



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: OCTOBER 6, 2011

Date: September 29, 2011
Case No.: 2011.0307C
Project Address: 1156 Valencia Street
Zoning: Valencia Street Neighborhood Commercial Transit Zoning District
55-X Height and Bulk District
Block/Lot: 3635/010
Project Sponsor: Ruben Castillo-Bañuelos
Kodama Diseño Architects
619 Sansome Street
San Francisco, CA 94111
Staff Contact: Richard Sucre – (415) 575-9108
richard.sucre@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The project sponsor proposes to enclose an existing playground and parking area, and construct a new gymnasium at 1156 Valencia Street (d.b.a Salvation Army). The project includes interior alterations to accommodate the new gymnasium, as well as new restrooms, offices, an enclosed trash/recycling area, and a two-car parking area. Currently, this portion of the lot is open to San Jose Avenue, and is not enclosed by any walls or roof. The proposal would construct 2,124 sf dedicated to the enclosed gymnasium/playground and accessory office use, and would reduce the parking area to 334 sf. The new gymnasium/playground would accommodate approximately fifty-five children on a regular basis throughout the year, and approximately ninety children during the summer session months. The hours of operation for the new gymnasium would be from 8am to 5pm in the summer, and 2pm and 6pm for the remainder of the year.

SITE DESCRIPTION AND PRESENT USE

The project is located on a midblock through-lot (measuring approximately 97 ft by 40 ft by 103 ft by 40 ft; approximately 4,033 sf in lot area) with frontage on Valencia Street and San Jose Avenue, between 22nd and 23rd Streets, on Block 3635, Lot 010. The subject property is located within the Valencia Street NCT (Neighborhood Commercial Transit) Zoning District and a 55-X Height and Bulk District. The property is developed with a one- and two-story, wood-frame community center, containing approximately 11,692 total sq ft, and is solely occupied by the Salvation Army, which is a social service organization.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The area surrounding the project site is consistent in character with multi-unit residential-over-ground floor commercial properties and mid-size apartment buildings on Valencia Street, and multi-unit

residential properties on San Jose Avenue. Along Valencia Street, a variety of commercial establishments are located within the ground floor storefronts in the surrounding area, including full service restaurants, coffee shops, a hardware store, an alternative medicine shop, and a travel agent. On the west side of Valencia Street, buildings in the immediate vicinity typically range from one to three stories in height; while, on the east side of Valencia Street, buildings in the immediate vicinity typically range from two to five-stories in height. To the west of Valencia Street within the adjacent blocks, the area is primarily characterized by residential neighborhoods, consisting of single-family residences and multi-family apartment buildings. The subject building is within two blocks of Mission Street, which primarily contains ground floor commercial uses (ex: coffee shop, full service restaurants and furniture shops) with a sparse collection of residential properties. The zoning districts adjacent to the project site include: Valencia St NCT to the north, south and east, and RH-3 and RM-1 to the west.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 Categorical Exemption (See Attached).

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	September 16, 2011	September 16, 2011	20 days
Posted Notice	20 days	September 16, 2011	September 16, 2011	20 days
Mailed Notice	10 days	September 26, 2011	September 21, 2011	15 days

The proposal requires a Section 312 Neighborhood notification, which was conducted in conjunction with the Conditional Use Authorization process.

PUBLIC COMMENT

As of September 29, 2011, the Department has received three inquiries regarding the proposal. Two of the inquiries requested information on the project. One inquiry expressed concern over nighttime activities related to the gymnasium.

ISSUES AND OTHER CONSIDERATIONS

- The Neighborhood Center Facilities section of the Community Facilities Element of the General Plan contains objectives and policies that address the location, distribution, design and use of neighborhood centers, which provide recreational and cultural programs, child-care services, senior citizen programs, health screening, and various counseling and referral services. The proposal would maintain the project site's existing community/social service use and would expand the recreational facilities present on this site by providing an enclosed gymnasium and playground, as well as accessory office and bathroom facilities. This expanded use would be consistent with the immediate area's residential and commercial character.

- Within the Valencia Street NCT Zoning District, large institution use, inclusive of assembly and social service use, recreational use, and religious use, is permitted at the ground floor. This use provides services that serve a population greater than the surrounding neighborhood.
- As a community/social service organization, the proposal provides adequate space for the services located within the building, which include religious assembly, child care, multi-purpose use, accessory office, and accessory residential.³
- After further review, Planning Department staff has determined that the project does not require Conditional Use Authorization pursuant to Planning Code Sections 121.1 and 726.11 for development on a lot above 10,000 sf, as stated in the public notification.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use authorization to allow the a non-residential use size in excess of 3,000 sf within the Valencia Street NCT Zoning District, pursuant to Planning Code Sections 121.2 and 726.21.

BASIS FOR RECOMMENDATION

- The project maintains and promotes a community/social service use, which serves the immediate neighborhood, as well as the City as a whole.
- The project would be consistent with the mixed residential-commercial character of the immediate neighborhood, and would serve the neighborhood's population.
- The project meets all applicable requirements of the Planning Code.
- The project is desirable for, and compatible with the surrounding neighborhood.
- The proposed project is located within the Mission Area Plan, and does not appear to be in conflict with its policies and objectives.

RECOMMENDATION: Approval with Conditions
--

Attachments:

- Parcel Map
- Sanborn Map
- Aerial Photographs
- Zoning Map
- Site Photographs
- Project Sponsor Submittal, including:
 - Reduced Architectural Drawings
- Environmental Determination
- Draft Motion

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> Health Dept. Review of RF levels |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Community Meeting Notice |
| <input checked="" type="checkbox"/> Context Photos | <input type="checkbox"/> Inclusionary Affordable Housing Program:
Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos | |

Exhibits above marked with an "X" are included in this packet

Planner's Initials

RS: G:\Documents\2011.0307E-C 1156 Valencia St\ExecutiveSummary_1156 Valencia St.doc

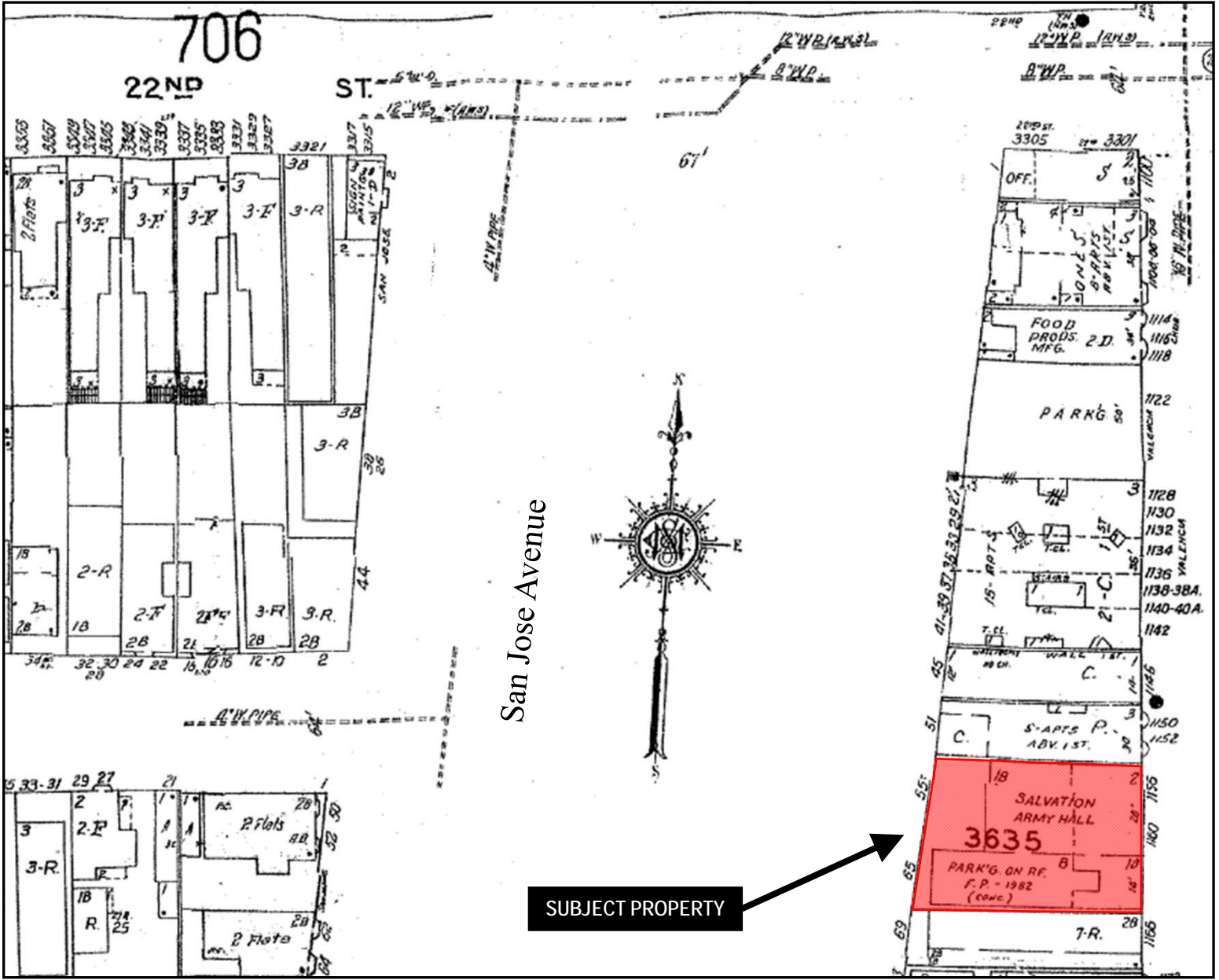
Parcel Map

SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2011.0307C
Use Size
1156 Valencia Street

Sanborn Map*

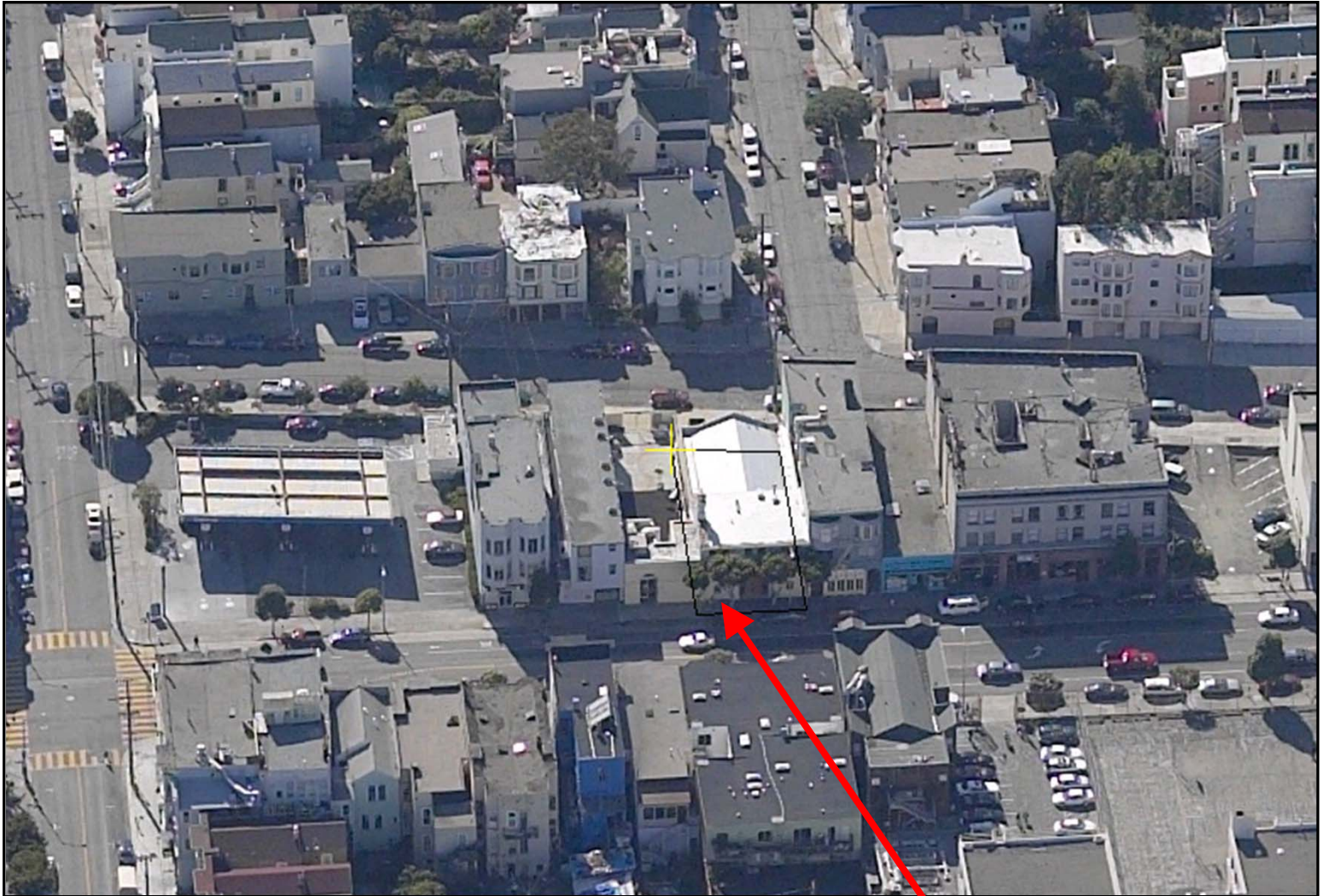


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Authorization
 Case Number 2011.0307C
 Use Size
 1156 Valencia Street

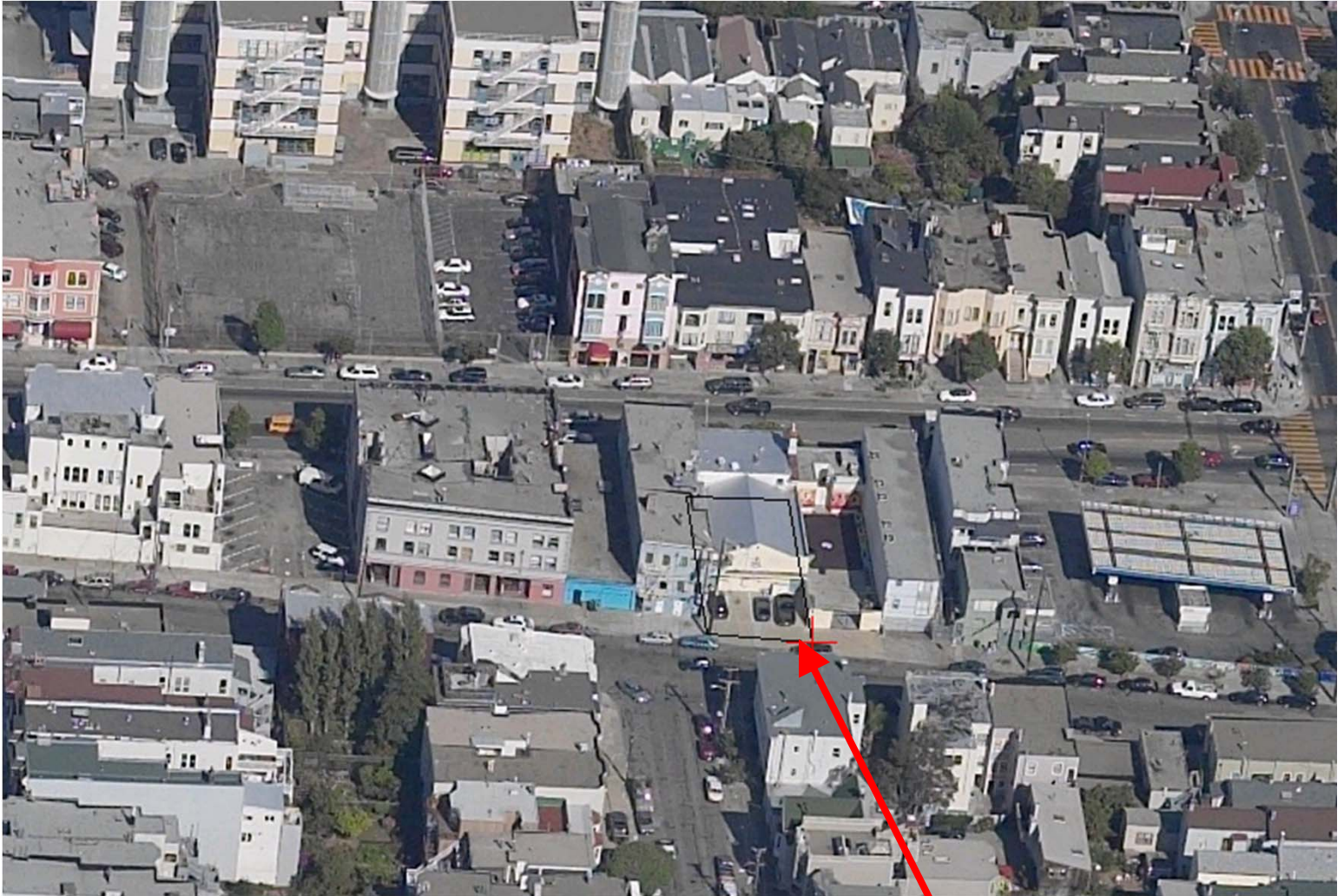
Aerial Photo



SUBJECT PROPERTY



Aerial Photo

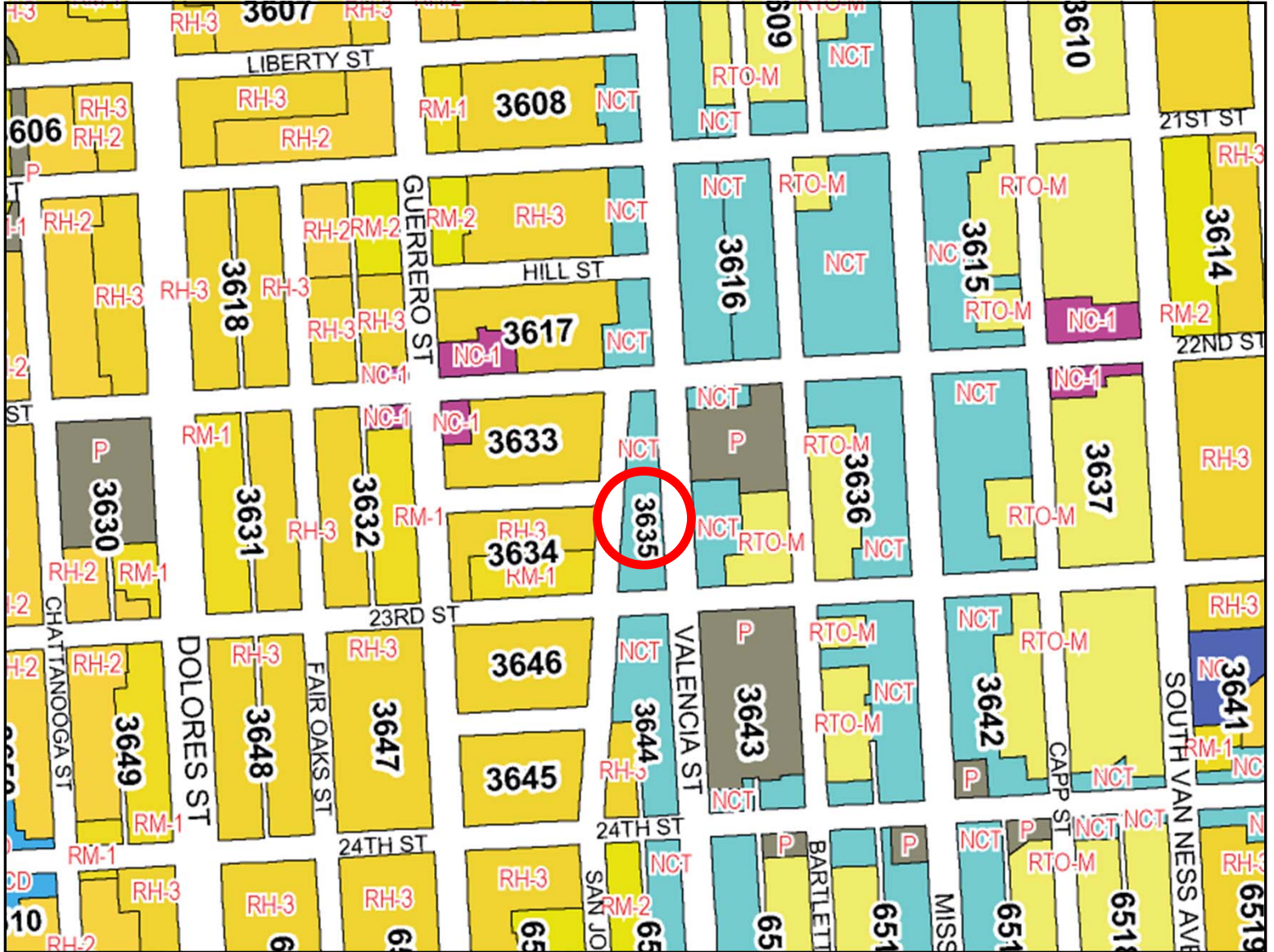


SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2011.0307C
Use Size
1156 Valencia Street

Zoning Map



Conditional Use Authorization
Case Number 2011.0307C
Use Size
1156 Valencia Street

Site Photo

SUBJECT PROPERTY



View of 1156 Valencia Street along San Jose Avenue

Conditional Use Authorization
Case Number 2011.0307C
Use Size
1156 Valencia Street

Site Photo

SUBJECT PROPERTY



View of 1156 Valencia Street along Valencia Street

Conditional Use Authorization
Case Number 2011.0307C
Use Size
1156 Valencia Street

SF MISSION CORPS RENOVATION

1156 VALENCIA STREET, SAN FRANCISCO CA 94110

for
THE SALVATION ARMY



ABBREVIATIONS	
& @ # (E) (L) (N) (PBO) (R) (RS) A.C. ACIOUS. A.D. AFF.G. AGGR. ALUM. APPROX. ARCH. ASB. ASSY. BD. BITUM. BLDG. BLK. BLKG. BM. BOT. B.U. CAB. C.B. CELL. CEM. CER. C.I.P. C.J. CKBK. CLG. CLK. CLK. CLO. CLR. COL. COIN. COIN. CORR. CONT. CNTR. C.T. CTR. CTSK. D.A. DBL. DEPT. DET. DIFF. DIM. DIA. DISP. DN. DR. D.O. D.W. DWR. DWG.(S) DS. E. EA. E.J. EL. ELEC. ELEV. EMER. ENCL. E.P. EQ. EQPT. E.W.C. EXIST. EXP. EXT. F.A. F.A.U. F.D. FDN. F.E. F.E.C. F.H.C. F.H.W.S. FIN. F.J. FL. FLASH. FLUOR. F.O. F.O.C. F.O.F. F.O.S. FPRF. FRP. FT. FTG. FURR	And Diameter Pound or Number Existing Leave New Provided by Owner Remove Remove & Save Asphaltic Concrete Acoustical Area Drain Adjustable Above Finished Floor/Grade Aggregate Aluminum Approximate Architectural Asbestos Assembley Board Bituminous Building Block Blocking Beam Bottom Built Up Cabinet Catch Basin Cellular Cement Ceramic Cast In Place Construction Joint or Control Joint Chalkboard Ceiling Clock Caulking Chest Clear Column Concrete Conference, Configuration Connection Corridor Continuous Counter Ceramic Tile Center Centersunk Disabled Accessible Double Department Drinking Fountain Detail Diffuser Dimension Diameter Dispenser Down Door Door Opening Dishwasher Drawer Drawing Downspout East Each Expansion Joint Elevation Electrical Elevator Emergency Enclosure Electrical Panel Equal Equipment Electric Water Cooler Existing Exposed or Expansion Exterior Fire Alarm Forced Air Unit Floor Drain Foundation Fire Extinguisher Fire Extinguisher Cabinet Fire Hose Cabinet Flat Head Wood Screw Finish Floor Joist Floor Flashing Fluorescent Face of Face of Concrete Face of Finish Face of Stud Fireproof Fiberglass Reinforced Panels Foot or feet Footing Furnish

DESIGN-BUILD FIRE ALARM & ELECTRIC SIGNAL CRITERIA	
<p>NOTE: THE FOLLOWING NOTES ARE INTENDED TO CLARIFY THAT QUALITY AND SCOPE CRITERIA FOR THE DESIGN-BUILD PORTION OF THIS PROJECT. NOT ALL NOTES WILL PERTAIN TO THIS SHEET.</p> <p><u>FIRE ALARM SYSTEM AND ELECTRICAL SIGNAL DESIGN-BUILD PROJECT:</u></p> <p>A. THE FIRE ALARM SYSTEM AND ELECTRICAL SIGNAL SYSTEMS ARE DESIGN-BUILD ON WHICH THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE FINAL DESIGN AND CONSTRUCTION OF THE ENTIRE SYSTEMS INSTALLATION AS NOTED ON THESE PLANS. THE CONTRACTOR SHALL BE THE DESIGNER AND ENGINEER OF RECORD FOR SUCH WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE COMPLETE AND CERTIFIED DESIGNS AND ENGINEERING FOR THIS PROJECT. THE CONTRACTOR'S WORK SHALL BE COMPLETE, INSTALLED AND APPROVED BY ALL GOVERNING AUTHORITIES AND SHALL COMPLY WITH ALL BUILDING CODES AND REQUIREMENTS APPLICABLE TO THIS PROJECT.</p> <p>B. PROJECT ARCHITECTURAL C.A.D. FILES ARE AVAILABLE WITHOUT COST TO THE SUCCESSFUL BIDDER.</p> <p>C. THE DESIGN-BUILD WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS IN EFFECT AT DATE OF SUBMISSION AND ARCHITECTURAL DESIGN AND ENGINEERING PROFESSIONAL STANDARDS.</p> <p>D. CONTRACTOR TO PROVIDE COMPLETE DESIGN DRAWINGS AND OUTLINE SPECIFICATIONS TO FIX AND DESCRIBE THE SIZE, QUALITY AND CHARACTER OF THE FIRE ALARM AND ELECTRICAL SIGNAL SYSTEMS IN THEIR ENTIRETY AND THE MATERIALS AND SUCH OTHER ELEMENTS OF THE PROJECT AS MAY BE APPROPRIATE. DRAWINGS WILL BE AT A MINIMUM OF 1/8" SCALE. THE REQUIREMENT FOR FINAL REVIEW DRAWINGS SHALL BE (5) FIVE SETS OF FULL SIZE DRAWINGS AND SPECIFICATIONS FOR REVIEW BY THE ARCHITECT WHEN READY.</p> <p>E. THE ARCHITECT OR THE ARCHITECTS CONSULTANTS REVIEW OF THE DESIGNS SHALL NOT DIMINISH THE RESPONSIBILITY OF THE DESIGN-BUILD CONTRACTOR AND THEIR SUBCONTRACTORS AS ENGINEERS OF RECORD.</p> <p>F. THE CONTRACTOR'S DESIGN DOCUMENTS SHALL BE READY FOR FINAL REVIEW WITHIN (30) THIRTY CALENDAR DAYS AFTER AWARD OF CONTRACT BY THE ARCHITECT. THE ARCHITECT AND/OR THEIR CONSULTANTS SHALL REVIEW THE SUBMITTALS WITHIN (14) FOURTEEN CALENDAR DAYS AND RETURN THE SAME TO THE CONTRACTOR. FINAL DOCUMENTS SHALL THEN BE READY FOR SUBMISSION TO THE BUILDING DEPARTMENT.</p> <p>G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING OBTAINING LOCAL FIRE MARSHALL APPROVAL.</p> <p>H. IF ANY CHANGES ARE REQUIRED TO OTHER ASPECTS OF THE DESIGN BECAUSE OF THE DESIGN OF THE DESIGN-BUILD SYSTEMS, THE COSTS OF MAKING SUCH CHANGES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p><u>ELECTRICAL DESIGN-BUILD PROJECT:</u></p> <p>1. ALL BRANCH CIRCUIT WIRING SHALL BE NON METALLIC SHEATHED CABLING, EXCEPT THAT RIGID STEEL CONDUIT (RSC) SHALL BE USED IN EXPOSED, WET LOCATIONS, GARAGES, OUTDOOR INSTALLATIONS, AND WHERE SUBJECT TO MECHANICAL DAMAGE, U.O.N.</p> <p>2. ALL EXPOSED CONDUITS SHALL BE RUN PARALLEL OR PERPENDICULAR TO BUILDING LINES, U.O.N.</p> <p>3. ALL CONDUIT PENETRATIONS THROUGH EXTERIOR WALLS, ROOFS, AND FLOORS SHALL BE SEALED WATER-TIGHT.</p> <p>4. PROVIDE COVER PLATES TO ALL OUTLET BOXES.</p> <p>5. REFER TO ARCHITECTURAL, MECHANICAL DRAWINGS, AND DRAWINGS OF OTHER TRADES FOR LOCATIONS AND KINDS OF ELECTRICALLY OPERATED EQUIPMENT INDICATED THEREON. PROVIDE POWER FOR AND MAKE FINAL CONNECTIONS TO THAT EQUIPMENT, AS PER MANUFACTURER'S REQUIREMENTS.</p> <p>6. VERIFY EQUIPMENT DIMENSIONS AND SPACE REQUIREMENTS PRIOR TO ROUGHING-IN FOR ELECTRICALLY OPERATED EQUIPMENT.</p> <p>7. PROVIDE CIRCUITS FOR LIGHTS, EQUIPMENT AND OUTLETS AS REGULATED BY CODE REQUIREMENTS.</p> <p>8. PROVIDE CODE SIZED RACEWAYS TO SUIT THE CIRCUITS FROM THE POINT OF ORIGIN TO THEIR HOME RUN.</p> <p>9. PROVIDE JUNCTION BOXES AND PULL BOXES REQUIRED BY CODES OR NEEDED IN THE FIELD TO FACILITATE INSTALLATION.</p> <p>10. RACEWAYS CARRYING CONDUCTORS SHALL INCLUDE GROUNDING CONDUCTOR, IN ACCORDANCE WITH TABLE 250-95 OF THE NATIONAL ELECTRICAL CODE.</p> <p>11. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF LIGHTING FIXTURES AND MOUNTING HEIGHTS OF ELECTRICAL DEVICES.</p> <p>12. COORDINATE WITH MECHANICAL DRAWINGS FOR ALL ELECTRICALLY OPERATED EQUIPMENT AND CONNECT COMPLETE ACCORDINGLY.</p> <p>13. CABLE TV SYSTEM</p> <p>I. FURNISH AND INSTALL A COMPLETE CABLE TV OUTLET AND WIRING SYSTEM READY FOR CONNECTION OF TELEVISION EQUIPMENT BY OWNER.</p> <p>II. CABLE TV COMPANY SHALL:</p> <p>a) PROVIDE AND INSTALL CENTRAL TERMINAL BOXES.</p> <p>b) PULL-IN ENTRANCE CABLE.</p> <p>c) TERMINATE CABLE HOME RUNS IN CONTROL TERMINAL BOXES.</p> <p>d) TERMINATE CABLE TV OUTLET CONNECTION IN OFFICES AND PROJECTOR CAGE.</p> <p>III. CONTRACTOR TO COORDINATE INSTALLATION WITH CABLE COMPANY.</p> <p>14. TELEPHONE OUTLET AND WIRING SYSTEM</p> <p>I. FURNISH AND INSTALL A COMPLETE TELEPHONE OUTLET AND WIRING SYSTEM READY FOR CONNECTION OF TELEPHONE DEVICES BY OWNER.</p> <p>II. OUTLETS: FLUSH TYPE WITH MODULAR PLUG.</p> <p>III. TELEPHONE CABLE 2 PAIRS FOR EACH OUTLET SHOWN.</p> <p>IV. ALL WIRING AND INSTALLATIONS TO BE COORDINATED WITH TELEPHONE COMPANY.</p> <p>15. COORDINATE WITH UTILITY COMPANIES (POWER, CABLE TV, AND TELEPHONE) FOR ALL REQUIREMENTS PRIOR TO START OF ANY WORK.</p> <p>16. ALL EXTERIOR LIGHTING TO HAVE #10 WIRES IN 3/4" CONDUIT MIN.</p> <p>17. LOCATE ALL PHOTOCELLS AS DIRECTED IN FIELD BY ARCHITECT.</p> <p>18. CONTRACTOR SHALL FURNISH REPRODUCIBLE SEPIA "AS-BUILTS" DRAWINGS TO THE ARCHITECT /OWNER AFTER THE COMPLETION.</p> <p>19. PROVIDE DEDICATED 20A 1PHASE 120V CIRCUIT TO THE BATHROOM OUTLET.</p> <p>20. ADDITIONAL EGRESS LIGHTING MAY BE REQUIRED AS DETERMINED BY FIRE INSPECTOR.</p> <p>21. PROVIDE 24" MIN. SEPARATION FOR ELECTRICAL DEVICES LOCATED BACK-TO-BACK IN A FIRE-RATED WALL. 22. RECEPTACLE IS REQUIRED IF ANY WALL WIDTH IS 2FT OR MORE. FROM ANY POINT ALONG WALL AT FLOOR LINE, A RECEPTACLE MUST BE NOT MORE THAN 8FT AWAY (PER NEC 210-52).</p> <p>23. BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM LIGHTING ARE TO BE HIGH EFFICIENCY LUMINARIES OR COMPLY WITH EXCEPTIONS AS FOLLOWS:</p> <p>1. PROVIDE MANUAL OR OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC 119(6) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINARIES TO ALWAYS BE ON.</p> <p>24. ALL RECESSED LUMINARIES IN INSULATED CEILINGS ARE "IC" RATED, ELECTRONIC BALLAST AND AIR-TIGHT (AT).</p> <p>25. REGARDING OUTDOOR LIGHTING. ALL LIGHTS PERMANENTLY MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT ARE TO BE HIGH-EFFICIENCY LUMINARIES OR COMPLY WITH EXCEPTIONS AS FOLLOWS:</p> <p>I. LIGHTS ARE TO BE CONTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTO CONTROL.</p> <p>II. LIGHTING NOT ATTACHED TO THE BUILDINGS ARE EXEMPT.</p> <p>26. PROVIDE INTERNET AND AUDIO-VISUAL WIRING FROM THE PROJECTOR LOCATION TO THE DESIGNATED AREA IN THE COMPUTER/READING ROOM.</p>	

GENERAL NOTES	
1.	PRIOR TO BID SUBMISSION, REVIEW THE WORK OF ALL TRADES BY REVIEWING A COMPLETE SET OF CONSTRUCTION DOCUMENTS & VERIFY ONSITE CONDITIONS. PROVIDE ANY ADDITIONAL DUCT, PIPING OR CONDUIT OFF-SETS, ETC. THAT MAY BE REQUIRED TO CLEAR WORK OF OTHER TRADES, NO EXTRA PAYMENT WILL BE ALLOWED FOR WORK RESULTING FROM LACK OF PROPER APPRAISAL OF THE COMPLETE SCOPE OF WORK.
2.	WHEREVER A SINGLE PRODUCT OR MANUFACTURER IS SHOWN OR REFERENCED IN THE CONTRACT DOCUMENTS, THAT PRODUCT OR MANUFACTURER SHALL BE CONSIDERED TO BE FOLLOWED BY THE PHRASE "OR EQUAL (NO KNOWN EQUAL)."
3.	ALL DIMENSIONS ARE TYPICALLY TO THE FACE OF STUDS AND CENTERLINES OF STRUCTURAL COLUMNS, UNON.
4.	ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO COMMENCEMENT OF WORK. RESUME WORK AFTER CONFLICTS HAVE BEEN RESOLVED.
5.	ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND THE HIGHEST STANDARDS OF THE TRADE.
6.	ALL WORK SHALL BE DONE IN A SAFE, ORDERLY MANNER WITHOUT DAMAGE TO OTHER PARTS OF THE PREMISES OR ADJACENT PROPERTIES.
7.	THE CONTRACTOR SHALL PROVIDE DUST COVERS AS REQUIRED TO CONTAIN DUST AND DEBRIS WITHIN CONSTRUCTION AREA, BROOM CLEAN ALL AREAS EACH DAY, KEEP DIRT TO A MINIMUM.
8.	WHERE (E) CONSTRUCTION IS CUT, DAMAGED, OR REMODELED, PATCH WITH MATERIALS TO MATCH IN KIND, QUALITY, FINISH, APPEARANCE & PERFORMANCE.
9.	WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISTURBANCE TO THE PUBLIC AND TO OCCUPANTS OF THE EXISTING BUILDING.
10.	THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR SAFETY OF ALL PERSONS ON OR ABOUT THE CONSTRUCTION SITE, IN ACCORDANCE WITH APPLICABLE LAWS AND CODES, GUARD AGAINST ALL HAZARDS IN ACCORDANCE WITH SAFETY PROVISIONS OF THE LATEST MANUAL OF ACCIDENT PREVENTIONS PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
11.	CLEAN ALL EXPOSED SURFACES AND NEW EQUIPMENT AFTER COMPLETION.
12.	MATERIALS USED ARE NEW, UNLESS OTHERWISE NOTED AS EXISTING.
13.	DO NOT SCALE THE DRAWINGS. DIMENSIONS TAKE PRECEDENCE.
14.	PROVIDE SOLID BLOCKING/BACKING FOR MOUNTING ALL EQUIPMENT AND FIXTURES AS REQUIRED, WHETHER SPECIFICALLY SHOWN IN THESE DRAWINGS OR NOT.
15.	ALL WORK SHOWN IS NEW UNLESS OTHERWISE NOTED.

APPLICABLE CODES	
2007 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC) (2006 IBC, AS AMENDED BY CA)	
2007 CALIFORNIA ELECTRICAL CODE, (CEC) (2005 NEC, AS AMENDED BY CA)	
2007 CALIFORNIA MECHANICAL CODE, (CMC) (2006 IAPMO UMC, AS AMENDED BY CA)	
2007 CALIFORNIA PLUMBING CODE (CPC) (2006 IAPMO UPC, AS AMENDED BY CA)	
2007 CALIFORNIA ENERGY CODE	

DEFERRED APPROVAL ITEMS (DESIGN BUILD)	
1.	GENERAL CONTRACTOR SHALL PROVIDE COMPLETE FIRE SPRINKLER SYSTEM, COVERING THE NEW AREA OF WORK. CONNECT TO EXISTING SYSTEM OR PROVIDE NEW SYSTEM AS REQUIRED BY THE CITY OF SAN FRANCISCO AND THE FIRE INSPECTOR. GENERAL CONTRACTOR SHALL SUBMIT THE SYSTEM TO THE ARCHITECT FOR APPROVAL ALSO.
2.	THE ELECTRICAL SYSTEM IS A DESIGN BUILD, SECURE CITY APPROVAL AND PROVIDE COMPLETE SYSTEM SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

SYMBOLS	
(KEY NOTE)	ROOMNAME / 101 / ROOM NAME/CEILING HEIGHT
(GRID LINE)	(1) / DETAIL REFERENCE
(DOOR NUMBER)	(1) / SECTION REFERENCE
(WINDOW LETTER)	(A) / FINISHES REFERENCE
(REVISION NUMBER)	(1) / INTERIOR ELEVATION REFERENCE
(REFERENCE TARGET)	(1) / EXTERIOR ELEVATION
(SIGN TYPE)	(S1) / AREA NOT ON ACCESSIBLE PATH OF TRAVEL (SEE SITE PLAN NOTE 3, SHT. A1.01)
(LOUVER NUMBER)	(1) / DENOTES AREA ACCESSORY TO PRIMARY OCCUPANCY CLASSIFICATION
(EXTERIOR ELEVATION)	(A) / DENOTES AREA ACCESSORY TO PRIMARY OCCUPANCY CLASSIFICATION

PROJECT INFORMATION	
PROJECT ADDRESS:	1156 VALENCIA STREET, SAN FRANCISCO, CALIFORNIA 94110
CODE ANALYSIS	A0.0 PROJECT INFORMATION
OCCUPANCY:	EXISTING BUILDING = A3, B & S BUILDING ADDITION = A3
CONSTRUCTION TYPE:	EXISTING BUILDING = V-1 HR SPRINKLERED, EQUIVALENT TO V-A BUILDING ADDITION = V-A SPRINKLERED
GROSS AREAS:	BASEMENT = 6,084 S.F. FIRST FLOOR = EXISTING WING = 3,875 S.F. FIRST FLOOR = ADDITION + EXISTING WING = 2,124 S.F. 2ND FLOOR RESIDENTIAL ACCESSORY USE = 1,189 S.F. TOTAL GROSS AREA = 13,372 S.F.
ALLOWABLE AREA:	PER TABLE 503 FOR A-3 OCCUPANCY IS -----> 11,500 S.F. AREA INCREASE BY AUTOMATIC SPRINKLER SYSTEM IS 200% PER 506.3 -----> 23,000 S.F. TOTAL ALLOWABLE AREA = 34,500 S.F. NON SEPARATED OCCUPANCIES MOST RESTRICTIVE IS A-3 13,372 S.F. < 34,500 S.F. OK
**NOTE: S AND B OCCUPANCIES ARE ACCESSORY TO A-3 AND ARE EACH LESS THAN 10% OF THE TOTAL AREA	
BUILDING HEIGHT:	ALLOWABLE = 2 STORIES 50'-0" HEIGHT INCREASES PER 504 = 3 STORIES 70'-0" HEIGHT
BUILDING IS 2 STORIES AND 36'-0" HIGH; BUILDING COMPLES	
FIRE PROTECTION (2007 CBC TABLE 601)	
- CONSTRUCTION TYPE V-A (MEZZANINE FLOOR CONSTRUCTION) = 1 HR, CBC ITEM 13-1.4 TABLE 720.1 (3)	
- EXTERIOR WALLS = 1 HR, CBC ITEM 15-1.13 TABLE 720.1(2)	
- STRUCTURAL MEMBERS = 1 HR, CBC ITEM 14.1 TABLE 720.1 (1)	
- INTERIOR BEARING WALLS = 1 HR, CBC ITEM 15-1.15 TABLE 720.1 (2)	
- ROOF CONSTRUCTION = 1 HR, BUILDING'S ROOF AND STRUCTURE ABOVE IS EXEMPT PER NOTE "C" OF 2007 CBC 601.	
PLUMBING FIXTURE CALCULATIONS - PER TABLE 2902.1	
CLASSIFICATION: "PLACES OF WORSHIP"	
TOTAL OCCUPANCY = 975.8	
MALES = 488, FEMALES = 488	

GENDER/FIXTURE	PROVIDED FIXTURES	REQUIRED FIXTURES PER 2902.1	FIXTURE STATUS
MALE LAVS	4.5	1/200 2.4	4.5 > 2.4 = OK
FEMALE LAVS	4.5	1/200 2.4	4.5 > 2.4 = OK
MALE WATER CLOSETS	4.5	1/150 3.25	4.5 > 3.25 = OK
FEMALE WATER CLOSETS	6.5	1/75 8.5	6.5 > 8.5 = OK

SCOPE OF WORK	
1.	ENCLOSING THE OUTDOOR PLAYGROUND AREA SOUTH OF THE CHAPEL WITH NEW WALL, ROOF, AND HEATING ELEMENTS.
2.	ADDITIONAL BATHROOM AND OFFICES IN CONNECTION TO OUTDOOR PLAYGROUND.
3.	PROVIDING ENCLOSED PARKING SPACES BY REAR ENTRY.
4.	PROVIDING ENCLOSED TRASH/RECYCLING AREA.

PROJECT DIRECTORY	
CLIENT THE SALVATION ARMY Golden State Division 1156 Valencia Street San Francisco, CA 94110 Contact: Major Kelly Pontsler General Secretary, SF Metro Coordinator	ARCHITECT KODAMA DISEÑO ARCHITECTS 619 Sansome St San Francisco, CA 94111 t: (415) 296.1144 f: (415) 296.1133 Contact: Carlos Caceres, Senior Project Manager carloscaceres@kodamadeseno.com t: (661) 623.3305
STRUCTURAL ENGINEER SOHA ENGINEERS 48 Colin P. Kelly Jr. Street San Francisco, CA 94107 t: (415) 989.3900 f: (415) 989.9909 Contact: Farshad Khodayari Email: fkhodayari@soha.com	MECHANICAL ENGINEER LMR ENGINEERS 1165 A Street Hayward, CA 94541 t: (510) 733.2330 f: (510) 733.0332 Contact: Leonard Rose Email: LMRengineers@aol.com

BID ALTERNATES	
1.	MOTORIZED COMPONENTS FOR OPERABLE LOUVERS.
2.	MOTORIZED SHADE BLACKOUTS AT OPERABLE LOUVERS.
3.	WALL PADDING PROTECTION.
4.	VINYL FLOOR REMOVAL AND REPLACEMENT IN BASEMENT/ DINING AREA.

INDEX OF DRAWINGS	
A0.0	PROJECT INFORMATION
ARCHITECTURAL	
A1.1	SITE PLAN
A2.1	BASEMENT & DEMOLITION 1ST FLOOR PLAN
A2.2	1ST FLOOR AND 2ND FLOOR PLANS
A2.3	ROOF & MEZZANINE PLANS
A7.1	BUILDING ELEVATIONS
A7.2	BUILDING SECTIONS



SF Mission Corps Renovation for **The Salvation Army**
 1156 Valencia Street, San Francisco, California 94110

PRELIMINARY DESIGN

PROJECT INFORMATION

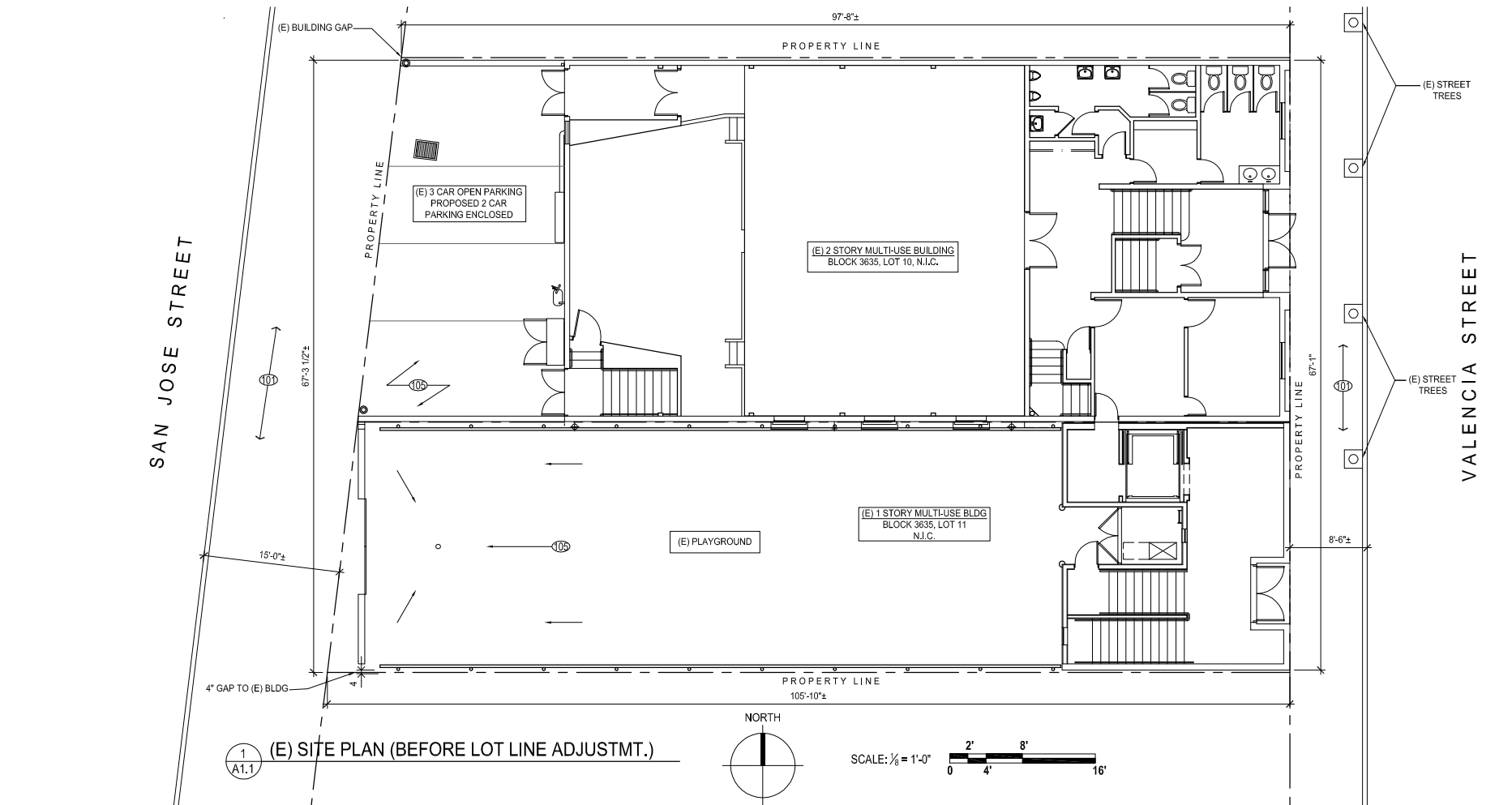
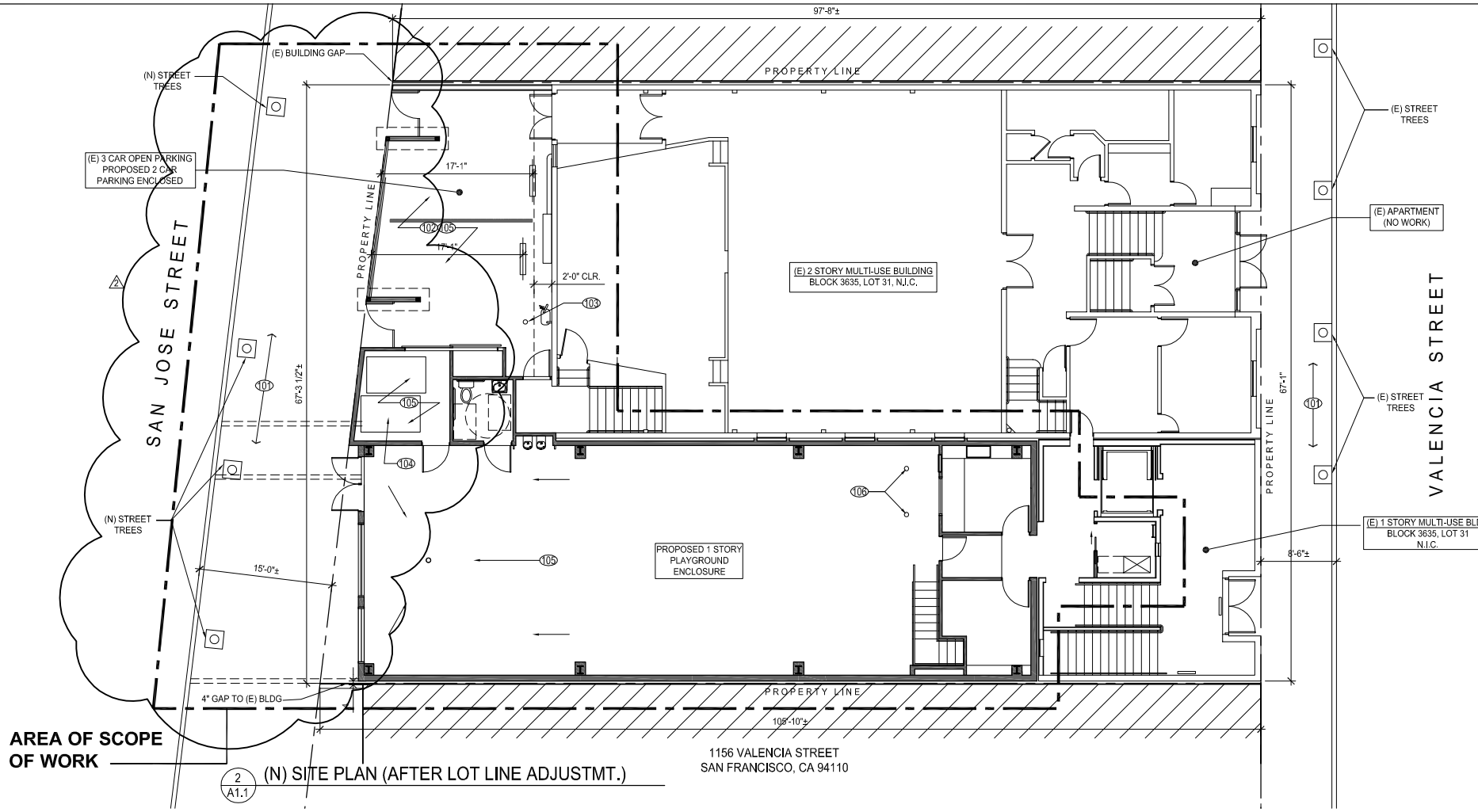
No.	DATE	DESCRIPTION	BY	CKD
	12/02/10	Permit Submittal	JW	CC
1	3/25/11	Planning Dept. Permit Re-submit	JW	RGB
2	9/8/11	Planning Dept. Permit Re-submit	JW	SK

LAST WORK DATE: _____

PLOT DATE: 9/8/11 DRAWN: _____

SCALE: N.T.S. SHEET: **A0.0**

JOB NO. 2.0802



GENERAL NOTES

- NOTE: NOT ALL NOTES WILL APPEAR ON ALL SHEETS.
- THIS PLAN SHOWS EXISTING FIRST FLOOR PLUS A LIMITED REPRESENTATION OF PROPOSED IMPROVEMENTS. REFER TO SHEET A2.02.01 FOR PROPOSED DEMOLITION AND SHEET A2.02.02 FOR NEW CONSTRUCTION.
 - ARCHITECT NOT RESPONSIBLE FOR EXISTING CONDITIONS
 - CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGES CAUSED TO EXISTING CONDITIONS TO REMAIN, BY HIS ACTIVITIES
 - CONTRACTOR IS RESPONSIBLE FOR STRUCTURAL INTEGRITY OF EXISTING CONDITION DURING DEMOLITION AND REMODELING WORK, PROVIDE SHORE AND BRACING AS REQUIRED
 - DIMENSIONS ARE TO CENTER OR FACE OF THE STUDS ONLY AND AS SHOWN, U.O.N

SITE PLAN KEYNOTES

- NOTE: NOT ALL NOTES WILL PERTAIN TO THIS SHEET.
- EXISTING SIDEWALK TO REMAIN, PROTECT DURING CONSTRUCTION
 - PARKING AREA, RE-STRIPE AND INSTALL CAR STOPS AS SHOWN
 - PIPE BOLLARD TO REMAIN
 - TRASH AND RECYCLING AREA CONTAINING TWO 8' STANDARD METAL BINS
 - EXISTING FLOOR SLOPE TO REMAIN
 - PIPE BOLLARDS. SEE DETAIL 3/A10.1
 - WHEEL STOP. SEE DETAIL 4/A10.1

LEGEND

- (E) INDICATES "EXISTING"
- (E) ADJACENT BUILDING TO REMAIN
- (E) PROPERTY LINE
- BUILDING WALL
- EXTENT OF SCOPE OF WORK

KODAMA DISEÑO
Architects & Planners
619 Sansome Street
San Francisco, California 94111
415.296.1144 tel
415.296.1133 fax

STEVEN Y. KODAMA
LICENSED ARCHITECT
STATE OF CALIFORNIA

SF Mission Corps Renovation

for
The Salvation Army

1156 Valencia Street, San Francisco, California 94110

PRELIMINARY DESIGN

SITE PLAN

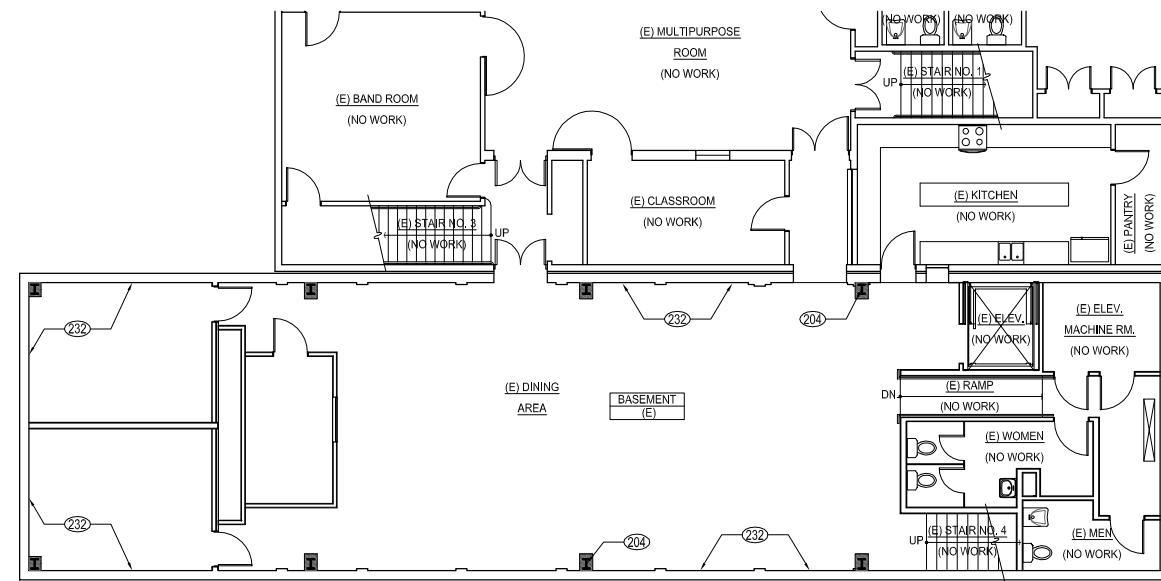
No.	DATE	DESCRIPTION	BY	CKD
	12/02/10	Permit Submittal	JW	CC
1	3/25/11	Planning Dept. Permit Re-submit	JW	RCB
	9/8/11	Planning Dept. Permit Re-submit	JW	SK

LAST WORK DATE

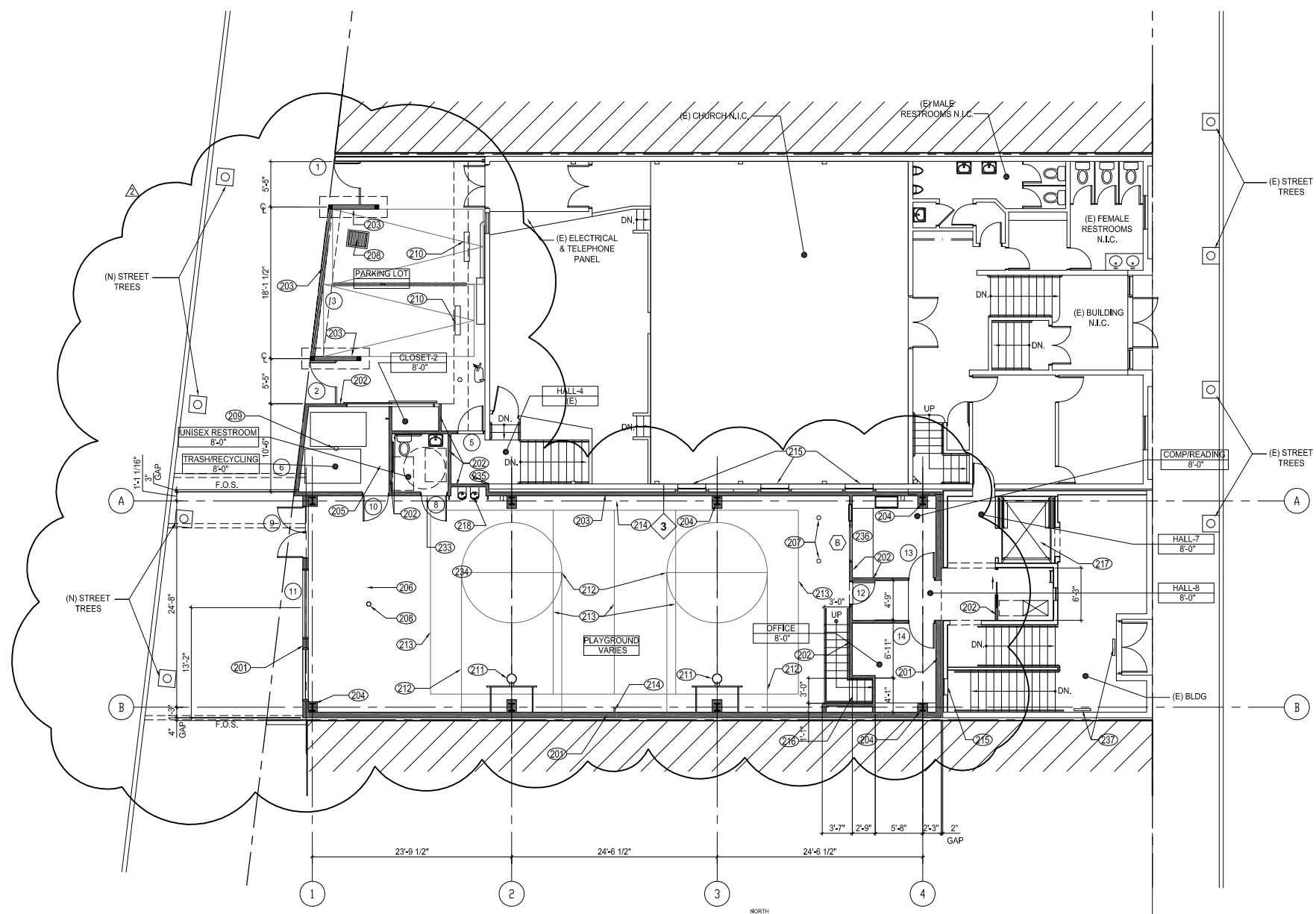
PLOT DATE 9/8/11 DRAWN JW

SCALE 1/8" = 1'-0" SHEET A1.1

JOB NO. 2.0802



1 BASEMENT LEVEL CONSTRUCTION PLAN SCALE: 1/8" = 1'-0" NORTH



2 1ST FLOOR CONSTRUCTION PLAN SCALE: 1/8" = 1'-0" NORTH

GENERAL NOTES

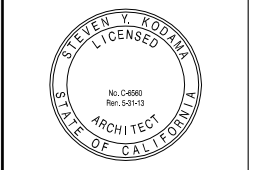
- NOTE: NOT ALL NOTES PERTAIN TO THIS SHEET.
- 1 THIS PLAN SHOWS EXISTING FIRST FLOOR PLUS A LIMITED REPRESENTATION OF PROPOSED IMPROVEMENTS. REFER TO SHEET A2.1 FOR PROPOSED DEMOLITION AND SHEET A2.2 FOR NEW CONSTRUCTION.
- 2 EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY AND WERE COLLECTED BASED ON INFORMATION PROVIDED BY THE OWNER AND ON SUPERFICIAL OBSERVATIONS. ARCHITECT DOES NOT GUARANTEE EXISTING CONDITIONS AND OR EXISTING STRUCTURAL OR UTILITY SYSTEMS. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO BIDDING OF THE PROJECT.
- 3 CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGES CAUSED TO EXISTING CONDITIONS CALLED TO REMAIN IN THESE DRAWINGS.
- 4 CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE EXISTING CONDITIONS DURING DEMOLITION AND REMODELING WORK, PROVIDE SHORE AND BRACING AS REQUIRED.
- 5 DIMENSIONS ARE TO CENTER OR FACE OF THE STUDS ONLY AND AS SHOWN, U.O.N
- 6 NO CONSTRUCTION WORK IS REQUIRED ON THE BASEMENT EXCEPT TO PROVIDE FOR INSTALLATION OF COLUMNS FROM PLAYGROUND ABOVE. PAINT DINING AREA WALLS AND PATCH AND REPAIR AFFECTED AREAS. SEE ALTERNATE #4 SHEET A0.0.
- 7 KEY NOTES ARE TYPICAL FOR ALIKE CONDITIONS, U.O.N

CONSTRUCTION PLAN NOTES XXX

- NOTE: NOT ALL NOTES PERTAIN TO THIS SHEET.
- KEY NOTES
- 201 8" EXTERIOR WALL
 - 202 4" WALL
 - 203 6" WALL
 - 204 STEEL COLUMN. SEE STRUCTURAL DRAWINGS.
 - 205 4" MIN. CONCRETE CURB. U.I.F.
 - 206 SLOPING FLOOR TO REMAIN
 - 207 PIPE BOLLARD SEE DETAIL 3/A10.1
 - 208 EXISTING FLOOR DRAIN TO REMAIN
 - 209 FLOOR DRAIN. SEE SHEET P4
 - 210 CAR STOP SEE DETAIL 4/A10.1
 - 211 BASKETBALL HOOP SEE DETAIL 1/A10.1
 - 212 BASKETBALL COURT STRIPING SEE DETAIL 5/A10.1
 - 213 VOLLEYBALL STRIPING SEE DETAIL 6/A10.1
 - 214 VOLLEYBALL NET HOOKS WALL MOUNTED SEE DETAIL 2/A10.1
 - 215 CLOSE EXISTING WINDOW AND PROVIDE SWITCHED ARTIFICIAL LIGHT PER DETAIL 9/A10.1
 - 216 STAIRS TO MEZZANINE SEE DETAIL 22/A10.3
 - 217 EXISTING ELEVATOR TO REMAIN. PROTECT DURING CONSTRUCTION
 - 218 DRINKING FOUNTAIN SEE DETAIL 16/A10.1
 - 219 STANDING SEAM ROOF ON RIGID INSULATION BOARD AND METAL DECK SEE 8/A10.4
 - 220 ROOF HATCH SEE DETAIL 5/A10.4
 - 221 CLASS "A" BUILT-UP ROOF, AS SPECIFIED
 - 222 MEZZANINE, STORAGE AREA
 - 223 WOVEN WIRE PARTITION ENCLOSURE & DOOR W/ PADLOCK
 - 224 ROOF SUMP AND OVERFLOW DRAIN SEE DETAIL 14/A10.4
 - 225 EXISTING HVAC EQUIPMENT TO REMAIN; REFER TO MECHANICAL DRAWING
 - 226 (E) FIRE EXIT LADDER (N.I.C.). SHOW FOR PLAN CHECKING PURPOSES ONLY. EXISTING ROOF TO REMAIN UNDISTURBED
 - 227 (E) ROOF. PROTECT DURING CONSTRUCTION
 - 228 KEYNOTE NOT USED
 - 229 GUTTER SEE DETAIL 24/A10.5
 - 230 SOLARTUBE DAYLIGHT SKYLIGHTS SEE DETAILS 9/A10.4 AND 16/A10.4
 - 231 ROOF CRICKET, SLOPE AS SHOWN
 - 232 PAINT EXISTING WALL MURAL AS SELECTED BY ARCHITECT (ONE COLOR)
 - 233 NO FINISH FLOOR BREAK. MATCH TOILET F.F. TO (E) F.F. @ PLAY AREA
 - 234 FINISH FLOOR CHANGE. SEE DETAIL 15/A10.3
 - 235 REMOVE AND REPLACE (E) FLOOR IN THIS AREA ONLY
 - 236 COUNTERTOP SEE DETAIL 17/A10.1
 - 237 ADD A SIGN READING "NOT AN EXIT STAIR"

LEGEND

- WALL
- (E) WALL TO REMAIN
- ▨ (E) NEIGHBORS BUILDING TO REMAIN UNDISTURBED
- ⊗ INDICATES WALL TYPE SEE AT 7.1
- - - - - INDICATES 1 HR. FIRE RATED BEARING OR CORRIDOR WALLS



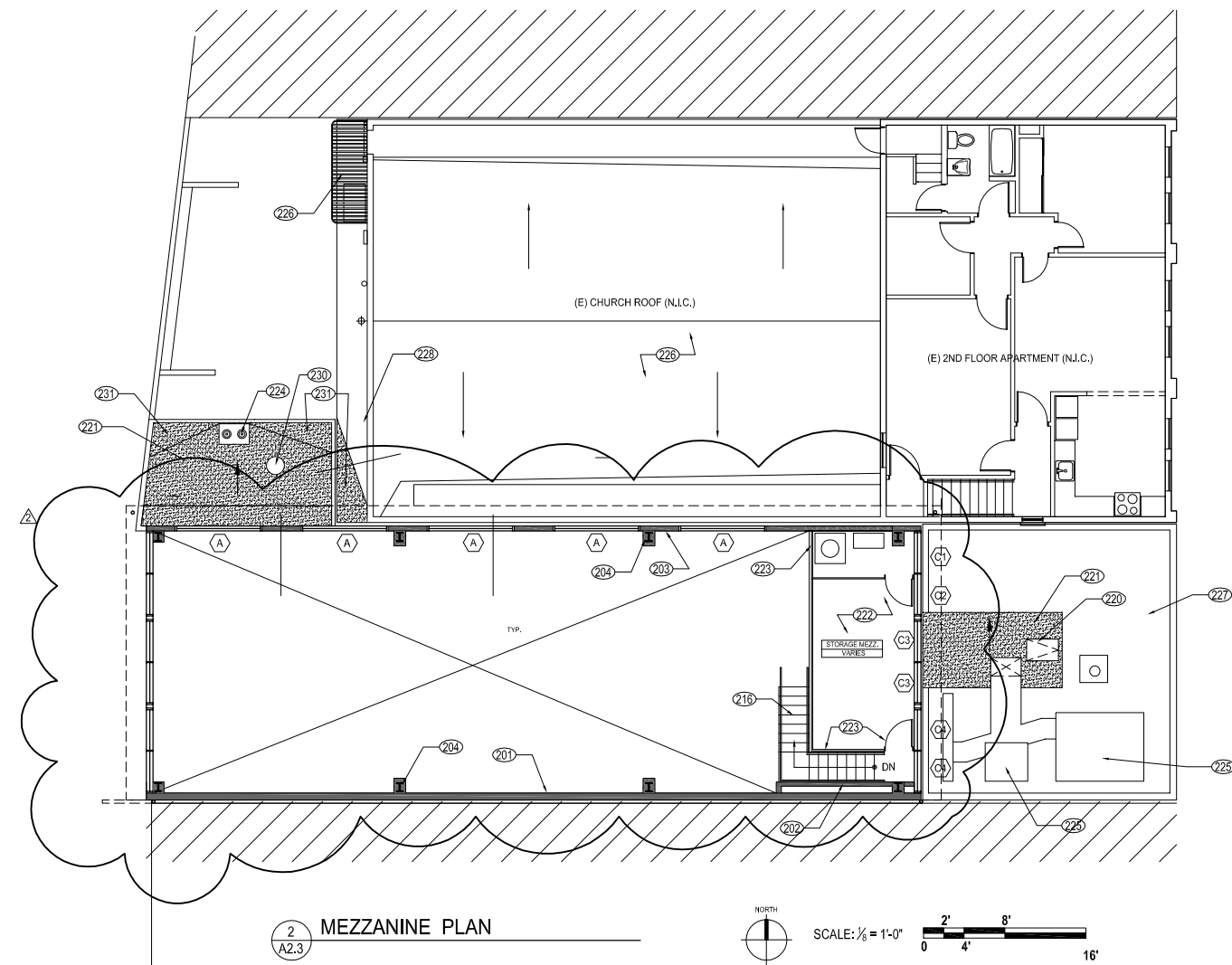
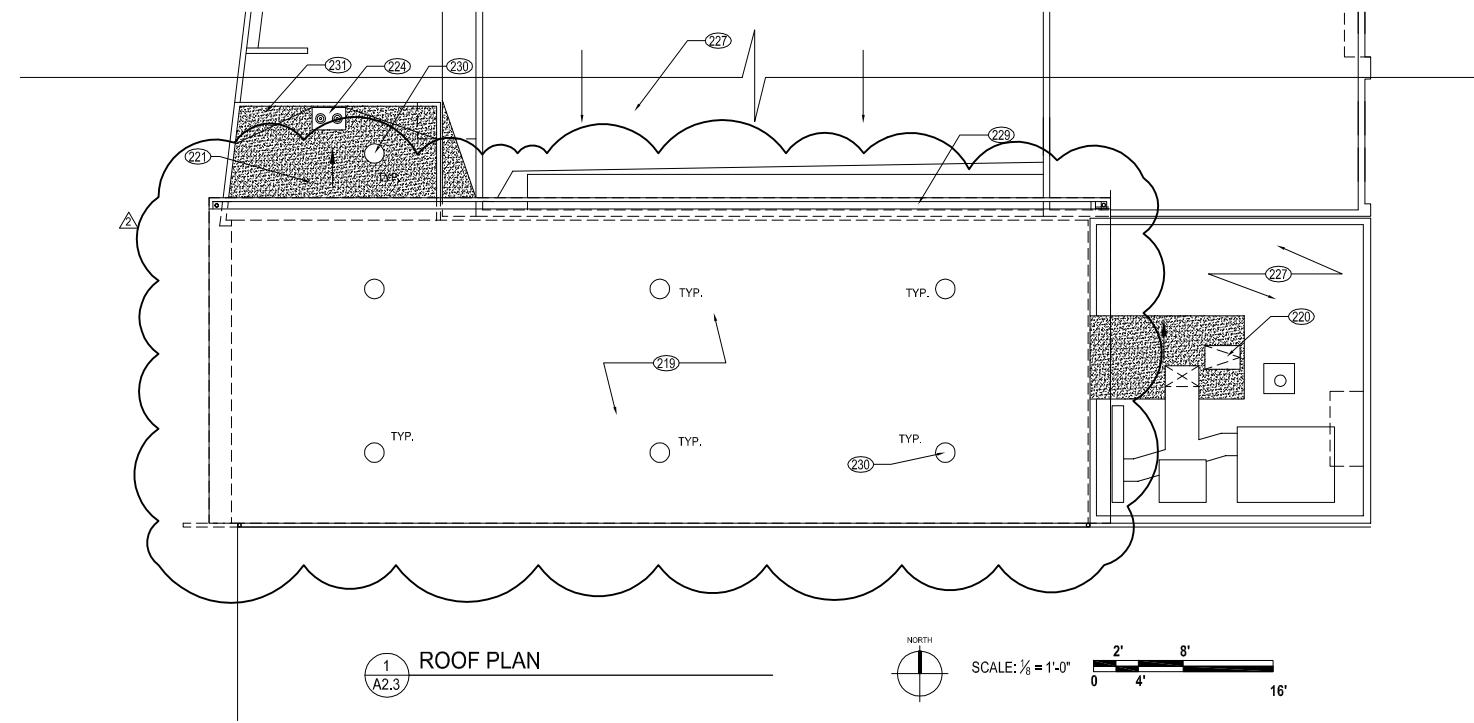
SF Mission Corps Renovation
for
The Salvation Army
1156 Valencia Street, San Francisco, California 94110

PRELIMINARY DESIGN

BASEMENT & 1ST FLOOR CONSTRUCTION PLANS

No.	DATE	DESCRIPTION	BY	CKD
	12/02/10	Permit Submittal	JW	CC
1	3/25/11	Planning Dept. Permit Re-submit	JW	RCB
2	9/8/11	Planning Dept. Permit Re-submit	JW	SK

LAST WORK DATE	
PLOT DATE	9/8/11
SCALE	1/8" = 1'-0"
JOB NO.	2,0802
SHEET	A2.2



GENERAL NOTES

- NOTE: NOT ALL NOTES PERTAIN TO THIS SHEET.
- THIS PLAN SHOWS EXISTING FIRST FLOOR PLUS A LIMITED REPRESENTATION OF PROPOSED IMPROVEMENTS. REFER TO SHEET A2.1 FOR PROPOSED DEMOLITION AND SHEET A2.2 FOR NEW CONSTRUCTION.
 - EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY AND WERE COLLECTED BASED ON INFORMATION PROVIDED BY THE OWNER AND ON SUPERFICIAL OBSERVATIONS. ARCHITECT DOES NOT GUARANTEE EXISTING CONDITIONS AND OR EXISTING STRUCTURAL OR UTILITY SYSTEMS. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO BIDDING OF THE PROJECT.
 - CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGES CAUSED TO EXISTING CONDITIONS CALLED TO REMAIN IN THESE DRAWINGS.
 - CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE EXISTING CONDITIONS DURING DEMOLITION AND REMODELING WORK. PROVIDE SHORE AND BRACING AS REQUIRED.
 - DIMENSIONS ARE TO CENTER OR FACE OF THE STUDS ONLY AND AS SHOWN, U.O.N
 - NO CONSTRUCTION WORK IS REQUIRED ON THE BASEMENT EXCEPT TO PROVIDE FOR INSTALLATION OF COLUMNS FROM PLAYGROUND ABOVE. PAINT DINING AREA WALLS AND PATCH AND REPAIR AFFECTED AREAS. SEE ALTERNATE #4 SHEET A0.0.
 - KEY NOTES ARE TYPICAL FOR ALIKE CONDITIONS, U.O.N.

CONSTRUCTION PLAN NOTES

- NOTE: NOT ALL NOTES PERTAIN TO THIS SHEET.
- KEY NOTES**
- 8" EXTERIOR WALL
 - 4" WALL
 - 6" WALL
 - STEEL COLUMN. SEE STRUCTURAL DRAWINGS.
 - 4" MIN. CONCRETE CURB, U.I.F.
 - SLOPING FLOOR TO REMAIN
 - PIPE BOLLARD SEE DETAIL 3/A10.1
 - EXISTING FLOOR DRAIN TO REMAIN
 - FLOOR DRAIN, SEE SHEET P4
 - CAR STOP SEE DETAIL 4/A10.1
 - BASKETBALL HOOP SEE DETAIL 1/A10.1
 - BASKETBALL COURT STRIPING SEE DETAIL 5/A10.1
 - VOLLEYBALL STRIPING SEE DETAIL 6/A10.1
 - VOLLEYBALL NET HOOKS WALL MOUNTED SEE DETAIL 2/A10.1
 - CLOSE EXISTING WINDOW AND PROVIDE SWITCHED ARTIFICIAL LIGHT PER DETAIL 9/A10.1
 - STAIRS TO MEZZANINE SEE DETAIL 22/A10.3
 - EXISTING ELEVATOR TO REMAIN. PROTECT DURING CONSTRUCTION
 - DRINKING FOUNTAIN SEE DETAIL 16/A10.1
 - STANDING SEAM ROOF ON RIGID INSULATION BOARD AND METAL DECK SEE 8/A10.4
 - ROOF HATCH SEE DETAIL 5/A10.4
 - CLASS "A" BUILT-UP ROOF, AS SPECIFIED
 - MEZZANINE. STORAGE AREA
 - WOVEN WIRE PARTITION ENCLOSURE & DOOR W/ PADLOCK
 - ROOF SUMP AND OVERFLOW DRAIN SEE DETAIL 14/A10.4
 - EXISTING HVAC EQUIPMENT TO REMAIN. REFER TO MECHANICAL DRAWING
 - (E) FIRE EXIT LADDER (N.I.C.). SHOW FOR PLAN CHECKING PURPOSES ONLY. EXISTING ROOF TO REMAIN UNDISTURBED
 - (E) ROOF. PROTECT DURING CONSTRUCTION
 - KEYNOTE NOT USED
 - GUTTER SEE DETAIL 24/A10.5
 - SOLARTUBE DAYLIGHT SKYLIGHTS SEE DETAILS 9/A10.4 AND 16/A10.4
 - ROOF CRICKET, SLOPE AS SHOWN
 - PAIN EXISTING WALL MURAL AS SELECTED BY ARCHITECT (ONE COLOR)
 - NO FINISH FLOOR BREAK. MATCH TOILET F.F. TO (E) F.F. @ PLAY AREA
 - FINISH FLOOR CHANGE. SEE DETAIL 15/A10.3
 - REMOVE AND REPLACE (E) FLOOR IN THIS AREA ONLY
 - COUNTERTOP SEE DETAIL 17/A10.1
 - ADD A SIGN READING "NOT AN EXIT STAIR"

LEGEND

- WALL
- INDICATES ROOF SLOPE DIRECTION
- (E) NEIGHBORS BUILDING TO REMAIN UNDISTURBED
- METAL ROOF PANELS
- CLASS A BUILT UP ROOF

KODAMA DISEÑO
Architects & Planners
619 Sansome Street
San Francisco, California 94111
415.296.1144 tel
415.296.1133 fax

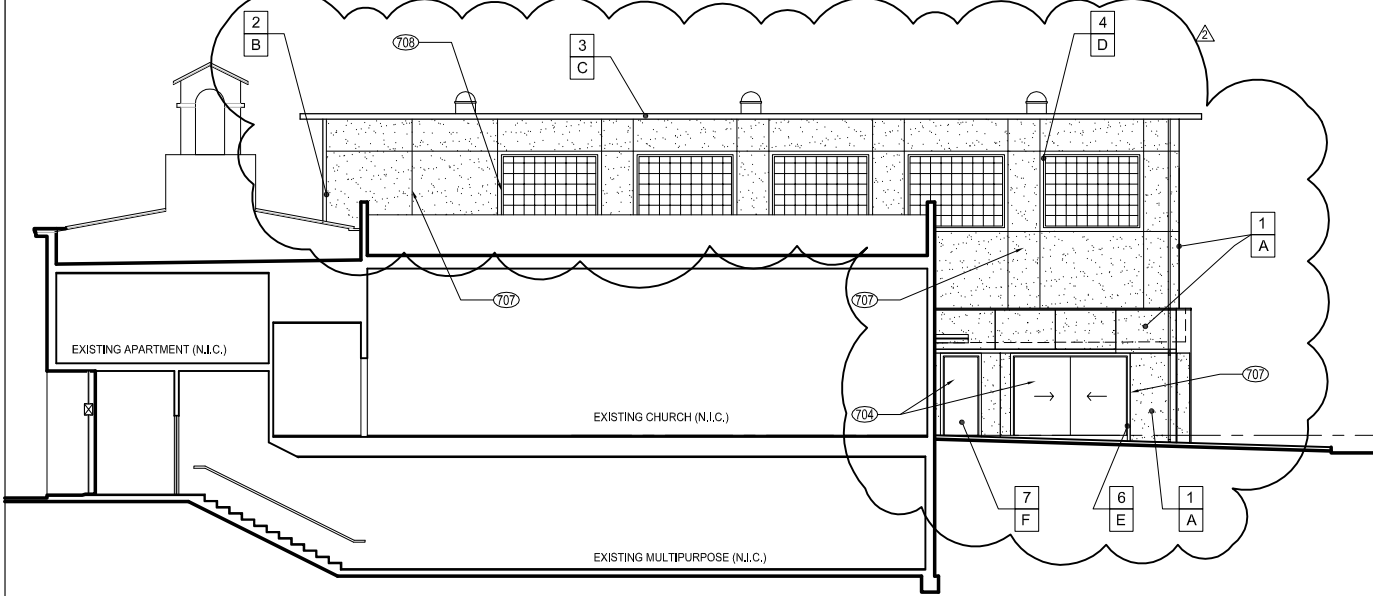
CONSULTANT

SF Mission Corps Renovation
for
The Salvation Army
1156 Valencia Street, San Francisco, California 94110

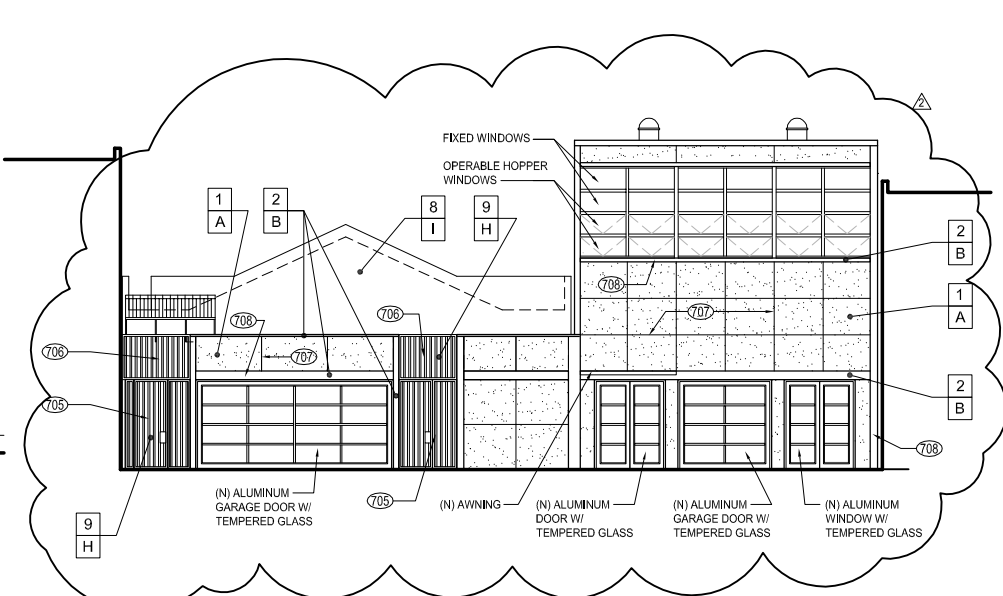
PRELIMINARY DESIGN

ROOF & MEZZANINE PLANS

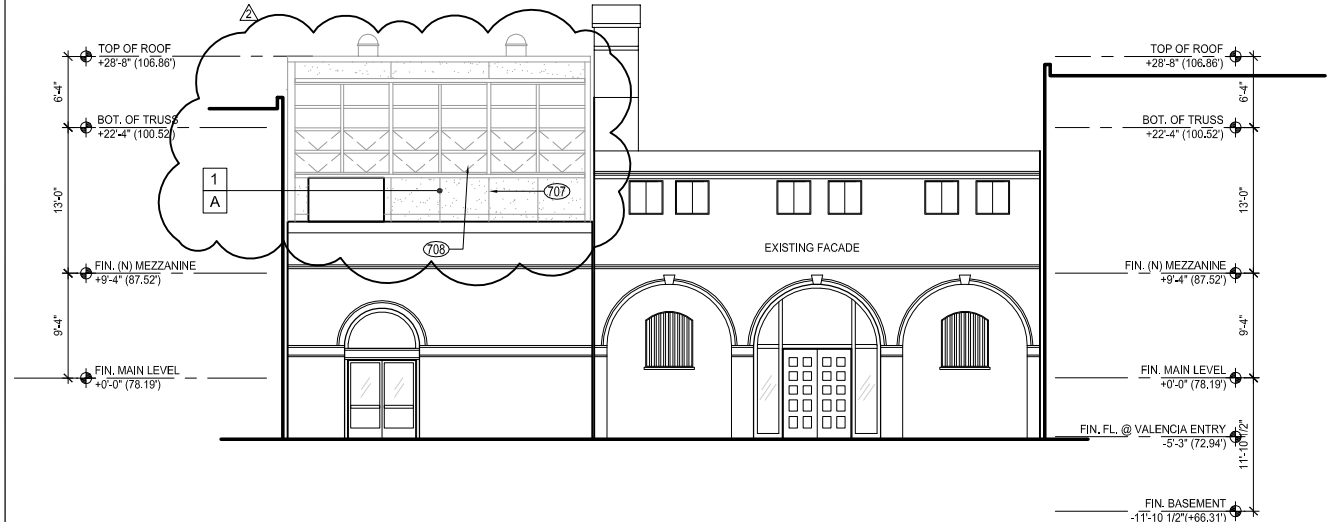
No.	DATE	DESCRIPTION	BY	CKD
	12/02/10	Permit Submittal	JW	CC
1	3/25/11	Planning Dept. Permit Re-submit	JW	RCB
△	9/8/11	Planning Dept. Permit Re-submit	JW	SK
LAST WORK DATE				
PLOT DATE	9/8/11	DRAWN		
SCALE	1/8" = 1'-0"	SHEET	A2.3	
JOB NO.	2,0802			



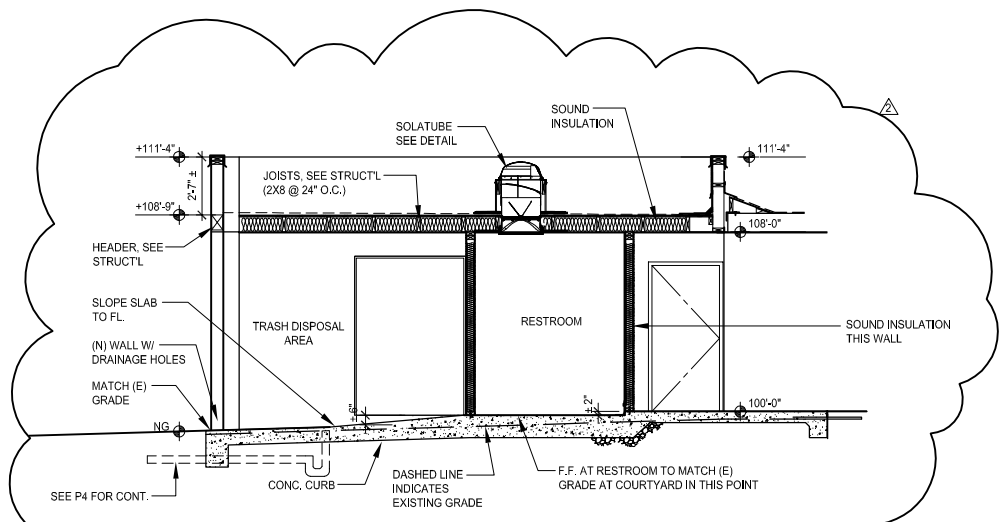
2 ELEVATION
A7.1



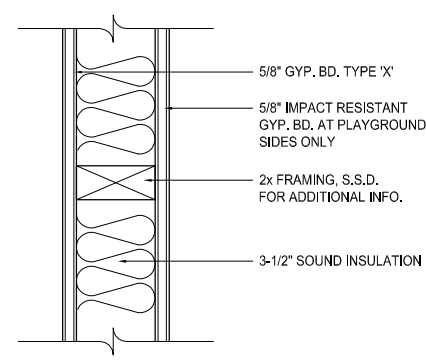
1 ELEVATION
A7.1



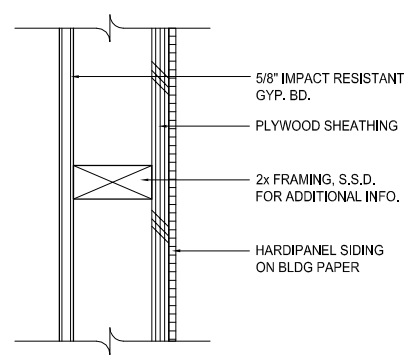
3 ELEVATION
A7.1



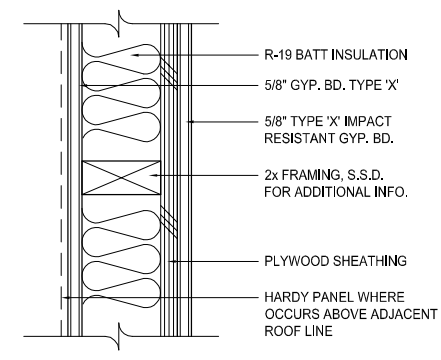
4 SECTION THROUGH RESTROOM
A7.1 1/4" = 1'-0"



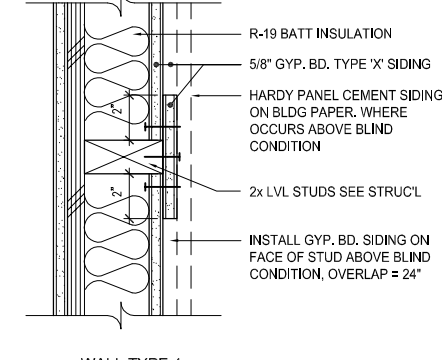
WALL TYPE 1
1 HR WHERE SHOWN PER CBC TABLE 720.1 (2) ITEM 15-1.15 TABLE 720.1 (2)



WALL TYPE 2



WALL TYPE 3
1 HR CBC TABLE 720.1 (2) ITEM 15-1.13



WALL TYPE 4
1 HR CBC TABLE 720.1 (2) ITEM 15-1.13.
TALL WALL W/ 9-1/2" LVL'S
(BLIND CONDITION SHOWN)

GENERAL NOTES

- NOTE: NOT ALL NOTES PERTAIN TO THIS SHEET.
- THIS PLAN SHOWS EXISTING FIRST FLOOR PLUS A LIMITED REPRESENTATION OF PROPOSED IMPROVEMENTS. REFER TO SHEET A2.1 FOR PROPOSED DEMOLITION AND SHEET A2.2 FOR NEW CONSTRUCTION.
 - EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY AND WERE COLLECTED BASED ON INFORMATION PROVIDED BY THE OWNER AND ON SUPERFICIAL OBSERVATIONS. ARCHITECT DOES NOT GUARANTEE EXISTING CONDITIONS AND OR EXISTING STRUCTURAL OR UTILITY SYSTEMS. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO BIDDING OF THE PROJECT.
 - CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGES CAUSED TO EXISTING CONDITIONS CALLED TO REMAIN IN THESE DRAWINGS.
 - CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE EXISTING CONDITIONS DURING DEMOLITION AND REMODELING WORK, PROVIDE SHORE AND BRACING AS REQUIRED.
 - DIMENSIONS ARE TO CENTER OR FACE OF THE STUDS ONLY AND AS SHOWN, U.O.N.
 - NO CONSTRUCTION WORK IS REQUIRED ON THE BASEMENT EXCEPT TO PROVIDE FOR INSTALLATION OF COLUMNS FROM PLAYGROUND ABOVE, PAINT DINING AREA WALLS AND PATCH AND REPAIR AFFECTED AREAS. SEE ALTERNATE #4 SHEET A0.0.
 - KEY NOTES ARE TYPICAL FOR ALIKE CONDITIONS, U.O.N.

MATERIAL SCHEDULE

- MATERIALS:
- FLAT CEMENT COMPOSITE "HARDY PLANK" PANEL
 - CEMENT COMPOSITE TRIM, TYP. 4" U.O.N.
 - METAL ROOF
 - WINDOW FRAMES
 - LOUVER
 - DOOR FRAMES
 - METAL DOOR
 - EXISTING PLASTER
 - ORNAMENTAL METAL
 - ROLLED UP DOOR
- COLORS:
- A PANEL COLOR 1 PAINT
 - B TRIM COLOR 2 PAINT
 - C ROOF COLOR 3 INTEGRAL
 - D FRAME COLOR 4 PAINT
 - E FRAME COLOR 5 PAINT
 - F DOOR COLOR 6 PAINT
 - G PAINTED ALUMINUM COLOR 7
 - H ORNAMENTAL METAL COLOR PAINT 8
 - I PLASTER COLOR 9 PAINT

KEYNOTES

- NOT ALL KEYNOTES APPLY FOR THIS SHEET
- 701 OPERABLE LOUVER WITH BIRD SCREEN
 - 702 ROLL UP DOOR
 - 703 OVERHEAD GRILLE SECURITY DOOR
 - 704 DOOR
 - 705 ORNAMENTAL METAL GATE
 - 706 ORNAMENTAL METAL GATE CLOSURE PANEL ABOVE GATE
 - 707 PANEL JOINT, SEE DETAIL 4/A10.4
 - 708 4" HARDIPLANK PANEL TRIM, SEE DOOR DETAILS.
 - 709 METAL ROOF PANELS ON 4" RIGID INSULATION, SEE DETAIL 8/A10.4
 - 710 ROOF BEAM SEE STRUCTURAL DWGS.
 - 711 PROJECTOR TABLE N.I.C.
 - 712 SUSPENDED SCREEN HOUSING, SEE DETAIL 12/A10.1
 - 713 SCREEN
 - 714 BASKETBALL BOARD & HOOP SEE DETAIL 1/A10.1
 - 715 2" FOAM PROTECTION PAD SEE SPECIFICATIONS (ALTERNATE NO. 3)
 - 716 CHAIN LINK PARTITION
 - 717 FURNACE UNIT & DISTRIBUTION DUCTWORK IN BACKGROUND SEE MECHANICAL DWGS & DETAIL
 - 718 MEZZANINE FLOOR SEE STRUCTURAL DWGS.
 - 719 ROOF HATCH, SEE DETAIL 5/A10.4
 - 720 ROOF LADDER
 - 721 (E) HVAC UNIT TO REMAIN
 - 722 FURRED STEEL COLUMNS IN BACKGROUND
 - 723 PIPE BOLLARDS SEE DETAIL 3/A10.1
 - 724 R-22 WALL INSULATION
 - 725 PROVIDE FRAMED PROJECTION OPENING IN STL PARTITION. COORDINATE WITH PROJECT HEIGHT.
 - 726 LAYER OF ADDITIONAL TYPE 'X' SHEETROCK FOR FIRE PROTECTION OF HORIZONTAL HSS 6X8, SEE DETAIL 13/A10.3

LEGEND

- INDICATES WALL
- INDICATES EXISTING WALL
- INDICATES METAL ROOFING
- INDICATES HARDIPLANK

KODAMA DISEÑO
Architects & Planners
619 Sansome Street
San Francisco, California 94111
415.296.1144 tel
415.296.1133 fax

CONSULTANT

SEVEN Y. KODAMA
LICENSED
No. C-6986
Exp. 5/31/13
ARCHITECT
STATE OF CALIFORNIA

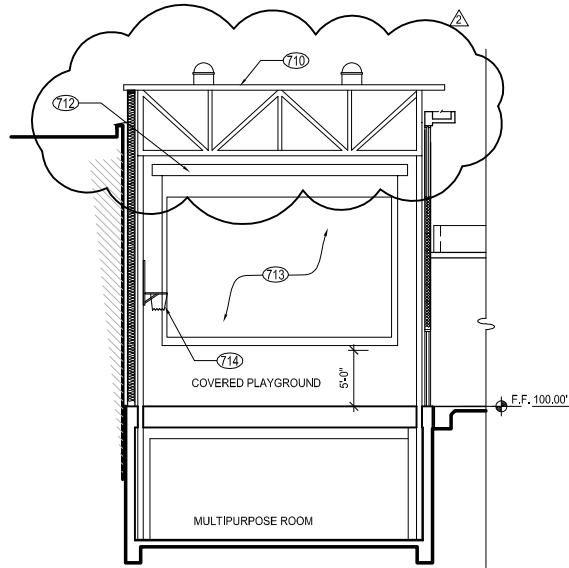
SF Mission Corps Renovation
for
The Salvation Army
1156 Valencia Street, San Francisco, California 94110

PRELIMINARY
DESIGN

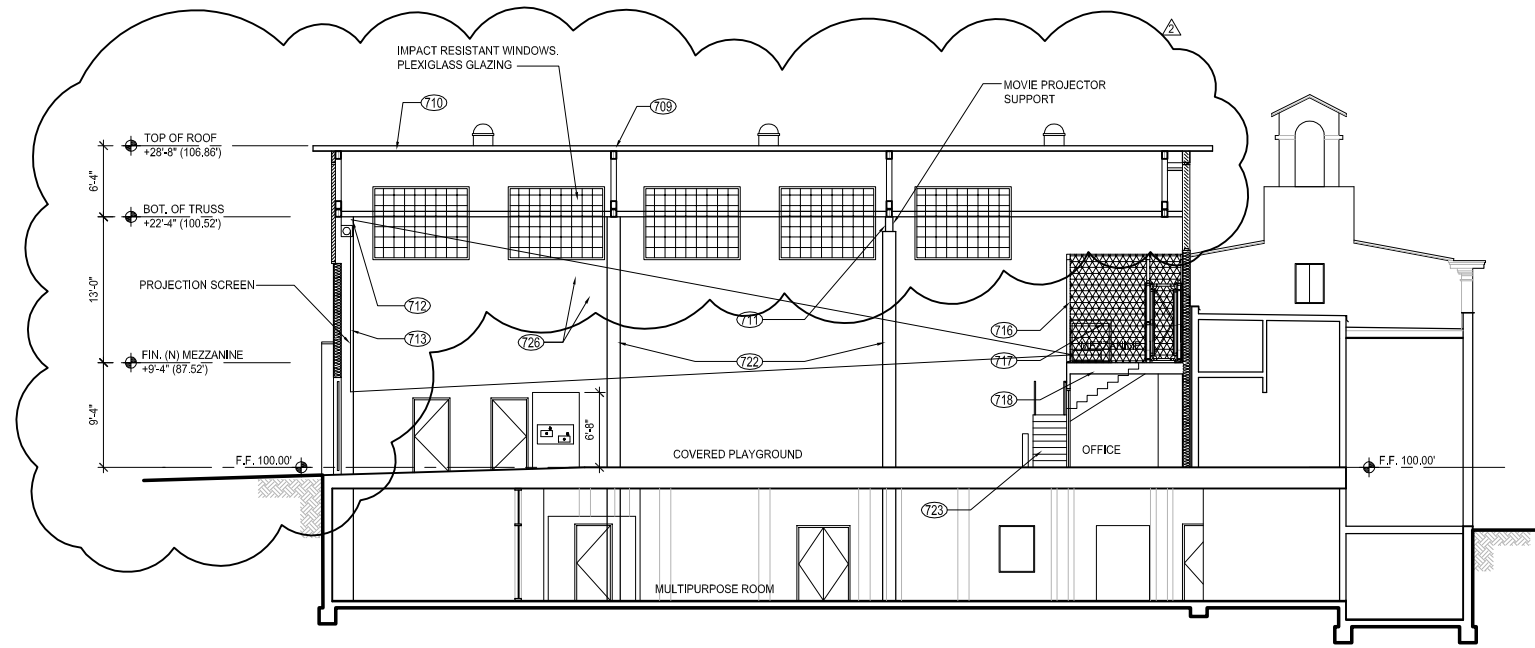
BUILDING
ELEVATIONS

No.	DATE	DESCRIPTION	BY	CKD
	12/02/10	Permit Submittal	JW	CC
1	3/25/11	Planning Dept. Permit Re-submit	JW	RCE
	9/8/11	Planning Dept. Permit Re-submit	JW	SK

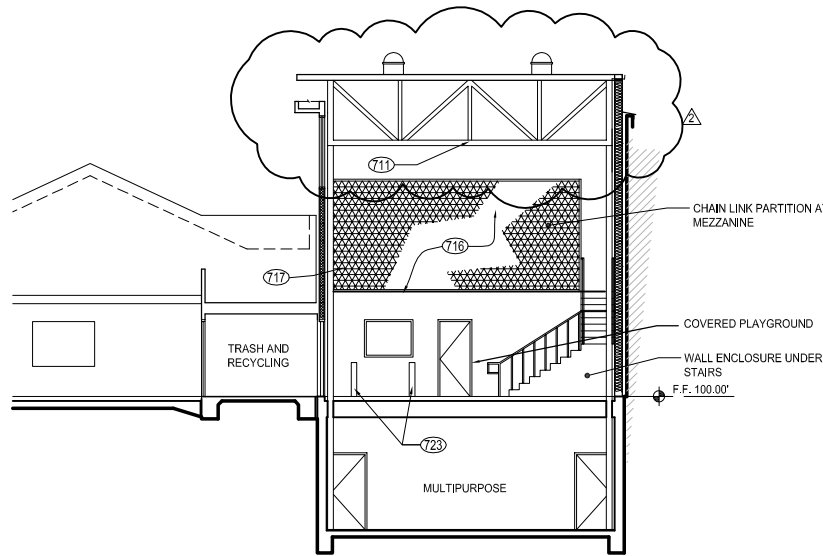
LAST WORK DATE	
PLOT DATE	9/8/11
SCALE	1/8" = 1'-0"
JOB NO.	2,0802
SHEET	A7.1



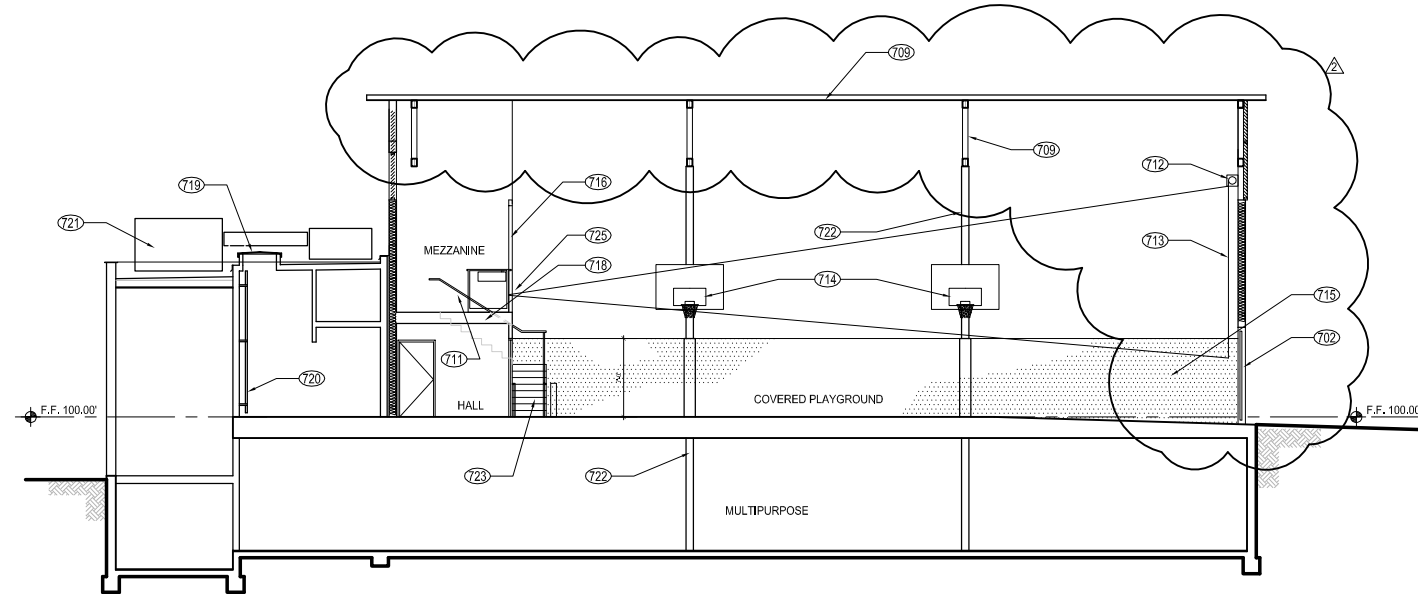
1 SECTION 1
A7.2



2 SECTION 2
A7.2



3 SECTION 3
A7.2



4 SECTION 4
A7.2

GENERAL NOTES

- NOTE: NOT ALL NOTES PERTAIN TO THIS SHEET.
- THIS PLAN SHOWS EXISTING FIRST FLOOR PLUS A LIMITED REPRESENTATION OF PROPOSED IMPROVEMENTS. REFER TO SHEET A2.1 FOR PROPOSED DEMOLITION AND SHEET A2.2 FOR NEW CONSTRUCTION.
 - EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY AND WERE COLLECTED BASED ON INFORMATION PROVIDED BY THE OWNER AND ON SUPERFICIAL OBSERVATIONS. ARCHITECT DOES NOT GUARANTEE EXISTING CONDITIONS AND OR EXISTING STRUCTURAL OR UTILITY SYSTEMS. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO BIDDING OF THE PROJECT.
 - CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGES CAUSED TO EXISTING CONDITIONS CALLED TO REMAIN IN THESE DRAWINGS.
 - CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE EXISTING CONDITIONS DURING DEMOLITION AND REMODELING WORK, PROVIDE SHORE AND BRACING AS REQUIRED.
 - DIMENSIONS ARE TO CENTER OR FACE OF THE STUDS ONLY AND AS SHOWN, U.O.N.
 - NO CONSTRUCTION WORK IS REQUIRED ON THE BASEMENT EXCEPT TO PROVIDE FOR INSTALLATION OF COLUMNS FROM PLAYGROUND ABOVE, PAINT DINING AREA WALLS AND PATCH AND REPAIR AFFECTED AREAS. SEE ALTERNATE #4 SHEET A0.0.
 - KEY NOTES ARE TYPICAL FOR ALIKE CONDITIONS, U.O.N.

MATERIAL SCHEDULE

MATERIALS:

- FLAT CEMENT COMPOSITE "HARDY PLANK" PANEL
- CEMENT COMPOSITE TRIM, TYP. 4" U.O.N.
- METAL ROOF
- WINDOW FRAMES
- LOUVER
- DOOR FRAMES
- METAL DOOR
- EXISTING PLASTER
- ORNAMENTAL METAL
- ROLLED UP DOOR

COLORS:

- PANEL COLOR 1 PAINT
- TRIM COLOR 2 PAINT
- ROOF COLOR 3 INTEGRAL
- FRAME COLOR 4 PAINT
- FRAME COLOR 5 PAINT
- DOOR COLOR 6 PAINT
- PAINTED ALUMINUM COLOR 7
- ORNAMENTAL METAL COLOR PAINT 8
- PLASTER COLOR 9 PAINT

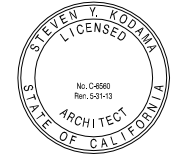
KEYNOTES

NOT ALL KEYNOTES APPLY FOR THIS SHEET

- 701 OPERABLE LOUVER WITH BIRD SCREEN
- 702 ROLL-UP DOOR
- 703 OVERHEAD GRILLE SECURITY DOOR
- 704 DOOR
- 705 ORNAMENTAL METAL GATE
- 706 ORNAMENTAL METAL GATE CLOSURE PANEL ABOVE GATE
- 707 PANEL JOINT, SEE DETAIL 4/A10.4
- 708 4" HARDYPLANK PANEL TRIM, SEE DOOR DETAILS.
- 709 METAL ROOF PANELS ON 4" RIGID INSULATION, SEE DETAIL 8/A10.4
- 710 ROOF BEAM SEE STRUCTURAL DWGS.
- 711 PROJECTOR TABLE N.I.C.
- 712 SUSPENDED SCREEN HOUSING, SEE DETAIL 12/A10.1
- 713 SCREEN
- 714 BASKETBALL BOARD & HOOP SEE DETAIL 1/A10.1
- 715 2" FOAM PROTECTION PAD SEE SPECIFICATIONS (ALTERNATE NO. 3)
- 716 CHAIN LINK PARTITION
- 717 FURNACE UNIT & DISTRIBUTION DUCTWORK IN BACKGROUND SEE MECHANICAL DWGS & DETAIL
- 718 MEZZANINE FLOOR SEE STRUCTURAL DWGS.
- 719 ROOF HATCH, SEE DETAIL 5/A10.4
- 720 ROOF LADDER
- 721 (E) HVAC UNIT TO REMAIN
- 722 FURRED STEEL COLUMNS IN BACKGROUND
- 723 PIPE BOLLARDS SEE DETAIL 3/A10.1
- 724 R-22 WALL INSULATION
- 725 PROVIDE FRAMED PROJECTION OPENING IN STL PARTITION. COORDINATE WITH PROJECT HEIGHT.
- 726 LAYER OF ADDITIONAL TYPE 'X' SHEETROCK FOR FIRE PROTECTION OF HORIZONTAL HSS 6X6, SEE DETAIL 13/A10.3

LEGEND

- INDICATES WALL
- INDICATES EXISTING WALL
- INDICATES METAL ROOFING
- INDICATES HARDYPLANK



SF Mission Corps Renovation

for
The Salvation Army
1156 Valencia Street, San Francisco, California 94110

PRELIMINARY
DESIGN

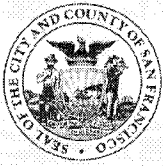
BUILDING
SECTIONS

No.	DATE	DESCRIPTION	BY	CKD
	12/02/10	Permit Submittal	JW	CC
1	3/25/11	Planning Dept. Permit Re-submit	JW	RCB
	9/8/11	Planning Dept. Permit Re-submit	JW	SK

LAST WORK DATE	
PLOT DATE	9/8/11
SCALE	1/8" = 1'-0"
JOB NO.	2,0802

SHEET
A7.2





SAN FRANCISCO
PLANNING
DEPARTMENT

CEQA Categorical Exemption Determination

Property Information

PROJECT ADDRESS 1156 Valencia Street		BLOCK/LOT(S) 3635/010
CASE NO. 2011.0307C	PERMIT NO.	PLANS DATED 9/15/11

STEP 1 EXEMPTION CLASS

- Class 1: Existing Facilities**
Interior and exterior alterations; additions under 10,000 sq.ft.; change of use if principally permitted or with a CU.
- Class 3: New Construction**
Up to three (3) single family residences; six (6) dwelling units in one building; commercial/office structures under 10,000 sq.ft.; accessory structures; utility extensions.

NOTE:
If neither class applies, an *Environmental Evaluation Application* is required.

STEP 2 CEQA IMPACTS (To be completed by Project Planner)

If condition applies, please initial.

_____ **Transportation:** Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?

_____ **Air Quality:** Would the project add new sensitive receptors (specifically, schools, colleges, universities, day care facilities, hospitals, residential dwellings [subject to Article 38 of the Health Code], and senior-care facilities)?

_____ **Hazardous Materials:** Would the project involve 1) change of use (including tenant improvements) and/or 2) soil disturbance, on a site with a former gas station, auto repair, dry cleaners, or heavy manufacturing use, or on a site with underground storage tanks?
Phase I Environmental Site Assessment required for CEQA clearance (E.P. initials required)

_____ **Soil Disturbance/Modification:** Would the project result in the soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in non-archeological sensitive areas?
Refer to: EP ArcMap > CEQA CatEx Determination Layers > Archeological Sensitive Areas

_____ **Noise:** Does the project include new noise-sensitive receptors (schools, colleges, universities, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area?
Refer to: EP ArcMap > CEQA CatEx Determination Layers > Noise Mitigation Area

_____ **Subdivision/Lot-Line Adjustment:** Does the project site involve a subdivision or lot-line adjustment on a lot with a slope of 20% or more?
Refer to: EP ArcMap > CEQA CatEx Determination Layers > Topography

NOTE:
If ANY box is initialed in STEP 2, Environmental Planner MUST review & initial below. (If not, go to STEP 3)

Further Environmental Review Required.

Based on the information provided, the project requires an *Environmental Evaluation Application* to be submitted.

GO TO STEP 6

Project Can Proceed With Categorical Exemption Review.

The project has been reviewed by the Environmental Planner and can proceed with categorical exemption review.

GO TO STEP 3

STEP 3 PROPERTY STATUS - HISTORICAL RESOURCE

Property is one of the following: (Refer to: San Francisco Property Information Map)

- Category A: Known Historical Resource** GO TO STEP 5
- Category B: Potential Historical Resource** (over 50 years of age) GO TO STEP 4
- Category C: Not a Historical Resource or Not Age Eligible** (under 50 years of age) GO TO STEP 6

STEP 4 PROPOSED WORK CHECKLIST (To be completed by ALL Planners)

If condition applies, please initial.

- 1. **Change of Use and New Construction** (tenant improvements not included).
- 2. **Interior alterations/interior tenant improvements.** Note: Publicly-accessible spaces (i.e. lobby, auditorium, or sanctuary) require preservation planner review.
- 3. **Regular maintenance and repair** to correct or repair deterioration, decay, or damage to the building.
- 4. **Window replacement** that meets the Department's *Window Replacement Standards*.
- 5. **Garage opening** that meets the *Guidelines for Adding Garages and Curb Cuts* (not including storefront window alterations).
- 6. **Deck, terrace construction, or replacement fences** that are not visible from any immediately adjacent public right-of-way.
- 7. **Mechanical equipment installation** not visible from any immediately adjacent public right-of-way.
- 8. **Dormer installation** that meets the requirements for exemption from public notification under *Zoning Administrator Bulletin: Dormer Windows*.
- 9. **Additions** that are not visible from any immediately adjacent public right-of-way for 150' in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.

NOTE:

- Project is **not listed:**
GO TO STEP 5
- Project **does not conform** to the scopes of work:
GO TO STEP 5
- Project involves **4 or more** work descriptions:
GO TO STEP 5
- Project involves **less than 4** work descriptions:
GO TO STEP 6

STEP 5 CEQA IMPACTS - ADVANCED HISTORICAL REVIEW (To be completed by Preservation Planner)

If condition applies, please initial.

- 1. Project involves a **Known Historical Resource (CEQA Category A)** as determined by Step 3 and conforms entirely to Scope of Work Descriptions listed in Step 4. (Please initial scopes of work in STEP 4 that apply.)
- 2. **Interior alterations to publicly-accessible spaces.**

- _____ 3. **Window replacement** of original/historic windows that are not "in-kind" but are consistent with existing historic character.
- _____ 4. **Façade/storefront alterations** that do not remove, alter, or obscure character-defining features.
- _____ 5. **Raising the building** in a manner that does not remove, alter, or obscure character-defining features.
- _____ 6. **Restoration** based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
- _____ 7. **Addition(s)**, including mechanical equipment that are minimally visible from a public right of way and meets the *Secretary of the Interior's Standards for Rehabilitation*.
- _____ 8. **Other work consistent** with the *Secretary of the Interior Standards for the Treatment of Historic Properties*
Specify: _____
- * _____ 9. **Reclassification of property status to Category C**
Specify: _____

* Requires Initial by Senior Preservation Planner / Preservation Coordinator

NOTE:
If ANY box is initialed in STEP 5, Preservation Planner MUST review & initial below.

Further Environmental Review Required.

Based on the information provided, the project requires an *Environmental Evaluation Application* to be submitted.

GO TO STEP 6

Project Can Proceed With Categorical Exemption Review.

The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review.

GO TO STEP 6

STEP 6 CATEGORICAL EXEMPTION DETERMINATION (To be completed by Project Planner)

- Further Environmental Review Required.**
Proposed Project does not meet scopes of work in either:
(check all that apply)
 Step 2 (CEQA Impacts) or
 Step 5 (Advanced Historical Review)

STOP!
Must file *Environmental Evaluation Application*.

No Further Environmental Review Required. Project is categorically exempt under CEQA.

Planner's Signature

9/16/11

Date

Once signed and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Other |

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Draft Motion

HEARING DATE: OCTOBER 6, 2011

Date: October 6, 2011
Case No.: **2011.0307C**
Project Address: **1156 VALENCIA STREET**
Zoning: Valencia Street NCT (Neighborhood Commercial Transit) Zoning District
55-X Height and Bulk District
Block/Lot: 3635/010
Project Sponsor: Ruben Castillo-Bañuelos
Kodama Diseño Architects
619 Sansome Street
San Francisco, CA 94111
Staff Contact: Richard Sucre – (415) 575-9108
richard.sucre@sfgov.org

ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 121.2, 303 AND 726.21 OF THE PLANNING CODE TO ALLOW A NON-RESIDENTIAL USE SIZE (D.B.A. SALVATION ARMY) IN EXCESS OF 3,000 SF WITHIN THE VALENCIA STREET NCT (NEIGHBORHOOD COMMERCIAL TRANSIT) DISTRICT AND A 55-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On April 7, 2011, Ruben Castillo- Bañuelos of Kodama Diseño Architects (hereinafter “Project Sponsor”), on behalf of the Salvation Army (Property Owner), filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Sections 121.2 and 726.21 of the Planning Code to allow a non-residential use size in excess of 3,000 sf (d.b.a. Salvation Army) within the Valencia Street NCT (Neighborhood Commercial Transit) Zoning District and a 55-X Height and Bulk District.

On October 6, 2011, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2011.0307C.

The project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 Categorical Exemption. The Commission has reviewed and concurs with said determination. The categorical

exemption and all pertinent documents may be found in the files of the Planning Department (hereinafter "Department"), as the custodian of records, at 1650 Mission Street, San Francisco.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2011.0307C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on a midblock through-lot (measuring approximately 97 ft by 40 ft by 103 ft by 40 ft; approximately 4,033 sf in lot area) with frontage on Valencia Street and San Jose Avenue, between 22nd and 23rd Streets, on Block 3635, Lot 010. The subject property is located within the Valencia Street NCT (Neighborhood Commercial Transit) Zoning District and a 55-X Height and Bulk District. The property is developed with a one- and two-story, wood-frame community center, containing approximately 11,692 total sq ft, and is solely occupied by the Salvation Army, which is a social service organization.
3. **Surrounding Properties and Neighborhood.** The area surrounding the project site is consistent in character with multi-unit residential-over-ground floor commercial properties and mid-size apartment buildings on Valencia Street, and multi-unit residential properties on San Jose Avenue. Along Valencia Street, a variety of commercial establishments are located within the ground floor storefronts in the surrounding area, including full service restaurants, coffee shops, a hardware store, an alternative medicine shop, and a travel agent. On the west side of Valencia Street, buildings in the immediate vicinity typically range from one to three stories in height; while, on the east side of Valencia Street, buildings in the immediate vicinity typically range from two to five-stories in height. To the west of Valencia Street within the adjacent blocks, the area is primarily characterized by residential neighborhoods, consisting of single-family residences and multi-family apartment buildings. The subject building is within two blocks of Mission Street, which primarily contains ground floor commercial uses (ex: coffee shop, full service restaurants and furniture shops) with a sparse collection of residential properties. The zoning districts adjacent to the project site include: Valencia St NCT to the north, south and east, and RH-3 and RM-1 to the west.
4. **Project Description.** The project sponsor proposes to enclose an existing playground and parking area, and construct a new gymnasium at 1156 Valencia Street (d.b.a Salvation Army). The project includes interior alterations to accommodate the new gymnasium, as well as new

restrooms, offices, an enclosed trash/recycling area, and a two-car parking area. Currently, this portion of the lot is open to San Jose Avenue, and is not enclosed by any walls or roof. The proposal would construct 2,124 sf dedicated to the enclosed gymnasium/playground and accessory office use, and would reduce the parking area to 334 sf. The new gymnasium/playground would accommodate approximately fifty-five children on a regular basis throughout the year, and approximately ninety children during the summer session months. The hours of operation for the new gymnasium would be from 8am to 5pm in the summer, and 2pm and 6pm for the remainder of the year.

5. **Public Comment.** The Department has received three inquiries regarding the proposal. Two of the inquiries requested information on the project. One inquiry expressed concern over nighttime activities related to the gymnasium.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Use Size [Non-Residential].** Section 726.21 states that a Conditional Use Authorization is required for non-residential use size in excess of 3,000 sf, as defined in Planning Code Section 121.2.

The Project Sponsor seeks to expand the existing building by enclosing an existing playground and constructing a new gymnasium/playground. The existing building contains approximately 11,692 sf. The proposal would add 2,124 sf, and the total square footage would be approximately 13,606 sf. Therefore, the proposal would intensify the size of the non-residential uses on the subject lot in excess of 3,000 sf.

- B. **Parking.** Section 726.22 of the Planning Code does not require off-street parking for commercial or institutional uses.

The existing building contains approximately 11,692 sf of occupied gross square footage and possesses three parking spaces, which occupy 544 sf. The proposal would reduce the number of off-street parking spaces from three to two and would reduce the parking area to 334 sf. The proposal would also screen the two parking spaces from the public right of way. Currently, the three parking spaces are located off of San Jose Avenue, and are not screened from the public right of way.

- C. **Street Trees.** Section 138.1 of the Planning Code requires a street tree for every 20-ft of lot frontage for projects providing additions greater than 20 percent of the existing floor area.

The proposal would construct an addition that is greater than 20 percent of the existing floor area, and therefore, two street trees are required on Valencia Street and two street trees are required on San Jose Avenue. Currently, the project site possesses four street trees along Valencia Street and no street trees on San Jose Avenue. The proposal will provide four street trees along San Jose Avenue, which is in excess of the street requirement.

7. **Planning Code Section 726.21** states that a Conditional Use Authorization is required for non-residential use size in excess of 3,000 sf, as defined in Planning Code Section 121.2 [Use Size, Non-Residential]. Per Section 121.2, the following criteria shall be considered to obtain such Conditional Use Authorization:

- a. The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.

The proposal assists in expanding the services of an existing community center by providing an enclosed gymnasium, minimal parking, and new offices and infrastructure. No other neighborhood-services uses in the area would be impacted by the proposal and the intensification of the activities on this project site.

- b. The proposed use will serve the neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function.

The existing community center (d.b.a. Salvation Army) provides services to the adjacent neighborhood and larger district, and the proposal would increase the organization's capacity to serve and provide new activities for children within the immediate neighborhood and surrounding area.

- c. The building in which the use is to be located is designed in discrete elements which respect the scale of development in the district.

The proposal would add a three-story gymnasium and screened parking area to an existing one- and two-story community center. This new building respects the scale and character of the immediate area by continuing the strong three-story scale present along San Jose Avenue and by improving the quality of the street through new streets and active ground-floor uses. All of these elements are consistent with the mixed commercial-residential character of the immediate neighborhood along Valencia Street and San Jose Avenue.

8. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The size of the proposed use is in keeping with size and scale of the adjacent residential developments. The immediate block along San Jose Avenue primarily features residential uses. The existing playground is currently enclosed on three sides and is open to above. The new gymnasium/playground will enclose this playground, and will provide expanded child care facilities to the immediate neighborhood and the larger City. This proposal is necessary and desirable, since the new gymnasium and associated infrastructure will complement the residential uses within the immediate neighborhood

and will contribute to the economic vitality of the neighborhood by continuing community/social service use.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposal would construct a two-story gymnasium behind an existing one-story building, and adjacent to a two-story chapel/multi-purpose building. The height and bulk of the existing building will remain the same. The proposal is similar in size and scale to the adjacent residential properties.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking for the proposed use. The proposed use should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide. The proposal provides two off-street parking spaces.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed project will comply with the City's requirements to minimize noise, glare, odors, or other harmful emissions. Conditions of approval are included to address potential issues.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposal will add four new street trees along San Jose Avenue, and will screen the off-street parking spaces. The proposal will not include a loading area, unusual lighting or signage.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

Although the proposed project is not residential or commercial in nature, the proposal is consistent with the stated purposes of Valencia Street NCT Zoning District in that it would allow for an improvement of livability of the adjacent residential areas and would contribute to a diversified environment. Further, the proposed project is consistent and compatible with the existing scale and character of the district and contributes to the district's positive visual qualities. The proposed project also does not impact other needed neighborhood-serving uses, will serve the immediate neighborhood in significant part, and respects the scale of development within the district.

9. **Mission Area Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the Mission Area Plan:

LAND USE

Objectives and Policies

OBJECTIVE 1.8:

MAINTAIN AND STRENGTHEN THE MISSION'S NEIGHBORHOOD COMMERCIAL AREAS.

Policy 1.8.1:

Ensure that the Mission's neighborhood commercial districts continue to serve the needs of residents, including immigrant and low-income households.

The proposal would assist in expanding the capacity of the existing community/social service use, which will serve the area's residents, as well as citywide.

COMMUNITY FACILITIES

Objectives and Policies

OBJECTIVE 7.1:

PROVIDE ESSENTIAL COMMUNITY SERVICES AND FACILITIES.

Policy 7.1.2:

Recognize the value of existing facilities, including recreational and cultural facilities, and support their expansion and continued use.

OBJECTIVE 7.2:

ENSURE CONTINUED SUPPORT FOR HUMAN SERVICE PROVIDERS THROUGHOUT THE EASTERN NEIGHBORHOODS.

Policy 7.2.2:

Encourage new facilities and spaces for providers of services such as English as a Second Language, employment training services, art, education and youth programming.

The proposal would construct a new enclosed gymnasium/playground, which will promote youth programming and physical education. Further, the proposal would assist in maintain an existing community/social service facility by enhancing the quality of the institution's services.

10. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMUNITY FACILITIES

Objectives and Policies

OBJECTIVE 3:

ASSURE THAT NEIGHBORHOOD RESIDENTS HAVE ACCESS TO NEEDED SERVICES AND A FOCUS FOR NEIGHBORHOOD ACTIVITIES.

Policy 3.1:

Provide neighborhood centers in areas lacking adequate community facilities.

Policy 3.5:

Develop neighborhood centers that are multipurpose in character, attractive in design, secure and comfortable, and inherently flexible in meeting the current and changing needs of the neighborhood served.

Policy 3.7:

Program the centers to fill gaps in needed services, and provide adequate facilities for ill-housed existing services.

The proposed project will maintain an existing community/social service institution and will provide a desirable project for the neighborhood and surrounding district. By enclosing the existing playground area, the proposal assists in promoting the health and safety of the associated youth. The Project Site is located within the Valencia Street NCT District and enhances the quality and livability of the residential properties within this area.

OBJECTIVE 4:

PROVIDE NEIGHBORHOOD CENTERS THAT ARE RESPONSIVE TO THE COMMUNITY SERVED.

Policy 4.1:

Assure effective neighborhood participation in the initial planning, ongoing programming, and activities of multi-purpose neighborhood centers.

The Project Sponsor has completed neighborhood outreach with the surrounding residents to review the proposal.

The following guidelines, in addition to others in this objective for community facilities, should be employed in the development of overall district zoning controls as well as in the review of individual permit applications, which require case-by-case review and Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

Criteria for Locating Neighborhood Center:

- The center should be located in an area which is easily accessible and highly visible to the population it is intended to serve.
- Areas near collector streets with relatively large amounts of vehicular and pedestrian traffic should be considered initially. The facility should not be placed on the major roadway but should be convenient to it.
- Centers should be located near support facilities such as schools, parks, libraries and recreational facilities.
- Locations near other types of services will substantially reduce the need for residents to travel to other parts of the city for needed services. Several purposes can then be accomplished in one trip.

The location should contain elements which act as a focus for the community.

- Sites near landmarks, neighborhood shops, or major intersections are often suitable locations.

Centers should be near public transit stops, especially those directly serving the population groups to be reached.

Service centers should be located within neighborhood boundaries; however, programs could be developed to serve surrounding or adjacent communities. Information and referral services, for example, could be utilized by persons other than local residents without causing a measurable reduction in program services to the local community.

Centers should be located so that center-related activities and center uses are compatible and supportive of adjacent land uses, and do not disrupt nor detract from adjoining uses.

Center sites should be protected from the negative effects of vehicular traffic. Facilities should be accessible without requiring patrons, particularly children and the elderly, to cross streets which carry heavy vehicular traffic. Entrances should be located in such a manner as to provide safe ingress and egress and smooth circulation patterns.

The proposal enhances an existing community/social service institution, which is located within a transit-oriented corridor that is in close proximity to several bus routes and BART. The proposal meets the criteria

for locating neighborhood centers in that the existing facility is easily accessible, highly visible, adjacent to vehicular and pedestrian traffic, near support facilities (including a school) and would provide added recreational services for children to the area's residents.

11. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposal would not impact existing neighborhood-serving retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The proposal will not impact the existing housing or neighborhood character. The surrounding neighborhood has a consistent character composed of residential and commercial uses.

- C. That the City's supply of affordable housing be preserved and enhanced,

The proposal will not impact the supply of affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project site is on Valencia Street and is well served by transit, and is in close proximity to MUNI bus routes and BART. Presumably, patrons will arrive by bus and car or by foot or bicycle. As related to the new gymnasium, parents may drop off their children to the gymnasium/playground area. Street parking is available in the surrounding neighborhood along San Jose Avenue and Valencia Street.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

As a community/social service use, the project does not affect industrial or service sectors.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The existing building and proposed new construction conforms to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the Project site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no negative impact on existing parks and open spaces. The Project is not in close proximity to any open spaces.

12. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
13. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2011.0307C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated September 8, 2011, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on October 6, 2011.

Linda D. Avery
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: October 6, 2011

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a non-residential use size in excess of 3,000 sf (d.b.a. Salvation Army) located at 1156 Valencia Street, Block 3635 and Lot 010 pursuant to Planning Code Section(s) 121.2 and 726.21 within the Valencia Street NCT Zoning District and a 55-X Height and Bulk District; in general conformance with plans, dated September 8, 2011, and stamped "EXHIBIT B" included in the docket for Case No. 2011.0307C and subject to conditions of approval reviewed and approved by the Commission on October 6, 2011 under Motion No XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on October 6, 2011 under Motion No XXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use Authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

MONITORING

3. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Revocation Due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

5. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>

6. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org