeting with a representative of the Department of Building Inspection and a representative of the San Francisco Fire Department (SFFD). We are also requesting a set of questions and drawings for the proposed project that we would like to discuss with DBI and SFFD. Enclosed is a plan available to Department of Building Inspection in the amount of \$994. Our suggested meeting time is 2:00pm Wed, 8/17/2011 to 2:00pm Thurs, 8/18/2011, 2:00pm Mon 8/15/2011 or 2:00pm Wed 8/17/2011.

The Proposed Project, which is the subject of this request, consists of remodeling 2 existing buildings in the SOMA neighborhood by way of a lot line adjustment to create one larger nighttime entertainment use. See attached proposed map. The 2 buildings—DNA Lounge and a pizza parlor formerly the DNA Lounge—will be physically combined by joining the permit area through the existing wall between the 2 buildings. Because DNA Lounge is a non-conforming use, it can be combined with the adjoining property to create a large nighttime entertainment use with conditional use approval under Planning Code Section 161(f). Parking is available at the Gaslot lot (see attached), thus requiring a note for a parking variance.

Because the new larger nighttime entertainment use created by the project will not significantly add the maximum loads of the two separate buildings, the combined occupant load would not result in significantly more traffic and noise than the 2 separate nighttime entertainment uses. Minimal exterior walls will allow an outdoor seating area to create the single building. We are aware that this is a potential historic resource so any exterior changes will be in consultation with the Secretary of Historic Sites. For that reason, we believe a Class 1 categorical exemption would be appropriate for this project.

Jason Anderson - 275 8th Street - San Francisco CA 94103 - 415.633.9122 - jason@naco.com

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In addition to confirming Planning, DBI and SFFD issues at the meeting, we are working with ABC, SFFD and the Entertainment Commission to transfer licenses to enable the single nighttime entertainment use at this site.

Estimated cost of permit items will be \$89,456.37, below the Accessibility Valuation Threshold amount of \$100,000.00.

Existing Conditions:
Existing Building:
Block 3203, Lot 021 and Lot 022
Zoning: SFR (Service-Light Industry-Research)
Lot 021 Area: 50'x100' or 5000 sqft. Building area: 8001 sqft
Lot 022 Area: 25'x100' or 2500 sqft. Building area: 3984 sqft
Height/Bulk: 50'-X

Existing Buildings:
Lot 021
Construction Code: 1906
Construction Type: I
Ground Floor: A-2, Lounge with Food & Drink
Second Floor: A-2, Lounge with Food & Drink

Lot 022
Construction Code: 1910
Construction Type: V
Ground Floor: B, Business - Restaurant
Second Floor: B, Business

Proposed Combined Building:
Construction Type: V
Use: A-2, Lounge with Food & Drink
Building Area: 11,985 sqft

Building Areas Calculations: See Historical Sheet

Project Contact:
Jason Anderson
275 8th Street
San Francisco, CA 94103
415-633-9122
jason@naco.com

Jason Anderson - 275 8th Street - San Francisco CA 94103 - 415.633.9122 - jason@naco.com

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Proposed Scope of Work:

- Two new communicating openings between two formerly separate buildings per split by a lot line adjustment.
- Addition of one new mezz and two new lounge restrooms.
- New Handrail at existing stairway and existing ramp.
- Installation of new bar.

Questions:

1. EXISTING
At the conclusion of previous work conducted at the DNA Lounge in 2001, the occupancy of the space was capped at 296 people based on truck/kiosk separation distance of the egress. Under current 2010 San Francisco Building Code code, the DNA Lounge appears to meet egress requirements subject to a 570-person occupancy limit. Under new and current 2010 SFFD, the occupancy of the new combined building should not be limited by this restriction as the building is sprinklered and the proposed scope of work in the attached drawings expands the separation distance between the egresses. Currently the DNA Lounge has an occupancy of 296 and DNA Pizza has an occupancy of 45 people for each floor, for a total existing occupancy of 341 people. The attached drawing shows demonstrate the methods of egress and egress separation distance showing an increase in occupancy by 324 people to a total occupancy of 720 people. Does DBI concur with the analysis that the egress methods provided meet requirements for an occupancy of 720 people?

DBIS/SFFD RESPONSE: Occupancy will be calculated using Plan Check of Permit Documents. A Second Floor occupancy of 100 people or greater will trigger the need to meet requirements of SFGC 1028.3 - Assembly Other Exits. A Second Floor occupancy of under 100 people will not trigger the additional requirements of SFGC 1028.3 and the current proposal appears to meet egress requirements. To be confirmed during Plan Check.

Note: Revised A0.1 Sheet, dated 8/16/11, demonstrating a 296 occupancy of the Second Floor is attached.

2. RUN DING AREA
The two existing buildings are of different Construction Types. SFR (Lot 021) is Type II & SFR (Lot 022) is Type V. With the Lot Line Adjustment they will be considered one building and need to be the more stringent Construction Type requirements. The maximum building area for a Type V Sprinklered Non Protected Building per SFGC 504.2 & 506.2 at 2 Stories and 12,000 sqft. The attached drawings demonstrate the proposed combined total building area as 11,985 sqft. Does DBI concur that the combined building area complies with the SFGC as per the calculations shown?

Jason Anderson - 275 8th Street - San Francisco CA 94103 - 415.633.9122 - jason@naco.com

Jason Anderson - 275 8th Street - San Francisco CA 94103 - 415.633.9122 - jason@naco.com

DBIS/SFFD RESPONSE: Building Area will be calculated at time of Permit Plan Check. 11,985 sqft is below the required 12,000 sqft and is allowable.

3. GROUND FLOOR EQUIVALENCY
Neither the DNA Lounge, nor the Pizza Parlor have in compliance. Presumably the DNA Lounge is titled for and received a Hardship Request based on Ground Floor Equivalency. As the current Construction Cost of this project is below the \$132,536.28 valuation threshold, and the project scope includes at least 20% of the current budget to be spent on handrail and bathroom upgrades, does DBI concur that an elevator will not be required?

DBIS/SFFD RESPONSE: An elevator will not be required based on the proposed project valuation. *Cost of project too low verified during plan check.*

4. EXISTING EGRESS STAIRS
The existing stairs being the second floor of the Pizza Parlor do not conform to requirements of the 2010 San Francisco Building Code. The current project scope is to install new handrails complying to 2010 SFGC Section 1012, and to change the swing of the door hardware as suitable for egress. As the current Construction Cost of this project is below the \$132,536.28 valuation threshold, does DBI concur that the existing stairs may remain with upgrades to the handrail and door? Will an Unreasonable Hardship Request be required for this item?

DBIS/SFFD RESPONSE: Two handrails will be required. The existing stairs with roughly 7'-0" x 8'-0" nosing and okay fit remain.

5. EXISTING RAMP
The existing ramp at the second floor of the Pizza Parlor does not currently conform to 2010 San Francisco Building Code due to length and slope. This ramp is framed in steel, along with the majority of the second floor framing and would require considerable cost to reform and repair. The current scope of work proposes to keep the existing ramp and provide an upgrade in the form of new stairs. As the current Construction Cost of this project is below the \$132,536.28 valuation threshold, does DBI concur that the existing ramp may remain with the upgrade of the additional handrail? Will an Unreasonable Hardship Request be required for this item?

DBIS/SFFD RESPONSE: The existing ramp is okay to remain. *Rest of project to be verified during plan check.*

6. OCCUPANCY
Will it be possible to have the space formerly used as the Pizza Parlor accessible via a separate entrance from the rest of the building in order to have this space operate with lower occupancy when the entire building is not open? When only this space is active, patrons would be limited in utilizing the single existing only used on this floor, capping max party of this space for these uses of 45 people.

Jason Anderson - 275 8th Street - San Francisco CA 94103 - 415.633.9122 - jason@naco.com

5 PREAPPLICATION MEETING NOTES

Jason Anderson - 275 8th Street - San Francisco CA 94103 - 415.633.9122 - jason@naco.com

Does DBI concur that this space may be used separately without opening the rest of the lounge?
Will any additional signage be required for this purpose?

DBIS/SFFD RESPONSE: Per SFGC 1021.2, Assembly occupancy with 49 occupants and 75-foot level distance may have a single exit. Travel distance appears to be greater than 75 feet, therefore a second exit will be required.

CONCLUSIONS (SEE RESPONSES ABOVE)

Mr. Jeffrey Ma, Building Permit Engineer, Department of Building Inspection Date: 9/6/11

Mr. Don Fields, Captain, San Francisco Fire Department Date: 9/6/11

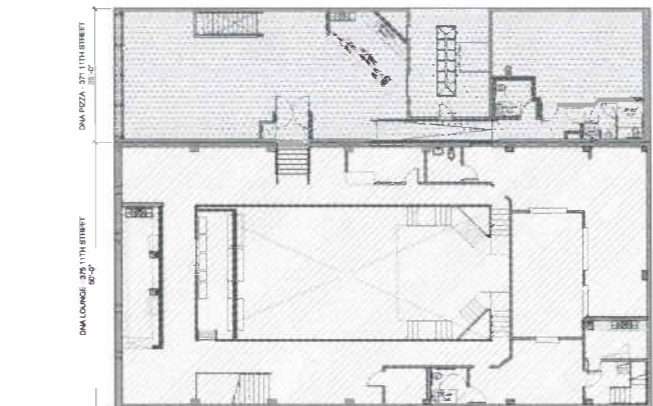
Yours,

Jason Anderson

cc: File 1107

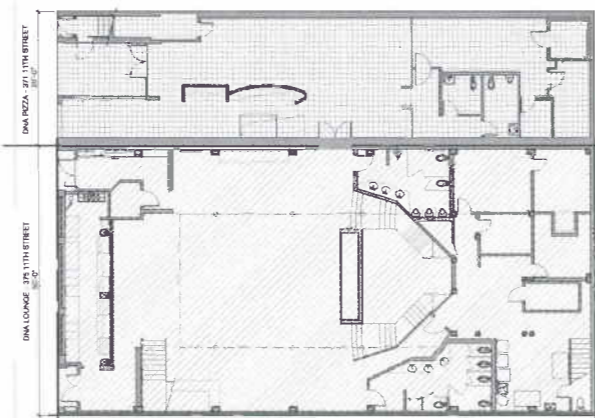
Enclosure: Revised A0.1 Sheet

Jason Anderson - 275 8th Street - San Francisco CA 94103 - 415.633.9122 - jason@naco.com



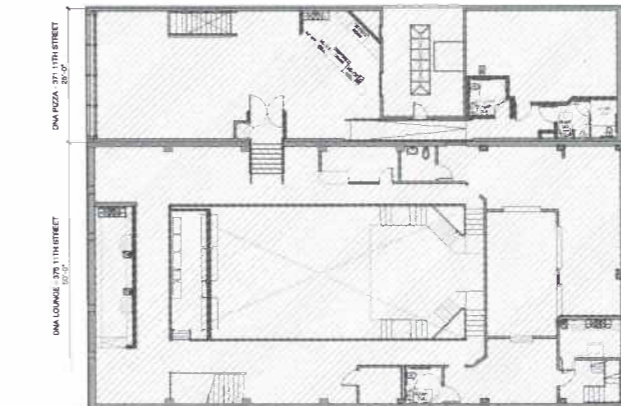
2 SECOND FLOOR EXISTING USE PLAN

1/16" = 1'-0"



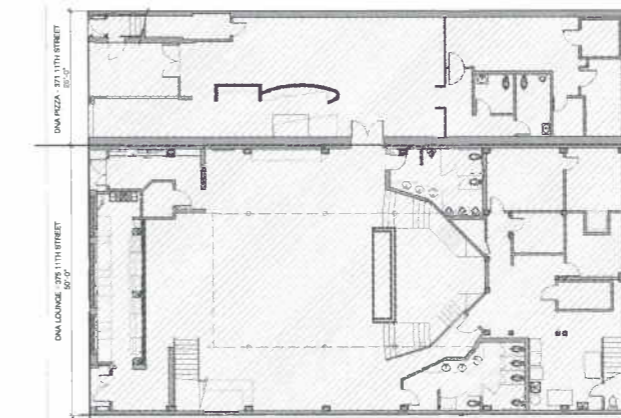
1 GROUND FLOOR EXISTING USE PLAN

1/16" = 1'-0"



3 SECOND FLOOR PROPOSED USE PLAN

1/16" = 1'-0"



4 GROUND FLOOR PROPOSED USE PLAN

1/16" = 1'-0"

SYMBOLS

- TYPE B OCCUPANCY ART GALLERY (CURRENTLY VACANT)
- TYPE B OCCUPANCY RESTAURANT
- TYPE A-2 OCCUPANCY NIGHTCLUB W/ FOOD
- PLAN NORTH

Architect	Consultants
	Consultants

Key Plan

Drawing Record	
Issue/ Submission	Date
OUTREACH MEETING	09-13-11
CU HEARING/INTAKE	09-22-11
PLANNING COMMISSION	01-04-12

Project
DNA LOUNGE
375 Eleventh Street
San Francisco, CA 94103

Sheet
EXISTING/PROPOSED
USE &
PREAPPLICATION NOTES
A0.2

Sequence
PLOT DATE:

Architect	Consultants
	Consultants

Key Plan

Drawing Record	
Issue/ Submission	Date
OUTREACH MEETING	09-13-11
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PLANNING COMMISSION	01-04-12

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Sheet

EXISTING &
 DEMOLITION PLANS
A1.1

Sequence

PLOT DATE:

GENERAL DEMOLITION NOTES

- M. ALL EXISTING HVAC EQUIPMENT AND DUCTWORK TO BE MODIFIED SHALL BE DISASSEMBLED BACK TO THE SHAFT, U.O.N. REFER TO ARCHITECTURAL DRAWINGS FOR DESIGN INTENT.
- N. SEE POWER AND COMMUNICATION PLAN, FOR EXTENT OF NEW RECEPTACLES. ALL UNUSED EXISTING RECEPTACLES SHALL BE CAPPED, FLUSH, WITH WIRING/CABLES PULLED BACK TO POINT OF ORIGIN. GENERAL CONTRACTOR TO COORDINATE THE EXTENT OF THE WORK.
- P. DAMAGE OR DISTURBANCE AND ALL DEMOLITION IN EXCESS OF THAT REQUIRED TO THE EXISTING BUILDING OR ANY IMPAIRMENT OF FACILITIES DESIGNATED TO REMAIN, SHALL BE PROMPTLY RESTORED, REPAIRED, OR REPLACED TO MATCH EXISTING AT NO COST TO OWNER OR TENANT. WHERE EXISTING CONSTRUCTION IS DISTURBED BY DEMOLITION, IT SHALL BE REPAIRED AND/OR PATCHED TO MATCH EXISTING ADJACENT CONSTRUCTION, OR AS SPECIFICALLY DIRECTED IN THE CONSTRUCTION DOCUMENTS.
- Q. CORRECT ANY DEFECTS IN EXISTING BUILDING CONSTRUCTION WHICH AFFECT THE SCOPE OF WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT GYPSUM BOARD, SLOPED SURFACES AND ANY DETERIORATED OR ROTTED MATERIAL. SAND BACK AND COPPER TREAT ALL AREAS OF DRY ROT EXPOSED IN THE DEMOLITION PROCESS. PATCH AND REPAIR SURFACES TO MATCH, ADJACENT, ADJOINING SURFACES.
- R. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY THE SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.
- S. NOISE TO BE KEPT TO A REASONABLE MINIMUM AT ALL TIMES. HIGH NOISE AND/OR IMPACT OPERATIONS TO BE APPROVED BY OWNER.

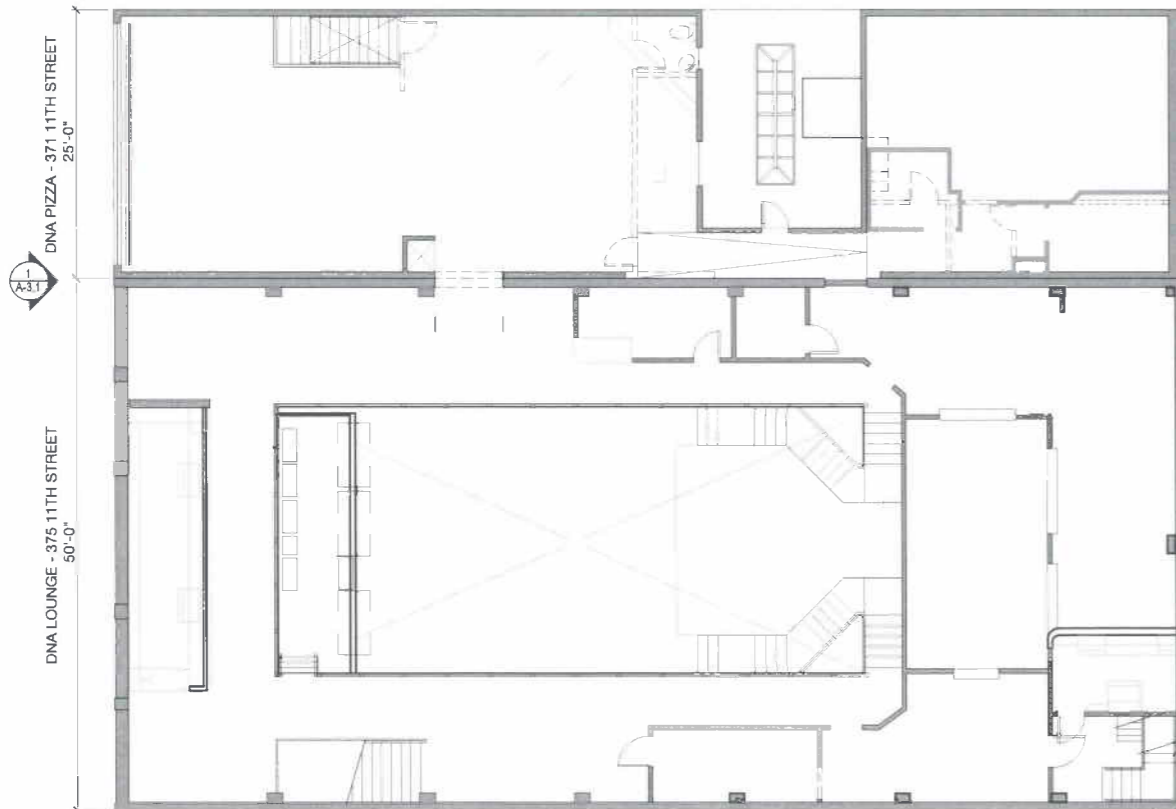
GENERAL DEMOLITION NOTES

- A. USE EXTREME CAUTION WHEN DEMOLISHING ADJACENT TO ELEMENTS WHICH ARE TO REMAIN. PROVIDE TEMPORARY STRUCTURAL SUPPORT AS NECESSARY.
- B. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK. PATCH, FIRESTOP AND REPAIR REMAINING ADJACENT SURFACES/ELEMENTS AS REQUIRED TO MATCH (E) ADJACENT CONSTRUCTION AND FINISH (OR PREPARE FOR NEW FINISH AS SPECIFIED).
- C. STRIP FINISH FROM ALL (E) WINDOWS, WINDOW FRAMES, DOOR FRAMES, AND MOLDING TO REMAIN.
- D. PROVIDE TEMPORARY PARTITIONS TO SECURE WORK AREAS. AREAS OUTSIDE AREA OF WORK TO BE DUST & DEBRIS FREE AT ALL TIMES. CONTRACTOR TO MAKE NECESSARY SAFETY ARRANGEMENTS TO PREVENT DEBRIS FROM FALLING ONTO AREAS ADJACENT TO OR SURROUNDING PROJECT SITE.
- E. DEMOLITION IS NOT LIMITED ONLY TO WHAT IS SHOWN. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE (FUTURE) CONSTRUCTION DOCUMENT SET. DRAWINGS MAY OR MAY NOT INDICATE ALL MOVEABLE ELEMENTS TO BE REMOVED.
- F. REMOVE FROM SITE AND LEGALLY DISPOSE OF ALL REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS ON A DAILY BASIS. THE CONTRACTOR SHALL PROVIDE DUMP TICKETS TO THE OWNER UPON REQUEST. EXTERIOR TO REMAIN FREE OF DEBRIS AT ALL TIMES. REVIEW LOCATION AND DURATION OF DUMPSTERS AND OTHER TRASH CONTAINERS WITH OWNER. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED. ALL CONSTRUCTION DEBRIS SHALL BE COMPLETELY REMOVED FROM THE SITE.
- G. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY, AND IN A CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION.
- H. REMOVE THE EXISTING FLOOR FINISH MATERIALS WHERE INDICATED, PATCH AND REPAIR THE SUBSURFACE TO RECEIVE THE NEW FLOOR FINISH AS REQUIRED.
- L. ALL EXISTING CEILING SYSTEMS AND LIGHTING FIXTURES TO BE DISCARDED, U.O.N. SEE REFLECTED CEILING PLAN FOR RELOCATION AND ADJUSTMENTS. ITEMS TO BE RELOCATED ARE TO BE PROPERLY STORED & PROTECTED DURING INTERIM STAGES.

SHEET KEYNOTES

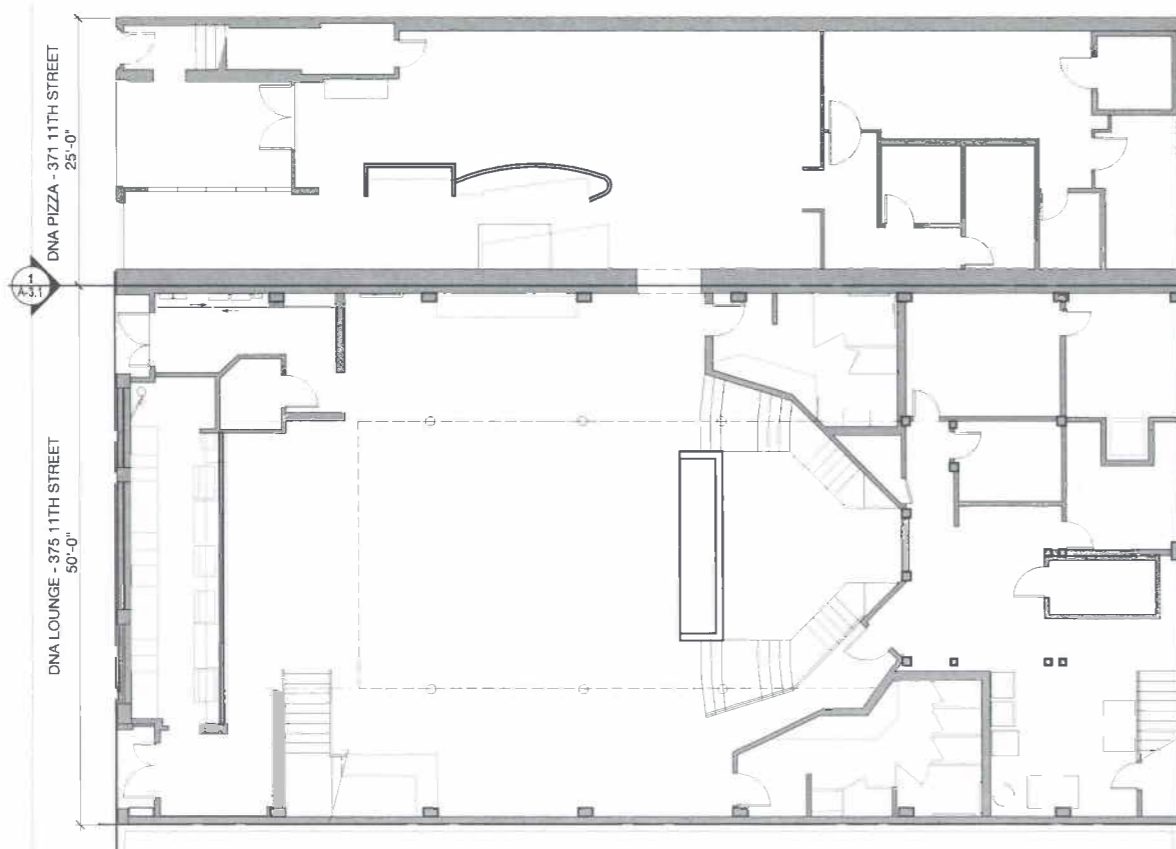
SYMBOLS

-  NEW CONSTRUCTION
-  EXISTING CONSTRUCTION
-  DEMOLITION WALL



2 SECOND FLOOR DEMOLITION PLAN

1/8"=1'



1 GROUND FLOOR DEMOLITION PLAN

1/8"=1'

Issue/ Submission	Date
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PLANNING COMMISSION	01-04-12

DNA LOUNGE
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San Francisco, CA 94103

PROPOSED PLANS
A2.1

GENERAL CONSTRUCTION NOTES

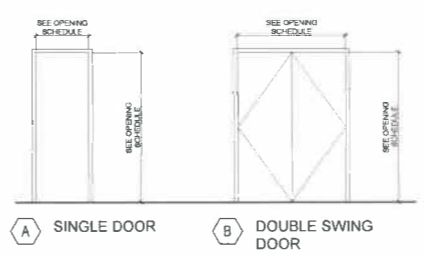
- A. ALL EXTERIOR WALLS (E) TO REMAIN, U.O.N.
- B. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING MATERIAL
- C. COORDINATE ALL HARDWARE WITH OWNER
- D. CONTRACTOR TO COORDINATE MATERIAL, FINISH & COLOR OF ALL DOORS AND WINDOWS WITH OWNER

SHEET KEYNOTES

- ① (E) STAIR WITH (N) HANDRAILS PER CBC SEC 1012
- ② (N) STAIR WITH (N) HANDRAILS PER CBC SEC 1012
- ③ (E) RAMP WITH (N) HANDRAILS PER CBC SEC 1012
- ④ (N) BAR

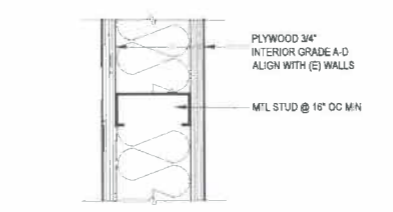
OPENING SCHEDULE

OPENING MARK	INTERIOR/ EXTERIOR	FIRE RATING	DOOR TYPE	OPENING WIDTH	OPENING HEIGHT	DOOR THICKNESS	CONSTRUCTION	FACING/ FINISH	SINGLE / PAIR	GLAZING	HARDWARE				SIGNAGE	
											LOCKSET	PANIC	CLOSER	KICKPLATE	DETAIL #	VERBAGE
FIRST FLOOR																
ALL DOORS EXISTING TO REMAIN UNLESS OTHERWISE NOTED																
F1	EXT	NR	A	6'-0"	6'-8"	1-3/4"	SC	P	PR	-	EXIT	Y	-	-	-	-
F2	INT	NR	B	3'-0"	6'-8"	1-3/4"	SC	P	SG	-	COM	-	-	-	-	-
SECOND FLOOR																
ALL DOORS EXISTING TO REMAIN UNLESS OTHERWISE NOTED																
S1	INT	NR	B	6'-0"	6'-8"	1-3/4"	SC	P	PR	-	COM	-	-	-	-	-
S2	INT	NR	A	3'-0"	6'-8"	1-3/4"	SC	P	SG	-	RSTRM	-	-	Y	-	-
S3	INT	NR	A	3'-0"	6'-8"	1-3/4"	SC	P	SG	-	RSTRM	-	-	Y	-	-
S4	INT	NR	A	3'-0"	6'-8"	1-3/4"	SC	P	SG	-	RSTRM	-	-	Y	-	-



4 OPENING TYPES - DOORS

1/8"=1'

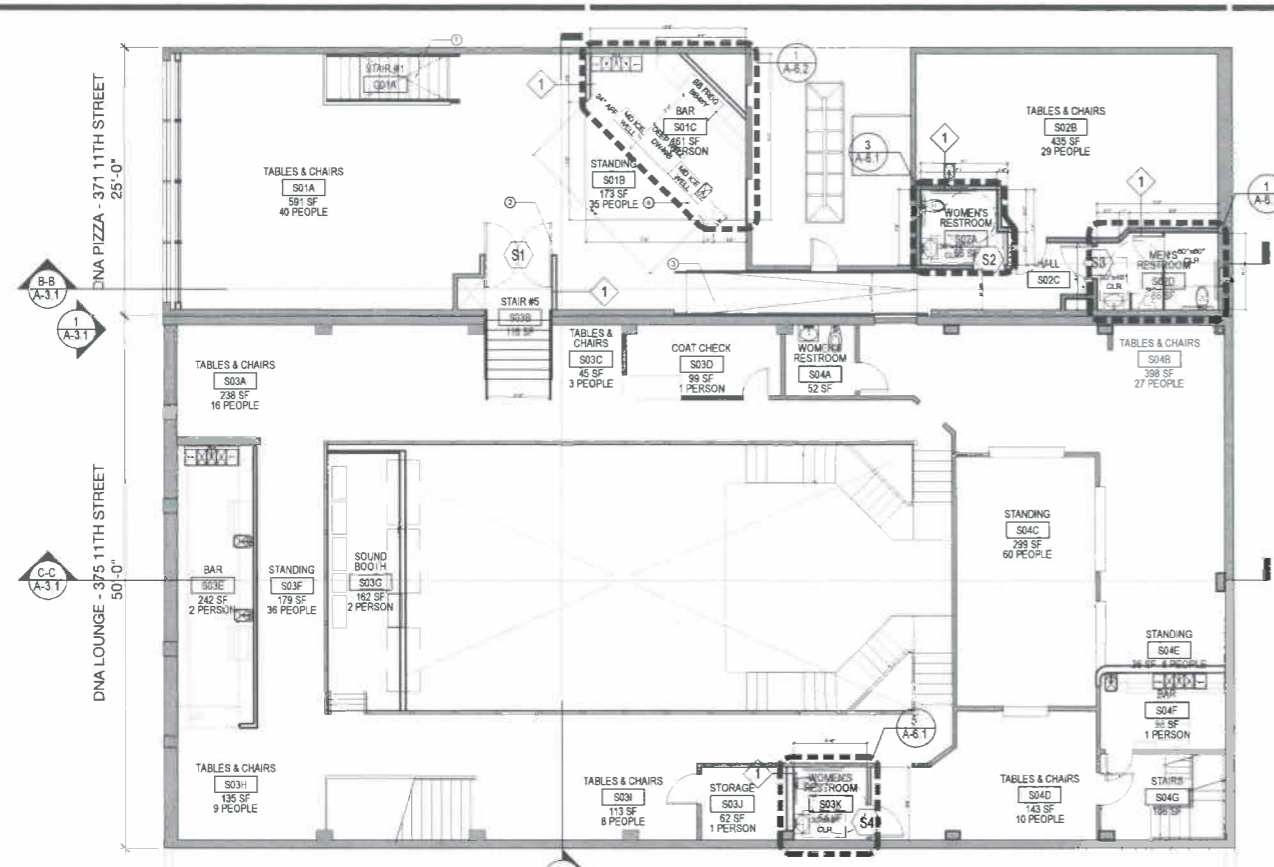


3 WALL TYPES

1/8"=1'

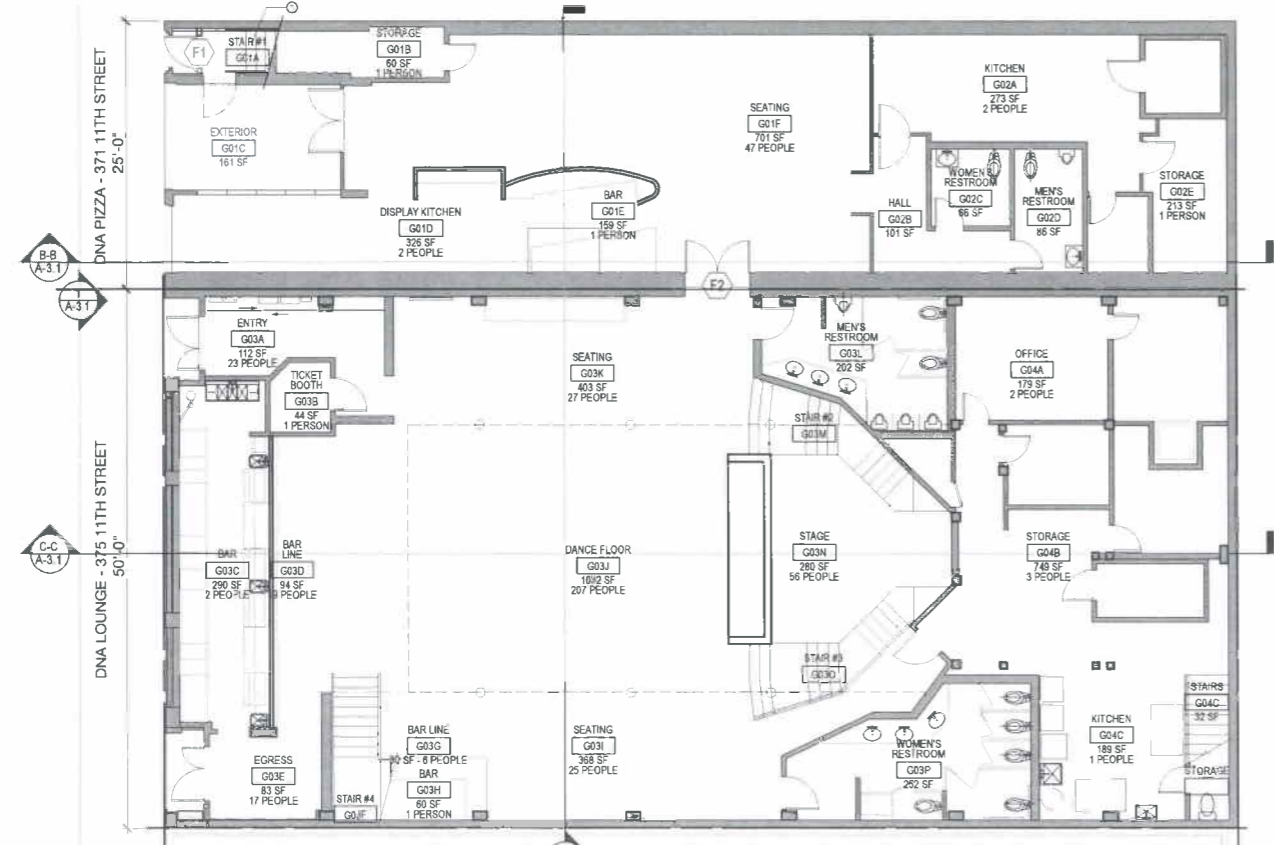
SYMBOLS

- ===== NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- ◆ WALL TYPE REFERENCE
- ⊗ DOOR REFERENCE



2 PROPOSED SECOND FLOOR PLAN

1/8"=1'



1 PROPOSED GROUND FLOOR PLAN

1/8"=1'

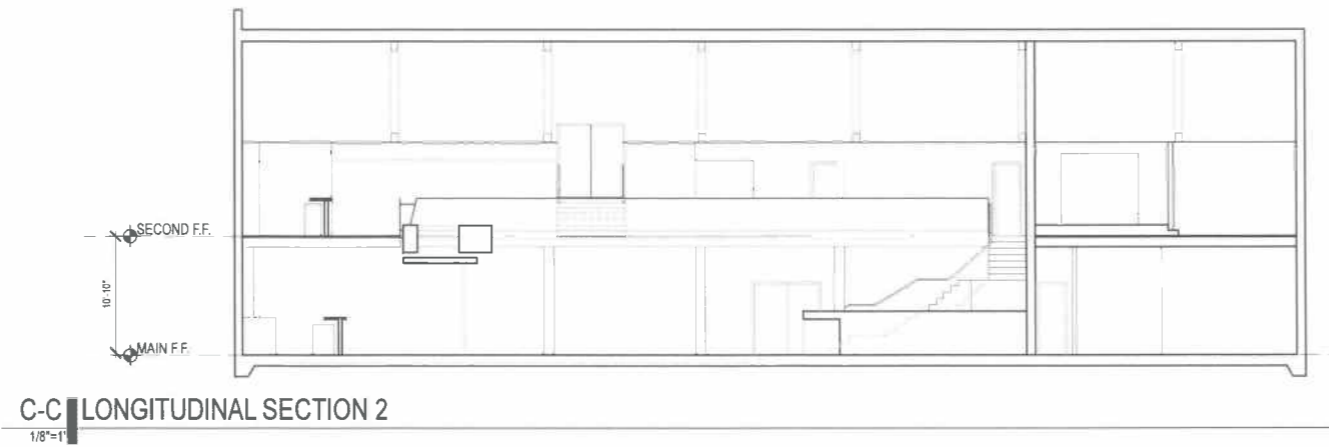


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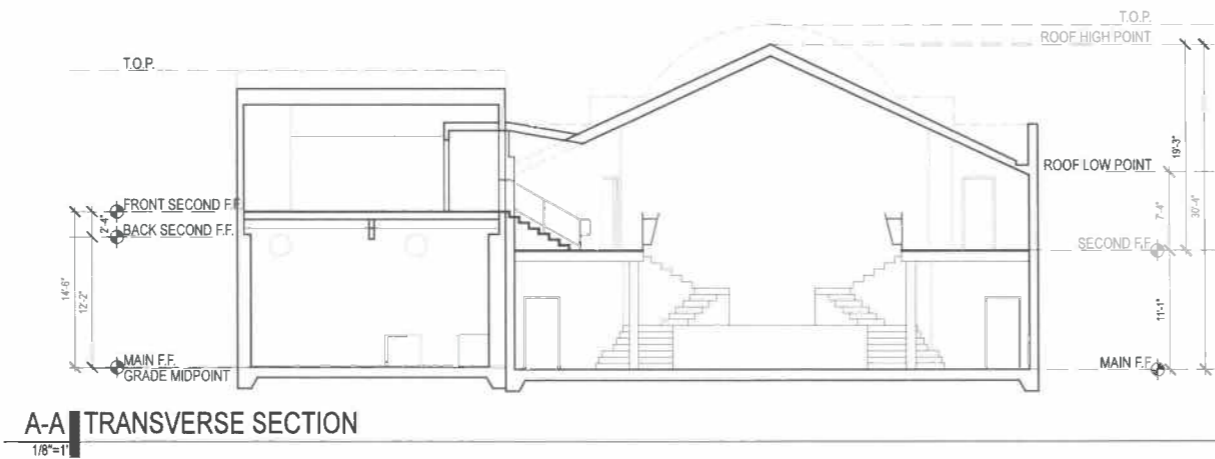
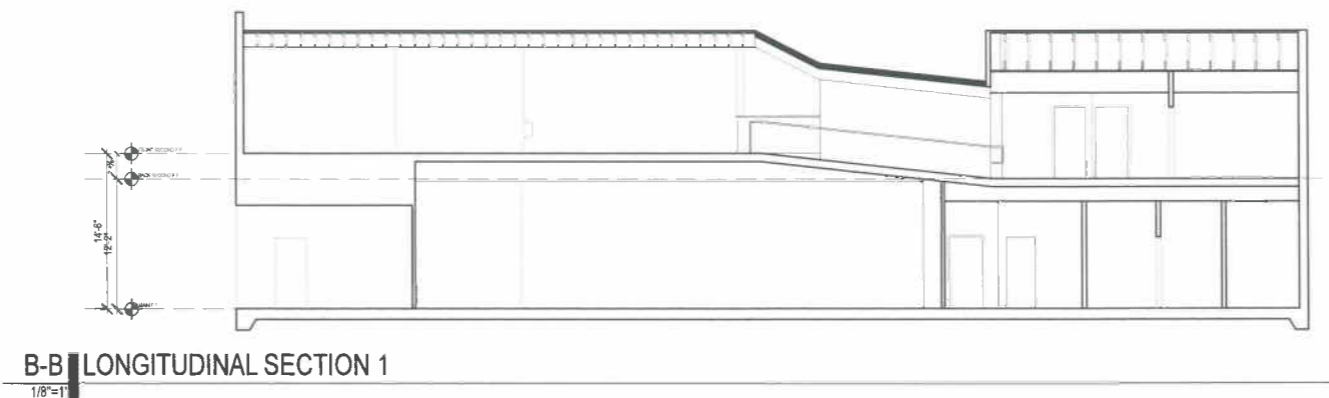
GENERAL CONSTRUCTION NOTES

A. NO EXTERIOR WORK PROPOSED.

Architect



SHEET KEYNOTES



SYMBOLS

PARAPET: +0'-0" ELEVATION MARK

Architect	Consultants
	Consultants

Key Plan

Drawing Record

Issue/ Submission	Date
OUTREACH MEETING	09-13-11
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PLANNING COMMISSION	01-04-12

Project

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Sheet

EXTERIOR ELEVATION
A3.1

Sequence

PLOT DATE:

Architect	Consultants
	Consultants

Key Plan

Drawing Record	
Issue/ Submission	Date
OUTREACH MEETING	09-13-11
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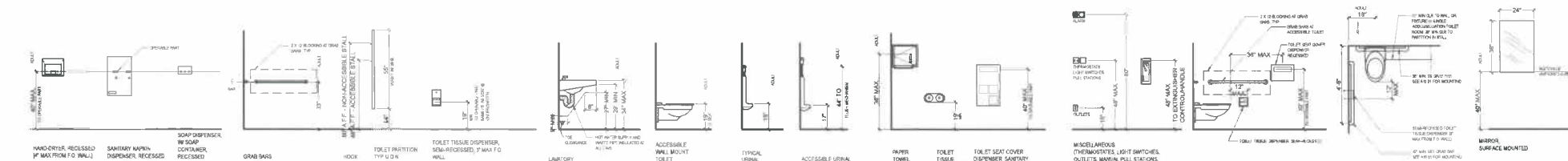
Sheet

ENLARGED RESTROOM
 PLANS & ELEVATIONS
A6.1

Sequence
 PLOT DATE:

7 | FIXTURE AND ACCESSORY MOUNTING HEIGHTS: TYP. U.O.N.

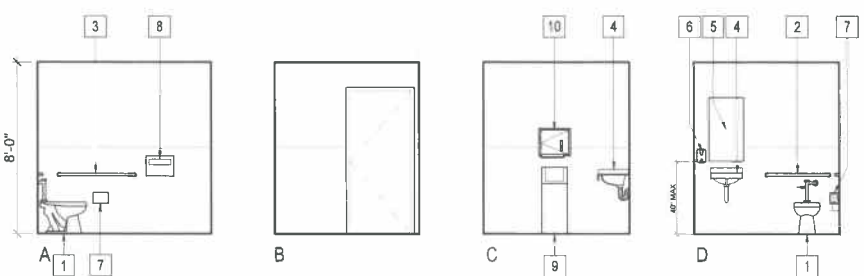
1/4"=1'-0"



6 | NEW WOMEN'S RESTROOM S03K - ELEVATIONS

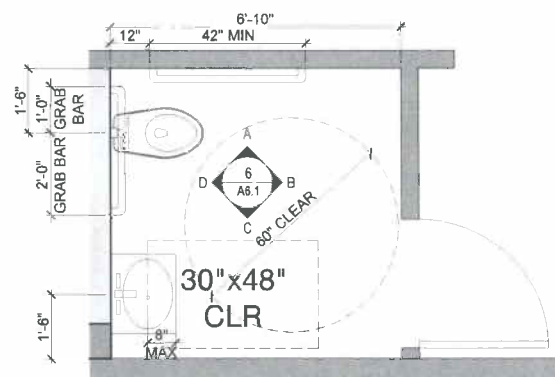
1/4"=1'-0"

NOTE: SEE 7/A.6-1 FOR MOUNTING HEIGHTS - TYP



5 | NEW WOMEN'S RESTROOM S03K - PLANS

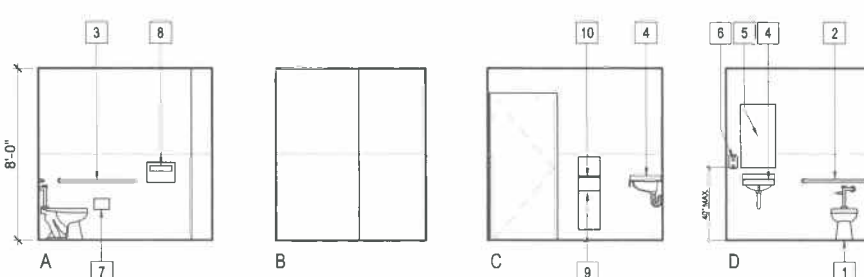
1/2"=1'-0"



4 | NEW WOMEN'S RESTROOM S02A - ELEVATIONS

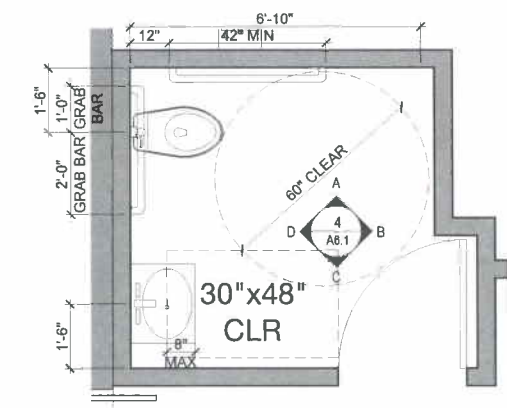
1/4"=1'-0"

NOTE: SEE 7/A.6-1 FOR MOUNTING HEIGHTS - TYP



3 | NEW WOMEN'S RESTROOM S02A - PLANS

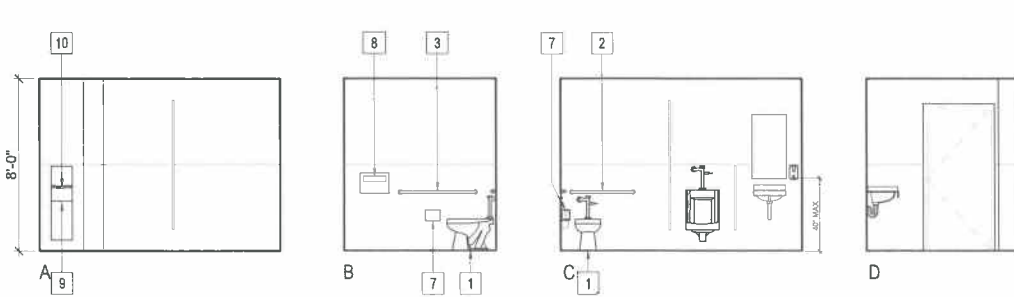
1/2"=1'-0"



2 | NEW MEN'S RESTROOM S02D- ELEVATIONS

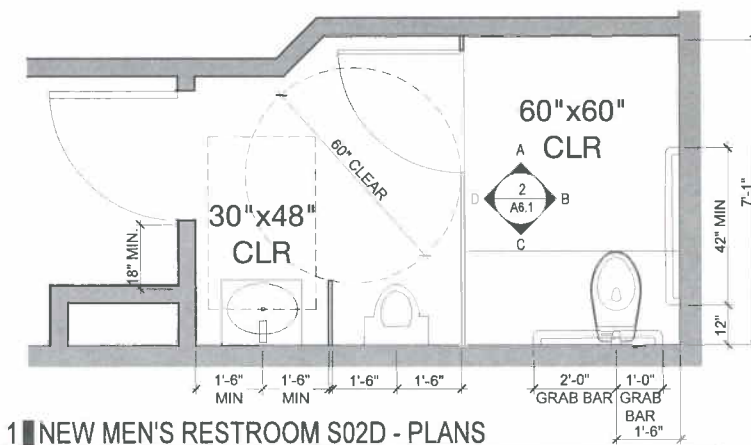
1/4"=1'-0"

NOTE: SEE 7/A.6-1 FOR MOUNTING HEIGHTS - TYP



1 | NEW MEN'S RESTROOM S02D - PLANS

1/2"=1'-0"



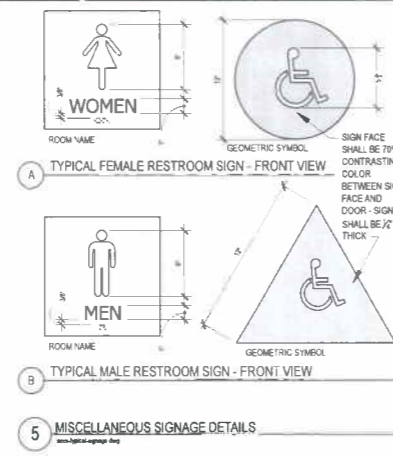
FIXTURE / EQUIPMENT LIST

- | | |
|---|-------------------------------|
| 1 ACCESSIBLE TOILET - FLUSH ON WIDE SIDE | 6 SOAP DISPENSER |
| 2 36" GRAB BAR WITH 2 x 10 BLOCKING | 7 TOILET PAPER DISPENSER |
| 3 42" GRAB BAR WITH 2 x 10 BLOCKING | 8 TOILET SEAT COVER DISPENSER |
| 4 ACCESSIBLE SINK W/ INSULATED DRAIN PIPE AND HW LINE | 9 TRASH RECEPTACLE |
| 5 MIRROR | 10 PAPER TOWEL DISPENSER |

SYMBOLS

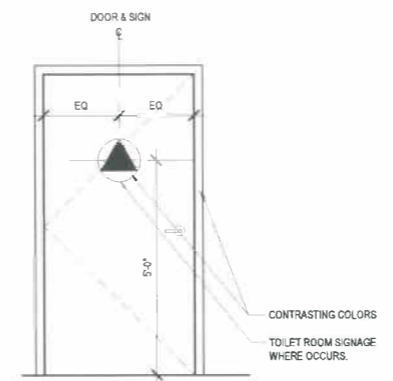
- INTERIOR ELEVATION REFERENCE
- SECTION REFERENCE
- WALL TYPE REFERENCE
- DOOR REFERENCE
- EQUIPMENT CALL OUT

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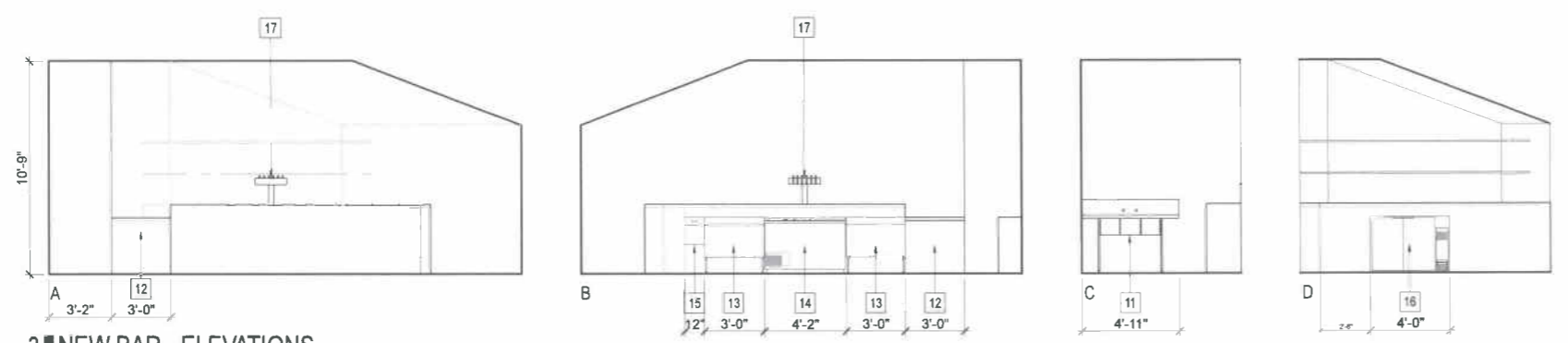
GENERAL SIGNAGE NOTES:

1. ALL SYMBOLS AND LETTERS TO BE RAISED MIN. 1/32" (0.794 mm) ABOVE SIGNPLAQUE SURFACE. TEXT TO BE SANS-SERIF-UPPERCASE ACCOMPANIED BY CALIFORNIA GRADE 2 BRAILLE (ROUNDED OR DOMED).
2. ALL SYMBOLS AND LETTERS TO HAVE A COLOR WHICH CONTRASTS WITH SIGN BACKGROUND COLOR THAT MUST BE 70% MINIMUM AND HAVE A NON-GLARE FINISH.
3. ALL DOOR-MOUNTED SIGNS TO HAVE A COLOR WHICH CONTRASTS WITH DOOR COLOR.
4. ALL WALL-MOUNTED PLAQUES TO HAVE A COLOR WHICH CONTRASTS WITH WALL.
5. REFER TO ELEVATION 4 ON THIS SHEET FOR SIGNPLAQUE LOCATION INFO.
6. WHERE GLAZING OCCURS ADJACENT TO DOOR, ATTACH PLAQUE WITH ADHESIVE TO GLAZING, WITH BACK PLATE ON OPPOSITE SIDE OF GLAZING.
7. RAISED CHARACTER SHALL BE A MINIMUM OF 5/8 INCH (15.9 mm) AND A MAXIMUM OF 2 INCHES (51 mm) HIGH.
8. CHARACTERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3.5 AND 1.1 AND A STROKE WIDTH-TO-HEIGHT RATIO OF BETWEEN 1.5 AND 1.10.
9. CONTRACTED CALIFORNIA GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/16 INCH (2.54 mm) ON CENTERS IN EACH CELL WITH 2/16 INCH (0.63 mm) SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/16 INCH (0.63 mm) ABOVE THE BACKGROUND. 1117B.5.6. ROUNDED OR DOMED CALIFORNIA BRAILLE DOTS, EACH DISTINCT AND SEPARATE.



4 TYPICAL SIGNAGE LOCATION
SCALE: 1/2" = 1'-0" accs-typ-signage-location.dwg

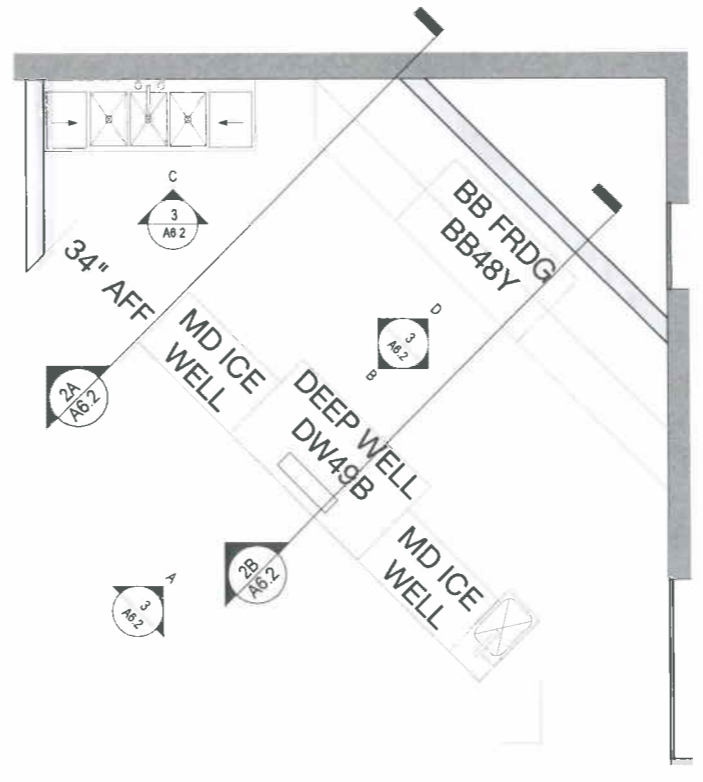
5 MISCELLANEOUS SIGNAGE DETAILS



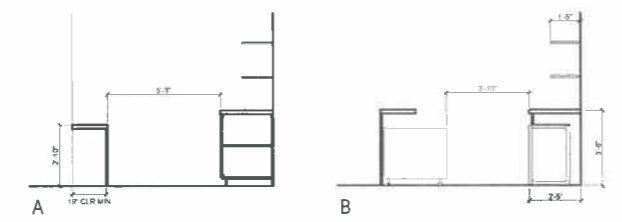
3 NEW BAR - ELEVATIONS
1/4" = 1'-0"

FIXTURE / EQUIPMENT LIST

- 11 3 COMPARTMENT SINK W/ 2 DRAINBOARDS
- 12 34" AFF COUNTER SECTION
- 13 ICE WELL
- 14 REACH-IN BEVERAGE DEEP WELL DW49B
- 15 WALL MOUNT HAND SINK
- 16 BAR BACK FRIDGE BEVAIR BB48Y
- 17 SIX TAP DRAFT TOWER



1 NEW BAR - ENLARGED PLAN
1/2" = 1'-0"



2 NEW BAR - SECTIONS
1/4" = 1'-0"

SYMBOLS

- INTERIOR ELEVATION REFERENCE
- SECTION REFERENCE
- WALL TYPE REFERENCE
- DOOR REFERENCE
- EQUIPMENT CALL OUT

Architect	Consultants
	Consultants

Key Plan

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Sheet
ENLARGED BAR PLANS & ELEVATIONS
A6.2
Sequence

PLOT DATE:

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I. DESIGN CRITERIA

A. APPLICABLE CODE: CALIFORNIA BUILDING CODE, 2007 EDITION

B. THIS PROJECT IS LIMITED TO THE INSTALLATION OF A NEW STAIR BETWEEN BUILDINGS AND REFORCING OF NEW OPENINGS CUT IN THE EXISTING CONCRETE WALL OF ONE BUILDING AND THE EXISTING TIMBER FRAMED WALL OF THE ADJACENT BUILDING. NO OTHER CHANGES ARE PROPOSED TO THE EXISTING GRAVITY OR LATERAL SYSTEMS OF EITHER BUILDING.

II. ROUGH FRAMING SPECIFICATION

A. SEE "TIMBER CONNECTORS AND FRAMING NOTES ON 12-S301 FOR ADDITIONAL ROUGH FRAMING REQUIREMENTS."

B. WOOD FRAMING: UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS PROVIDE LUMBER OF THE GRADES AND SPECIES LISTED BELOW FOR THE VARIOUS PURPOSES. ALL LUMBER SHALL HAVE A MOISTURE CONTENT NOT EXCEEDING 19% AT TIME OF INSTALLATION UNLESS OTHERWISE NOTED.

1. STUDS, BLOCKING, BACKING AND NAILERS (2 TO 4 INCHES THICK, 2 TO 4 INCHES WIDE): WCLIB NO. 2 GRADE DOUGLAS FIR

2. STUDS, BLOCKING, BACKING AND NAILERS (2 TO 4 INCHES THICK, 5 INCHES AND WIDER): WCLIB NO. 2 GRADE DOUGLAS FIR

3. PLATES: WCLIB NO. 1 GRADE DOUGLAS FIR

C. MANUFACTURED WOOD FRAMING

1. JOISTS, RIM JOISTS, BEAMS, AND RAFTERS: MEMBER DESIGNATIONS SHOWN ON DRAWINGS REFER TO PRODUCTS MANUFACTURED BY TRUSJOIST, A WEYERHAEUSER BUSINESS (PHONE: 800.628.3997). PRODUCT SHOWN ON DRAWINGS MAY INCLUDE TRUS JOIST T.R., TIMBERSTRAND L.S.L., PARALLAM P.S.L. AND MICROLLAM L.V.L. AITC APPROVED PRODUCTS WITH EQUAL OR BETTER MATERIAL AND SECTION PROPERTIES WILL BE CONSIDERED FOR SUBSTITUTION PENDING SUBMITTAL REVIEW. OTHER MANUFACTURERS INCLUDE STANDARD STRUCTURES INC. (PHONE: 800.862.4936), ROSBORO (PHONE: 888.393.2304), 336.999.1000), GEORGIA-PACIFIC WOOD PRODUCTS (PHONE: 800.284.5347), PACIFIC WOODTECH CORP. (PHONE: 360.707.2200)

E. PLYWOOD

1. WALL SHEATHING: PS1, APA STRUCTURAL I RATED SHEATHING, EXPOSURE 1, 5 PLYS MINIMUM, 15/32" THICKNESS

2. FLOOR SHEATHING: 3/4" MINIMUM PS1, APA RATED STURD-I-FLOOR, EXPOSURE 1, 3/4" THICKNESS U.O.N. PANEL EDGES SHALL BE TONGUE AND GROOVE

F. WOOD CONNECTORS AND FASTENERS

1. PROVIDE CONNECTORS AND FASTENERS AS REQUIRED TO COMPLETE WORK

2. NAILS: F5 FT-N-10SB COMMON WIRE, TYPICAL. COMMON WIRE, GALVANIZED, FOR PLYWOOD ROOF SHEATHING. RING SHANK NAILS FOR PLYWOOD FLOOR SHEATHING

3. BOLTS: STANDARD MILD STEEL, SQUARE OR HEXAGONAL HEAD MACHINE BOLTS WITH MATCHING NUTS AND CUT WASHERS, U.O.N. CARBIDE BOLTS WITH SQUARE NUTS AND CUT WASHERS WHERE INDICATED

4. FRAMING CONNECTORS: BALVANIZED STEEL. DESIGNATIONS SHOWN ON DRAWINGS REFER TO PRODUCTS OF SIMPSON STRONG-TIE COMPANY. PRODUCTS FURNISHED SHALL HAVE ICC APPROVED LOAD VALUES AT LEAST EQUAL TO THOSE OF PRODUCTS DESIGNATED FOR COMPARABLE USE. ACCEPTABLE MANUFACTURERS ARE SIMPSON STRONG-TIE CO., K.C. METAL OR SILVER METAL

XII. STRUCTURAL STEEL SPECIFICATION

A. GENERAL

1. CODE: COMPLY WITH AISC "MANUAL OF STEEL CONSTRUCTION" NINTH EDITION FOR ALL TOLERANCES, EDGE DISTANCES, SPACING, MINIMUM WELD SIZES AND OTHER DETAILS AND INFORMATION NOT PROVIDED.

B. MATERIALS

1. GENERAL: ALL STEEL SHALL BE IDENTIFIED AS REQUIRED BY CBC SECTION 2203A.2. STEEL WHICH IS NOT PROPERLY IDENTIFIED SHALL BE TESTED TO SHOW CONFORMANCE WITH REQUIREMENTS OF APPLICABLE ASTM STANDARD AT CONTRACTOR'S EXPENSE.

2. SHAPES: PLATES (U.O.N.): ASTM A992

3. MACHINE BOLTS: ASTM A307

4. STRUCTURAL TUBES: ASTM A500, GRADE B (F_y = 46 ksi)

5. WELDING FILLER MATERIAL: AWS D1.1, TYPE REQUIRED FOR BASE METALS BEING WELDED. ELECTRODES SHALL BE E70XX, LOW HYDROGEN, UNLESS OTHERWISE

D. EXECUTION

1. FABRICATION

a. FABRICATE STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH AISC SPECIFICATIONS, AISC CODE AND THE 2001 CALIFORNIA BUILDING CODE

b. DRILL (DO NOT PUNCH) HOLES CENTERED 8" OR LESS FROM AN EDGE TO BE COMPLETE PENETRATION WELDED

c. ALL WELDS SHALL BE IN ACCORDANCE WITH AISC SPECIFICATION USING MANUAL SHIELDED METAL ARC WELDING METHOD (SMAW) OR FLUX CORED ARC WELDING (FCAW) METHOD IN ACCORDANCE WITH AWS D1.1. WELD IN ACCORDANCE WITH WELDING PROCEDURE SPECIFICATIONS (WPS) PREPARED BY FABRICATOR.

E. QUALITY ASSURANCE

1. QUALIFY WELDING PROCEDURES AND WELDING OPERATORS IN ACCORDANCE WITH AWS D1.1 "QUALIFICATION" REQUIREMENTS

III. GENERAL NOTES

A. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (HEREAFTER REFERRED TO AS "CONTRACTOR") AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK

B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES PRIOR TO THE START OF AND THROUGHOUT CONSTRUCTION

C. DO NOT USE SCALED DIMENSIONS. USE WRITTEN DIMENSIONS OR WHERE NO DIMENSION IS PROVIDED, CONSULT WITH THE ARCHITECT OR VERIFY DIMENSION IN THE FIELD FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH THE WORK

D. DETAILS AND NOTES SHOWN ON THESE DRAWINGS SHALL APPLY AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS

E. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF OPENINGS, HAND RAILS, AND DIMENSIONS NOT PROVIDED ON THE STRUCTURAL DRAWINGS

F. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW PRIOR TO STRUCTURAL FABRICATIONS OF STEEL ELEMENTS. PRIOR TO SUBMITTAL

G. THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SUBMITTED TO THE ARCHITECT FOR REVIEW DO NOT CONSTITUTE "IN WRITING". ALL REQUESTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE OWNER

H. NO STRUCTURAL MEMBER WILL BE CUT FOR PIPES, DUCTS, ETC. UNLESS SPECIFICALLY SHOWN. OBTAIN PRIOR WRITTEN APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.

J. ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE (2009 EDITION) WITH ANY AMENDED BY THE CITY OF SAN FRANCISCO

IV. MEANS AND METHODS

A. THE CONTRACT DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INCLUDE THE MEANS, METHODS, PROCEDURES OR SEQUENCES OF CONSTRUCTION TO MAINTAINING AND ENSURING THE INTEGRITY OF THE STRUCTURE AND SAFETY OF PERSONNEL THROUGHOUT THE CONSTRUCTION PERIOD IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY

DEVICES, INCLUDING SHORING, GUYS AND BRACING. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, REGULATIONS AND ORDINANCES.

V. DEMOLITION, SHORING AND TEMPORARY LATERAL BRACING

A. SAFETY OF PERSONNEL AND PROPERTY DURING ANY DEMOLITION WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE DEMOLITION BEGINS, THE CONTRACTOR SHALL INSPECT EXISTING CONSTRUCTION TO IDENTIFY DEFECTS AND STRUCTURAL WEAKNESSES WHICH MAY AFFECT THE SAFETY OF HIS WORK. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT THESE DEFECTS AND WEAKNESSES ARE REMEDIATED PRIOR TO PROCEEDING WITH THE DEMOLITION. THE STRUCTURAL ENGINEER MAKES NO REPRESENTATION AS TO STRUCTURAL INTEGRITY OF EXISTING STRUCTURES

B. THE CONTRACTOR SHALL REVIEW THE NEED FOR TEMPORARY SHORING AND BRACING PRIOR TO DEMOLITION OR ERECTION OF WALLS, FLOORS, ROOFS, ETC. NOTES REFERRING TO SHORING ON DRAWINGS DO NOT INCLUDE ALL SHORING NECESSARY TO COMPLETE THE WORK

VI. HAZARDOUS MATERIALS IN EXISTING CONSTRUCTION

DAEDALUS ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON THE SITE

A. THE PRESENCE OF HAZARDOUS MATERIALS. THE OWNER WILL PROVIDE THE RESULTS OF SUCH INVESTIGATIONS IF THEY HAVE BEEN PERFORMED. A DAEDALUS HAS NOT PERFORMED INVESTIGATIONS TO DETERMINE

B. PERSONNEL WITHIN THE WORK AREA ARE PROTECTED FROM EXPOSURE TO HAZARDOUS MATERIALS. IF HAZARDOUS MATERIALS ARE DISCOVERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND CEASE WORK UNTIL CONDITIONS CAN BE MAINTAINED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS. B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT

VII. QUALITY ASSURANCE

A. THE OWNER SHALL EMPLOY A PROJECT INSPECTOR, ACCEPTABLE TO THE ENFORCEMENT AGENCY AND THE ARCHITECT, TO PROVIDE OBSERVATION OF THE CONSTRUCTION TO ENSURE COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. SEE SECTIONS 106.35, 108, AND CHAPTER 17 OF THE CALIFORNIA BUILDING CODE (CBC).

B. THE OWNER SHALL EMPLOY QUALIFIED SPECIAL INSPECTORS TO PERFORM INSPECTIONS IN ACCORDANCE WITH SECTIONS 106.35, 108, AND CHAPTER 17 PART 2 OF THE CBC AS A MINIMUM. THE ITEMS REQUIRING SPECIAL INSPECTION ON THIS PROJECT INCLUDE THE FOLLOWING:

1. STRUCTURAL STEEL WELDING

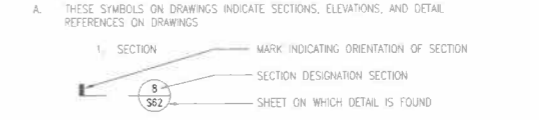
2. INSTALLATION & TESTING OF EXPANSION & GROUTED ANCHORS (IF USED)

C. SPECIAL INSPECTORS SHALL BE QUALIFIED BY TRAINING AND EXPERIENCE FOR THE REQUIRED INSPECTIONS. INSPECTORS WILL THOROUGHLY REVIEW APPLICABLE PORTIONS OF THE CONSTRUCTION DOCUMENTS. INSPECTORS WILL PERFORM ALL DUTIES AND RESPONSIBILITIES AS REQUIRED BY CBC SECTION 4-342

D. THE STRUCTURAL ENGINEER WILL PERIODICALLY REVIEW THE PROGRESS OF THE WORK FOR GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS. HOWEVER, HIS REVIEW SHALL NOT BE CONSTRUED AS SPECIAL INSPECTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR STRUCTURAL OBSERVATIONS OF THE FOLLOWING ITEMS AT LEAST 24 HOURS PRIOR TO PROCEEDING WITH WORK THAT WOULD PREVENT OBSERVATION.

1. THE COMPLETE STRUCTURAL SYSTEMS, JUST PRIOR TO INSTALLING ARCHITECTURAL FINISHES.

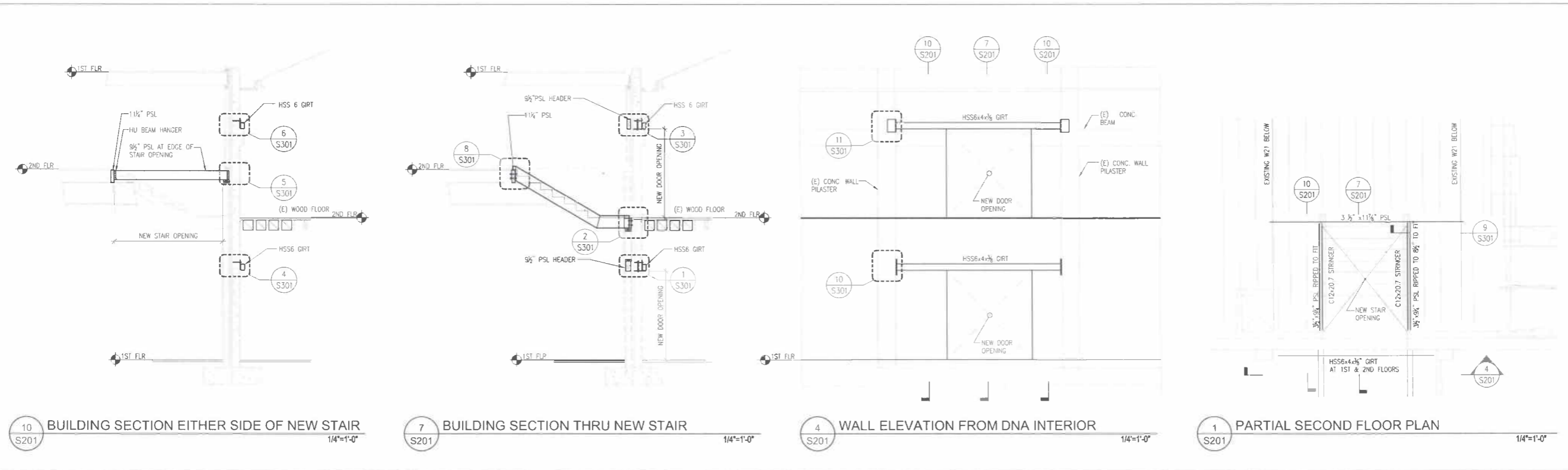
I. DRAWING SYMBOLS AND LEGEND



II. ABBREVIATIONS

THE FOLLOWING ABBREVIATIONS MAY BE USED IN THESE DRAWINGS TO DENOTE THE WORDS INDICATED.

&	AND	F.O.S.	FACE OF STUD	STL	STEEL
AT	AT	FTG	FOOT OR FEET	STR.	STRUCTURAL
CL	CENTERLINE	FTG	FOOTING	SUSP	SUSPENDED
PL	PLATE	FTG	FOOTING	SYM	SYMMETRICAL
Ø	DIAMETER	JT.	JOINT	T.O.C.	TOP OF CONCRETE
(E)	EXISTING	MAX	MAXIMUM	T.O.S.	TOP OF STEEL
(N)	NEW	M.B.	MACHINE BOLT (ASTM OR A36 STEEL)	T.O.W.	TOP OF WALL
ARCH	ARCHITECT	A307	OR A36 STEEL	TYP	TYPICAL
BLDG	BUILDING	MFR	MANUFACTURER	U.O.N.	UNLESS OTHERWISE
BLKG	BLOCKING	MIN	MINIMUM	NOTED	
BLK	BLOCK	MISC	MISCELLANEOUS	VERT.	VERTICAL
BM	BLOCKING BEAM	NOM	NOMINAL		
B.B.	BOUNDARY NAIL	MISC. A	NOT TO SCALE	W/	WITH
BOT	BOTTOM	N.W.	NORMAL WEIGHT	WD	WOOD
CLG	CEILING	O.A.	ON CENTER	WK. PT.	WORK POINT
CLR	CLEAR	O.B.	OUTSIDE DIAMETER	W/O	WITHOUT
COL	COLUMN	O.F.	OUTSIDE FACE		
CONC	CONCRETE	OPNG	OPENING		
CONN	CONNECTION	OPP	OPPOSITE		
CONSTR	CONSTRUCTION	PL	PLATE		
CONT	CONTINUOUS	PLYWD	PLYWOOD		
DET	DETAIL				
DM	DIMENSION	RAD	RADIUS		
DWG	DRAWINGS	REF	REFERENCE		
EA	EACH	REINF	REINFORCING		
B.F	EACH FACE	REQ	REQUIRED		
EL	ELEVATION	R.O.	ROUGH OPENING		
EXIST	EXISTING	S.B.	SOLID BLOCKING		
EXP	EXPANSION	S.A.D.	SEE ARCHITECTURAL DRAWINGS		
EXT	EXTERIOR	S.J	SAWCUT JOINT		
FIN	FINISH	SHT	SHEET		
FLOOR	FLOOR	SIM	SIMILAR		
F.O.C.	FACE OF CONCRETE	SPEC	SPECIFICATION		
		STD	STANDARD		



DNA LOUNGE
375 ELEVENTH STREET
SAN FRANCISCO, CA 94103

DATE:

JOB:

DRAWN:

SCALE: AS NOTED

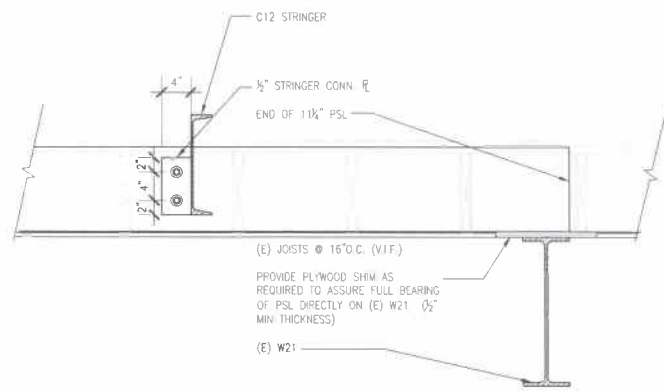
ISSUE	DATE
PRELIMINARY DRWG	10.25.11

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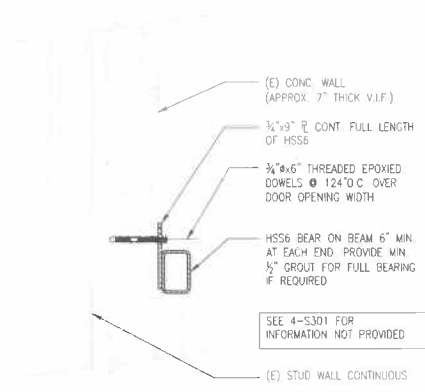


S201

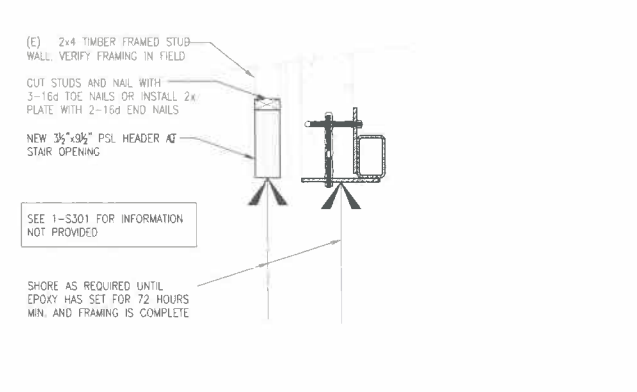
PARTIAL PLAN, BUILDING SECTIONS & ELEVATION, GENERAL NOTES



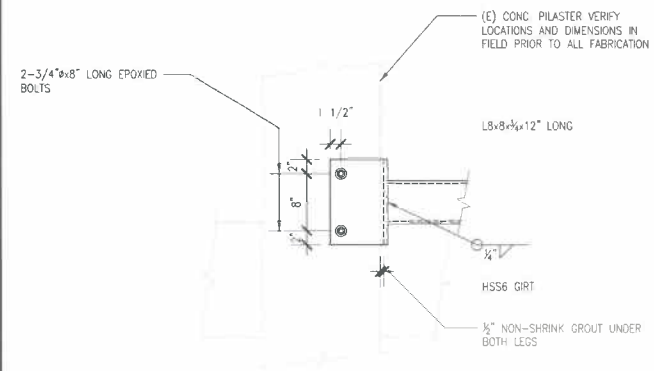
9 S301 STRINGER CONNECTION AT TOP OF STAIR AND PSL SUPPORT AT EXIST. W21 1"=1'-0"



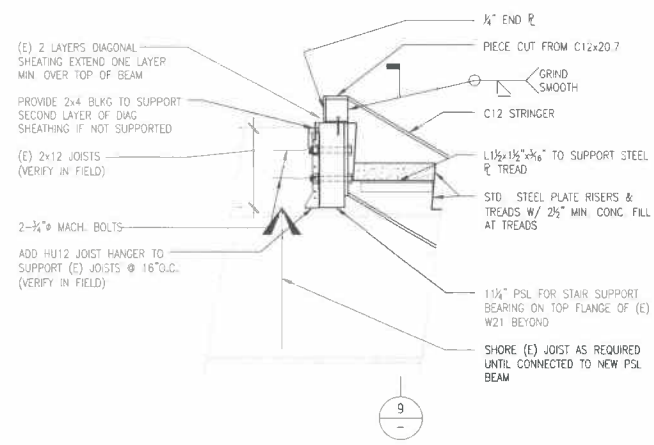
6 S301 HSS GIRT BEYOND NEW SECOND FLOOR DOOR 1"=1'-0"



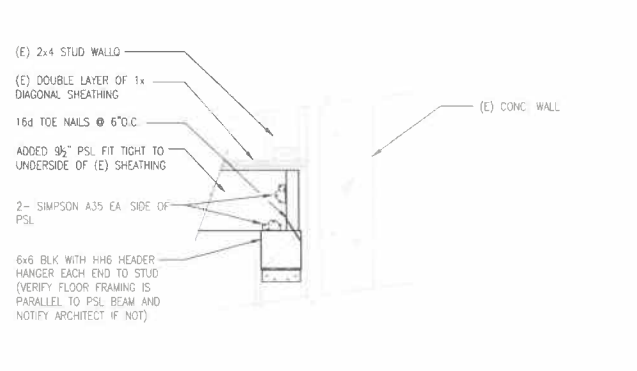
3 S301 HEADER CONDITION AT NEW SECOND FLOOR DOOR 1"=1'-0"



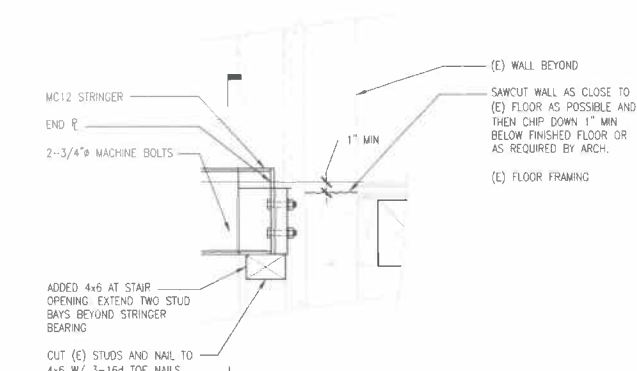
11 S301 GIRT CONNECTION AT EXIST. CONC. PILASTER AT SECOND FLOOR 1"=1'-0"



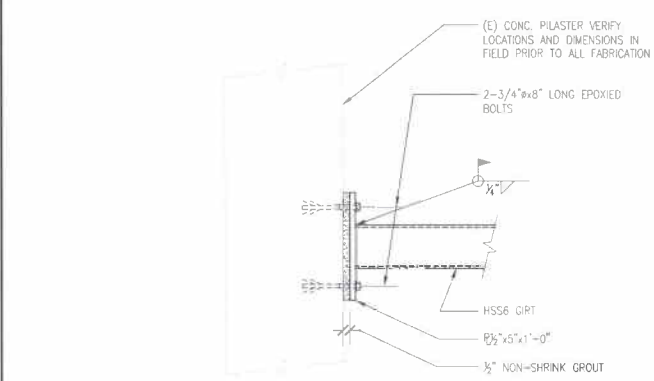
8 S301 STRINGER CONNECTION AT TOP OF STAIR 1"=1'-0"



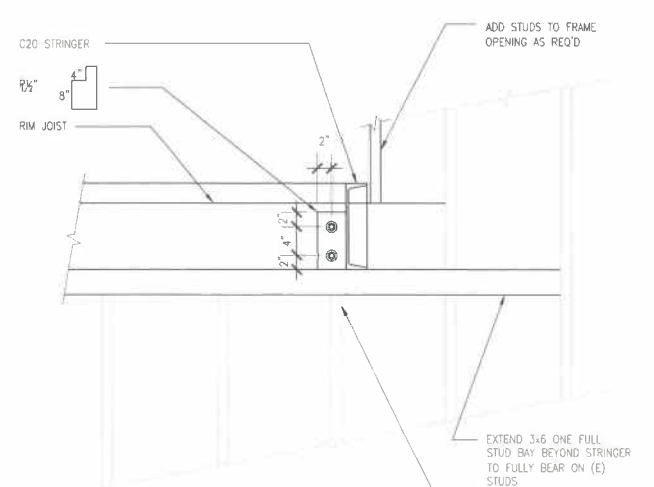
5 S301 BEAM CONNECTION AT PERIMETER WALL FOR NEW FLOOR OPENING 1"=1'-0"



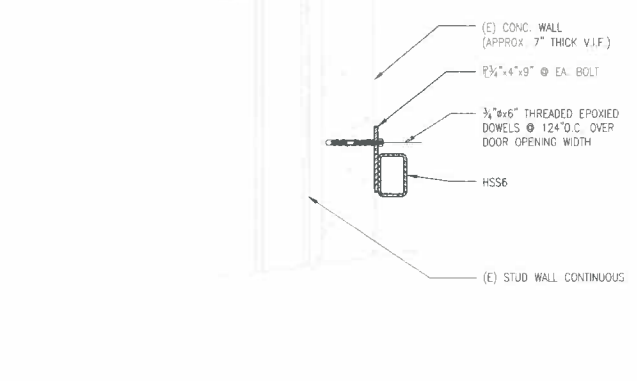
2 S301 STAIR STRINGER CONNECT BUILDING WALL 1"=1'-0"



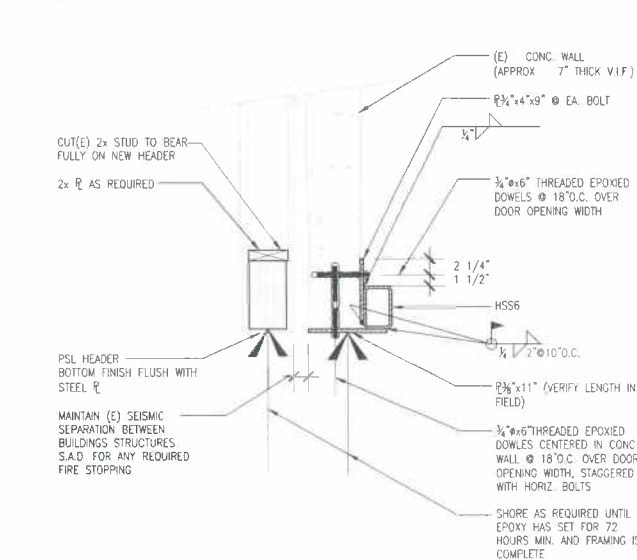
10 S301 GIRT CONNECTION AT EXIST. CONC. PILASTER AT FIRST FLOOR 1"=1'-0"



7 S301 STAIR STRINGER CONNECTION AT BUILDING WALL 1"=1'-0"



4 S301 HSS GIRT BEYOND NEW FIRST FLOOR DOOR 1"=1'-0"



1 S301 HEADER CONDITION AT NEW FIRST FLOOR DOOR 1"=1'-0"

DNA LOUNGE
375 ELEVENTH STREET
SAN FRANCISCO, CA 94103

DATE:	
JOB:	
DRAWN:	
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ISSUE	DATE
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CONSTRUCTION



S301
FRAMING
DETAILS



11th Street Looking NorthEast

371 11th Street

375 11th Street



11th Street Looking SouthWest

DNA Lounge
375 11th Street
San Francisco, CA
94103