



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: SEPTEMBER 15, 2011

Date: September 8, 2011
Case No.: **2011.0496C**
Project Address: **2962 24th Street**
Zoning: 24th Street – Mission Neighborhood Commercial Transit District
45-X Height and Bulk District
Block/Lot: 4206/016
Project Sponsor: Wylie Price
491 23rd Street, Mezzanine
Oakland, CA 94612
Staff Contact: Brittany Bendix – (415) 575-9114
brittany.bendix@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The proposal is to establish a full-service restaurant (d.b.a. Pig and Pie) within the 24th Street – Mission Neighborhood Commercial Transit District and the Mission Alcohol Restricted Use Sub-District. The proposed restaurant will occupy an existing 2,460 square-foot vacant commercial space with 25-feet of storefront along 24th Street. The space was vacated by its previous tenant, a retail music store (d.b.a. Discolandia) in early 2011. The current proposal includes interior tenant improvements, but will not result in the expansion of the existing building envelope. The proposal also includes adding a code-complying awning to the façade, but at the request of community members the current tenant has agreed not to remove the “Discolandia” wall sign. The restaurant is independently and locally owned. It is the first Pig and Pie restaurant and will operate between 11:00 a.m. to 9:00 p.m. Sunday through Thursday, and 11:00 a.m. to Midnight Friday and Saturday. The Project Sponsor anticipates the establishment to generate 8-10 employment opportunities, of which half are expected to be low-skilled or entry level positions.

SITE DESCRIPTION AND PRESENT USE

The subject commercial space is located on the north side of 24th Street, between Harrison and Alabama Streets, Block 4206, Lot 016. This property is located within the 24th Street – Mission Neighborhood Commercial Transit District, the Mission Alcohol Special Use Sub-District and has a height and bulk designation of 45-X. The site is developed with a single story commercial building of which the Project Sponsor is the sole tenant. The previous tenant was retail music store called “Discolandia.”

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project is situated at the center of the 13-block 24th Street – Mission Neighborhood Commercial Transit District. Mixed-use buildings with ground floor retail spaces and 2nd or 3rd story residential units typify the buildings along 24th Street, while two and three family dwellings in RH-2 and RH-3 districts characterize the rest of the neighborhood. Bars, eating and drinking establishments, general or specialized grocery stores, liquor stores, professional and personal services, and financial services characterize the ground floor retail uses and remain active throughout the day.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	August 26, 2011	August 24, 2011	22 days
Posted Notice	20 days	August 26, 2011	August 24, 2011	22 days
Mailed Notice	20 days	August 26, 2011	August 23, 2011	23 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the conditional use authorization process.

PUBLIC COMMENT

- To date, the Department has received five e-mails regarding the project. Four of these e-mails have indicated complete support for the proposal, one of which also raised concerns over maintaining the former tenant’s signage. The fifth e-mail indicated no concern about the actual restaurant use but re-iterated a concern to preserve the “DISCOLANDIA” signage.
- Department Staff has also met with representatives of the Lower 24th Street Merchants Association and the Mission Community Council. Concerns relayed in this meeting focused on the preservation of the “DISCOLANDIA” signage and the nature of alcohol consumption associated with the full-service restaurant use.

ISSUES AND OTHER CONSIDERATIONS

- The subject building was evaluated in the South Mission Historic Resource Survey and was considered an eligible historic resource because of its Art Moderne influenced design. The project as proposed maintains the historic character.
- The property is within the Mission Alcoholic Beverage Restricted Use Sub-District and is thereby limited to a Type-41 (on-site Beer and Wine) license as an accessory use to a bona

fide restaurant. The Planning Department has received an application for a Type-41 liquor license at this site and will recommend approval under the conditions that all alcoholic beverages which are sold or dispensed for consumption on the premises are only served at tables or sit-down counters by employees of the restaurant. Additionally, a minimum of 51 percent of the restaurant's gross receipts shall be from the sale of meals.

- In respect to an application for a full-service restaurant within a neighborhood commercial district, the Planning Commission shall consider the following additional guidelines:
 - Balance of retail sales and services;
 - Current inventory and composition of eating and drinking establishments;
 - Total occupied commercial linear frontage, relative to the total district frontage;
 - Uses on surrounding properties;
 - Available parking facilities, both existing and proposed;
 - Existing traffic and parking congestion; and,
 - Potential impacts on the surrounding community.

- Planning Department staff recently conducted a site-survey that inventoried all of the uses with frontage in the 24th Street – Mission Neighborhood Commercial Transit District. If including the proposed full-service restaurant, the proportion of district frontage dedicated to eating and drinking uses, as relative to total district frontage is approximately 29%. The rise in the proportion of eating and drinking establishments since the last few Conditional Use authorizations for a restaurant use within this district can be attributed to:
 - 1) a change in the boundaries of the 24th Street – Mission NCT District with the adoption of the Eastern Neighborhoods Area Plan;
 - 2) a more thorough inventory by staff of the existing uses and their respective frontages as measured in linear feet; and,
 - 3) the inclusion of specialty food uses (i.e. bakeries) and retail coffee shops, which do not require Conditional Use authorization, in the calculation of frontage for eating and drinking establishments. If removing specialty food uses and retail coffee shops from the overall calculation, bars and restaurants (full-service, small self-service and large fast-food) comprise 24% of the total district frontage and 29% of the total district commercial frontage.

- The inventory of ground floor uses with frontage in the 24th Street – Mission Neighborhood Commercial Transit District revealed that there is a variety of neighborhood services that are distributed fairly evenly along 24th Street. The survey also identified 18 vacant or inactive storefronts throughout the district's 13-blocks, two of which are on the same block as the subject property.

- There are three other restaurants on the same side of this particular block (Ulsutan Restaurant, Sweetheart Bakery, and Taqueria El Farolito); these uses are situated at the edge of the block and would benefit from increased activity along the sidewalk that connects them. This increase in activity would also generate more exposure to other food

uses across the street – Dominguez Bakery, El Chico Produce, Tortas los Picudos and La Gallinita – sustaining this section of 24th Street as a central location to obtain a variety of specialty food products or meals. This block also has two organizations that are deeply engaged with the surrounding community – Acción Latina and the Precita Eyes Center. Encouraging active uses within their immediate area can generate greater awareness of their community-serving activities and events.

- As previously stated, this area is very well served by public transit. The 24th Street Bart station is within 6-blocks from the subject property, and eight Muni bus lines are also accessible within 6-7 blocks. There is no existing or proposed off-street parking at the site and because the proposed project is very well served by public transit, negative traffic and parking impacts are not expected to arise. Other potential impacts to the surrounding community are addressed through the standard Conditions of Approval which require the tenant to maintain the sidewalk area, store trash receptacles within the building, operate in a manner that is considerate of noxious odors or noise associated with restaurants, and maintain an attractive storefront that engages activity on the street.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use authorization to allow the establishment of a full-service restaurant within the 24th Street Neighborhood Commercial Transit District, pursuant to Planning Code Section 727.47.

BASIS FOR RECOMMENDATION

- The project promotes local small-business ownership.
- The project would not displace an existing retail tenant providing convenience goods and services to the neighborhood, as the space has been vacant since early 2011.
- The District is well served by transit, therefore customers and employees should not impact traffic.
- The proposed Project meets all applicable requirements of the Planning Code.
- The project is desirable for, and compatible with the surrounding neighborhood.
- The business would serve the immediate neighborhood and is not a Formula Retail use.
- This project would not adversely affect opportunity for other neighborhood surrounding retail in the district as a number of storefronts are vacant.

RECOMMENDATION: Approval with Conditions

Attachments:

Block Book Map

Sanborn Map

Aerial Photographs

Public Correspondence

Project Sponsor Submittal, including:

- Site Photographs

- Reduced Plans

Attachment Checklist

- | | |
|---------------------------------------------------------|-----------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Community Meeting Notice |
| <input checked="" type="checkbox"/> Context Photos | <input type="checkbox"/> Inclusionary Affordable Housing Program:
Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos | |

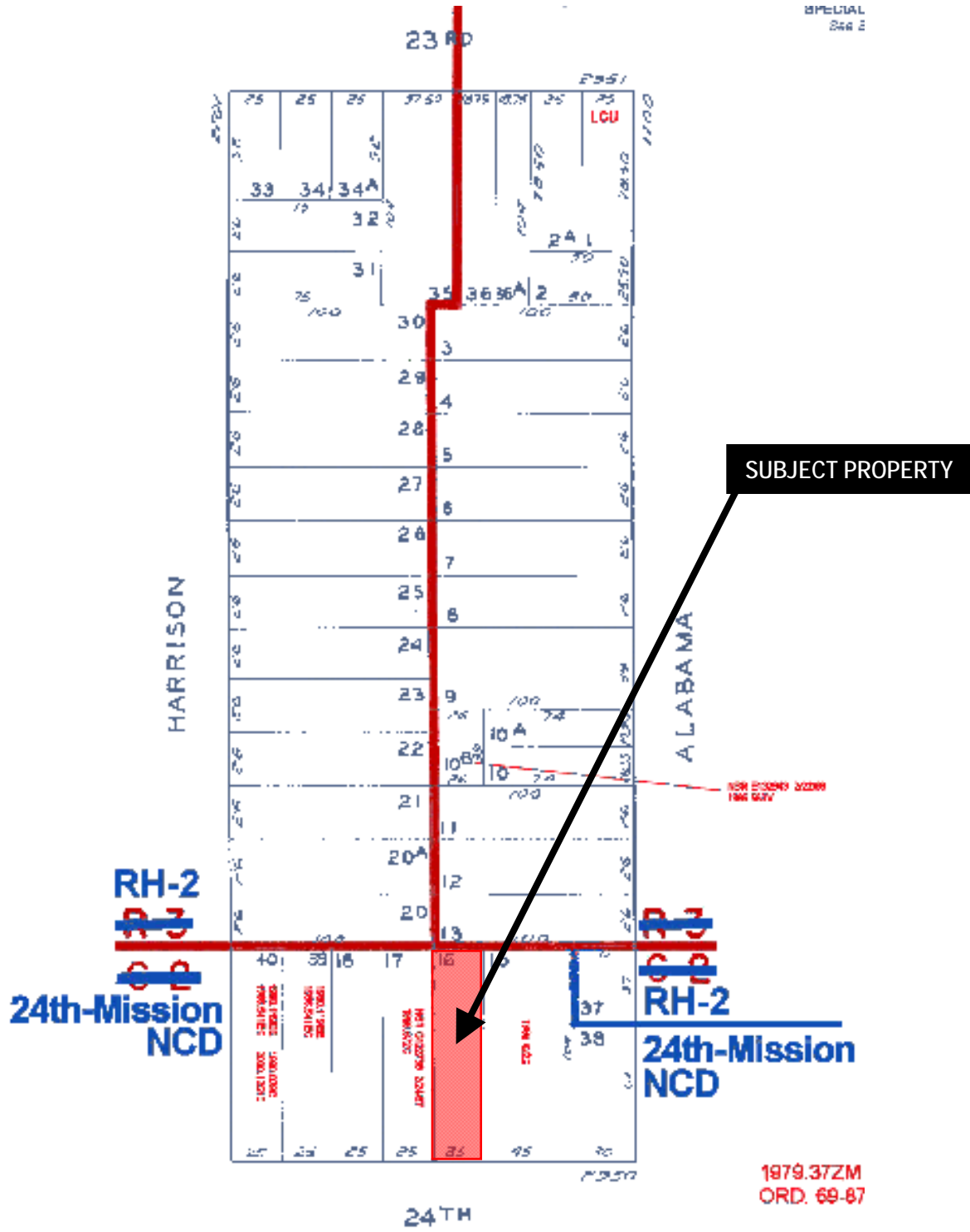
Exhibits above marked with an "X" are included in this packet

Planner's Initials

BB: G:\DOCUMENTS\Conditional Use\2962 24th Street - Full Service\ExecutiveSummary.doc

Parcel Map

SPECIAL
244 2



Conditional Use Authorization
 Case Number 2011.0496C
 Full-Service Restaurant (d.b.a. Pig & Pie)
 2962 24th Street



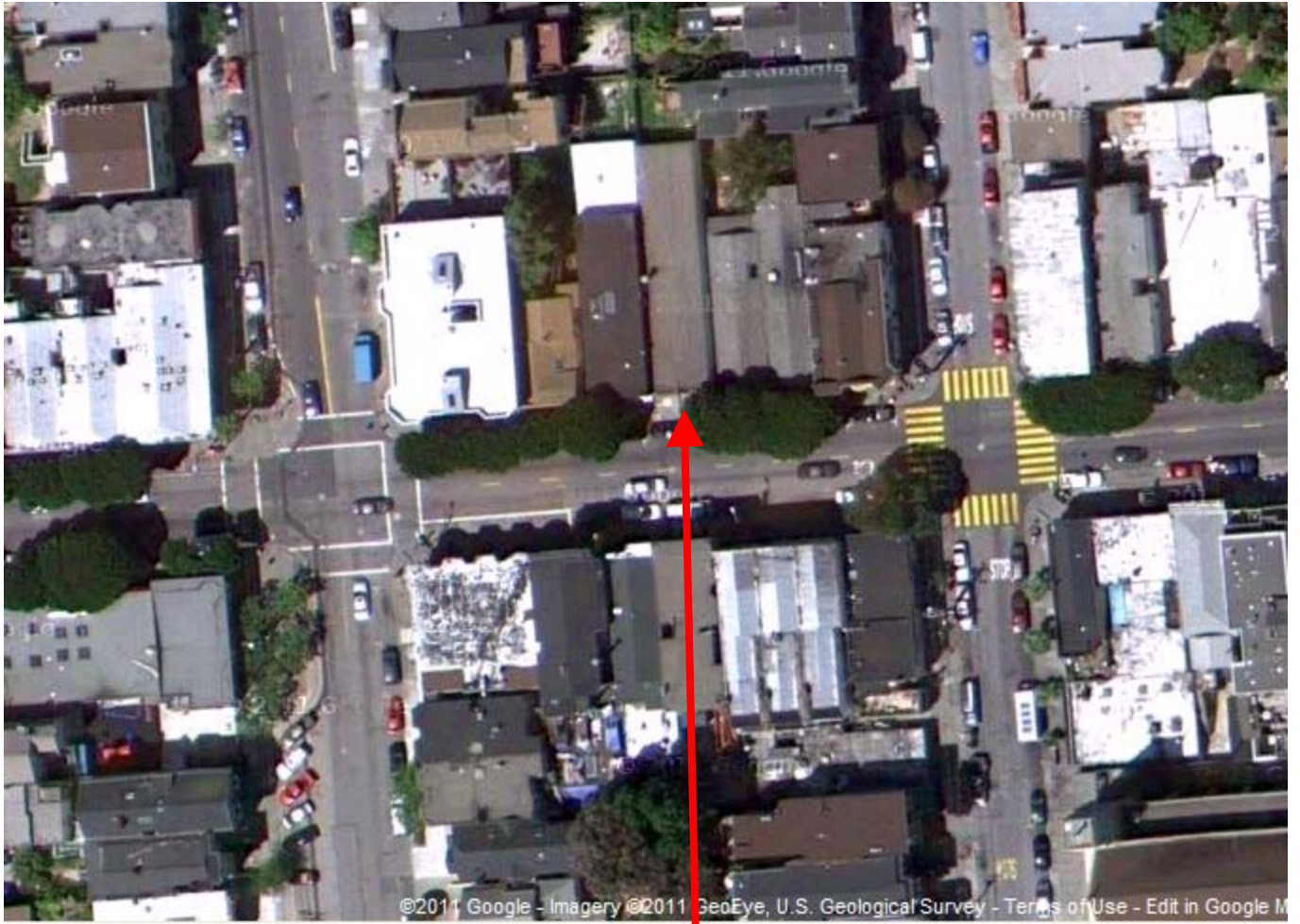
Sanborn Map*



**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Aerial Photo

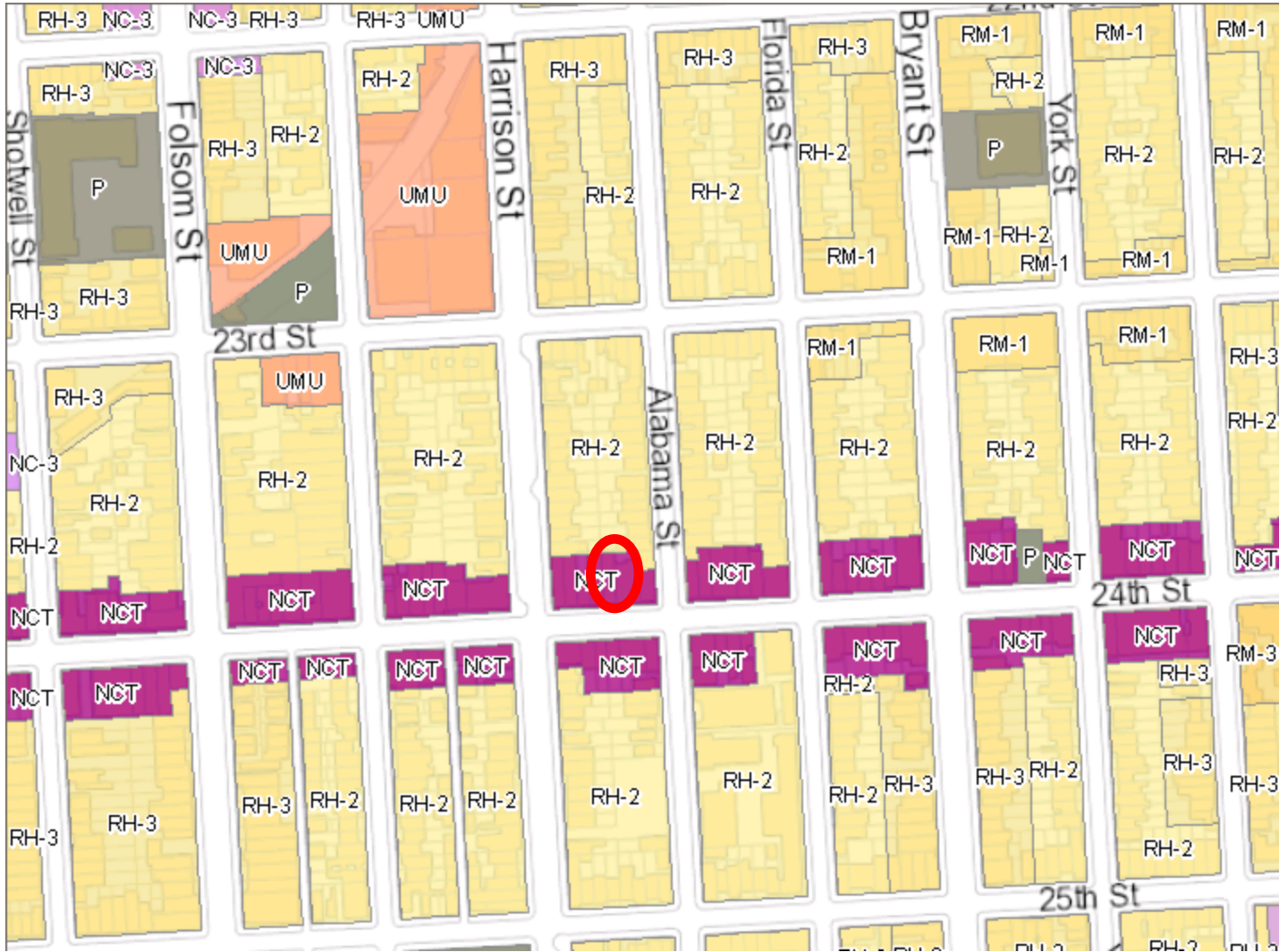


SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2011.0496C
Full-Service Restaurant (d.b.a. Pig & Pie)
2962 24th Street

Zoning Map



Conditional Use Authorization
Case Number 2011.0496C
Full-Service Restaurant (d.b.a. Pig & Pie)
2962 24th Street

Site Photo



Conditional Use Authorization
Case Number 2011.0496C
Full-Service Restaurant (d.b.a. Pig & Pie)
2962 24th Street



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|------------------------------------------------------------------|------------------------------------------------------------|
| <input type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Other |

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Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303, 727.42, AND 790.92 OF THE PLANNING CODE TO ALLOW A FULL-SERVICE RESTAURANT (D.B.A. PIG AND PIE) WITHIN THE 24th STREET – MISSION NCT (NEIGHBORHOOD COMMERCIAL TRANSIT) DISTRICT AND A 45-X HEIGHT AND BULK DISTRICT. THE PROJECT IS ALSO WITHIN THE MISSION ALCOHOLIC BEVERAGE SPECIAL USE SUB-DISTRICT.

PREAMBLE

On May 12, 2011, Wylie Price (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Section(s) 727.42 and 790.92 to allow a retail full-service restaurant (d.b.a. Pig and Pie) within the 24th Street – Mission NCT (Neighborhood Commercial Transit) District and a 45-X Height and Bulk District.

On September 15, 2011, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2011.0496C.

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2011.0496C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the northern side of 24th Street, between Harrison and Alabama Streets, Lot 016 of Assessor's Block 4206. The subject property is located within the 24th Street – Mission Neighborhood Commercial Transit District, the Mission Alcoholic Beverage Special Use Sub-District, and a 45-X Height and Bulk District. The 2,500 square-foot lot is developed with a one-story commercial building. The vacant commercial storefront occupies 25 linear feet of frontage on 24th Street.
3. **Surrounding Properties and Neighborhood.** The project site is centrally located on the northern side of the 2900 block of 24th Street. To the north of the subject property is mid-block open space for single- and multi-family residential units within the adjacent RH-2 (Residential House, Two-Family) District. Directly east of the property, and before Alabama Street, is a community organization (d.b.a. Acción Latina), a small self-service restaurant (d.b.a. Sweetheart Bakery), and a large fast-food restaurant (d.b.a. Taqueria El Farolito). To the west of the property and approaching Harrison Street, is a fringe financial service (d.b.a. Orlandi Valuta), two vacant retail spaces, and a full service restaurant (d.b.a. Ulsutan Restaurant). The uses directly across from the subject property, on the southern side of 24th Street, and proceeding from east to west include the following: a specialty food use (d.b.a. Dominguez Bakery), a retail grocery (d.b.a. El Chico Produce #4), a small self-service restaurant (d.b.a. Tortas los Picudos), a retail laundromat (d.b.a. J & W Laundromat), a community organization/art gallery (d.b.a. Precita Eyes Center), and another retail grocery (d.b.a. La Gallinita). Many of these ground floor commercial spaces have residential uses located on their respective building's second and third stories.

In respect to the broader neighborhood, the subject site is located at the center of the 13-block 24th Street – Mission Neighborhood Commercial Transit District. The district runs along 24th Street and is bounded by San Bruno Avenue to the east and Capp Street to the west. In general, neighborhood serving uses – including bars, eating and drinking

establishments, general or specialized grocery stores, liquor stores, professional and personal services, and financial services – characterize this neighborhood commercial district. Residential uses are typically found above ground floor commercial/retail uses. The surrounding properties located north and south of the district are within the RH-2 and RH-3 (Residential House, Three-Family) Districts.

The site is well served by local and regional public transit. The 48-Qunitara/24th Muni Bus line operates on 24th Street and stops on the same block as the subject property. Other Muni bus lines serving the subject property within a six-block radius include the 9-San Bruno, 12-Folsom, 14-Mission, 27-Bryant, 33-Stanyan, 49-Van Ness-Mission, and 67-Bernal Heights. The 24th Street Bart station is also located within six-blocks of the subject property.

4. **Project Description.** The applicant proposes to establish a full service restaurant (d.b.a. Pig and Pie) within the 24th Street – Mission Neighborhood Commercial Transit District. The subject unit is approximately 2,460 gross square feet. The previous tenant was a retail music store (d.b.a. Discolandia) and closed in early 2011. The current proposal includes minor tenant improvements intended to facilitate the conversion of the unit from a retail space into a full-service restaurant. The proposal also includes an accessory take-out use that is incidental to the operation of a full-service restaurant and is principally permitted by Planning Code Section 703.2(b)(1)(C)(iv).

Take-out will be a service provided as incidental to the operation of a full-service restaurant. The Project Sponsor does not plan to actively encourage take-out and expects the service to be a relatively low portion of gross revenues. The operation will not include a delivery service.

Trash receptacles will be stored in the storage area at the rear of the unit. The Project Sponsor intends to minimize their waste stream and is aiming to limit trash collection to twice a week. Additionally, the Project Sponsor anticipates at least one delivery per week and expects these drops to occur between 9:00 a.m. and 10:30 a.m.

The proposed operation will require between eight to ten employees, approximately half of these positions will comprise employment opportunities for lower skilled workers. The project sponsor intends to hire employees that live within, or relatively close to the neighborhood. The subject site is well served by public transit so that potential employees and customers should not adversely affect the traffic flow.

“Pig and Pie” is an independently and locally owned restaurant. The proposed project would be the first “Pig and Pie” restaurant and is not identified as a Formula Retail use.

5. **Public Comment.** The Department has received five e-mails in reference to the proposal. Two indicate concern over the preservation of the “Discolandia” signage, but do not contest the restaurant itself. The other three express complete support for the proposal.

Department Staff and the Project Sponsor have also met with representatives of the Lower 24th Street Merchants Association in an effort to reach a solution in regards to the signage. To accommodate the community's request to retain the "Discolandia" wall sign, the Project Sponsor has agreed to retain the former tenant's business sign and will pursue a sign permit that establishes the business sign for Pig and Pie on a code-complying awning.

6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Neighborhood Commercial Permit Review.** Planning Code Section 312 requires neighborhood notification of a change in use to a full-service restaurant, as defined by Planning Code Section 790.92 for lots within a Neighborhood Commercial District.

The Project Sponsor is proposing the establishment of a full-service restaurant (d.b.a. Pig and Pie) within the 24th Street – Mission Neighborhood Commercial Transit District. Section 312 notification was conducted in conjunction with the Conditional Use authorization notification.

- B. **Full-Service Restaurant.** Planning Code Section 727.42 allows a full-service restaurant within the 24th Street – Mission Neighborhood Commercial Transit District by Conditional Use authorization on the first story.

The Project Sponsor intends to establish a full-service restaurant (d.b.a. Pig and Pie) in a vacant ground floor commercial space within the 24th Street – Mission Neighborhood Commercial Transit District and is seeking Conditional Use authorization.

- C. **Formula Retail Use.** Planning Code Section 703.4 requires Conditional Use authorization from the Planning Commission to establish a formula retail use, as defined in Section 703.3, in any Neighborhood Commercial District, as identified in Article 7, pursuant to the criteria of Sections 303(c) and 303(i), and be subject to the terms of Sections 703.3(g) and (i).

The proposed retail full-service restaurant use (d.b.a. Pig and Pie) is not identified as a formula retail use.

- D. **The Mission Alcoholic Beverage Special Use Sub-District.** Planning Code Section 249.60 prohibits new establishments where alcoholic beverages are sold, served or given away for on-site or off-site consumption such as bars and liquor stores.

The Zoning Administrator does permit beer and wine liquor licenses (type 41) within the Mission Alcoholic Beverage Special Use District as an accessory use to a bona fide eating establishment. The Planning Department has received an application for a type 41 liquor license, and will recommend approval upon adoption of this motion.

- E. **Use Size Limits.** Planning Code Section 727.21 principally permits use sizes of up to 2,499 square feet and conditionally permits use sizes of 2,500 square feet or greater.

The project proposes a retail full-service restaurant of approximately 2,460 square feet.

- F. **Hours of Operation.** Planning Code Section 727.27 principally permits hours of operation, as defined by Planning Code Section 790.48, from 6:00 a.m. to 2:00 a.m., and from 2:00 a.m. to 6:00 a.m. through the Conditional Use authorization process.

The proposed hours of operation – between 11:00 a.m. to 9:00 p.m. Sunday through Thursday, and 11:00 a.m. to Midnight Friday and Saturday – are principally permitted by Planning Code Section 727.27.

- G. **Street Frontage in Neighborhood Commercial Districts.** Section 145.1 of the Planning Code requires that the floors of street-fronting interior spaces housing non-residential active uses should be as close as possible to the level of the adjacent sidewalk at the principal entrance to these faces. Additionally, frontages with active non-residential uses must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at ground level and allow visibility to the inside of the building.

The subject commercial space has approximately 25-feet of frontage on 24th Street that is devoted to either the restaurant entrance or window space. The windows are clear glass, providing an unobstructed view into the establishment at pedestrian eye-level.

- H. **Required Ground Floor Commercial Uses in Neighborhood Commercial Districts.** In order to support active, pedestrian-oriented commercial uses on important commercial streets, Planning Code Section 145.4 requires active commercial uses on the ground floor for lots fronting on 24th Street and within the 24th Street – Mission Neighborhood Commercial Transit District. These individual ground floor non-residential uses may not occupy more than 75 contiguous linear feet for the first 25 feet of depth along a street-facing façade.

The proposal will provide a ground floor commercial use at the subject site and does not include any expansion to the existing frontage of 25 linear feet.

- I. **Off-Street Parking.** Planning Code Sections 151 and 151.1 limit the amount of off-street parking allowed for a restaurant within a Neighborhood Commercial Transit District to 1 space per 1,500 square-feet of occupied area, or 1 space per every 200 square-feet of occupied area above 5,000.

The subject property is located within a Neighborhood Commercial Transit District and is thereby not required to provide off-street parking spaces. Presently there are no off-street

parking spaces provided on-site. Additionally, the project proposes no new off-street parking spaces.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The proposed project is both necessary and desirable because it seeks to occupy an existing ground floor commercial space that has been vacant since early 2011. The use, a neighborhood serving full-service restaurant, located on the ground floor, will enrich the diversity of goods offered within the 24th Street – Mission Neighborhood Commercial Transit District, and is compatible with the prevalent pattern of commercial/retail ground floor uses.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed project will operate within the existing building envelope.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking or loading for any uses within the 24th Street – Mission Neighborhood Commercial Transit District. The proposed project is well served by public transit, minimizing the need for private automobile trips.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed use is subject to the standard conditions of approval for full-service restaurants as outlined in Exhibit A. Conditions 5 through 7 specifically obligate the Project Sponsor to mitigate noxious or offensive emissions generated by the restaurant use.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

Parking and loading areas are not required for the proposed use. Landscaping is not proposed as the building has no front setback. The Planning Department shall review all proposed signs under separate permit applications. However, given community interest in the retention of the existing "Discolandia" wall sign, the Project Sponsor has agreed to retain the signage of the previous tenant and will pursue a permit that establishes the business sign for Pig and Pie on a code complying awning.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purpose of the 24th Street – Mission Neighborhood Commercial Transit District in that the intended use is located at the ground floor, will provide compatible convenience goods to the immediately surrounding neighborhoods and will be active throughout the day.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The proposed development will provide desirable goods and services to the neighborhood and will provide resident employment opportunities to those in the community. Additionally, the Project Site is located within a Neighborhood Commercial Transit District and is consistent with activities in the commercial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

By establishing a new commercial activity in a vacant space, the project will enhance the diverse economic base of the City and immediate neighborhood.

OBJECTIVE 3: PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 3.1:

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

Policy 3.2:

Promote measures designed to increase the number of San Francisco jobs held by San Francisco residents.

The proposed project will provide approximately 8-10 employment opportunities, of which approximately half will be entry-level, unskilled and semi-skilled positions.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No commercial tenant would be displaced and the project would facilitate the Neighborhood Commercial Transit District in achieving optimal diversity in the types of goods and services available in the neighborhood.

The following guidelines, in addition to others in this objective for neighborhood commercial districts, should be employed in the development of overall district zoning controls as well as in the review of individual permit applications, which require case-by-case review and City Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

Eating and Drinking Establishments

Eating and drinking establishments include bars, sit-down restaurants, fast food restaurants, self-service restaurants, and take-out food. Associated uses, which can serve similar functions and create similar land use impacts, include ice cream stores, bakeries and cookie stores. Guidelines for eating and drinking establishments are needed to achieve the following purposes:

- Regulate the distribution and proliferation of eating and drinking establishments, especially in districts experiencing increased commercial activity;
- Control nuisances associated with their proliferation;
- Preserve storefronts for other types of local-serving businesses; and
- Maintain a balanced mix of commercial goods and services.

The regulation of eating and drinking establishments should consider the following:

- Balance of retail sales and services;
- Current inventory and composition of eating and drinking establishments;
- Total occupied commercial linear frontage, relative to the total district frontage;
- Uses on surrounding properties;
- Available parking facilities, both existing and proposed;
- Existing traffic and parking congestion; and
- Potential impacts on the surrounding community.

The Commerce and Industry Element of the General Plan includes Guidelines for Specific Uses that provide Department Staff with direction for evaluating the compatibility of a proposed eating and drinking establishment within a neighborhood commercial district. The Guidelines indicate that "the balance of commercial uses may be threatened when eating and drinking establishments occupy more than 20% of the total occupied commercial frontage...(and that) districts with an established pattern of service to a broad market... should not occupy more than 25% of the total commercially-occupied frontage in a district." Furthermore, the Guidelines state that "eating and drinking uses should generally be at least 100-feet apart from each other, unless there are factors making clustering of uses appropriate."

Planning Department staff recently conducted a site-survey that inventoried all of the uses with frontage in the 24th Street – Mission Neighborhood Commercial Transit District. If including the proposed full-service restaurant, the proportion of district frontage dedicated to eating and drinking uses, as relative to total district frontage is approximately 29%. Relative to only commercial frontage, eating and drinking uses are 35%. The rise in the proportion of eating and

drinking establishments since the last few Conditional Use authorizations for a restaurant within this district can be attributed to: 1) a change in the boundaries of the 24th Street – Mission NCT District with the adoption of the Eastern Neighborhoods Area Plan; 2) a more thorough inventory by staff of the existing uses and their respective frontages as measured in linear feet; and, 3) the inclusion of specialty food uses (i.e. bakeries) and retail coffee shops, which do not require Conditional Use authorization, in the calculation of frontage for eating and drinking establishments. If removing specialty food uses and retail coffee shops from the overall calculation, bars and restaurants (full-service, small self-service and large fast-food) comprise 24% of the total district frontage and 29% of the total district commercial frontage.

The inventory of ground floor uses with frontage in the 24th Street – Mission Neighborhood Commercial Transit District also revealed that there is a variety of neighborhood services that are distributed fairly evenly along 24th Street. Additionally, the survey identified 18 vacant or inactive storefronts throughout the district's 13-blocks, two of which are on the same block as the subject property. Although, there are three other restaurants on the same side of this particular block (Ulsutan Restaurant, Sweetheart Bakery, and Taqueria El Farolito), these uses are situated at the edge of the block and would benefit from increased activity along the sidewalk that connects them. This increase in activity would also generate more exposure to other food uses across the street – Dominguez Bakery, El Chico Produce, Tortas los Picudos and La Gallinita – sustaining this section of 24th Street as a central location to obtain a variety of specialty food products or meals. This block also has two organizations that are deeply engaged with the surrounding community – Acción Latina and the Precita Eyes Center. Encouraging active uses within their immediate area can generate greater awareness of their community-serving activities and events.

As previously stated, this area is very well served by public transit. The 24th Street Bart station is within 6-blocks from the subject property, and eight Muni bus lines are also accessible within 6-7 blocks. There is no existing or proposed off-street parking at the site and because the proposed project is very well served by public transit, negative traffic and parking impacts are not expected to arise. Other potential impacts to the surrounding community are addressed through the standard Conditions of Approval which require the tenant to maintain the sidewalk area, store trash receptacles within the building, operate in a manner that is considerate of noxious odors or noise associated with restaurants, and maintain an attractive storefront that engages activity on the street.

The Commission finds the proposed project provides benefits to the 24th Street – Mission Neighborhood Commercial Transit District, concentration issues notwithstanding. The district continues to develop from a smaller neighborhood serving district to one that attracts residents throughout the City. The number of restaurants has increased and has exceeded concentration thresholds set within the Commerce and Industry Element's Guidelines. While a strict reading of the General Plan would discourage additional restaurants, the Commission finds that a restaurant at this particular site contributes to the economic vitality of its immediate neighbors, as well as the district at-large. Furthermore, the concentration of these uses has not been raised as an issue of concern by neighborhood residents or merchants.

During review of future applications, staff will continue to monitor the number of restaurants within the 24th Street – Mission Neighborhood Commercial Transit District.

Policy 6.2:

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

The owner of the restaurant is an independent and local entrepreneur who is opening his first full-service restaurant. The proposed use is a neighborhood serving use and will provide a type of cuisine not readily available in the 24th Street – Mission Neighborhood Commercial Transit District. This is the first Pig and Pie and it is not a Formula Retail Use.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The business would be locally owned and would generate employment opportunities for the community. The proposed alterations will not expand the existing building footprint.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The existing units in the surrounding neighborhood would not be adversely affected. The proposal will contribute to a more active and neighborhood engaging environment along 24th Street.

- C. That the City's supply of affordable housing be preserved and enhanced,

No housing is altered for this Project.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The proposed project is on 24th Street between Harrison and Alabama Streets, and is well served by public transit. It is highly likely that both employees and customers of the proposed establishment will either walk, bike or use public transit as the preferred mode of transportation.

The 24th Street – Mission corridor is well served by local and regional transit. Eight bus lines run within close proximity of the site (9, 12, 14, 27, 33, 48, 49 and 67), and BART is six blocks away.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The proposed project will not include any commercial office development and will not displace any existing service or industry establishments. The project site has been vacant since early 2011.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The proposed project will comply with the City Codes to achieve the proper preparedness in the event of an earthquake.

- G. That landmarks and historic buildings be preserved.

This site was evaluated in the South Mission Historic Resource Survey and was considered an eligible historic resource. The project as proposed maintains the historic character.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The proposed project will not have a negative impact on existing parks and open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2011.0496C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated August 23, 2011, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on September 15, 2011.

Linda D. Avery
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: September 15, 2011

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a Full-Service Restaurant (d.b.a. Pig and Pie) located at 2962 24th Street, Block 4206, and Lot 016, pursuant to Planning Code Section(s) 303, 727.42, and 790.92 within the 24th Street – Mission Neighborhood Commercial Transit District, a 45-X Height and Bulk District, and the Mission Alcohol Beverage Special Use District; in general conformance with plans, dated August 23, 2011, and stamped “EXHIBIT B” included in the docket for Case No. 2011.0496C and subject to conditions of approval reviewed and approved by the Commission on September 15, 2011, under Motion No XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **September 15, 2011**, under Motion No XXXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

DESIGN

2. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

MONITORING

3. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

4. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in

Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

- 5. Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>

- 6. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

- 7. Odor Control.** While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.

For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), www.baaqmd.gov and Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 8. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org



Letter of Support for new Business
Cameron Kane
to:
Brittany.Bendix
08/24/2011 12:03 PM
Please respond to cameron
[Show Details](#)

Hi Brittany,

I wanted to send you a letter (below) to share my support for the new business proposed at 2962 24th Street – DBA “Pig and Pie”.

Please let me know you received this email.

Thanks,

Cameron

Aug 24th, 2011

RE: 2962 24th Street, San Francisco, CA 94110 – 41-On-Sale Beer and Wine Eating Place

To whom it may concern:

This letter is to share my support for the proposed restaurant to be located at 2962 24th Street – DBA “Pig and Pie”. I am a neighbor residing at 2748 Harrison Street and was alerted to the application for permit via the “To the Residents or Owner of Real Property Within a 500’ Radius” letter.

I purchased this building over 6 years ago and have seen the Mission District undergo many changes over my residence here. I have seen business come and go. I have seen police enforcement increase and decrease. I have noticed upswings and downswings regarding the culture and general feeling of security and safety within the neighbor. In my opinion, I feel this restaurant would contribute positively to this neighborhood and the 24th Street Corridor because of the follow reasons:

1. It will encourage visitors from other neighborhoods to share in our unique culture and to engage in commerce activities thereby helping to bolster the 24th Street Corridor.
2. Increase safety after dark; that block of 24th street is very dark and more lighting and foot-traffic due to the restaurant will certainly aid in making/keeping this neighborhood safe.
3. Congruence of business type and complimentary products/services. 24th Street is quickly making a name for itself by attracting great businesses. The Pig and Pie seems to be a very nice complimentary service to the businesses that are in the immediate proximity and will surely contribute to the overall success and longevity of those neighboring businesses.

If you have any questions about this letter of support, feel free to contact me at 415.307.5805.

Thanks,

Cameron Kane
2748 Harrison Street
San Francisco, CA 94110

Please Preserve the Discolandia sign in the Mission

Tim Frye to: Brittany Bendix, Richard Sucre

07/29/2011 12:20 PM

Timothy Frye
Preservation Coordinator
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103
tim.frye@sfgov.org
v: 415.575.6822

----- Forwarded by Tim Frye/CTYPLN/SFGOV on 07/29/2011 12:20 PM -----



Hae-eun
<bokumar@gmail.com>
07/29/2011 11:15 AM

To julian.banales@sfgov.org, tim.frye@sfgov.org,
Jonas.Ionin@sfgov.org
cc

Subject Please Preserve the Discolandia sign in the Mission

To the Planning Commission:

As a longtime SF and Mission District resident, I humbly implore you to please take the steps necessary to preserve the sign for the old Discolandia shop at 2964 24th Street. This store is just 1 year shy of eligibility for historic status and it would be a shame to lose what I feel is a symbol of the Latin American history in the Mission, something that seem is being fast replaced in favor of gentrification. The new shop that will replace Discolandia should work around the old sign and be a part of the solution, not the problem.

If I have addressed this concern to the incorrect contacts, I would appreciate if someone could forward to the appropriate department.

Thank you very much for your time.

Sincerely,

Hae Eun Park
3344 16th Street
San Francisco, CA



Support for Pig and Pie restaurant

maric Busse

to:

brittany.bendix

08/24/2011 06:19 PM

[Show Details](#)

This is a letter of support for the Pig and Pie restaurant. I have lived in the Mission district for ten years and enjoy the diversity of the neighborhood. I think this restaurant would add another layer to that diversity. This type of restaurant would bring more people into the neighborhood and invigorate other local businesses. Please add my name to what I am sure is a growing list of supporters for the Pig and Pie.

Mari C. Busse
1103 Alabama St
San Francisco, CA 94110



Support for Pig & Pie
peterosa1
to:
Bendix, Brittany
08/25/2011 01:55 PM
[Show Details](#)

Dear Ms Bendix:

I understand you are handling the application for conditional use authorization for the proposed "Pig and Pie" establishment at 2962 24th Street and am writing to support the application.

I am a neighbor in the Mission at 2714 Harrison Street, just around the corner from the planned new enterprise. Although I don't know the sponsor/s personally, I am grateful for their outreach in contacting me and other neighbors with information about their plans and giving us a chance to weigh in with our thoughts and ideas, and in the case of myself and our family, encouragement. This would be a great addition to that block and perfect for this part of the Mission. FYI, our family has lived at 2714 for circa 60 years ever since my wife Rose's mom & dad bought the house in 1952 as home for them and their five children. Our daughter and her kids are there now, one a sophomore at SF State and a little guy who just started school in Grade K today one block away at St. Peter's. It is wonderful to see interesting new businesses moving into the area further adding to the diversity of lower 24th. We have observed the change since Harry Slocombe opened on the corner 2-3 years ago - more foot traffic and more eyes on the street, all helping to make that neighborhood safer for families - a huge improvement from the scene 10 years ago when that block was drug dealer HQ for South Mission.

I hope the Planning Department will view this application favorably.

Sincerely,
Peter Reeves
415.768.4900



we support conditional use approval for Pig and Pie (Case No. 2011.0496C)

Jeremy Nelson

to:

Brittany.Bendix

08/30/2011 08:46 AM

Cc:

""Winton, Erika""

Please respond to nelson.jeremy

Show Details

Dear Ms. Bendix-

My wife and I live at 24th and Harrison and we support CU approval for the Pig and Pie restaurant.

We hope you and the Planning Commission will require them to keep the Discolandia signage in some form, in order to preserve a taste of the old character as they bring needed new vitality to that storefront.

Thank you for your time and service to the City- Jeremy

~~~~~  
**Jeremy Nelson**

2766 Harrison St.

San Francisco, CA 94110

**phone:** 415.425.9848

**e-mail:** <mailto:nelson.jeremy@comcast.net>

[title="mailto:nelson.jeremy@comcast.net">nelson.jeremy@comcast.net](mailto:nelson.jeremy@comcast.net)



**GENERAL NOTES**

- ALL CONSTRUCTION TO CONFORM TO THE 2010 CALIFORNIA BUILDING CODE (CBC), 2010 CALIFORNIA MECHANICAL CODE (CMC), 2010 CALIFORNIA PLUMBING CODE (CPC), 2010 CALIFORNIA FIRE CODE (CFC), 2010 CALIFORNIA ELECTRICAL CODE (CEC), AS ADOPTED AND AMENDED BY THE CITY OF SAN FRANCISCO; AS WELL AS THE 2010 CALIFORNIA ENERGY STANDARDS.
- ALL WORK SHALL CONFORM TO THE CONTRACT, THE DRAWINGS, SPECIFICATIONS AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE DESIGNER.
- THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICT OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.
- IN CASE OF CONFLICT BETWEEN DESIGNER'S AND DESIGN BUILD ENGINEER'S DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE DESIGNER'S DRAWINGS SHALL GOVERN.
- THE DESIGNER HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY HAZARDOUS MATERIALS ON THE JOBSITE. IF ANY HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE OWNER FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
- ALL WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE. WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY SHALL BE DONE ON AN OVERTIME, NON-REGULAR BUSINESS HOUR BASIS TO BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL NOTIFY DESIGNER IMMEDIATELY OF ALL UTILITIES DETERMINED, IN THE COURSE OF CONSTRUCTION, AS BEING NECESSARY TO BE REMOVED, WHICH HAVE NOT OTHERWISE BEEN NOTED FOR REMOVAL IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL REMOVE SUCH UTILITIES ONLY AFTER CONSULTATION WITH DESIGNER AND OWNER'S REPRESENTATIVE. WHETHER PREDETERMINED IN THE CONSTRUCTION DOCUMENTS OR DETERMINED LATER IN FIELD, DISCONNECT, CUT BACK TO SOURCE, AND CAP ALL UTILITY SERVICES REMOVED. SEAL ALL PENETRATIONS CREATED BY REMOVAL OF UTILITIES TO MATCH ADJACENT CONSTRUCTION AND FINISHES.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLACE.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATIONS ON PLANS AND ELEVATIONS.
- WORK AREAS ARE TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE TO ENSURE SECURITY.
- REMOVE FROM SITE AND LEGALLY DISPOSE OF DAILY ALL REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE, LOCAL) GOVERNING THE WORK. THE MOST STRINGENT ORDINANCES, RULES AND REGULATIONS SHALL APPLY.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY; WHAT IS SHOWN OR REFERED TO ON ANY DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
- SUBSTITUTIONS, REVISIONS OR CHANGES MUST BE SUBMITTED TO DESIGNER FOR REVIEW (IN CONFORMANCE WITH SPECIFIED PROCEDURES) PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
- REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND IN CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION.
- ALL WORK SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, BUILDING FACILITIES DURING ALL PHASES OF WORK. MINIMUM DISTURBANCE OF EXISTING BUILDING FUNCTIONS AND OCCUPANTS IS ESSENTIAL.
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. IN CASE OF UNCLARITY OR CONFLICT, NOTIFY DESIGNER BEFORE PROCEEDING. FLOOR PLAN BY DESIGNER SUPERSEDES OTHER PLANS. VERIFY EXACT LOCATIONS IN FIELD. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, FIRE-PROTECTION, AND DESIGN/BUILD CONTRACTORS AND SUBMIT ALL DRAWINGS TO THE DESIGNER FOR REVIEW PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL SHOP DRAWINGS, FOR FABRICATED ITEMS, CATALOG CUTS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR TO THE DESIGNER FOR APPROVAL TWO (2) WEEKS PRIOR TO FABRICATION / PURCHASING.
- THE SCOPE OF WORK AND ADJACENT AREAS (INCLUDING "PATH OF ACCESS" AND LOBBY WHERE IT APPLIES TO THIS WORK) SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL WORK NOTED "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

**PROJECT SCOPE**

Interior non-seismic conversion of an existing commercial tenant space PRESENTLY CLASSIFIED AS MERCANTILE USE into a RESTAURANT AND PRODUCTION KITCHEN establishment. THIS PERMIT IS ONLY FOR THE CONDITIONAL USE PERMIT. Tenant Improvement permits to be applied for under separate permit. NO CHANGES TO EXTERIOR. Proposed Elevation option provided for reference.

**BUILDING CODE DATA**

DESCRIPTION OF USE: RESTAURANT AND PRODUCTION KITCHEN  
 ZONING: MISSION NCT - 4206-016  
 OCCUPANCY: B (RESTAURANT)  
 STORIES: 1, PROJECT IS ONE STORY ON GROUND LEVEL  
 CONSTRUCTION: TYPE V  
 FLOOR AREA: 2307 S.F. (EXISTING, NO CHANGE)

**OCCUPANCY NOTES**

- SEE ABOVE DATA FOR CONSTRUCTION TYPE AND OCCUPANCY FOR THIS PROJECT. OCC LOADS BASED ON FOLLOWING AREA CALCCS:

| AREA TYPE           | TOTAL AREA | OCC. LOAD   |
|---------------------|------------|-------------|
| EATING AREA         | 381 SF     | (1 : 30) 13 |
| OFFICE              | 90 SF      | (1 : 100) 1 |
| KITCHEN             | 592 SF     | (1 : 200) 3 |
| STORAGE             | 423 SF     | (1 : 300) 2 |
| TOTAL OCCUPANT LOAD |            | 19          |

**TOTAL NUMBER OF EMPLOYEES NOT TO EXCEED: 4**

- PROVIDE 2A: 10BC AND TYPE K FIRE EXTINGUISHERS AND LOCATE PER DIRECTION OF FIRE INSPECTOR.
- ADDRESS POSTING, EMERGENCY LIGHTING AND EXIT SIGNS TO BE FIELD VERIFIED BY FIRE INSPECTOR.
- FIRE DEPARTMENT LOCK BOX IS REQUIRED.

**DRAWING INDEX**

| TENANT IMPROVEMENT                    |
|---------------------------------------|
| A1 SITE PLAN & PROJECT DATA           |
| A2 FURNISHINGS FIXTURES AND EQUIPMENT |
| A3 EXISTING AND PROPOSED PLANS        |
| A7 EXISTING ELEVATION                 |

**PROJECT DIRECTORY**

OWNER / LESEE: OP PARTNERS MILES PICKERING  
 DESIGNER/PROJECT CONTACT: WYLIE PRICE  
 491 23rd ST. MEZZANINE OAKLAND, CA 94612  
 phone: 510.684.2122  
 ATTN: WYLIE PRICE (wylie@wylieprice.com)

**DEFERRED SUBMITTALS**

DESIGN DOCUMENTS (PLANS, DETAILS, CALCULATIONS, ETC.) FOR ALL DEFERRED ITEMS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO FABRICATION AND ERECTION OF THE ITEMS. IN ADDITION, THE PROJECT DESIGNER SHALL PROVIDE A SIGNED CONFIRMATION THAT THE SUBMITTAL HAS BEEN REVIEWED AND APPROVED FOR THE DEFERRED ITEMS AS BEING IN CONFORMANCE WITH THE PROJECT INTENT.

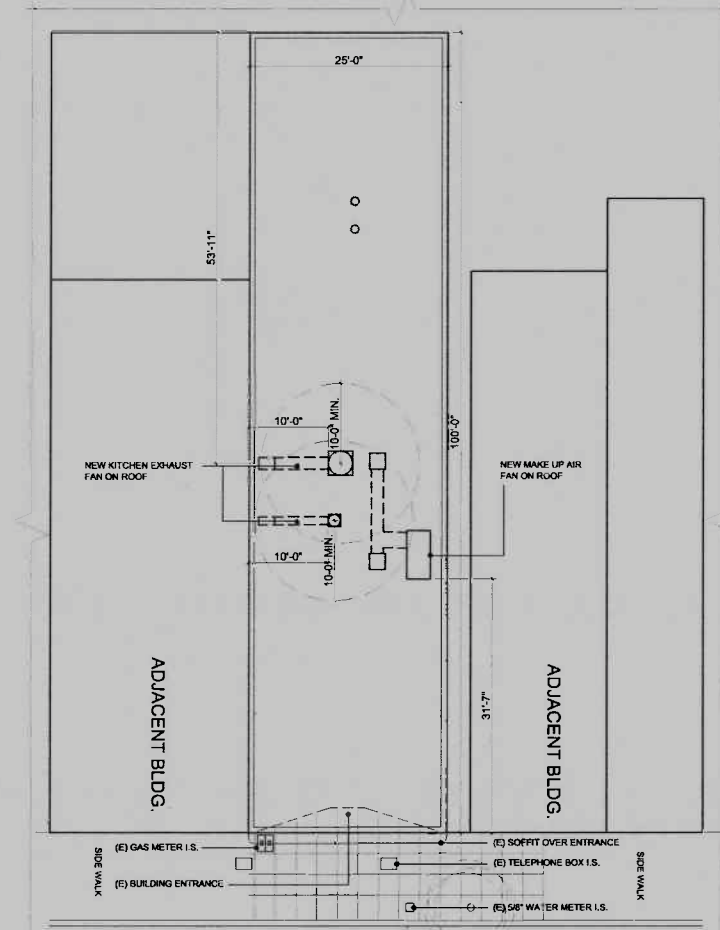
DEFERRED SUBMITTAL ITEMS: ANY SUB-CONTRACTOR PERMITS INCLUDING BUT NOT LIMITED TO MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE SUPPRESSION

**SYMBOL LEGEND**

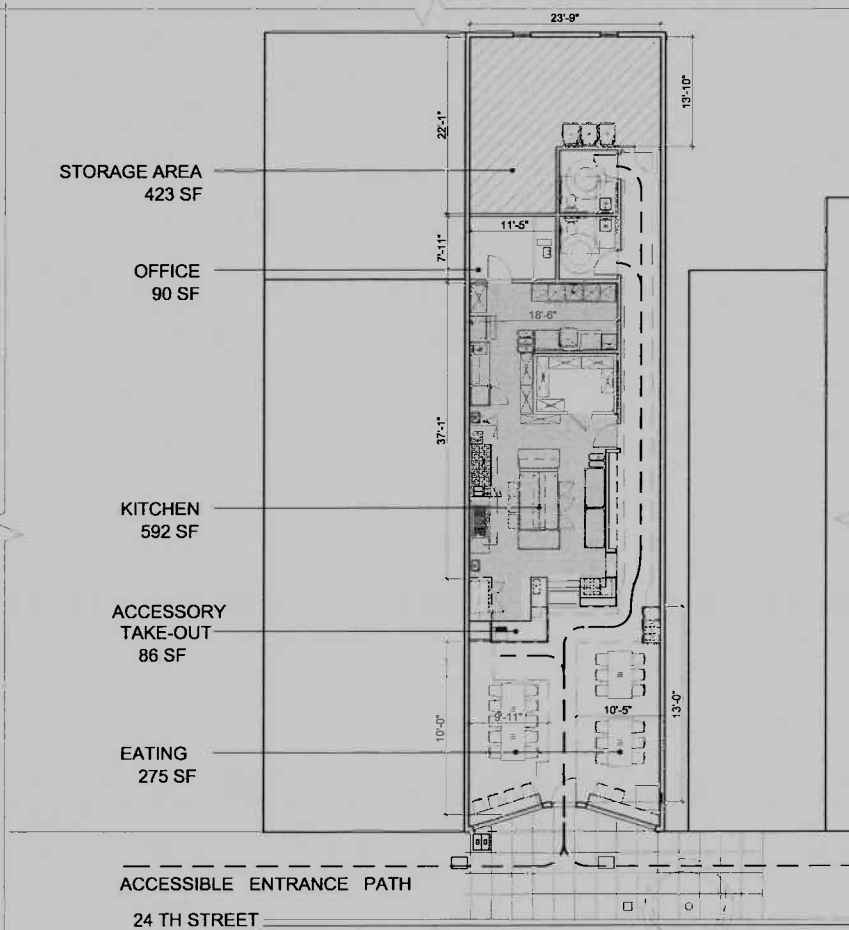
- DETAIL REFERENCE: X (detail number) / X (sheet number)  
 REVISION REFERENCE: X  
 SHEET KEY NOTE: X



VICINITY MAP PROJECT LOCATION



**SITE PLAN**  
SCALE: 3/32" = 1'-0"



**LOAD CALCULATION**  
SCALE: 3/32" = 1'-0"

**WYLIE PRICE DESIGN**

491 23rd Street  
 Oakland, 94612  
 v. 510.684.2122  
 wylieprice.com

**OP PARTNERS SAUSAGE**  
**2962 24TH STREET**  
**SAN FRANCISCO 94110**

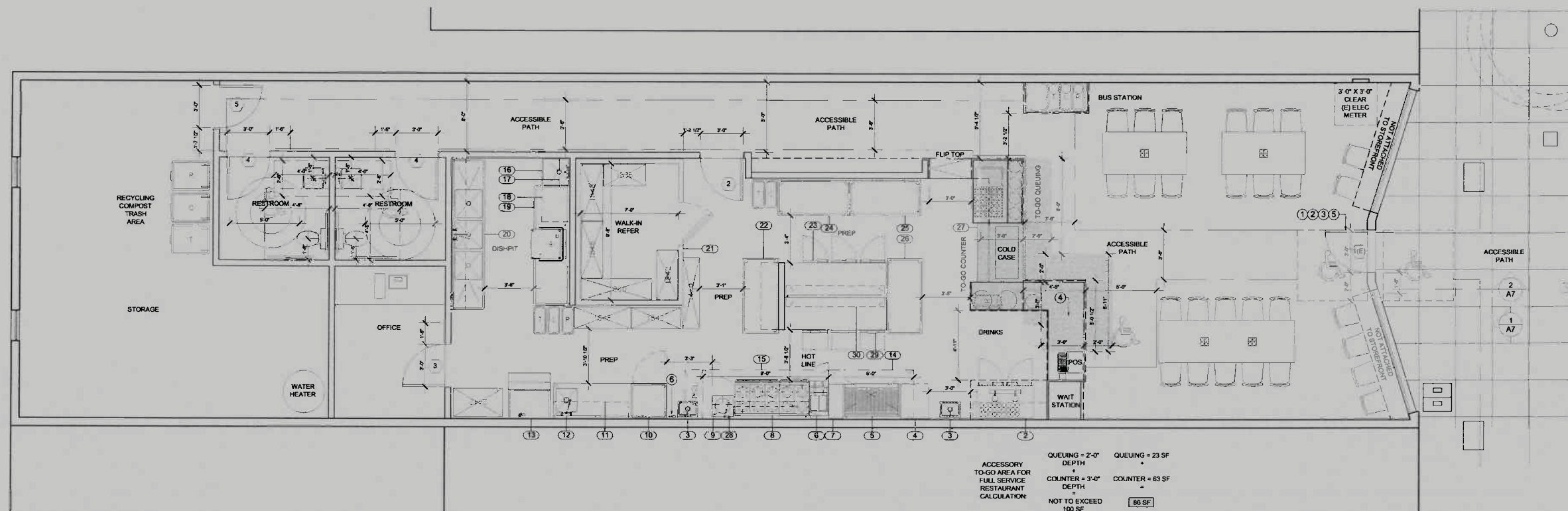
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|------------------------|-------------|
| SCHEMATIC LAYOUTS      | MAR 17 2011 |
| SCHEMATIC LAYOUT       | MAR 24 2011 |
| UTILITIES COORDINATION | APR 08 2011 |
| CHANGE OF USE PERMIT   | APR 12 2011 |
| PRELIMINARY PRICING    | APR 27 2011 |
| CONDITIONAL USE PERMIT | MAY 12 2011 |
| C.U.P. REVISION 1      | AUG 23 2011 |

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**SITE PLAN & PROJECT DATA**

**A1**

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**PROPOSED FF&E PLAN**  
SCALE: 1/8" = 1'-0"

### FOODSERVICE EQUIPMENT SCHEDULE

| #  | EQUIPMENT DESCRIPTION                        | MAKE / MODEL                 | SUPPLIER  | NOTES                                    |
|----|----------------------------------------------|------------------------------|-----------|------------------------------------------|
| 1  |                                              |                              |           |                                          |
| 2  | DIRECT DRAW BEER FRIDGE                      |                              |           | 4 TAPS, 4'-0" WIDE, TWO FULL, TWO PONY   |
| 3  | HAND WASHING STATION                         |                              |           | TOWEL & HAND SOAP DISPENSER, KNEE PED.   |
| 4  | SS SPACER TABLE                              |                              |           | 2'-0" WIDE, BACK SPLASH, 1 BOTTOM SHELF  |
| 5  | GRILL                                        | GARLAND CHARGRILL 48" WIDE   |           | ALT. J & R WOODSHOW, 48" WIDE            |
| 6  | DEEP FRYER (TWO BASKETS)                     | IMPERIAL - IFS-40            |           |                                          |
| 7  | SS SPACER TABLE                              |                              |           | 1'-0" WIDE                               |
| 8  | OVEN / 10 BURNER RANGE                       | MONTAGUE - GRIZZLY VG60L-10  |           | 10 BURNER RANGE, VERIFY OVER SIZES       |
| 9  | LOW BOY STOCK POT STOVE                      | IMPERIAL - ISPA-18           |           | SINGLE BURNER                            |
| 10 | HOODLESS SMOKER                              | COOKSHACK ELITE              |           | SUPER SMOKER ELITE MODEL                 |
| 11 | SHELVING                                     |                              |           | 5'-0" WIDE                               |
| 12 | PREP TABLE                                   |                              |           | 8'-0" WIDE                               |
| 13 | ICE MACHINE WITH WATER PURIFIER (2'-6" WIDE) | MANITOWOC OR SIM.            |           | WITH BIN                                 |
| 14 | HOOD (SOLID FUEL TYPE EXHAUST)               | CAPTIVE-AIRE                 |           | 6'-0" WIDE                               |
| 15 | HOOD AND ANSUL CABINET                       | CAPTIVE-AIRE                 |           | 9'-0" WIDE                               |
| 16 | MOP SINK                                     |                              |           | 2'-0" X 2'-0" FIBERGLASS, WITH SPOUT     |
| 17 | SHELF ABOVE SINK                             |                              |           | 2'-0" WIDE, WITH CLIPS FOR MOPS          |
| 18 | SHELF ABOVE DISH MACHINE                     |                              |           | 2'-6" WIDE, WIRE TYPE                    |
| 19 | A4 AUTOCHLOR DISH MACHINE (8'-0")            | SINGLE RACK WASHER, LOW TEMP | AUTOCHLOR | 8'-0" MAX LENGTH                         |
| 20 | 3 COMPARTMENT SINK                           |                              |           | 10'-6" MAX LENGTH, 24" X 24" BASINS      |
| 21 | WALK IN REFRIGERATOR                         |                              |           | 9'-8" X 7'-0" I.D. / 7'-6" C.H.          |
| 22 | SS WORK TABLE W/ SHELF UNDER                 |                              |           | 2'-6" X 5'-0", BOTTOM SHELF              |
| 23 | WORK TOP REACH IN W/ 3 DOORS (7'-0")         |                              |           | SELF CONTAINED, 7'-0"                    |
| 24 | SS WORK TABLE W/ SHELF UNDER (2'-6" X 5'-0") |                              |           | 2'-6" X 5'-0", BOTTOM SHELF, BACK SPLASH |
| 25 | SS WORK TABLE W/ SHELF UNDER (2'-6" X 5'-0") |                              |           | 2'-6" X 5'-0", BOTTOM SHELF, BACK SPLASH |
| 26 | SS WORK TABLE W/ SHELF UNDER (2'-6" X 5'-0") |                              |           | 2'-6" X 5'-0", BOTTOM SHELF              |
| 27 | MEAT DISPLAY CASE (6'-0")                    | HOWARD McCRAY - SC-CDS35-6L  |           | SELF CONTAINED, WRAPPING SHELF           |
| 28 | STOCK POT FILLER                             |                              |           |                                          |
| 29 | WORK TOP REACH IN W/ 6 DRAWERS (7'-0")       |                              |           |                                          |
| 30 | SS PASS SHELF (1'-6" X 6'-0")                |                              |           | FRIDGE TOP MOUNTED OR HANGING            |
|    | GRINDER                                      | BIRO - 822 OR 922            |           |                                          |
|    | STUFFER                                      | F. DICK - 30 LB              |           |                                          |
|    | BUFFALO CHOPPER                              | HOBART                       |           |                                          |

### FF&E KEY NOTES

- LOCATION OF ACCESSIBLE ENTRANCE SIGN AS REQUIRED PER CBC 1127B.3
- EFFORT TO OPERATE EXTERIOR DOORS SHALL NOT EXCEED 5 lbs., INTERIOR DOORS SHALL NOT EXCEED 5 lbs. AS REQUIRED PER CBC 1004.5.1
- LEVER TYPE OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE FLOOR SURFACE AS REQUIRED PER CBC 1004.3.1
- LOCATION OF ACCESSIBLE COUNTER, +28" - 34" A.F.F.
- LABEL ON DOOR FRAME: DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS
- LOCATION OF 2A-10BC FIRE EXTINGUISHER

### GENERAL NOTES FOR ALL DOORS

- HANDLE:** All doors equipped with single-effort non-grasp hardware (i.e., lever) centered between 30" and 44" above the floor. (CBC 1133B.2.5.2)
- CLOSER:** If a door is equipped with a closer, then the sweep period of the closer shall be adjusted so that from an open position of 70-degrees the door will take at least 3 seconds to move to a point 3" from the latch, measured at the landing edge of the door. (CBC 1133B.2.5.1)
- THRESHOLD:** ADA compliant transition
- ACCESSORIES:** Where doors are glazed, provide 10" kick plate at bottom of glazed doors. (CBC 1133B.2.6)

### DOOR SCHEDULE

| DOOR NO. | ROOM NAME | SIZE      | TYPE             | JAMB | HDWR    | COMMENTS |
|----------|-----------|-----------|------------------|------|---------|----------|
| 1        | ENTRY     | 36" X 80" | SOLID WD, GLAZED | WD   | GROUP 1 | EXISTING |
| 2        | KITCHEN   | 36" X 80" | ALUMINUM LAM.    | WD   | N/A     | ELIASON  |
| 3        | OFFICE    | 36" X 80" | SOLID CORE       | MTL  | GROUP 1 |          |
| 4        | RESTROOM  | 36" X 80" | SOLID CORE       | MTL  | GROUP 1 |          |
| 5        | STORAGE   | 36" X 80" | SOLID CORE       | MTL  | GROUP 1 |          |

### ADA DOOR HARDWARE

- HARDWARE GROUP #1**
- HANDLE:** INOX FRANKFURT
- CLOSER:** HAGER SURFACE CLOSER- 5200 SERIES
- HINGES:** HAGER BB1191
- THRESHOLD:** PEMKO SADDLE(ADA COMPLIANT)-171A
- DOOR BOTTOM:** PEMKO 216AV
- TEMPERED SINGLE LIGHT DOOR. 12" SOLID KICK PLATE AT BOTTOM, ADA CONFORMING HANDLE AND CLOSER TO BE ADDED
  - ELIASON DOUBLE SWINGING KITCHEN DOOR 5" X 30" WINDOW
  - SOLID CORE DOOR. 12" SOLID KICK PLATE TO BE ADDED AT BOTTOM, ADA CONFORMING HANDLE AND CLOSER

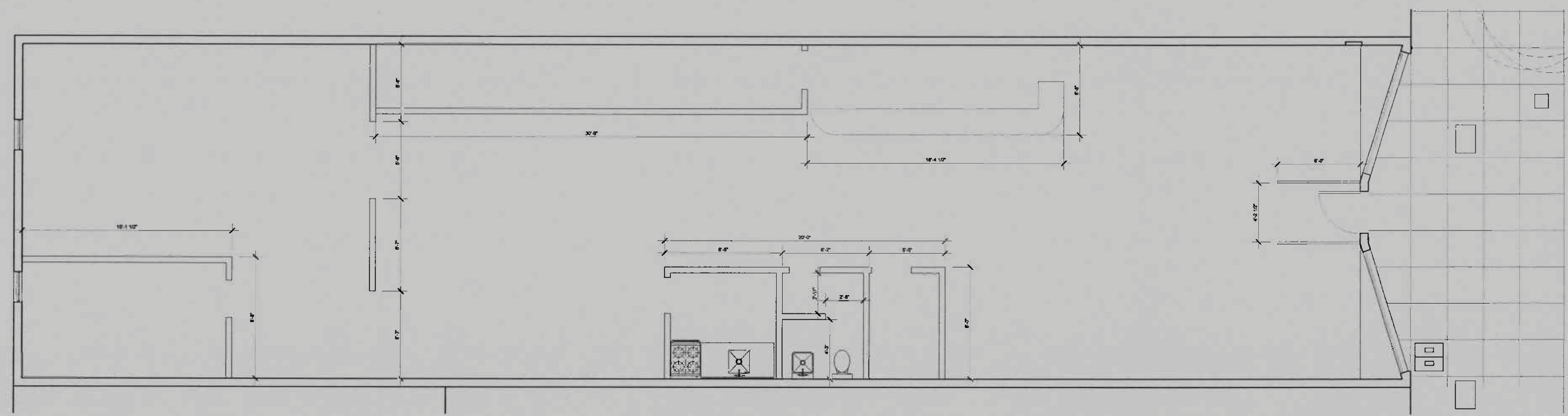
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| SCHEMATIC LAYOUT       | MAR. 24. 2011 |
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| C.U.P. REVISION 1      | AUG. 23. 2011 |

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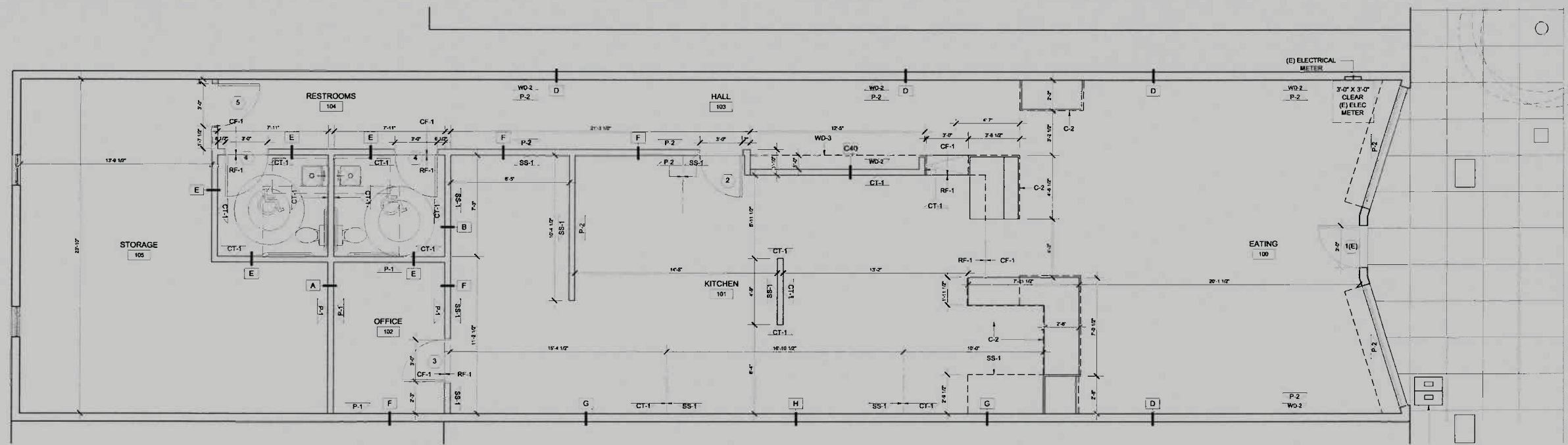
**FURNISHINGS  
FIXTURES &  
EQUIPMENT  
PLAN**

**A2**

## OP PARTNERS SAUSAGE 2962 24TH STREET SAN FRANCISCO 94110



**EXISTING PLAN**  
SCALE: 1/8" = 1'-0"



**PROPOSED FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

### FINISH SCHEDULE

| ROOM NO. | ROOM NAME | FLOOR | BASE | WALLS     | CEILINGS | COMMENTS               |
|----------|-----------|-------|------|-----------|----------|------------------------|
| 100      | EATING    | CF-1  | CB-1 | P-2       | EF       | EXISTING EXPOSED TRUSS |
| 101      | KITCHEN   | RF-1  | RB-1 | SS-1/CT-1 | P-3      |                        |
| 102      | OFFICE    | CF-1  | VB-1 | P-1       | P-1      |                        |
| 103      | HALL      | CF-1  | CB-1 | P-2       | P-1      |                        |
| 104      | RESTROOMS | RF-1  | RB-1 | P-3       | P-3      |                        |
| 105      | STORAGE   | CF-1  | CB-1 | P-2       | P-2      | EXISTING EXPOSED TRUSS |

### FINISH SCHEDULE KEY

- FLOORING**  
 CF-1 EXISTING CONCRETE GROUND TO EXPOSE AGGREGATE, SATIN FINISH SEALED  
 RF-1 PROTECT-ALL SPECIALTY FLOORING SYSTEM, OSCODA PLASTICS, 1/2" THICK 100% RECYCLED VINYL  
 WD-1 FIR FLOORING, 1/2" RECLAIMED T&G, SAND T O 120, RUBIO BRAND MONOCOAT FINISH
- BASES**  
 VB-1 VINYL APPLIED COVE BASE  
 WB-1 WOOD BASE, CLEAR FINISH, 1X12 STAIN GRADE FIR  
 RB-1 INTEGRAL PROTECT-ALL COVERED BASE  
 CB-1 CONCRETE
- WALL/CEILING FINISHES**  
 P-1 PAINT: BENJAMIN MOORE # EGGSHELL COLOR TBD O/ PVA DRYWALL SEALER TYP.  
 P-2 PAINT: BENJAMIN MOORE # SATIN, CLEAR SEALER O/ PVA DRYWALL SEALER TYP.  
 P-3 PAINT: BENJAMIN MOORE # SEMI GLOSS, COLOR TBD O/ PVA DRYWALL SEALER TYP.  
 SS-1 STAINLESS STEEL WALL LINER OR TOP, 20 GA., 80G RANDOM ORBIT FINISH  
 CT-1 GLAZED CERAMIC TILE WALL #1, HEATH BRAND, COLOR TBD (LIGHTLY COLORED PER SFHD)  
 C-1 WATER BASED SEALER ON EXISTING CONCRETE  
 WD-2 FIR BEAD BOARD 48" HIGH, 1/2" RECLAIMED T&G, RUBIO BRAND MONOCOAT FINISH
- OTHER SURFACES**  
 ST-1 STONE TOP #1, 3 CM CARRERA, HONED FINISH, MATTE PENETRATING SEALER, SQUARE EDGE NO LAMINATION  
 WD-3 CLEAR SEALED SOLID WOOD- RUBIO BRAND MONOCOAT FINISH ON 12/4 SLAB MATERIAL  
 MTL-1 MILD STEEL (XIM BRAND OR BREAK) ROUGH BRAND SPRAY-ON FINISH  
 GL-1 1/2" TEMP-RED GLASS OR 1/2" WIRE REINFORCED GLASS  
 C-2 CONCRETE COUNTER TOP, COLOR TBD

### LEGEND

- EXISTING WALL
- NEW INTERIOR NON-LOAD BEARING WALL
- PARTITION TYPE
- DOOR TYPE
- ROOM NAME
- ROOM NUMBER

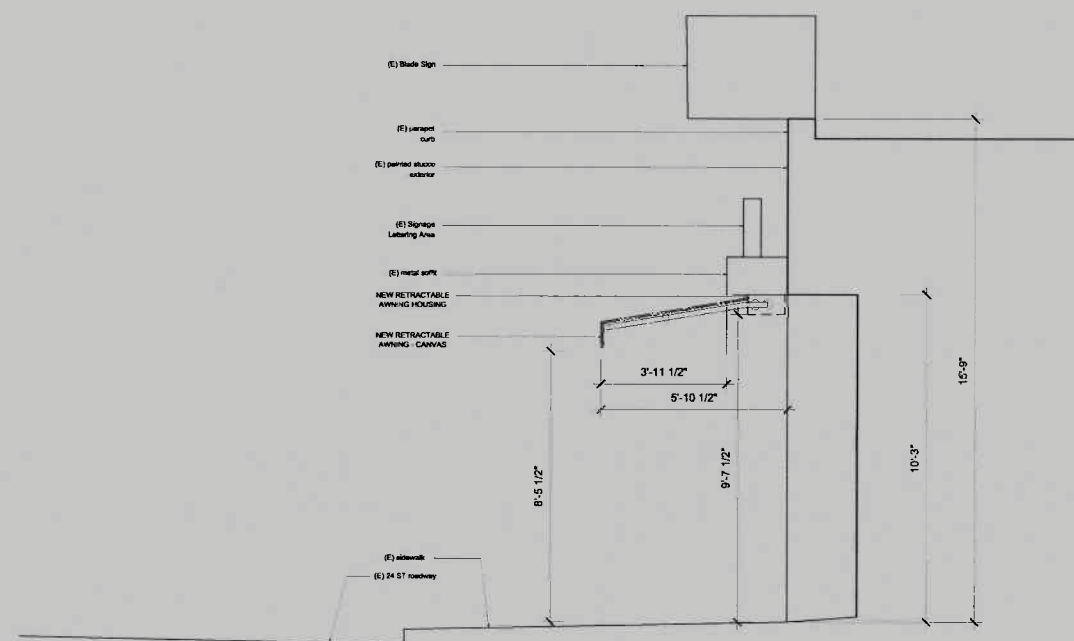
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### PROPOSED PLANS

# A3

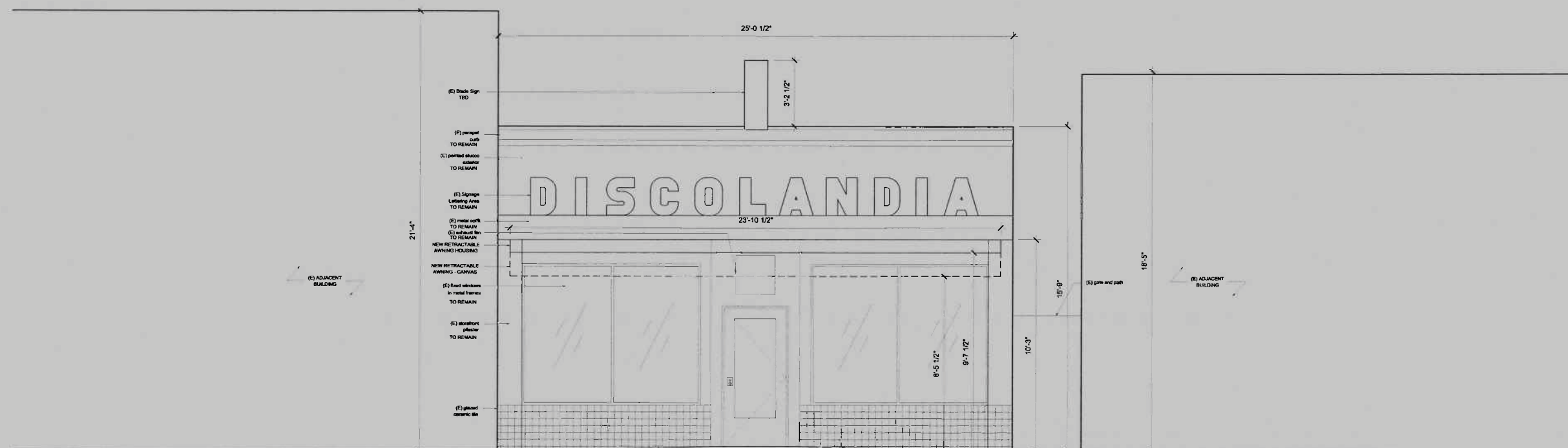
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**PROPOSED ENTRANCE SECTION**

SCALE: 3/16" = 1'-0"

1



**PROPOSED ENTRANCE ELEVATION**

SCALE: 3/16" = 1'-0"

1

**OP PARTNERS SAUSAGE  
2962 24TH STREET  
SAN FRANCISCO 94110**

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**EXISTING  
ELEVATION**

**A7**

NORTH SIDE OF 24th STREET



SOUTH SIDE OF 24th STREET

