



# SAN FRANCISCO PLANNING DEPARTMENT

## Executive Summary Conditional Use

HEARING DATE: FEBRUARY 23, 2012

*Date:* February 16, 2012  
*Case No.:* **2011.0929C**  
*Project Address:* **1401 Howard Street**  
*Zoning:* SLR (Service/Light Industrial/Residential) Zoning District  
Western SOMA Special Use District  
50-X Height and Bulk District  
*Block/Lot:* 3517/035  
*Project Sponsor:* Chris Foley  
1401 Development Partners LP  
P.O. Box 77081  
San Francisco, CA 94107  
*Staff Contact:* Richard Sucre – (415) 575-9108  
[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)  
*Recommendation:* **Approval with Conditions**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The project proposes to convert an existing church into office, retail, and assembly space, along with interior and exterior alterations. The proposed project would result in 18,260 square feet (sf) of office space; 1,300 sf of retail space; and 2,500 sf of assembly space. Key components of the proposed project include: repair and rehabilitation of the exterior, a seismic strengthen of the existing church and construction of an interior free-standing mezzanine. The project would utilize the California Historic Building Code (CHBC), and would also pursue Federal Rehabilitation Tax Incentives and New Markets Tax Credits.

### SITE DESCRIPTION AND PRESENT USE

The project is located on the southwest corner of 10<sup>th</sup> and Howard Streets, Block 3517, Lot 035. The subject property is located within the SLR (Service/Light Industrial/Residential) Zoning District, Western SOMA Special Use District, and a 50-X Height and Bulk District. The subject property is developed with a three-story church that has been largely vacant since the early 1990s. The subject property is Landmark No. 120, which is listed in Article 10 of the San Francisco Planning Code.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

The area surrounding the project site is mixed-use in character. A variety of residential uses, commercial establishments, and light industrial properties are located within the surrounding area, including several apartment buildings, an appliance store, a storage facility, a residential enclave (off of nearby Kissling Street), a paper store, and several automotive repair facilities. Also located within the immediate vicinity are a church, preschool, and an elementary school, which directly abut the subject property. Along

Howard Street, buildings in the immediate vicinity typically range from two to four stories in height, and contain residential, commercial or light industrial uses, including automotive repair, storage and retail. Along 10<sup>th</sup> Street, buildings in the immediate vicinity are predominantly two-stories tall, and largely light industrial in character. All of the parcels surrounding the subject property are also located within the SLR Zoning District.

## ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 Categorical Exemption.

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	February 3, 2012	February 3, 2012	20 days
Posted Notice	20 days	February 3, 2012	February 3, 2012	20 days
Mailed Notice	20 days	February 3, 2012	January 25, 2012	29 days

The proposal requires a Section 312 Neighborhood notification, which was conducted in conjunction with the conditional use authorization notice.

## PUBLIC COMMENT

As of February 9, 2012, the Department has received numerous phone inquiries and one letter of support regarding the proposal (See Attached). The inquiries have primarily focused upon requests for additional information and clarification of the assembly use. The Department has conveyed that the assembly use is not authorization for nighttime entertainment activities.

## ISSUES AND OTHER CONSIDERATIONS

- The Urban Design Element of the General Plan contains objectives and policies, which encourage the retention and reuse of notable landmarks and areas of historic, architectural, or aesthetic value. The proposal would retain and reuse a historic landmark with a compatible new use.
- The Area Livability Chapter of the South of Market (SOMA) Area Plan contains objectives and policies that encourage the preservation of individual historically significant buildings. The proposal would reuse a vacant church for office, retail, and assembly use; would repair and rehabilitate the exterior and interior; and would seismically upgrade the existing building and would retain its historic character.
- The subject building qualifies for use of Planning Code Section 803.9(a), since the subject building is Landmark No. 120 and is located outside of the SSO (Service/Secondary Office) Zoning District.

- On February 1, 2012, the HPC approved the proposed exterior work through a Certificate of Appropriateness (Historic Preservation Commission Motion No. 0148). The HPC also determined that the proposed project would enhance the feasibility of preserving the existing building, as noted in HPC Resolution No. 0671.

### **REQUIRED COMMISSION ACTION**

In order for the project to proceed, the Commission must grant conditional use authorization to allow the conversion from church use to office, retail and assembly use within the SLR Zoning District, pursuant to Planning Code Section 803.9(a).

### **BASIS FOR RECOMMENDATION**

- The project promotes office use within a landmark property, which is encouraged throughout the South of Market neighborhood.
- The project would maintain the subject building's historic character, would rehabilitate a City Landmark, and would assist in maintaining the area's diverse economic base.
- The project meets all applicable requirements of the Planning Code.
- The project is desirable for, and compatible with the surrounding neighborhood.
- The project is supported by the Historic Preservation Commission, as documented in HPC Resolution No. 0671.

<b>RECOMMENDATION:</b> <b>Approval with Conditions</b>
--

**Attachments:**

Draft Motion  
Parcel Map  
Sanborn Map  
Zoning Map  
Aerial Photos  
Site Photos  
Architectural Drawings  
Historic Preservation Commission Motion No. 148  
Historic Preservation Commission Resolution No. 671  
Correspondence – Alliance for a Better District 6

Attachment Checklist

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary   | <input checked="" type="checkbox"/> Project sponsor submittal                                 |
| <input checked="" type="checkbox"/> Draft Motion        | Drawings: <u>Existing Conditions</u>  |
| <input type="checkbox"/> Environmental Determination    | <input checked="" type="checkbox"/> Check for legibility                                      |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u>   |
| <input checked="" type="checkbox"/> Height & Bulk Map   | <input checked="" type="checkbox"/> Check for legibility                                      |
| <input checked="" type="checkbox"/> Parcel Map          | <input type="checkbox"/> Health Dept. Review of RF levels                                     |
| <input checked="" type="checkbox"/> Sanborn Map         | <input type="checkbox"/> RF Report  |
| <input checked="" type="checkbox"/> Aerial Photo        | <input type="checkbox"/> Community Meeting Notice   |
| <input type="checkbox"/> Context Photos                 | <input type="checkbox"/> Inclusionary Affordable Housing Program:<br>Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos         |   |

Exhibits above marked with an "X" are included in this packet

\_\_\_\_\_  
Planner's Initials

*RS: G:\Documents\Conditional Use Authorization\2011.0929C 1401 Howard St\ExecutiveSummary\_1401 Howard St.doc*



# SAN FRANCISCO PLANNING DEPARTMENT

*Subject to: (Select only if applicable)*

- |  |  |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415)           | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412)            | <input type="checkbox"/> Other                             |

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

## Planning Commission Draft Motion

HEARING DATE: FEBRUARY 23, 2012

*Date:* February 16, 2012  
*Case No.:* **2011.0929C**  
*Project Address:* **1401 HOWARD STREET**  
*Zoning:* SLR (Service/Light Industrial/Residential) Zoning District  
Western SOMA Special Use District  
50-X Height and Bulk District  
*Block/Lot:* 3517/035  
*Project Sponsor:* Chris Foley  
1401 Development Partners LP  
P.O. Box 77081  
San Francisco, CA 94107  
*Staff Contact:* Richard Sucre – (415) 575-9108  
[richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

**ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303, 316, 803.9(a), AND 816.48 OF THE PLANNING CODE TO CONVERT A CHURCH TO OFFICE, RETAIL AND ASSEMBLY USE WITHIN THE SLR (SERVICE/LIGHT INDUSTRIAL/RESIDENTIAL) DISTRICT, WESTERN SOMA SPECIAL USE DISTRICT, AND A 50-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

On August 25, 2011, Chris Foley of 1401 Development Partners LP (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 303, 316, 803.9(a), and 816.48 of the Planning Code to convert a church into office, retail and assembly space within the SLR (Service/Light Industrial/Residential) Zoning District, Western SOMA Special Use District and a 50-X Height and Bulk District.

On February 2, 2012, the San Francisco Historic Preservation Commission conducted a duly notice public hearing at a regularly scheduled meeting on Conditional Use Application No. 2011.0929C, in order to provide a recommendation to the San Francisco Planning Commission on the project's feasibility to preserve the subject building.

On February 23, 2012, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2011.0929C.

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 Categorical Exemption. The Commission has reviewed and concurs with said determination. The categorical exemption and all pertinent documents may be found in the files of the Planning Department (hereinafter "Department"), as the custodian of records, at 1650 Mission Street, San Francisco.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2011.0929C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the southwest corner of 10<sup>th</sup> and Howard Streets, Block 3517, Lot 035. The subject property is located within the SLR (Service/Light Industrial/Residential) Zoning District, Western SOMA Special Use District, and a 50-X Height and Bulk District. The subject property is developed with a three-story church that has been largely vacant since the early 1990s. The subject property is Landmark No. 120, which is listed in Article 10 of the San Francisco Planning Code.
3. **Surrounding Properties and Neighborhood.** The area surrounding the project site is mixed-use in character. A variety of residential uses, commercial establishments, and light industrial properties are located within the surrounding area, including several apartment buildings, an appliance store, a storage facility, a residential enclave (off of nearby Kissling Street), a paper store, and several automotive repair facilities. . Also located within the immediate vicinity are a church, preschool, and an elementary school, which directly abut the subject property. Along Howard Street, buildings in the immediate vicinity typically range from two to four stories in height, and contain residential, commercial or light industrial uses, including automotive repair, storage and retail. Along 10<sup>th</sup> Street, buildings in the immediate vicinity are predominantly two-stories tall, and largely light industrial in character. All of the parcels surrounding the subject property are also located within the SLR Zoning District.

4. **Project Description.** The project proposes to convert an existing church into office, retail, and assembly space, along with interior and exterior alterations. The proposed project would result in 18,260 square feet (sf) of office space; 1,300 sf of retail space; and 2,500 sf of assembly space. Key components of the proposed project include: repair and rehabilitation of the exterior, a seismic strengthen of the existing church and construction of an interior free-standing mezzanine. The project would utilize the California Historic Building Code (CHBC), and would also pursue Federal Rehabilitation Tax Incentives and New Markets Tax Credits.
  
5. **Public Comment.** The Department received numerous phone inquiries and one letter of support regarding the proposal. The inquiries primarily focused upon requests for additional information and clarification of the assembly use. The Department has conveyed that the assembly use is not authorization for nighttime entertainment activities.
  
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
  - A. **Commercial Uses in Mixed Use Districts.** Planning Code Section 803.9(a) states that any use which is permitted as a principal or conditional use within the SSO (Service/Secondary Office) Zoning District, excluding nighttime entertainment, may be permitted as a conditional use in "landmark building outside a designated historic district." For all such buildings the following conditions shall apply:
    - (1) the provisions of Sections 316 through 318 of this Code must be met;
    - (2) in addition to the conditional use criteria set out in Sections 303(c)(6) and 316 through 316.8, it must be determined that allowing the use will enhance the feasibility of preserving the landmark, significant or contributory building; and
    - (3) the landmark, significant or contributory building will be made to conform with the San Francisco Building Code standards for seismic loads and forces which are in effect at the time of the application for conversion of use.

*The subject building at 1401 Howard Street is Landmark No. 120 and is listed in Article 10 of the San Francisco Planning Code. It is located within the SLR Zoning District, which is outside of the SSO (Service/Secondary Office) Zoning District.*

*Further, the proposal was reviewed by the Historic Preservation Commission on February 1, 2012, and was determined to enhance the feasibility of preserving the subject building, as documented in HPC Resolution No. 0671.*

*The proposed project includes a seismic strengthening of the existing church, which will add new shotcrete shear walls to the interior and corner towers.*
  - B. **Open Space.** Planning Code Section 135.3 states that 1 sq. ft. per 90 sq. ft. of occupied floor area of new, converted or added square footage will be required for office uses, as defined in Planning Code Section 890.70, in South of Market Mixed Use Districts.

*Per this planning code requirement, the project must provide approximately 202 sq. ft. of open space. The proposed project meets this requirement and provides open space along the west facade.*

- C. **Parking.** Planning Code Section 151 states that one off-street parking space is required for each 500 sq. ft. of occupied floor area where the occupied floor area exceeds 5,000 sq. ft for business office use.

*As a landmark listed in Article 10 of the San Francisco Planning Code, there is no minimum off-street parking requirement for the subject building, per Planning Code Section 161(k).*

- D. **Street Trees.** Planning Code Section 138.1 states that one street tree for each 20 ft of frontage of the property along each street is required for projects involving the addition of gross floor area equal to 20 percent or more of the gross floor area of an existing building.

*The proposed project will construct an interior mezzanine level, which will add gross floor area in excess of 20 percent of the existing gross floor area. Therefore, the project is required to provide seven street trees along Howard Street and eight street trees along 10<sup>th</sup> Street. Currently, the proposed project meets this requirement.*

- E. **Bicycle Parking.** Planning Code Section 155.4(d) states that six bicycle parking spaces are required for commercial buildings involving major renovations where the gross square footage of the floor area exceeds 20,000 sq ft but is no greater than 50,000 sq ft.

*The project will result in a total of 22,060 gsf of office, retail and assembly space, and is required to provide six bicycle parking spaces (either Class 1 or Class 2). Currently, the proposed project meets this requirement.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- (1) The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The proposed project will convert a church into office, retail and assembly space. Currently, the church is already classified as an assembly use, and the proposed project will reduce the amount of assembly use within the existing building. The size and intensity of the new office and retail uses are necessary and desirable for this neighborhood and the surrounding community because they will allow for the rehabilitation of a historic landmark and add new site amenities that will contribute to the character of the surrounding neighborhood. The immediate area is extremely varied in character and features a variety of uses, including light industrial, commercial, and residential. The subject building is an icon within the surrounding neighborhood due to its historic character, height, and location. The new office and retail uses will complement the mix of goods and services currently available in the surrounding*



*district and will contribute to the economic vitality of the neighborhood by preserving, rehabilitating and restoring a historic landmark, which is a positive contribution to the neighborhood.*

- (2) That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The height and bulk of the existing church will remain the same. The proposed project will preserve and rehabilitate the exterior and interior of the subject building, including the exterior façade and landscape elements, and will add new floor area within the interior. Overall, this work will be beneficial to the surrounding neighborhood and the historic landmark.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Planning Code does not require parking for the proposed project because the subject property is a historic landmark. The proposed project would not generate significant amounts of vehicular trips from the immediate neighborhood or citywide.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The proposed project will comply with the City's requirements to minimize noise, glare, odors, or other harmful emissions. Conditions of approval are included to address potential issues.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The proposed project will add new historically-appropriate lighting on the exterior and will also rehabilitate the existing landscaping and perimeter by repairing the existing fences and adding new street trees. This work will be beneficial to the surrounding neighborhood because it will provide new street improvements, lighting, and vegetation. As determined by the Historic Preservation Commission, the landscape and site treatment is historically appropriately, as documented in Certificate of Appropriateness Motion No. 0148. The proposal will not include loading or service areas, unusual lighting or signage.*

- (3) That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The proposed project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- (4) That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

*The proposed project is not located within a Neighborhood Commercial District.*

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## COMMERCE AND INDUSTRY

### Objectives and Policies

#### **OBJECTIVE 2:**

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

#### **Policy 2.1:**

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

#### **OBJECTIVE 3:**

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGE.

#### **Policy 3.4:**

Assist newly emerging economic activities.

*The Project will introduce a new office use within the neighborhood and will enhance the diverse economic base of the City. Further, this new office use will be targeted towards "incubator" office tenants and the high tech industry.*

## URBAN DESIGN

### Objectives and Policies

#### **OBJECTIVE 2:**

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWING.

**Policy 2.4:**

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

**Policy 2.5:**

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

*The Project will preserve and reuse San Francisco City Landmark No. 120.*

## SOMA AREA PLAN

### AREA LIVABILITY

#### Objectives and Policies

**OBJECTIVE 7:**

PRESERVE EXISTING AMENITIES WHICH MAKE THE SOUTH OF MARKET A PLEASANT PLACE TO LIVE, WORK AND VISIT.

**Policy 7.4:**

Preserve individual architecturally and/or historically significant buildings which contribute to the area's identity, give visual orientation, and which impart a sense of continuity with San Francisco's past.

**Policy 7.5:**

Provide incentives for preservation of landmark quality buildings and contributory buildings in historic districts.

*Generally, the SOMA Area Plan encourages the preservation and reuse of historic building and encourages the adaptive reuse of these buildings for office use. The proposed project is consistent with the policies and objectives of the SOMA Area Plan. The proposed project will contribute to the economic diversity and mixed-use character of the neighborhood and will reuse and restore a City Landmark.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:
  - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The proposal will not significantly affect any neighborhood serving retail uses, as numerous retail uses will still be present in the area. The proposal will introduce a new retail use to the area, which will likely be a café or coffee shop. Currently, the immediate area does not possess many of these types of businesses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The proposal will not impact the existing housing or neighborhood character, which already includes residential, commercial, and light industrial uses.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The proposal will not impact any of the existing housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The proposal will not alter the existing commuter traffic patterns. The existing building is within walking distance to public transportation options. The location of the site will enable employees and visitors to the building to walk, bike, or use public transit. Parking is not required per Planning Code Section 161(k).*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The proposed project will assist in maintaining a diverse economic base by introducing a new commercial use. No industrial or service sector jobs will be impacted by the proposed project.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The proposed project will conform to the structural and seismic safety requirements of the City Building Code. The proposal will not impact the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*The subject property is Landmark No. 120. As recognized by the Historic Preservation Commission in Certificate of Appropriateness Motion No. 0148 and Resolution No. 0671, the proposed project will enhance the feasibility to preserve the existing building by converting the building into office, retail and assembly use.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The proposed project will have no negative impact on existing parks and open spaces. The proposal has no impact on open spaces.*

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2011.0929C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plan on file, dated January 23, 2012, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on February 23, 2012.

Linda D. Avery  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: February 23, 2012

## EXHIBIT A

### AUTHORIZATION

This authorization is for a conditional use to convert a church to office, retail, and assembly uses located at 1401 Howard Street, Block 3517 and Lot 035 pursuant to Planning Code Section 803.9(a) within the SLR Zoning District, Western SOMA Special Use District, and a 50-X Height and Bulk District; in general conformance with information stamped "EXHIBIT B" included in the docket for Case No. 2011.0929C and subject to conditions of approval reviewed and approved by the Commission on February 23, 2012 under Motion No XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on February 23, 2012 under Motion No XXXXX.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use Authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use Authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of

Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org).*

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## DESIGN – COMPLIANCE AT PLAN STAGE

3. **Street Trees.** Pursuant to Planning Code Section 138.1 (formerly 143), the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species for every 20 feet of street frontage along public or private streets bounding the Project, with any remaining fraction of 10 feet or more of frontage requiring an extra tree, shall be provided. The street trees shall be evenly spaced along the street frontage except where proposed driveways or other street obstructions do not permit. The exact location, size and species of tree shall be as approved by the Department of Public Works (DPW). In any case in which DPW cannot grant approval for installation of a tree in the public right-of-way, on the basis of inadequate sidewalk width, interference with utilities or other reasons regarding the public welfare, and where installation of such tree on the lot itself is also impractical, the requirements of this Section 428 may be modified or waived by the Zoning Administrator to the extent necessary. The Zoning Administrator may also allow the installation of planter boxes or tubs or similar landscaping in place of trees when it is determined to be more desirable in order to make the landscaping more compatible with the character of the surrounding area.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*



## MONITORING

4. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

5. **Revocation Due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## PARKING AND TRAFFIC

6. **Bicycle Parking.** Pursuant to Planning Code Sections 155.1, 155.4, and 155.5, the Project shall provide no fewer than six bicycle parking spaces (either Class 1 or 2 spaces).

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

7. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>*

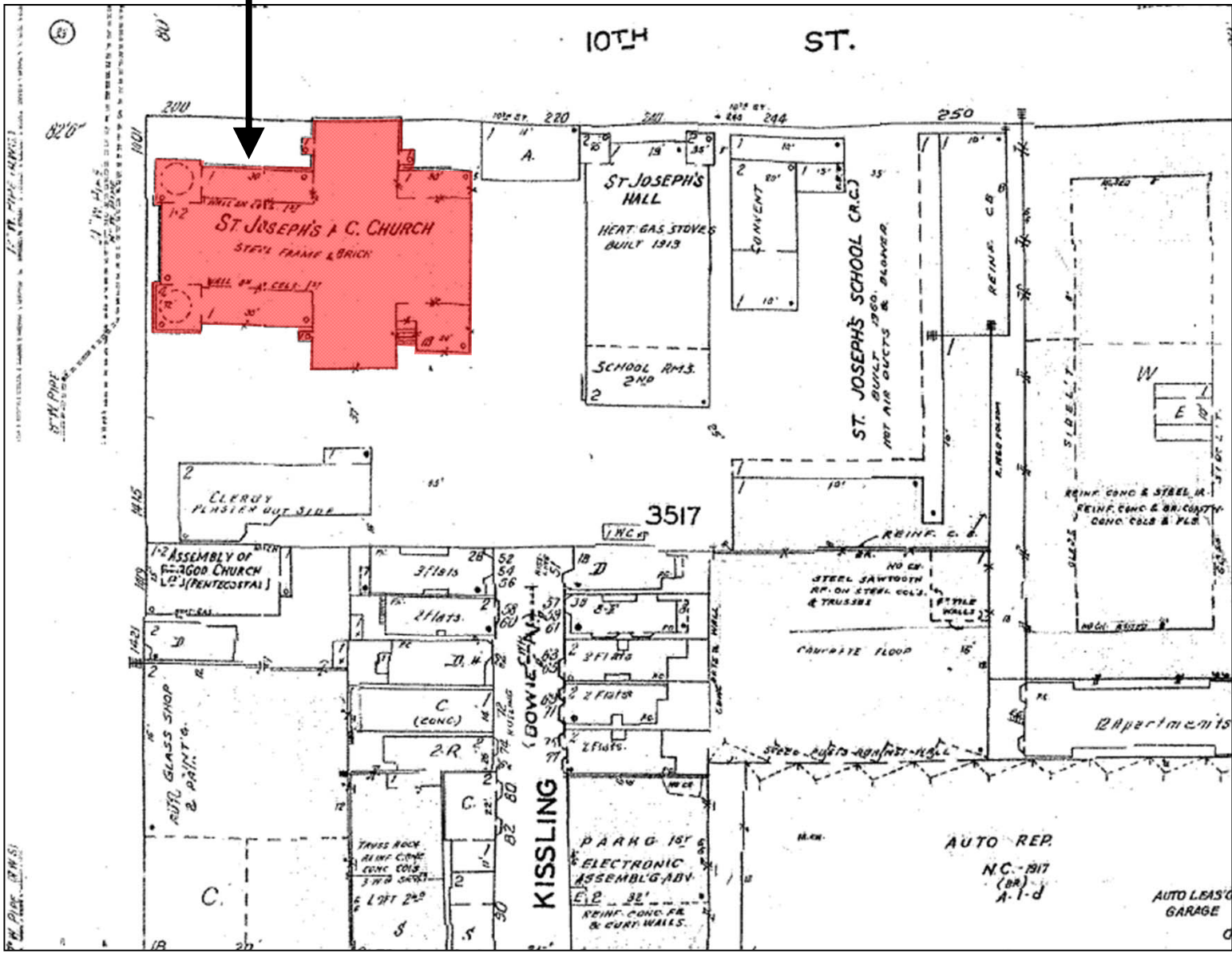
8. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863,  
[www.sf-planning.org](http://www.sf-planning.org)*



# Sanborn Map\*

SUBJECT PROPERTY

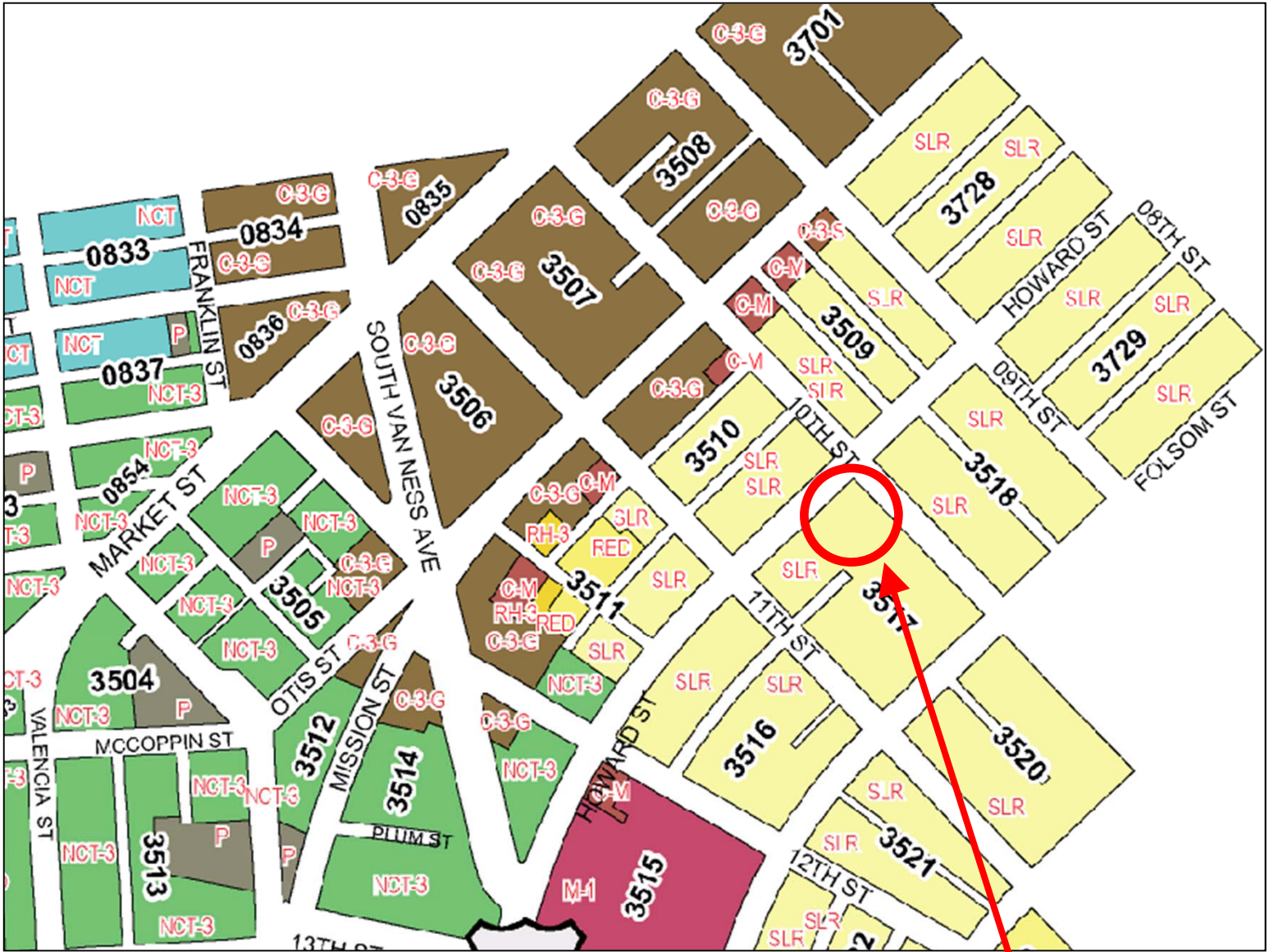


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street



# Zoning Map

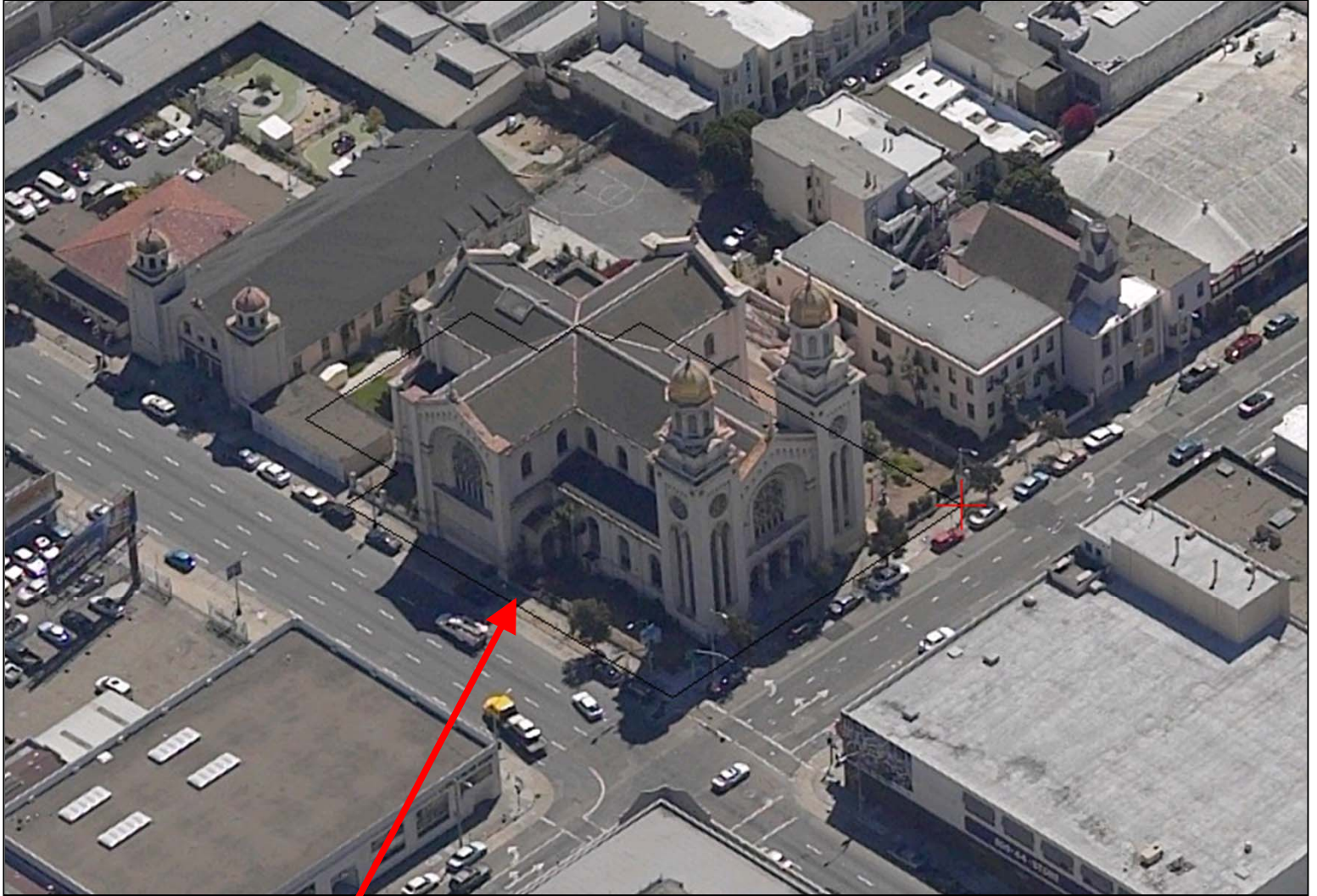


**SUBJECT PROPERTY**



Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# Aerial Photo



**SUBJECT PROPERTY**

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# Aerial Photo



**SUBJECT PROPERTY**

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# Site Photo



St. Joseph's Church, 1401 Howard Street, View of Primary Façade facing Howard Street

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street



# Site Photo



View of St. Joseph's Church along Howard Street

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# Site Photo



1401 Howard Street, View at southwest corner of 10<sup>th</sup> and Howard Streets

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# Site Photo



1401 Howard Street, View along 10<sup>th</sup> Street looking north

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# Site Photo



1401 Howard Street, East Façade, View along 10<sup>th</sup> Street

Certificate of Appropriateness Hearing  
Case Number 2011.0929AC  
1401 Howard Street

# Site Photo



1401 Howard Street, View of fence at corner of 10<sup>th</sup> and Howard Streets

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# Site Photo



1401 Howard Street, Detail View of Sheet Metal Cornice along East Facade

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# Site Photo



1401 Howard Street, Interior, View of Nave and Apse

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# Site Photo



1401 Howard Street, View of Nave and Organ Loft

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street



# Site Photo



1401 Howard Street, View of Side Aisle looking towards Organ Loft

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# Site Photo



1401 Howard Street, View of West Transept

Conditional Use Authorization Hearing  
Case Number 2011.0929C  
1401 Howard Street

# CONDITIONAL USE AND CERTIFICATE of APPROPRIATENESS APPLICATION



1401

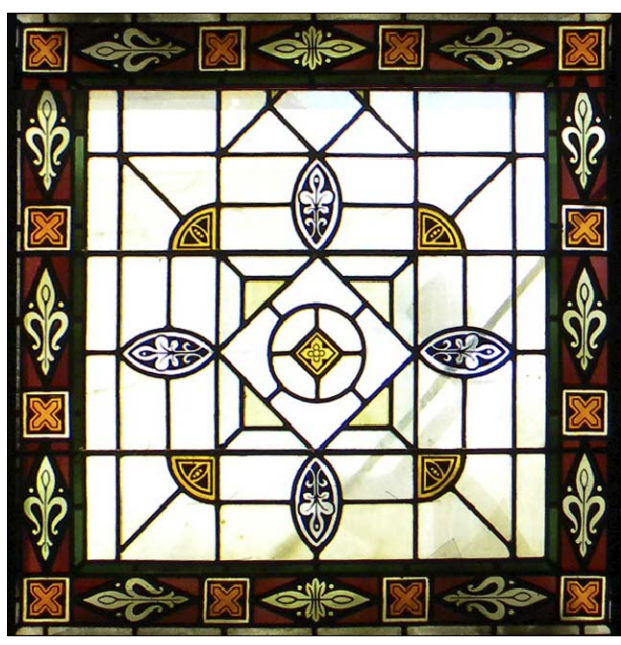
HOWARD STREET  
SAN FRANCISCO, CA 94103

**FORUM**DESIGN

The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or decked without the Architect's written consent.



01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



## CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL

JOB NUMBER: DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS  
SCALE:

SHEET TITLE:  
COVER SHEET

SHEET NUMBER:  
CS



December 1, 2011

Manager,  
Pre-Application meeting  
Department of Building Inspection  
1660 Mission Street  
San Francisco, CA 94103

Don Fields  
Captain, Bureau of Fire Prevention  
San Francisco Fire Department  
1660 Mission Street  
San Francisco, CA 94103

Subject: Pre-Application Meeting  
1401 Howard Street  
(Formerly St. Joseph's Catholic Church)  
Block 3517 / Lot 35

Dear Captain Fields and Manager, DBI,

St. Joseph Catholic Church at 1401 Howard Street is a San Francisco City Landmark #120 and is on the National Register of Historic Places #1982002250. This former religious facility is IS on the National Register Status Code, the Heritage Rating is A, the structure is on the California Register and the City Planning Department has determined that the Historical Resource Status is A.

The existing religious structure was built in 1902 and rebuilt after the Earthquake in 1913.

1401 Howard Street at 10th Street is a 2 story and basement, Type III N structure with the ground floor gross square footage (G.S.F.) calculated at 13,550. The level above the ground floor is a loft between each tower with a G.S.F. of 1,564 and Sacristy, east of the altar of 379 G.S.F. The two (bell) towers has landings of 409 G.S.F. each and the basement has 749 G.S.F. The total G.S.F. is 17,060

**Proposed Project:**

The proposed project has three areas of development:

1. To repair, rehabilitate and maintain existing exterior and interior architectural features rated significant to meet the Secretary of Interior's standards for the treatment of historic properties.
2. To renovate base building for seismic / structural, structural, ADA access, mechanical, electrical, plumbing and toilet facilities to meet the current code and historical code.
3. Proposed mixed-use tenant improvements for office / meeting hall (assembly) and retail (café) occupancies.

**Proposed Gross Square Floor Area:**

It is proposed to provide a tenant improvement of 5,000 G.S.F. on the inside perimeter of the 2nd floor. The total proposed gross square foot floor area = 22,060.

The agenda for the pre-application is as follows:

**Question 1.**

As per the 2010 San Francisco Building Code Section 29, Table 2901, the following is the proposed plumbing fixture count for the proposed occupancies:

1

**A Occupancy:**

Social Hall – 2500 sf  
Café - 1300 sf  
3800 Square Feet

3800 / 30 sf per CBC 2901 (SF Building Code) = 127 / 2 (m/f) = 64

	Water Closet	Lavatories
Male:	2	2 (male may have 1 urinal and 1 water closet)
Female:	2	2

**B Occupancy** 22,000 sf – 3800 sf (A Occupancy) = 18,200 sf

18,200 / 200 sf per CBD 2901 (SF Building Code) = 91 / 2 (male/female) = 46

	Water Closet	Lavatories
Male:	3	2 (male may have 1 urinal and 2 water closets)
Female:	3	2

It is proposed that the number of toilet facilities would be divided between the first and second floor. The 2010 CBC Section 1103B.1 Exception 2.1 does not require an elevator above or below the first floor when a multistoried office building is less than 3 stories high.

Does the Building Department agree with this premise?

**Question 2.**

**Occupancy Type**

**Title 8 Section 8-302.2 Change of Occupancy** allows for qualified historical building to change occupancy provided that the building conforms to the new use as set forth in the CHBC and any change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code.

It is proposed to change the occupancy from A 3 Assembly Occupancy to B Office Occupancy with an A2-A3 Assembly as accessory.

This will decrease the occupant load from a Place of Worship of over 1000 (13,550 gs/f / 7 sf per **CBC Table 1004.1.1**) to an B Office Occupancy with an assembly accessory use of 627.

2500 sf A2 Assembly meeting @ 7 sf per person = 358 occupants  
 1300 sf A3 Assembly café @ 15 sf per person = 87 occupant  
 22,000 sf B Office – 3800 sf Assembly = 18,200 sf @ 100 sf per person = 182  
 Total occupant load = 627

Does this change of occupancy meet the standards of Title 8 California Historical Building Code?

2

**Question 3.**

**Construction Type**

The existing structure was rebuilt after the 1906 Earthquake in 1913 and no construction documents exist. Based on the 2010 CBC Section 602.3 Type III N most resembles the existing building structure. The existing building consists of a two-story with bell towers, steel frame and masonry walls with wood-frame gable roof. With a total gross square footage of 17,060 and 2 stories, the present structure meets **CBC Table 503**. The present structure does not require an automatic sprinkler system.

Does the Building Department agree?

**Allowable Area**

**Title 8 Section 8-302.4** allows for multistory historic building to have the floor area increase in accordance with the regular code requirements. **CBC Table 503** states that Type III N building is allowed to be 3 stories and 19,000 sf. The existing building area is less than the allowable area as per **CBC Table 503** (17,060 gs/f).

**Section 506.2 Frontage increase** allows for a building area to be increase when 25% of the building perimeter is on a public way with a minimum width of 20 feet and protected by automatic sprinkler system protection.

The proposed tenant improvement of the square footage above the first floor is calculated at approximately 5,000 sf. The gross square footage of the ground floor is 13,550. **CBC Section 505.2** requires that a mezzanine area not exceed one-third of the floor area of that room or space in which they are located.

The proposed addition of office space would be considered a separate floor.

**Title 8 Section 8-704-1** allows for new nonhistorical additions and alterations which are structurally separated from the existing structure when the new addition complies with regular code.

With 1401 Howard Street bordered on two public ways, each greater than 20 feet (Howard Street and 10<sup>th</sup> Street) per **CBC Section 506.2** and the intention of the owner to install an automatic sprinkler system as allowed per **CBC Section 506.1** on the first floor to protect the proposed new 5,000 sf office area above, would this be acceptable to the Building Department?

**Question 4.**

**Accessibility – Ramps and Elevators**

**Title 8 Section 8-603.6 Exterior and Interior Ramps and Lifts** allows alternatives for historical building. All entrances/exits to and from the existing historic building are through exterior stairs, and interior steps for the raised altar area.

The proposed based building improvements include the construction of three ADA ramps: two exterior ramps, one each at the east and west transept entrances; one interior ramp on the east side of the main altar area.

The three new ramps will provide wheelchair access to all areas of the first floor. The existing basement, organ loft and upper landing of the two bell towers are excluded.

With the proposed first floor improvements providing access to the café, social hall assembly and main office area, the existing organ loft area, bell towers and proposed new square footage on the 2<sup>nd</sup> level would not be required to have access.

Does the Building Department accept this proposal?

3

**Question 10.**

On the second floor choir balcony, an existing decorative historic wooden railing with kneeler has a height of 33 inches. This height of this railing is 9 inches below the required height of 42 inches as per **2010 CBC Section 1013.2**. Associated with this well preserved railing is a kneeler of 7 inches in height. This would reduce the height of the railing from the top of the kneeler to 26 inches. The railing has a decorative "cross" opening in the face of the wooden railing. This cross opening exceeds the maximum width opening as per **CBC Section 1013.3** of 4 inches.

It is proposed that a new metal or glass top rail be installed and the kneeler be removed to meet the required height as per Section 1013.2.

It is also proposed that due to the historical design of the wooden railing with the "cross" opening that exceeds Section 1013.3, that **California State Historical Code Title 8, Section 8-504 Railings and Guardrails** would allow this historical design to continue "unless a distinct hazard has been identified or created by a change in use or occupancy."

Is this proposal acceptable to the Building Department?

**Question 5.**

**Accessibility – Level Landings at Doors**

**Title 8 Section 8-603.2 Entry** allows for access to any entrance used by the general public and no further than 200 feet from the primary entrance. With this historic building having 5 exterior entrance doors that do not have the required level landing: two at the east transept, two doors at the west transept and one at the chapel. It is proposed that the two new entry ramps at the east and west transepts provide the required level landings.

Does the Building Department agree with this understanding?

**Question 6.**

**Accessibility – Handrail at Main Stairs**

**Title 8 Section 8-502.3 Stairs** allow for handrails that with nonconforming grip size or extensions are allowed if determined by the enforcing agency to not constitute a distinct hazard. The main entrance to the existing historic building is access via a wide existing concrete stair along the sidewalk facing Howard Street. In addition, the existing landing outside the chapel exterior door is accessed via a wide existing stair from the side yard. With the acceptance of the two new ramps as the access to the building, it is our understanding that this section of the **CHBC** would allow the main stairs on Howard Street and the Chapel stairs to remain as existing.

Does the Building Department agree with our understanding of the CHBC?

**Question 7.**

**Exiting – Stairs**

The proposed tenant improvements include the construction or approximately 5,000 sf of area above the first floor. Access and exiting of this area is via two new open stairs with one located at the west transept and the 2<sup>nd</sup> stair at the north end of the east aisle. These new stairs shall meet the requirements of **CBC Section 1015 2.1**.

Is this acceptable to the Building Department?

**Question 8.**

**Title 24 – Energy Compliance**

**Title 8 Section 8-901.5 Energy conservation** allow for qualified historical buildings are exempted from compliance with energy conservation standards except for the new nonhistorical lighting and space conditioning systems, devices, appliances and equipment that are installed.

Does the Building Department agree that this structure meets this section of the CHBC?

**Question 9.**

**Green Building Compliance**

**Title 8 Section 8-901.1** allows for the enforcing agencies to accept a reasonable equivalent solutions to the regular code when dealing with qualified historical buildings or properties. It is the ownership understanding that this historic structure rebuilt after the 1906 Earthquake is exempt from Green Building and Green Point Rating requirements.

Does the Building Department agree?

4

# 1401

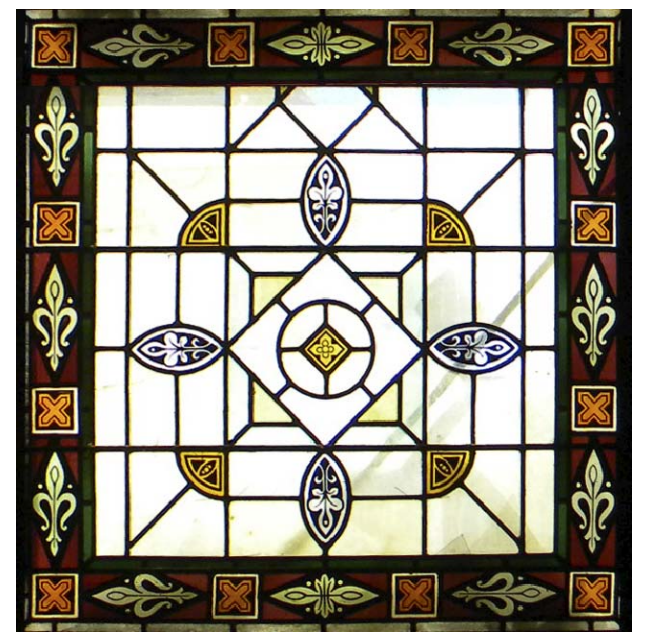
HOWARD STREET  
SAN FRANCISCO, CA 94103

## FORUM DESIGN

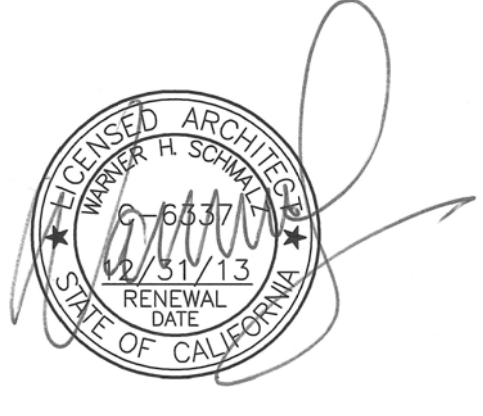
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or decked without the Architect's written consent.



01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



### CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL

JOB NUMBER: DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS

SCALE: SHEET TITLE:

DBI / SFFD PRE-APPLICATION MEETING MINUTES

SHEET NUMBER:

# A0.1

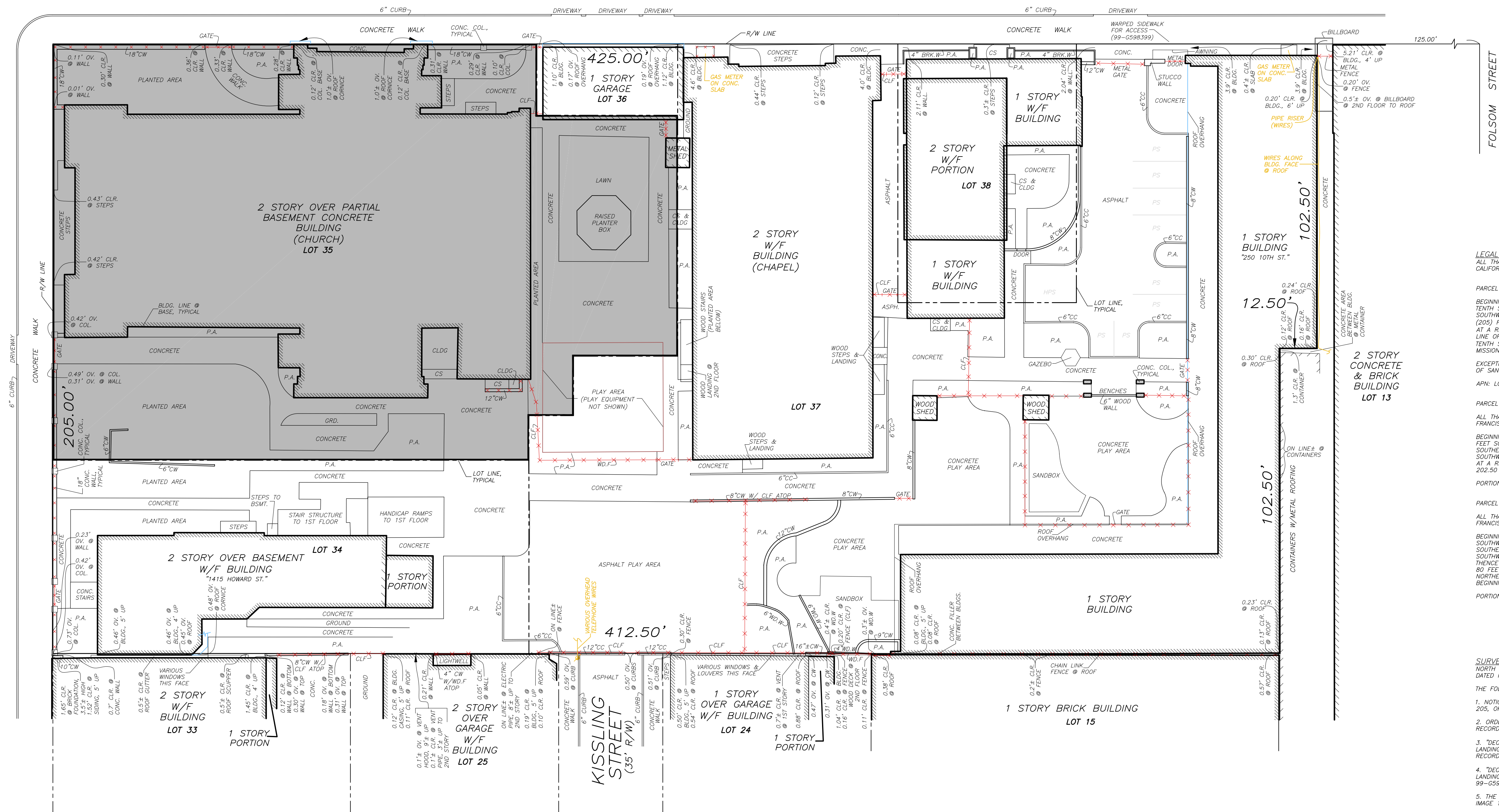
10TH STREET (80' R/W)



**LEGEND**

CLR.	CLEAR OF PROPERTY LINE
OV.	OVER PROPERTY LINE
R/W	RIGHT OF WAY
W/F	WOOD FRAME BUILDING
BLDG.	CONCRETE WALL
BSMT.	BASEMENT
CH	CHAIN LINK FENCE
CONC.	CONCRETE CURB
CC	CONCRETE CURB
CLF	CHAIN LINK FENCE
CLOG	CONCRETE CURB
CS	CONCRETE STEPS
COL.	COLUMN
WD.F	WOOD FENCE
WD.W.	WOOD WALL
BRK.W.	BRICK WALL
GRD.	GRASS
PS	PARKING SPACE
HPS	HANDICAP PARKING SPACE
P.O.B.	POINT OF BEGINNING
***	FENCE
+	JOINT POLE

HOWARD STREET (82.583' R/W)



**LEGAL DESCRIPTION**  
ALL THAT REAL PROPERTY SITUATED IN THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

**PARCEL 1:**  
BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE SOUTHWESTERLY LINE OF TENTH STREET AND THE SOUTHEASTERLY LINE OF HOWARD STREET AND RUNNING THENCE SOUTHWESTERLY ALONG SAID SOUTHWESTERLY LINE OF HOWARD STREET TWO HUNDRED AND FIVE (205) FEET; THENCE AT A RIGHT ANGLE SOUTHEASTERLY THREE HUNDRED (300) FEET; THENCE AT A RIGHT ANGLE NORTHWESTERLY TWO HUNDRED AND FIVE (205) FEET TO THE SOUTHWESTERLY LINE OF TENTH STREET; AND THENCE AT A RIGHT ANGLE NORTHEASTERLY ALONG SAID LINE OF TENTH STREET THREE HUNDRED (300) FEET TO THE POINT OF BEGINNING, BEING A PART OF THE MISSION BLOCK NUMBER 7.  
EXCEPTING THEREFROM, THAT PORTION GRANTED TO THE ROMAN CATHOLIC WELFARE CORPORATION OF SAN FRANCISCO, BY DEED RECORDED FEBRUARY 27, 1953 IN BOOK 6103 AT PAGE 368.

**PARCEL 2:**  
ALL THAT CERTAIN REAL PROPERTY SITUATE, LYING AND BEING IN THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS, TO-WIT:  
BEGINNING AT A POINT ON THE SOUTHWESTERLY LINE OF TENTH STREET, DISTANT THEREON 210 FEET SOUTHWESTERLY FROM THE SOUTHWESTERLY LINE OF HOWARD STREET; RUNNING THENCE SOUTHWESTERLY ALONG SAID LINE OF TENTH STREET 215 FEET; THENCE AT A RIGHT ANGLE SOUTHWESTERLY 100.50 FEET; THENCE AT A RIGHT ANGLE NORTHWESTERLY 12.50 FEET; THENCE AT A RIGHT ANGLE SOUTHWESTERLY 102.50 FEET; THENCE AT A RIGHT ANGLE NORTHWESTERLY 202.50 FEET; THENCE AT A RIGHT ANGLE NORTHWESTERLY 205 FEET TO THE POINT OF BEGINNING.  
PORTION LOTS 37 AND ALL LOT 38, BLOCK 3517

**PARCEL 3:**  
ALL THAT CERTAIN REAL PROPERTY SITUATE, LYING AND BEING IN THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS, TO-WIT:  
BEGINNING AT A POINT WHICH IS PERPENDICULARLY DISTANT 105 FEET SOUTHWESTERLY FROM THE SOUTHWESTERLY LINE OF TENTH STREET AND ALSO PERPENDICULARLY DISTANT 210 FEET SOUTHWESTERLY FROM THE SOUTHWESTERLY LINE OF HOWARD STREET; RUNNING THENCE SOUTHWESTERLY PARALLEL WITH SAID SOUTHWESTERLY LINE OF HOWARD STREET 100 FEET; THENCE AT A RIGHT ANGLE NORTHWESTERLY 50 FEET; THENCE AT A RIGHT ANGLE NORTHWESTERLY 80 FEET; THENCE AT A RIGHT ANGLE SOUTHEASTERLY 15 FEET; THENCE AT A RIGHT ANGLE NORTHWESTERLY 20 FEET; THENCE AT A RIGHT ANGLE SOUTHEASTERLY 35 FEET TO THE POINT OF BEGINNING.  
PORTION OF LOT 37, BLOCK 3517

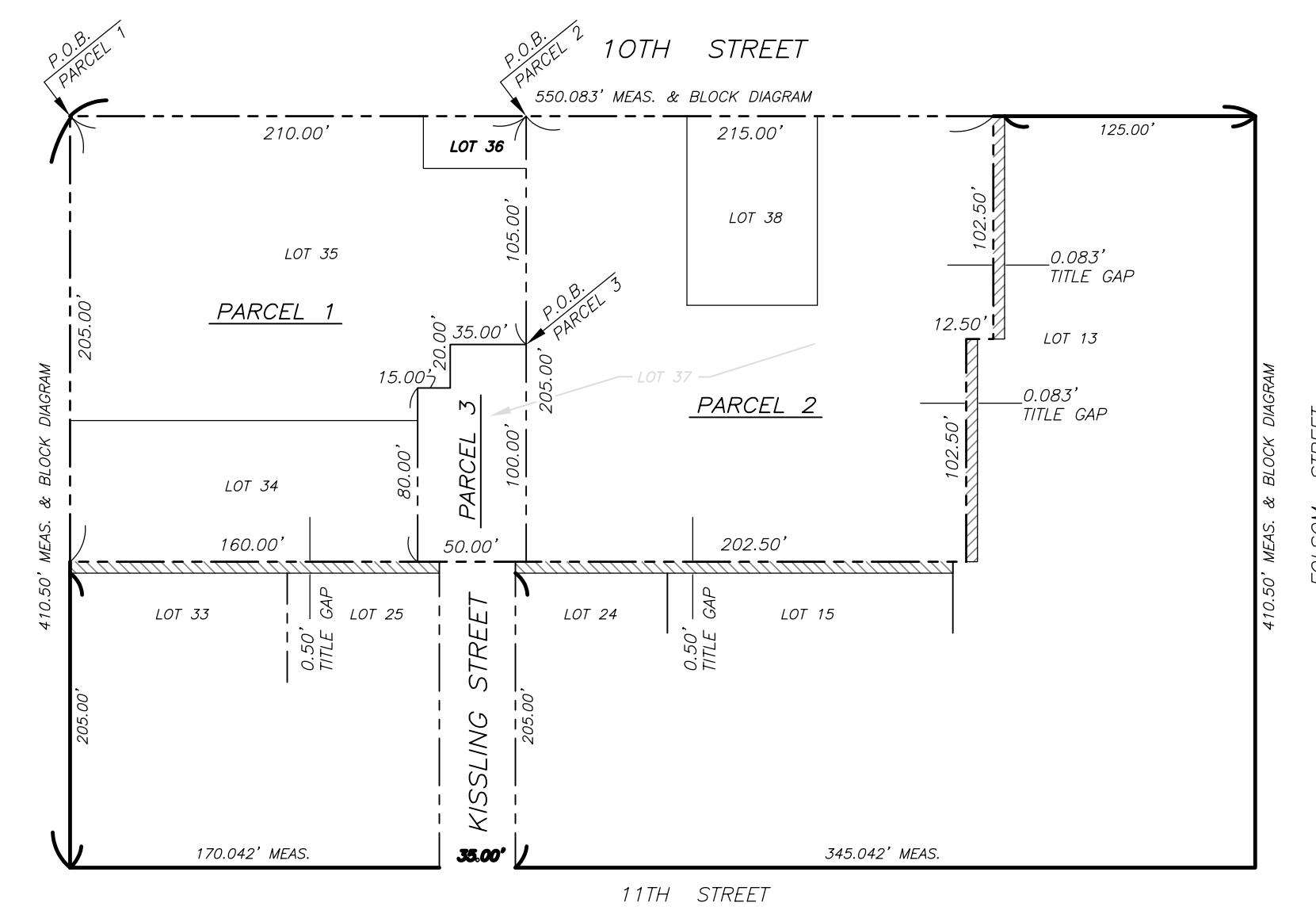
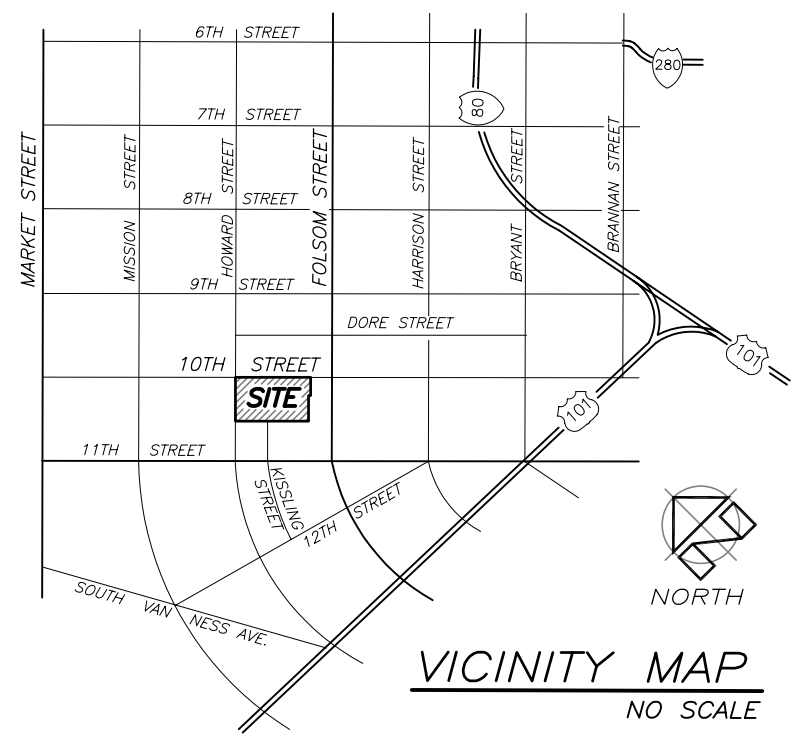
**SURVEY REFERENCE**  
NORTH AMERICAN TITLE INSURANCE COMPANY INTERIM BINDER POLICY NO. 113040 DATED MARCH 26, 2008.  
THE FOLLOWING ARE EXCEPTIONS TO TITLE WITHIN THE ABOVE REFERRED INTERIM BINDER:  
1. NOTICE - SEISMIC BUILDING HAZARD RECORDED JANUARY 4, 1995, IN REEL G290, IMAGE 205, OFFICIAL RECORDS.  
2. ORDER OF ABATEMENT RECORDED AUGUST 1, 1996, IN REEL G987, IMAGE 372, OFFICIAL RECORDS.  
3. "DECLARATION OF USE" - MINOR SIDEWALK ENCROACHMENT PERMIT FOR A LEVEL LANDING RECORDED JANUARY 21, 1999, IN INSTRUMENT NO. 99-GS02274, OFFICIAL RECORDS.  
4. "DECLARATION OF USE" - MINOR SIDEWALK ENCROACHMENT PERMIT FOR AN ACCESSIBLE LANDING AND ADJACENT WARP OF SIDEWALK RECORDED JUNE 3, 1999, IN INSTRUMENT NO. 99-GS98399, OFFICIAL RECORDS.  
5. THE EFFECT OF THAT CERTAIN GRANT DEED RECORDED MARCH 26, 2008, IN REEL J606, IMAGE 144, INSTRUMENT NO. 2008-1557704, OFFICIAL RECORDS.

**BASIS OF SURVEY**  
1. MAP OF A PORTION OF THE MISSION DISTRICT FROM NINTH STREET TO FOURTEENTH STREET AMENDED MAY 7, 1927, FILE NO. B-18 ON FILE IN THE OFFICE OF THE CITY ENGINEER.  
2. MONUMENT MAP OF DISTRICT FROM MISSION STREET TO BRANNAN STREET BETWEEN TENTH AND ELEVENTH STREETS DATED MAY 22, 1934 ON FILE IN THE OFFICE OF THE CITY ENGINEER.  
3. BLOCK DIAGRAM OF MISSION BLOCK 7 DATED FEBRUARY 28, 1910, FILED IN BOOK 38, PAGES 93-97 IN THE OFFICE OF THE CITY ENGINEER.

**FLOOD NOTE**  
THE FEDERAL EMERGENCY MANAGEMENT AGENCY HAS NOT IDENTIFIED ANY SPECIAL FLOOD HAZARD AREAS WITHIN THE CITY OF SAN FRANCISCO, CALIFORNIA. THE CITY DOES NOT PARTICIPATE IN THE NATIONAL FLOOD INSURANCE PROGRAM.

**ZONING**  
SLR - SERVICE/LIGHT INDUSTRIAL/RESIDENTIAL DISTRICT  
HEIGHT & BULK DISTRICT: 50'-X- 50 FOOT HEIGHT LIMIT

**GENERAL NOTES**  
1. DETAILS NEAR PROPERTY LINES ARE NOT TO SCALE.  
2. ALL PROPERTY LINE ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.  
3. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.  
4. ONLY PERTINENT SIDEWALK FEATURES ARE SHOWN HEREON.



**SURVEYOR'S CERTIFICATE**  
TO 1401 HOWARD, LLC AND NORTH AMERICAN TITLE INSURANCE COMPANY:  
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.  
DATE: \_\_\_\_\_

BENJAMIN B. RON  
PROFESSIONAL LAND SURVEYOR NO. 5015

**ALTA/ACSM LAND TITLE SURVEY**  
OF A PORTION OF ASSESSOR'S BLOCK NO. 3517  
FOR

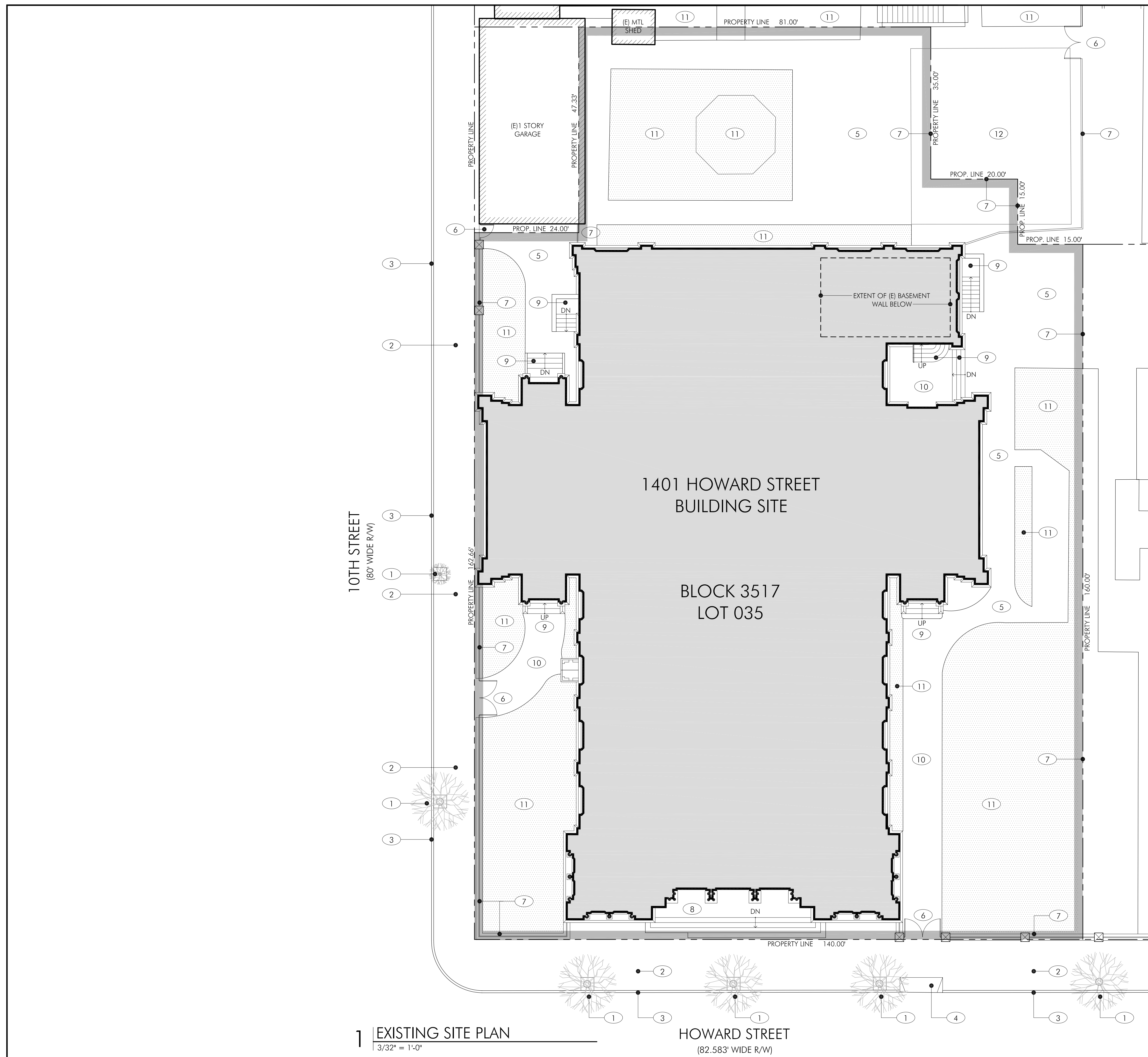
1401 HOWARD, LLC

SAN FRANCISCO		CALIFORNIA	
SCALE: 1" = 20'	DATE: 6/23/08	SURV: DD	DES:
SHEET: 1	OF: 1	MARTIN M. RON ASSOCIATES	DRW.: JP
JOB NO. S-7030		859 HARRISON STREET, SUITE 200	CHK.: BR
		SAN FRANCISCO, CA 94107	REV NO.
		(415) 543-4500	

SITE AREA = 85,844± SQ.FT. OR 1.971± ACRES

BOUNDARY DETAIL  
NO SCALE





- KEY NOTES:**
- ① (E) STREET TREE
  - ② (E) SIDEWALK; REPAIR AND REPLACE AS REQUIRED PER CITY APPROVED STANDARDS
  - ③ (E) CURB & GUTTER
  - ④ (E) DRIVEWAY CURB CUT
  - ⑤ (E) CONC. WALKWAY
  - ⑥ (E) MTL. GATE; REPAIR AND PAINT AS REQUIRED
  - ⑦ (E) MTL. FENCE; REPAIR AND REPLACE TO MATCH (E)
  - ⑧ (E) MAIN ENTRANCE EXTERIOR STAIRS
  - ⑨ (E) EXTERIOR STAIRS
  - ⑩ (E) EXTERIOR LANDING
  - ⑪ (E) PLANTER / LANDSCAPING; SEE LANDSCAPE PLANS
  - ⑫ (E) PLAY AREA (PLAY STRUCTURE NOT SHOWN)
  - ⑬ (N) 24" BOX (MIN.) STREET TREES, SPECIES SELECTED PER LANDSCAPE ARCHITECT'S RECOMMENDATIONS OR CITY APPROVED STANDARDS
  - ⑭ (N) MTL. GATE TO MATCH EXISTING
  - ⑮ (N) MTL. FENCE TO MATCH (E) HISTORIC FENCE
  - ⑯ (N) ADA RAMP
  - ⑰ (N) STAIRS W/ MTL. GRABRAILS
  - ⑱ (N) EXTERIOR LANDING W/ MTL. GUARDRAIL
  - ⑲ (N) PLANTER / LANDSCAPING; SEE LANDSCAPE PLANS

**1401**  
**HOWARD STREET**  
 SAN FRANCISCO, CA 94103



1014 Howard Street San Francisco, CA 94103  
 F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
 This drawing and written material constitute the original work of this Architect and may not be used, duplicated or disclosed without the Architect's written consent.



01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



**CONDITIONAL USE &  
 CERT. OF APPROPRIATENESS  
 SUBMITTAL**

JOB NUMBER: DRAWN BY: FL / JJ  
 DATE: DEC. 12, 2011 CHECKED BY: WS

SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'

SHEET TITLE:  
**EXISTING / DEMO  
 SITE PLAN**

SHEET NUMBER:  
**A1.0**

**1** EXISTING SITE PLAN  
 3/32" = 1'-0"

HOWARD STREET  
 (82.583' WIDE R/W)



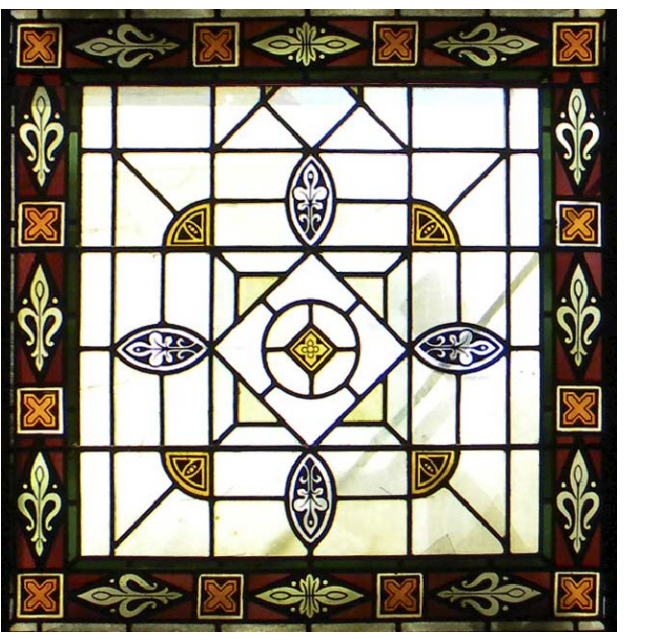
# 1401

HOWARD STREET  
SAN FRANCISCO, CA 94103

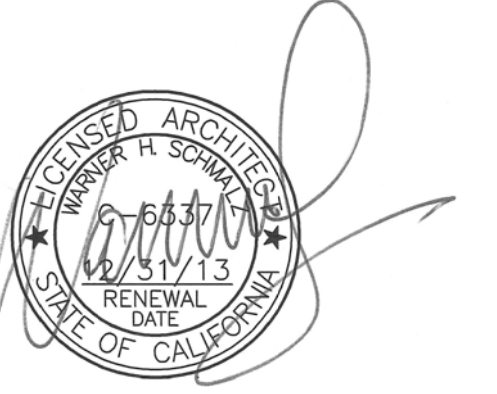
**FORUM DESIGN**  
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or decked without the Architect's written consent.



01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



## CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL

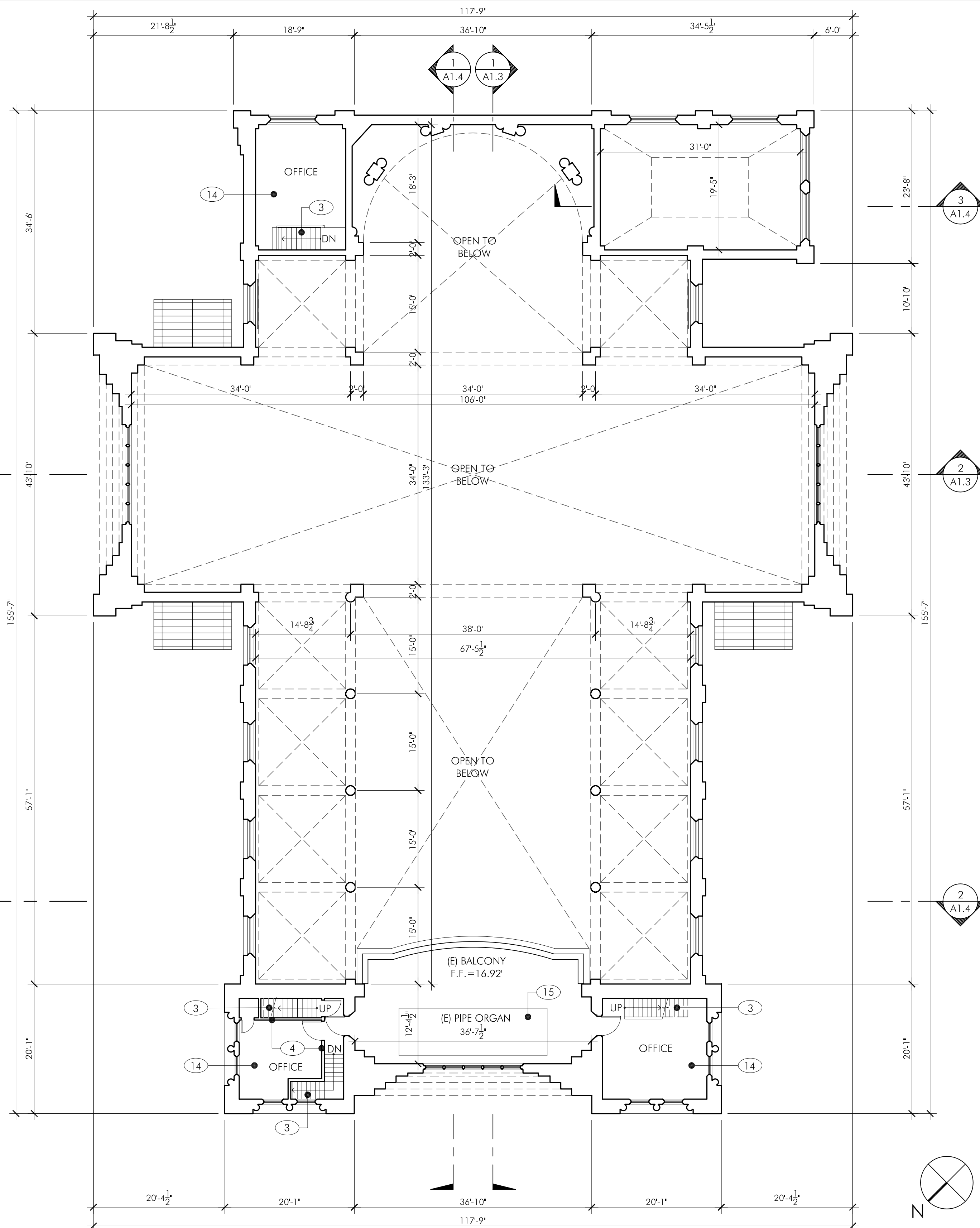
JOB NUMBER: \_\_\_\_\_ DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS

SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'

SHEET TITLE:  
**EXISTING/DEMO GROUND & SECOND FLOOR PLANS**

SHEET NUMBER: \_\_\_\_\_

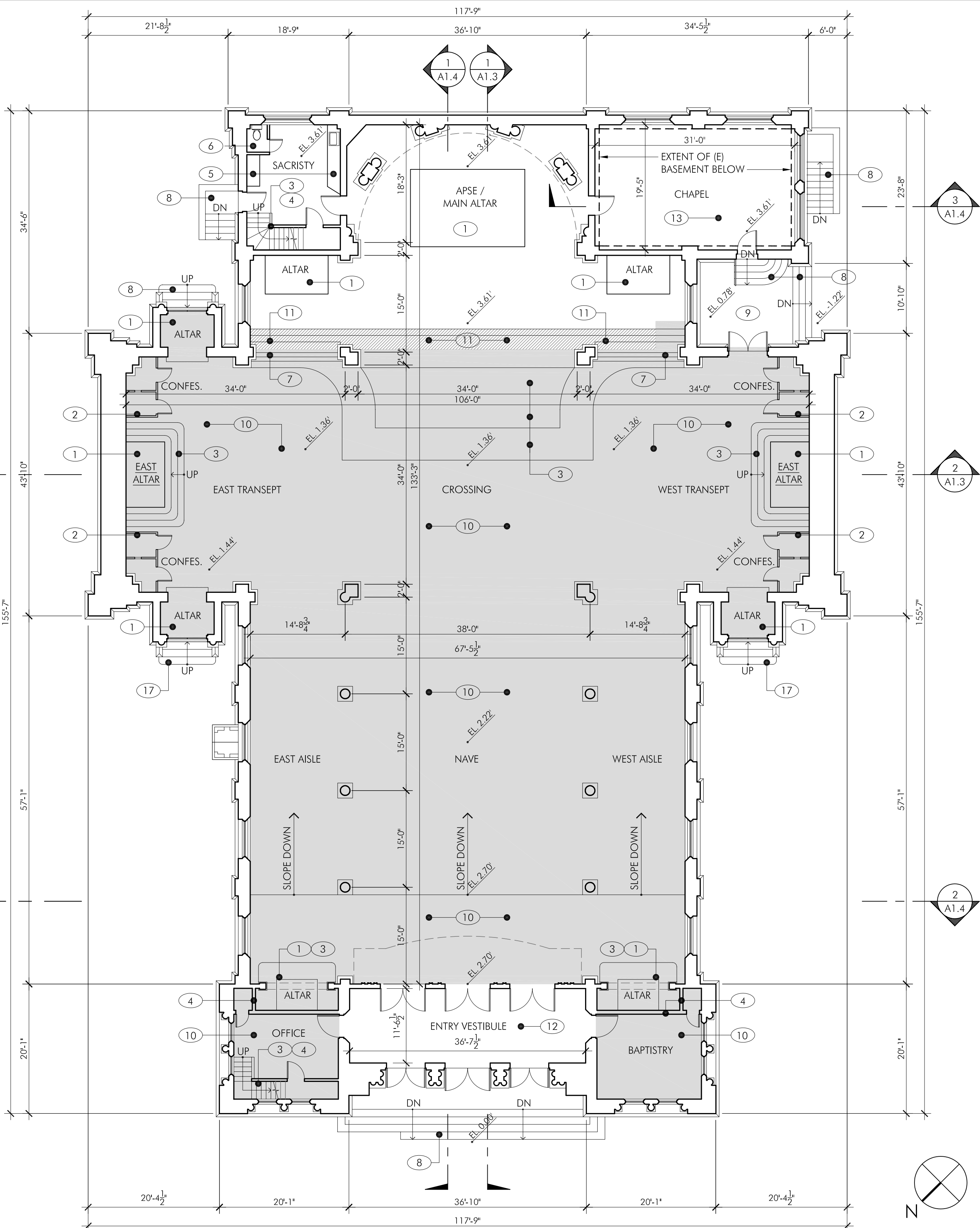
# A1.1



**2 EXISTING SECOND FLOOR PLAN**  
3/32" = 1'-0"

**KEY NOTES:**

- |  |  |  |
|--|--|--|
| ① (E) ALTAR / PLATFORM TO BE REMOVED; REPAIR & REPLACE FLOOR SUBFLOOR AND PREPARE FOR (N) FLOOR FINISH | ⑧ (E) EXTERIOR STAIRS TO REMAIN  | ⑭ (E) FLOOR TO BE REMOVED & REPLACED   |
| ② (E) CONFESSONAL BOOTH TO BE REMOVED  | ⑨ (E) EXTERIOR LANDING   | ⑮ (E) PIPE ORGAN TO BE REMOVED   |
| ③ (E) STAIRS / STEPS TO BE REMOVED   | ⑩ (E) SLOPED / LEVEL CONC. FLOOR TO BE REMOVED & REPLACED                  | ⑯ (E) ROOFING - SEE HISTORIC PRESERVATION ARCHITECTS DWG                                   |
| ④ (E) WALLS TO BE REMOVED  | ⑪ (E) RAISED WD. FLOOR TO BE EXTENDED TO MATCH ADJACENT RAISED FLOOR LEVEL | ⑰ (E) EXTERIOR STAIRS TO REMAIN; (N) EXTERIOR LANDING TO BE BUILT IN PLACE OVER (E) STAIRS |
| ⑤ (E) CABINETS / CASEWORK TO BE REMOVED  | ⑫ (E) MARBLE FLOOR TO REMAIN & REFINISHED                                  |  |
| ⑥ (E) TOILET TO BE REMOVED; CAP ALL PLUMBING   | ⑬ (E) CARPET TO BE REMOVED   |  |
| ⑦ (E) WD. RAIL TO BE REMOVED   |  |  |



**1 EXISTING GROUND FLOOR PLAN**  
3/32" = 1'-0"

**DRAWING LEGEND:**

- |  |  |
|--|--|
|  | (E) SLOPED / LEVEL CONC. FLOOR TO BE REMOVED & REPLACED                  |
|  | (E) RAISED WD. FLOOR TO BE EXTENDED TO MATCH ADJACENT RAISED FLOOR LEVEL |

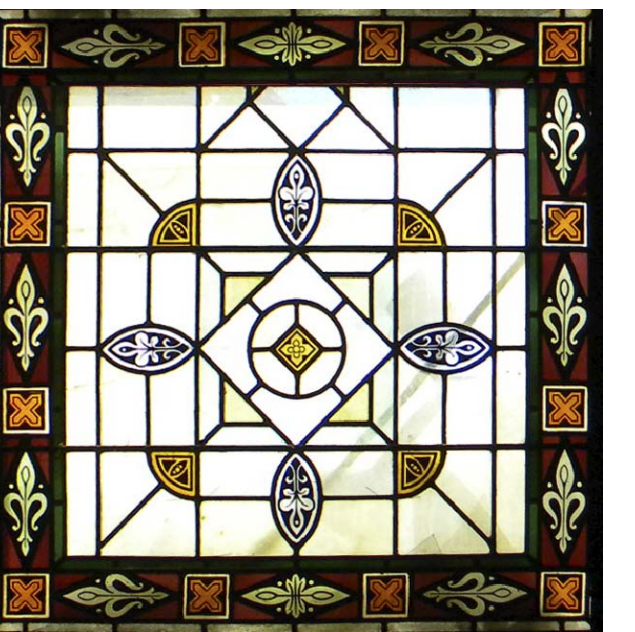
# 1401

HOWARD STREET  
SAN FRANCISCO, CA 94103

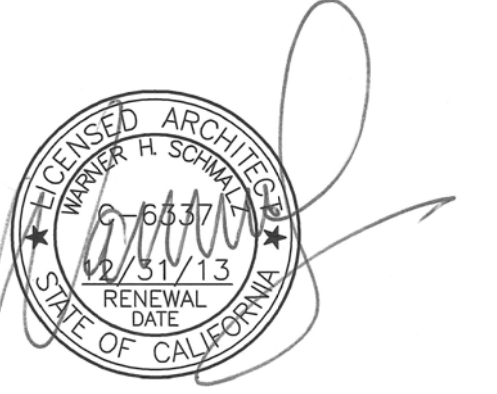
**FORUM DESIGN**  
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or decked without the Architect's written consent.



01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



## CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL

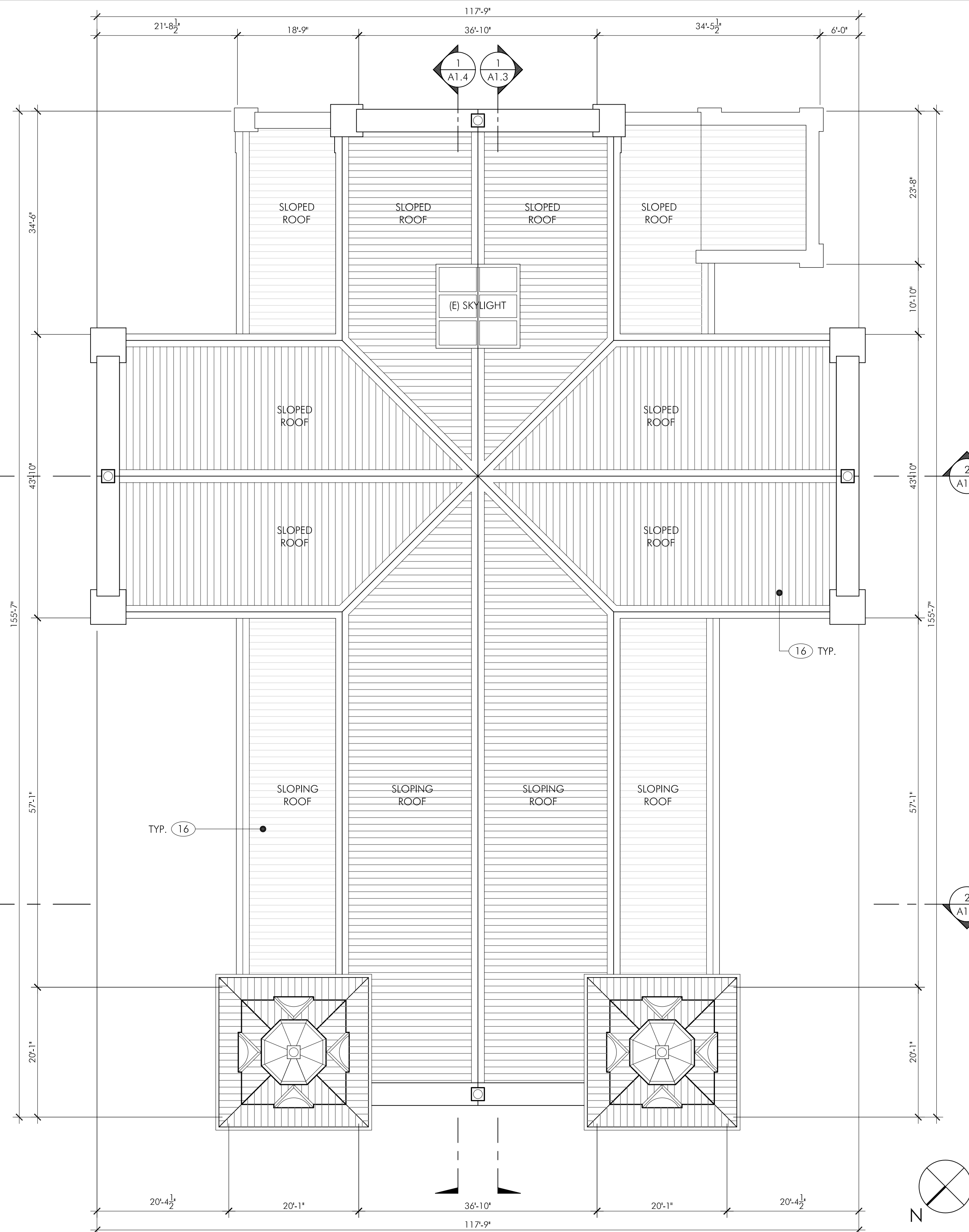
JOB NUMBER: \_\_\_\_\_ DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS

SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'

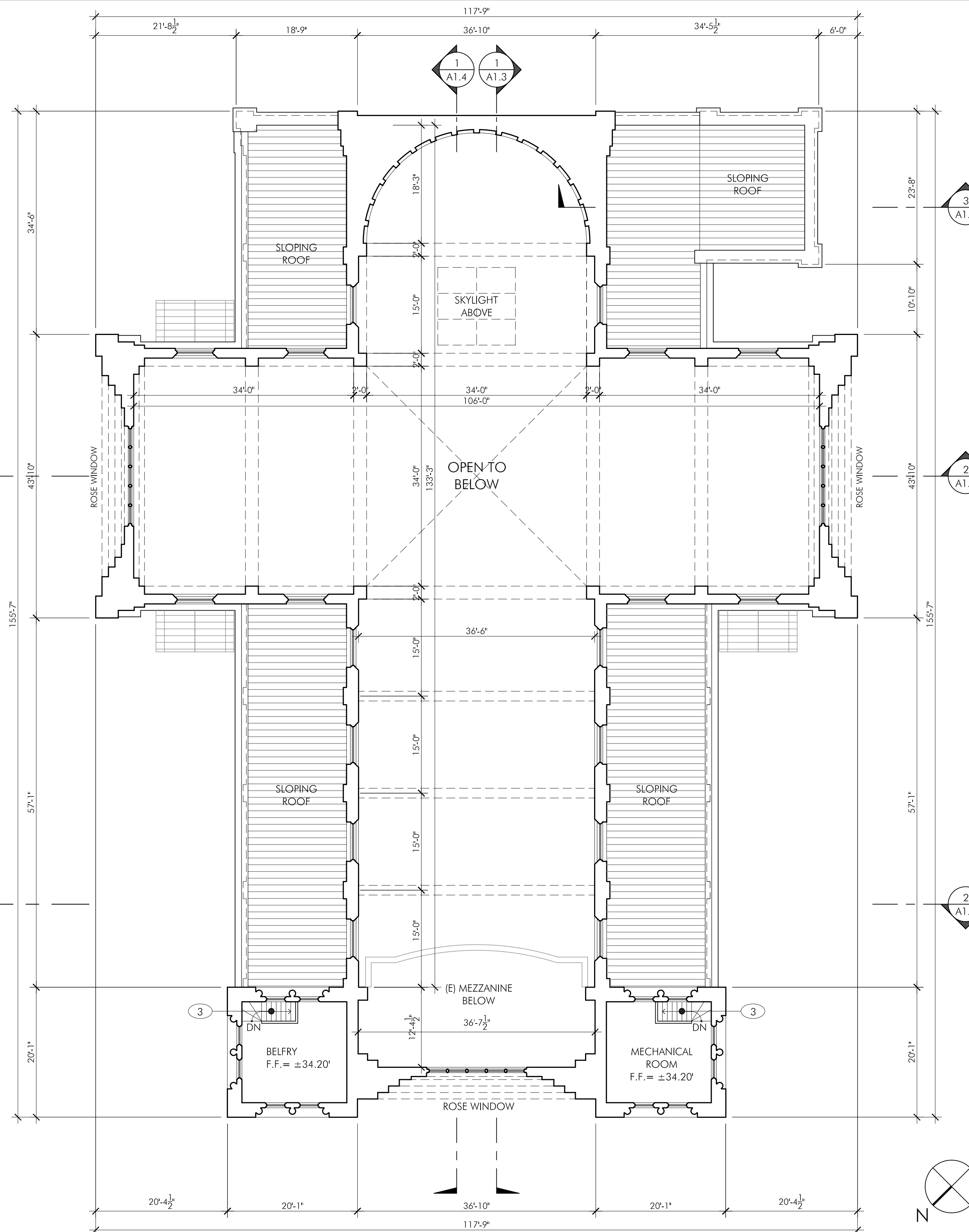
SHEET TITLE: **EXISTING/DEMO BELFRY & ROOF PLAN**

SHEET NUMBER: \_\_\_\_\_

# A1.2



**2** EXISTING ROOF PLAN  
3/32" = 1'-0"



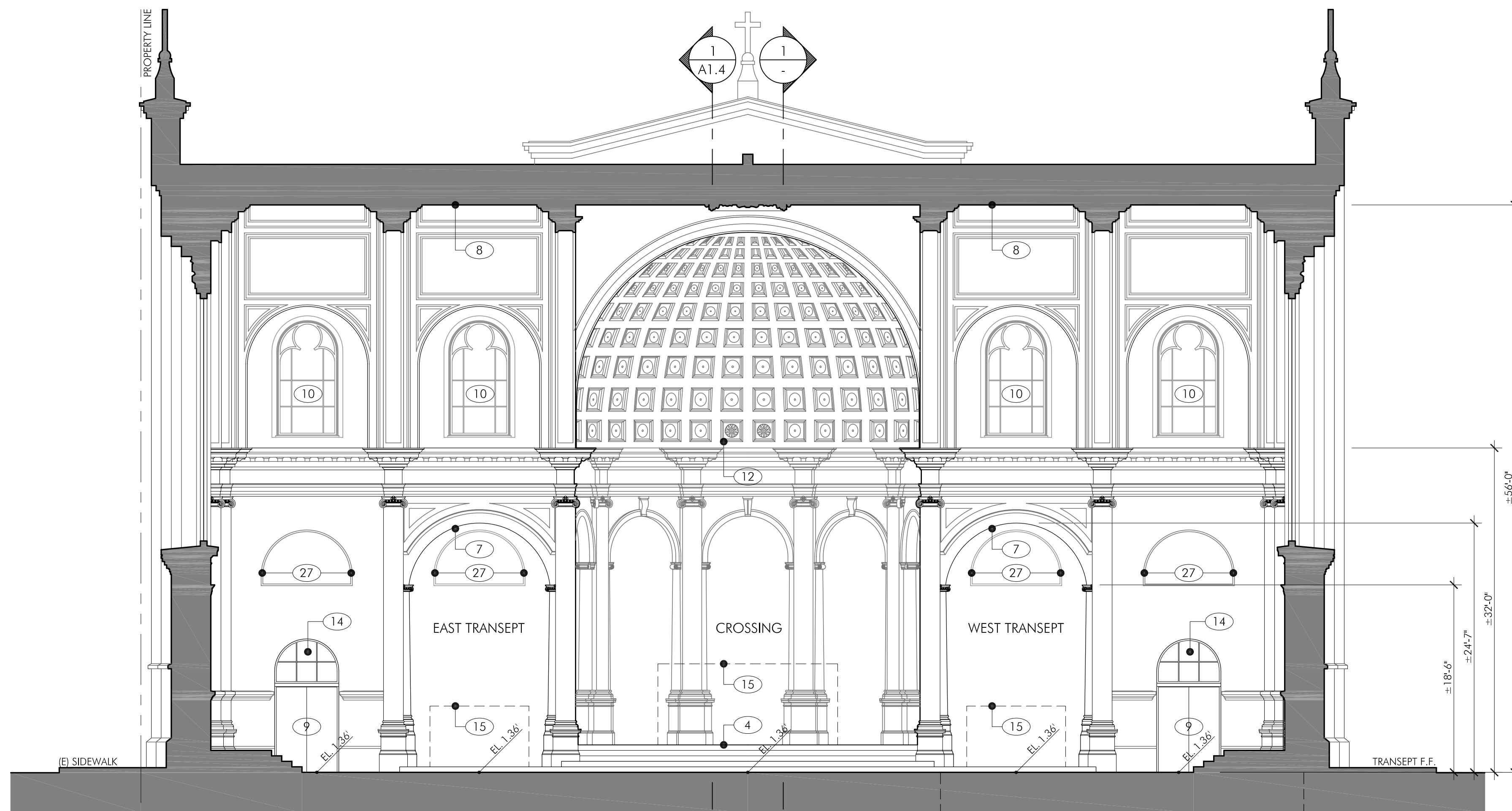
**1** EXISTING BELFRY / MECHANICAL LEVEL PLAN  
3/32" = 1'-0"

**KEY NOTES:**

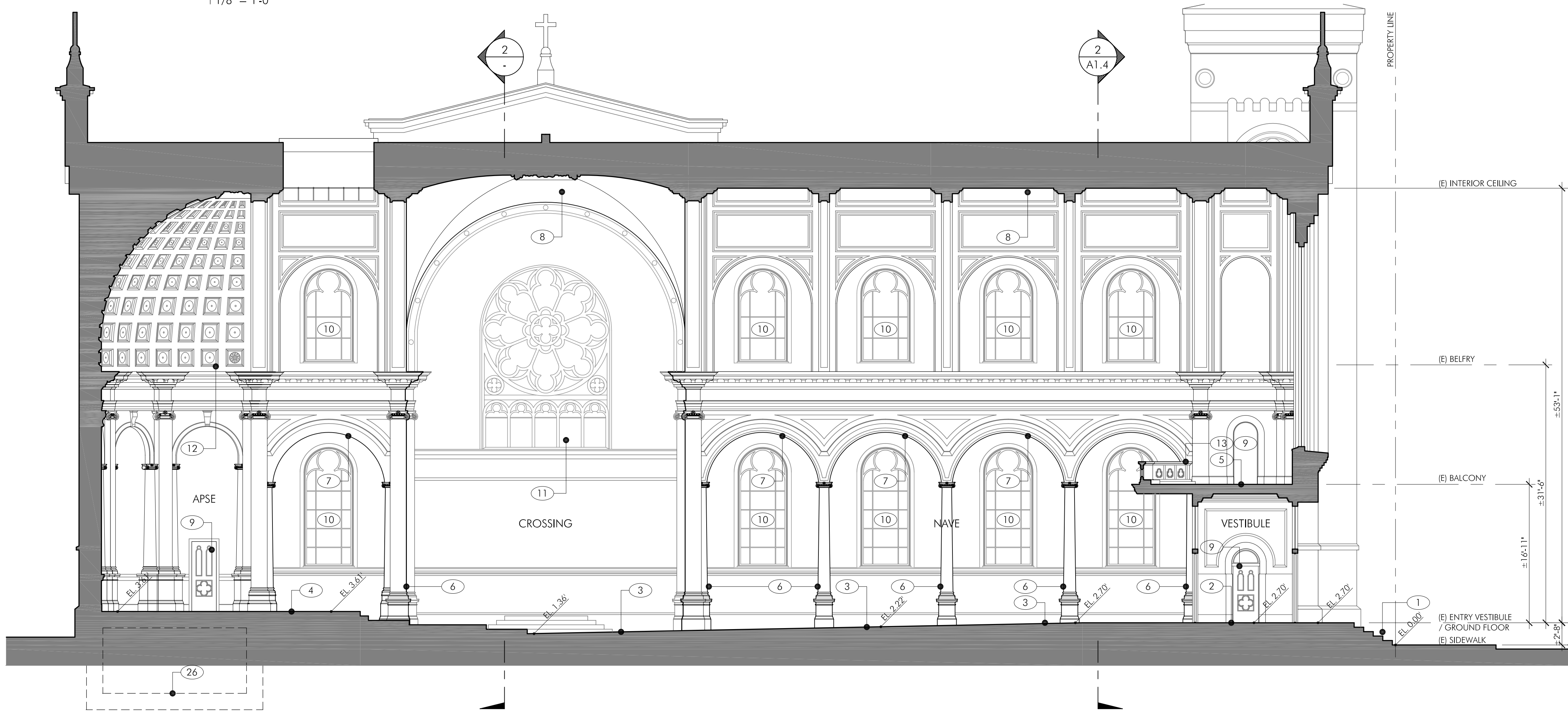
- 1 (E) ALTAR / PLATFORM TO BE REMOVED; REPAIR & REPLACE FLOOR SUBFLOOR AND PREPARE FOR (N) FLOOR FINISH
- 2 (E) CONFESSONAL BOOTH TO BE REMOVED
- 3 (E) STAIRS / STEPS TO BE REMOVED
- 4 (E) WALLS TO BE REMOVED
- 5 (E) CABINETS / CASEWORK TO BE REMOVED
- 6 (E) TOILET TO BE REMOVED; CAP ALL PLUMBING
- 7 (E) WD. RAIL TO BE REMOVED
- 8 (E) EXTERIOR STAIRS TO REMAIN
- 9 (E) EXTERIOR LANDING
- 10 (E) SLOPED / LEVEL CONC. FLOOR TO BE REMOVED & REPLACED
- 11 (E) RAISED WD. FLOOR TO BE EXTENDED TO MATCH ADJACENT RAISED FLOOR LEVEL
- 12 (E) MARBLE FLOOR TO REMAIN & REFINISHED
- 13 (E) CARPET TO BE REMOVED
- 14 (E) FLOOR TO BE REMOVED & REPLACED
- 15 (E) PIPE ORGAN TO BE REMOVED
- 16 (E) ROOFING - SEE HISTORIC PRESERVATION ARCHITECT'S DWG
- 17 (E) EXTERIOR STAIRS TO REMAIN; (N) EXTERIOR LANDING TO BE BUILT IN PLACE OVER (E) STAIRS

**DRAWING LEGEND:**

- (E) SLOPED / LEVEL CONC. FLOOR TO BE REMOVED & REPLACED
- (E) RAISED WD. FLOOR TO BE EXTENDED TO MATCH ADJACENT RAISED FLOOR LEVEL



2 EXISTING INTERIOR ELEVATION / BUILDING SECTION  
1/8" = 1'-0"



1 EXISTING INTERIOR ELEVATION / BUILDING SECTION  
1/8" = 1'-0"

KEY NOTES:

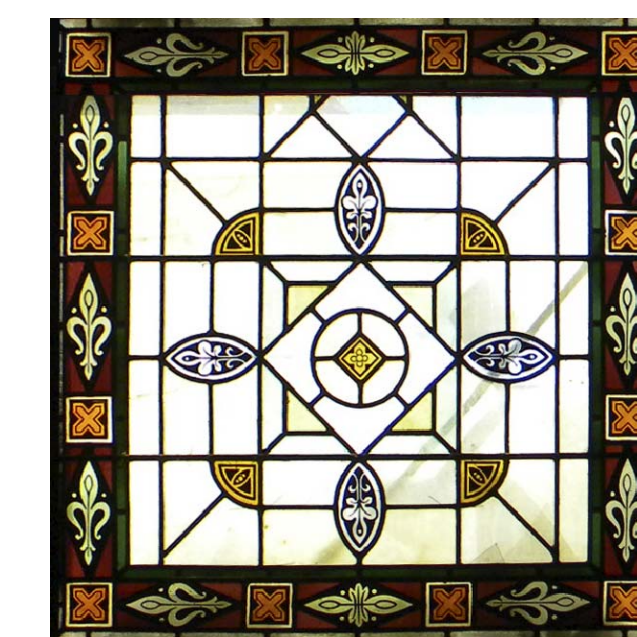
- 1 (E) MAIN EXTERIOR FRONT STAIRS TO REMAIN
- 2 (E) STONE TILE FLOOR TO REMAIN
- 3 (E) SLOPED CONC. FLOOR TO BE REMOVED
- 4 (E) RAISED MAIN ALTAR WD. FLOOR TO REMAIN
- 5 (E) ORGAN BALCONY LEVEL
- 6 (E) HISTORIC COLUMNS; COLUMN BASES TO BE EXTENDED TO (N) FLOOR LEVEL
- 7 (E) HISTORIC ARCH TO REMAIN
- 8 (E) HISTORIC VAULTED CEILING TO REMAIN
- 9 (E) HISTORIC DOOR TO REMAIN
- 10 (E) HISTORIC WINDOW TO REMAIN
- 11 (E) HISTORIC ROSE WINDOW BEYOND
- 12 (E) HISTORIC DOME COFFER TO REMAIN
- 13 (E) HISTORIC ORGAN BALCONY WD. GUARDRAIL TO REMAIN
- 14 (E) ARCHED OPENING FOR TRANSOM WINDOW TO BE FILLED-IN & PLASTERED OVER
- 15 (E) ALTAR TO BE REMOVED
- 16 (E) PIPE ORGAN TO BE REMOVED
- 17 (N) CONC. GROUND FINISH FLOOR LEVEL
- 18 (N) SECOND FLOOR FINISH LEVEL
- 19 (N) STEPS TO MAIN ALTAR LEVEL
- 20 (N) STL. POST & GLASS GUARDRAIL SYSTEM
- 21 (N) COLUMN BASES EXTENDED TO (N) FLOOR LEVEL
- 22 (N) STAIR 1
- 23 (N) ADA MECHANICAL LIFT
- 24 (N) BRIDGE
- 25 (N) STL. POST SUPPORT FOR (N) SECOND FLOOR, S.S.D.
- 26 (E) BASEMENT BEYOND (BELOW EXISTING CHAPEL)
- 27 (E) MOULDING TO BE REMOVED; PATCH & PLASTER WALL TO BE LEVEL WITH (E) ADJACENT WALL
- 28 (E) ARCH MOULDING TO BE RAISED, SEE A2.6 - WALL SECTION
- 29 (N) METAL RAIL ON TOP OF (E) WOOD RAIL

1401  
HOWARD STREET  
SAN FRANCISCO, CA 94103

**FORUM**DESIGN  
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or decked without the Architect's written consent.



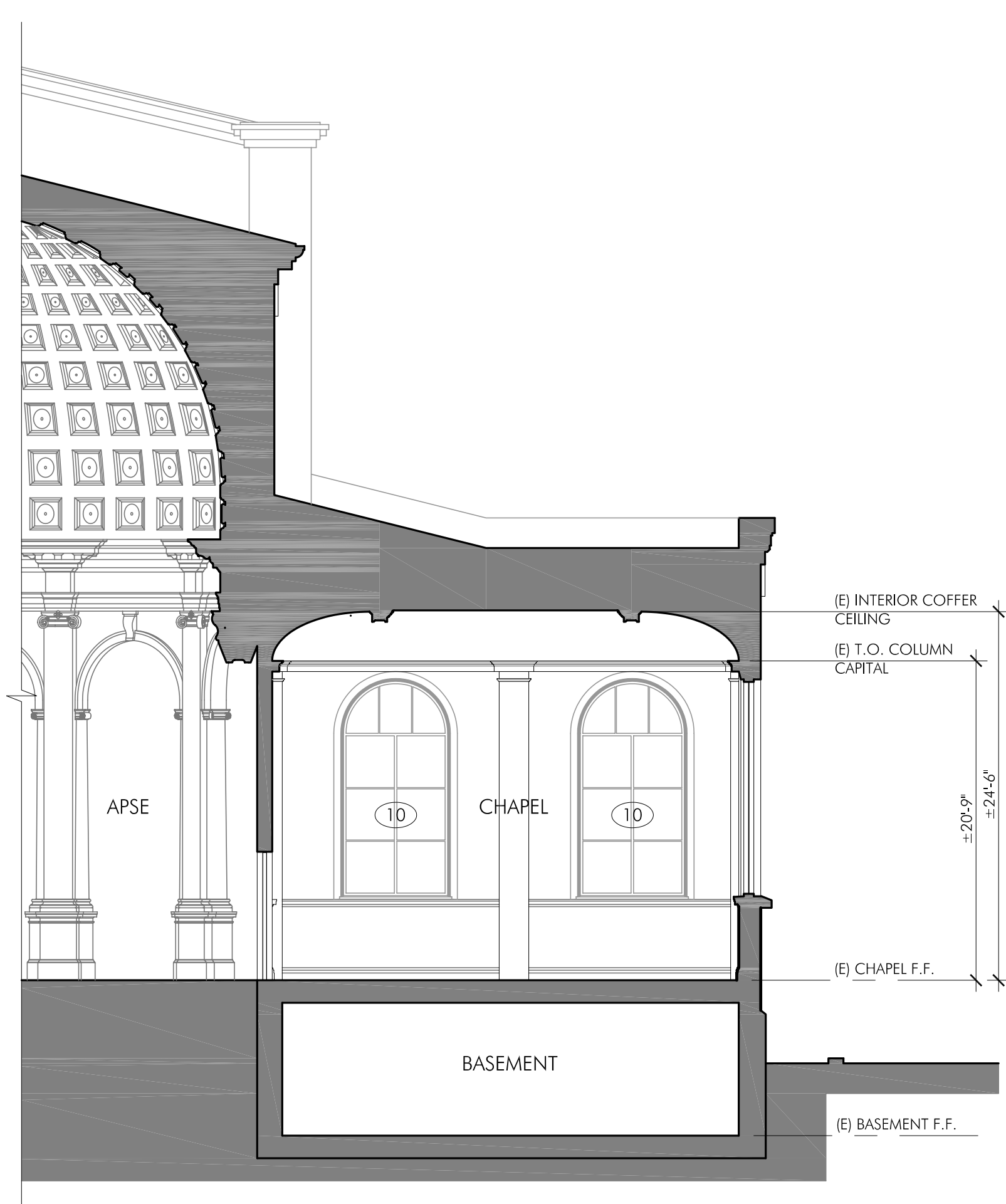
DATE	DESCRIPTION
01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



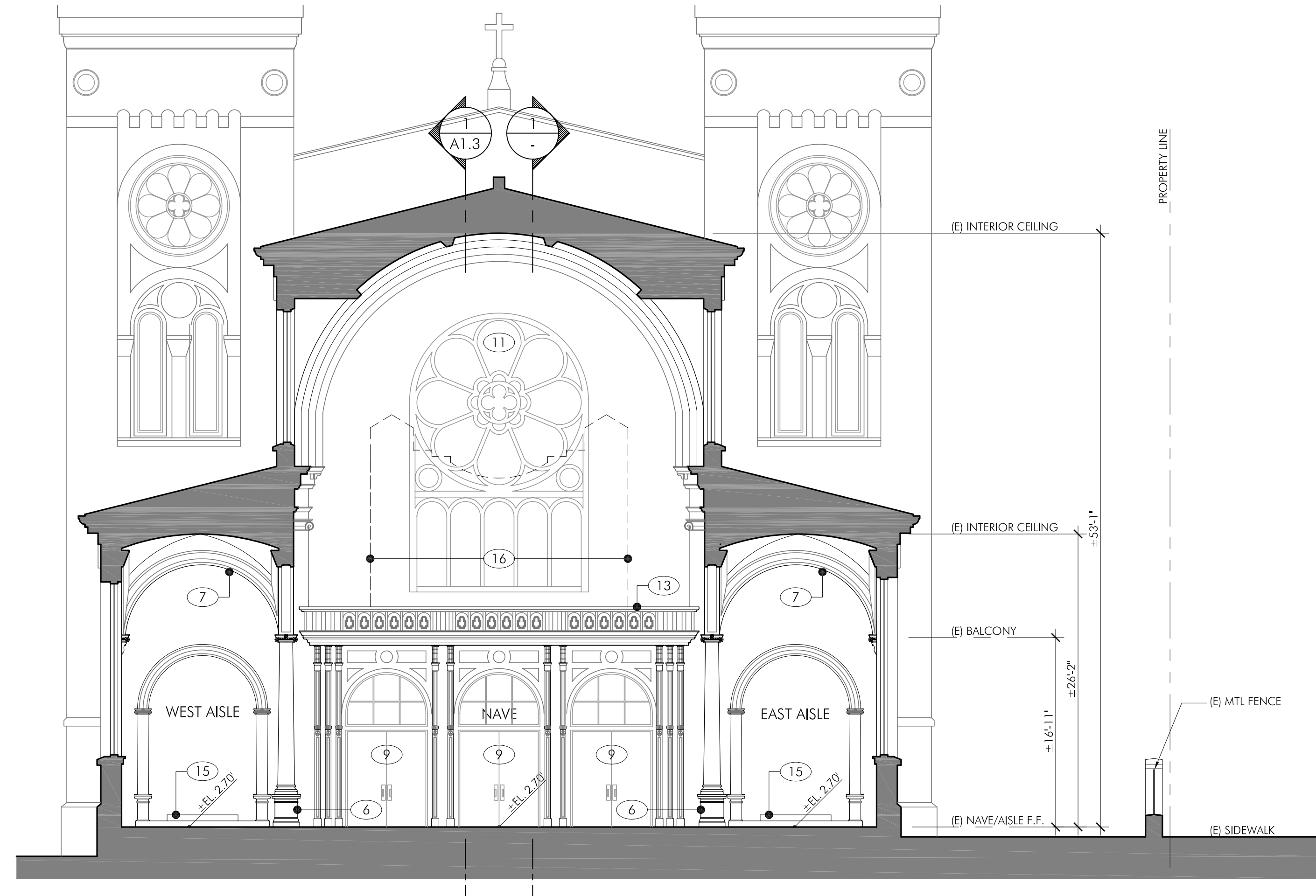
CONDITIONAL USE &  
CERT. OF APPROPRIATENESS  
SUBMITTAL

JOB NUMBER: \_\_\_\_\_ DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS  
SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'  
SHEET TITLE: EXISTING / DEMO  
INT ELEV / BLDG SECTIONS  
SHEET NUMBER: \_\_\_\_\_

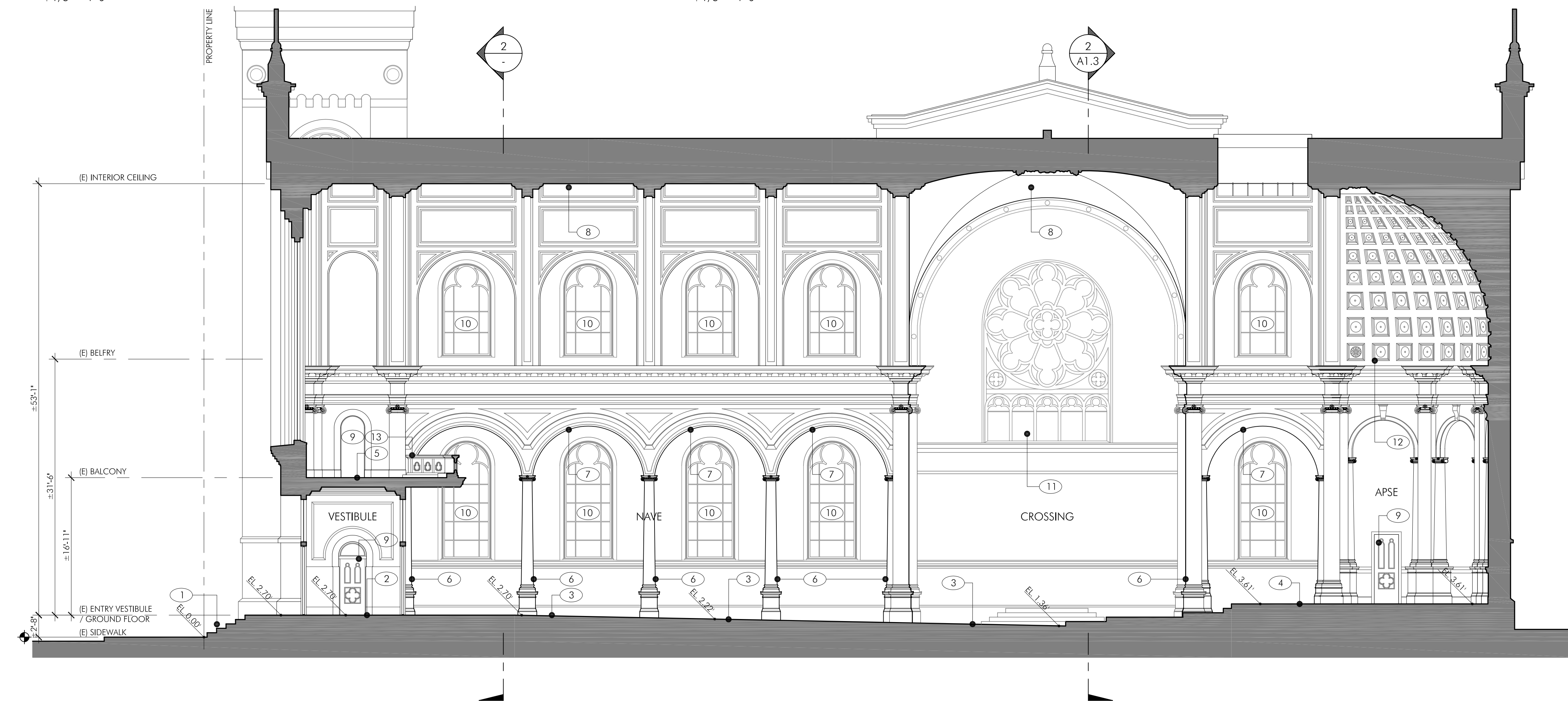
A1.3



**3** EXISTING INTERIOR ELEVATION / BUILDING SECTION  
1/8" = 1'-0"



**2** EXISTING INTERIOR ELEVATION / BUILDING SECTION  
1/8" = 1'-0"



**1** EXISTING INTERIOR ELEVATION / BUILDING SECTION  
1/8" = 1'-0"

**KEY NOTES:**

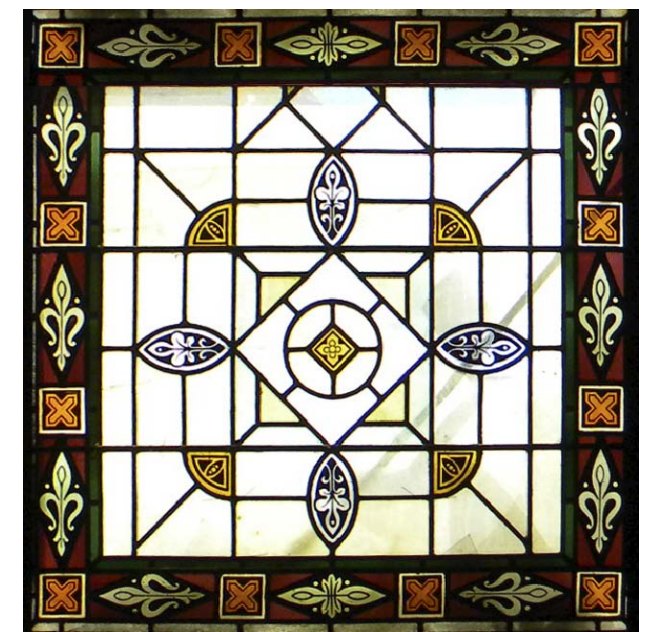
- 1 (E) MAIN EXTERIOR FRONT STAIRS TO REMAIN
- 2 (E) STONE TILE FLOOR TO REMAIN
- 3 (E) SLOPED CONC. FLOOR TO BE REMOVED
- 4 (E) RAISED MAIN ALTAR WD. FLOOR TO REMAIN
- 5 (E) ORGAN BALCONY LEVEL
- 6 (E) HISTORIC COLUMNS; COLUMN BASES TO BE EXTENDED TO (N) FLOOR LEVEL
- 7 (E) HISTORIC ARCH TO REMAIN
- 8 (E) HISTORIC VAULTED CEILING TO REMAIN
- 9 (E) HISTORIC DOOR TO REMAIN
- 10 (E) HISTORIC WINDOW TO REMAIN
- 11 (E) HISTORIC ROSE WINDOW BEYOND
- 12 (E) HISTORIC DOME COFFER TO REMAIN
- 13 (E) HISTORIC ORGAN BALCONY WD. GUARDRAIL TO REMAIN
- 14 (E) ARCHED OPENING FOR TRANSOM WINDOW TO BE FILLED-IN & PLASTERED OVER
- 15 (E) ALTAR TO BE REMOVED
- 16 (E) PIPE ORGAN TO BE REMOVED
- 17 (N) CONC. GROUND FINISH FLOOR LEVEL
- 18 (N) SECOND FLOOR FINISH LEVEL
- 19 (N) STEPS TO MAIN ALTAR LEVEL
- 20 (N) STL. POST & GLASS GUARDRAIL SYSTEM
- 21 (N) COLUMN BASES EXTENDED TO (N) FLOOR LEVEL
- 22 (N) STAIR 1
- 23 (N) ADA MECHANICAL LIFT
- 24 (N) BRIDGE
- 25 (N) STL. POST SUPPORT FOR (N) SECOND FLOOR, S.S.D.
- 26 (E) BASEMENT BEYOND (BELOW EXISTING CHAPEL)
- 27 (E) MOULDING TO BE REMOVED; PATCH & PLASTER WALL TO BE LEVEL WITH (E) ADJACENT WALL
- 28 (E) ARCH MOULDING TO BE RAISED, SEE A2.6 - WALL SECTION
- 29 (N) METAL RAIL ON TOP OF (E) WOOD RAIL

**1401**  
HOWARD STREET  
SAN FRANCISCO, CA 94103

**FORUM DESIGN**  
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or decked without the Architect's written consent.



DATE	DESCRIPTION
01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



**CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL**

JOB NUMBER: \_\_\_\_\_ DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS

SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'

SHEET TITLE: EXISTING / DEMO INT ELEV / BLDG SECTIONS

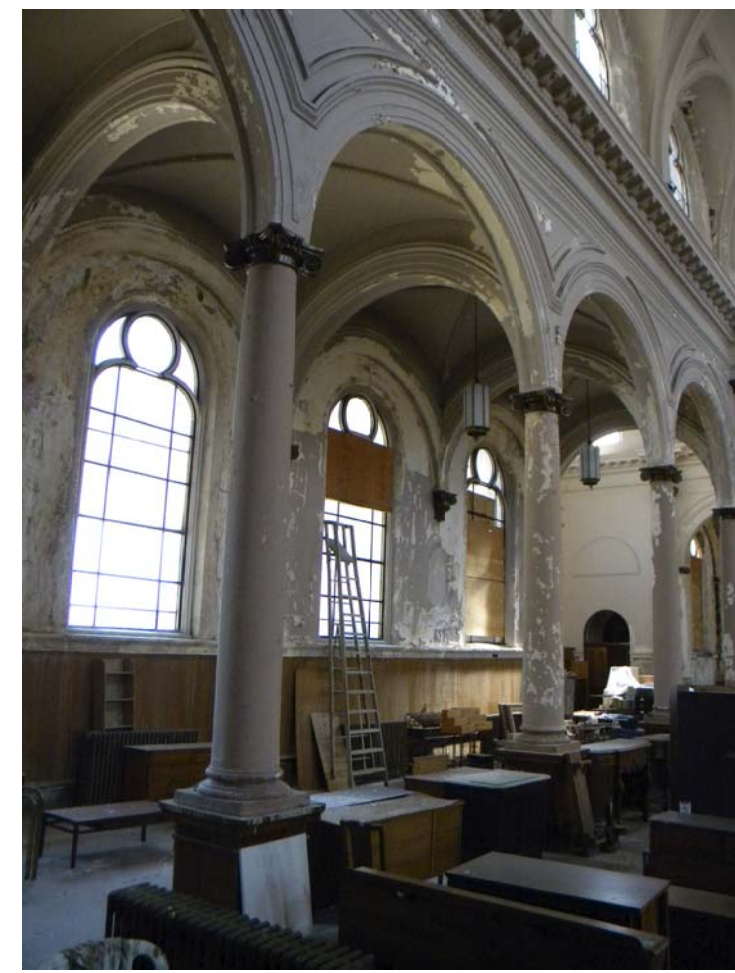
SHEET NUMBER: \_\_\_\_\_

**A1.4**

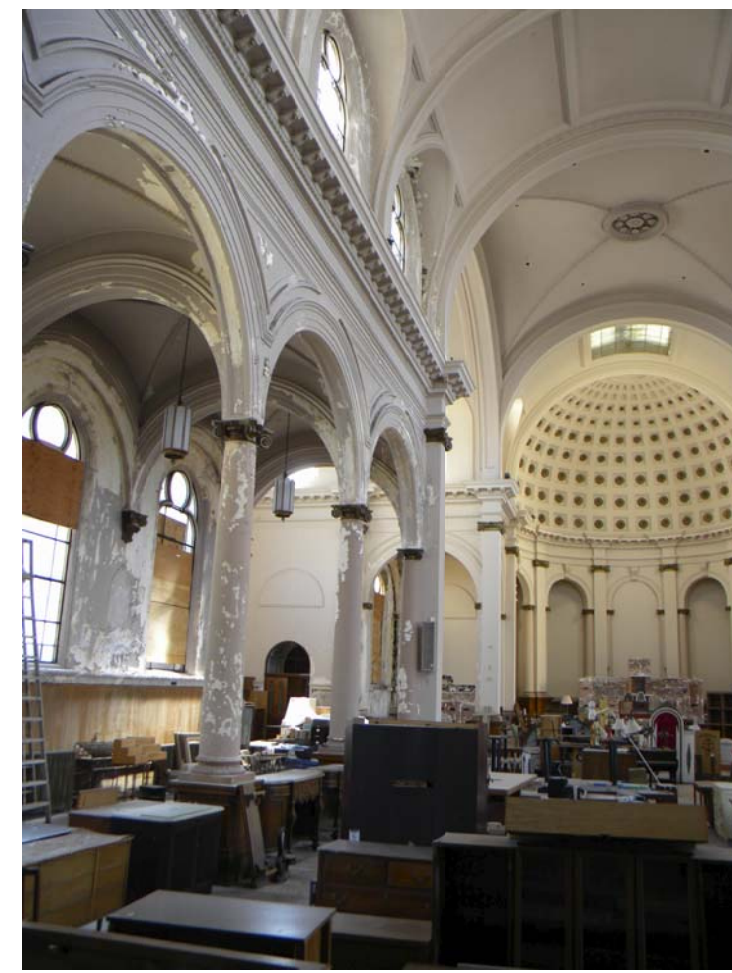




1



15



14



13



12



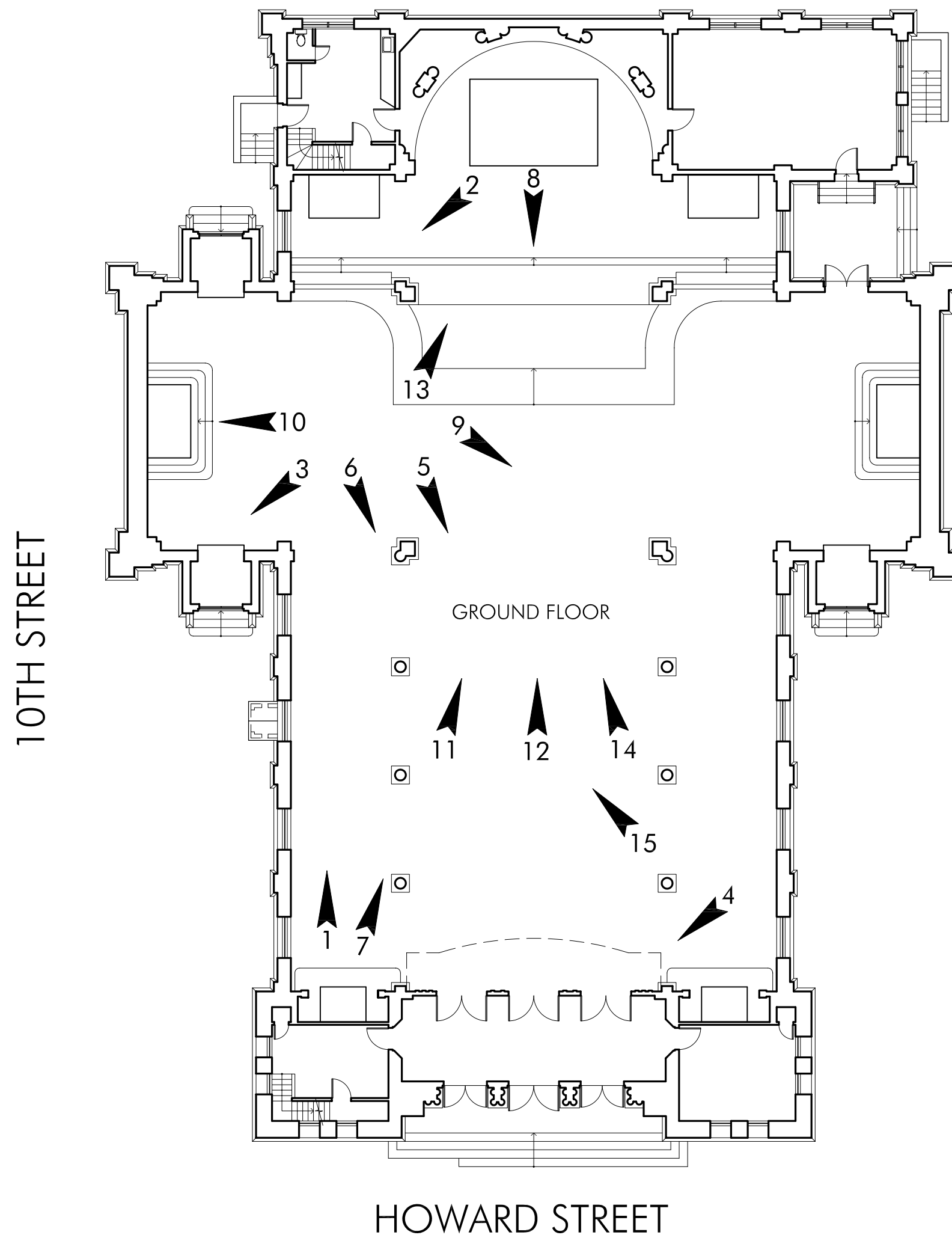
11



2



3



10



9



4



5



6



7



8

# 1401

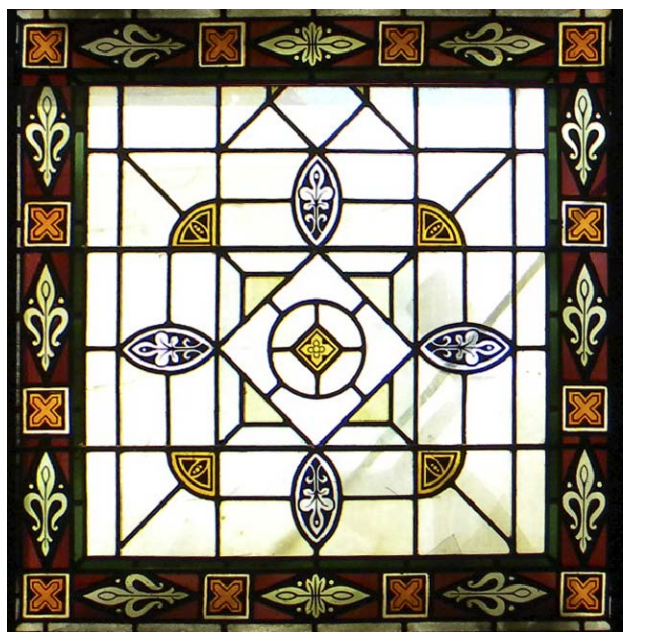
HOWARD STREET  
SAN FRANCISCO, CA 94103

## FORUM DESIGN

The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or decked without the Architect's written consent.



01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



### CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL

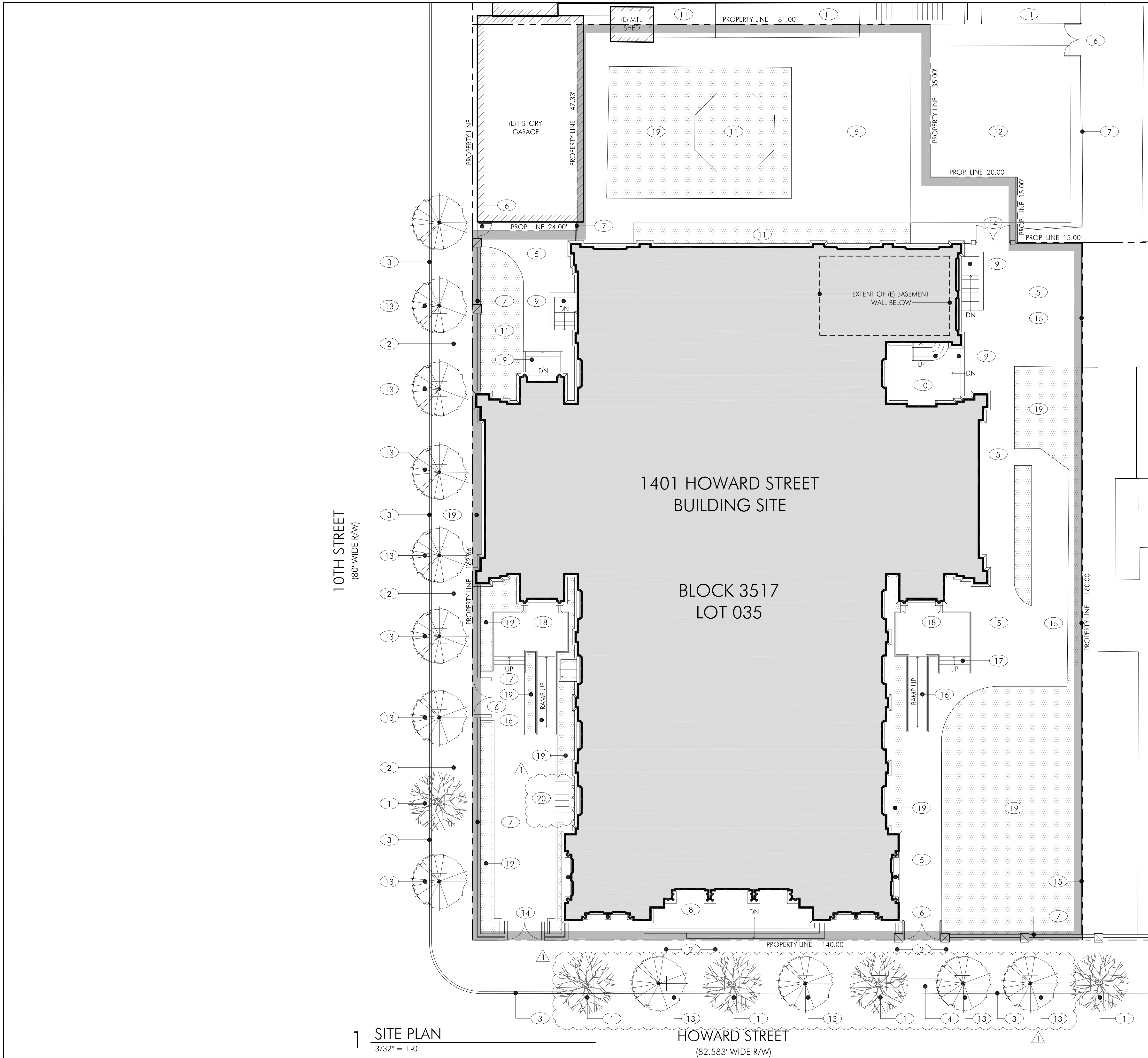
JOB NUMBER: \_\_\_\_\_ DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS

SCALE: N.T.S.

SHEET TITLE: INTERIOR BUILDING PHOTOS

SHEET NUMBER: \_\_\_\_\_

# A1.6



- KEY NOTES:**
- ① (E) STREET TREE
  - ② (E) SIDEWALK; REPAIR AND REPLACE AS REQUIRED PER CITY APPROVED STANDARDS
  - ③ (E) CURB & GUTTER
  - ④ (E) DRIVEWAY CURB CUT
  - ⑤ (E) CONC. WALKWAY
  - ⑥ (E) MTL. GATE; REPAIR AND PAINT AS REQUIRED
  - ⑦ (E) MTL. FENCE; REPAIR AND REPLACE TO MATCH (E)
  - ⑧ (E) MAIN ENTRANCE EXTERIOR STAIRS
  - ⑨ (E) EXTERIOR STAIRS
  - ⑩ (E) EXTERIOR LANDING
  - ⑪ (E) PLANTER / LANDSCAPING; SEE LANDSCAPE PLANS
  - ⑫ (E) PLAY AREA (PLAY STRUCTURE NOT SHOWN)
  - ⑬ (N) 24" BOX (MIN.) STREET TREES, SPECIES SELECTED PER LANDSCAPE ARCHITECT'S RECOMMENDATIONS AND SUBJECT TO DPW AND/OR ZONING ADMINISTRATOR'S APPROVAL
  - ⑭ (N) MTL. GATE TO MATCH EXISTING
  - ⑮ (N) MTL. FENCE TO MATCH (E) HISTORIC FENCE
  - ⑯ (N) ADA RAMP
  - ⑰ (N) STAIRS W/ MTL. GRABRAILS
  - ⑱ (N) EXTERIOR LANDING W/ MTL. GUARDRAIL
  - ⑲ (N) PLANTER / LANDSCAPING; SEE LANDSCAPE PLANS
  - ⑳ (N) 6 "CLASS II" BIKE PARKING SPACES

- DRAWING LEGEND:**
- PROJECT SITE LOT OUTLINE
  - (E) BUILDING FOOTPRINT & OUTLINE
  - (N) PLANTER / LANDSCAPING

# 1401

## HOWARD STREET

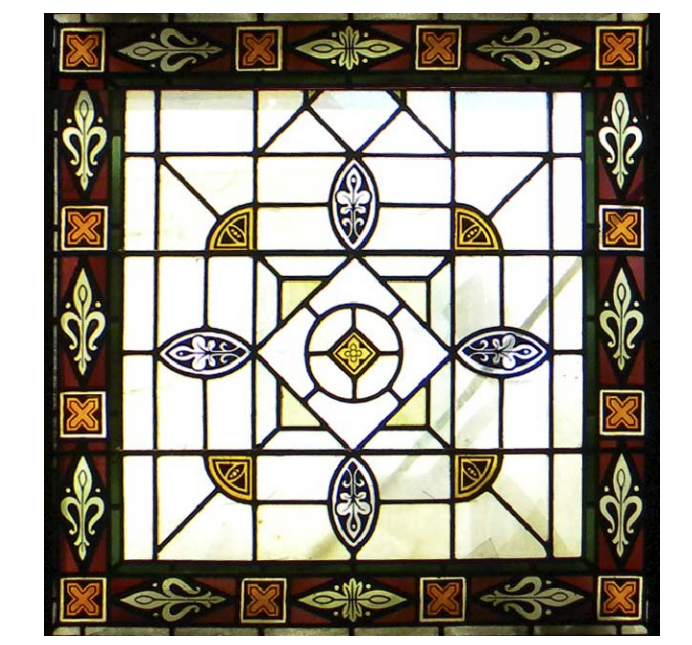
SAN FRANCISCO, CA 94103

**FORUMDESIGN**

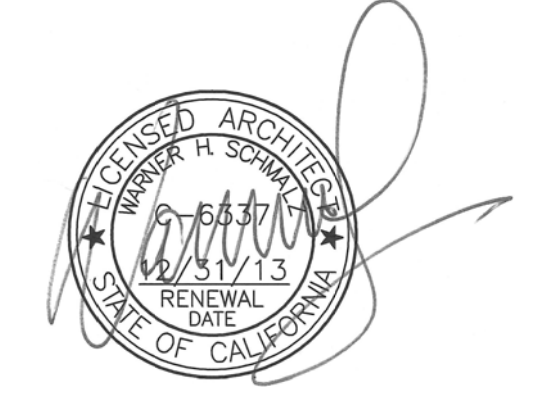
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
 F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
 This drawing and written material constitute the original work of this Architect and may not be used, duplicated or deconstructed without the Architect's written consent.



01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS
02/07/2012	BIKE PARKING & STREET TREES



### CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL

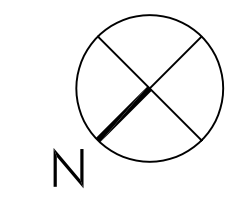
JOB NUMBER: \_\_\_\_\_ DRAWN BY: FL / JJ  
 DATE: DEC. 12, 2011 CHECKED BY: WS

SCALE: 3/32" = 1'-0"

SHEET TITLE: **PROPOSED SITE PLAN**

SHEET NUMBER: **A2.0**

1 | SITE PLAN  
 3/32" = 1'-0"



# 1401

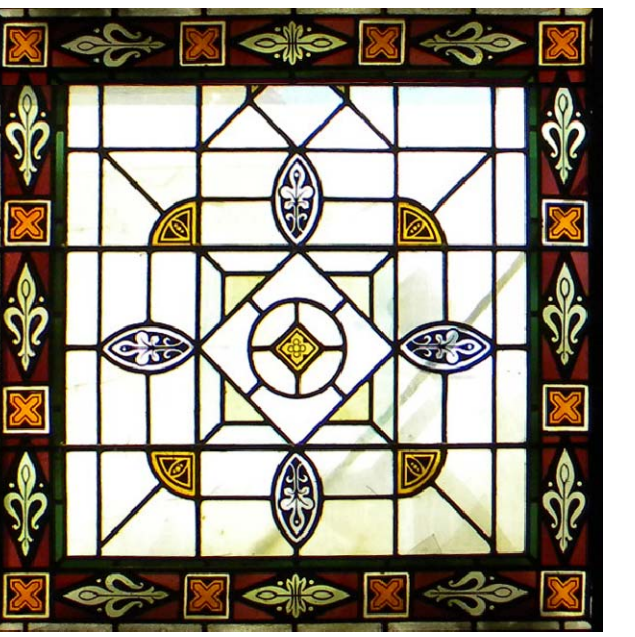
HOWARD STREET  
SAN FRANCISCO, CA 94103

**FORUM DESIGN**

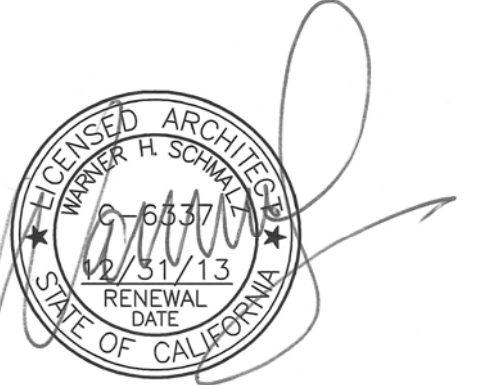
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or disclosed without the Architect's written consent.



01/23/2012 C.U. / COA SUBMITTAL W/ MINOR REVISIONS



## CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL

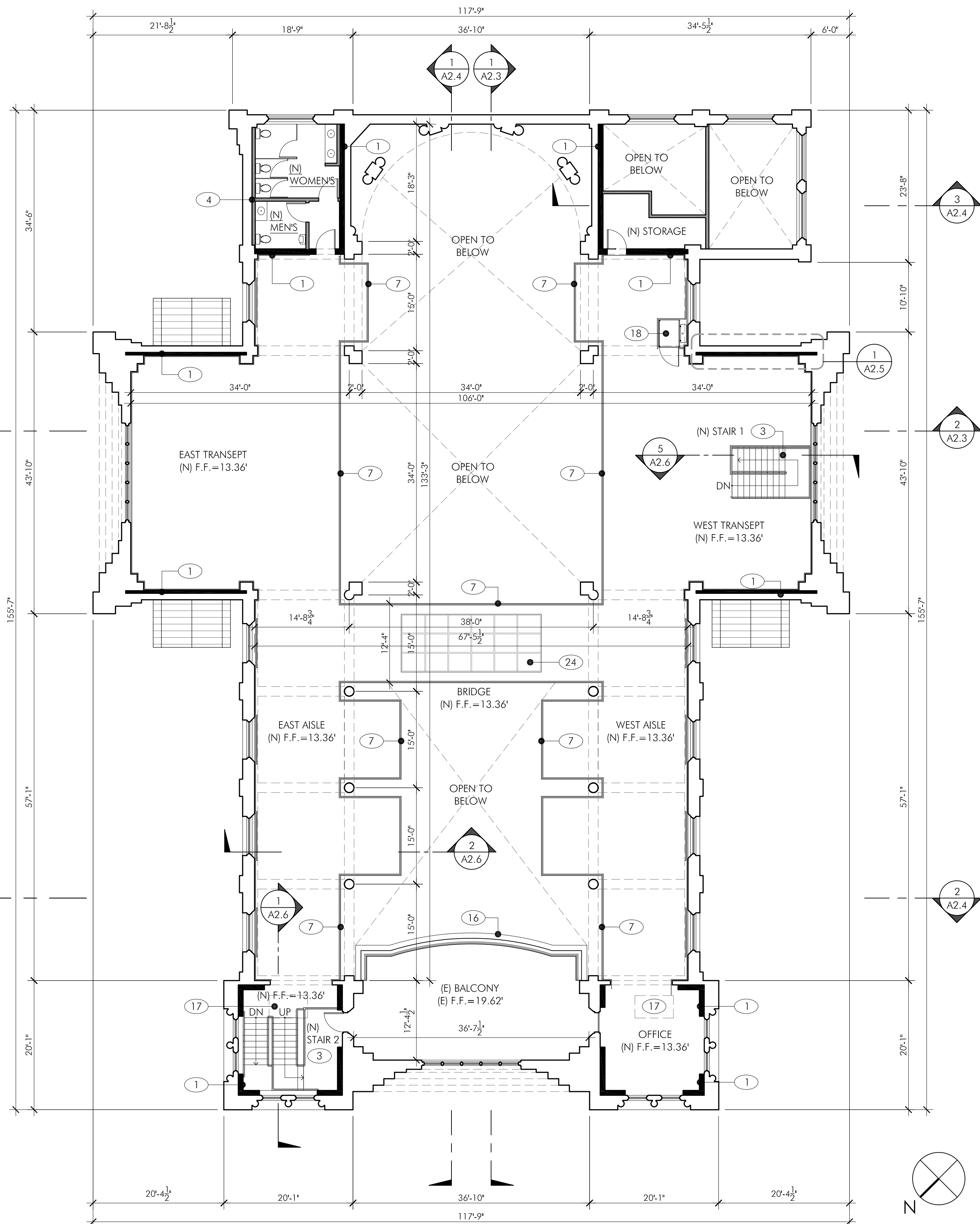
JOB NUMBER: DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS

SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'

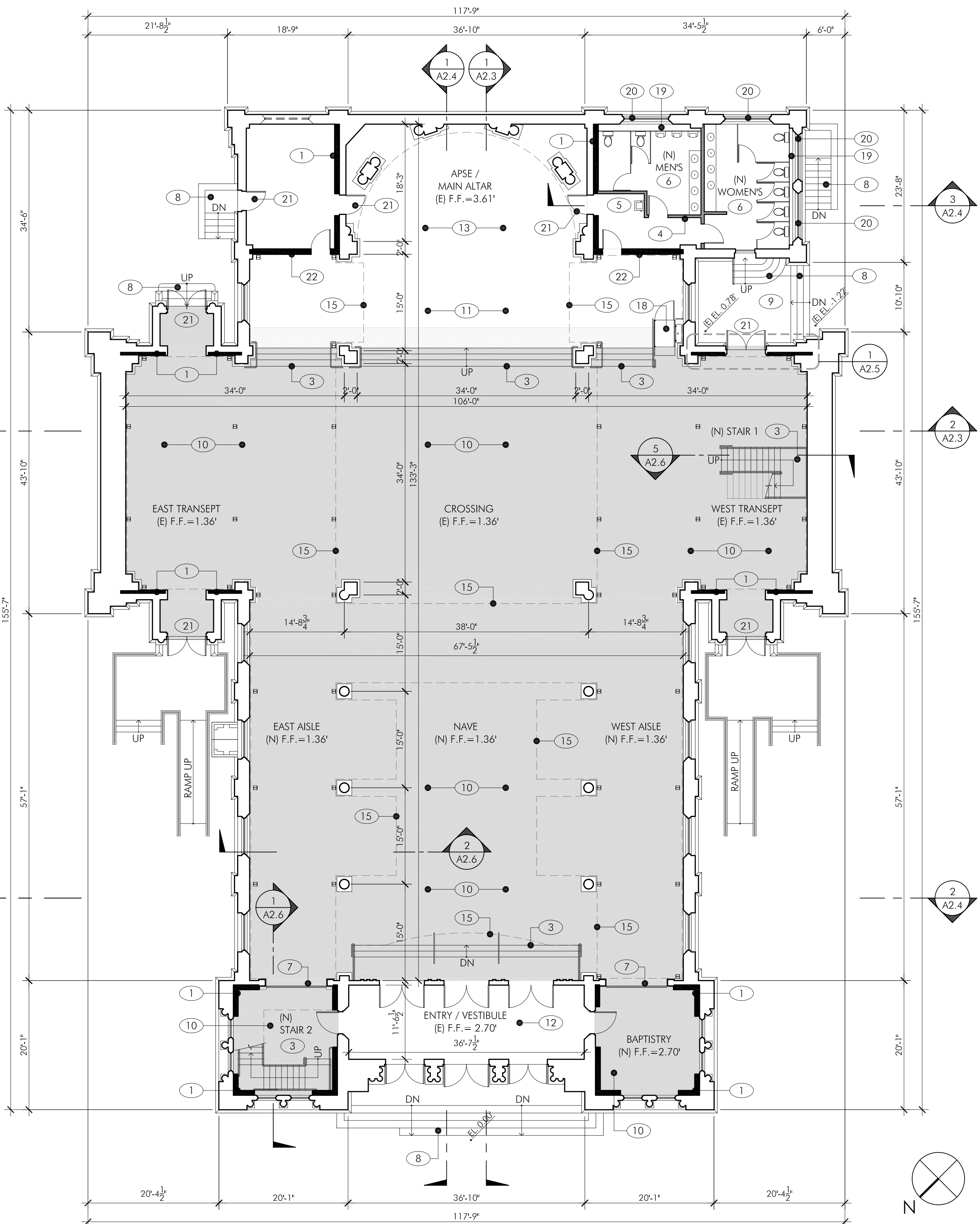
## PROPOSED GROUND & SECOND FLOOR PLANS

SHEET NUMBER:

# A2.1



**2 SECOND FLOOR PLAN**  
3/32" = 1'-0"



**1 GROUND FLOOR PLAN**  
3/32" = 1'-0"

**KEY NOTES:**

- 1 (N) STRUCTURAL SHEAR WALL; SEE STRUCTURAL DRAWINGS
- 2 (N) ADA RAMP
- 3 (N) STAIRS / STEPS
- 4 (N) WALLS
- 5 (N) DRINKING FOUNTAIN
- 6 (N) ADA TOILETS / LAVATORIES / URINALS
- 7 (N) 42" HIGH GLASS GUARDRAIL
- 8 (E) EXTERIOR STAIRS
- 9 (E) EXTERIOR LANDING
- 10 (N) CONC. FLOOR
- 11 (N) RAISED WD. FLOOR TO MATCH ADJACENT RAISED FLOOR LEVEL
- 12 (E) MARBLE FLOOR TO REMAIN & REFINISHED
- 13 REPAIR / REPLACE FLOOR SUBFLOOR AND PREPARE FOR (N) FLOOR FINISH
- 14 LINE OF (E) BASEMENT BELOW
- 15 LINE OF FLOOR ABOVE
- 16 (E) WD. GUARDRAIL TO REMAIN
- 17 (N) FOLD-UP ATTIC ACCESS STAIR ABOVE
- 18 (N) ADA WHEELCHAIR LIFT
- 19 (N) FURRED PLUMBING WALL BELOW (E) WINDOWS
- 20 (E) WINDOWS ABOVE TO REMAIN
- 21 (E) HISTORIC DOOR TO REMAIN
- 22 (N) ARCHED OPENING
- 23 LOCATION OF FUTURE PHOTOVOLTAIC PANELS BY SANYO ENERGY OR EQ; PANELS TO HAVE LOW REFLECTIVITY AND LOW PROFILE WHEN MOUNTED, WITH A MAXIMUM OF 12" ABOVE SLOPED ROOF
- 24 (N) MODULAR GLASS FLOOR PANELS
- 25 (N) ATTIC DOOR HATCH

**DRAWING LEGEND:**

- (N) CONC. FLOOR
- (N) RAISED WD. FLOOR



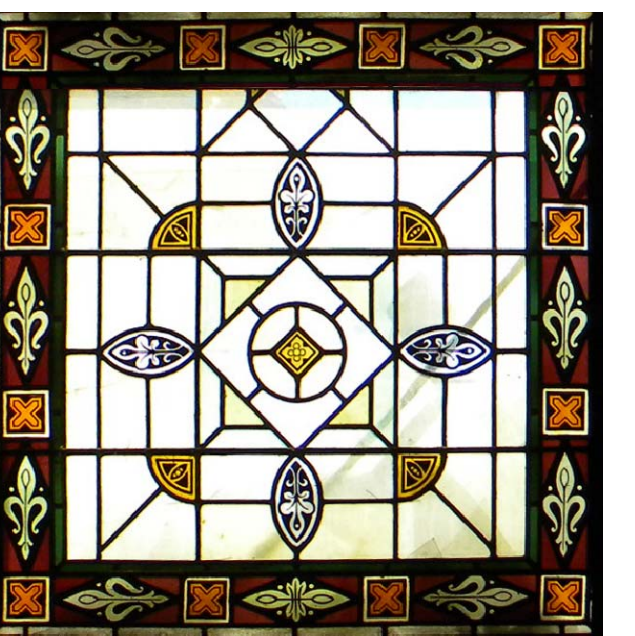
# 1401

HOWARD STREET  
SAN FRANCISCO, CA 94103

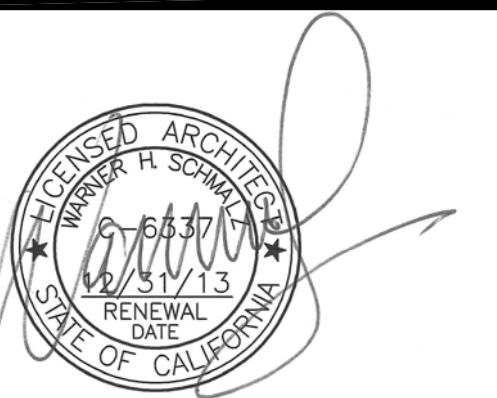
**FORUM DESIGN**  
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or disclosed without the Architect's written consent.



01/23/2012 C.U. / COA SUBMITTAL W/ MINOR REVISIONS



**CONDITIONAL USE &  
CERT. OF APPROPRIATENESS  
SUBMITTAL**

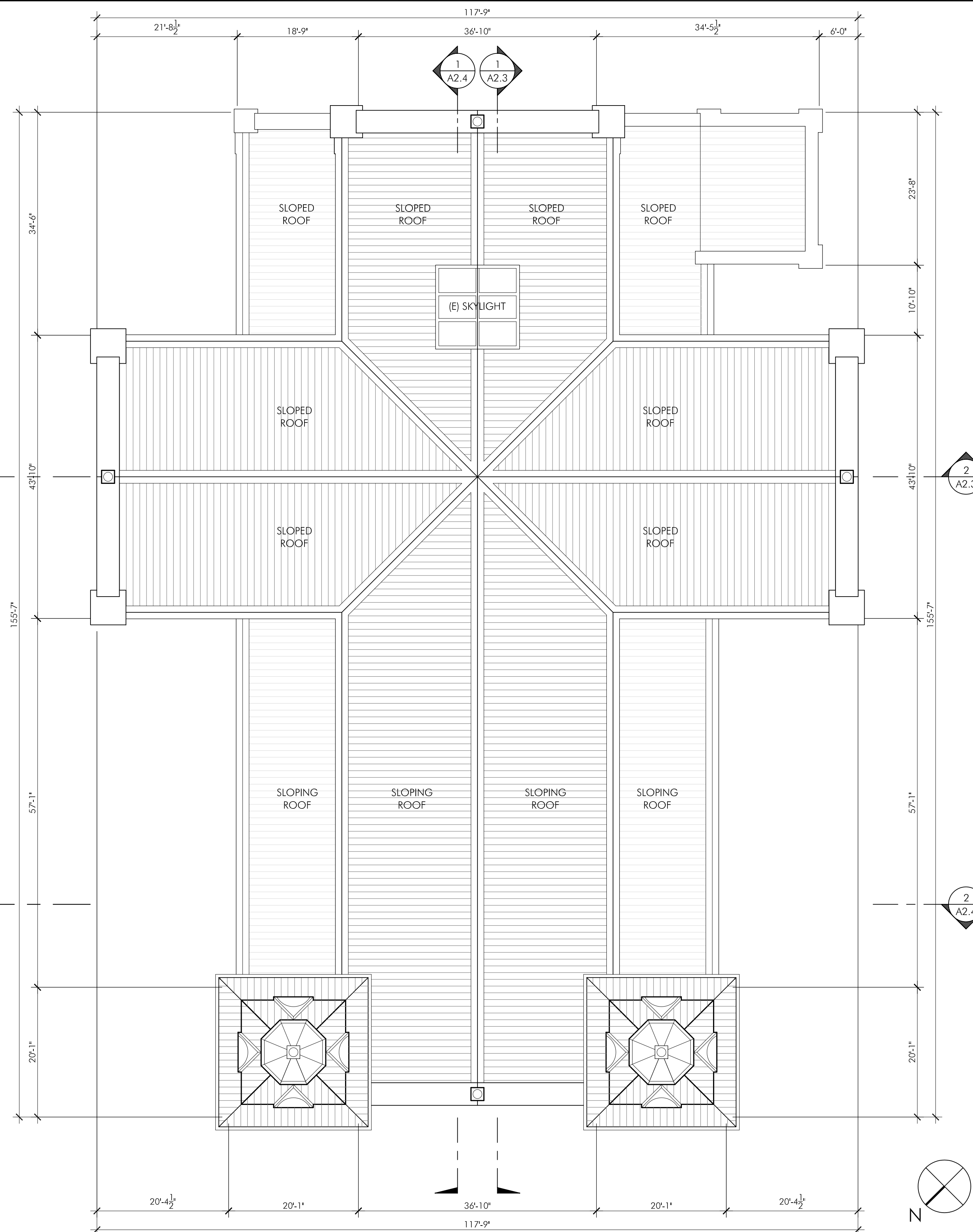
JOB NUMBER: DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS

SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'

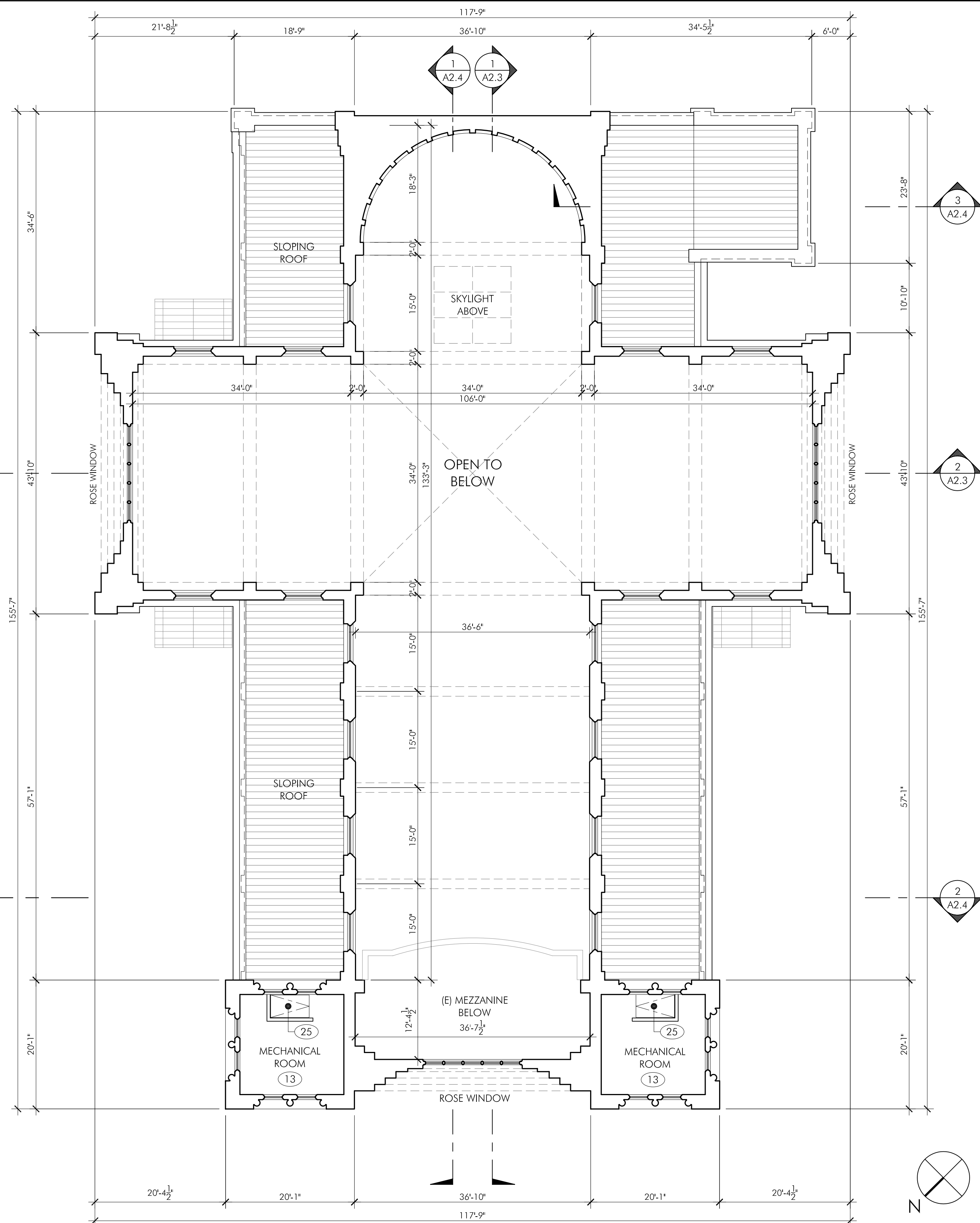
SHEET TITLE:  
**PROPOSED BELFRY &  
ROOF PLAN**

SHEET NUMBER:

## A2.2



**2 ROOF PLAN**  
3/32" = 1'-0"



**1 BELFRY / MECHANICAL LEVEL PLAN**  
3/32" = 1'-0"

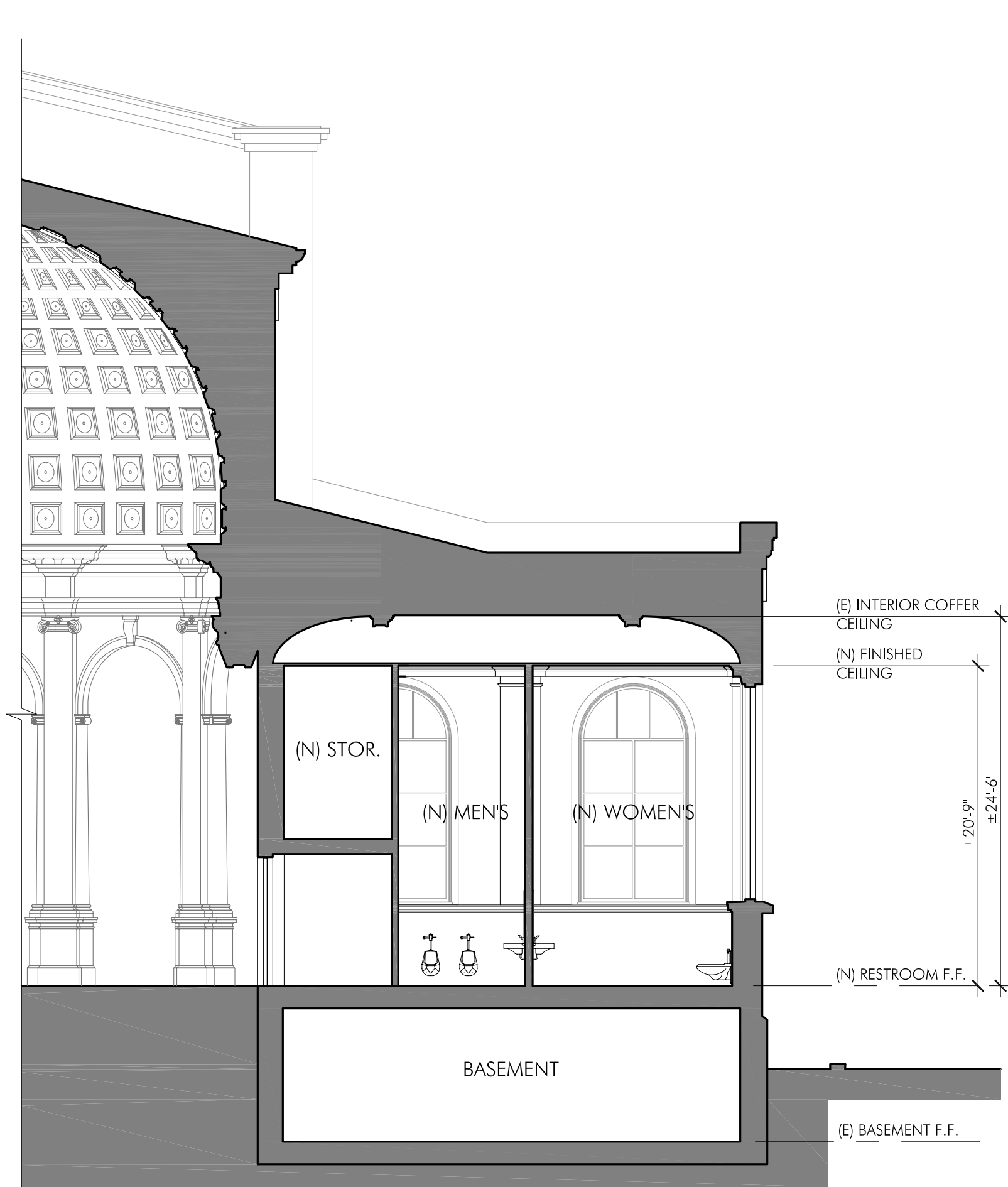
**KEY NOTES:**

- |  |   |   |                                   |
|--|---|---|-----------------------------------|
| 1 (N) STRUCTURAL SHEAR WALL; SEE STRUCTURAL DRAWINGS | 8 (E) EXTERIOR STAIRS   | 14 LINE OF (E) BASEMENT BELOW                 | 21 (E) HISTORIC DOOR TO REMAIN    |
| 2 (N) ADA RAMP                                       | 9 (E) EXTERIOR LANDING  | 15 LINE OF FLOOR ABOVE                        | 22 (N) ARCHED OPENING             |
| 3 (N) STAIRS / STEPS                                 | 10 (N) CONC. FLOOR  | 16 (E) WD. GUARDRAIL TO REMAIN                | 23 NOT USED                       |
| 4 (N) WALLS  | 11 (N) RAISED WD. FLOOR TO MATCH ADJACENT RAISED FLOOR LEVEL        | 17 (N) FOLD-UP ATTIC ACCESS STAIR ABOVE       | 24 (N) MODULAR GLASS FLOOR PANELS |
| 5 (N) DRINKING FOUNTAIN                              | 12 (E) MARBLE FLOOR TO REMAIN & REFINISHED                          | 18 (N) ADA WHEELCHAIR LIFT                    | 25 (N) ATTIC DOOR HATCH           |
| 6 (N) ADA TOILETS / LAVATORIES / URINALS             | 13 REPAIR / REPLACE FLOOR SUBFLOOR AND PREPARE FOR (N) FLOOR FINISH | 19 (N) FURRED PLUMBING WALL BELOW (E) WINDOWS |                                   |
| 7 (N) 42" HIGH GLASS GUARDRAIL                       |   | 20 (E) WINDOWS ABOVE TO REMAIN                |                                   |

**DRAWING LEGEND:**

- |  |                      |
|--|----------------------|
|  | (N) CONC. FLOOR      |
|  | (N) RAISED WD. FLOOR |

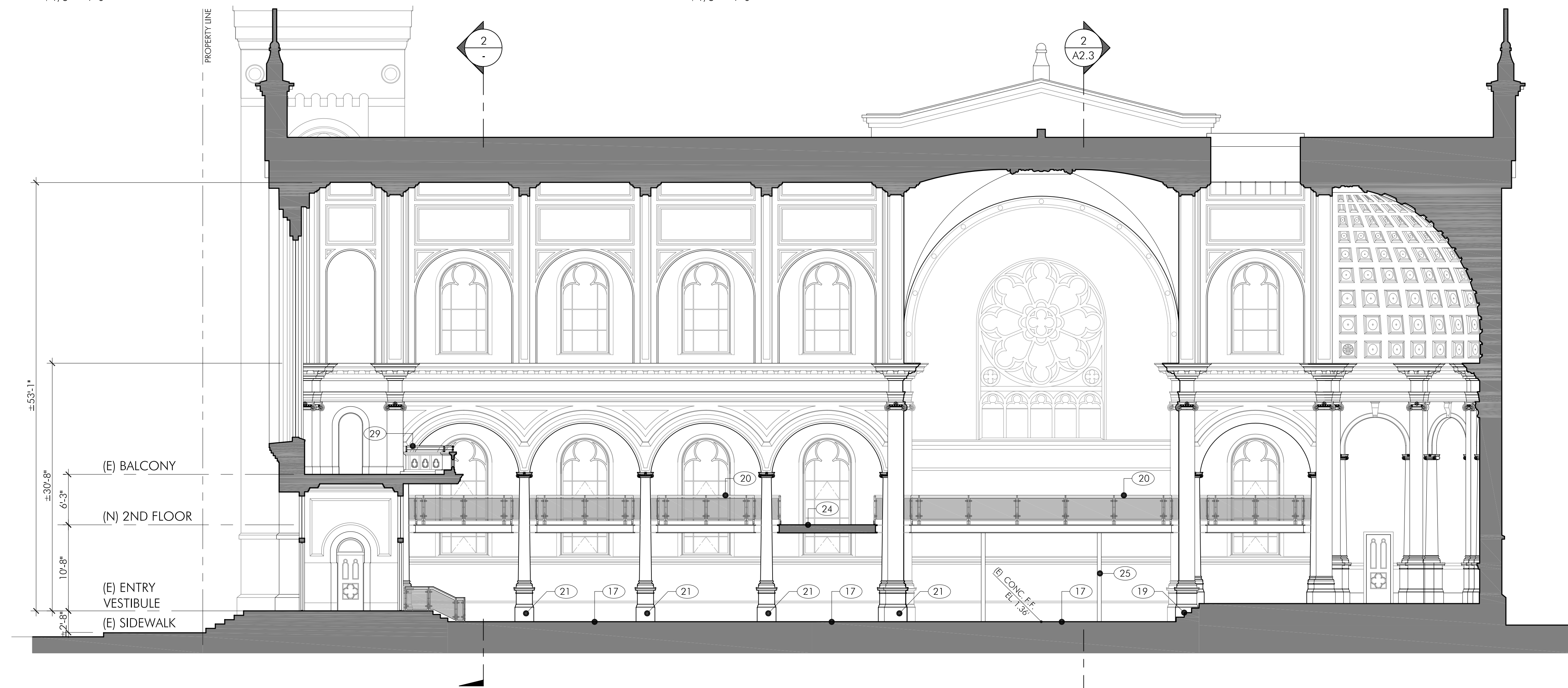




3 | INTERIOR ELEVATION / BUILDING SECTION  
1/8" = 1'-0"



2 | INTERIOR ELEVATION / BUILDING SECTION  
1/8" = 1'-0"



1 | INTERIOR ELEVATION / BUILDING SECTION  
1/8" = 1'-0"

KEY NOTES:

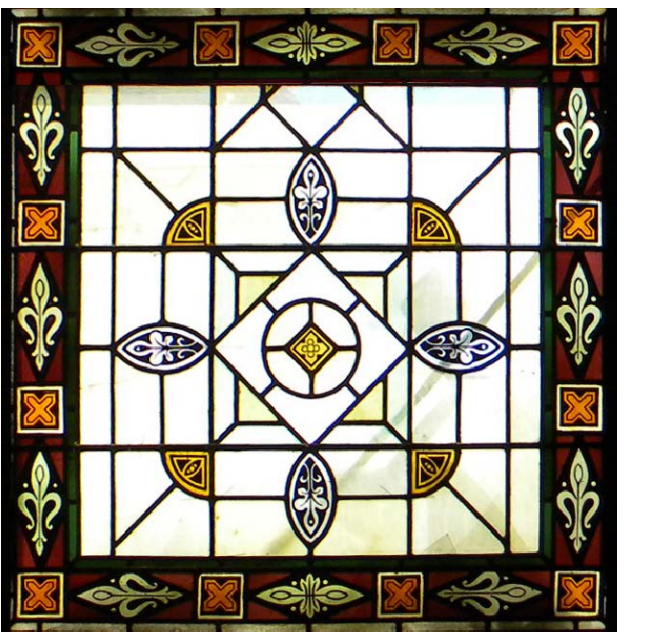
- 1 (E) MAIN EXTERIOR FRONT STAIRS TO REMAIN
- 2 (E) STONE TILE FLOOR TO REMAIN
- 3 (E) SLOPED CONC. FLOOR TO BE REMOVED
- 4 (E) RAISED MAIN ALTAR WD. FLOOR TO REMAIN
- 5 (E) ORGAN BALCONY LEVEL
- 6 (E) HISTORIC COLUMNS; COLUMN BASES TO BE EXTENDED TO (N) FLOOR LEVEL
- 7 (E) HISTORIC ARCH TO REMAIN
- 8 (E) HISTORIC VAULTED CEILING TO REMAIN
- 9 (E) HISTORIC DOOR TO REMAIN
- 10 (E) HISTORIC WINDOW TO REMAIN
- 11 (E) HISTORIC ROSE WINDOW BEYOND
- 12 (E) HISTORIC DOME COFFER TO REMAIN
- 13 (E) HISTORIC ORGAN BALCONY WD. GUARDRAIL TO REMAIN
- 14 (E) ARCHED OPENING FOR TRANSOM WINDOW TO BE FILLED-IN & PLASTERED OVER
- 15 (E) ALTAR TO BE REMOVED
- 16 (E) PIPE ORGAN TO BE REMOVED
- 17 (N) CONC. GROUND FINISH FLOOR LEVEL
- 18 (N) SECOND FLOOR FINISH LEVEL
- 19 (N) STEPS TO MAIN ALTAR LEVEL
- 20 (N) STL. POST & GLASS GUARDRAIL SYSTEM
- 21 (N) COLUMN BASES EXTENDED TO (N) FLOOR LEVEL
- 22 (N) STAIR 1
- 23 (N) ADA MECHANICAL LIFT
- 24 (N) BRIDGE
- 25 (N) STL. POST SUPPORT FOR (N) SECOND FLOOR, S.S.D.
- 26 (E) BASEMENT BEYOND (BELOW EXISTING CHAPEL)
- 27 (E) MOULDING TO BE REMOVED; PATCH & PLASTER WALL TO BE LEVEL WITH (E) ADJACENT WALL
- 28 (E) ARCH MOULDING TO BE RAISED, SEE A2.6 - WALL SECTION
- 29 (N) METAL RAIL ON TOP OF (E) WOOD RAIL

1401  
HOWARD STREET  
SAN FRANCISCO, CA 94103

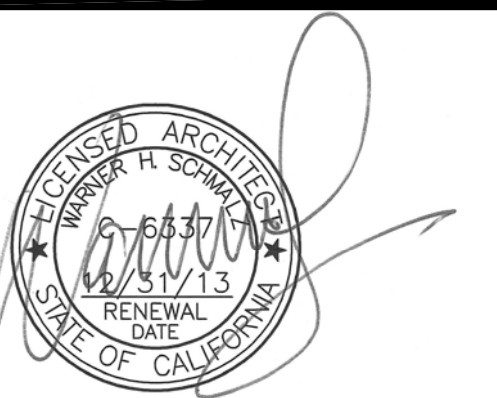
**FORUM**DESIGN  
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or disclosed without the Architect's written consent.



DATE	DESCRIPTION
01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



CONDITIONAL USE &  
CERT. OF APPROPRIATENESS  
SUBMITTAL

JOB NUMBER: \_\_\_\_\_ DRAWN BY: FL / JJ  
DATE: 08/11/2011 CHECKED BY: WS  
SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'  
SHEET TITLE: PROPOSED INTERIOR ELEV. / BUILDING SECTIONS  
SHEET NUMBER: \_\_\_\_\_

A2.4

# 1401

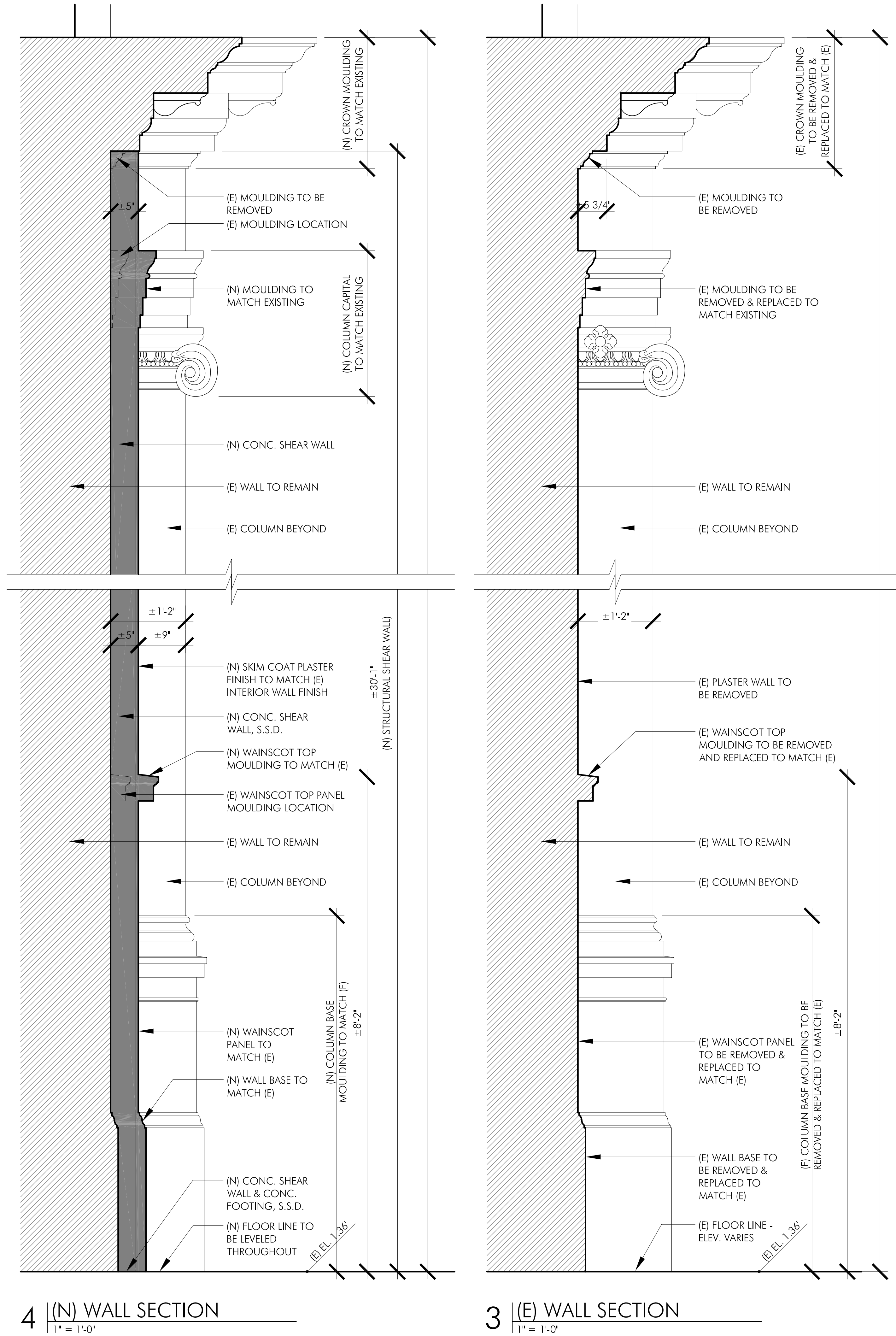
HOWARD STREET  
SAN FRANCISCO, CA 94103

**FORUM DESIGN**

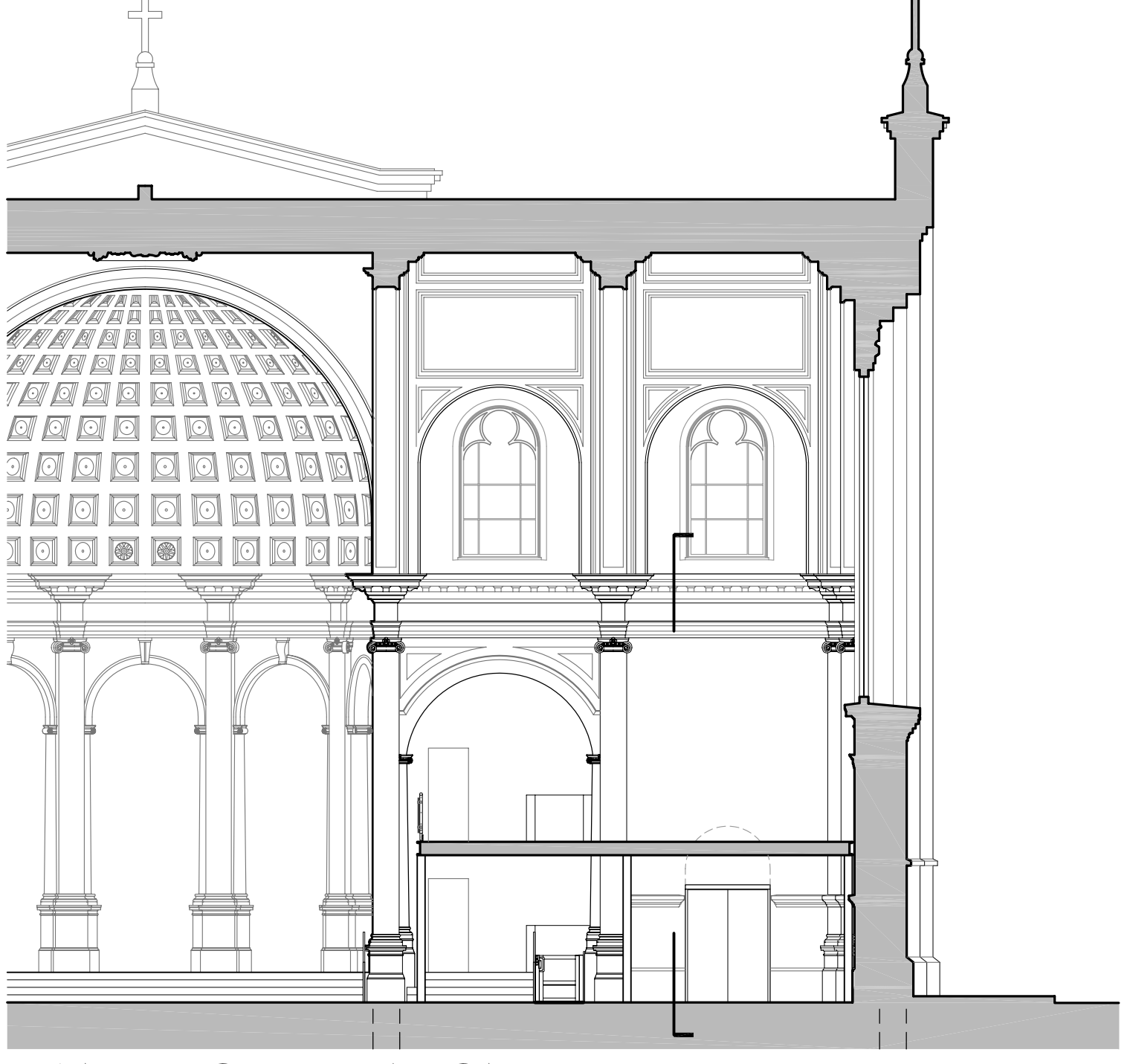
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

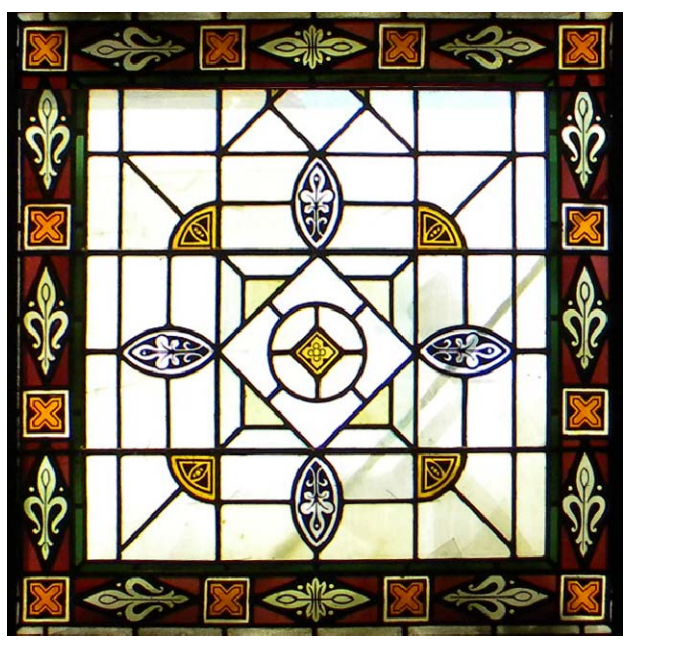
Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or disclosed without the Architect's written consent.



**2 (E) WALL PHOTO**  
N.T.S.



**1 INTERIOR ELEVATION**  
3/32" = 1'-0"



01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



**CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL**

JOB NUMBER: \_\_\_\_\_ DRAWN BY: FL / JJ  
 DATE: DEC. 12, 2011 CHECKED BY: WS  
 SCALE: AS NOTED  
 SHEET TITLE: **ENLARGED WALL SECTIONS**  
 SHEET NUMBER: \_\_\_\_\_

**A2.5**

# 1401

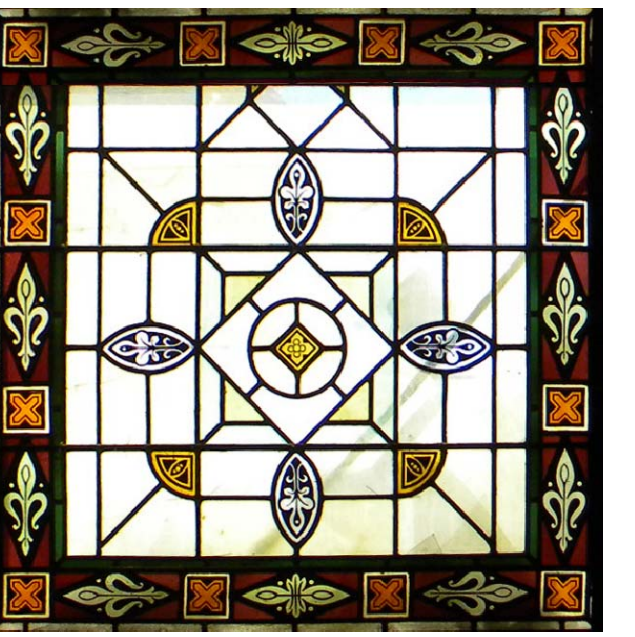
HOWARD STREET  
SAN FRANCISCO, CA 94103

**FORUM**DESIGN

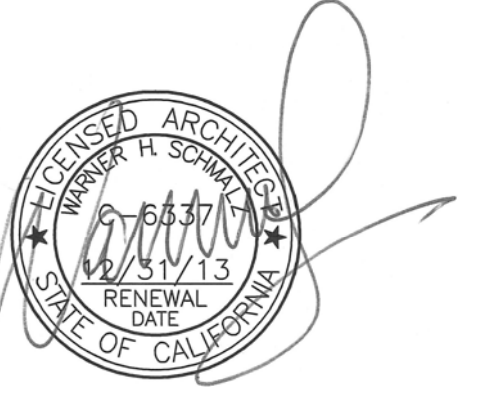
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or disclosed without the Architect's written consent.



009212/2012	C.U. SUBMITTAL

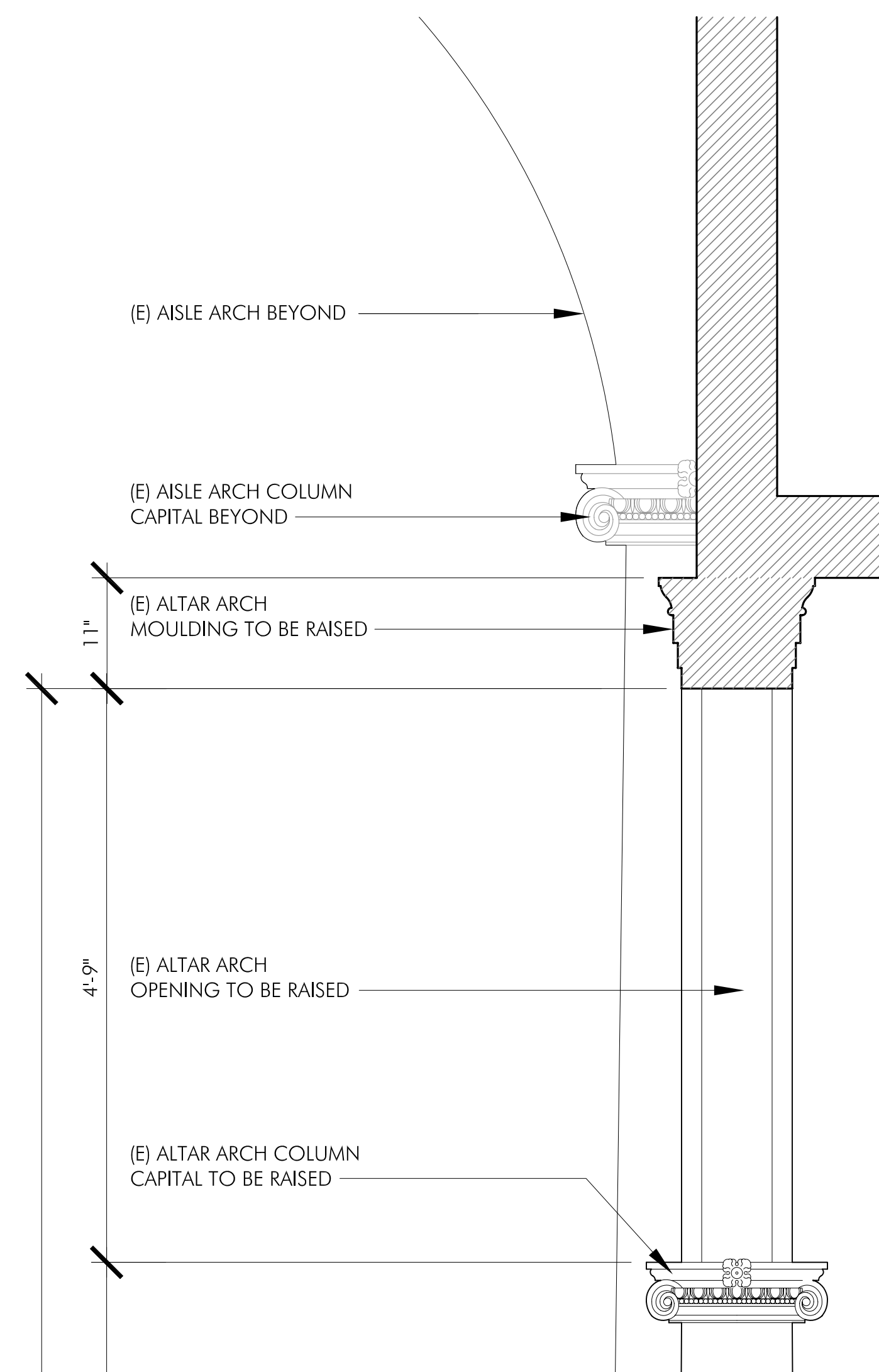
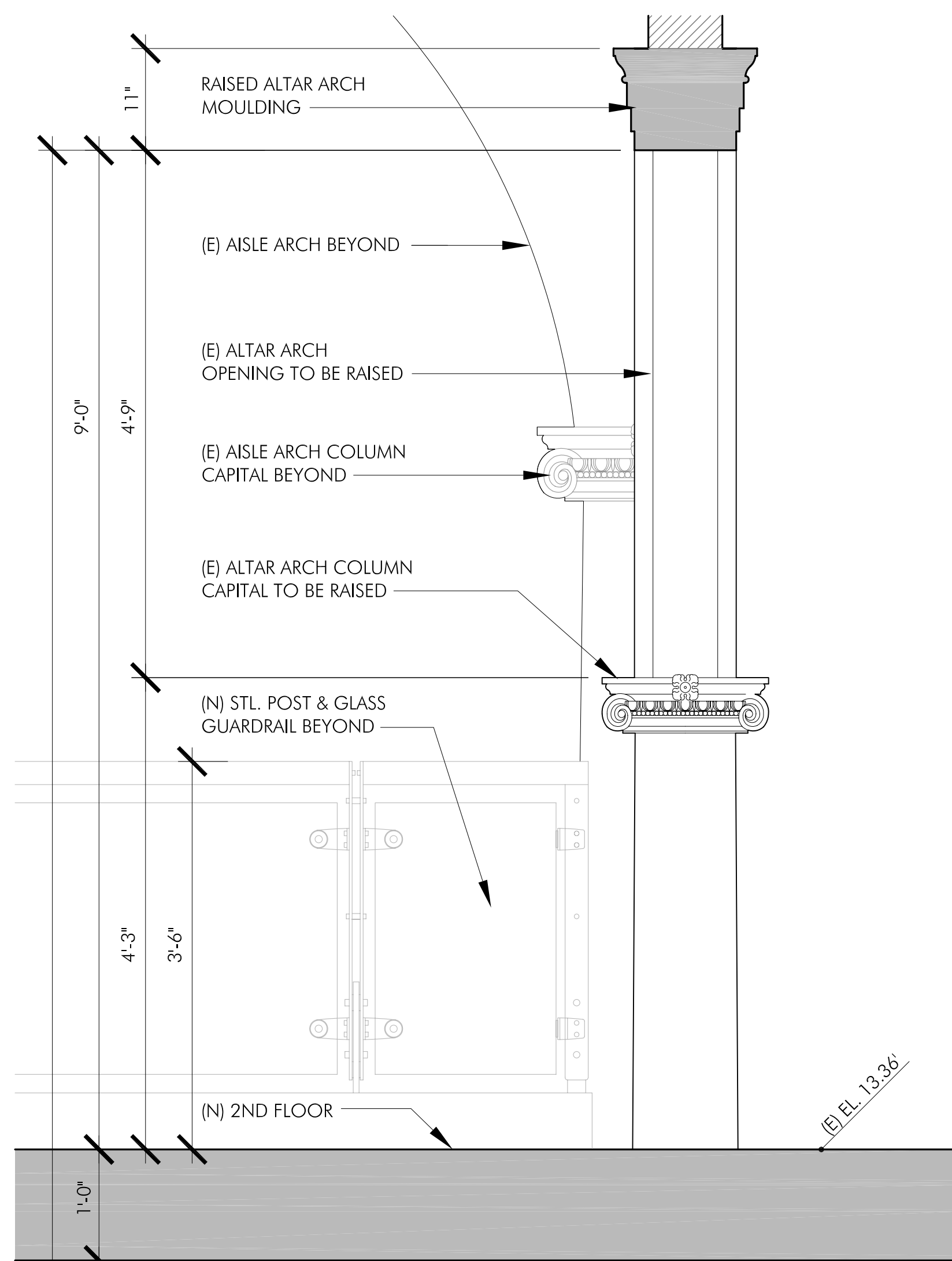


**CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL**

JOB NUMBER: \_\_\_\_\_ DRAWN BY: FL / JJ  
DATE: JAN. 23, 2012 CHECKED BY: WS  
SCALE: AS NOTED  
SHEET TITLE: ENLARGED WALL SECTIONS

SHEET NUMBER: \_\_\_\_\_

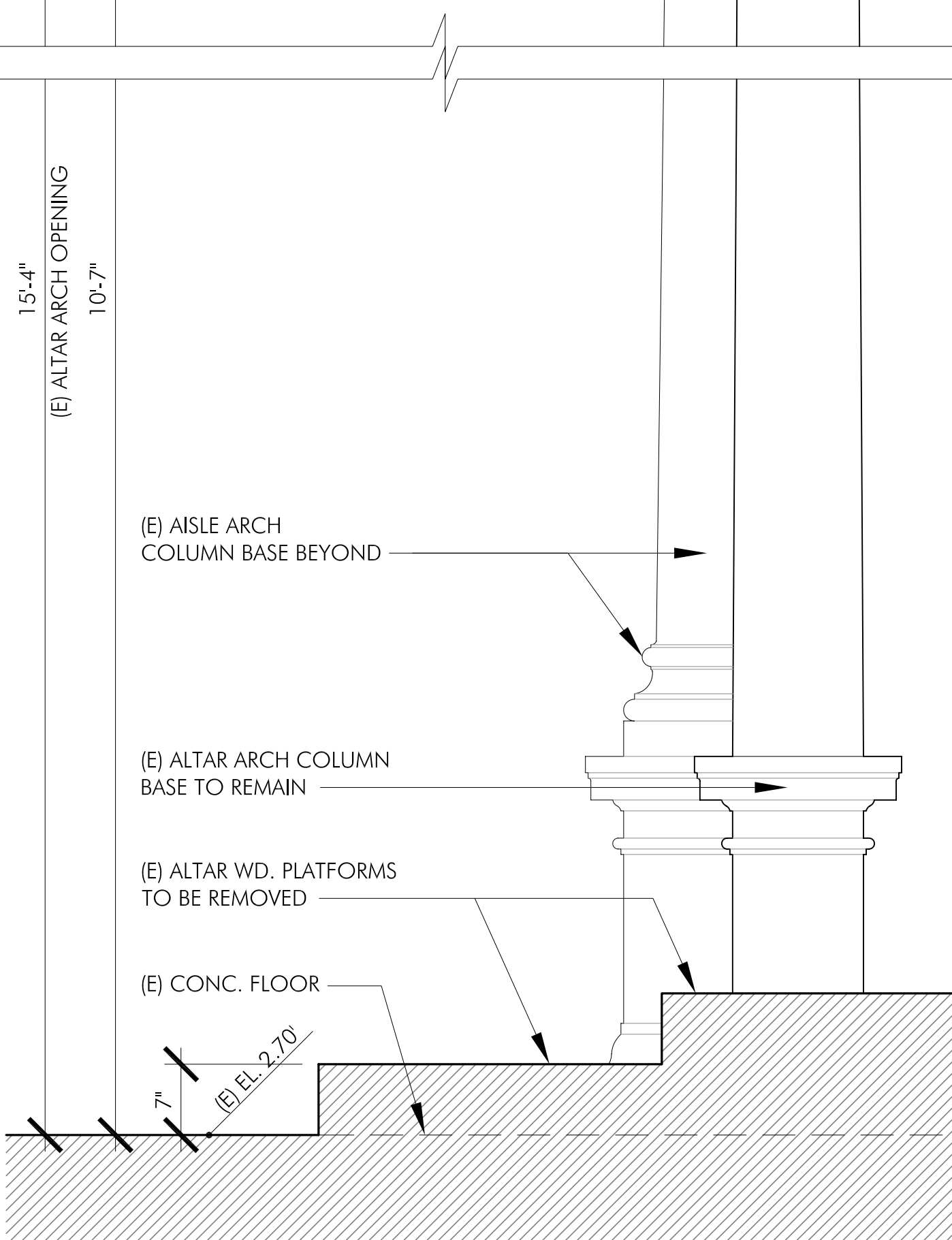
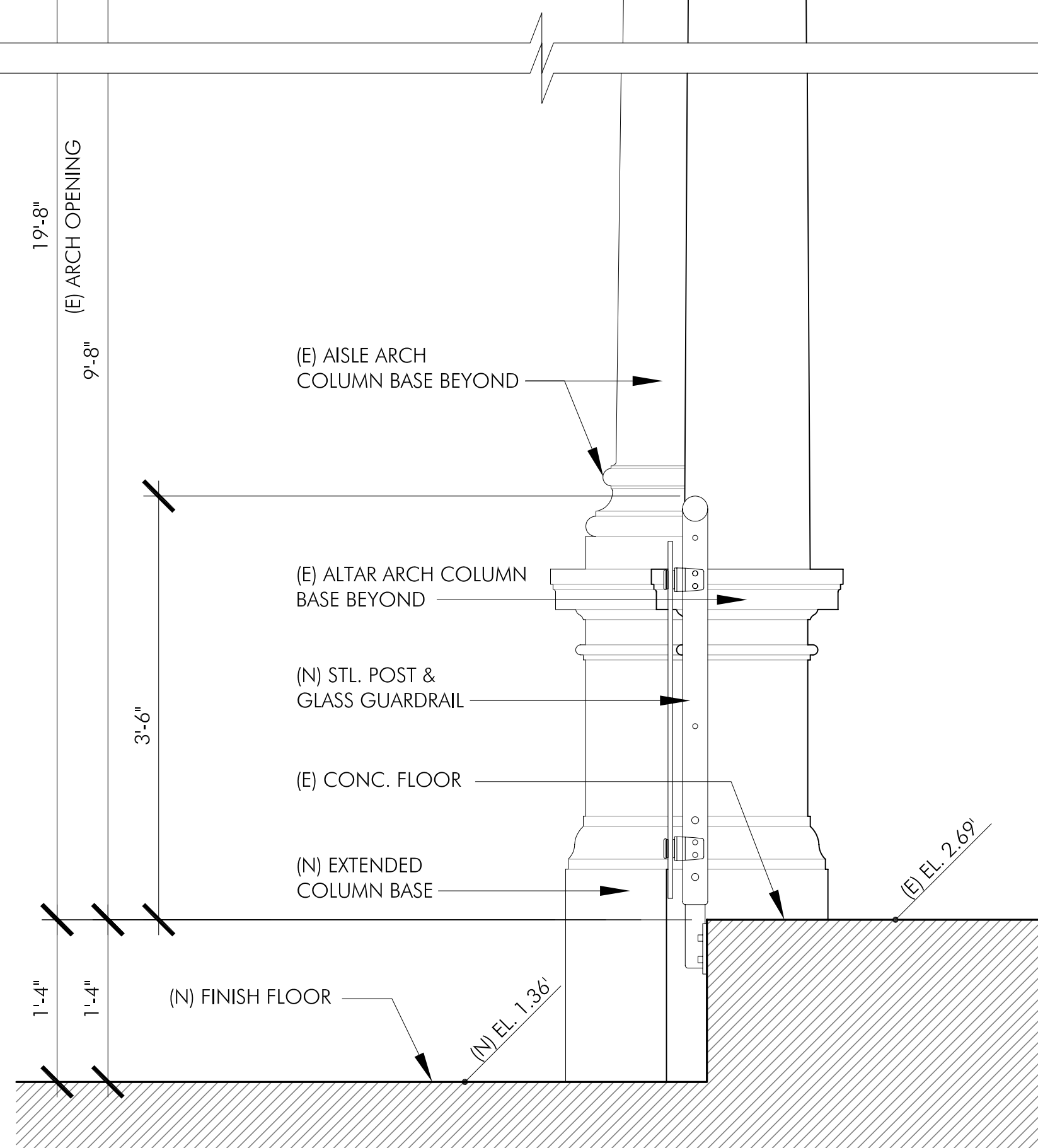
## A2.6



4 PROPOSED WALL PHOTO  
N.T.S.



2 (E) WALL PHOTO  
N.T.S.



5 (E) WALL SECTION  
1" = 1'-0"



3 PROPOSED INTERIOR ELEV.  
3/32" = 1'-0"



1 (E) INTERIOR ELEVATION  
3/32" = 1'-0"

6 PROPOSED WALL SECTION  
1" = 1'-0"



# 1401

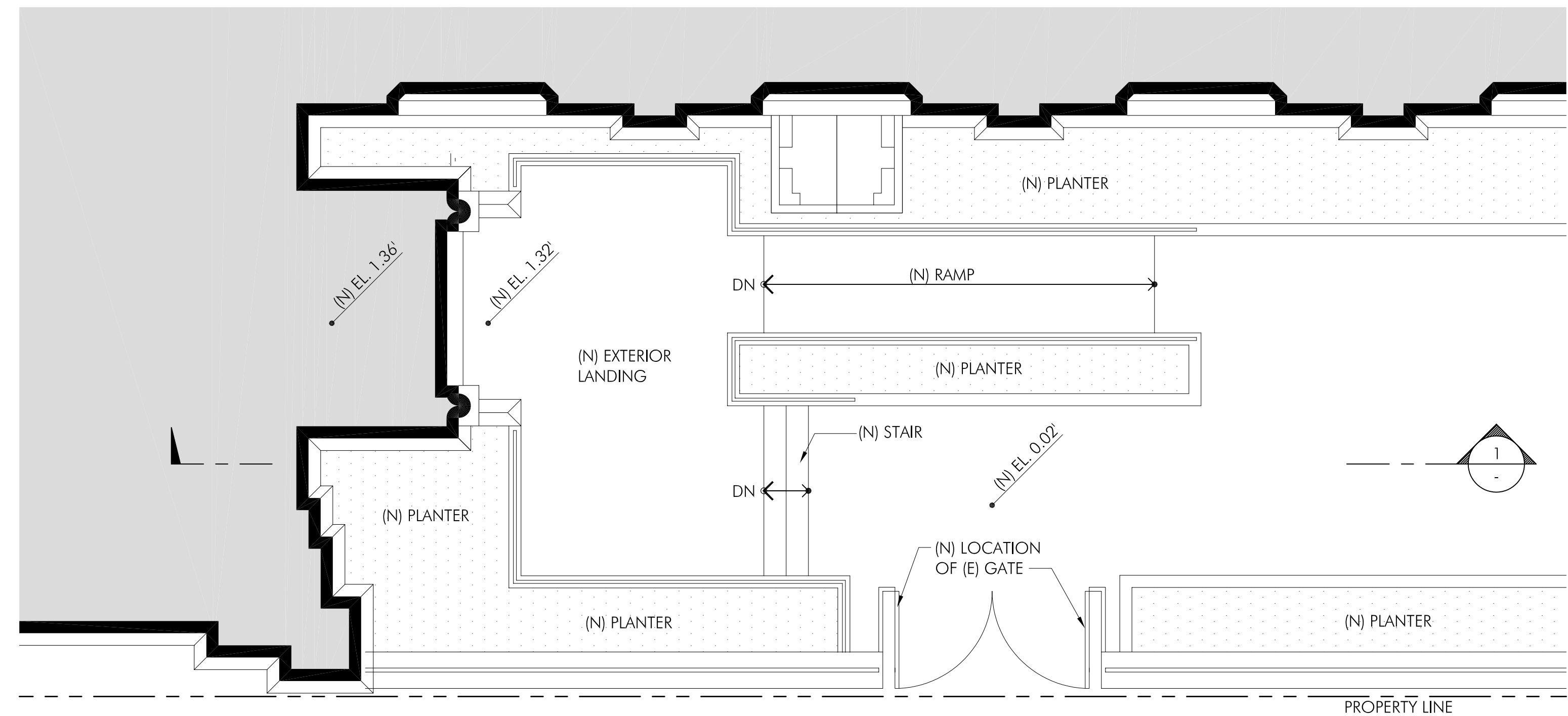
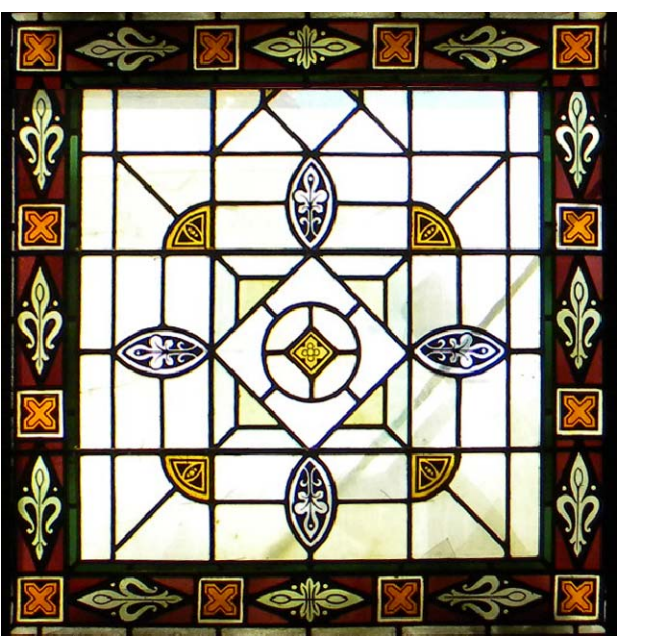
HOWARD STREET  
SAN FRANCISCO, CA 94103

**FORUM**DESIGN

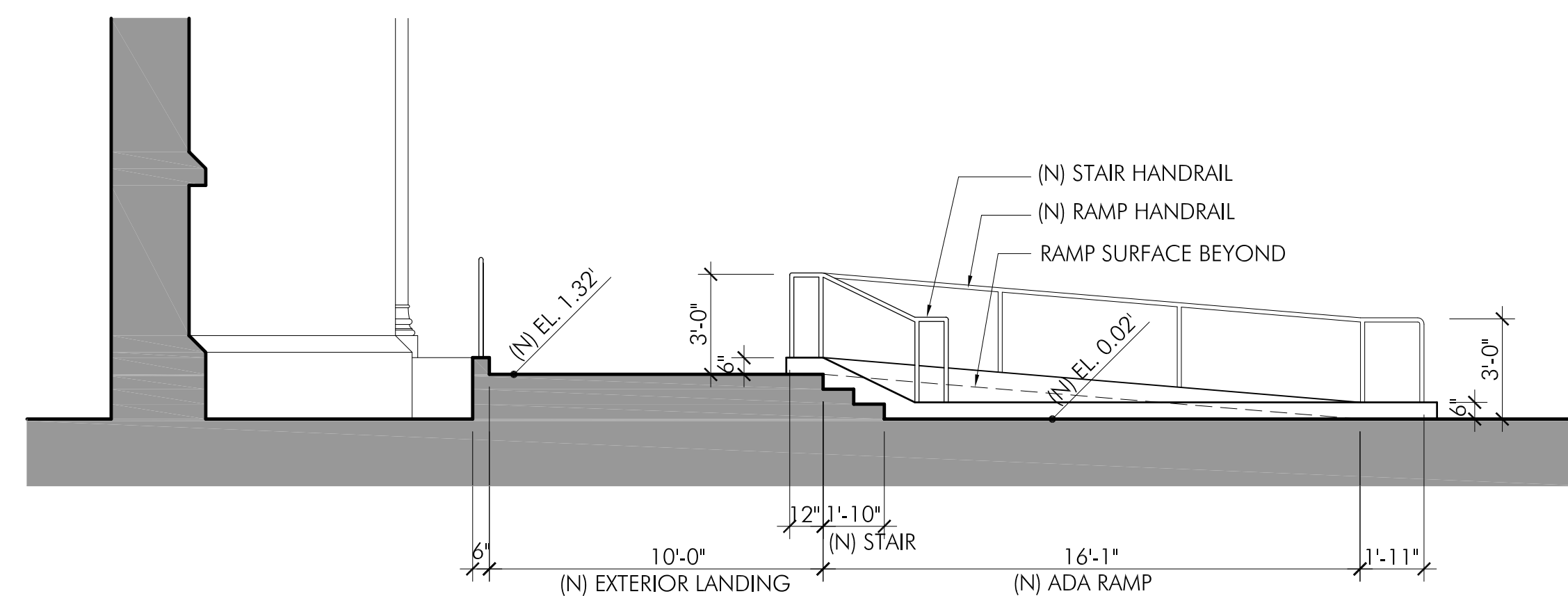
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or disclosed without the Architect's written consent.

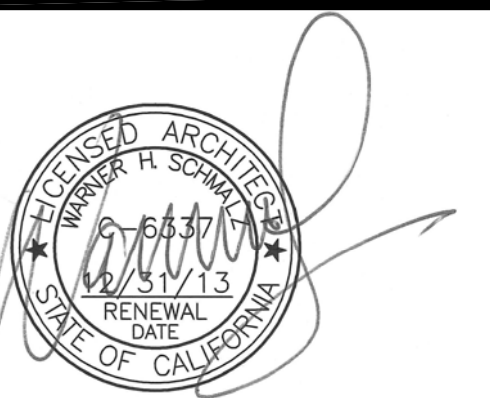


2 ENLARGED (N) EXTERIOR STAIR & RAMP PLAN  
1/4" = 1'-0"



1 ENLARGED (N) EXTERIOR STAIR SECTION  
1/4" = 1'-0"

01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



### CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL

JOB NUMBER: DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS  
SCALE: AS NOTED  
SHEET TITLE:

SITE DETAILS

SHEET NUMBER:

## A2.8

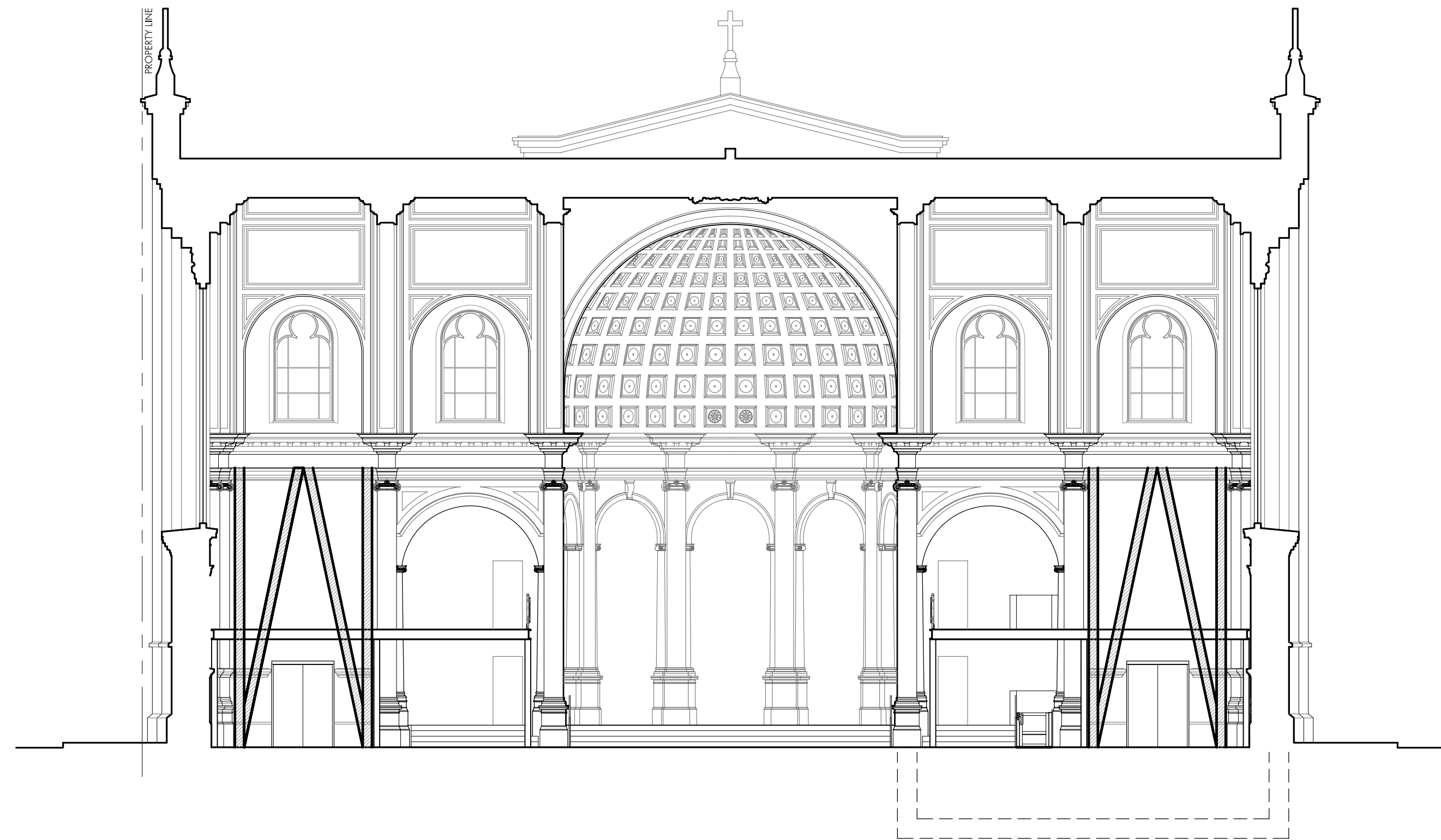
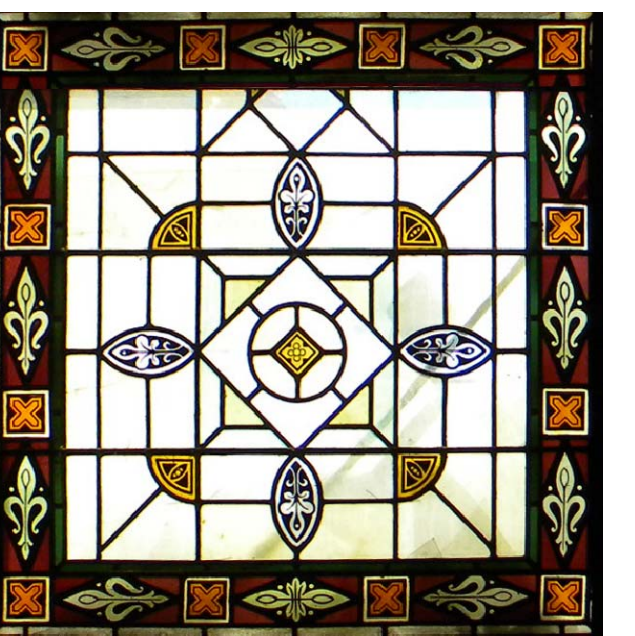
# 1401

HOWARD STREET  
SAN FRANCISCO, CA 94103

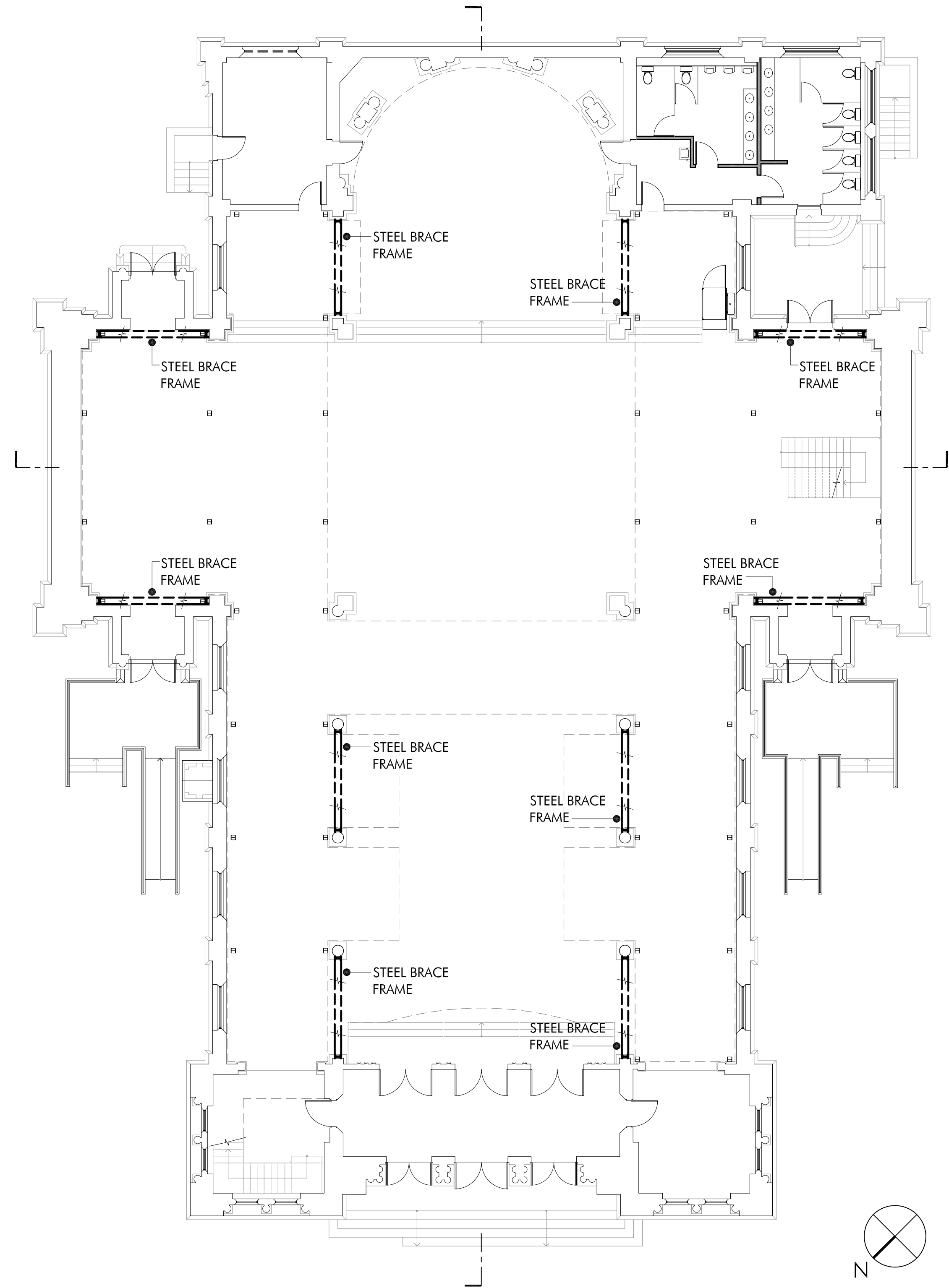
**FORUM**DESIGN  
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

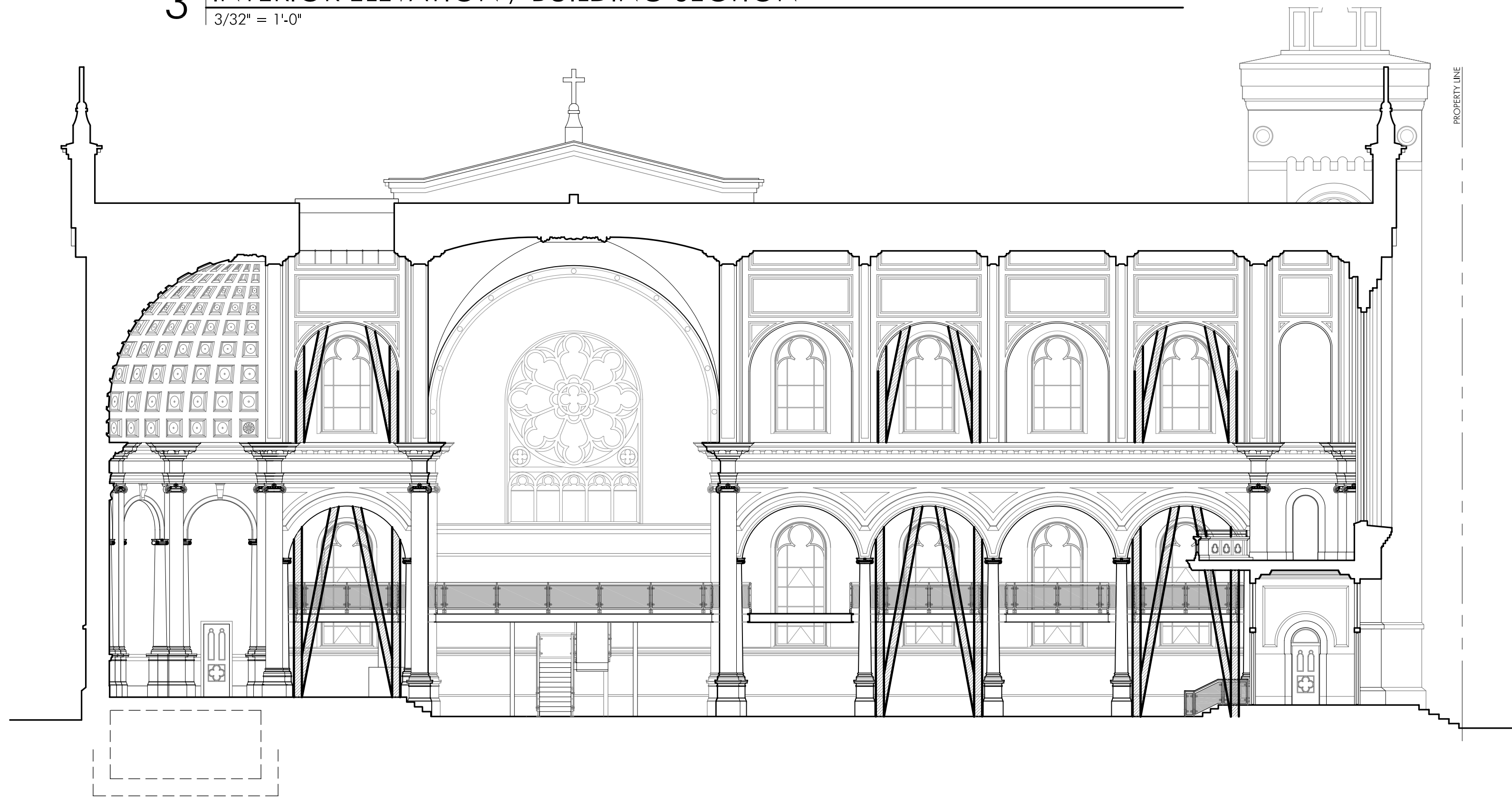
Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or disclosed without the Architect's written consent.



3 INTERIOR ELEVATION / BUILDING SECTION  
3/32" = 1'-0"



1 GROUND FLOOR PLAN  
3/32" = 1'-0"

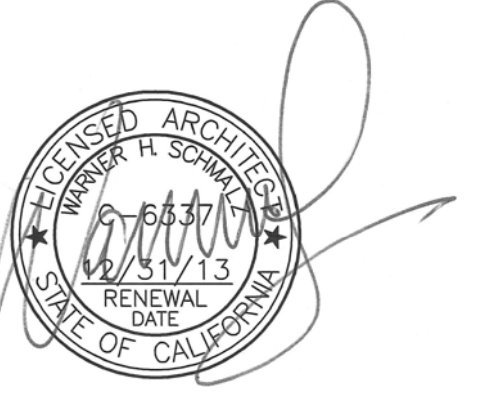


2 INTERIOR ELEVATION / BUILDING SECTION  
3/32" = 1'-0"

SHEET NOTES:

1. THIS STRUCTURAL SCHEME USES STEEL WIDE FLANGE BRACED INVERTED 'V' FRAMES TO STABILIZE THE CENTRAL NAVE, APSE AND TRANSEPTS. THE EXPOSED FRAMES IN THE NAVE AND APSE WILL EXTEND TO THE ROOF ABOVE.
2. THIS SCHEME WILL REQUIRE MINIMAL REMOVAL OR REPLACEMENT OF ANY EXISTING HISTORIC WALLS OR CEILING PANEL. SEISMIC FOUNDATIONS WILL BE SIMILAR TO THE PREFERRED SCHEME.
3. THIS STRUCTURAL SCHEME WAS REJECTED BECAUSE THE EXPOSED FRAMES ARE NOT COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING INTERIOR.

DATE	DESCRIPTION
01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



CONDITIONAL USE &  
CERT. OF APPROPRIATENESS  
SUBMITTAL

JOB NUMBER: DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS  
SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'

SHEET TITLE:  
ALTERNATE SEISMIC  
UPGRADE SCHEME  
SHEET NUMBER:

## EXHIBIT-A



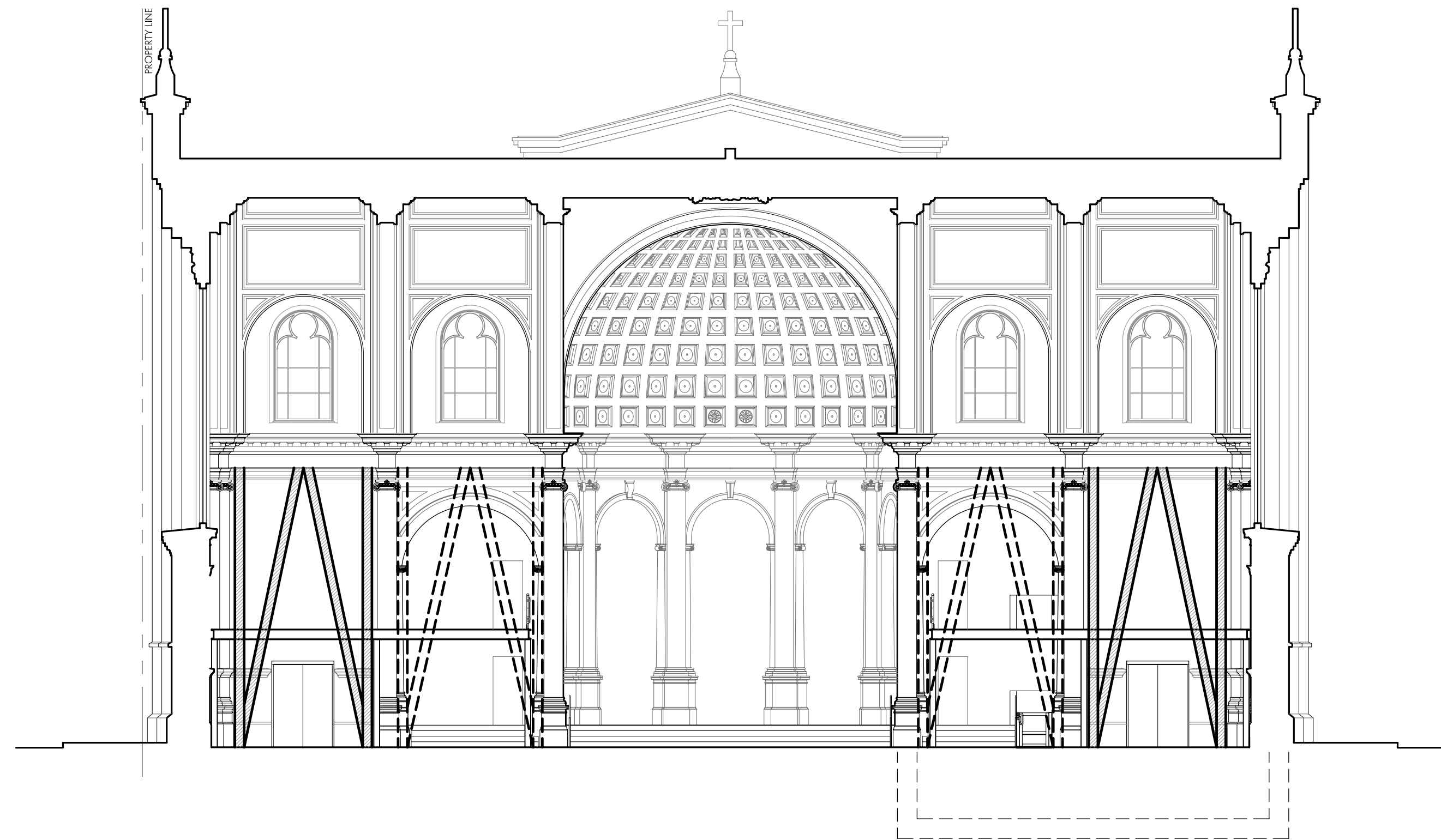
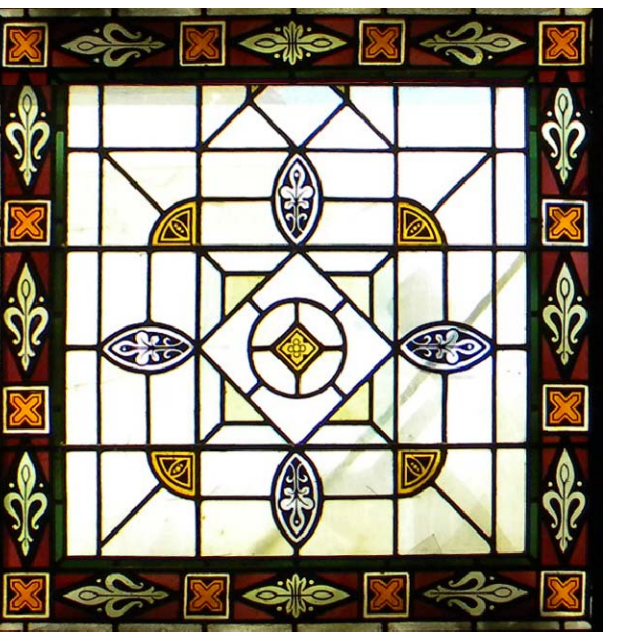
# 1401

HOWARD STREET  
SAN FRANCISCO, CA 94103

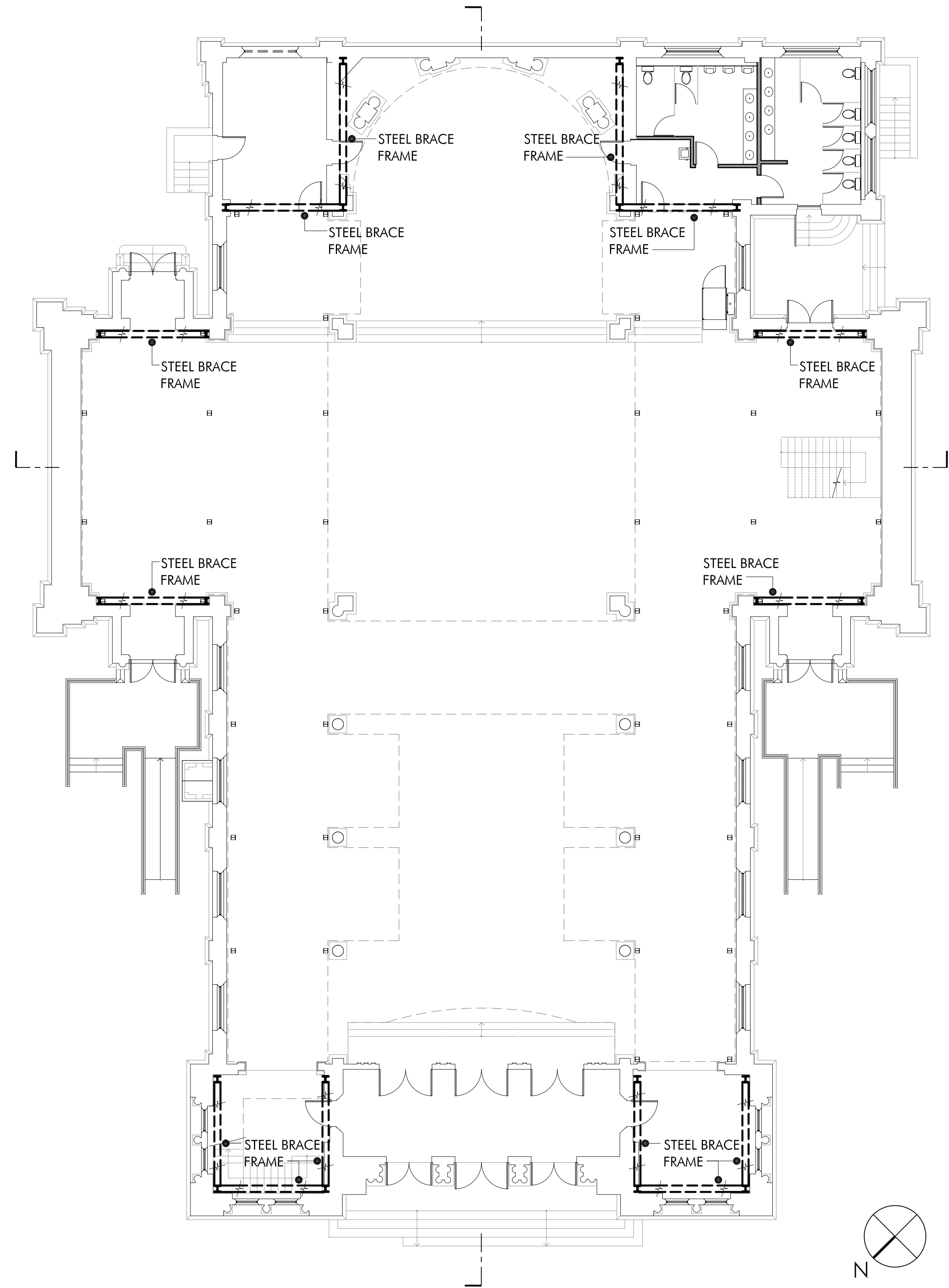
**FORUM**DESIGN  
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

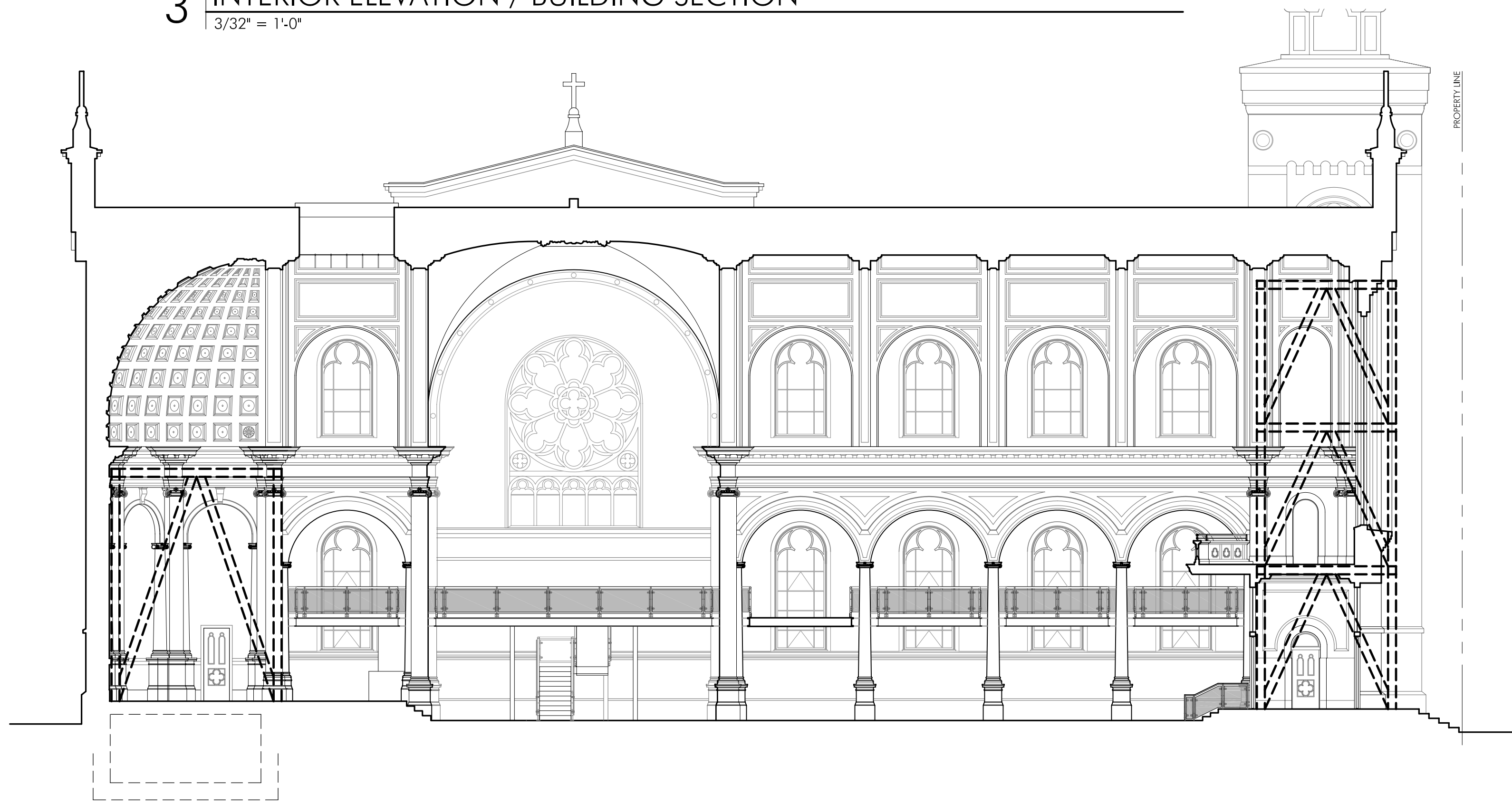
Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or disclosed without the Architect's written consent.



3 INTERIOR ELEVATION / BUILDING SECTION  
3/32" = 1'-0"



1 GROUND FLOOR PLAN  
3/32" = 1'-0"

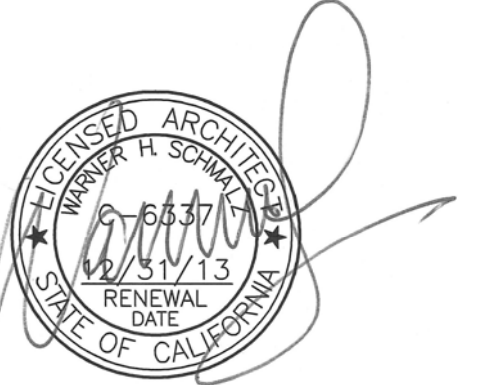


2 INTERIOR ELEVATION / BUILDING SECTION  
3/32" = 1'-0"

SHEET NOTES:

1. THIS STRUCTURAL SCHEME USES STEEL WIDE FLANGE BRACED INVERTED 'V' FRAMES TO STABILIZE THE TWO BELL TOWERS, APSE AND TRANSEPTS. THE EXPOSED FRAMES IN THE TOWERS WILL EXTEND TO THE HIGHEST ROOF. THE OTHER FRAMES WILL EXTEND TO THE PRINCIPAL INTERIOR CORNICE LINE.
2. THIS SCHEME WILL REQUIRE MINIMAL REMOVAL OR REPLACEMENT OF ANY EXISTING HISTORIC
3. WALLS OR CEILING PANEL. STEEL FRAMES INSIDE THE TOWERS WILL REDUCE THE VISUAL IMPACT ON THE HISTORIC CHARACTER OF THE MAIN SANCTUARY. THIS STRUCTURAL SCHEME WAS REJECTED BECAUSE THE EXPOSED FRAMES ARE NOT COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING INTERIOR.

DATE	DESCRIPTION
01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



CONDITIONAL USE &  
CERT. OF APPROPRIATENESS  
SUBMITTAL

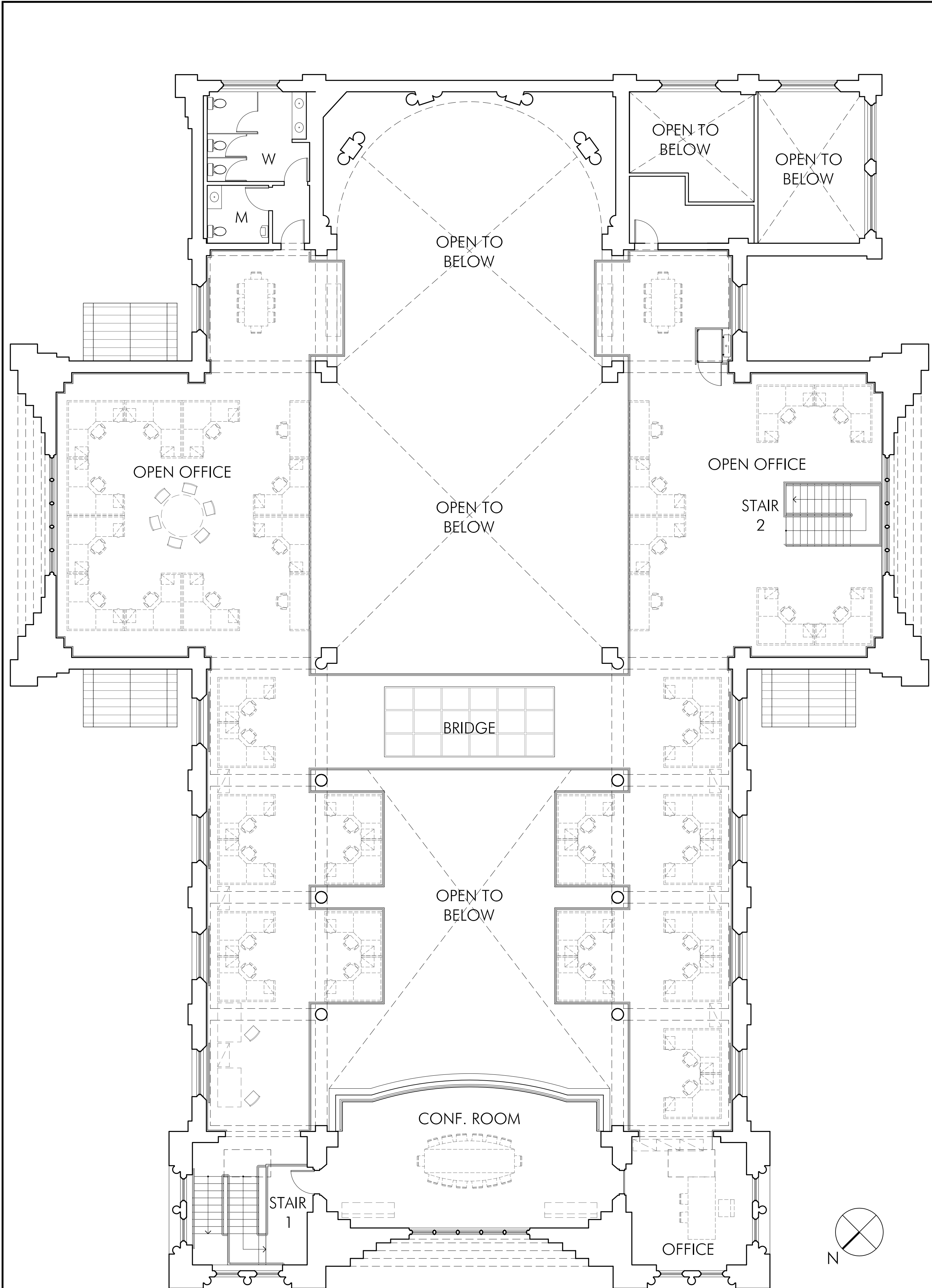
JOB NUMBER: DRAWN BY: FL / JJ  
DATE: DEC. 12, 2011 CHECKED BY: WS

SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'

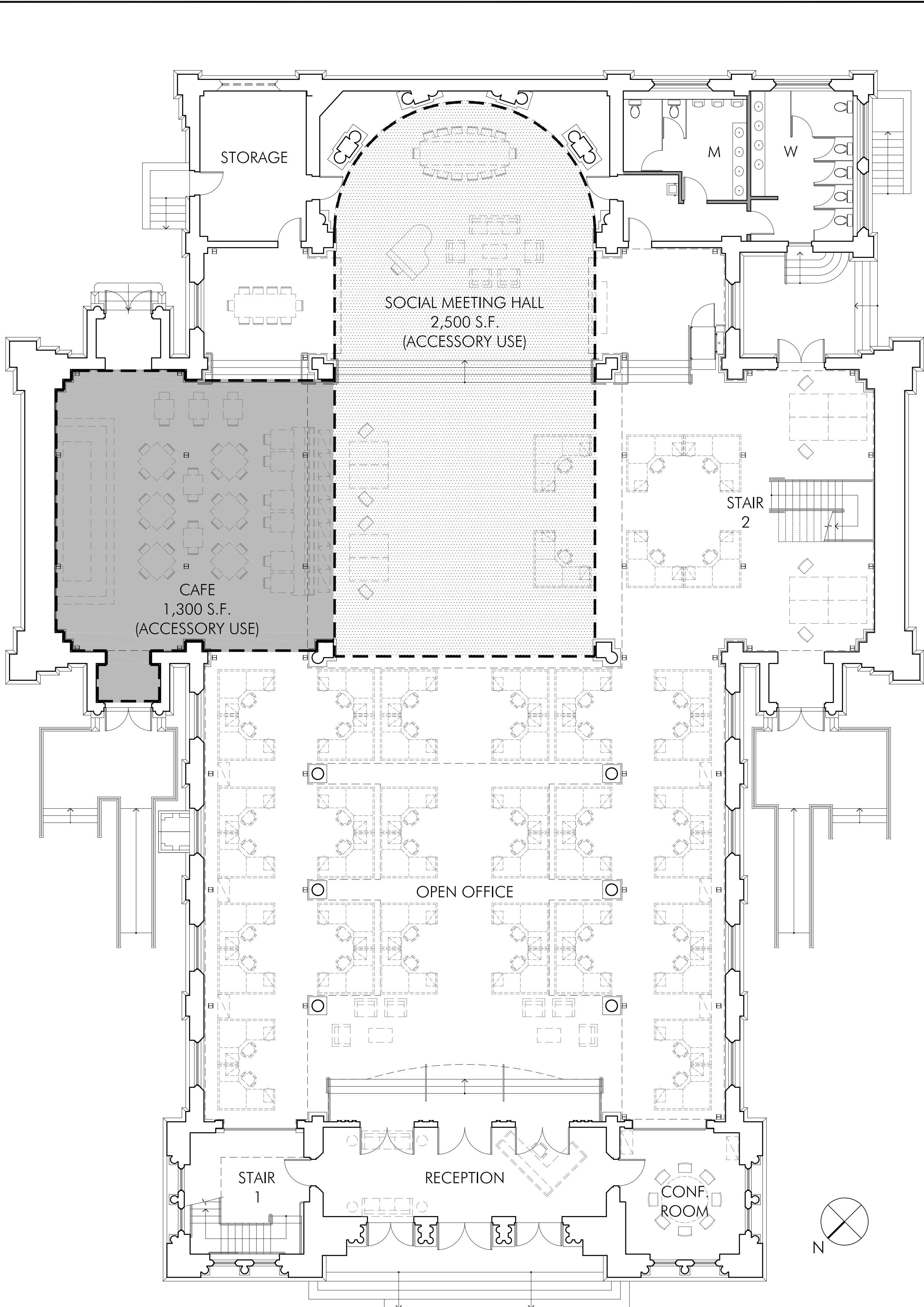
SHEET TITLE:  
ALTERNATE SEISMIC  
UPGRADE SCHEME

SHEET NUMBER:

## EXHIBIT-B



2 SECOND FURNITURE FLOOR PLAN  
3/32" = 1'-0"



1 GROUND FLOOR FURNITURE PLAN  
3/32" = 1'-0"

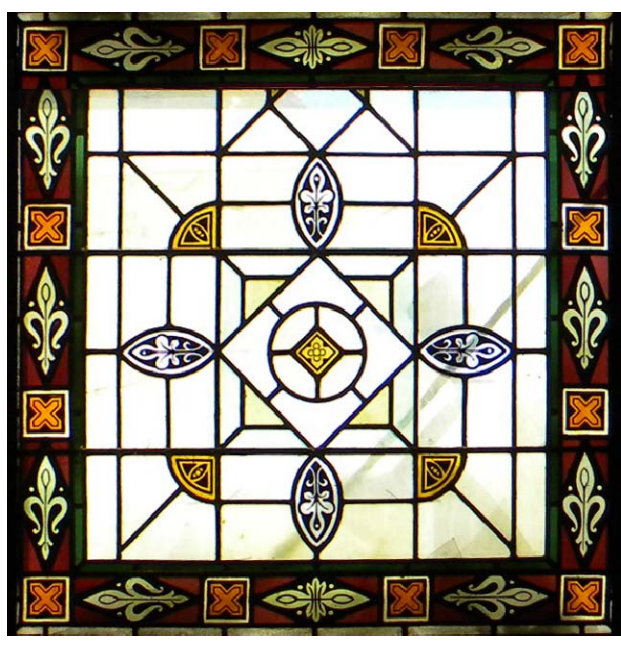
# 1401

HOWARD STREET  
SAN FRANCISCO, CA 94103

**FORUM DESIGN**  
The architecture office of Warner H. Schmalz, A.I.A.

1014 Howard Street San Francisco, CA 94103  
F 415 . 252.9020 T 415 . 252.7063

Copyright © 2012 FORUM DESIGN LTD.  
This drawing and written material constitute the original work of this Architect and may not be used, duplicated or disclosed without the Architect's written consent.



01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



**CONDITIONAL USE & CERT. OF APPROPRIATENESS SUBMITTAL**

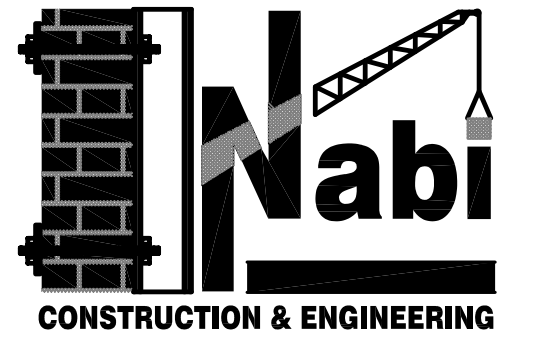
JOB NUMBER: \_\_\_\_\_ DRAWN BY: FL / JJ  
 DATE: DEC. 12, 2011 CHECKED BY: WS  
 SCALE: 3/32" = 1'-0" 0 4' 8' 16' 32'  
 SHEET TITLE: \_\_\_\_\_

**PROPOSED GROUND & SECOND FURNITURE PLANS**

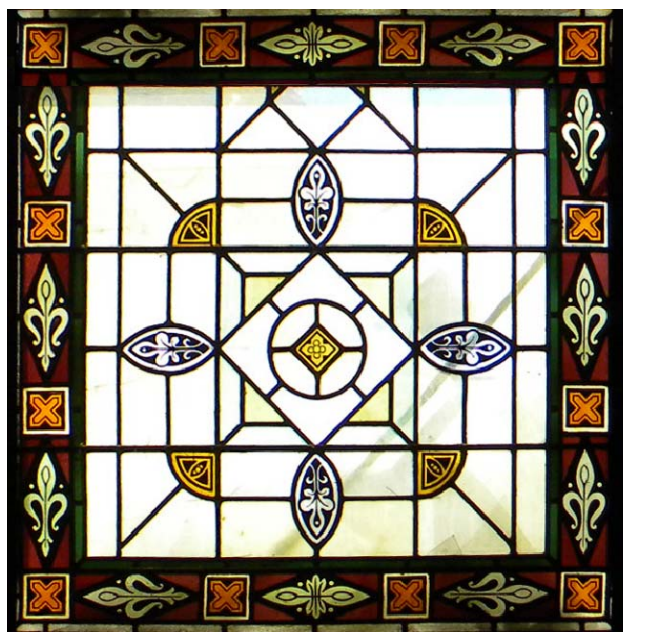
SHEET NUMBER: \_\_\_\_\_

## EXHIBIT-C

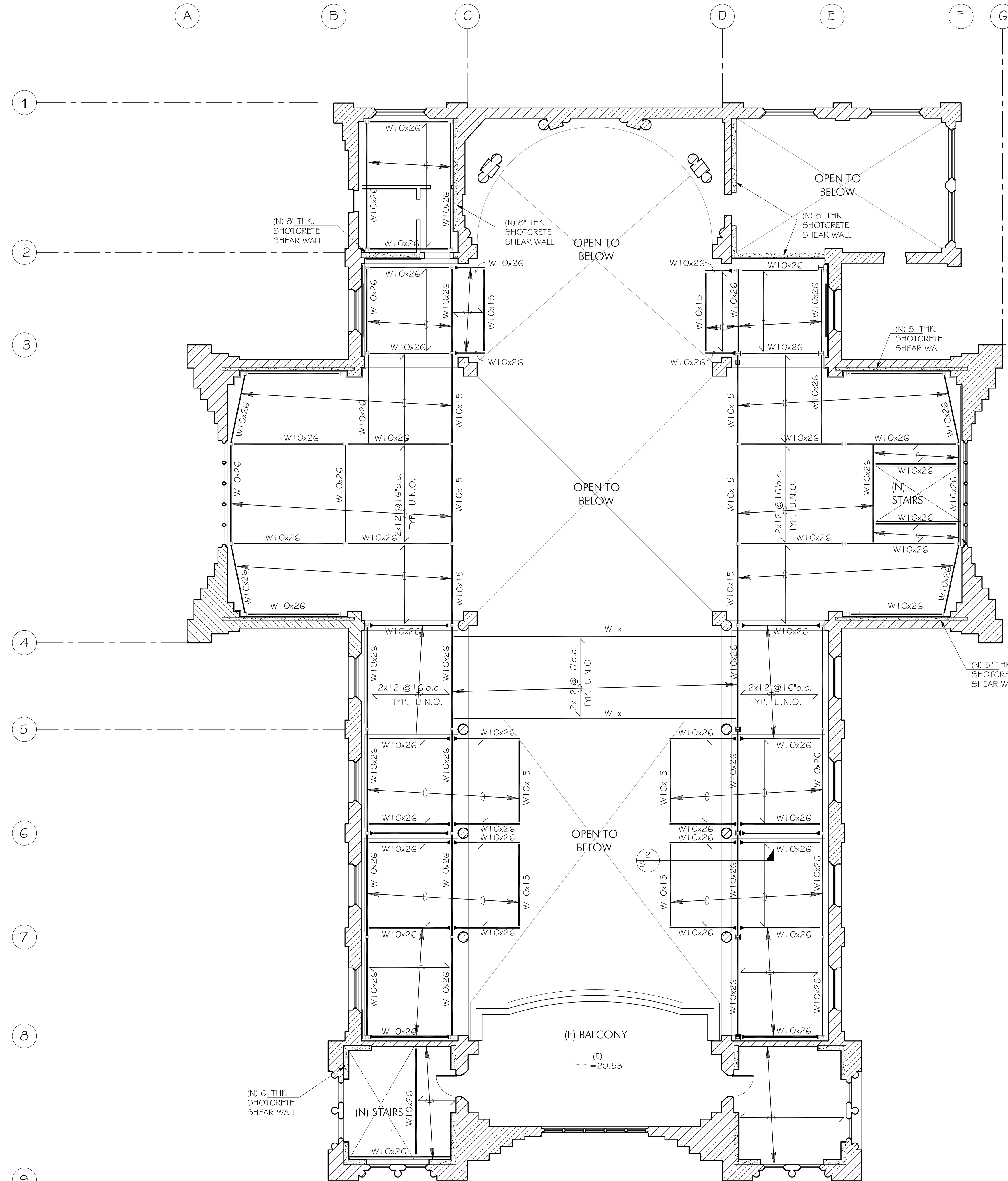




SEISMIC & STRUCTURAL  
ENGINEERING  
340 DIVISION STREET  
SAN FRANCISCO, CA 94103  
TEL: (415) 552-2215  
FAX: (415) 552-2885



01/23/2012	C.U. / COA SUBMITTAL W/ MINOR REVISIONS



NOTE :  
ALL COLUMNS ARE W6x25 U.N.O.

NEW SECOND FLOOR PLAN



CONDITIONAL USE &  
CERT. OF APPROPRIATENESS  
SUBMITTAL

JOB NUMBER: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_  
DATE: DEC. 12, 2011 CHECKED BY: \_\_\_\_\_  
SCALE: 1/8" = 1'-0" 0 4' 8' 16' 32'  
SHEET TITLE:

NEW 2ND FLOOR PLAN

SHEET NUMBER:

S-3



# SAN FRANCISCO PLANNING DEPARTMENT

---

## Historic Preservation Commission Motion No. 0148

HEARING DATE: FEBRUARY 1, 2012

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Filing Date:* August 25, 2011  
*Case No.:* **2011.0929A**  
*Project Address:* **1401 HOWARD STREET**  
*Historic Landmark:* No. 120  
*Zoning:* SLR Zoning District  
50-X Height and Bulk District  
*Block/Lot:* 3517/035  
*Applicant:* Rebecca Fogel, Page & Turnbull  
1000 Sansome Street, Ste. 200  
San Francisco, CA 94111  
*Staff Contact* Richard Sucre - (415) 575-9108  
richard.sucre@sfgov.org  
*Reviewed By* Timothy Frye - (415) 575-6822  
tim.frye@sfgov.org

**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 035 IN ASSESSOR'S BLOCK 3517, WITHIN THE SLR ZONING DISTRICT AND 50-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

WHEREAS, on August 25, 2011, Rebecca Fogel of Page & Turnbull on behalf of 1401 Development Partners LP (Property Owner) filed an application with the San Francisco Planning Department (Department) for a Certificate of Appropriateness for exterior alterations to the subject property located on Lot 035 in Assessor's Block 3517.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on February 1, 2012, the Commission conducted a duly noticed public hearing on the current project, Case No. 2011.0929A (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the

Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby grants with conditions a Certificate of Appropriateness, in conformance with the project information dated December 12, 2011 and labeled Exhibit A on file in the docket for Case No. 2011.0929A based on the following findings:

## **CONDITIONS OF APPROVAL**

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. As part of the Building Permit, the design of the proposed fences and handrails shall be reviewed and approved by Planning Department Preservation Staff. The new fences and handrails shall be of a detail and design that is appropriate and compatible with the historic character of the existing church. The Project Sponsor shall provide detailed elevations of the ramp and planters showing the new construction against the historic church.
2. As part of the Building Permit, the Project Sponsor shall provide a mock-up of the window rehabilitation for review and approval by Planning Department Preservation Staff. The Project Sponsor shall provide additional information on the window rehabilitation, including a detailed conditions assessment of each window, a window schedule, and appropriate plan details, as determined by staff.
3. As part of the Building Permit, the Project Sponsor shall review the design of the handicap accessible ramp on the east façade. The Project Sponsor shall explore an option that removes the staircase and widens the ramp. This option shall be reviewed and approved by Planning Department Preservation Staff, and shall be incorporated into the project if deemed to be historically appropriate.
4. As part of the Building Permit, the Project Sponsor shall consult with Planning Department Preservation Staff on changes/updates to the proposed project caused by budget or on-site exploratory demolition work. The Planning Department shall review and approve all changes to the proposed project, which must be found consistent with the Secretary of the Interior's Standards for Rehabilitation. All changes must be provided on a set of architectural drawings and substantiated with additional details and/or specifications, as determined by staff.

## **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of Landmark No. 120 as described in Article 10 of the Planning Code.

- That the exterior alterations would clean, repair and restore the exterior character-defining elements, and would rehabilitate deteriorated features.
- That new exterior features, including the new handicap accessible ramps and planters, do not destroy or damage historic materials, and would be compatible with the church's character-defining features.
- That the essential form and integrity of the landmark and its environment would be unimpaired if the alterations were removed at a future date.
- That the proposal respects the character-defining features of Landmark No. 120.
- The proposed project meets the requirements of Article 10.
- The proposed project meets the *Secretary of the Interior's Standards for Rehabilitation*, including:

**Standard 2.**

*The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

**Standard 9.**

*New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

**Standard 10.**

*New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

POLICY 2.5

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

POLICY 2.7

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the Landmark No. 120 for the future enjoyment and education of San Francisco residents and visitors.*

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The project will not have any impact on any existing neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:



*The proposed project will strengthen neighborhood character by respecting the character-defining features of Landmark No. 120 in conformance with the Secretary of the Interior's Standards for Rehabilitation.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will have no impact to housing supply.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed will not have any impact on industrial and service sector jobs.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is unaffected by the proposed work. Any construction or alteration associated with the project will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The project as proposed is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for parks and open space.*

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 035 in Assessor's Block 3517 for proposed work in conformance with the project information dated December 12, 2011, labeled Exhibit A on file in the docket for Case No. 2011.0929A.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on February 1, 2012.

Linda D. Avery  
Commission Secretary

AYES: Damkroger, Hasz, Johns, Matsuda and Wolfram

NAYS:

ABSENT: Chase and Martinez

ADOPTED: February 1, 2012



# SAN FRANCISCO PLANNING DEPARTMENT

---

## Historic Preservation Commission Resolution No. 0671

HEARING DATE: February 1, 2012

*Date:* February 1, 2012  
*Case No.:* **2011.0929C**  
*Project Address:* **1401 Howard Street**  
*Zoning:* SLR (Service/Light Industrial/Residential) Zoning District  
*Block/Lot:* 3517/035  
*Project Sponsor:* Chris Foley, 1401 Development Partners LP  
*Staff Contact:* Richard Sucre – (415) 575-9108  
richard.sucre@sfgov.org  
*Reviewed By:* Tim Frye, Preservation Coordinator  
[tim.frye@sfgov.org](mailto:tim.frye@sfgov.org)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

ADOPTING FINDINGS FOR THE PROPOSED PROJECT AT 1401 HOWARD STREET (ASSESSOR'S BLOCK 3517, LOT 035), LOCATED WITHIN SLR (SERVICE/LIGHT INDUSTRIAL/RESIDENTIAL) ZONING DISTRICT AND 50-X HEIGHT AND BULK DISTRICT.

### PREAMBLE

1. WHEREAS, on August 25, 2011, the Project Sponsor (Chris Foley of 1401 Development Partners, LP) filed a Conditional Use Application with the San Francisco Planning Department for 1401 Howard Street (Block 3517, Lots 035).
2. WHEREAS, the proposed project intends to utilize Planning Code Section 803.9(a) to allow office, retail and assembly uses in the existing building at 1401 Howard Street. Pursuant to Planning Code Section 803.9(a), the following provision is intended to support the economic viability of buildings of historic importance within a South of Market Mixed Use District:
  - (a) Preservation of Landmark Buildings, Significant or Contributory Buildings Within the Extended Preservation District and/or Contributory Buildings Within Designated Historic Districts within the South of Market Mixed Use Districts. Within the South of Market Mixed Use District, any use which is permitted as a principal or conditional use within the SSO District, excluding nighttime entertainment use, may be permitted as a conditional use in
    - (a) a landmark building located outside a designated historic district,
    - (b) a contributory building which is proposed for conversion to office use of an aggregate gross square footage of 25,000 or more per building and which is located outside the SSO District yet within a designated historic district, or

(c) a building designated as significant or contributory pursuant to [Article 11](#) of this Code and located within the Extended Preservation District.

For all such buildings the following conditions shall apply:

- (1) the provisions of Sections [316](#) through [318](#) of this Code must be met;
- (2) in addition to the conditional use criteria set out in Sections [303\(c\)\(6\)](#) and [316](#) through 316.8, it must be determined that allowing the use will enhance the feasibility of preserving the landmark, significant or contributory building; and
- (3) the landmark, significant or contributory building will be made to conform with the San Francisco Building Code standards for seismic loads and forces which are in effect at the time of the application for conversion of use.

A contributory building which is in a designated historic district outside the SSO District may be converted to any use which is a principal use within the SSO District provided that:

- (1) such use does not exceed an aggregate square footage of 25,000 per building; and
  - (2) prior to the issuance of any necessary permits the Zoning Administrator
    - (a) determines that allowing the use will enhance the feasibility of preserving the contributory building; and
    - (b) the contributory building will be made to conform with the San Francisco Building Code standards for seismic loads and forces which are in effect at the time of the application for conversion of use.
3. WHEREAS, City Charter 4.135 established the Historic Preservation Commission. All duties and responsibilities of the Landmarks Preservation Advisory Board ("LPAB") are under the purview and responsibility of the Historic Preservation Commission.
4. WHEREAS, on February 1, 2012, the Department presented the proposed project to the Historic Preservation Commission. The Commission's comments on the compliance of the proposed project with the Secretary of the Interior's Standards for Rehabilitation and the ability of the proposed project to enhance the feasibility of the historic resource would be forwarded to the Planning Commission for consideration under Planning Code Section 803.9(a).

**THEREFORE BE IT RESOLVED** that the Historic Preservation Commission has reviewed the proposed project at 1401 Howard Street, on Lots 035 in Assessor's Block 3517, and this Commission has provided the following comments:

- The Commission found the proposed project to be consistent with the Secretary of the Interior's Standards for Rehabilitation. Further, the project would preserve the historic resource on the project site.
- The Commission expressed their strong support of the proposed project and applauded the owner for their efforts into the reuse scheme. The Commission expressed that this is a model project for reuse and rehabilitation.

**BE IT FURTHER RESOLVED** that the Historic Preservation Commission hereby directs its Recording Secretary to transmit this Resolution, and other pertinent materials in the Case File No. 2011.0929C to the Planning Commission.

I hereby certify that the foregoing Resolution was **ADOPTED** by the Historic Preservation Commission at its regularly scheduled meeting on February 1, 2012.

Linda D. Avery  
Commission Secretary

**PRESENT:** Damkroger, Hasz, Johns, Matsuda and Wolfram

**ABSENT:**

**ADOPTED:** February 1, 2012



Marvis J. Phillips  
Public Safety / Land Use  
Alliance For A Better DT 6  
230 Eddy St. #1201 & #1206  
San Francisco, CA 94102  
(415) 674-1935

SAN FRANCISCO PLANNING DEPT  
"HISTORIC PRESERVATION COMMISSION"  
ATTN: RICHARD SUCRE', PLANNER  
1650 MISSION ST SUITE 400  
SAN FRANCISCO, CA 94103

DEAR MR. SUCRE',

I AM WRITING REGARDING CASE NO. 2011.0429A  
1401 HOWARD STREET ST. JOSEPH'S CHURCH.

THE LAND USE COMMITTEE SUPPORTS FULLY THE REHABILITATION  
OF THIS HISTORIC LANDMARK CHURCH. THE ALLIANCE FOR  
A BETTER DIST 6 REGARDING PROJECTS LIKE THIS ONE IS  
A KEY FOR THE CONTINUED HISTORIC VALUE WE HAVE IN THE  
WESTERN SOMA NEIGHBORHOOD.

THANK YOU FOR THIS PROJECT. MY CARD IS ENCLOSED!

SINCERELY

MARVIS J. PHILLIPS

LAND USE CHAIR

ALLIANCE FOR A BETTER DIST 6

1424 HRS

14 JAN 2012