



# SAN FRANCISCO PLANNING DEPARTMENT

## Executive Summary Conditional Use

HEARING DATE: APRIL 12, 2012

*Date:* April 5, 2012  
*Case No.:* 2011.0588CEV  
*Project Address:* 929 Broderick Street  
*Zoning:* RH-3 (Residential, House, Three-Family)  
40-X Height and Bulk District  
*Block/Lot:* 1152/006  
*Project Sponsor:* Troy Kashanipour, Architect  
2325 – 3<sup>rd</sup> Street, Suite 413  
San Francisco, CA 94107  
*Staff Contact:* Elizabeth Watty – (415) 558-6620  
[Elizabeth.Watty@sfgov.org](mailto:Elizabeth.Watty@sfgov.org)  
*Recommendation:* **Approval with Conditions**

1650 Mission St.  
Suite 400  
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### PROJECT DESCRIPTION

The project sponsor proposes to add a sixth dwelling unit to the existing five-unit building on a lot measuring approximately 6,531 sf, pursuant to Planning Code Sections 209.1(h) and 303. The Project also includes the construction of a new roof dormer, rear decks, and the expansion of the front bay windows to grade. Since the rear portion of the existing building encroaches into the required rear yard, the proposed dormer and decks at the rear of the building require rear yard and noncomplying structure variances, pursuant to Planning Code Sections 134, and 188, respectively.

### SITE DESCRIPTION AND PRESENT USE

The project is located on the west side of Broderick Street, between Golden Gate Avenue and Turk Street, Block 1152, Lot 006. The subject property is located within the RH-3 (Residential House, Three-Family) Zoning District and the 40-X Height and Bulk District. The property is developed with a four-story residential building containing with five dwelling units. The building was built circa 1900, and is sited with an approximately 5'-2" side setback along the southern property line. This side setback acts as a driveway leading to the rear yard, although there is no garage structure within the rear yard. Two of the existing five units are currently occupied: one by a tenant and one by the property owner.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

The area surrounding the project site contains a mix of residential structures, both in terms of architectural style and density. The corner buildings are typically four-story apartment buildings with higher densities (12- and 13-unit buildings are located on the north side of Golden Gate Avenue at Broderick Street). Buildings located mid-block on Broderick Street are typically three stories tall, containing between one and three dwelling units.

The RH-3 Districts in general have many similarities to RH-2 Districts, but structures with 3 units are common in addition to 1-family and 2-family houses. The predominant form is large flats rather than apartments, with lots 25 feet wide, a fine or moderate scale and separate entrances for each unit. Building styles tend to be varied but complementary to one another. Outdoor space is available at ground level and also on decks and balconies for individual units.

## **ENVIRONMENTAL REVIEW**

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. The building was reclassified to a Category C building on March 15, 2012; it is thus not a historic resource.

## **HEARING NOTIFICATION**

<b>TYPE</b>	<b>REQUIRED PERIOD</b>	<b>REQUIRED NOTICE DATE</b>	<b>ACTUAL NOTICE DATE</b>	<b>ACTUAL PERIOD</b>
Classified News Ad	20 days	March 23, 2012	March 21, 2012	22 days
Posted Notice	20 days	March 23, 2012	March 23, 2012	20 days
Mailed Notice	10 days	April 2, 2012	March 1, 2012	42 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the Conditional Use authorization process.

## **PUBLIC COMMENT**

- To date, the Department has received no public comment regarding the project.

## **ISSUES AND OTHER CONSIDERATIONS**

- The project requires the granting of rear yard and noncomplying structure variances, the hearing for which will immediately follow the hearing for this Conditional Use authorization.

## **REQUIRED COMMISSION ACTION**

In order for the project to proceed, the Commission must grant Conditional Use authorization to allow 6 dwelling units on the 6,531 sf lot in the RH-3 Zoning District, pursuant to Planning Code Sections 209.1(h) and 303.

## **BASIS FOR RECOMMENDATION**

- The Planning Code allows 1 unit per 1,000 sf of lot area, with a Conditional Use authorization.
- The project will result in an additional family-sized dwelling unit within an existing building, in a neighborhood that contains a mix of densities.
- The project would not displace any existing tenants; the one existing tenant will remain in the building during construction.

- The project will not substantially alter the exterior of the existing building, allowing for an increase of density while minimizing the effect on the surrounding neighborhood character.
- The project is desirable for, and compatible with the surrounding neighborhood.

<b>RECOMMENDATION:</b> <b>Approval with Conditions</b>
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**Attachments:**

Block Book Map

Sanborn Map

Zoning Map

Aerial Photographs

Project Sponsor Submittal, including:

- Site Photographs

- Reduced Plans

Attachment Checklist

- Executive Summary
- Draft Motion
- Parcel Map
- Sanborn Map
- Zoning Map
- Aerial Photo
- Site Photos

- Context Photos
- Project sponsor submittal
- Drawings: Existing Conditions
- Check for legibility
- Drawings: Proposed Project
- Check for legibility

Exhibits above marked with an "X" are included in this packet

\_\_\_\_\_ EW \_\_\_\_\_  
Planner's Initials

*EW: G:\Documents\CUs\929 Broderick Street\Executive Summary.doc*



# SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- |  |  |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415)           | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412)            | <input type="checkbox"/> Other                             |

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## Planning Commission Draft Motion

HEARING DATE: APRIL 12, 2012

*Date:* April 5, 2012  
*Case No.:* **2011.0588 CEV**  
*Project Address:* **929 BRODERICK STREET**  
*Zoning:* RH-3 (Residential, House, Three-Family)  
40-X Height and Bulk District  
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2325 – 3<sup>rd</sup> Street, Suite 413  
San Francisco, CA 94107  
*Staff Contact:* Elizabeth Watty – (415) 558-6620  
[Elizabeth.Watty@sfgov.org](mailto:Elizabeth.Watty@sfgov.org)

**ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 209.1(h) AND 303 OF THE PLANNING CODE TO ALLOW SIX DWELLING UNITS ON A LOT THAT MEASURES APPROXIMATELY 6,531 SF WITHIN THE RH-3 (RESIDENTIAL, HOUSE, THREE-FAMILY) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

On June 7, 2011 Troy Kashanipour (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Section(s) 209.1(h) and 303 to allow six dwelling units within an existing five-unit building on a lot that measures approximately 6,531sf within the RH-3 (Residential, House, Three-Family) District and a 40-X Height and Bulk District.

On April 12, 2012, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2011.0588CEV.

The project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2011.0588CEV, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the west side of Broderick Street, between Golden Gate Avenue and Turk Street, Block 1152, Lot 006. The subject property is located within the RH-3 (Residential House, Three-Family) Zoning District and the 40-X Height and Bulk District. The property is developed with a four-story residential building containing five dwelling units. The building was built circa 1900, and is sited with an approximately 5'-2" side setback along the southern property line. This side setback acts as a driveway leading to the rear yard, although there is no garage structure within the rear yard for the driveway to terminate. Two of the existing five units are currently occupied: one by a tenant and one by the property owner. The one existing tenant will remain in the building during construction.
3. **Surrounding Properties and Neighborhood.** The area surrounding the site contains a mix of residential structures, both in terms of architectural style and density. The corner buildings are typically four-story apartment buildings with higher densities (12- and 13-unit buildings are located on the north side of Golden Gate Avenue at Broderick Street). Buildings located mid-block on Broderick are typically three stories tall, containing between 1 and 3 dwelling units.
4. **Project Description.** The Project Sponsor proposes to add a sixth dwelling unit to the existing five unit building on a lot measuring approximately 6,531 sf, pursuant to Planning Code Sections 209.1(h) and 303. The project also includes the construction of a new roof dormer, new rear decks, and modifications to the front bay windows. Since the rear portion of the existing building encroaches into the required rear yard, the proposed dormer and decks at the rear of the building require rear yard and noncomplying structure variances, pursuant to Planning Code Sections 134, and 188, respectively.
5. **Public Comment.** The Department has not received any support or opposition to this project.
6. **Planning Code Compliance:** The Commission finds that the project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Rear Yard Requirement in the RH-3 District.** Planning Code Section 134 states that the minimum rear yard depth shall be equal to 45 percent of the total depth of a lot in which it is situated, but in no case less than 25 percent.

*The subject property is required to maintain a rear yard of approximately 62'-0" (45% of lot depth). The existing five-unit dwelling is noncomplying and encroaches into the required rear yard by approximately 18'-0", extending to within approximately 44'-0" of the rear property line. The project includes the construction of a roof dormer that will volumetrically expand the northwest corner of the existing noncomplying building, and a deck at the rear of the building's first floor. These encroachments necessitate rear yard and noncomplying structure variances, pursuant to Planning Code Sections 134 and 188, respectively. A variance has been filed for these encroachments, and the variance request will be heard by the Zoning Administrator following the Planning Commission's deliberations.*

- B. **Usable Open Space.** Planning Code Section 135 requires 100 sf of private usable open space for each dwelling unit in the RH-3 Zoning District, and 1.33 times as much usable open space when commonly accessible.

*The project will result in every dwelling unit having access to a Code-complying quantity of usable open space: some of the units will meet this requirement through the use of new private decks, while others will share common access to usable open space located at grade within the rear yard.*

- C. **Street Trees.** Planning Code Section 138.1 specifies the street tree requirements of this Section to be met with the addition of a new dwelling unit.

*The existing property has a 47'-6" frontage and two existing street trees. Although the addition of a new dwelling unit triggers compliance with this Planning Code Section, the property already complies with this Section by having one tree per 20'-0" of lot frontage.*

- D. **Exposure.** Planning Code Section 140 requires each dwelling unit to face an open area. The open area must either be a public street, public alley at least 25 feet in width, side yard at least 25 feet in width, or rear yard meeting the requirements of this Code; or an open area that is unobstructed and no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit in question is located and the floor immediately above it, with an increase of five feet in every horizontal dimension at each subsequent floor.

*The five existing dwelling units face either a qualifying public right-of-way, or an open area that complies with certain dimensional requirements. As part of the project, several of the dwelling units will be reconfigured. The resulting building will include 6 dwelling units, all of which will either face a qualifying public right-of-way or an open area meeting the dimensional requirements referenced above.*

- E. **Parking.** Planning Code Section 151 requires one off-street parking space for each dwelling unit in the RH-3 Zoning District. Planning Code Section 150(c), however, states that for any structure lawfully existing on such effective date, off-street parking and loading spaces need

be provided only in the case of a major addition to such structure or use, and only in the quantity required for the major addition itself. A "major addition" is defined as any enlargement, alteration, change of occupancy or increase in intensity of use which would increase the number of off-street parking spaces required for dwelling units by two or more spaces.

*The Subject Property currently contains five dwelling units with no off-street parking. According to Planning Code Section 150(c), since the addition of one dwelling unit only requires one new parking space, the project is not considered a "major alteration", and is thus not required to provide the one required off-street parking space.*

- F. **Bicycle Parking.** Planning Code Section 155.5 requires one Class 1 bicycle parking space for every two dwelling units, when a building contains at least four dwelling units.

*The project will result in six dwelling units, which requires three Class 1 bicycle parking spaces. The Project Sponsor will provide these three required Class 1 bicycle parking spaces in an accessory structure in the rear yard.*

- G. **Density.** Planning Code Section 209.1(e) allows three dwelling units as of right in the RH-3 District, and Section 209.1(h) allows a dwelling unit density of one unit per 1,000 sf of lot area, with a Conditional Use authorization, in the RH-3 District.

*The subject property has a lot frontage of 47'-6" and a lot depth of approximately 137'-6", for an overall lot area of approximately 6,531 sf. The Property currently contains five dwelling units, but is permitted, with a Conditional Use authorization, to contain up to six dwelling units. The Project Sponsor is seeking Conditional Use authorization to allow 6 dwelling units on the subject property.*

- H. **Height.** The Subject Property is limited to a 40-X Height and Bulk District.

*The subject property currently exceeds the height limit, in that it measures 44'-0" to the top of the roof. Although the project includes new roof dormers, they extend less than 10'-0" above the 40'-0" height limit, and are thus a permitted height exemption, pursuant to Planning Code Section 260(b).*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The addition of a sixth dwelling unit within an existing five-unit residential building is compatible with the surrounding neighborhood, which includes a variety of densities in the immediate area, from one unit per lot to thirteen units per lot. The addition of a rental dwelling unit within an existing*



*building's footprint is necessary and desirable as it adds to the City's supply of rental housing stock with minimal adverse effects on the surrounding neighborhood.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The siting, height and bulk of the existing building will remain substantially unaltered, other than the addition of a new roof dormer, bay windows being extended to grade, and new decks at the rear of the building. All alterations at the front of the building are in keeping with the surrounding neighborhood.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Planning Code does not require any off-street parking or loading as part of the project. It is likely that future residents of this rental unit will use public transit, walk, or bicycle to and from their daily activities.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The proposed use is a dwelling unit, which does not typically emit noxious or offensive emissions such as noise, glare, dust, or odor.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The project includes an existing to-be-retained fully landscaped front yard, two existing street trees, a large rear yard and private decks that will together satisfy the usable space requirements of the Planning Code, and a rear yard accessory structure that will accommodate the 3 Class 1 bicycle parking spaces. The project does not trigger any parking or loading requirements, and there is no anticipated lighting or signage associated with this project.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The project complies with all relevant requirements and standards of the Planning Code, other than Planning Code Sections 134 and 188, and is consistent with the Objectives and Policies of the General Plan as detailed below. The project Sponsor is seeking variances from the rear yard (134) and*

*noncomplying structure (188) Sections of the Planning Code, which will be heard separately by the Zoning Administrator.*

8. **General Plan Compliance.** The project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## **HOUSING ELEMENT**

### **Objectives and Policies**

#### **OBJECTIVE 1:**

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

#### **Policy 1.1**

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

#### **Policy 1.6**

Consider greater flexibility in number and size of units within established building envelopes in community based planning processes, especially if it can increase the number of affordable units in multi-family structures.

#### **Policy 1.10**

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

*The proposed development will result in one additional dwelling unit within an existing building envelope. The Property is in close proximity to several public transit lines, and new tenants can easily rely on walking and bicycling for the majority of daily trips.*

#### **OBJECTIVE 3:**

PROTECT THE AFFORDABILITY OF THE EXISTING HOUSING STOCK, ESPECIALLY RENTAL UNITS.

#### **Policy 3.1**

Preserve rental units, especially rent controlled units, to meet the City's affordable housing needs.

*The project will retain the five rental dwelling units that currently exist in the building. Although only one of the units is currently being rented, the project will be constructed in such a way as to allow the one existing tenant to remain in place. The other existing units will also remain subject to rent control.*

#### **OBJECTIVE 4:**

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

#### **Policy 4.1**

Develop new housing, and encourage the remodeling of existing housing, for families with children.

*The project will enable the construction of new housing through the remodel of an existing residential structure, providing one new family-sized unit.*

**OBJECTIVE 11:**

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

**Policy 11.1**

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

**Policy 11.2**

Ensure implementation of accepted design standards in project approvals.

**Policy 11.3**

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

**Policy 11.4**

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

**Policy 11.5**

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

*The project will accommodate growth within an existing residential building that is compatible with the surrounding neighborhood character. This project enables incremental housing growth that conforms to the permissible density of the RH-3 Zoning District.*

**OBJECTIVE 12:**

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

**Policy 12.1**

Encourage new housing that relies on transit use and environmentally sustainable patterns of movement.

*The project creates new family housing without off-street parking; the new dwelling unit will rely on transit use and environmentally sustainable patterns of movement.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The project would not adversely affect neighborhood-serving retail uses since it is the addition of one dwelling unit within an existing five-unit building. The addition of one new household within an established residential neighborhood allows for new customers of neighborhood-serving retail uses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The project will conserve and protect the five existing dwelling units as part of this project, thus preserving the cultural and economic diversity of the neighborhood. The building is currently occupied by one tenant and the property owner. Although the property owner will move out during construction, the one tenant will remain in the building during construction. The addition of one dwelling unit will positively contribute to the cultural and economic diversity of the surrounding neighborhood.*

- C. That the City's supply of affordable housing be preserved and enhanced.

*The five existing dwelling units will be retained as part of this project, and the addition of one new dwelling unit within this existing building will increase the supply of housing available within the neighborhood.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Property is located on Broderick Street, between Golden Gate Avenue and Turk Street, and is well served by public transit. The addition of one household is not expected to overburden the street or availability of neighborhood parking, nor is it expected to impede MUNI transit service.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The project will not displace any service or industry establishment due to commercial office development, as this project is the addition of one dwelling unit. The addition of new housing helps to facilitate local ownership of industrial or service sector businesses.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The project is designed and will be constructed to conform to the structural and seismic safety requirements of the City's Building Code. This project will not affect the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*A landmark or historic building does not occupy the project site; the project has been classified as a Category C building, which means it is not a historic resource.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The project will have no negative impact on existing parks and open spaces. The project does not have an impact on open spaces. The project does not result in a building over a Planning Code height of 40'-0", and thus is not subject to Section 295 shadow study review.*

10. The project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2011.0588CV** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated February 15, 2012, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on April 12, 2012.

Linda D. Avery  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: April 12, 2012

## EXHIBIT A

### AUTHORIZATION

This authorization is for a conditional use to allow a sixth dwelling unit on a lot that measures approximately 6,531sf located at 929 Broderick Street, Block 1152 in Assessor's Lot 006 pursuant to Planning Code Section(s) 209.1(h) and 303 within the RH-3 District and a 40-X Height and Bulk District; in general conformance with plans, dated 2/15/12, and stamped "EXHIBIT B" included in the docket for Case No. 2011.0588CV and subject to conditions of approval reviewed and approved by the Commission on April 12, 2012 under Motion No XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on April 12, 2012 under Motion No XXXXXX.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org).*

2. **Extension.** *This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).*

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

### PARKING AND TRAFFIC

1. **Bicycle Parking.** The project shall provide no fewer than 3 Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.5.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)

### MONITORING

1. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

2. **Revocation due to Violation of Conditions.** Should implementation of this project result in complaints from interested property owners, residents, or commercial lessees which are not



resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

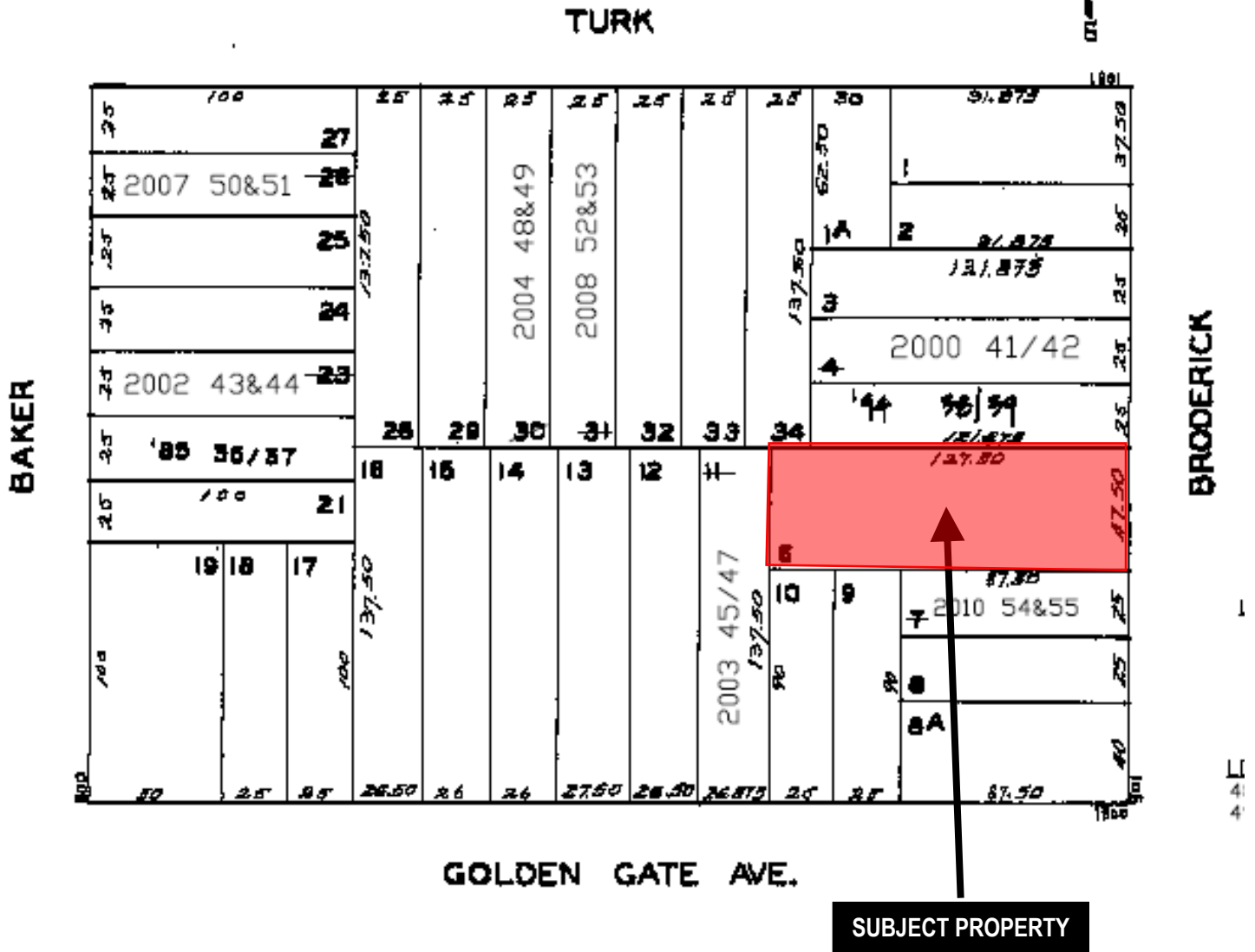
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## OPERATION

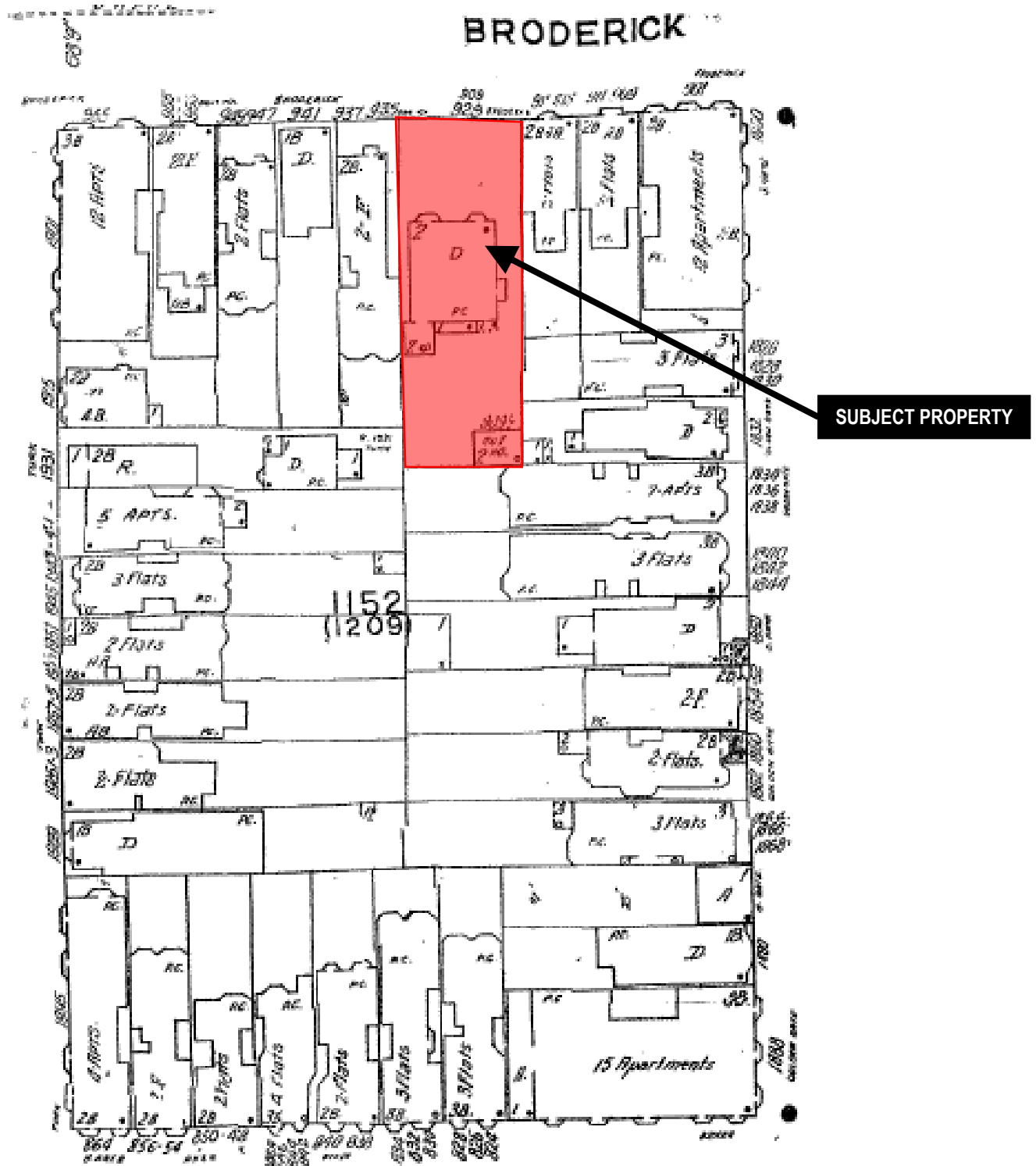
1. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

# Block Book Map



# Sanborn Map\*

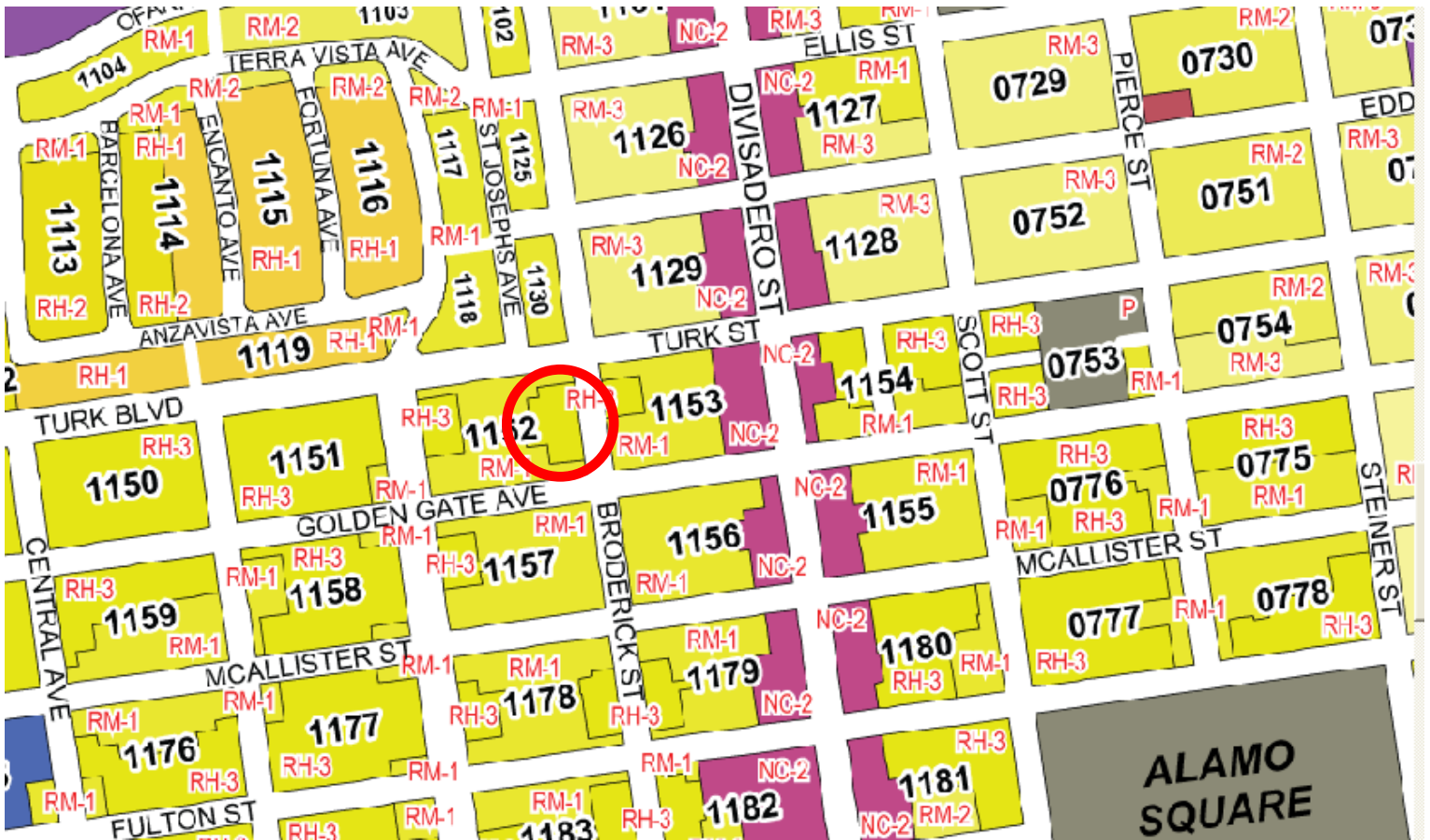


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



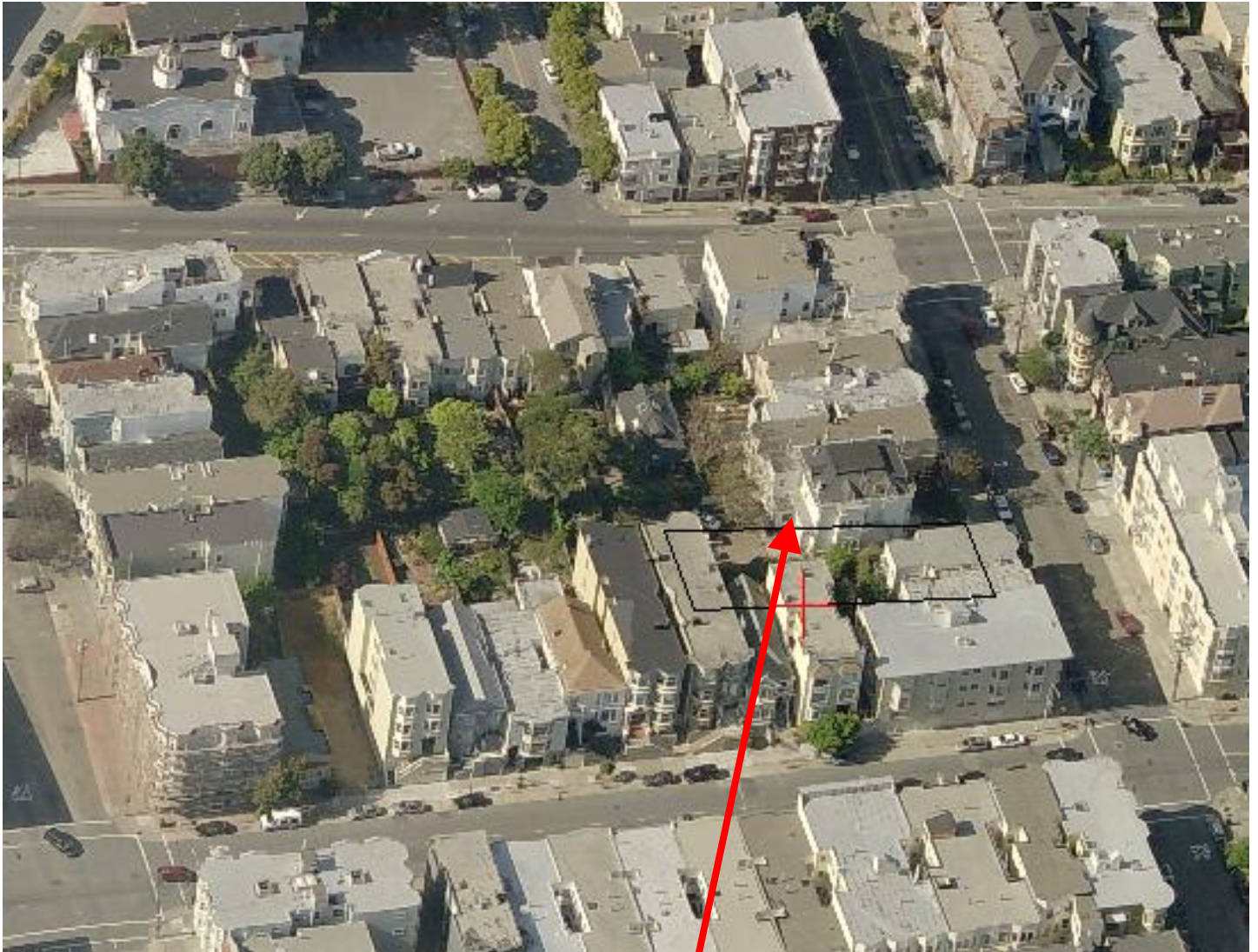
Conditional Use Hearing  
Case Number 2011.0588CEV  
929 Broderick Street

# Zoning Map



Conditional Use Hearing  
Case Number 2011.0588CEV  
929 Broderick Street

# Aerial Photo



**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2011.0588CEV  
929 Broderick Street



# Aerial Photo



**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2011.0588CEV  
929 Broderick Street

# Aerial Photo



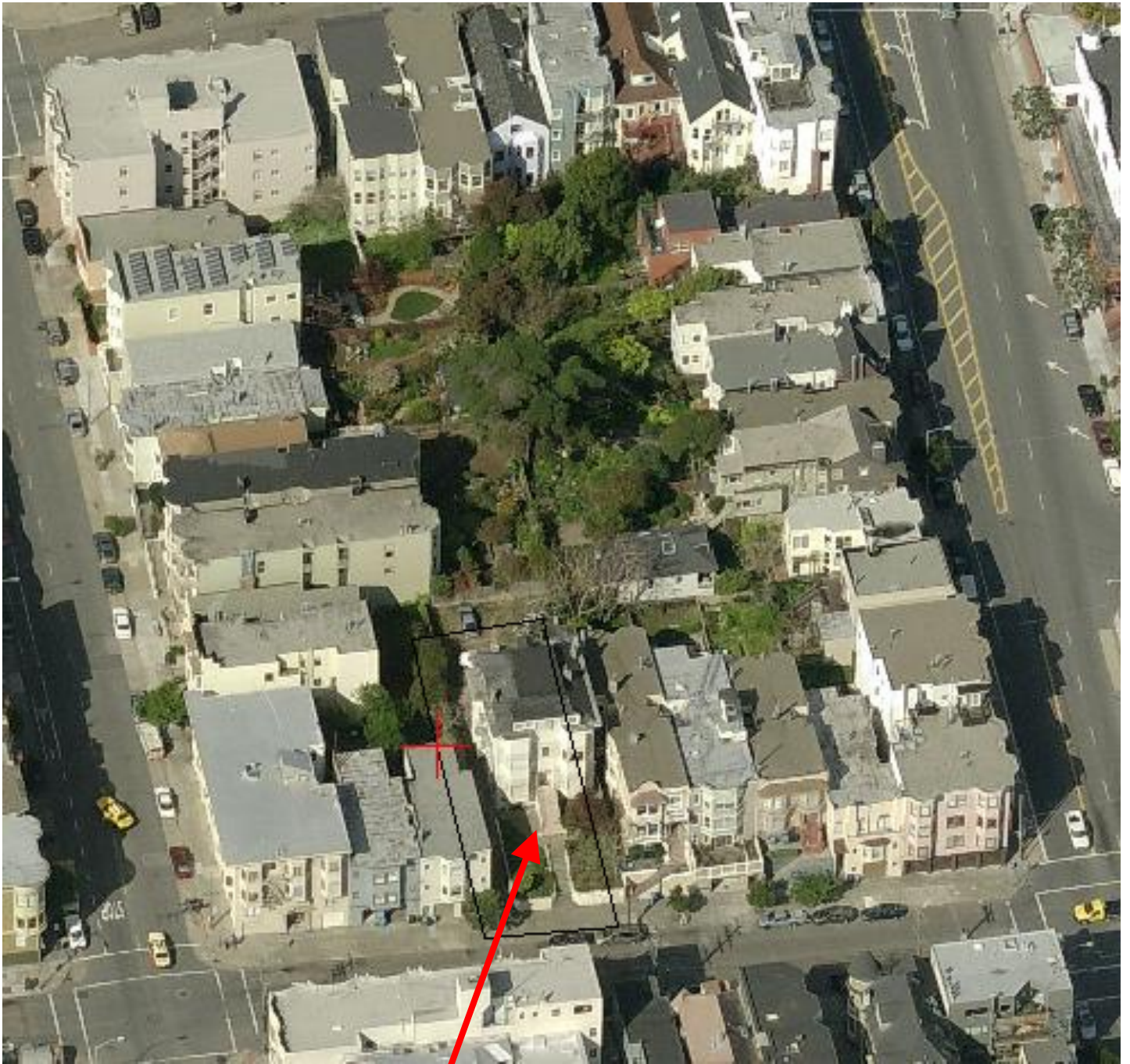
**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2011.0588CEV  
929 Broderick Street



# Aerial Photo



**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2011.0588CEV  
929 Broderick Street



# Broderick St



929

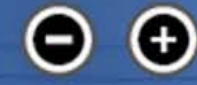
Golden Gate Ave

Turk St

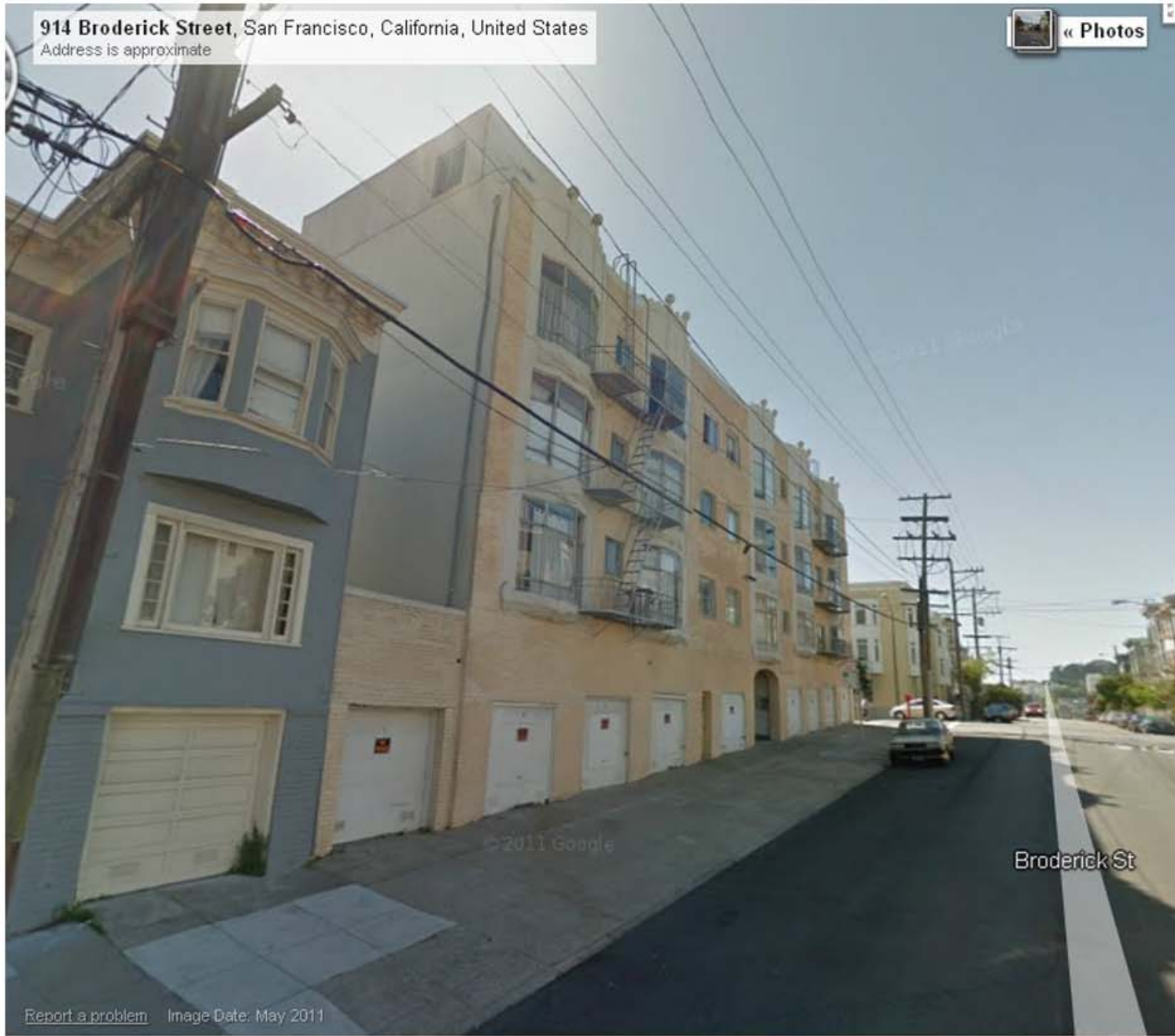
Broderick Street looking West

Broderick Street looking East

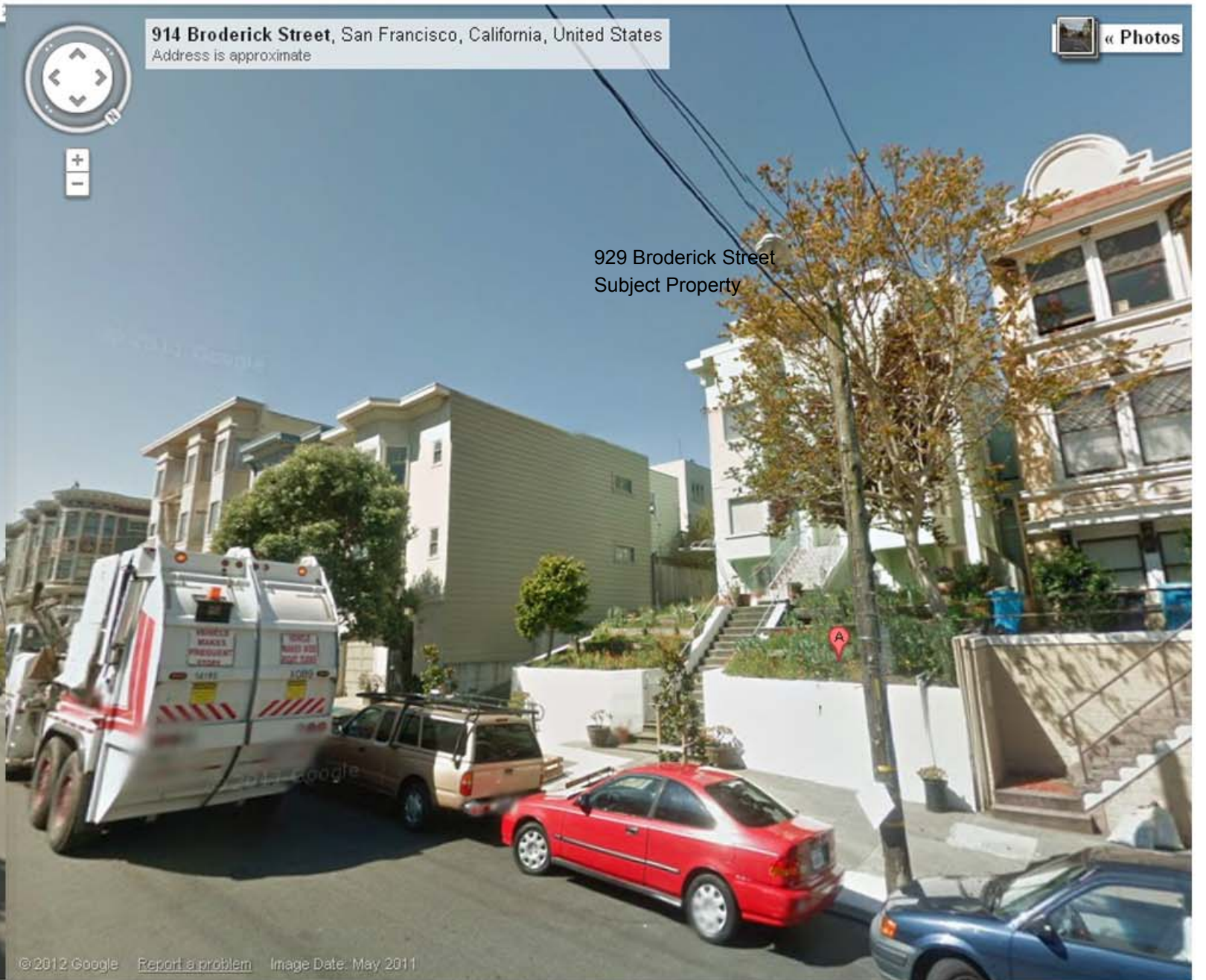
# Broderick St







East Side of Broderick



West Side of Broderick

Broderick Street Looking South





929 Broderick Street  
Front View



View from Side of Building  
looking East



Northwest Corner of  
929 Broderick



View from Rear yard at West Elevation



# RESIDENTIAL RENOVATION AND DWELLING UNIT ADDITION

## 929 BRODERICK STREET, SAN FRANCISCO, CALIFORNIA 94115

### DRAWING LIST

- A0.0 PROJECT INFORMATION
- A0.1 EXISTING & PROPOSED SITE PLANS
- A0.2 ENERGY CALCULATIONS
- A0.3 ENERGY CALCULATIONS
- A1.0 EXISTING BASEMENT & FIRST FLOOR/DEMOLITION PLANS
- A1.1 EXISTING SECOND & THIRD FLOOR/DEMOLITION PLANS
- A2.0 PROPOSED BASEMENT & FIRST FLOOR PLANS
- A2.1 PROPOSED SECOND & THIRD FLOOR PLANS
- A3.0 EXISTING EAST & SOUTH ELEVATIONS
- A3.1 EXISTING WEST & NORTH ELEVATIONS
- A3.2 PROPOSED EAST & SOUTH ELEVATIONS
- A3.3 PROPOSED WEST & NORTH ELEVATIONS
- A6.0 PROPOSED REFLECTED CEILING PLAN
- A8.0 WINDOW SCHEDULE & DETAILS

### APPLICABLE REGULATIONS & STANDARDS

- 2010 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS.
- 2010 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS.
- 2010 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS.
- 2010 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS.
- 2010 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS.
- ENERGY CODE - TITLE 24 - CALIFORNIA CODE OF REGULATIONS
- LIFE SAFETY CODE, 2007 EDITION NFPA 72
- NFPA 13, 2007 EDITION
- APPLICABLE STANDARDS:
  - UL-UNDERWRITERS LABORATORIES FIRE RESISTIVE DIRECTORY-2002 EDITION
  - UL-UNDERWRITERS LABORATORIES BUILDING MATERIALS DIRECTORY-2002 EDITION
  - SMACNA - FIRE SMOKE AND RADIATION DAMPER INSTALLATION GUIDE FOR HVAC SYSTEMS, 3RD EDITION

### SCOPE OF WORK THIS PROJECT:

- BASEMENT STORY: CONVERT (E) BASEMENT STORY LIVING SPACE INTO DWELLING UNIT, REMOVE EXISTING STAIR CONNECTING TO 1ST STORY. (N) CONCRETE STAIR AT S. SIDE OF BLDG., REMOVE BRICK CHIMNEYS.
- FIRST STORY: MODIFY ROOFLINE AT S. SIDE OF BUILDING. INTERIOR REMODEL UNIT 1. (N) WINDOWS, (N) WOOD STAIR & LANDING FOR UNIT 1&2 REAR ENTRY, REMODEL KITCHEN & BATH.
- SECOND STORY: (N) ROOF DECK AT UNIT 4, (N) DOORS AT LIVING, REMODEL KITCHEN.
- THIRD STORY: (N) ROOF DORMER AT SOUTH SIDE UNIT 5, (N) WINDOWS AND ROOF ACCESS DOOR, REMODEL KITCHEN & BATH.
- \* FOUNDATION REPLACEMENT, STR. SLAB, BASEMENT STR. UPGRADE APPROVED UNDER BPA # 2010/1102/4168

### BUILDING & PLANNING DEPARTMENT NOTES:

**BUILDING OWNER:** MARGUERITE ETEMAD  
949 BRODERICK STREET  
SAN FRANCISCO, CA 94115  
PHONE: 415.407.0369  
RITE7@HOTMAIL.COM

**ARCHITECT:** TROY KASHANIPOUR ARCHITECTURE  
2325 3RD STREET, SUITE 401  
SAN FRANCISCO, CA 94107  
PHONE/FAX: 415.431.0868  
CELL: 415.290.8844  
TK@TKWORKSHOP.COM

**ENGINEERING:** MEDHI KARIMI, CIVIL ENGINEER  
STG, INC.  
800 SAN PABLO AVE, SUITE D  
ALBANY, CA 94707  
PHONE: 510.528.1200  
FAX: 510.528.1300  
EMAIL: EMK@LMI.NET

**BLOCK/LOT:** BLOCK 1152 LOT 6

**ZONING:** RH-3

**USE:** APARTMENT

	UNIT	EXISTING SQFT	PROPOSED SQFT
EXISTING NUMBER OF STORIES/BASEMENTS: 3/1	1	668	668
PROPOSED NUMBER OF STORIES/BASEMENTS: 3/1	2	1465*	794
EXISTING TYPE OF CONSTRUCTION: V-B	3	594	694
(N) CONSTRUCTION AT BASEMENT UNIT: V-B	4	694	694
	5	1203	1203
	6	0	1549

EXISTING IS NOT EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.

AREA PER FLOOR:	EXISTING	PROPOSED:	
(E) BASEMENT LEVEL	=774 SQFT RESIDENTIAL 410 SQFT MECHANICAL	=1549 SQFT	* 691 SQFT EXISTING AT FIRST FLOOR CONNECTED TO BASEMENT LEVEL 774 SQFT THROUGH INTERNAL STAIR.
(E) FIRST STORY	=1687 SQFT	NO CHANGE	
(E) SECOND STORY	=1477 SQFT	NO CHANGE	
(E) THIRD STORY	=1418 SQFT	NO CHANGE	

### LOCATION PLAN



### SYMBOLS

- CEILING MOUNTED FIXTURE
- WALL MOUNTED FIXTURE
- EXTERIOR OR WATERPROOF LIGHT FIXTURE
- WALL WASH LIGHT FIXTURE
- RECESSED CEILING MOUNTED FIXTURE
- FLUORESCENT LIGHT FIXTURE
- SMOKE DETECTOR
- TELEPHONE
- INTERCOM
- 
- DUPLEX GFI OUTLET
- DUPLEX SWITCHED OUTLET
- DATA/TELEPHONE OUTLET
- DOUBLE DUPLEX, COUNTER HT
- 
- COUNTER HEIGHT DUPLEX OUTLET
- HALF SWITCHED DUPLEX OUTLET
- DIRECTIONAL EXIT SIGN
- FAN
- THERMOSTAT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- DOOR TAG
- CEILING HEIGHT TAG
- ELEVATION
- FIXTURE TAG, P-PLUMBING, E-EQUIPMENT
- DRAWING REVISION TAG
- DETAIL KEY
- INTERIOR ELEVATION KEY
- SECTION/ELEVATION KEY

### GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CIRCUMSTANCES TO THE ARCHITECT PRIOR TO FINALIZING BIDS AND COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES.
3. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
5. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
6. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
7. PROVIDE FIRE-BLOCKING AND DRAFT STOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AS PER 2010 CBC 708, 717.2 AND 717.3. FIRE BLOCKING AND DRAFT STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
  - A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
  - B) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
  - C) IN OPENINGS AROUND VENTS, PIPES, DUCTS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
8. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH 2010 CBC SECTION 719.
9. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
10. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
11. PROVIDE ALL LIGHTS, GUARDRAILS, BARRICADES, SIGNS AND PROTECTIVE MEASURES AS MAY BE REQUIRED BY THE OWNER, LOCAL AUTHORITIES, OR OTHERS HAVING JURISDICTION.
12. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.
13. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHER WISE NOTED.
14. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS. PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
15. NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT. CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES
17. ALL CHANGES IN FLOOR MATERIALS OCCUR AT THE CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE NOTED.
18. WINDOW SIZES ON DRAWINGS ARE NOMINAL, REFER TO MANUFACTURERS FOR ACTUAL ROUGH OPENING DIMENSION<sub>w</sub>±.5.
19. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHER-STRIPPED PER TITLE 24 REQUIREMENTS
20. PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4.
21. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC SECTION 2406.3.
22. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
23. PER 1009.6.3 ENCLOSURES UNDER STAIRWAYS. THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR THE FIRE-RESISTANCE RATINGS OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. ACCESS TO THE ENCLOSED SPACE SHALL NOT BE DIRECTLY FROM WITHIN THE STAIR ENCLOSURE. EXCEPTION: SPACES UNDER STAIRWAYS SERVING AND CONTAINED WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-2 OR R-3 SHALL BE PERMITTED TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD. THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXTERIOR EXIT STAIRWAYS UNLESS THE SPACE IS COMPLETELY ENCLOSED IN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION. THE OPEN SPACE UNDER EXTERIOR STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.

### ABBREVIATIONS:

<p>A.C. AIR CONDITIONING</p> <p>A.C. TILE ACOUSTIC TILE</p> <p>ACCESS. ACCESSIBLE</p> <p>ACCOUST. ACOUSTICAL</p> <p>A.D. AREA DRAIN</p> <p>ADJ. ADJACENT</p> <p>ADJUST. ADJUSTABLE</p> <p>A.E.S. ABOVE EXISTING SLAB</p> <p>A.E.S.S. ARCHITECTURAL EXPOSED STRUCTURAL STEEL</p> <p>A.F.F. ABOVE FINISHED FLOOR</p> <p>AGGR. AGGREGATE</p> <p>AL. ALUMINUM</p> <p>ALUM. ALUMINUM</p> <p>APPROX. APPROXIMATELY</p> <p>ARCH. ARCHITECTURAL</p> <p>ASB. ASBESTOS</p> <p>ASPH. ASPHALT</p> <p>AT AT</p> <p>BD. BOARD</p> <p>BITUM. BITUMINOUS</p> <p>BLOC. BUILDING</p> <p>BLK. BLOCK</p> <p>BLK'G BLOCKING</p> <p>BM. BEAM</p> <p>B.O. BOTTOM OF</p> <p>BOT. BOTTOM</p> <p>CAB. CABINET</p> <p>C.B. CATCH BASIN</p> <p>CEM. CEMENT</p> <p>CER. CERAMIC</p> <p>C.I. CAST IRON</p> <p>C.L. CENTER LINE</p> <p>CLG. CEILING</p> <p>CLKG. CAULKING</p> <p>CLO. CLOSET</p> <p>CLR. CLEAR</p> <p>C.M.U. CONCRETE MASONRY UNIT</p> <p>CNTR. COUNTER</p> <p>CO. TRANSLUCENT CORIAN</p> <p>COL. COLUMN</p> <p>COM. COMPACT</p> <p>CONC. CONCRETE</p> <p>CONN. CONNECTION</p> <p>CONSTR. CONSTRUCTION</p> <p>CONT. CONTINUOUS</p> <p>CORR. CORRIDOR</p> <p>C.S.C.I. CONTRACTOR SUPPLIED CONTRACTOR INSTALLED</p> <p>C.T. CERAMIC TILE</p> <p>CTR. CENTER</p> <p>CTSK. COUNTERSUNK</p> <p>DBL. DOUBLE</p> <p>DEPT. DEPARTMENT</p> <p>DET. DETAIL</p> <p>D.F. DRINKING FOUNTAIN</p> <p>DIA. DIAMETER</p> <p>DIM. DIMENSION</p> <p>DN. DOWN</p> <p>D.O. DOOR OPENING</p> <p>DRESS. DRESSING</p> <p>DS. DOWNSPOUT</p> <p>D.S.P. DRY STANDPIPE</p> <p>DTL. DETAIL</p> <p>DWG. DRAWING</p> <p>E. EAST</p> <p>(E) EXISTING</p> <p>EA. EACH</p> <p>E.J. EXPANSION JOINT</p> <p>EL. ELEVATION</p> <p>ELEC. ELECTRICAL</p> <p>ELEV. ELEVATOR</p> <p>EMER. EMERGENCY</p> <p>ENCL. ENCLOSURE</p> <p>E.P. ELECTRICAL PANEL BOARD</p> <p>EQ. EQUAL</p> <p>EQPT. EQUIPMENT</p> <p>ESC. ESCALATOR</p> <p>E.W.C. ELECTRIC WATER COOLER</p> <p>EXIST. EXISTING</p> <p>EXP. EXPANSION</p> <p>EXPO. EXPOSED</p> <p>EXT. EXTERIOR</p> <p>F.A. FIRE ALARM</p> <p>F.B. FLAT BAR</p> <p>F.D. FLOOR DRAIN</p> <p>FDN. FOUNDATION</p> <p>F.E.C. FIRE EXTINGUISHER CABINET</p> <p>F.H.C. FIRE HOSE CABINET</p>	<p>FIN. FINISH</p> <p>FIXT. FIXTURE</p> <p>F.L. FLOW LINE</p> <p>FLASH. FLASHING</p> <p>FLUOR. FLUORESCENT</p> <p>F.O. FACE OF</p> <p>F.O.C. FACE OF CONCRETE</p> <p>F.O.F. FACE OF FINISH</p> <p>F.O.S. FACE OF STUDS</p> <p>F.P. FIRE PROOF</p> <p>FFR'G FIRE PROOFING</p> <p>F.R. FIRE RETARDANT</p> <p>F.T. FIRE TREATED</p> <p>FT. FOOT/FEET</p> <p>FTG. FOOTING</p> <p>F.S. FULL SIZE</p> <p>FURR. FURRING</p> <p>FUT. FUTURE</p> <p>G.A. GAUGE</p> <p>GALV. GALVANIZED</p> <p>G.B. GRAB BAR</p> <p>G.C. GENERAL CONTRACTOR</p> <p>G.H. GARMENT HOOK</p> <p>GL. GLASS</p> <p>GND. GROUND</p> <p>GR. GRADE</p> <p>GSM. GALVANIZED SHEET METAL</p> <p>G.W.B. GYPSUM WALLBOARD</p> <p>GYP. GYPSUM</p> <p>GYPBD. GYPSUM BOARD</p> <p>H.B. HOSE BIBB</p> <p>H.C. HOLLOW CORE</p> <p>HD. HAND</p> <p>HDWD. HARDWOOD</p> <p>H.M. HOLLOW METAL</p> <p>HORIZ. HORIZONTAL</p> <p>HR. HOUR</p> <p>HT. HEIGHT</p> <p>I.D. INSIDE DIAMETER</p> <p>INSUL. INSULATION</p> <p>INT. INTERIOR</p> <p>JAN. JANITOR</p> <p>JT. JOINT</p> <p>KIT. KITCHEN</p> <p>L. ANGLE</p> <p>LAM. LAMINATE</p> <p>LAV. LAVATORY</p> <p>LL. LANDLORD</p> <p>LKR. LOCKER</p> <p>LT. LIGHT</p> <p>MANUF. MANUFACTURER</p> <p>MAX. MAXIMUM</p> <p>M.C. MEDICINE CABINET</p> <p>MDF. MEDIUM DENSITY FIBERBOARD</p> <p>MECH. MECHANICAL</p> <p>MEMB. MEMBRANE</p> <p>MFR. MANUFACTURER</p> <p>MILL WK. MILLWORK</p> <p>M.H. MANHOLE</p> <p>MIN. MINIMUM</p> <p>MIR. MIRROR</p> <p>MISC. MISCELLANEOUS</p> <p>M.O. MASONRY OPENING</p> <p>MTL. METAL</p> <p>MTD. MOUNTED</p> <p>MUL. MULLION</p> <p>MWC. MILLWORK CONTRACTOR</p> <p>N. NORTH</p> <p>(N) NEW</p> <p>N.C. NOT IN CONTRACT</p> <p>NO. NUMBER</p> <p>NOM. NOMINAL</p> <p>N.T.S. NOT TO SCALE</p> <p># NUMBER</p> <p>O.A. OVERALL</p> <p>OBS. OBSOLETE</p> <p>O.C. ON CENTER</p> <p>O.D. OUTSIDE DIAMETER</p> <p>OFF. OFFICE</p> <p>OP'G OPENING</p> <p>OPP. OPPOSITE</p> <p>OPP. HD. OWNER SUPPLIED CONTRACTOR INSTALLED</p> <p>O.S.C.I. OWNER SUPPLIED CONTRACTOR INSTALLED</p> <p>P. PAINT</p> <p>PC. PRECAST CONCRETE</p> <p>PCS. PIECES</p> <p>PL. PLATE</p> <p>PLAM. PLASTIC LAMINATE</p>	<p>PLAS. PLASTER</p> <p>PLYWD. PLYWOOD</p> <p>POL. POLISHED</p> <p>PR. PAIR</p> <p>PRCST. PRECAST</p> <p>PT. POINT</p> <p>P.T.D. PAPER TOWEL DISPENSER</p> <p>PTD. PAINTED</p> <p>P.T.D./R. PAPER TOWEL DISPENSER RECEPTACLE COMBINATION PARTITION</p> <p>PTN. PARTITION</p> <p>P.T.R. PAPER TOWEL RECEPTACLE</p> <p>PU. POLYURETHANE</p> <p>PY. POLYCARBONATE</p> <p>Q.T. QUARRY TILE</p> <p>R. RISER</p> <p>RAD. RADIUS</p> <p>RCP. REFLECTED CEILING PLAN</p> <p>R.D. ROOF DRAIN</p> <p>ROWD. REDWOOD</p> <p>REF. REFERENCE</p> <p>REFR. REFRIGERATOR</p> <p>REINF. REINFORCED</p> <p>REG. REGISTER</p> <p>REQ. REQUIRED</p> <p>RESIL. RESILIENT</p> <p>RET. RETARDANT</p> <p>RGR. REGISTER (CASH)</p> <p>RM. ROOM</p> <p>R.O. ROUGH OPENING</p> <p>R.W.L. RAIN WATER LEADER</p> <p>S. SOUTH</p> <p>S.B.O. SUPPLIED BY OWNER</p> <p>S.C. SOLID CORE</p> <p>S.C.D. SEAT COVER DISPENSER</p> <p>SCH. SCHEDULE</p> <p>SCHED.(D) SCHEDULE(D)</p> <p>S.D. SOAP DISPENSER</p> <p>SECTION SECTION</p> <p>S.E.D. SEE ELECTRICAL DRAWINGS</p> <p>SH. SHELF</p> <p>SHR. SHOWER</p> <p>SHT. SHEET</p> <p>SIM. SIMILAR</p> <p>S.M.D. SEE MECHANICAL DRAWINGS</p> <p>S.N.D. SANITARY NAPKIN DISPENSER</p> <p>S.N.R. SANITARY NAPKIN RECEPTACLE</p> <p>S.P.D. SEE PLUMBING DRAWINGS</p> <p>SPEC. SPECIFICATION</p> <p>SPEC'D SPECIFIED</p> <p>SQ. SQUARE</p> <p>S.S.D. SEE STRUCTURAL DRAWINGS</p> <p>S.S.K. SERVICE SINK</p> <p>SST. STAINLESS STEEL</p> <p>ST. STONE</p> <p>STA. STATION</p> <p>STD. STANDARD</p> <p>STL. STEEL</p> <p>STOR. STORAGE</p> <p>STRUCT. STRUCTURAL</p> <p>SUSP. SUSPENDED</p> <p>SYM. SYMMETRICAL</p> <p>T. TREAD</p> <p>T.B. TOWEL BAR</p> <p>TC. TOP OF CURB</p> <p>T.C. TERRA COTTA</p> <p>TEMP. TEMPERED</p> <p>TER. TERRAZZO</p> <p>THK. THICK</p> <p>T.O. TOP OF</p> <p>T.O.C. TOP OF CONCRETE</p> <p>T.O.P. TOP OF PAVEMENT</p> <p>T.O.S. TOP OF SLAB</p> <p>T.S. TUBE STEEL</p> <p>TYP. TYPICAL</p> <p>UNEQ. UNEQUAL</p> <p>U.O.N. UNLESS OTHERWISE NOTED</p> <p>UR. URINAL</p> <p>V.I.F. VERIFY IN FIELD</p> <p>VERT. VERTICAL</p> <p>VEST. VESTIBULE</p> <p>W. WEST</p> <p>W/ WITH</p> <p>W.C. WATER CLOSET</p> <p>WD. WOOD</p> <p>W/O WINDOW</p> <p>WP. WALLPAPER</p> <p>WT. WEIGHT</p>
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### PROJECT INFORMATION

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PHONE: 415.407.0368  
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ISSUE: ISSUED FOR PERMIT  
PLANNING REVISIONS

DATE: 12.20.11  
02.14.12

CONSULTANT:

APPROVAL

LICENSED ARCHITECT

TROY KASHANIPOUR

C 27646

REN. 6/30/2013

STATE OF CALIFORNIA

DRAWN: TK  
CHECKED: TK  
SCALE: NONE

# A0.0

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413 SF CA 94107 PHONE/FAX 415-431-0869

# 929 BRODERICK STREET



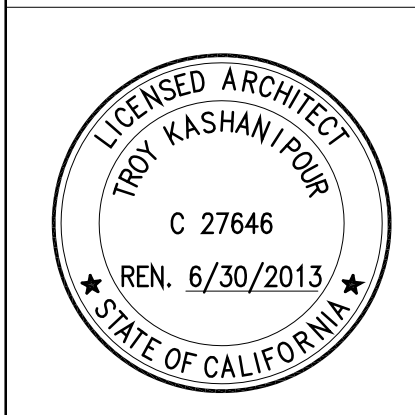


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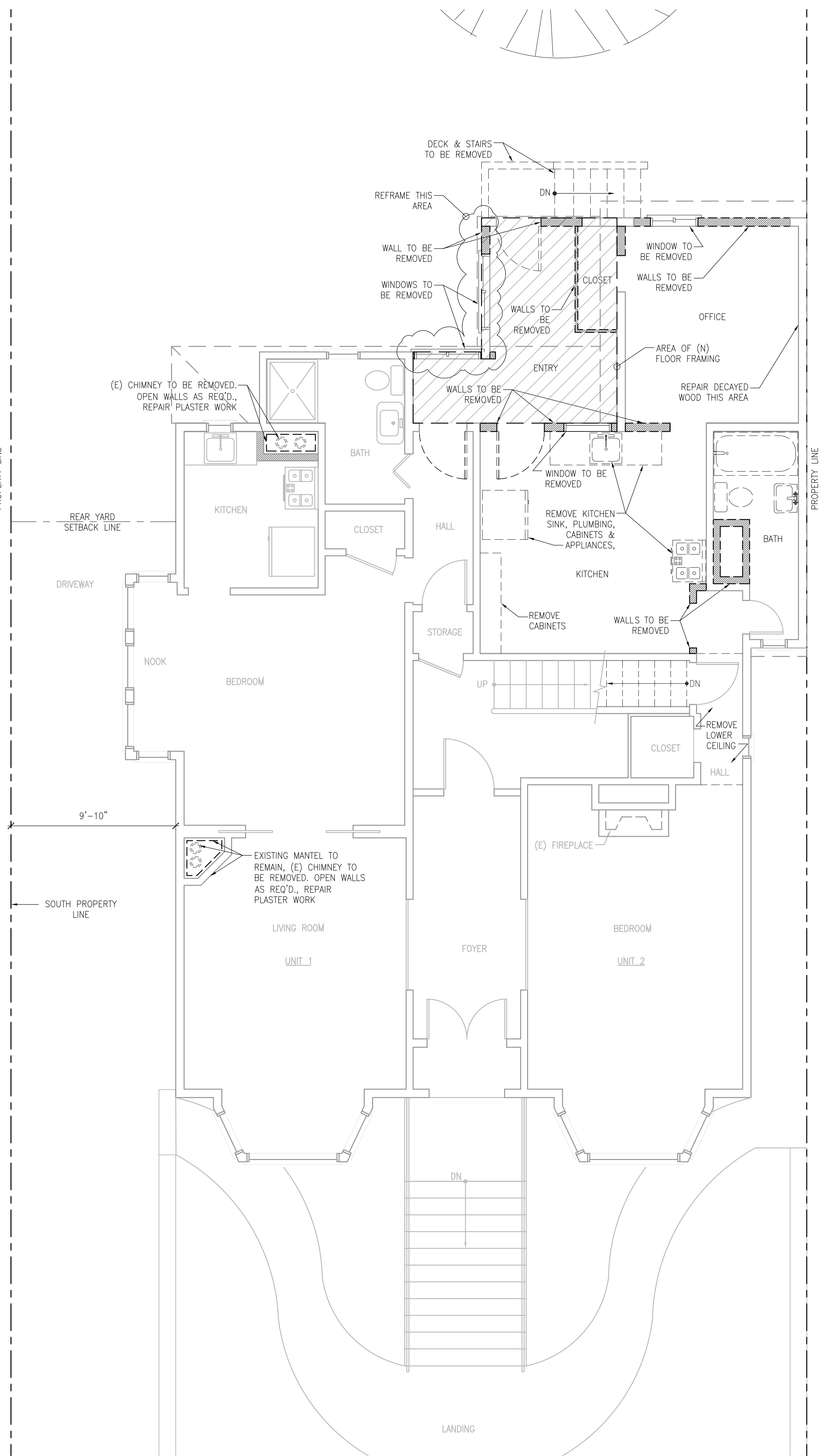
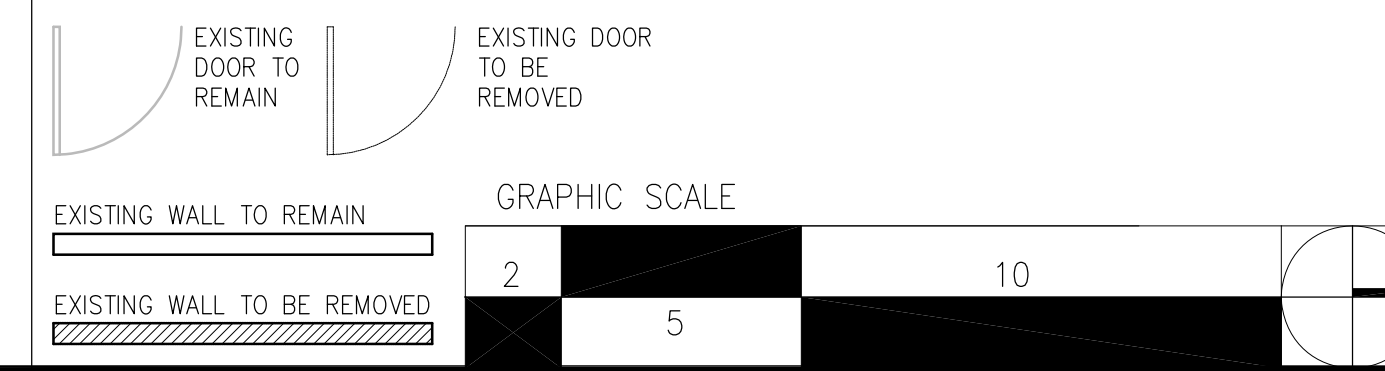
EXISTING BASEMENT & FIRST FLOOR/DEMO. PLANS

A1.0

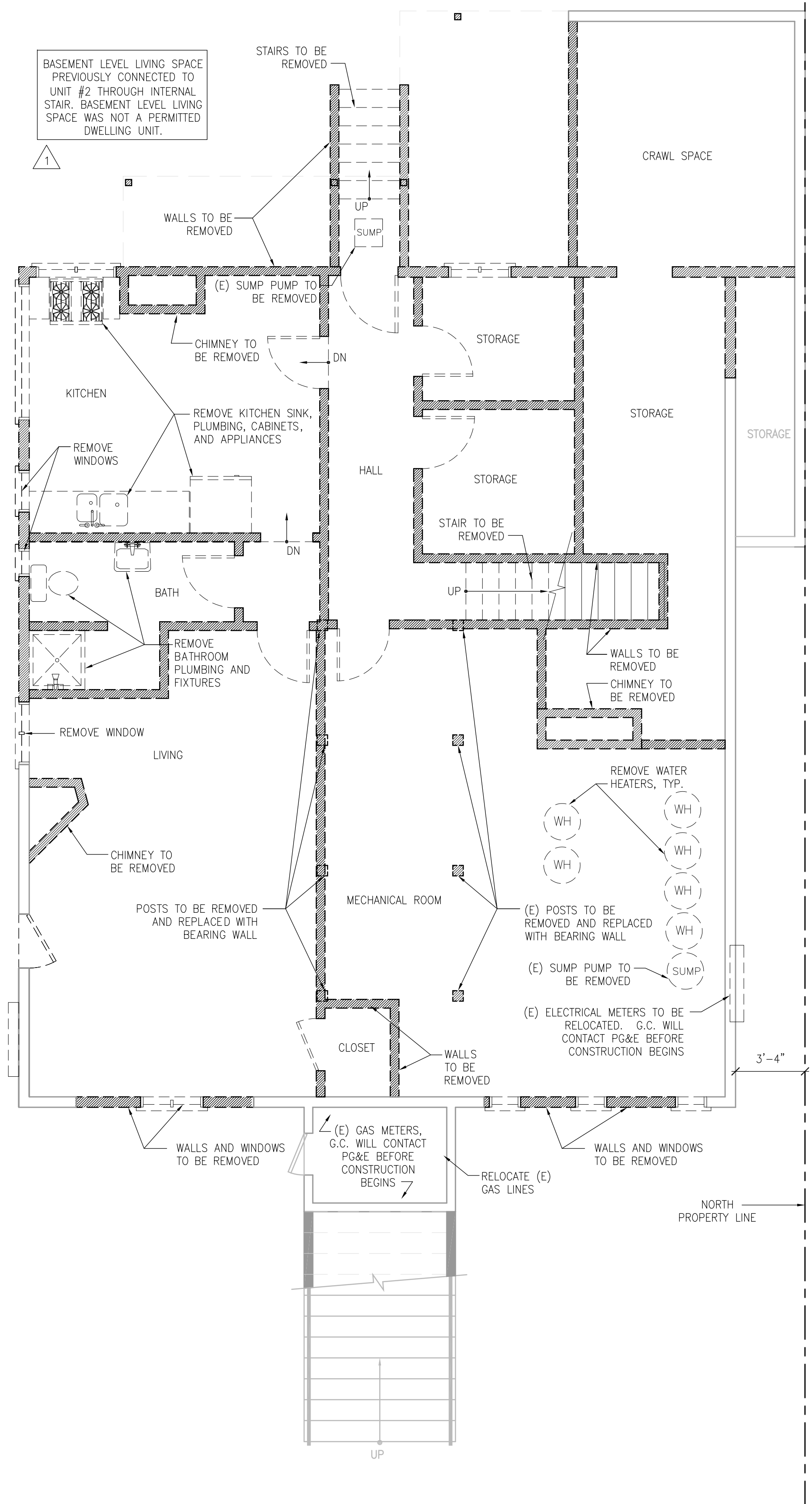
**DEMOLITION GENERAL NOTES:**

- (N) DENOTES NEW ITEMS. (E) DENOTES EXISTING ITEMS. ITEMS WITHOUT SYMBOLS SHALL BE CONSIDERED TO BE EXISTING.
- S.S.D. FOR EXTENT OF FOUNDATION & FLOOR SLABS TO REMAIN. REMOVE OTHER FOUNDATIONS & GROUND LEVEL CONCRETE SLAB IN PREPARATION FOR WORK AS NOTED.
- PROVIDE TEMPORARY SHORING AS NECESSARY/REQD.
- PROVIDE TEMPORARY UNDERPINNING OF STRUCTURES ON SUBJECT PROPERTY & ON ADJACENT PROPERTIES AS REQD.
- COORDINATE ALL DEMOLITION W/ (N) CONSTRUCTION.
- COMPLY WITH CONSTRUCTION WASTE RECYCLING PROGRAM AS REQUIRED BY CITY OF SAN FRANCISCO. MATERIAL NOT SPECIFIED TO BE SALVAGED OR REINSTALLED IN NEW WORK SHALL BE CONSIDERED AS SCRAP AND SHALL BE DISPOSED OF BY THE GENERAL CONTRACTOR.
- ALL (E) ELECTRICAL, PLUMBING & MECHANICAL SYSTEMS SHALL BE TERMINATED PER CORRESPONDING 2007 CALIFORNIA CODE & ANY DESIGN-BUILD DRAWINGS.
- CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
- EXPPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY STRUCTURAL CONFLICTS.
- ALL ELECTRICAL, DATA, AND TELEPHONE OUTLETS LOCATED WITHIN (E) PARTITIONS TO BE DEMOLISHED ARE TO BE REMOVED U.O.N. TO BE SAVED. ALL ELECTRICAL, DATA, TELEPHONE WIRING AND CONDUITS FROM PARTITIONS AND CEILING ARE TO BE REMOVED BACK TO PANEL BOARD TERMINALS U.O.N..
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- WALL, FLOOR, AND CEILING FRAMING LUMBER IN GOOD REPAIR SHALL BE SALVAGED FOR REUSE. G.C. TO COORDINATE WITH OWNER.

**DRAWING LEGEND:**



2 EXISTING FIRST FLOOR / DEMOLITION PLAN  
 SCALE: 1/4"=1'-0"



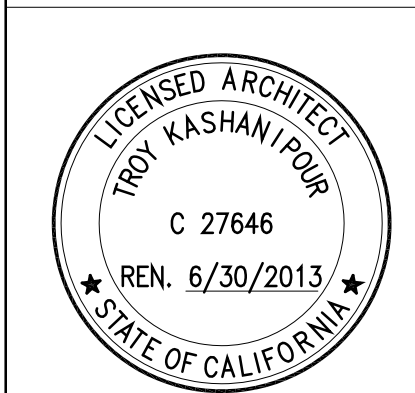
1 EXISTING BASEMENT FLOOR / DEMOLITION PLAN  
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CONSULTANT:

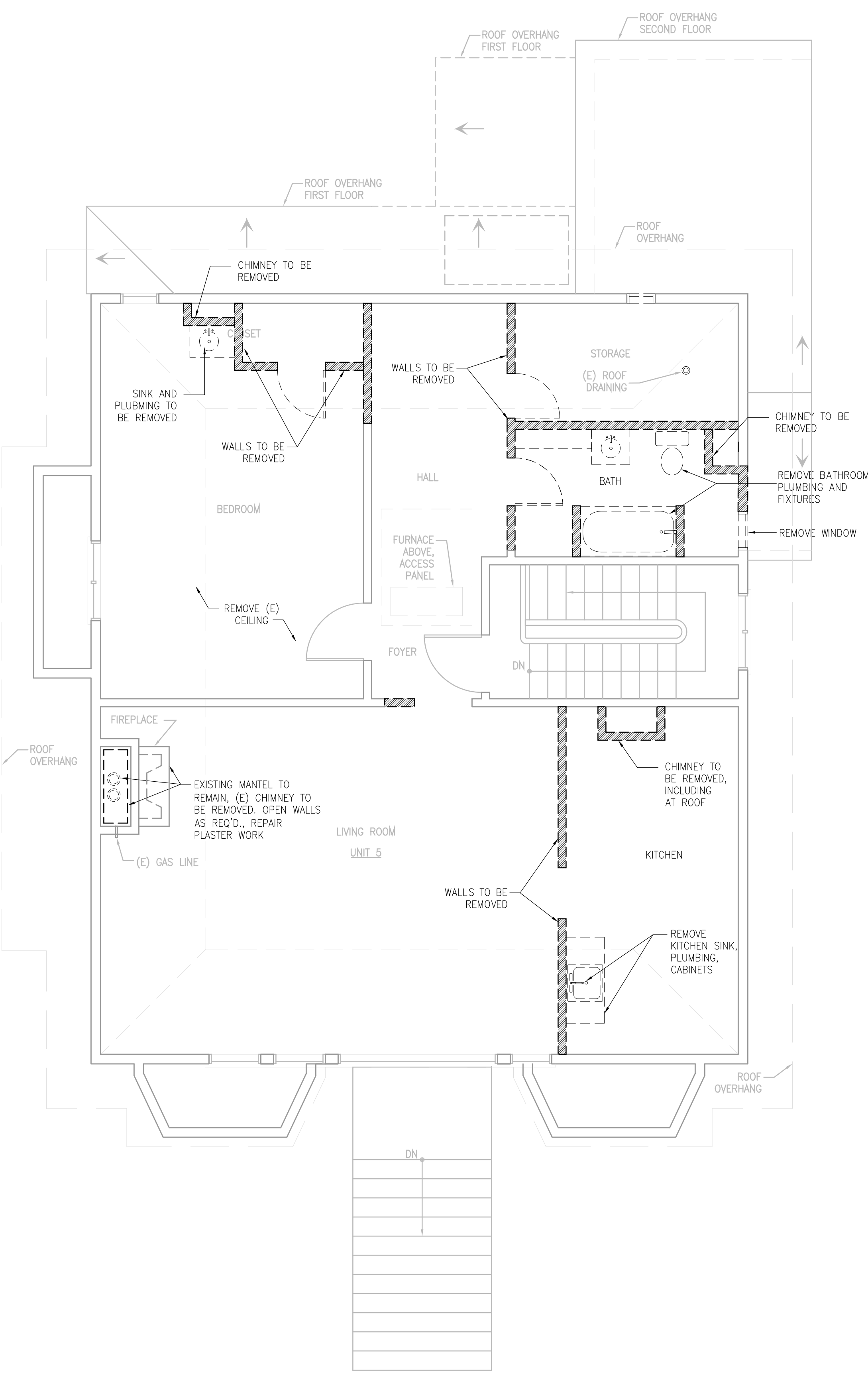
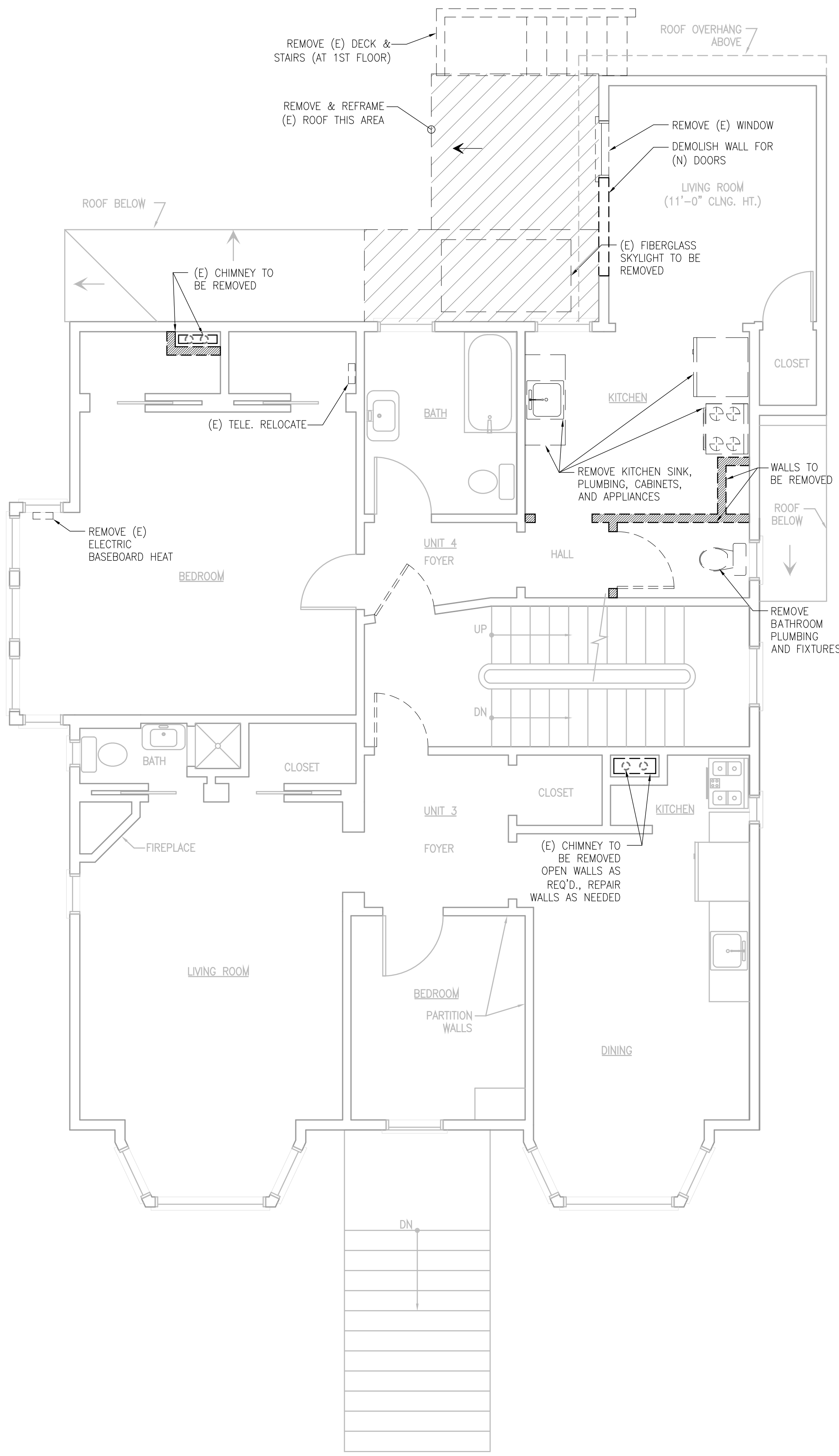
APPROVAL



DRAWN: TK  
 CHECKED: TK  
 SCALE: NONE

EXISTING SECOND & THIRD FLOOR/DEMO. PLANS

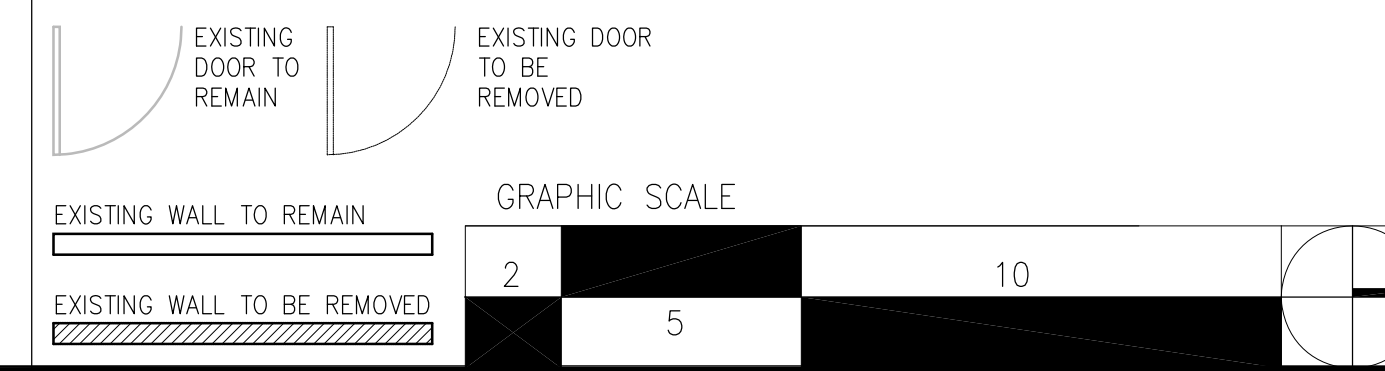
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**DEMOLITION GENERAL NOTES:**

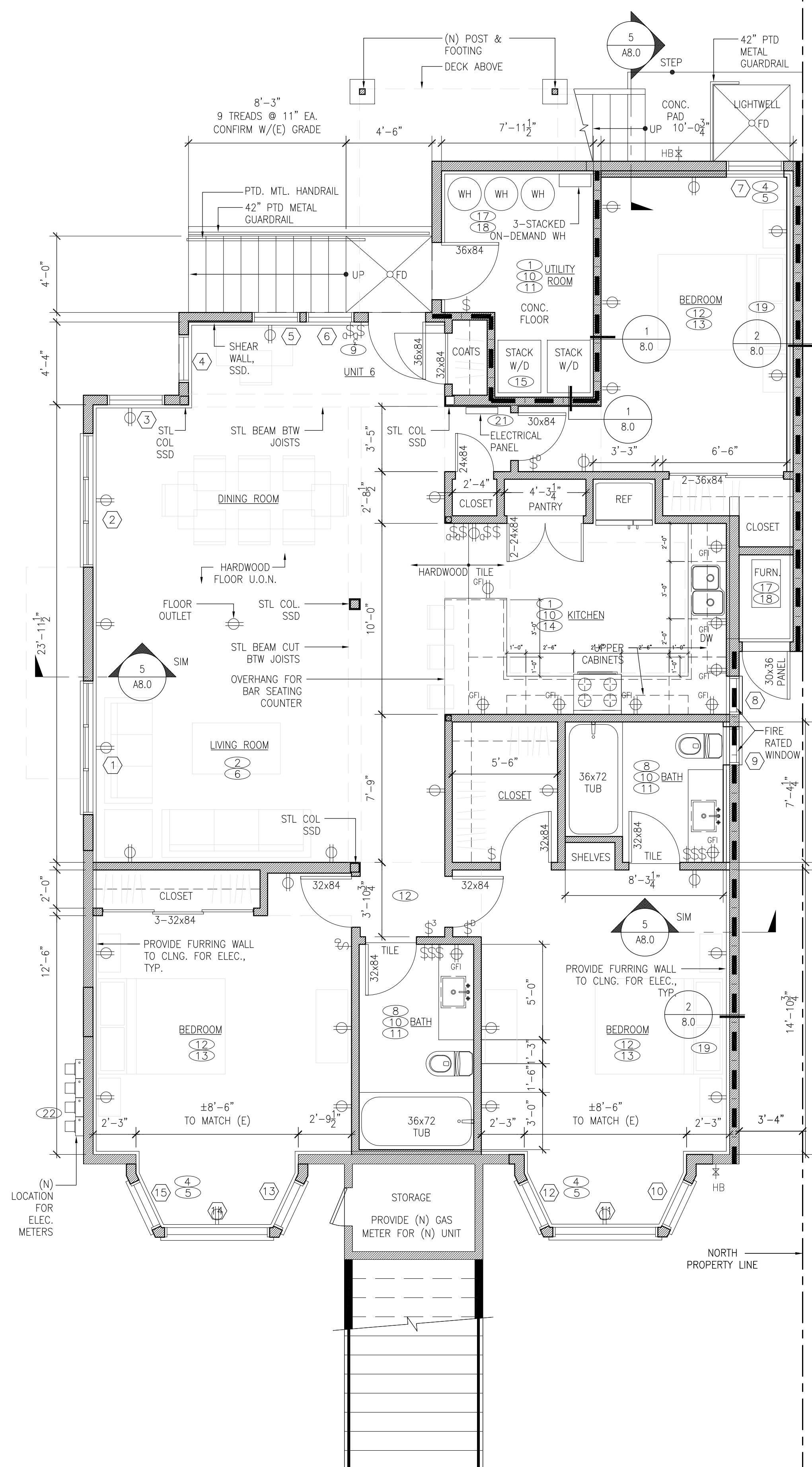
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**DRAWING LEGEND:**

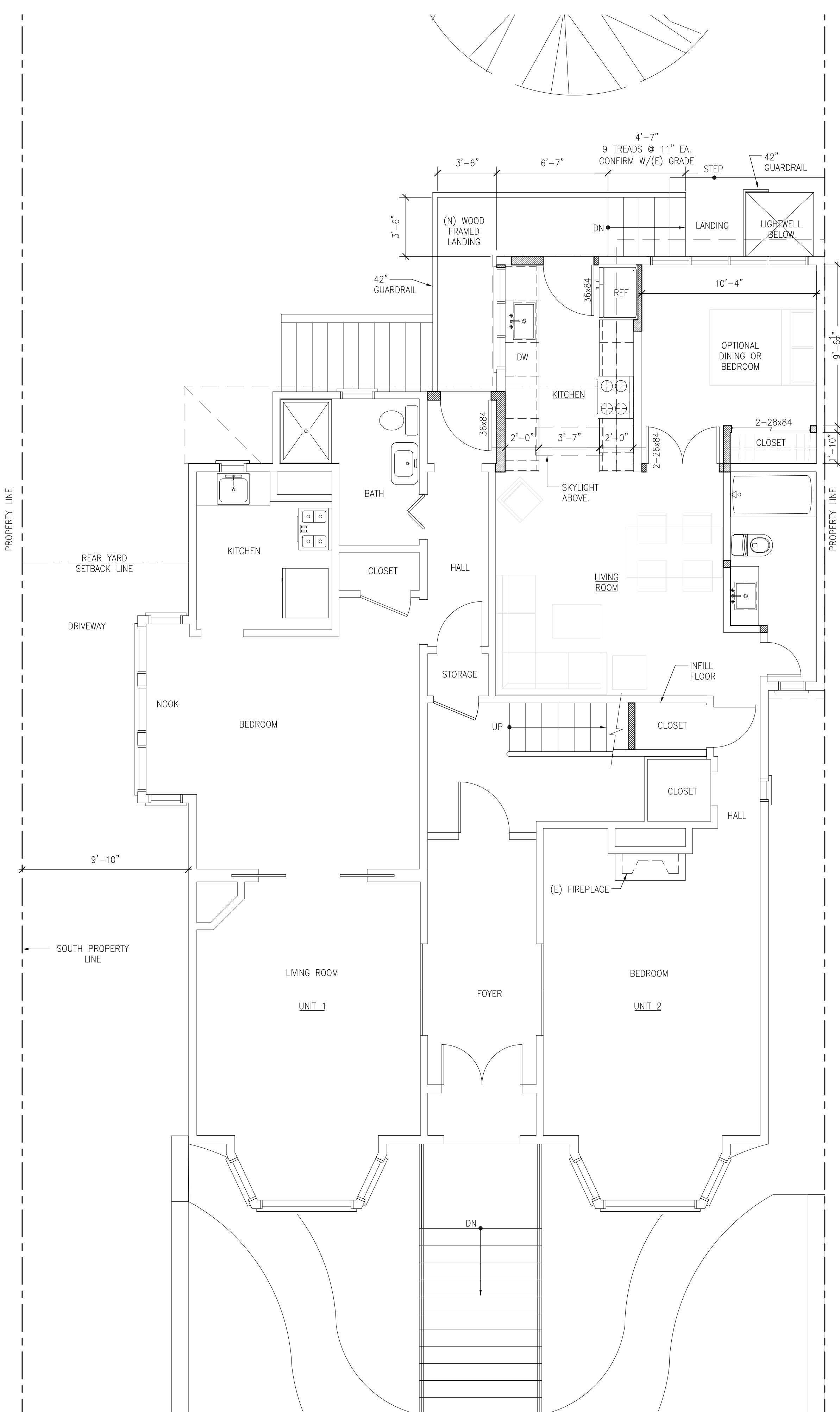


1 EXISTING SECOND FLOOR / DEMOLITION PLAN  
 SCALE: 1/4"=1'-0"

2 EXISTING THIRD FLOOR / DEMOLITION PLAN  
 SCALE: 1/4"=1'-0"



1 PROPOSED BASEMENT FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

**KEYNOTES:**

- 1 PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETS AND APPLIANCES. G.C. TO COORDINATE LOCATION.
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  - THE BEDROOM BRANCH CIRCUIT(S) SHALL BE RUN SEPARATELY FROM ALL OTHER BRANCH CIRCUITS. THE RACEWAYS OR CABLE ASSEMBLIES SHALL NOT TERMINATE INTO ANY JUNCTION BOX (OTHER THAN THE PANEL BOARD) WHERE OTHER CIRCUIT CONDUCTORS ARE LOCATED.
  - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
  - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
  - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
- 14 DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENT SHALL PER PER CMC 504.2.
- 15 WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION PER TABLE 4-4 AND MAKEUP AIR AS NEEDED. DRYER EXHAUST TO MEET REQUIREMENTS OF: CMC CMC 504.3.1 AND 4" Ø DUCT PER CMC 504.3.2. DRYER DUCTS PER CMC 504.3.2.1 AND 504.3.2.2/. TERMINATION 3' FROM ANY OPENING OR PL PER CMC 504.5.
- 17 DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3. GAS VENT TERMINATION PER CMC 802.6.2(1)&(2) GAS VENT TERMINATION CAP PER CMC 802.6.2.5 GAS VENT SUPPORT PER MFR AND CMC 802.5.6 & 802.6.5.
- 18 PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES.
- 19 PROVIDE 5/8" TYPE 'X' FIRE RATED DRYWALL AT PROPERTY LINE WALLS WHERE (E) DRYWALL IS REPLACED.
- 20 PROVIDE (N) ROOFING MEMBRANE AT LIGHTWELL, SLOPED TO DRAIN, ROOF DRAIN AND OVERFLOW PER 5/AB.0
- 21 PROVIDE (N) ELECTRICAL PANEL. ELECTRICAL WORK DESIGN/BUILDING BY G.C. AND ELECTRICAL SUBCONTRACTOR.
- 22 PROVIDE (N) HOUSE METER. COORDINATE INSTALLATION WITH PG&E REQUIREMENTS AND APPLICABLE CODE(S).

**TILE 24 RESIDENTIAL LIGHTING REQUIREMENTS:**

KITCHENS: AT LEAST 50% OF INSTALLED LUMINAIRE WATTAGE MUST BE HIGH EFFICACY (HE) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON HE LIGHTING

BATHROOM, LAUNDRY ROOM, GARAGE, UTILITY ROOMS: ALL HIGH EFFICACY LUMINAIRES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:  
PROVIDE A MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINAIRES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON.

OUTDOOR LIGHTING: ALL HIGH EFFICACY UNLESS LIGHTING IS CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL.

COMMON AREAS (ENCLOSED NON DWELLING SPACES): ALL HIGH EFFICACY UNLESS CONTROLLED BY A CERTIFIED OCCUPANT SENSOR(S) - NOT REQUIRED TO BE MANUAL-ON.

ALL OTHER ROOM (BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC) SHALL BE ALL HIGH EFFICACY LUMINAIRES OR COMPLY WITH THE EXCEPTIONS AS FOLLOWS:  
1) PROVIDE DIMMER SWITCH.  
2) PROVIDE MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINAIRES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON/FLUORESCENT OR CONTROL BY DIMMER SWITCH.  
3) CLOSETS LESS THAN 70 SQUARE FEET ARE EXEMPT FROM LIGHTING REQUIREMENTS.

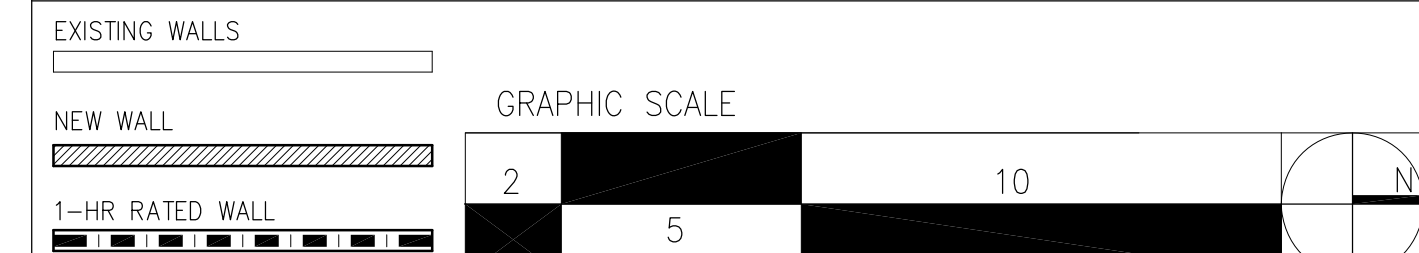
RECESSED LUMINAIRES IN INSULATED CEILINGS: MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.

LIGHTING GENERAL NOTES:  
G.C. AND ELECTRICAL SUBCONTRACTOR TO CONFIRM AND COORDINATE ALL TRANSFORMERS WITH FIXTURES SELECTION.  
G.C. AND ELECTRICAL CONTRACTOR TO CONFIRM ANY ACCESS PANELS REQUIREMENTS.  
PROVIDE SUBMITTAL FOR ARCHITECT AND OWNER REVIEW PRIOR TO PURCHASE OF FIXTURES.

WHERE DEVICES/SWITCHES ARE CLUSTERED, PROVIDE MULTI-GANG COVERS.

SWITCH MOUNTING HT = 48" TO CL A.F.F. SEE SHEET A6.0 FOR [ ] LOCATIONS.  
OUTLET/CATV/TELE MOUNTING HT = 15" TO CL A.F.F. SEE SHEET A6.0 FOR [ ] LOCATIONS.

**DRAWING LEGEND:**

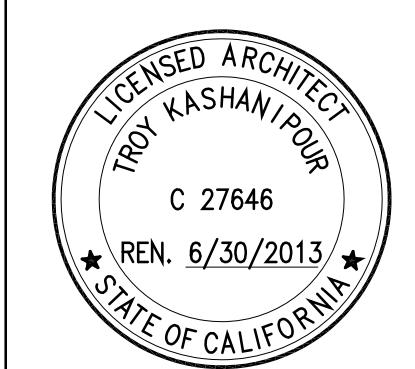


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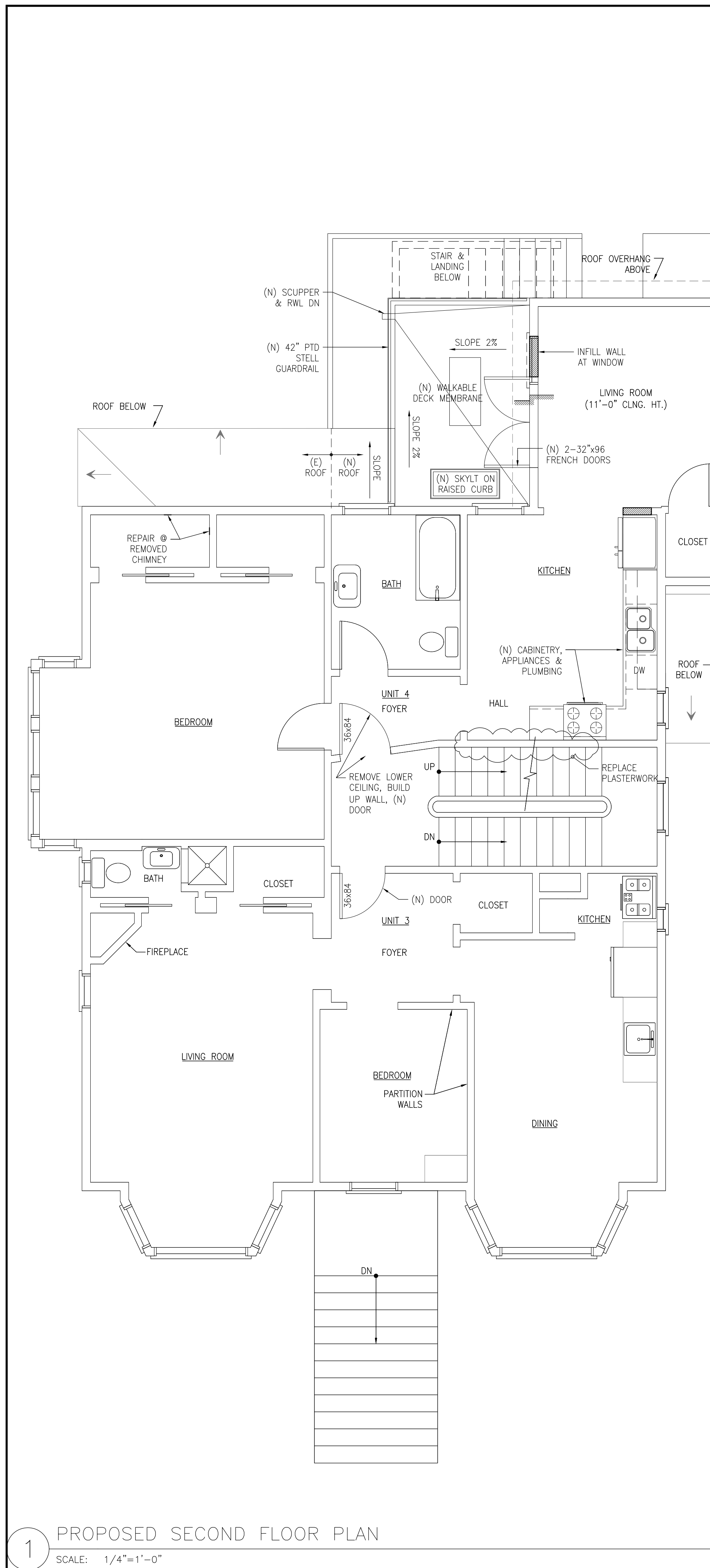


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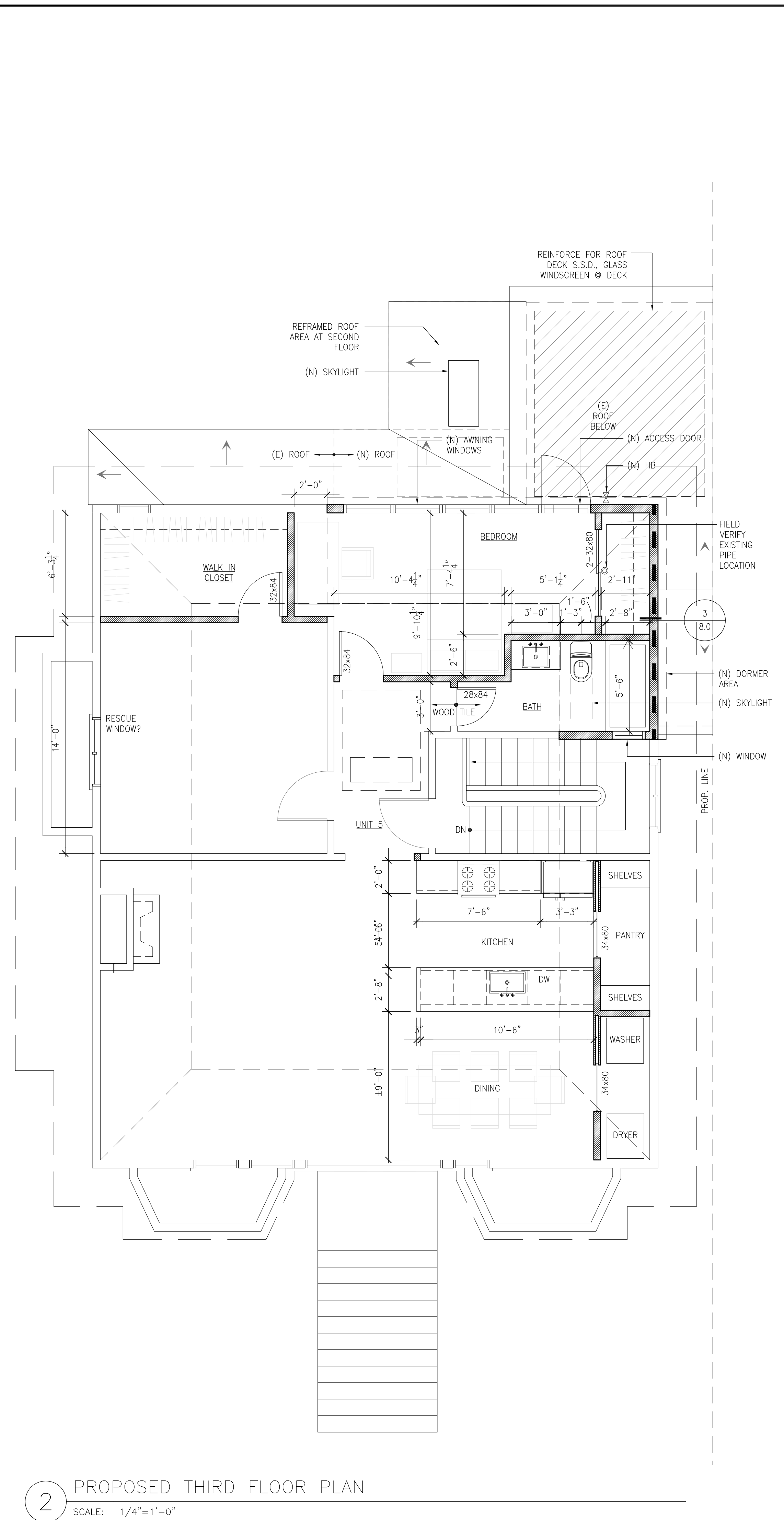
**PROPOSED BASEMENT & FIRST FLOOR PLANS**

A2.0





1 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 PROPOSED THIRD FLOOR PLAN  
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  - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
  - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
  - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
- 14 DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENT SHALL PER PER CMC 504.2.
- 15 WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION PER TABLE 4-4 AND MAKE-UP AIR AS NEEDED. DRYER EXHAUST TO MEET REQUIREMENTS OF: CMC CMC 504.3.1 AND 4" Ø DUCT PER CMC 504.3.2. DRYER DUCTS PER CMC 504.3.2.1 AND 504.3.2.2/. TERMINATION 3' FROM ANY OPENING OR PL PER CMC 504.5.
- 17 DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3. GAS VENT TERMINATION PER CMC 802.6.2(1)&(2) GAS VENT TERMINATION CAP PER CMC 802.6.2.5 GAS VENT SUPPORT PER MFR AND CMC 802.5.6 & 802.6.5.
- 18 PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES.
- 19 PROVIDE 5/8" TYPE 'X' FIRE RATED DRYWALL AT PROPERTY LINE WALLS WHERE (E) DRYWALL IS REPLACED.
- 20 PROVIDE (N) ROOFING MEMBRANE AT LIGHTWELL, SLOPED TO DRAIN, ROOF DRAIN AND OVERFLOW PER 5/AB.0
- 21 PROVIDE (N) ELECTRICAL PANEL. ELECTRICAL WORK DESIGN/BUILDING BY G.C. AND ELECTRICAL SUBCONTRACTOR.
- 22 PROVIDE (N) HOUSE METER. COORDINATE INSTALLATION WITH PG&E REQUIREMENTS AND APPLICABLE CODE(S).

**TILE 24 RESIDENTIAL LIGHTING REQUIREMENTS:**

**KITCHENS:** AT LEAST 50% OF INSTALLED LUMINAIRE WATTAGE MUST BE HIGH EFFICACY (HE) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON HE LIGHTING

**BATHROOM, LAUNDRY ROOM, GARAGE, UTILITY ROOMS:** ALL HIGH EFFICACY LUMINAIRES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:  
PROVIDE A MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINAIRES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON.

**OUTDOOR LIGHTING:** ALL HIGH EFFICACY UNLESS LIGHTING IS CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL.

**COMMON AREAS (ENCLOSED NON DWELLING SPACES):** ALL HIGH EFFICACY UNLESS CONTROLLED BY A CERTIFIED OCCUPANT SENSOR(S) - NOT REQUIRED TO BE MANUAL-ON.

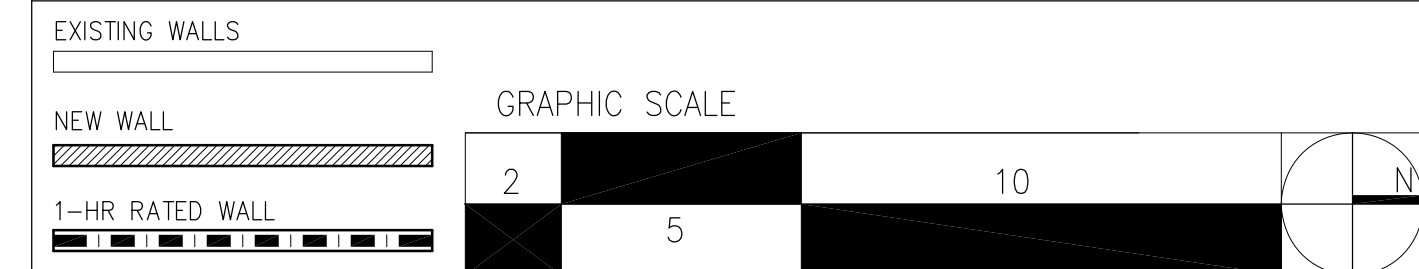
**ALL OTHER ROOM (BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC) SHALL BE ALL HIGH EFFICACY LUMINAIRES OR COMPLY WITH THE EXCEPTIONS AS FOLLOWS:**

- 1) PROVIDE DIMMER SWITCH.
- 2) PROVIDE MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINAIRES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON/FLUORESCENT OR CONTROL BY DIMMER SWITCH.
- 3) CLOSETS LESS THAN 70 SQUARE FEET ARE EXEMPT FROM LIGHTING REQUIREMENTS.

RECESSED LUMINAIRES IN INSULATED CEILINGS: MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.

**LIGHTING GENERAL NOTES:**  
G.C. AND ELECTRICAL SUBCONTRACTOR TO CONFIRM AND COORDINATE ALL TRANSFORMERS WITH FIXTURES SELECTION.  
G.C. AND ELECTRICAL CONTRACTOR TO CONFIRM ANY ACCESS PANELS REQUIREMENTS.  
PROVIDE SUBMITTAL FOR ARCHITECT AND OWNER REVIEW PRIOR TO PURCHASE OF FIXTURES.  
WHERE DEVICES/SWITCHES ARE CLUSTERED, PROVIDE MULTI-GANG COVERS.  
SWITCH MOUNTING HT = 48" TO CL A.F.F. SEE SHEET A6.0 FOR [S] LOCATIONS.  
OUTLET/CATV/TELE MOUNTING HT = 15" TO CL A.F.F. SEE SHEET A6.0 FOR [T] LOCATIONS.

**DRAWING LEGEND:**



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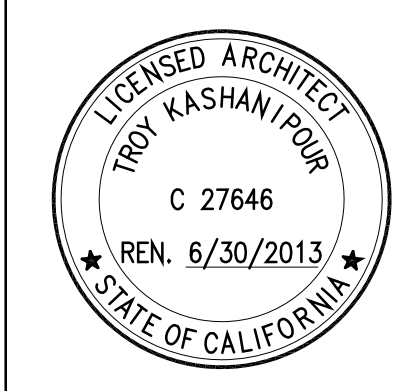
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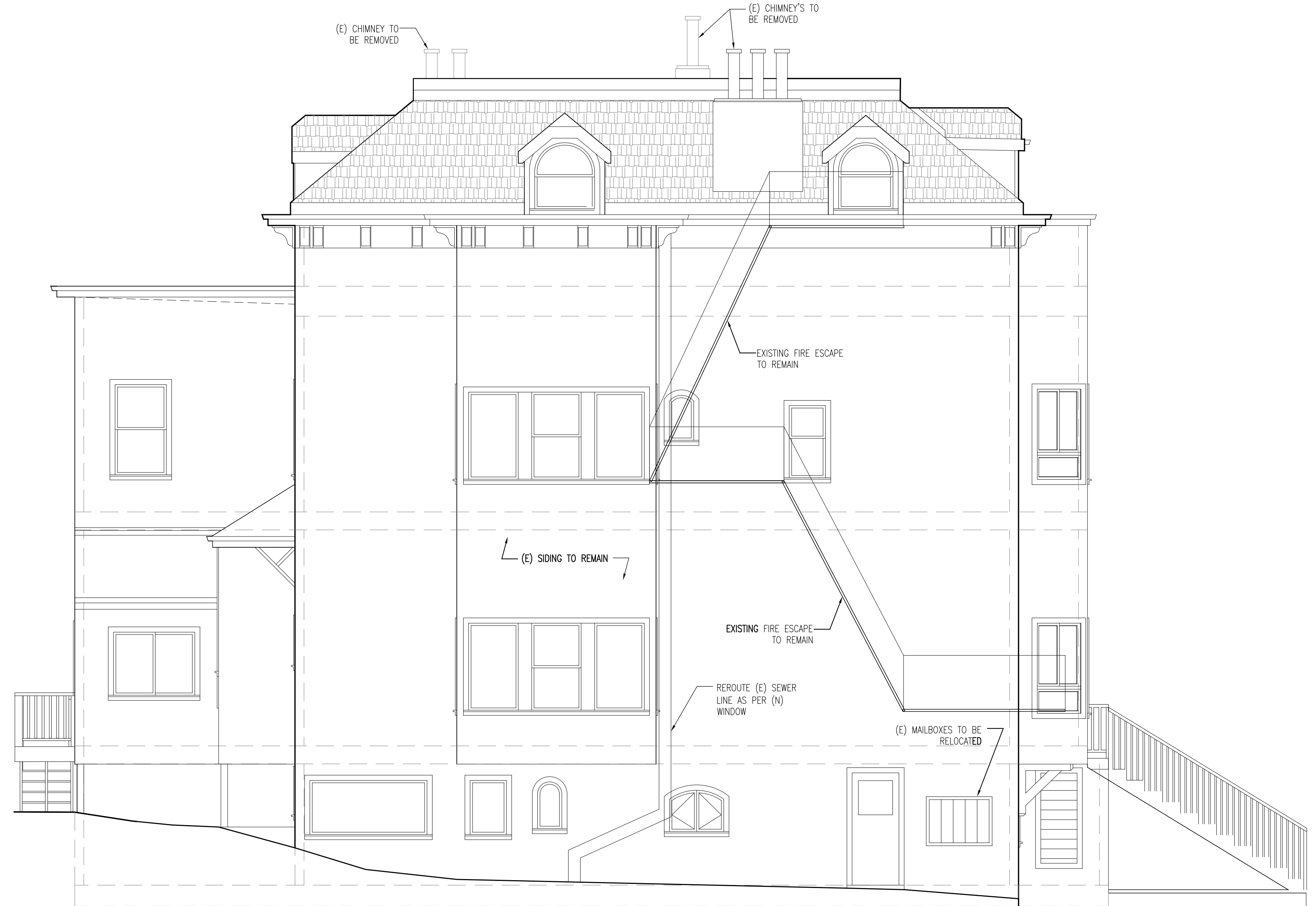
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CHECKED: TK  
SCALE: NONE

PROPOSED SECOND & THIRD FLOOR PLANS

**A2.1**





1 EXISTING EAST ELEVATION  
SCALE: 1/4"=1'-0"

2 EXISTING SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

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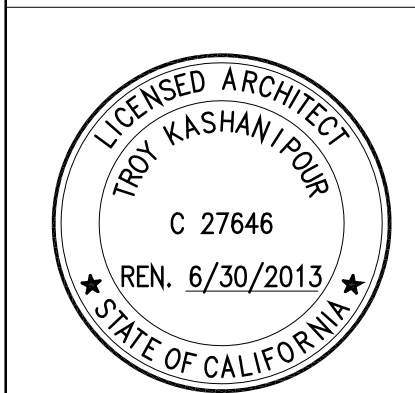
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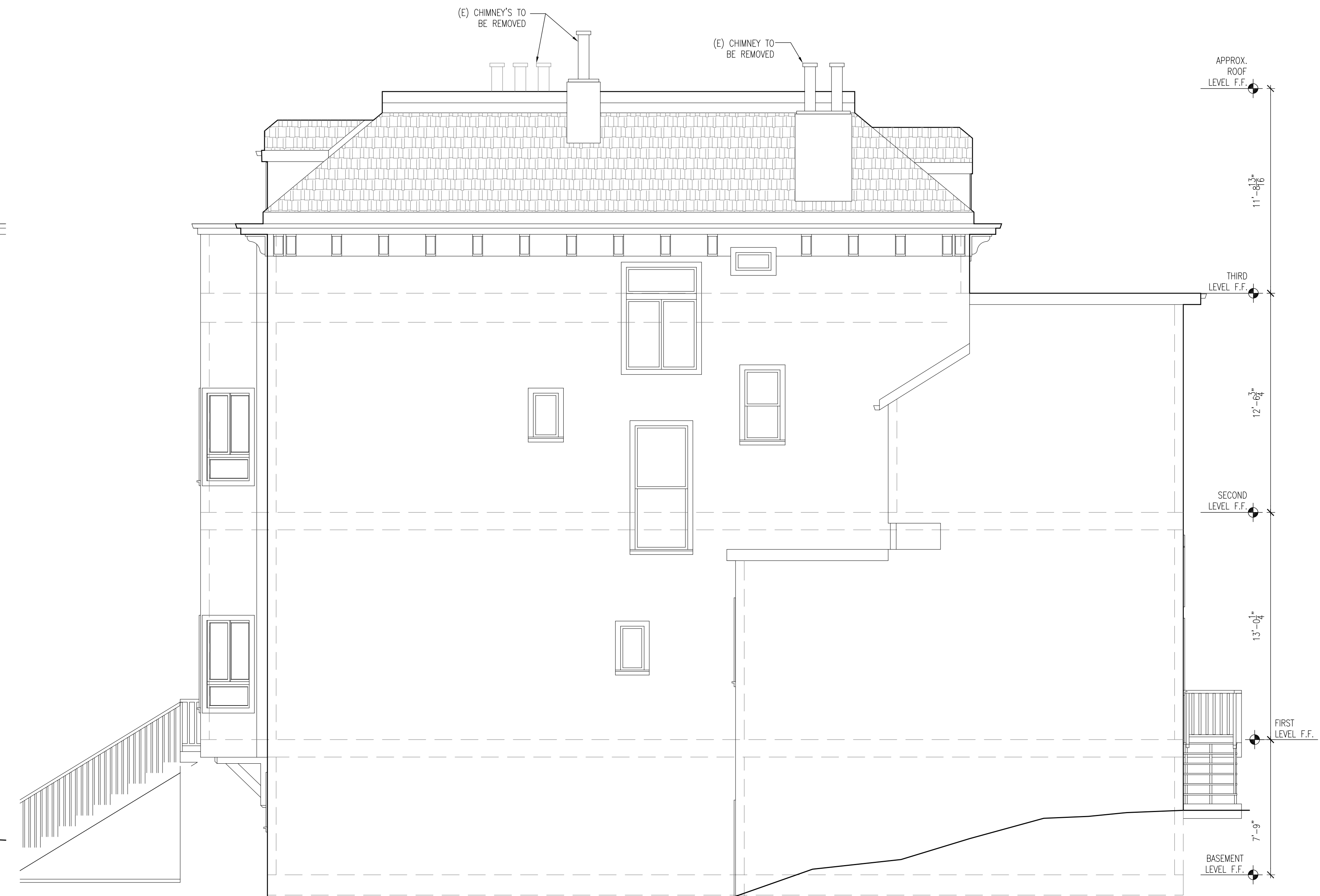
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EXISTING EAST & SOUTH ELEVATIONS

**A3.0**



1 EXISTING WEST ELEVATION  
SCALE: 1/4"=1'-0"



2 EXISTING NORTH ELEVATION  
SCALE: 1/4"=1'-0"

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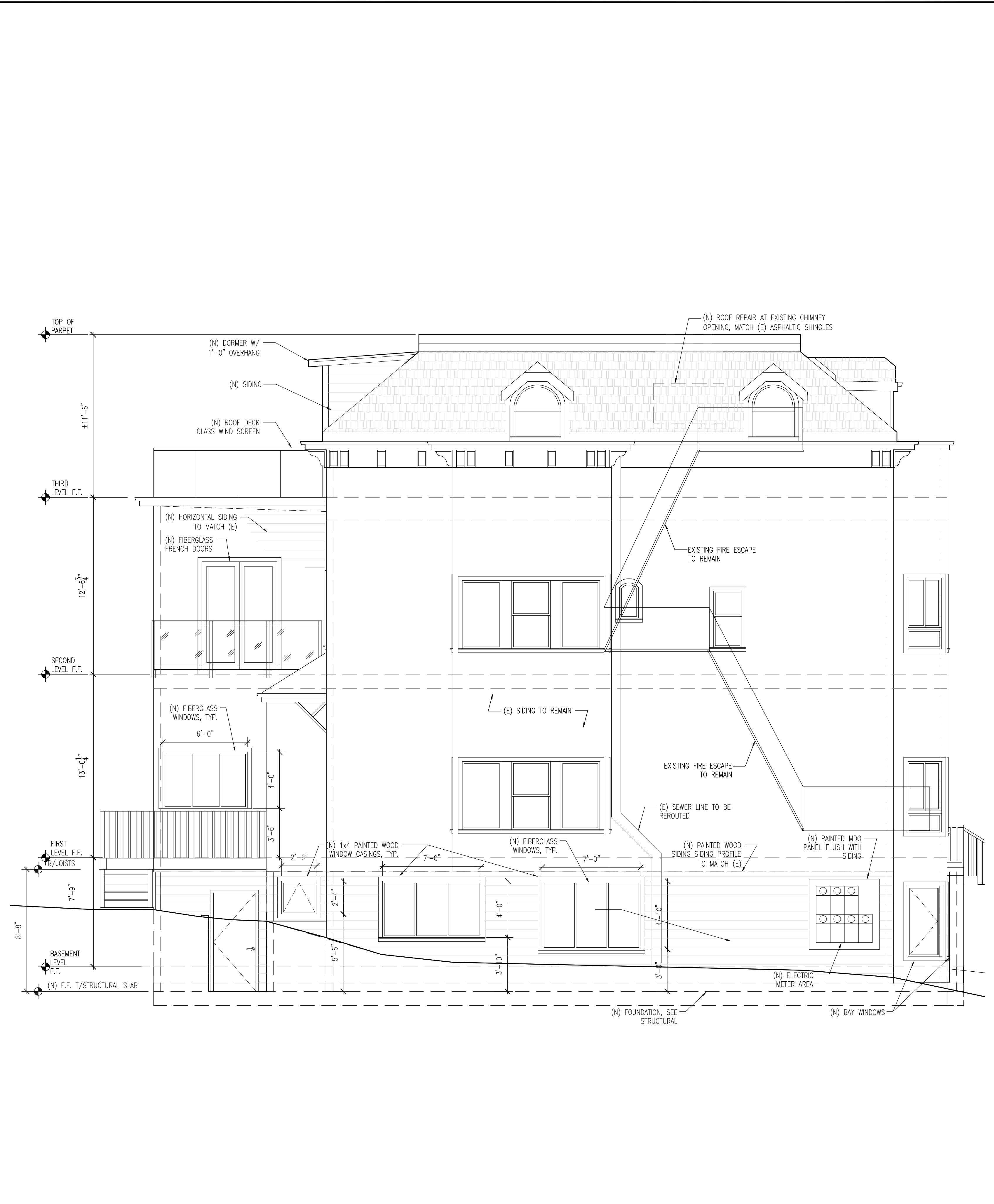
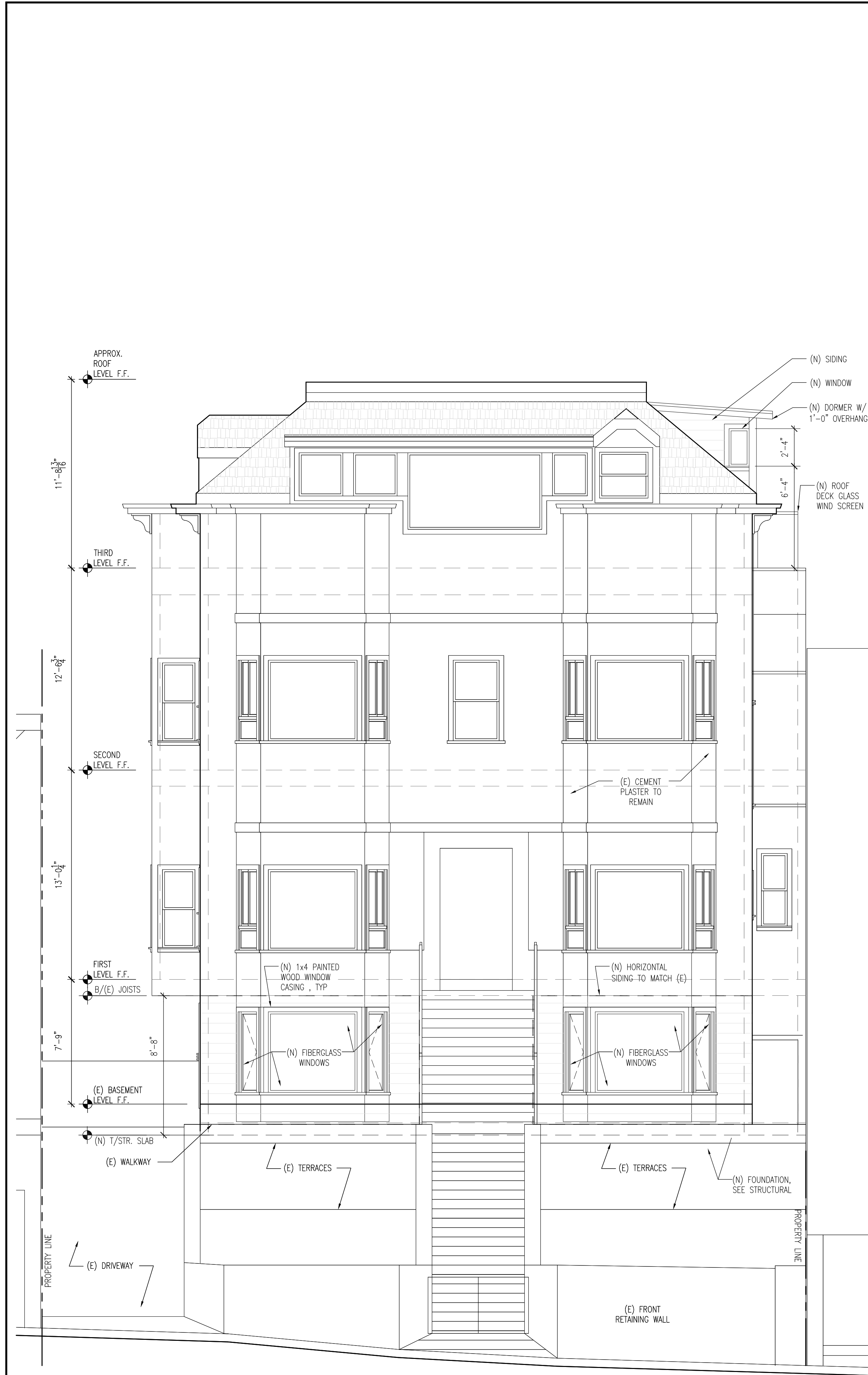
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APPROVAL

DRAWN: TK  
CHECKED: TK  
SCALE: NONE

EXISTING WEST & NORTH ELEVATIONS

A3.1



1 PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"

2 PROPOSED SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

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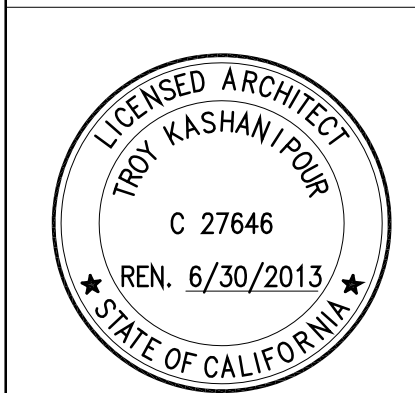
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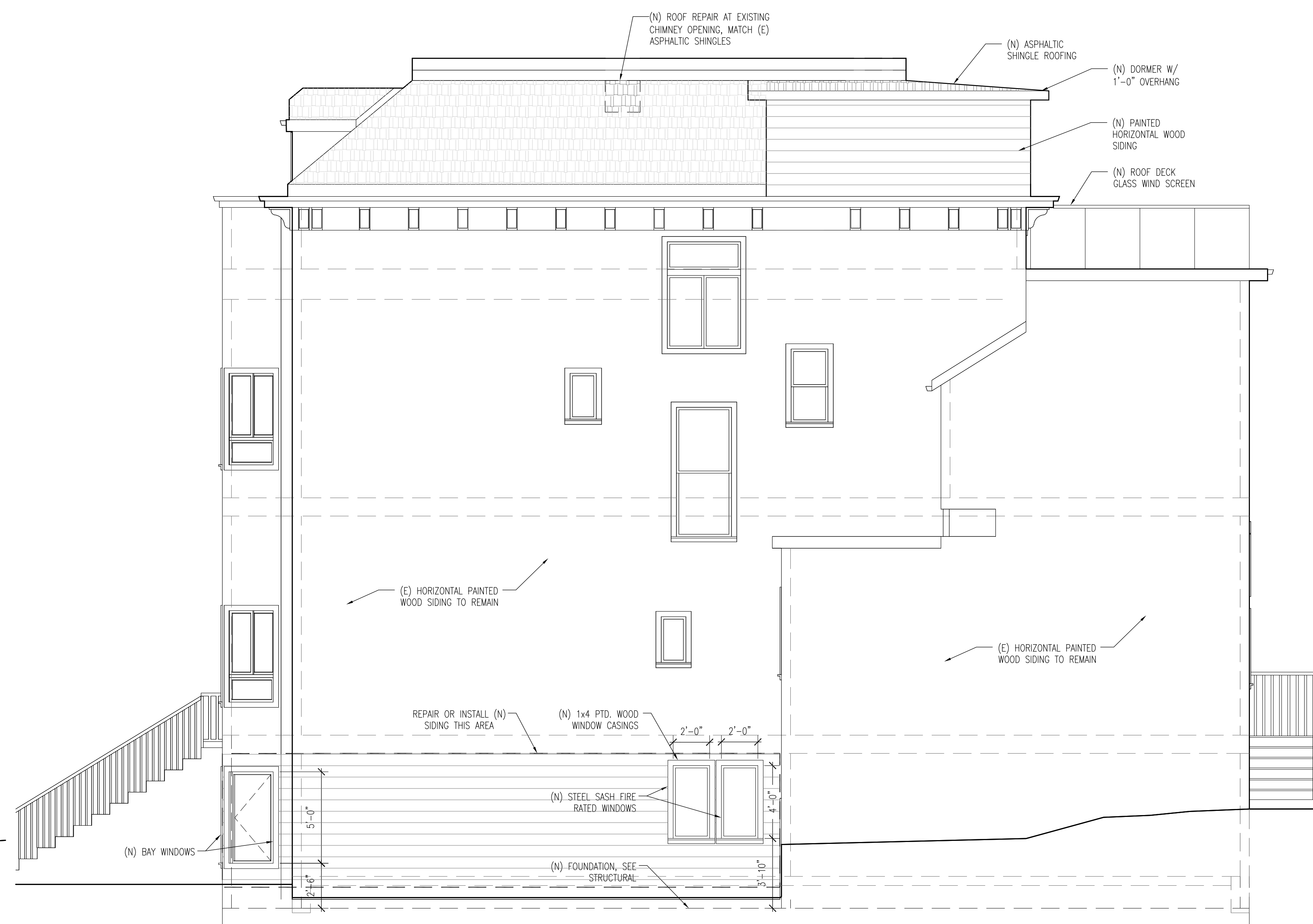
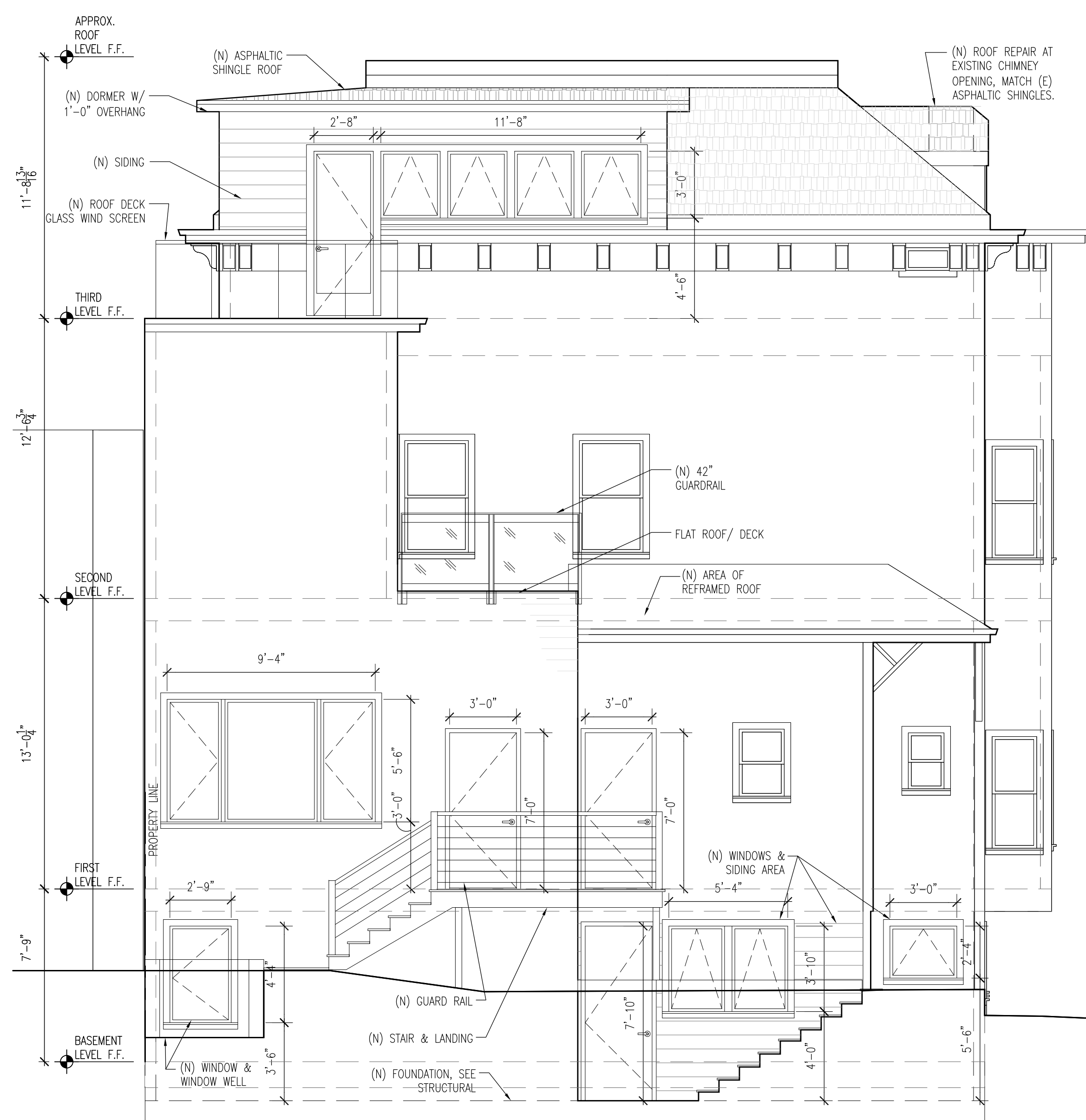
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DRAWN: TK  
CHECKED: TK  
SCALE: NONE

PROPOSED EAST & SOUTH ELEVATIONS

**A3.2**



1 PROPOSED WEST ELEVATION  
SCALE: 1/4"=1'-0"

2 PROPOSED NORTH ELEVATION  
SCALE: 1/4"=1'-0"

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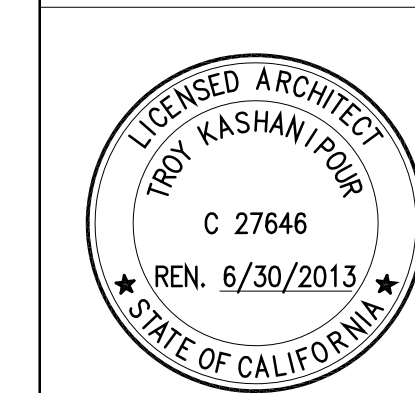
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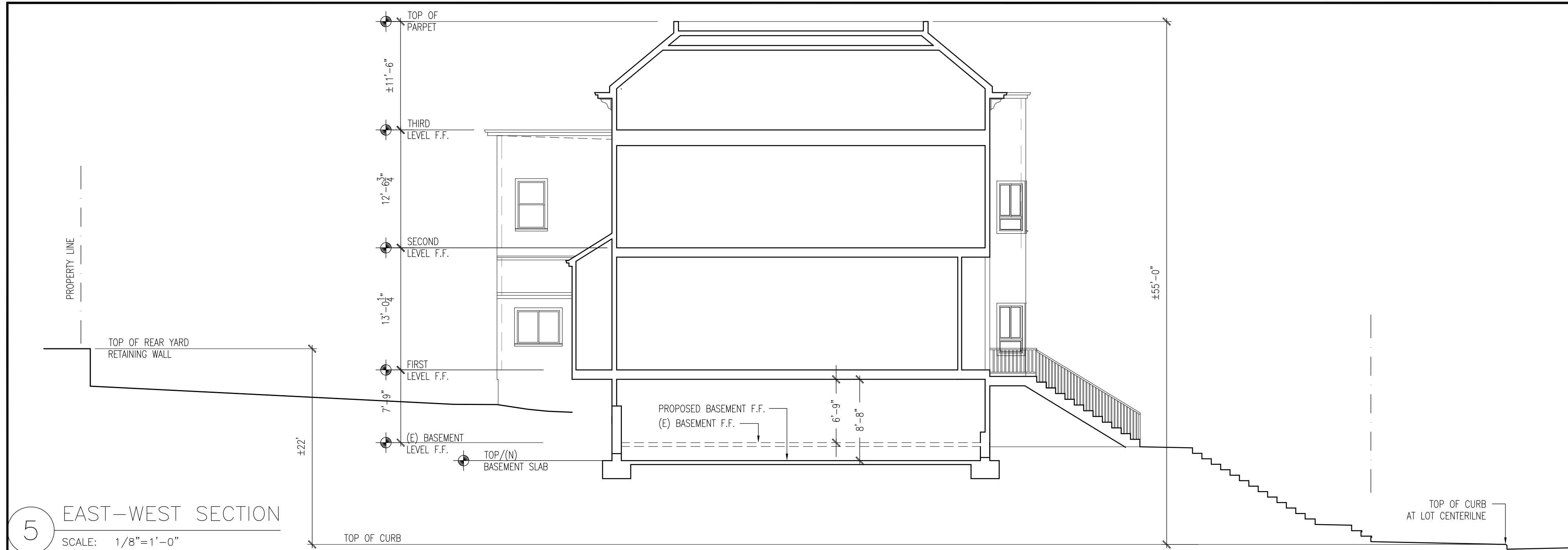
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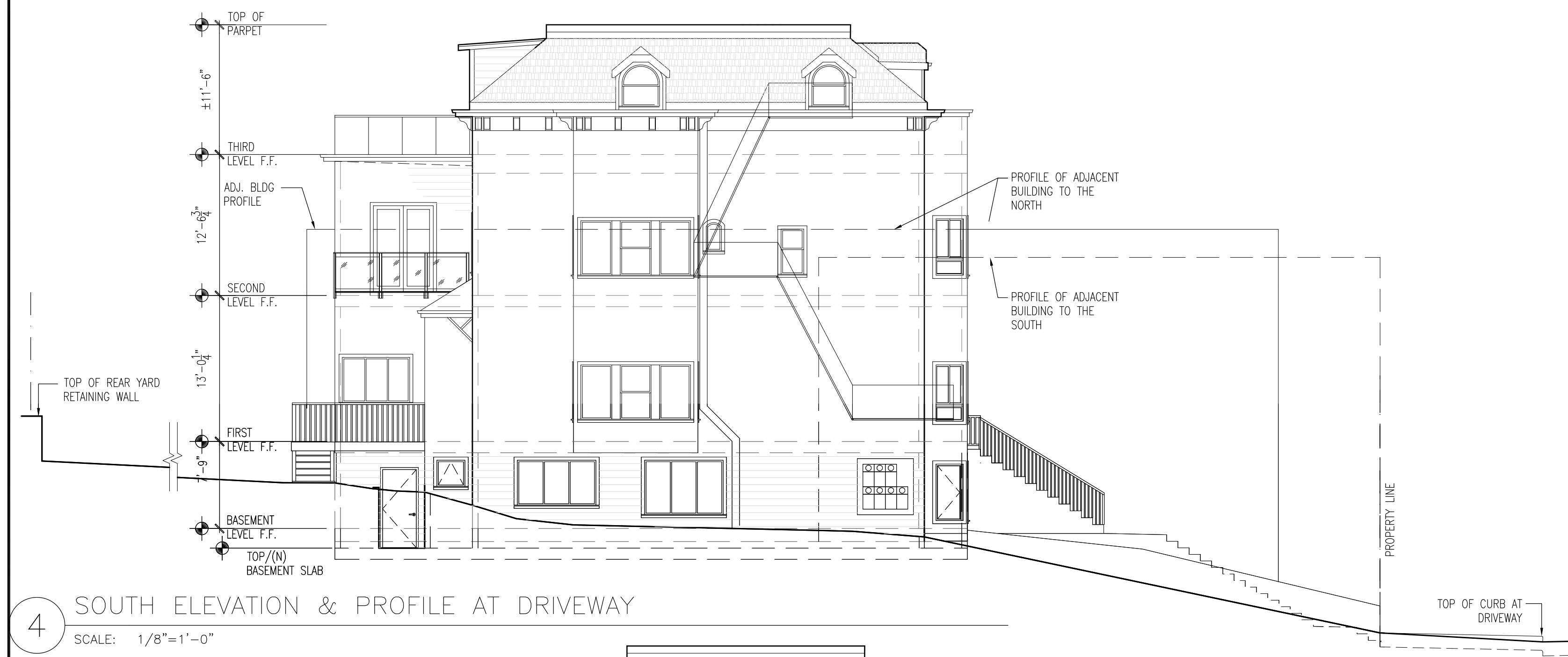
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PROPOSED WEST & NORTH ELEVATIONS

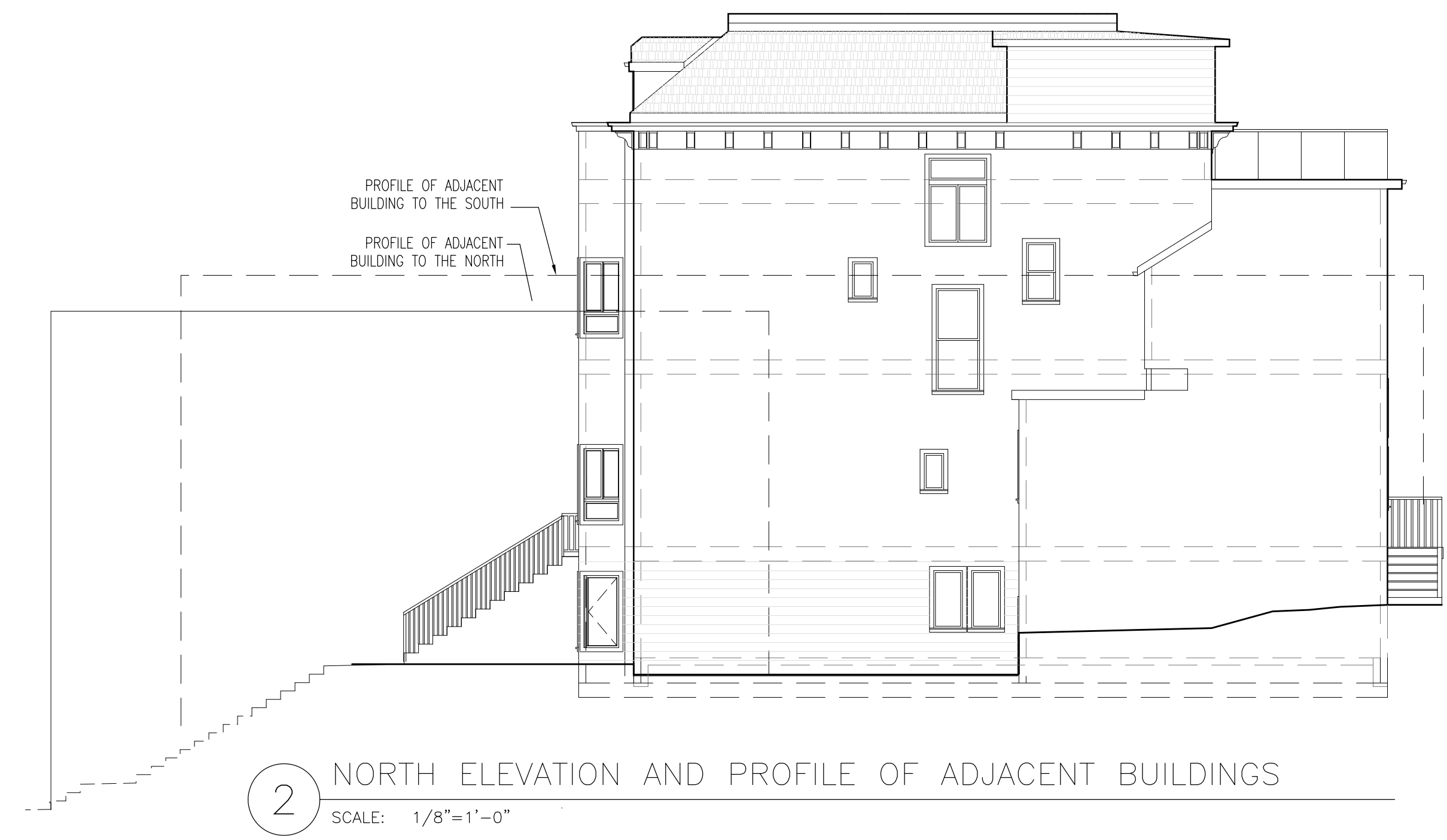
A3.3



5 EAST-WEST SECTION  
SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION & PROFILE AT DRIVEWAY  
SCALE: 1/8"=1'-0"



2 NORTH ELEVATION AND PROFILE OF ADJACENT BUILDINGS  
SCALE: 1/8"=1'-0"



3 EAST ELEVATION WITH ADJACENT BUILDINGS  
SCALE: 1/8"=1'-0"



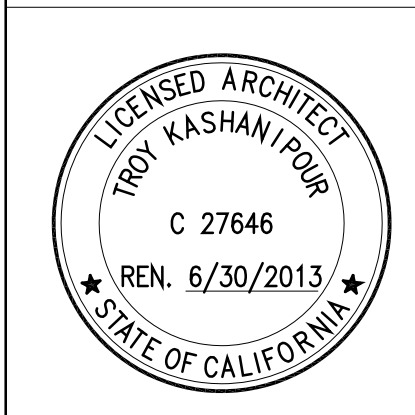
1 WEST ELEVATION WITH ADJACENT BUILDINGS  
SCALE: 1/8"=1'-0"

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CONSULTANT:

APPROVAL



DRAWN:	TK
CHECKED:	TK
SCALE:	NONE

EXISTING BUILDING SECTION & ROOF PLAN