



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: JUNE 2, 2011

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: May 26, 2011
Case No.: **2011.0060D**
Project Address: **472 Connecticut Street**
Permit Application: 2010.08.23.9362
Zoning: RH-2 (Residential House, Two-Family)
40-X Height and Bulk District
Block/Lot: 4068/008
Project Sponsor: Ashton Richards
1607B McAllister Street
San Francisco, CA 94115
Staff Contact: Diego R Sánchez – (415) 575-9082
diego.sanchez@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The proposal is to construct an 80 square foot horizontal rear addition at the second story in the area of an existing deck and to construct a two-story deck with spiral stair at the rear of a two-family dwelling. The 80 square foot horizontal rear addition would not extend beyond the existing rear wall while the spiral stair would extend an additional five and a half feet beyond the existing rear building wall. The new deck will be setback three feet from the north side property line. The addition and deck would be within the required rear yard. A variance (Case No. 2008.0689V) seeking relief from the rear yard requirement in relation to the proposed rear expansion was granted on August 13, 2010.

SITE DESCRIPTION AND PRESENT USE

The project is located at 472 Connecticut Street, in the Potrero Hill neighborhood. The lot is on the west side of Connecticut Street, between 19th and 20th Street, in the RH-2 (Residential, House, Two-Family) Zoning District and the 40-X Height and Bulk District. The lot is a typical San Francisco lot of approximately 2,500 square feet in area, measures 25 feet in width and 100 feet in depth. The Building Permit Application proposing the rear horizontal addition (BPA No. 2010.08.23.9362) indicates two dwellings in the two story building.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project is located within the Potrero Hill neighborhood. To the east of the project site, directly across Connecticut Street, is an area of residential dwellings of one or more stories. Immediately to the south of the project and fronting 20th Street is the Potrero Branch of the San Francisco Public Library. Immediately to the north of the subject property is the residence of the DR Requestor. An educational institution and other residential uses are found further north of the Project. The surrounding properties are located within the RH-2 (Residential House, Two-Family), NC-2 (Small Scale Neighborhood Commercial) and P (Public Use) Districts.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	Dec 15, 2010 – Jan 14, 2011	Jan 14, 2011	Jun 2, 2011	139 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	May 23, 2011	May 23, 2011	10 days
Mailed Notice	10 days	May 23, 2011	May 23, 2011	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	
Other neighbors on the block or directly across the street	0	0	
Neighborhood groups	0	0	

As of the date of this report the Planning Department has not received any comments regarding the Discretionary Review hearing or the Building Permit Application.

DR REQUESTOR

DR Requestor is Robin Bonelli who lives at 468 Connecticut Street. This DR Requestor lives at the home immediately to the north of the project site.

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated January 14, 2011 and the DR Requestor Submission date May 17, 2011.

PROJECT SPONSOR’S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated May 18, 2011.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e)

Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

On February 10, 2011 the Residential Design Team (RDT) reviewed the project in response to the January 14, 2011 request for Discretionary Review. The RDT believes that the request for Discretionary Review does not demonstrate that the project contains or creates any exceptional or extraordinary circumstances and as such warrants an abbreviated DR. The RDT believes that the variance plans indicate the use of the same material for the windows and railing as indicated in the Building Permit Application and that the height of the proposed railing does not appear to have any unusual adverse effect on the privacy of any neighbors' interior living spaces, irrespective of material selection.

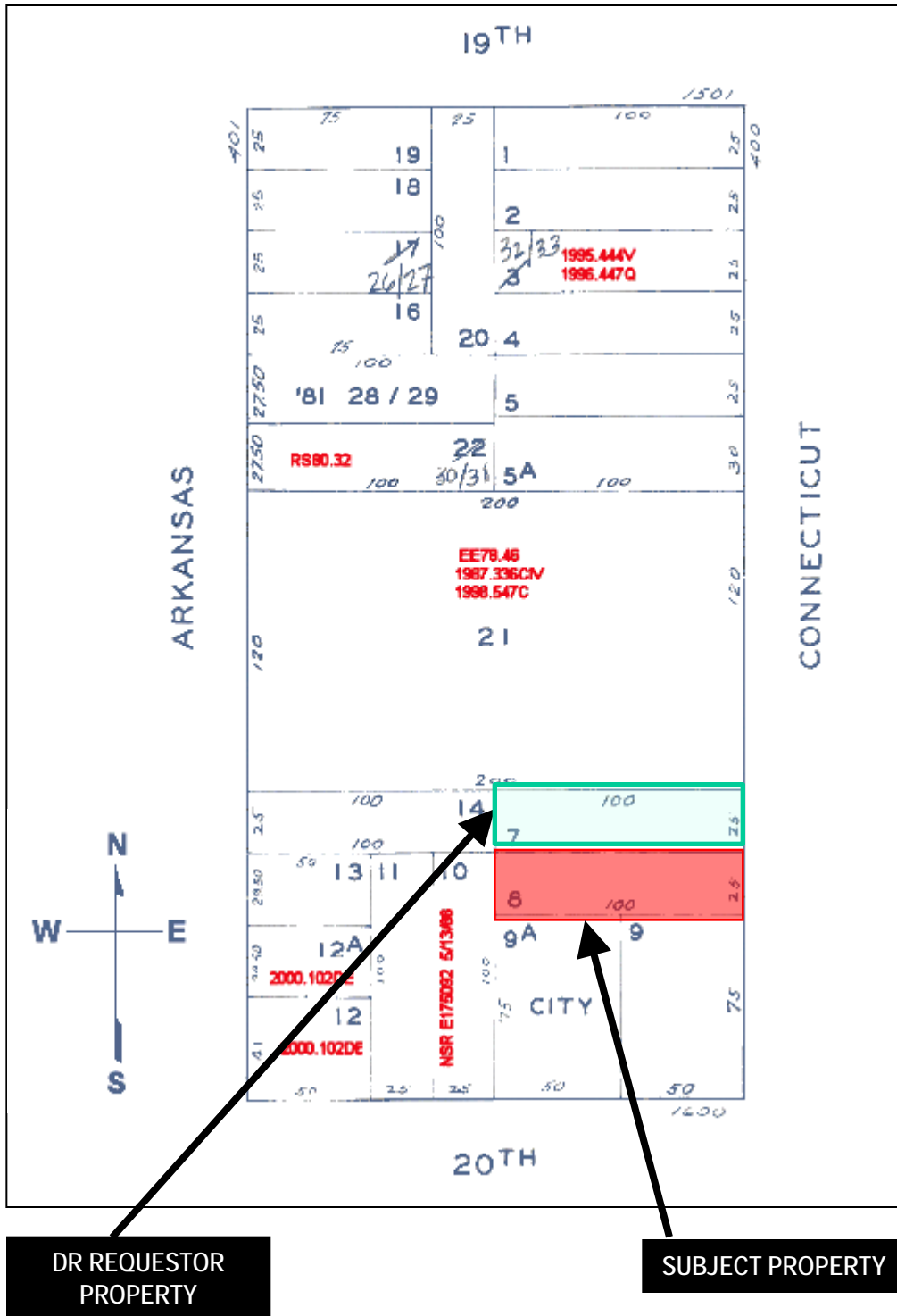
Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION: Do not take DR and approve project as proposed
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Attachments:

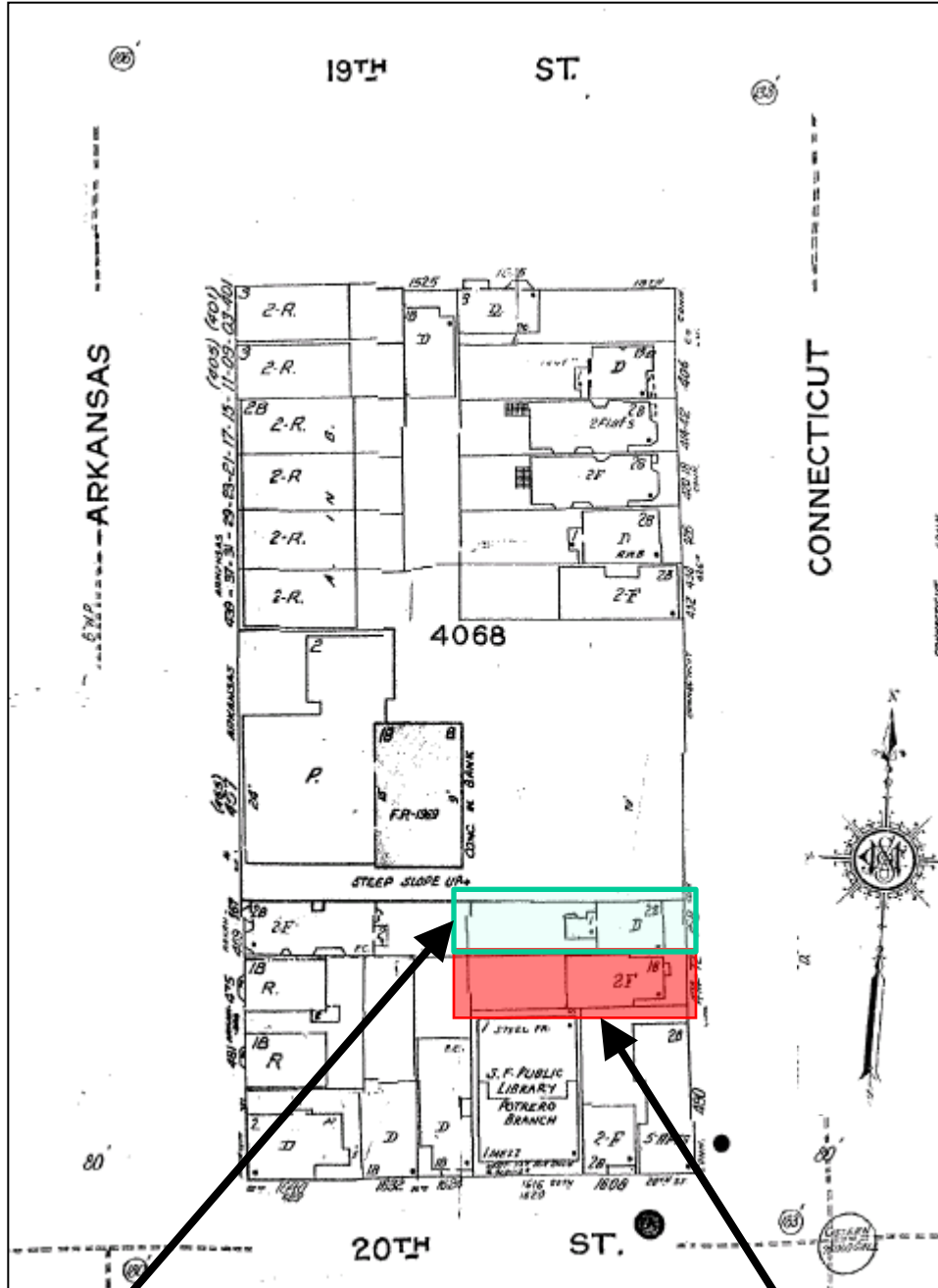
- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- Section 311 Notice and Plans
- Variance Notice and Plans
- DR Application
- DR Requestor Submission
- Response to DR Application dated May 18, 2011

Parcel Map



Discretionary Review Hearing
Case Number 2011.0060D
472 Connecticut Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

**DR REQUESTOR
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2011.0060D
472 Connecticut Street

Aerial Photo



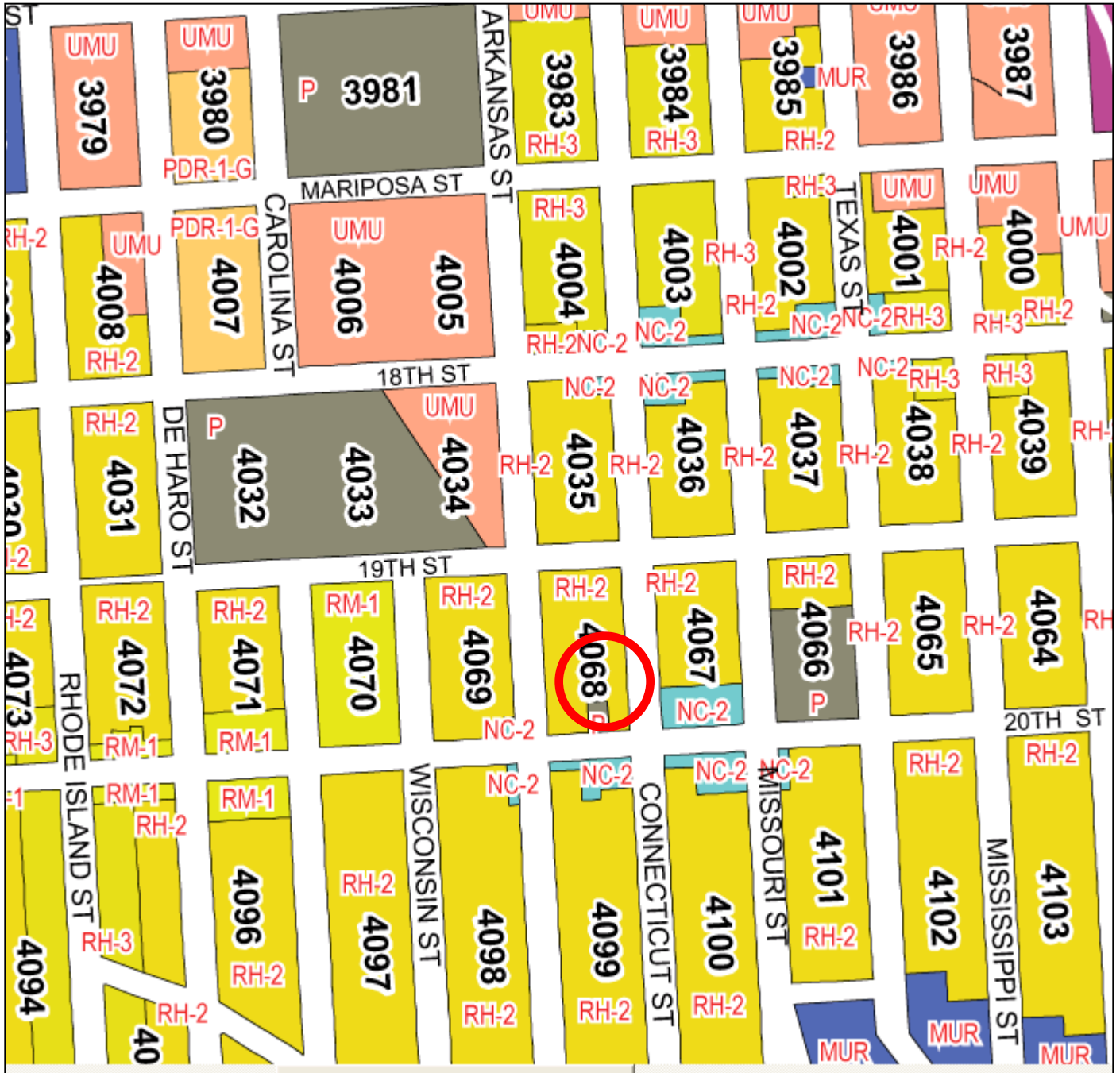
SUBJECT PROPERTY

DR REQUESTOR
PROPERTY



Discretionary Review Hearing
Case Number 2011.0060D
472 Connecticut Street

Zoning Map



Discretionary Review Hearing
Case Number 2011.0060D
472 Connecticut Street

Site Photo



Discretionary Review Hearing
Case Number 2011.0060D
472 Connecticut Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On August 23, 2010, the Applicant named below filed Building Permit Application No. 2010.08.23.9362 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Ashton Richards	Project Address:	472 Connecticut Street
Address:	1607B McAllister Street	Cross Streets:	19 th / 20 th Streets
City, State:	San Francisco, CA 94115	Assessor's Block /Lot No.:	4068/008
Telephone:	(415) 378-6252	Zoning Districts:	RH-2 /40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE			
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION	or <input checked="" type="checkbox"/> ALTERATION
<input type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS	<input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE)	<input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE	Multifamily Dwelling.....	No Change
BUILDING DEPTH	±55 feet	±60 feet
REAR YARD	±34 feet	±29 feet
HEIGHT OF BUILDING	±28 feet	No Change
NUMBER OF STORIES	2	No Change
NUMBER OF DWELLING UNITS	2	No Change

PROJECT DESCRIPTION

The proposal is to construct a horizontal rear addition at the second story in the area of an existing deck and construct a two-story deck with spiral stair at the rear of the two family dwelling. The addition would not extend beyond the existing rear wall while the spiral stair would extend an additional 5 feet, approximately. The new deck will be setback approximately 3 feet from the north side property line. The addition and deck would be within the required rear yard. A variance (Case 2008.0689V) seeking relief from the rear yard requirement in relation to the proposed rear expansion was granted on August 13, 2010.

PLANNER'S NAME: **Diego R Sánchez**

PHONE NUMBER: **(415) 575 9082**

EMAIL: **diego.sanchez@sfgov.org**

DATE OF THIS NOTICE: **12-15-10**

EXPIRATION DATE: **1-14-11**

NOTICE OF BUILDING PERMIT APPLICATION GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the site plan and elevations (exterior walls), and floor plans (where applicable) of the proposed project, including the position of any adjacent buildings, exterior dimensions, and finishes, and a graphic reference scale, have been included in this mailing for your information. Please discuss any questions with the project Applicant listed on the reverse. You may wish to discuss the plans with your neighbors and neighborhood association or improvement club, as they may already be aware of the project. Immediate neighbors to the project, in particular, are likely to be familiar with it.

Any general questions concerning this application review process may be answered by the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00 a.m. - 5:00 p.m. Please phone the Planner listed on the reverse of this sheet with questions specific to this project.

If you determine that the impact on you from this proposed development is significant and you wish to seek to change the proposed project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Seek a meeting with the project sponsor and the architect to get more information, and to explain the project's impact on you and to seek changes in the plans.
2. Call the nonprofit organization Community Boards at (415) 920-3820. They are specialists in conflict resolution through mediation and can often help resolve substantial disagreement in the permitting process so that no further action is necessary.
3. Where you have attempted, through the use of the above steps, or other means, to address potential problems without success, call the assigned project planner whose name and phone number are shown at the lower left corner on the reverse side of this notice, to review your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects, which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission over the permit application, you must make such request **within 30 days of this notice, prior to the Expiration Date shown on the reverse side**, by completing an application (available at the Planning Department, 1660 Mission Street, 1st Floor, or on-line at www.sfplanning.org). You must submit the application to the Planning Information Center (PIC) during the hours between 8:00 a.m. and 5:00 p.m., with all required materials, and a check, for each Discretionary Review request payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org or at the PIC located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. If the project includes multi building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

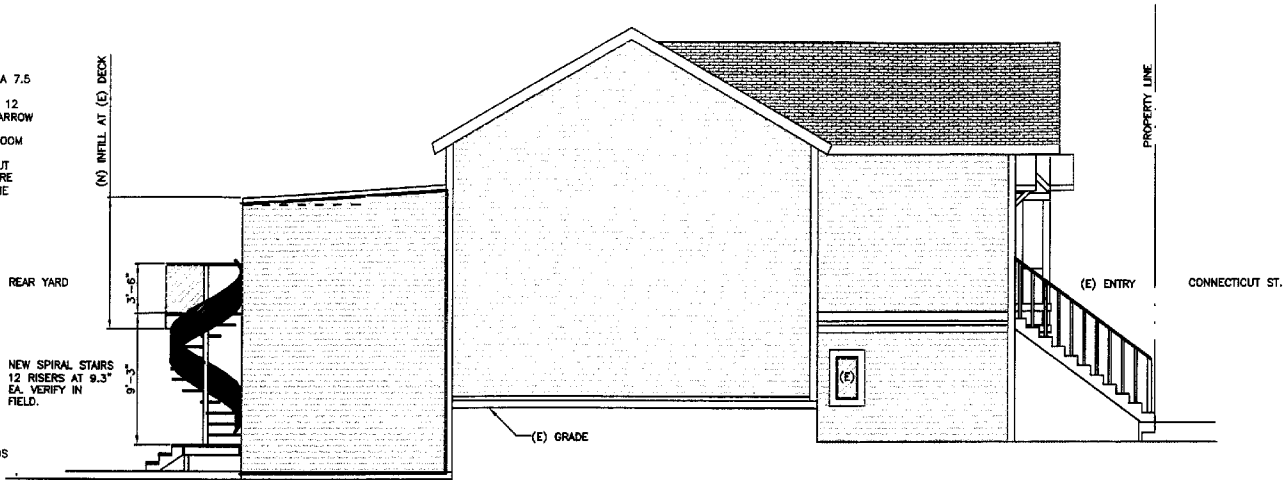
If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

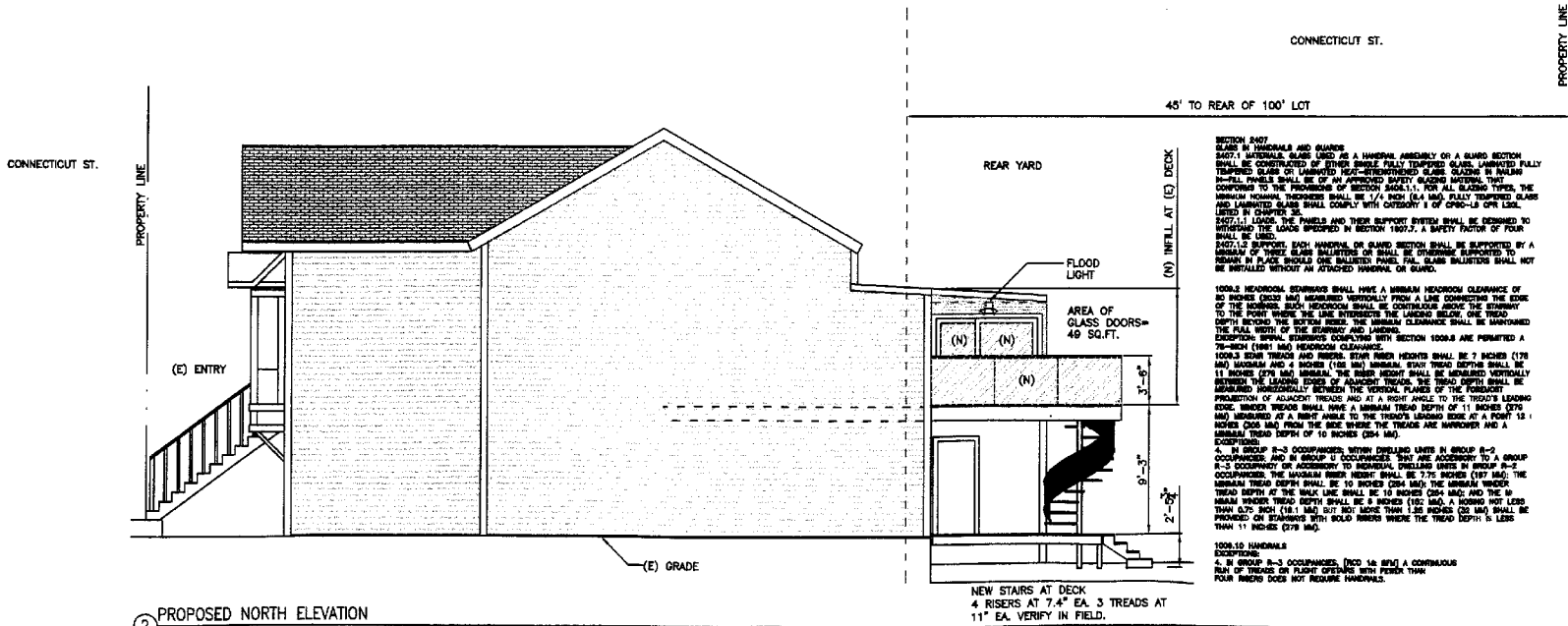
An appeal of the approval (or denial) of the permit application by the Planning Department or Planning Commission may be made to the **Board of Appeals within 15 days** after the permit is issued (or denied) by the Superintendent of the Department of Building Inspection. Submit an application form in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including their current fees, **contact the Board of Appeals at (415) 575-6880**.

1009.8 SPIRAL STAIRWAYS.

A SPIRAL STAIRWAY SHALL HAVE A 7.5 INCH (191 MM) MINIMUM CLEAR TREAD DEPTH AT A POINT 12 INCHES (305 RCM) FROM THE NARROW EDGE. THE RISERS SHALL BE SUFFICIENT TO PROVIDE A HEADROOM OF 78 INCHES (1981 RCM) MINIMUM, BUT RISER HEIGHT SHALL NOT BE MORE THAN 9.5 INCHES (241 RCM). THE MINIMUM STAIRWAY WIDTH SHALL BE 26 INCHES (660 RCM).



① PROPOSED SOUTH ELEVATION
SCALE : 1/4"=1'-0"



② PROPOSED NORTH ELEVATION
SCALE : 1/4"=1'-0"

REVISION	BY

ARCHITECT: ASHTON RICHARDS
1607B MCALLISTER ST.
SAN FRANCISCO CA
94115 (415) 378 6252

PROJECT: HOUSE REMODEL
472-474 CONNECTICUT ST.
SAN FRANCISCO CA
94107

OWNER: MR. JERRY GUIY
472-474 CONNECTICUT ST.
SAN FRANCISCO CA
94107 (408) 398-2524

DATE: JUNE 22/2010
SCALE: AS SHOWN
DRAWN BY:
JOB:
SHEET: **A7**
OF: 2 SHEET



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 28, 2010**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	472-474 Connecticut St.	Case No.:	2008.0689V
Cross Street(s):	19th and 20th	Building Permit:	N/A
Block /Lot No.:	4068/008	Applicant/Agent:	Ashton Richards
Zoning District(s):	RH-2 / 40-X	Telephone:	(415) 378-6252
Area Plan:	Showplace/Potrero Hill	E-Mail:	ashton_rchrds@yahoo.com

PROJECT DESCRIPTION

The proposal is to construct a horizontal rear addition at the second story in the area of an existing deck and construct a two-story deck with spiral stair at the rear of the two-family dwelling. The addition and deck would be within the required rear yard. The addition would not extend beyond the existing rear wall while the spiral stair would extend an additional 5.5 feet. The new deck will be setback 3.5 feet from the north side property line.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 43 feet. The building is non-conforming as it extends approximately 9 feet into the required rear yard resulting in a rear yard of 34.5 feet. The new addition, deck and spiral stair would encroach approximately 14 feet into the required rear yard and result in a rear yard of 29 feet; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **Pilar LaValley** Telephone: **(415) 575-9084** E-Mail: **pilar.lavalley@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2008.0689V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

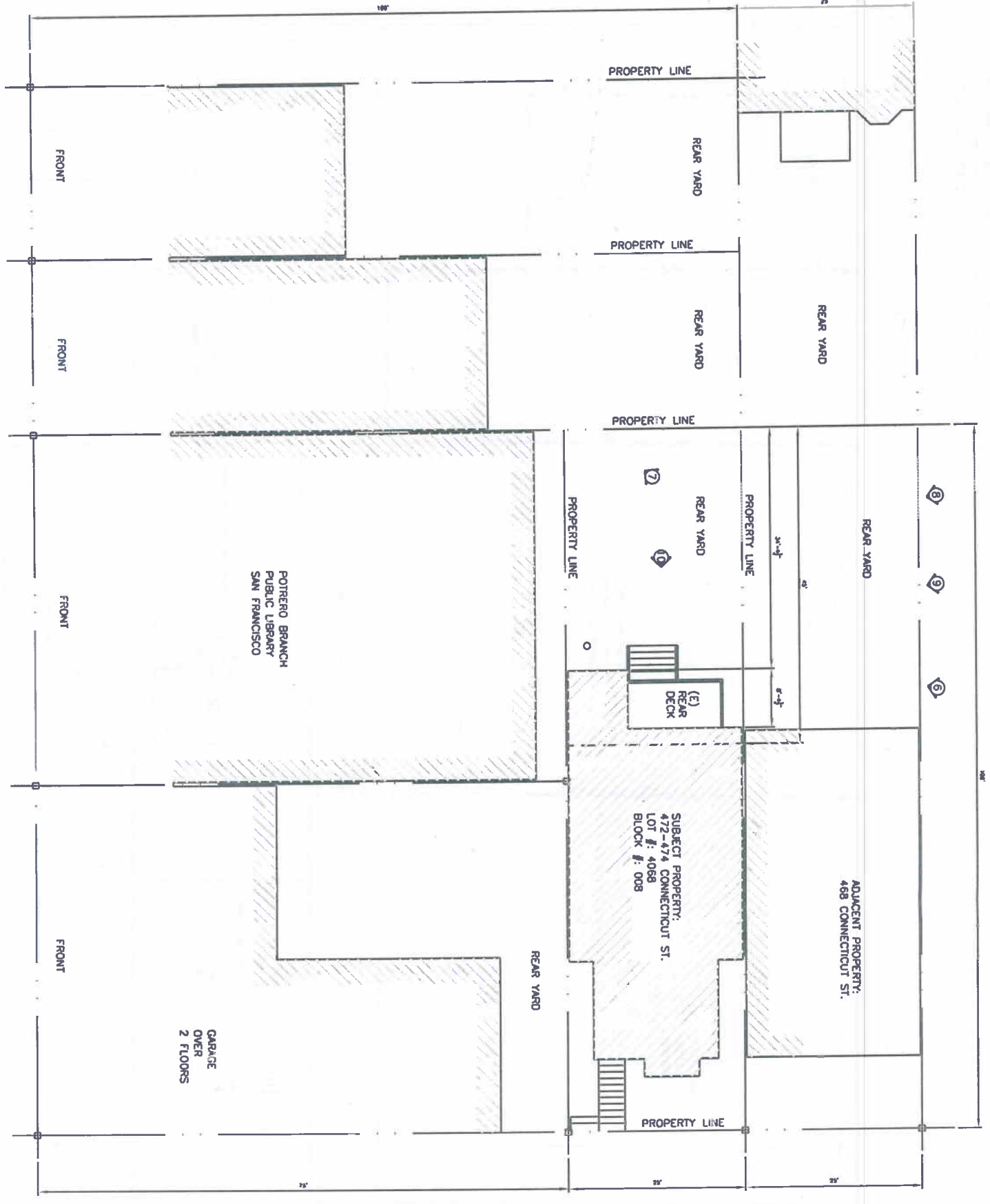
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

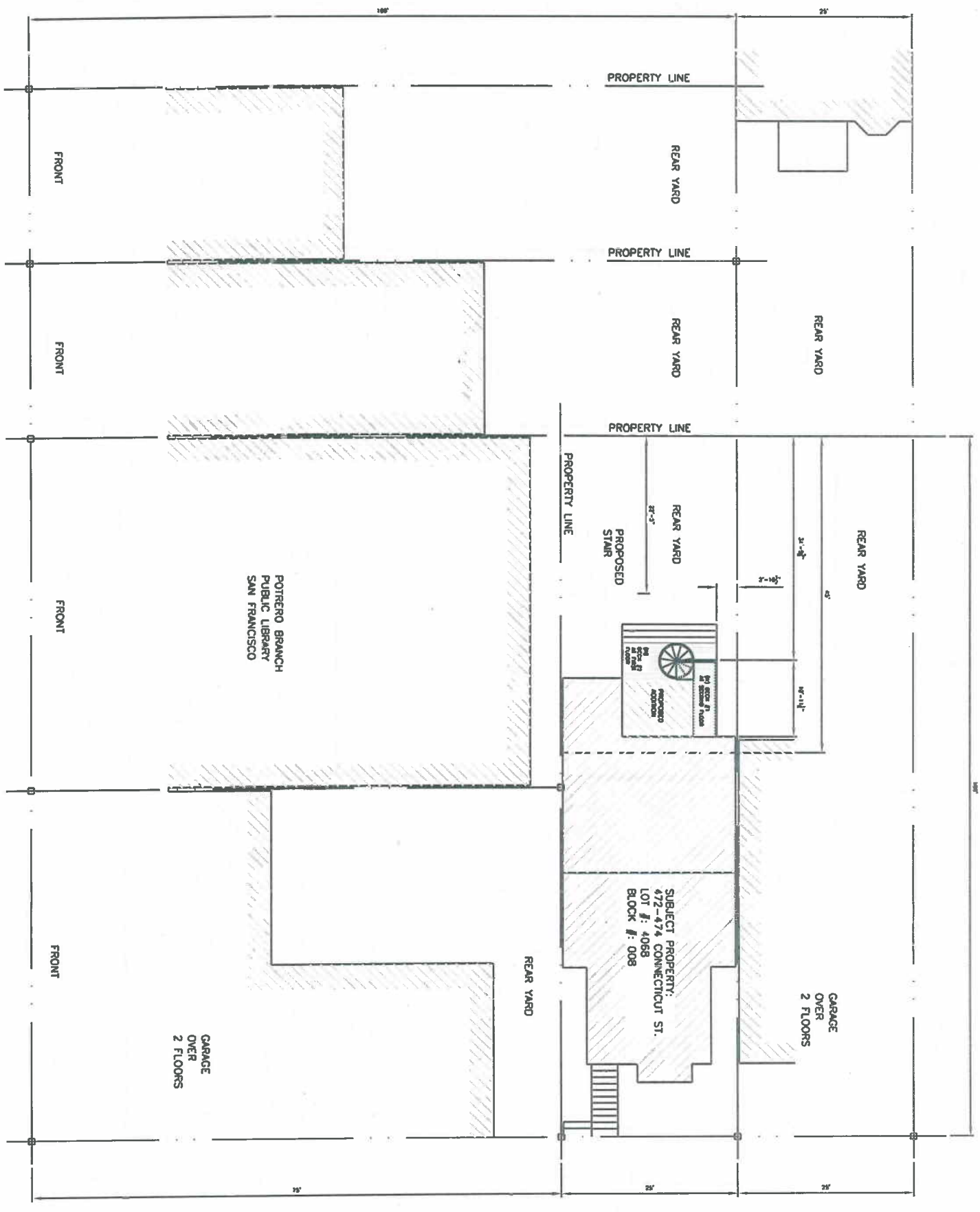
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

4 EXISTING SITE PLAN
SCALE: 1/8" = 1' - 0"



OWNER:	MR. JERRY GUAY 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107 (408) 398-2524	PROJECT:	HOUSE REMODEL 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94117	ARCHITECT:	ASHTON RICHARDS 1607B MCALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252
DATE:	JUNE 22/2010				
SCALE:	AS SHOWN				
DRAWN:	JAB				
CHECK:					
SHEET:	A2				

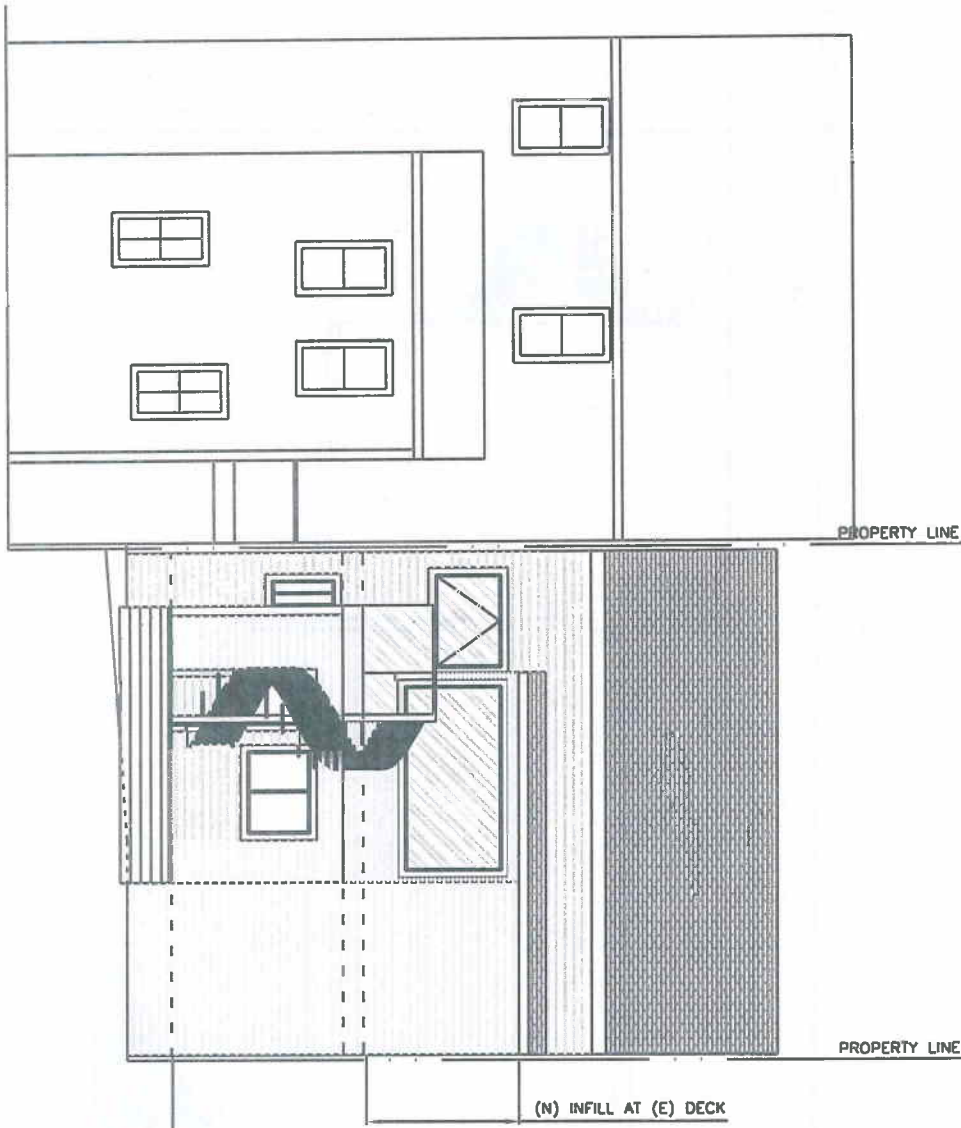
4 PLOT PLAN
 SCALE : 1/8" = 1' - 0"



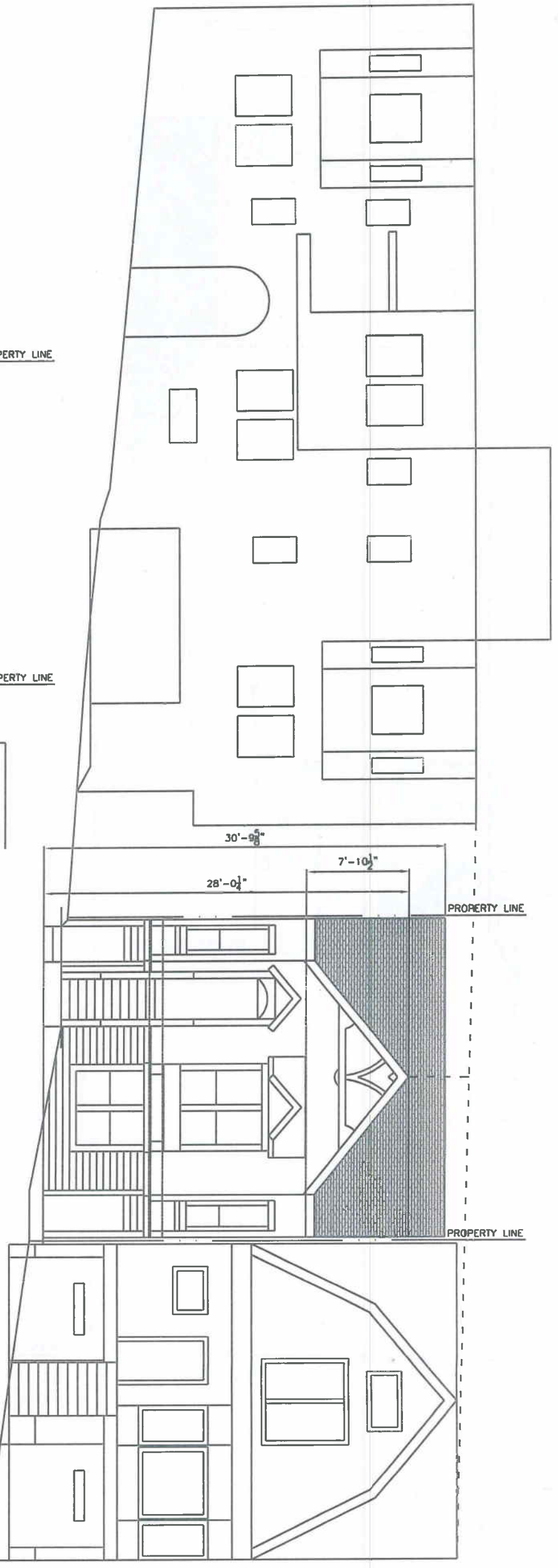
CONNECTICUT ST.

DATE: 3/1/2007	OWNER: MR. JERRY GUAY 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107 (408) 398-2524	PROJECT: HOUSE REMODEL 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94117	ARCHITECT: ASHTON RICHARDS 43 BARCELONA ST SAN FRANCISCO CA 94117 (415) 378 6252	<table border="1"> <tr><td>REVISED</td><td>BY</td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>	REVISED	BY								
REVISED	BY													
<table border="1"> <tr><td>DATE: 3/1/2007</td></tr> <tr><td>SCALE: AS SHOWN</td></tr> <tr><td>DRAWN: JAB</td></tr> <tr><td>CHEK: JAB</td></tr> <tr><td>SHEET: A3</td></tr> <tr><td>OF: 3</td></tr> </table>	DATE: 3/1/2007	SCALE: AS SHOWN	DRAWN: JAB	CHEK: JAB	SHEET: A3	OF: 3								
DATE: 3/1/2007														
SCALE: AS SHOWN														
DRAWN: JAB														
CHEK: JAB														
SHEET: A3														
OF: 3														

1 PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"

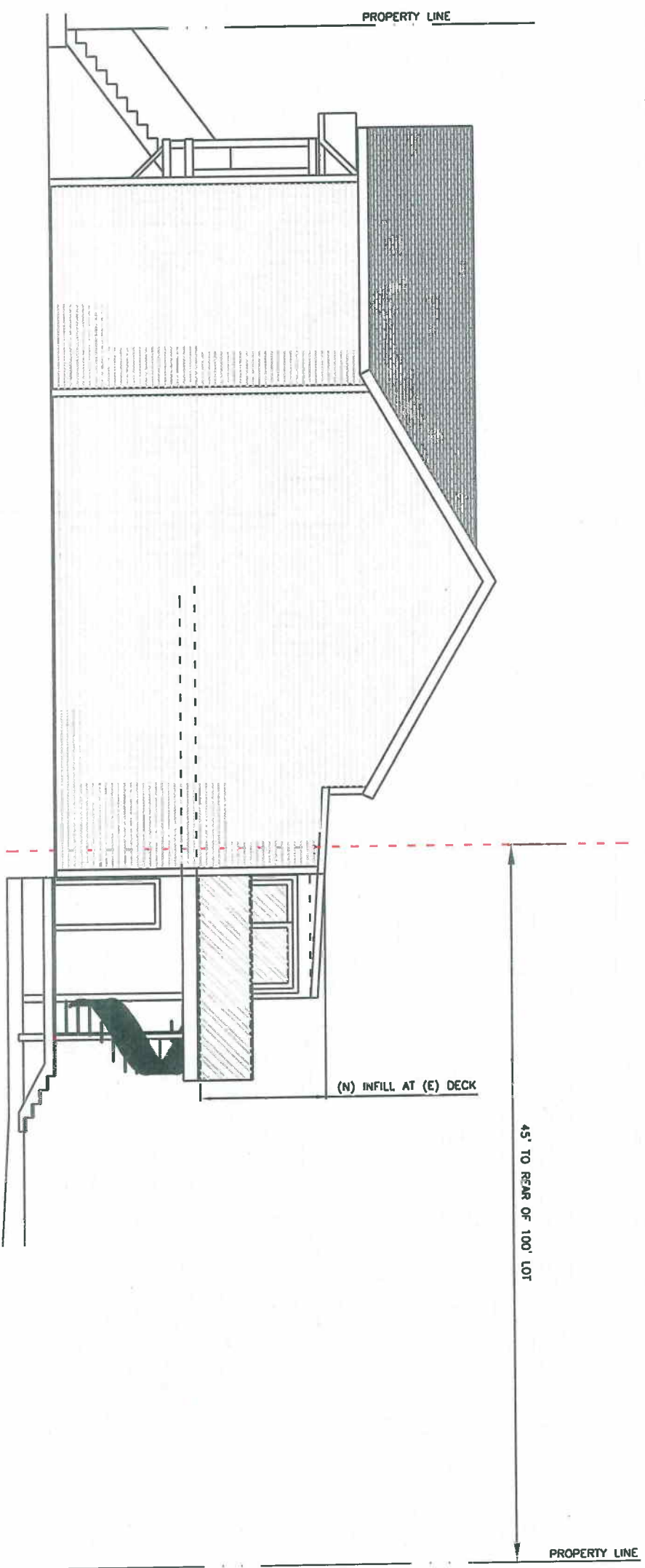


2 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

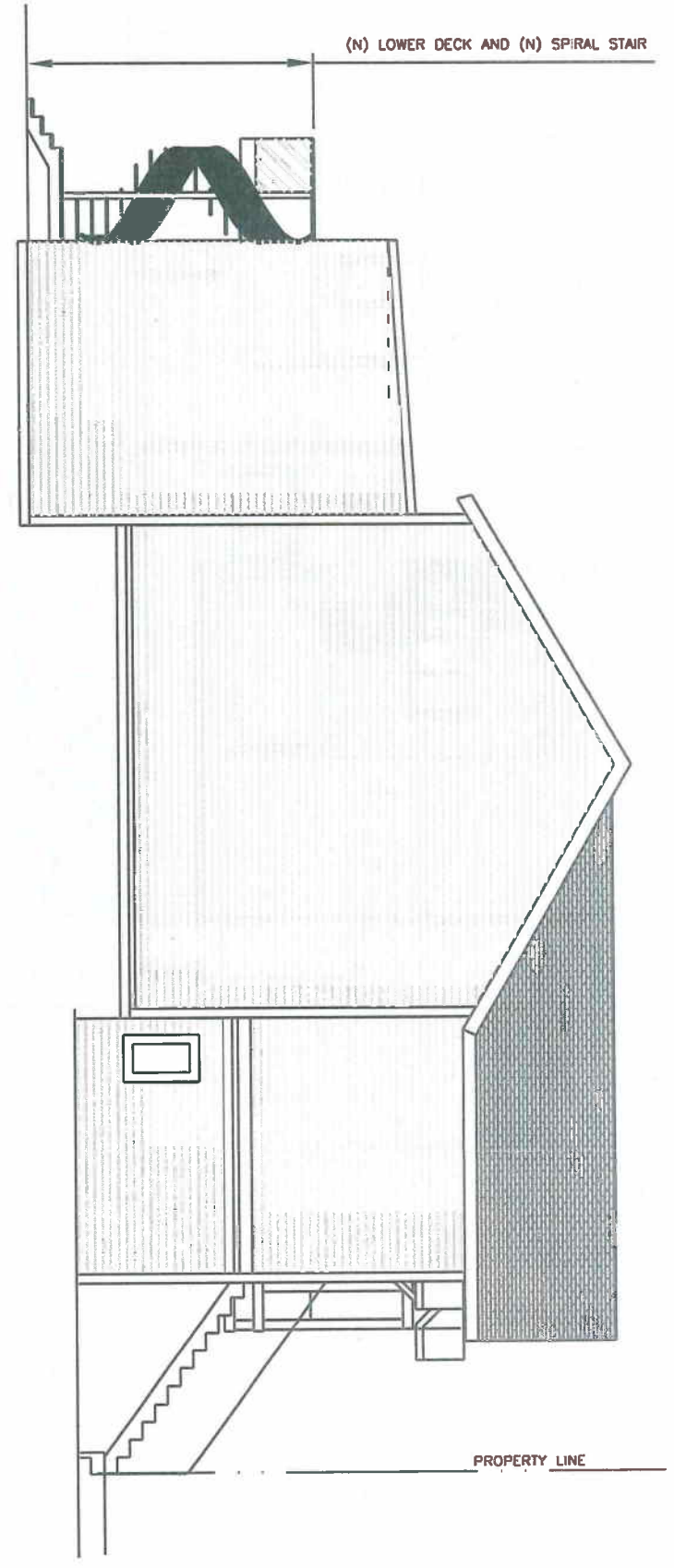


OWNER: MR. JERRY GUAY 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107 (408) 398-2524	PROJECT: HOUSE REMODEL 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107	ARCHITECT: ASHTON RICHARDS 1607B MCALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252	REVISION	DATE	BY

2 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



SHEET A7 OF SHEET	OWNER: MR. JERRY GUAY 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107 (408) 398-2524	PROJECT: HOUSE REMODEL 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107	ARCHITECT: ASHTON RICHARDS 1607B MCALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252	REVISIONS
	DATE: JAN 22/2010 SCALE: AS SHOWN DRAWN: AR			

RECEIVED

JAN 14 2011

Application for Discretionary Review

CASE NUMBER:
For Staff Use only

APPLICATION FOR CITY & COUNTY OF S.F. DEPT. OF CITY PLANNING PIC
Discretionary Review Application

1. Owner/Applicant Information

DR APPLICANT'S NAME: ROBIN & TOM BONELLI		
DR APPLICANT'S ADDRESS: 408 CONNECTICUT STREET	ZIP CODE: 94107	TELEPHONE: (415) 606-8898
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: JERRY QUAY		
ADDRESS: 472 CONNECTICUT ST	ZIP CODE: 94107	TELEPHONE: (415) 282-8875
CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> JAMES STAVOY ARCHITECT		
ADDRESS: 179 SAN JUAN ST SAN FRANCISCO	ZIP CODE: 94114	TELEPHONE: (415) 553-8696
E-MAIL ADDRESS: JSTAVOY@PACBELL.NET		

2. Location and Classification

STREET ADDRESS OF PROJECT: 472 CONNECTICUT STREET		ZIP CODE: 94107
CROSS STREETS: 19TH & 20TH STREETS		
ASSESSORS BLOCK/LOT: 4068 / 8	LOT DIMENSIONS: 25 X 100	LOT AREA (SQ. FT.): 2500 S.F.
ZONING DISTRICT: RH-2		HEIGHT/BULK DISTRICT: 40.X

3. Project Description

Please check all that apply
Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard

Present or Previous Use: MULTI FAMILY DWELLING

Proposed Use: MULTI FAMILY DWELLING

Building Permit Application No. 2010.08.23.9362

Date Filed: 8.23.10

11.0060D

**472 – 474 CONNECTICUT STREET
DISCRETIONARY REVIEW REQUEST**

Permit App. # 2010.08.23.9362

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the Project? How does the project conflict with the City's General Plan or the Planning Code's Priority policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

The exceptional and extraordinary circumstances that apply to this project are that in discussions and correspondence relating to the originally proposed larger project at 472 Connecticut St. the DR requestors expressed in writing to the planning department their interest in seeing the owner of the subject property at 472 Connecticut Street construct the railings of his proposed deck out of a solid material to ensure privacy for the DR requestor's west facing windows and rear yard. The plans submitted and approved for the variance show a solid railing on the north facing elevation on Sheet A-7 of plans prepared by Anthony Richards Architect. Subsequent plans for building permit now show glass railings in disregard for original correspondence with the project sponsor and the planning department. The residential design guidelines section on rear yard/privacy specifically discusses situations where "a proposed project will have unusual impact on privacy to neighboring interior living spaces." Design modifications to minimize impacts on privacy that are recommended include "incorporating privacy screens into the proposal ..." and "use solid railings on decks." Had the DR requestors known that these items were not going to be included in the final building permit plans, they would not have supported the approved variance request.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how.

The proposed deck at the subject property at 472 Connecticut is within six feet horizontally and above the rear yard facing windows of the DR requestor's home. The clear glass railings as newly proposed for the deck will provide unobstructed views into the DR Requestor's home and result in a severe loss of privacy there and at their rear yard.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in questions #1.

The DR requestor is asking for the deck railings to be made of a solid material as they had expressed to the Owner of 472 Connecticut and the planning department prior to the variance hearing. The existing deck railing at 472 Connecticut is solid wood and the variance plans provided to the DR requestor show a solid railing facing the north property line. They ask this change be incorporated into the final building permit plans.

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

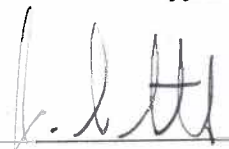
If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

1.15.11

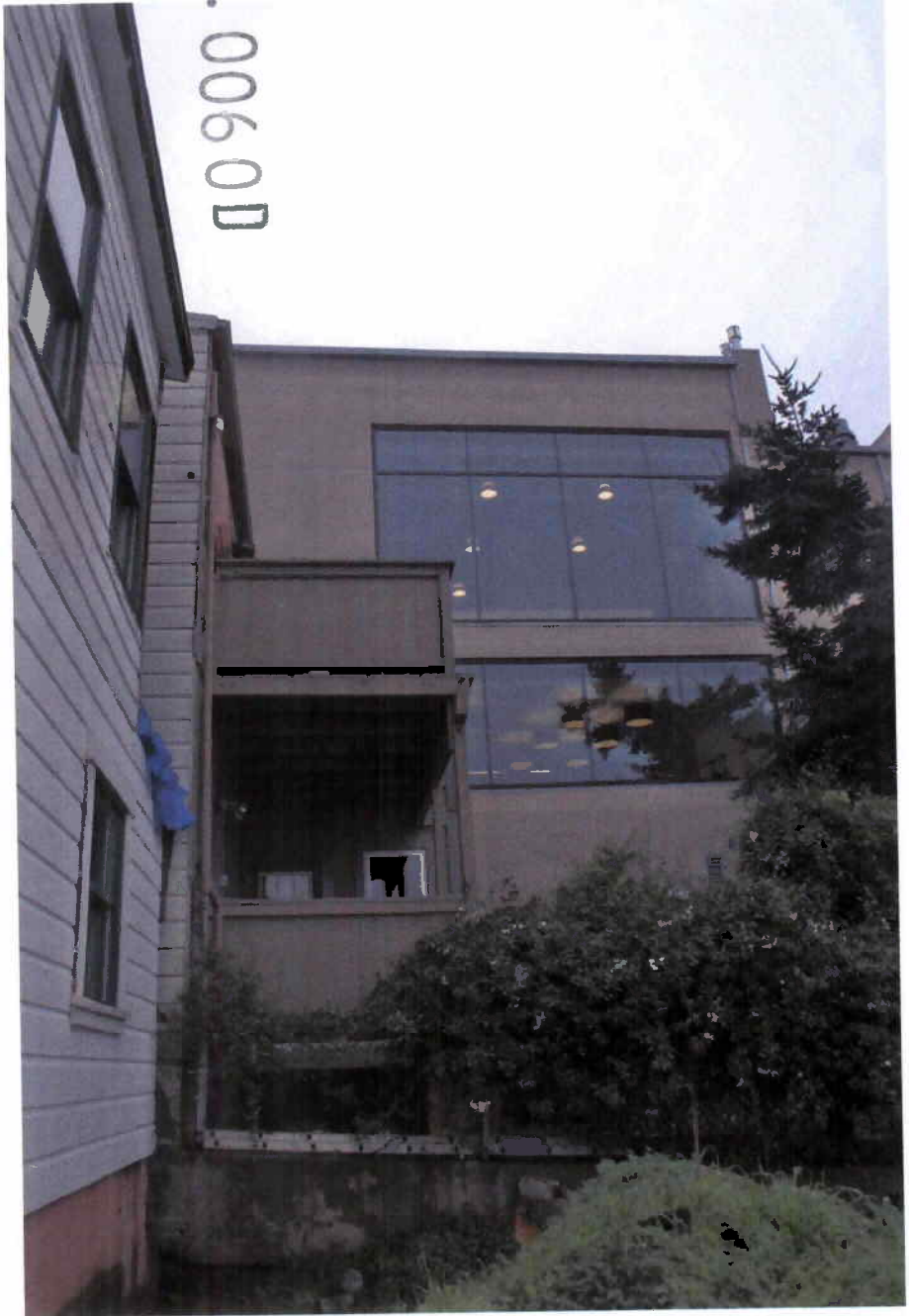
Print name, and indicate whether owner, or authorized agent:

JAMES W. STAVY

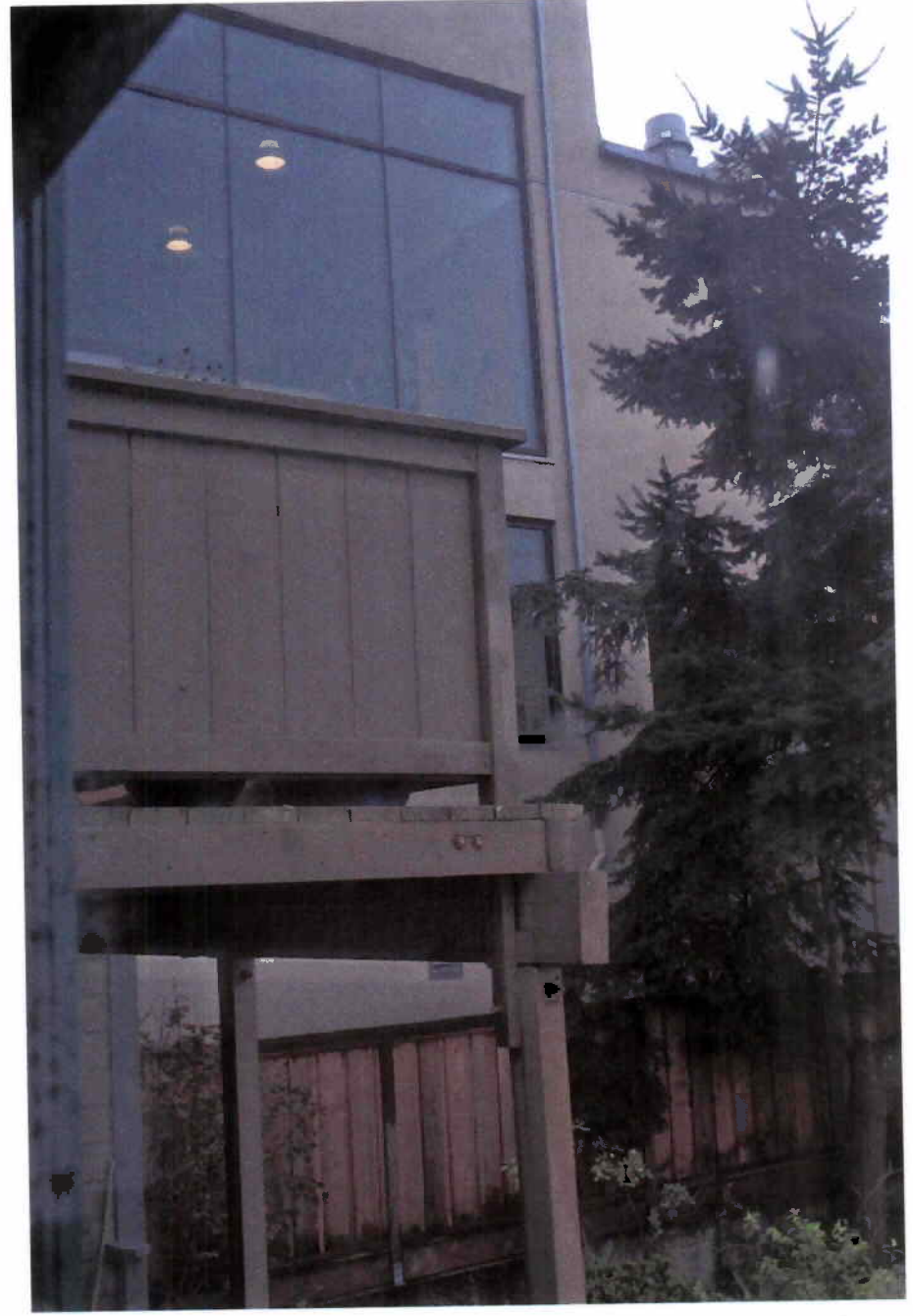
Owner / Authorized Agent (circle one)

11.0060D

11.0060D



VIEW LOOKING SOUTH @ EXISTING DECK AT 492/494 CONNECTICUT



VIEW FROM INTERIOR WEST FACED WINDOW AT EXISTING DECK AT 492/494 CONNECTICUT

JAMES C. TRAYNOR ARCHITECT AIA
679 SANCHEZ STREET SAN FRANCISCO, CA 94114

JAMES G. STAVOY ARCHITECT AIA
679 SANCHEZ STREET SAN FRANCISCO, CA 94114



PERMIT HOLDERS PROPERTY

DR PEACEMONT'S PROPERTY

EXISTING PERMITS 408 TO 474 CONNECTION
VIEW LOOKING EAST

11-0060D

May 17, 2011

472-472 Connecticut Street - Discretionary Review Request
Permit Application # 2010.08.23.9362

Dear President Christine Olague and Members of the Planning Commission,

My husband Tom Bonelli and I (Robin) live at 468 Connecticut Street. We have filed for Discretionary Review of our adjacent neighbor's, Jerry Guay's, project at 472-474 Connecticut Street. From the outset of this project we expressed in writing and in discussions our concern that the proposed north facing deck railing be of a solid material to ensure privacy for our windows and rear yard. This deck railing is within six feet horizontally and just above our rear yard facing windows. The proposed clear glass railing will provide unobstructed views into our home and result in a severe loss of privacy.

In July of 2010 our neighbor filed for a rear yard variance to construct a deck and addition. We supported the variance because we understood that the north railing would be solid. We did not receive a set of drawings at the time of the hearing, but were directed to the Planning Department's website where there were 8 ½ x 11 drawings that we printed (Attachment 1). There were no written notes on these drawings and the drawings showed the north railing as solid because the details of the house, sliding doors etc, could not be seen through the railing (unlike the west railing which was shown as transparent). This was consistent with what our neighbor had told us when we met on his deck to discuss the project prior to the variance hearing. At that time he showed us what he was planning and told us the only changes he would be making were to enclose a portion of the deck to create a family area and to add spiral stairs down to the yard on the west side. These factors along with our previous communications with our neighbor on this issue, led us to believe that the railing would be solid .

We have tried to resolve this issue in good faith. We really wanted a solid wood railing similar to what is already in place today. This is what we thought we were getting when we supported the variance. After talking with the Planner, Diego Sanchez, we understand that the City's preference is for glass because it has a lighter appearance and we understand that glass now is also our neighbor's preference. We have compromised on this issue. We want to maintain the same level of privacy that we have today and have asked that the north railing be opaque like it is shown in the variance drawing. This is not acceptable to our neighbor. We have further tried to compromise by working with an architect, James Stavoy, to provide two alternate solutions to partially frost the railing while keeping a portion fully frosted closest to our home to screen views down and into our house. (Attachments 2 & 3). These solutions give up much more privacy than we really wanted, but we have been sincerely trying to work with our neighbor and wanted to come to closure on this. Both of these solutions still provide our neighbor with gorgeous views of the city, however, he is not agreeable to either of these proposals.

The following is a brief chronology of events regarding this issue:

Mid 2008-2009: The Guay's proposed a large scale addition to 472-474 Connecticut. From the outset, early correspondence raised concerns over privacy issues, including transparent glass deck railings (See Attachment 4 - see Item #11). In late 2009, we also met with Jerry Guay and his architect, Ashton Richards, and went over a list of our concerns (Attachment 5 -see Item #9).

June/July 2010: After the meeting in late 2009, we didn't hear anything further for several months. Then in June we heard from Jerry that he had totally rethought the project and was proceeding with a simpler plan. We received notice from the City in early July and printed the drawings from the website. These drawings did not indicate a transparent railing. We met with Jerry on his deck to discuss the plan. We were told the only changes being made were to enclose a portion of the deck for a family room and to add a spiral staircase.

July 28, 2010: - Variance Hearing. We supported the variance based on our understanding that the railing would be solid.

On approx. December 16th, 2010: We received the "Notice of Building Permit Application" package in the mail (Attachment 6). The drawings now included a notation that the railing would be glass. Robin immediately called Jerry to ask about this change. He told her he was unaware that a glass railing was specified and that he didn't want one because this type of railing is expensive (he later repeated this same information to Tom). He said he would discuss this with his architect and asked us to wait because the architect was out of town until the 26th.

On about Dec 30th-Dec 31st - We still had not received a response, despite efforts to obtain a call back. Robin contacted the City and left the Planner, Diego Sanchez, a voice mail with our concerns.

Dec 31, 2010 - Jerry Guay called and notified us that he was planning to use a glass railing after all. He said maybe they could do something to screen the glass like using a tint, film or etch on possibly a portion of the panel.

Between Dec 31st and Jan 10, 2011 - we had several conversations. It was our desire to get a specific answer as to what the Guay's were proposing with the railing. We were given vague non-committal answers like, "It could be this", "or it could be that" or "we will have to wait and see when it is built" etc. Then Robin was told by Diego Sanchez that he had spoken to Jerry's architect and they were working on a proposed solution. He asked us to wait a week or two. After waiting for that proposal, on Jan 10th Robin left messages for Jerry and his architect. We received an e-mail later that day from Jerry with the following response *"As I mentioned in our previous conversation, we completely understand your privacy concerns, and good relations with you is definitely a priority for us. To remedy this concern, we propose to frost a portion of the existing north deck railing, blocking a portion of the view to your property while still allowing a reasonable view of downtown."* Once again, a non-specific answer. We realized that we needed professional assistance with handling this matter and then contacted James Stavoy, architect.

January 11th - 14th - We told Jerry that we had no other choice than to proceed with filing the DR. On January 13th Robin had a meeting scheduled with James Stavoy to take pictures and prepare the DR form. Before that meeting Jerry left a voice message asking if the railing was fully frosted if that would be acceptable. Robin called him back to let him know that she was meeting with our architect and to confirm. But instead, he changed his proposition and asked her to look at the railing with the architect and respond with what we thought was a workable solution. We received no response to the e-mail or voice mails we left so on Jan. 14th we filed the review.

Late January to present - We have continued to try to come to a compromise on this issue. We have had a number of discussions with our neighbor. He asked us to provide suggestions as to what we felt was workable and we even engaged our architect to look at this situation for us. The neighbor finally proposed shading the bottom 14" of the railing, but that was so little that it would not help with the privacy issue. Over the course of this time we have provided two alternative solutions. Our solutions provided a staggered pattern to the shading. This would provide us with some privacy close to our windows while still providing our neighbor with views of the cityscape. Neither were acceptable to our neighbor.

We have already had to deal with a substantial loss of privacy resulting from the new library (Attachment 7- Photos). Under this proposed plan our neighbors sliding glass door will be only three feet back from this railing. We already know we will be losing some privacy from this family room addition. We were agreeable because we are reasonable people and we understood that the Guay's needed a more functional home. But if this railing is transparent, our neighbors will have a direct view from their family room into our home. Please help us protect this last bit of privacy.

The Planning Department's Residential Design Guidelines are very specific about situations "where a proposed project will have a unusual impact on privacy to neighboring interior living spaces". The design modification recommended in the Design Guidelines are "use solid railings on decks".

In closing, this issue is very important to us. Our home has been in our family since the 1920's and we intend to remain here. We hope that you can see from our actions that we have tried to be good neighbors and resolve this matter amicably.

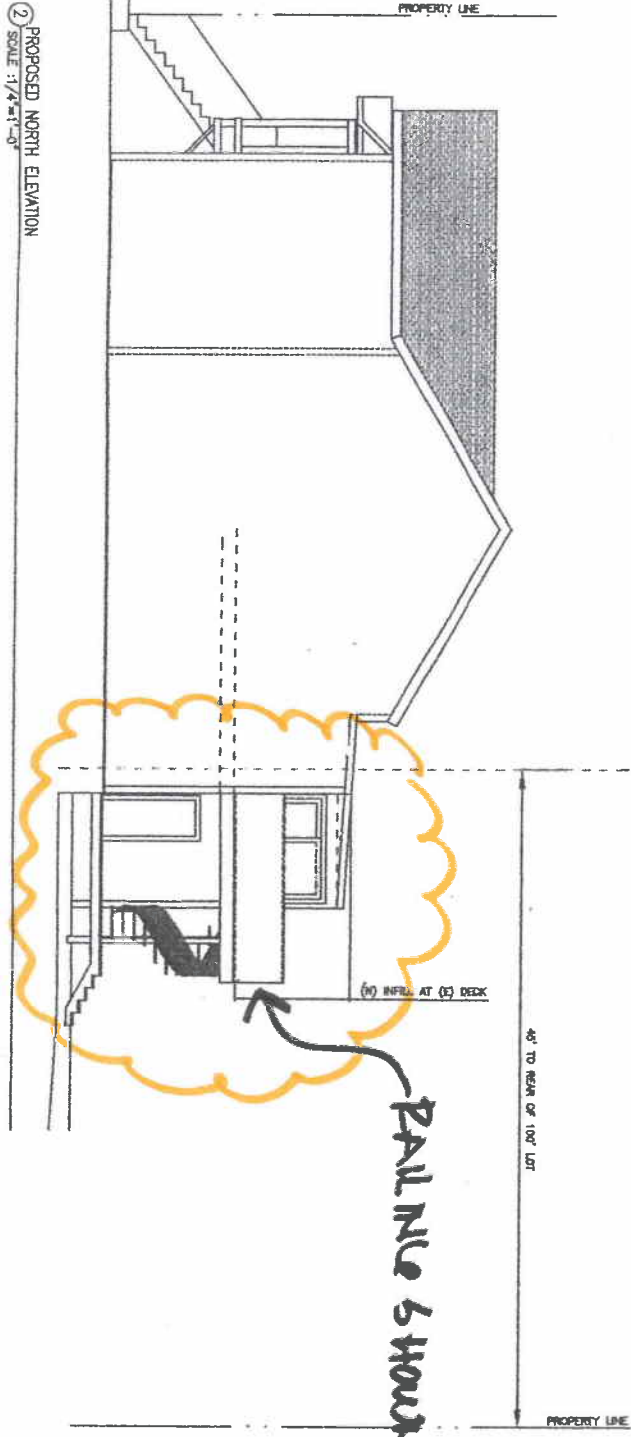
Thank you in advance for taking our concerns into consideration in this matter.



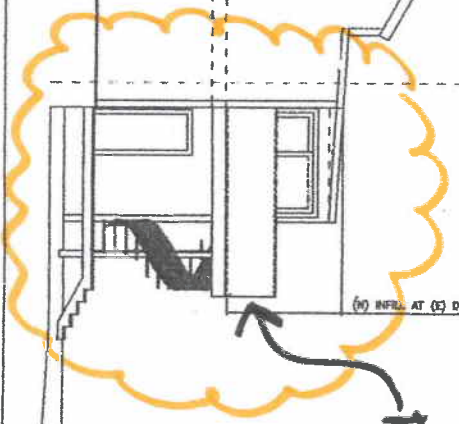
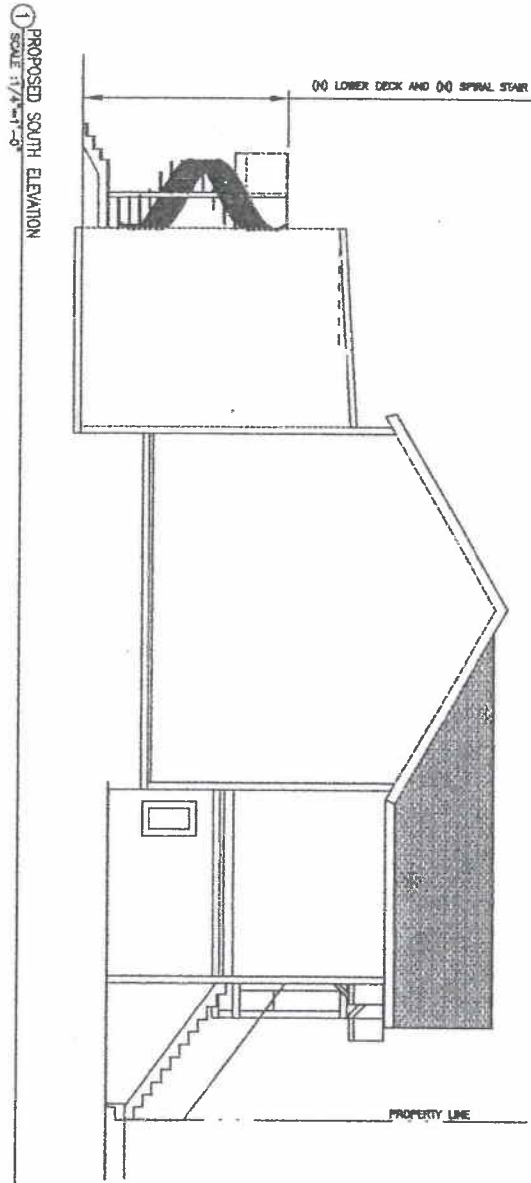
Tom & Robin Bonelli

Drawing obtained from Planning Dept's website -July 2010

2 PROPOSED NORTH ELEVATION
SCALE 1/4"=1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE 1/4"=1'-0"

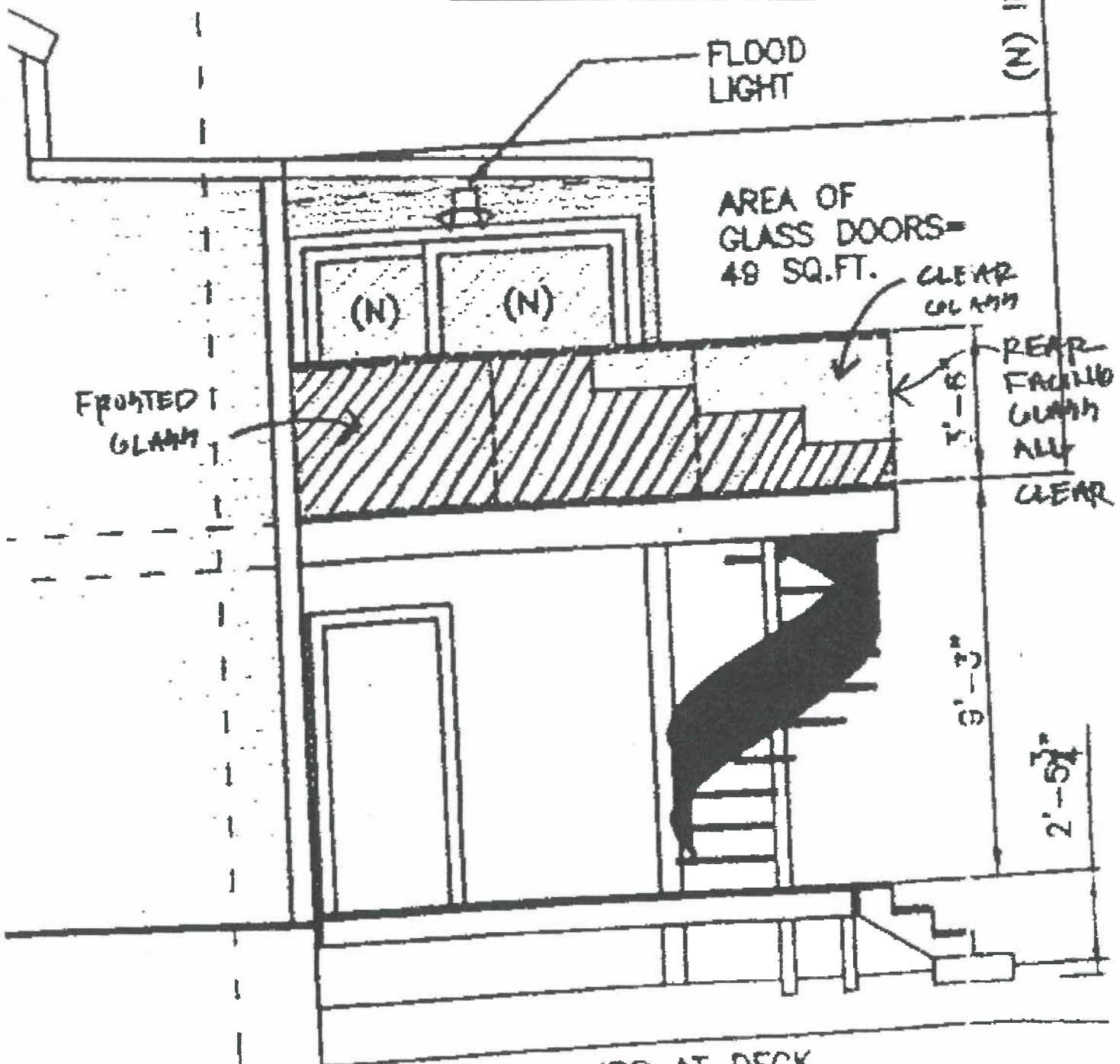


PAILING 5 HOUSING SOLID

<small>DATE</small> <small>SCALE</small> <small>NO.</small> A7	<small>OWNER:</small> MR. JERRY QUAY 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107 (408) 398-2524	<small>PROJECT:</small> HOUSE REMODEL 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107	<small>ARCHITECT:</small> ASHTON RICHARDS 1607B MCALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252
	<small>DATE</small> <small>SCALE</small> <small>NO.</small> <small>BY</small> <small>CHECKED</small> <small>APPROVED</small>		

E-mailed to Jerry Guay on March 9, 2011

Proposed Railing Alternative



FLOOD LIGHT

AREA OF GLASS DOORS = 48 SQ.FT.

(N) (N)

FRONTED GLASS

CLEAR GLASS

REAR FACED GLASS ALL CLEAR

3'-3"

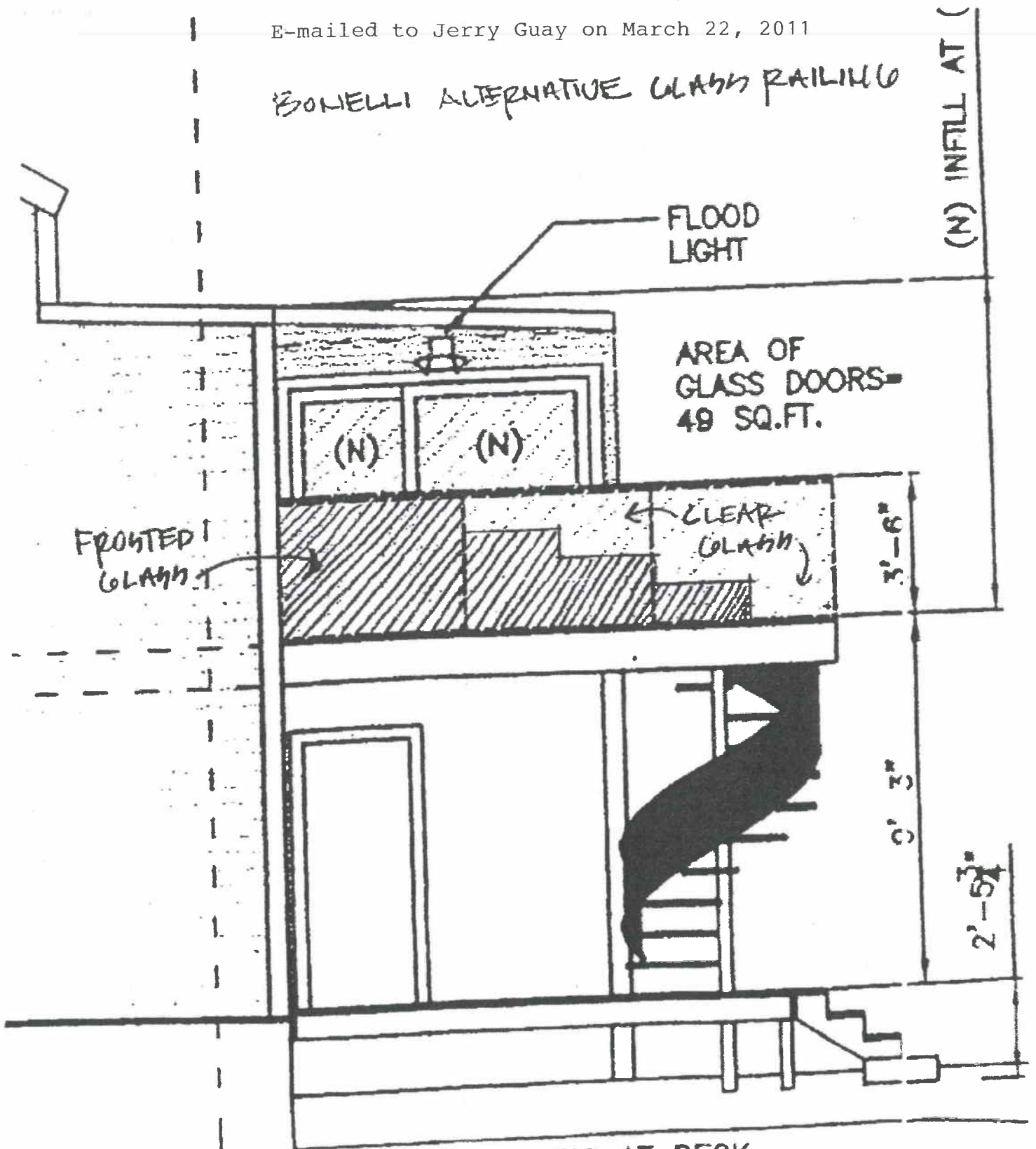
2'-5 1/2"

NEW STAIRS AT DECK
4 RISERS AT 7.4" EA. 3 TREADS AT 11" EA. VERIFY IN FIELD.

TO: ROBIN POWELL - ALTERNATIVE RAILING - 3.9.11

E-mailed to Jerry Guay on March 22, 2011

BONELLI ALTERNATIVE GLASS RAILING



NEW STAIRS AT DECK
4 RISERS AT 7.4" EA. 3 TREADS AT
11" EA. VERIFY IN FIELD.

Tom & Robin Bonelli
468 Connecticut St.,
San Francisco, CA, 94105
April 15, 2009

RE: 2008.0689V Variance - 472 Connecticut St., San Francisco

Ms. Pilar LaValley
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103-2479

Dear Ms. LaValley,

We understand from our neighbor, Jerry Guay, that he is interested in moving forward with his plans to expand his home.

Late last year we met with Jerry and shared with him a number of our concerns. We have now retained our own architect, James Stavoy, to assist us with this matter. Below is a list of concerns we have compiled as a result of the meeting with Mr. Guay and reviewing the drawings with our architect:

- 1) The plan provided to us in November 2008 has changed significantly and is not the plan that we were shown before. The plan that we were told was submitted to the City is not what we have been told is the current plan. Our comments refer to both plans...neither plan in its current form is acceptable to us. The problems that we saw with the first plan have increased substantially with the "new" plan.
- 2) The design is very insensitive to our house. There are significant negative impacts on our property. No consideration has been given to how this design will impact our home. The new plan is even more insensitive (even larger scale with gigantic windows on our property line). This plan was done after we had already voiced our concerns about loss of light and privacy. No attempt has been made to consider our concerns, in fact, it appears they have been dismissed.
- 3) The addition is very over scaled for the existing house. The design has no sense of scale or proportion to the existing structure. All that is being added is a big box and with this latest plan the box is even bigger. Both plans overshadow our property reducing natural light and privacy.
- 4) The addition does not fit aesthetically with the existing architectural character of the home. The design should blend in making it appear as if it was always there and not an addition.
- 5) We are very concerned about the loss of our privacy that this plan would trigger.
- 6) We believe this same design could be accomplished without such an extensive rear yard addition.
- 7) The windows are very over scaled for the size of the rooms. The windows need to be scaled in proportion to the space.
- 8) These huge windows are immediately adjacent to our bedrooms, living areas and back yard. They should be scaled down and set back from the property line.
- 9) We cannot tell from the drawings how close the proposed property line windows are to our house and roof.
- 10) We think there are building code issues with the size and location of the property line windows.

11) The decks should not have open "glass" railings, but need privacy walls otherwise they will be looking right into our property eliminating privacy in our home and in our backyard.

12) The windows on the back of our home are inaccurately located and sized on the West Elevation drawing.

13) The drawings should show our building in both plan and elevation views and how it relates to their design.

We are available to meet together with our architect and Mr. Guay to discuss all these issues.

Sincerely,

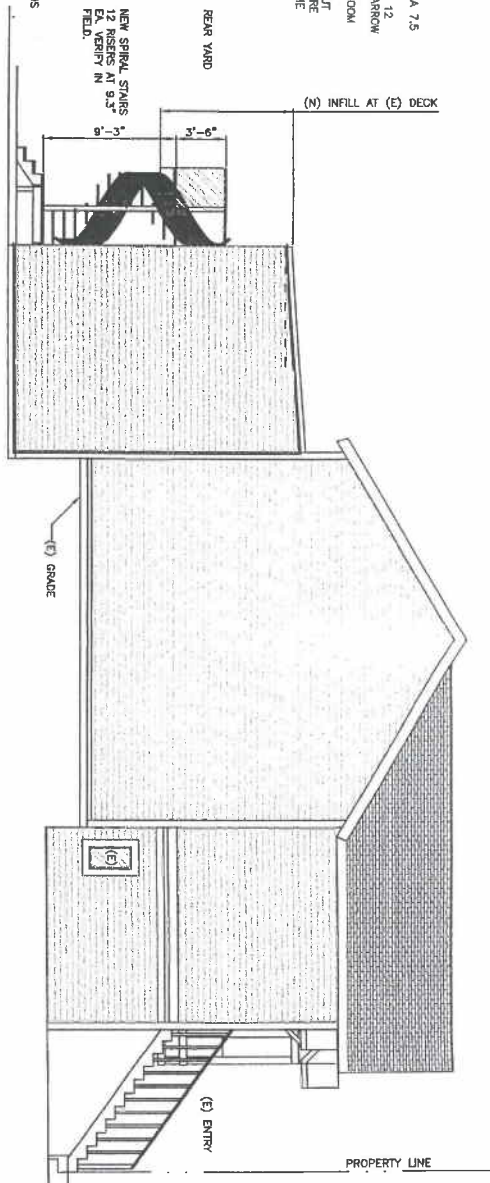
Tom R. Bonelli Robin Bonelli

Tom and Robin Bonelli

Cc: Jerry Guay
James Stavoy

1000.8 SPIRAL STAIRWAYS
 A SPIRAL STAIRWAY SHALL HAVE A 7.5 INCH (191 MM) MINIMUM CLEAR TREAD DEPTH AT A POINT 12 INCHES FROM THE WALKWAY EDGE. THE RISERS SHALL BE SUFFICIENT TO PROVIDE A HEADROOM OF 78 INCHES (1981 MM) MINIMUM, BUT RISER HEIGHT SHALL NOT BE MORE THAN 8.5 INCHES (241 MM). THE MINIMUM STAIRWAY WIDTH SHALL BE 26 INCHES (660 MM).

NEW STAIRS AT DECK 4
 RISERS AT 7.4 EA. 3 TREADS AT 11" EA. VERIFY IN FIELD.



1 PROPOSED SOUTH ELEVATION
 SCALE: 1/4"=1'-0"

PALINCE SHOWS
 OPRADE

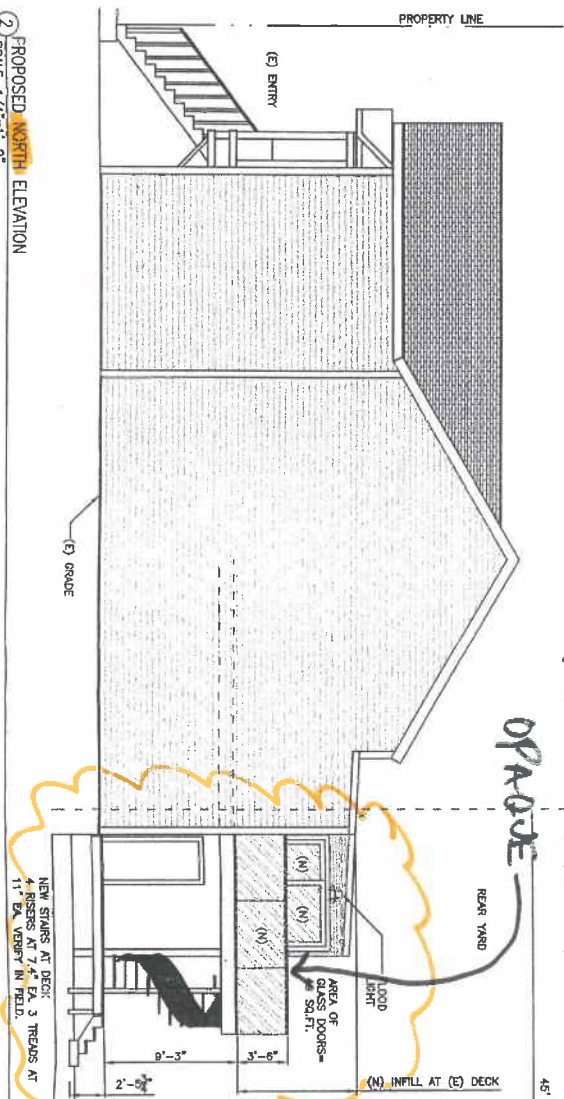
45' TO REAR OF 100' LOT

CONNECTICUT ST.

PROPERTY LINE

CONNECTICUT ST.

PROPERTY LINE



2 PROPOSED NORTH ELEVATION
 SCALE: 1/4"=1'-0"

SECTION 1000.8 SPIRAL STAIRWAYS
 A SPIRAL STAIRWAY SHALL HAVE A 7.5 INCH (191 MM) MINIMUM CLEAR TREAD DEPTH AT A POINT 12 INCHES FROM THE WALKWAY EDGE. THE RISERS SHALL BE SUFFICIENT TO PROVIDE A HEADROOM OF 78 INCHES (1981 MM) MINIMUM, BUT RISER HEIGHT SHALL NOT BE MORE THAN 8.5 INCHES (241 MM). THE MINIMUM STAIRWAY WIDTH SHALL BE 26 INCHES (660 MM).

NEW STAIRS AT DECK 4
 RISERS AT 7.4" EA. 3 TREADS AT 11" EA. VERIFY IN FIELD.

AREA OF GLASS DOORS - 48 SQ. FT.

(N) INFILL AT (E) DECK

REAR YARD

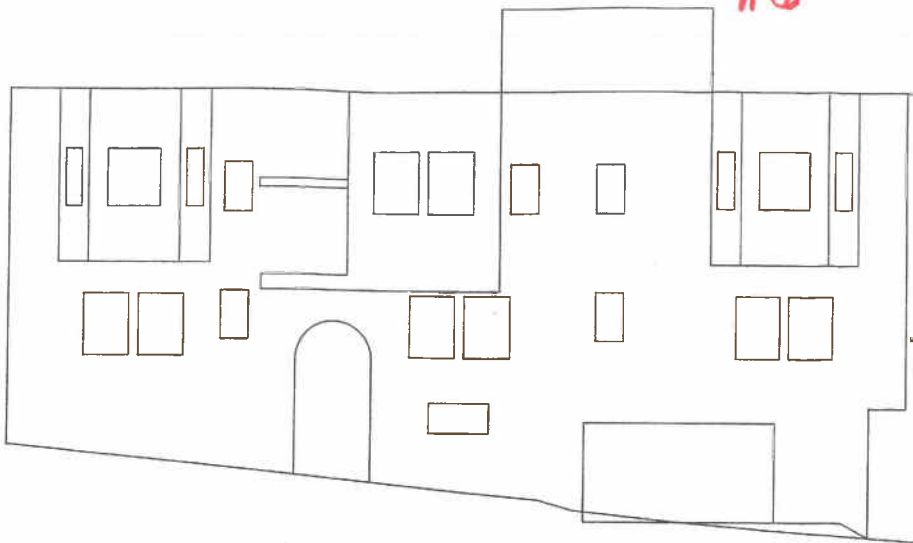
45' TO REAR OF 100' LOT

CONNECTICUT ST.

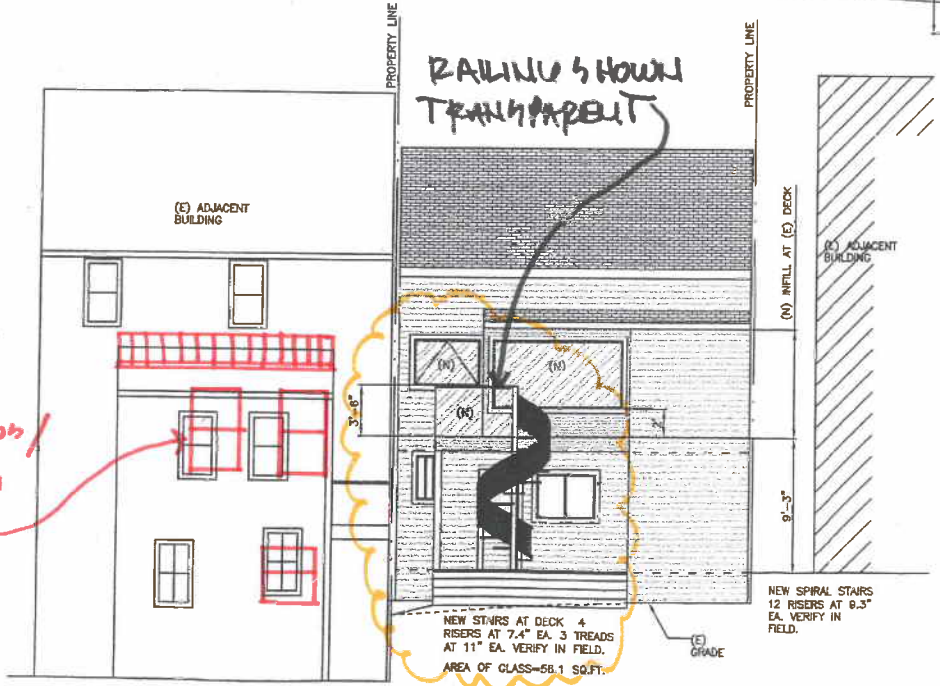
PROPERTY LINE

OWNER:	MR. JERRY GUAY 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107 (408) 398-2524	PROJECT:	HOUSE REMODEL 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107	ARCHITECT:	ASHTON RICHARDS 1607B MCALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252
DATE:	JUNE 22/2010				
SCALE:	AS SHOWN				
PROJECT:	AS SHOWN				
NO.					
REVISION:					
BY:					
CHECKED:					
DATE:					
PROJECT:	A7				

#6



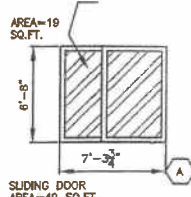
FRONT VIEW OF SUBJECT PROPERTY
2 PROPOSED EAST ELEVATION
 SCALE : 1/4" = 1'-0"



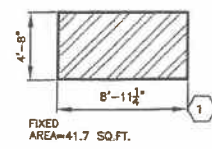
1 PROPOSED WEST ELEVATION
 SCALE : 1/4" = 1'-0"

ACTUAL
 WINDOWS/
 ROOF IN
 RED

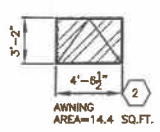
1405.12 EXTERIOR WINDOWS AND DOORS, WINDOWS AND DOORS INSTALLED IN EXTERIOR WALLS SHALL CONFORM TO THE TESTING AND PERFORMANCE REQUIREMENTS OF SECTION 1714.5.
 1405.12.1 INSTALLATION, WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS. FASTENER SIZE AND SPACING SHALL BE PROVIDED IN SUCH INSTRUCTIONS AND SHALL BE CALCULATED BASED ON MAXIMUM LOADS AND SPACING USED IN THE TESTS.
 1405.12.2 WINDOW SILLS, IN OCCUPANCY GROUPS R-2 AND R-3, ONE- AND TWO-FAMILY AND MULTIPLE-FAMILY DWELLINGS, WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES (1829 MM) ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES (610 MM) ABOVE THE FINISHED FLOOR SURFACE OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 24 INCHES (610 MM) SHALL BE FIXED OR HAVE OPENINGS SUCH THAT A 4-INCH (102 MM) DIAMETER SPHERE CANNOT PASS.
 EXCEPTION: OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2080.



4 DOOR SCHEDULE
 SCALE : 1/4" = 1'-0"



3 WINDOW SCHEDULE
 SCALE : 1/4" = 1'-0"

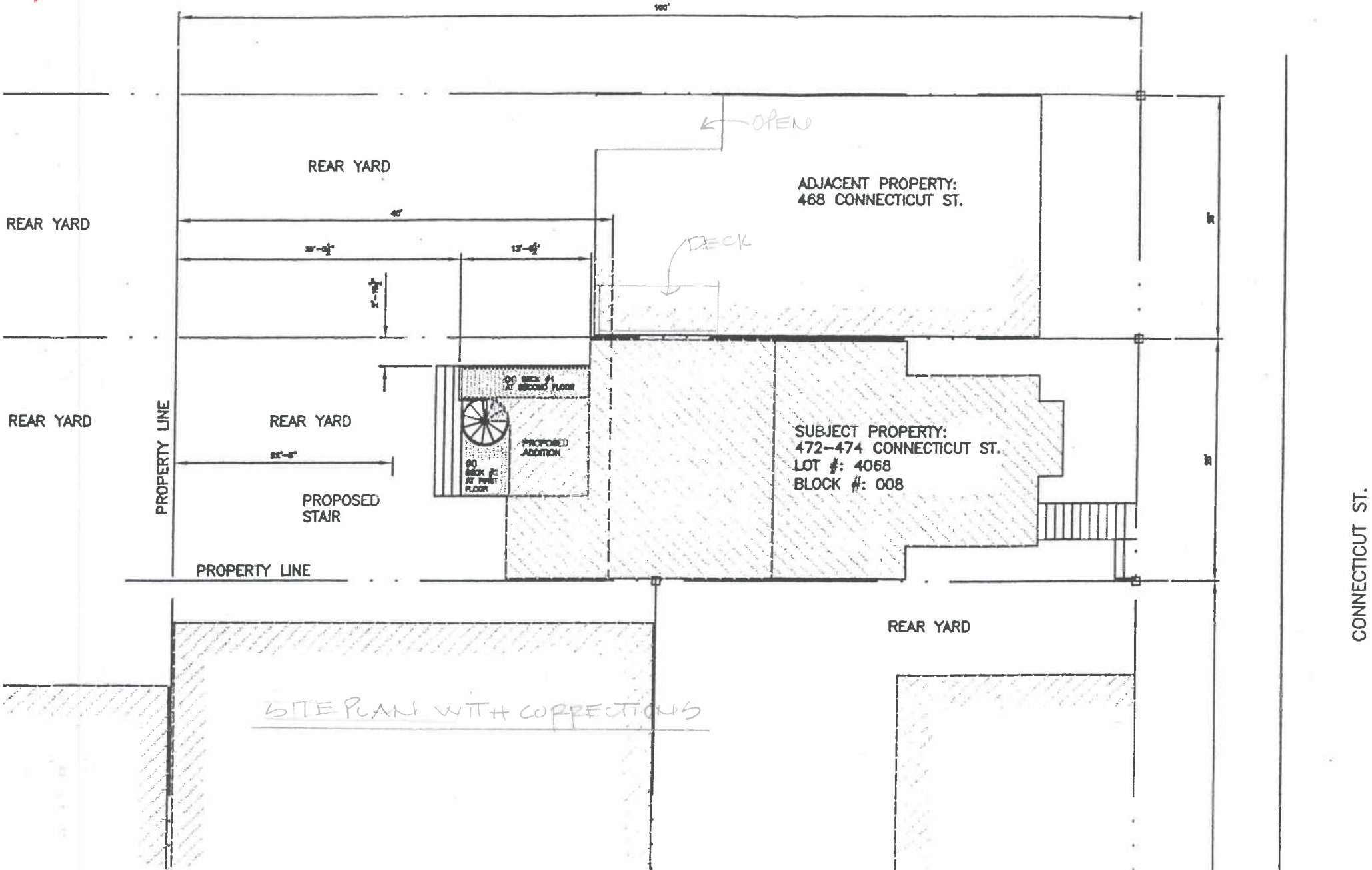


1203.4.1 VENTILATION AREA REQUIRED, THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.
 1203.4.1.1 ADJOINING SPACES, WHERE ROOMS AND SPACES WITHOUT OPENINGS TO THE OUTDOORS ARE VENTILATED THROUGH AN ADJOINING ROOM, THE OPENING TO THE ADJOINING ROOM SHALL BE UNOBSTRUCTED AND SHALL HAVE AN AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE INTERIOR ROOM OR SPACE, BUT NOT LESS THAN 25 SQUARE FEET (2.3 M2). THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE BASED ON THE TOTAL FLOOR AREA BEING VENTILATED.

255 SQ.FT. (AREA OF NEW MASTER BED RM.) X 4% = 10.2 SQ.FT. < 19 SQ.FT. (AREA OF NEW WINDOWS OPEN)

OWNER:	MR. JERRY GUAY	472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107 (408) 398-2524
PROJECT:	HOUSE REMODEL	472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107
ARCHITECT:	ASHTON RICHARDS	1607B MCALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252
DATE:	JUNE 22/2010	
SCALE:	AS SHOWN	
DRAWN BY:		
JOB:		
SHEET:		A6

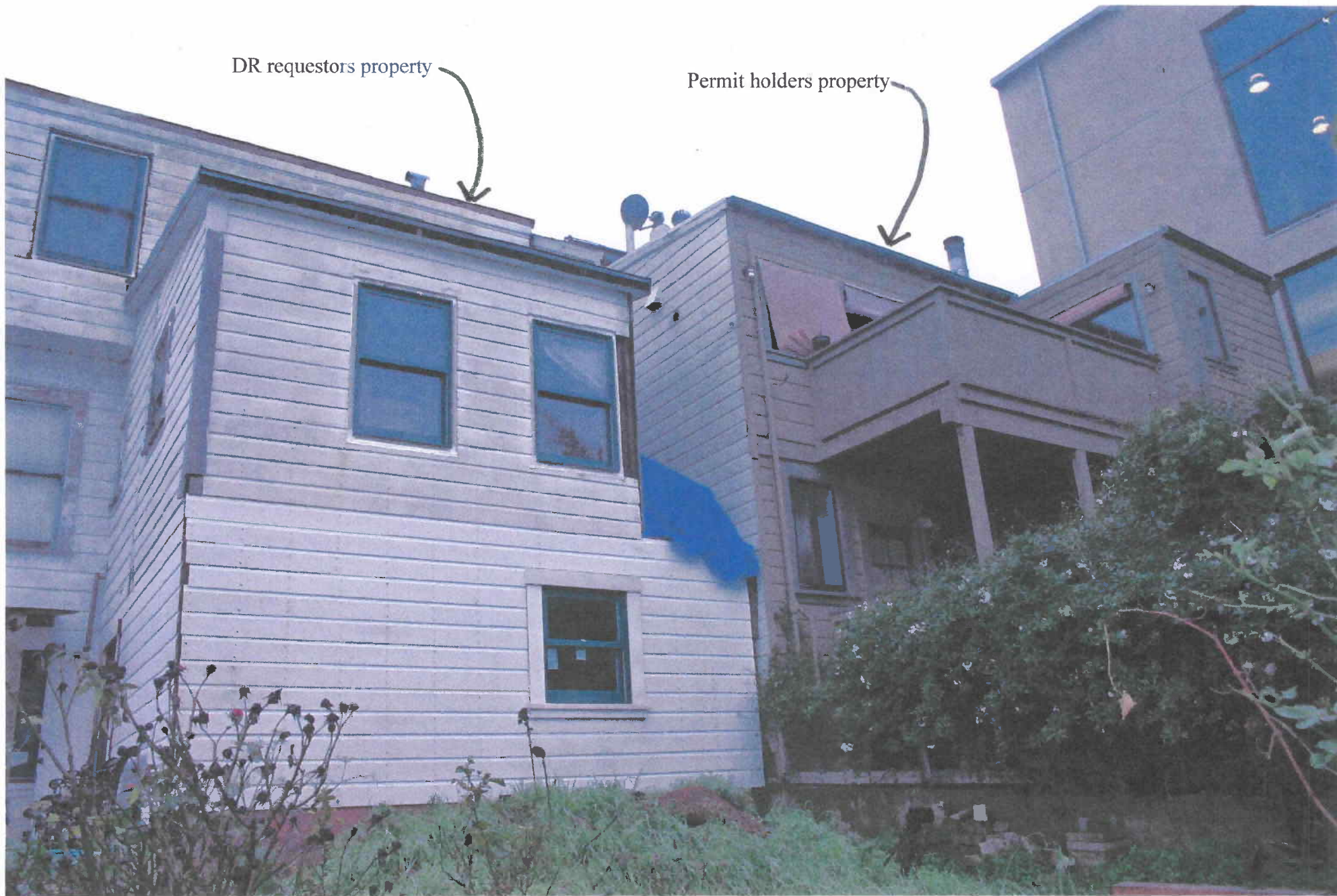
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CONNECTICUT ST.

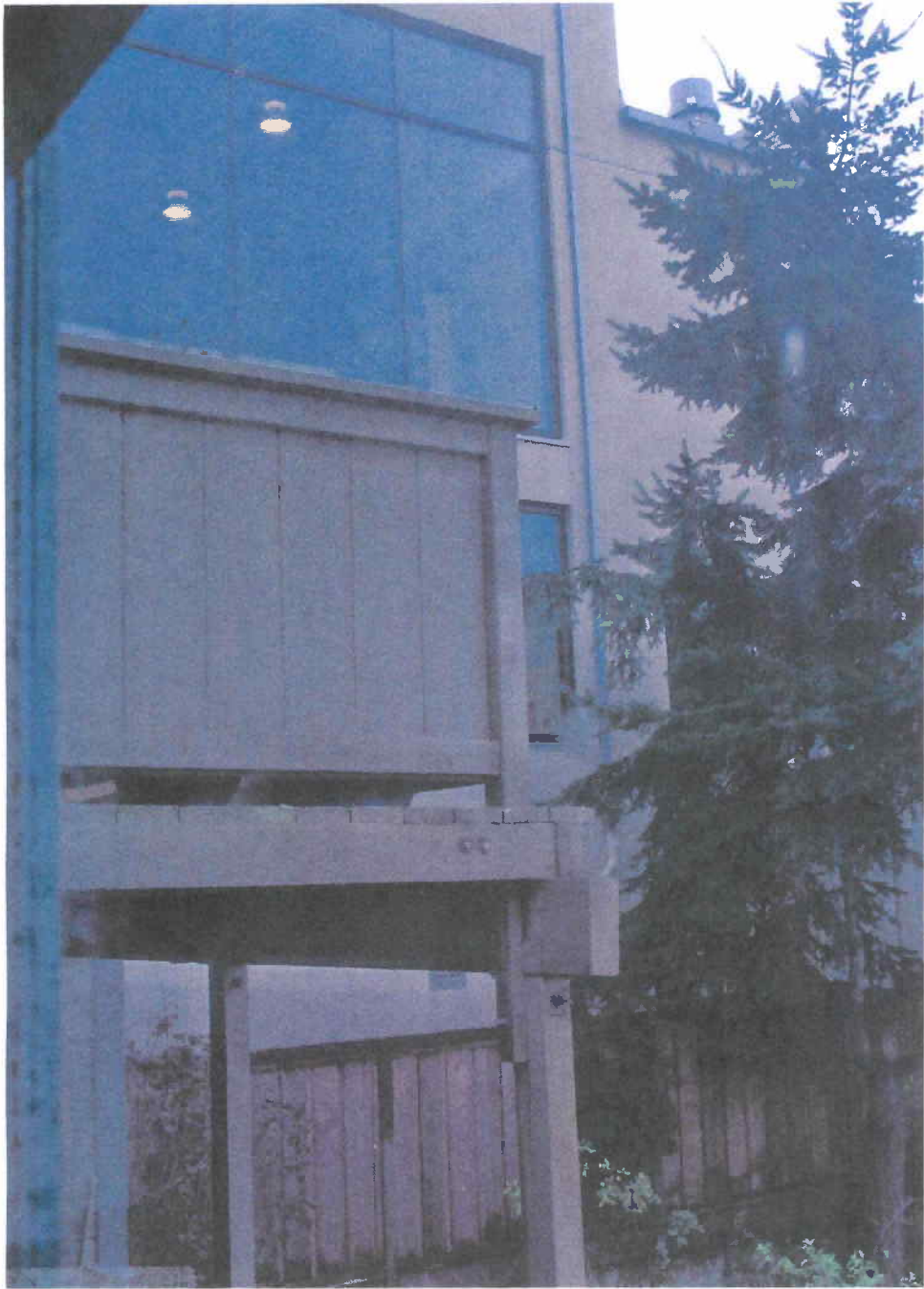
DR requestors property

Permit holders property





View looking south at existing deck at 472/474 Connecticut



View from interior west facing window of DR requestor at existing deck at 472/474 Connecticut

May 18, 2011

Re: Permit Application # 2010.08.23.9362

Dear President Christine Olague and Members of the Planning Commission,

My wife Dilara Guay, daughter Celine and I (Jerry Guay) currently live at 474 Connecticut Street. During the past several years (since 2002), we have been working with our neighbors (primarily Tom and Robin Bonelli) to facilitate improving the design and layout of our home. Additionally, our goal has always been to preclude any negative impact to our neighbors while adding value to our home as well as the neighborhood in general. We have a great deal of time, money and energy invested in the planned improvements, and plan on raising our family and retiring here. We desire long term good relations with our neighbors.

Most recently:

Mid 2008-2009: We had proposed a vertical room addition as a result of our daughter Celine's recent birth creating a need for more living space (the current design of our home is effectively a one bedroom and no functional family/living room space). At that point, the Bonellis retained the services of their architect (James Stavoy) to advise them on this proposal and help request a discretionary review. Additionally, Robin indicated in an email dated 06/10/2008 (attachment 1) that she has a degree in architecture and regularly reviews plans. With two sets of trained eyes for review, we've been comfortable that any and all plans presented would be clearly understood by the Bonellis.

June 2010: We made a decision to scale down the project with the continued services of our architect, Ashton Richards. The revised plans create a much needed functional living space (for our now larger family) by partially enclosing the existing rear deck. There will be a 3' balcony at the north elevation that will extend ~5' west to allow access to a spiral stairway for safe egress to the rear yard area.

July 28, 2010: After the Bonellis and their architect reviewed our revised (and properly submitted) plans, the Bonellis supported our project at the variance hearing. The variance was approved, and we felt that everyone was comfortable, and it made sense to move forward with the additional time and expense of the building permit process. Note, the plans clearly showed the railings as being clear glass (illustrated the same as the adjacent windows – see plans).

December 20, 2010: Received a call from Robin Bonelli indicating that she had a problem with north balcony railing being glass. At that point, I told her I would like to work out a solution that would make her more comfortable, and would revisit the previously approved design with my architect upon his return from vacation.

December 28, 2010: After reviewing the design with my architect, I notified the Bonellis that glass was the best option for a clean and attractive design as approved. I was surprised that after nearly five months time to review and notice the glass railing that this was now an issue... but still indicated that I would work with them towards a compromise that would increase their privacy while not damaging the approved design too much.

December 28 – January 13: I continued to offer the Bonellis the option of frosting a portion of the railing (including an email dated 1-10-2011 – (attachment 2)) to which their only response was to insist on 100% frosted glass.

January 14: (last possible day to file for a DR) – The Bonellis were still not open to compromise and filed for a DR.

January 14 – March 6: Followed up with phone calls to continue negotiations with no luck

March 7: Emailed the Bonellis (attachment 3) proposing to frost the lower 33% of the north/east railing section.

March 12: Emailed a response (attachment 4) to the Bonelli's proposal to still frost 100% the railing section in question (immediately parallel to living area). Note that any landing extension west of the existing structure is not relevant, as it lies west of our property/living area in a view line directly west (away) of the Bonelli's property.

March 17: Emailed an additional response to the Bonellis (attachment 5). I indicated that if 33% was not acceptable, to please respond with another number somewhere between 0 & < 100% they did not. I went on to remind them that we would continue in good faith to work with them subsequent to any DR result. I contacted the planner, Diego Sanchez, who indicated that a DR hearing date had not yet been reserved for our case and that the next available date was in June. He then contacted the Bonellis who chose June 2nd (10 months after our variance/plans were initially approved).

March 22: Emailed response to a 2nd proposal from the Bonellis (attachment 6) identical to the first where the railing section in question was still 100% frosted...therefore no compromise. My email also suggested that we all take a look from inside their home to see their prospective as they had already done from our home. Subsequent to that suggestion, all communication was cut off until I received a call from Tom indicating that they would not allow me into their home to see their perspective.

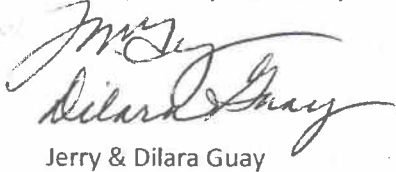
Please note the following points:

- 1.) The exceptional and extraordinary circumstances indicated in the Bonelli's DR request dated January 14, do not apply in this case due to:
 - A.) They reference a completely different project that was postponed solely at our discretion.
 - B.) The plans submitted for this (current) project indicated glass railings and were subsequently approved by all parties involved.
 - C.) The only window in the Bonellis home impacted by our project is located at the SW elevation (2nd story), and the angle is too sharp from our home to allow any clear view to their living area. The interior behind the above mentioned window is comprised of a framed in stairwell and landing from the garage area, not normal living area. The framed interior wall is set back ~5 additional feet east of the west exterior wall to allow for the stairwell.
- 2.) The project will not cause unreasonable impacts for the above mentioned reasons. The angle in to the Bonelli's backyard is too steep downward to have an impact from our living area.

- 3.) The solid railing alternative would only damage the design quality due to it being more visibly intrusive vs. the lighter clear glass design which also allows more uninterrupted natural light flow.

In closing, this project has now been delayed for nearly a full year from the date of the variance being fully approved. We look forward to finally resolving this and moving forward without being damaged by further delays. We hope that this documentation has clearly illustrated that we've gone above and beyond to work with our neighbors and will continue to do so.

Thank you very much for your time and consideration.



Jerry & Dilara Guay

Jerry & Dilara Guay

Attachment 1

From: Robin Bonelli
To: Jerry Guay;
Subject: RE: Plans - 472-474 Connecticut St. (this should work)
Date: Tuesday, June 10, 2008 11:42:07 PM

Hi Jerry,

Based on what you have sent us, we cannot honestly say that we have been provided with a set of drawings and have reviewed them.

The difficulty with the plans is not that we cannot read them. As you know I have a degree in architecture and regularly review drawings. The drawings, however, are so small that almost all of the writing and dimensions are illegible. We even tried printing them and looking at them with a magnifying glass, but there are so many details that we cannot read that we cannot get an accurate picture of what your plans are.

Your addition will have a major impact on our property so we are sure you will appreciate how important it is that we have a clear understanding of what you are proposing.

Please provide us with a clear set of drawings that we can review.

Thank you,

Robin & Tom

Jerry Guay
<gwwguay@msn.com>

wrote:

From: Robin Bonelli [<mailto:tomrobin@pacbell.net>]

Attachment 2

From: Jerry Guay
To: tomrobin@pacbell.net;
cc: ashton richards; Jerry Guay;
Subject: Connecticut project
Date: Monday, January 10, 2011 5:39:45 PM

Hi Tom and Robin –

Thanks for your message earlier today, per your request we are responding in writing. As I mentioned in our previous conversation, we completely understand your privacy concerns, and good relations with you is definitely a priority for us.

To remedy this concern, we propose to frost a portion of the existing north deck railing, blocking a portion of the view to your property while still allowing a reasonable view of downtown.

Thanks very much

Jerry Guay – 415-282-8875

Attachment 3

From: Jerry Guay
Sent: Monday, March 07, 2011 9:21 AM
To: 'Robin Bonelli'
Subject: RE: 474 Connecticut project

Hi Robin –

Thought I sent this while out of town. Please let me know what you think.

I'd be willing to commit to frosting to lower 33% of the replacement for the existing (north facing) railing section in question, and revise the plans for the city immediately. I understand that if the DR is withdrawn, they will refund at least most of your deposit.

Please let me know if this is acceptable, and if you will withdraw the DR request as a result of this agreement.

Thanks very much

Jerry

Attachment 4

From: Jerry Guay
Sent: Saturday, March 12, 2011 8:04 PM
To: Robin Bonelli
Subject: 474 Connecticut project

Hi Robin –

Thanks very much for sending the new design option.

Response to the "design":

1. The stepped portion of the glass railing in our opinion does not improve your privacy and reduces our view of the city scape. Keep in mind that we want to see the city. Frosting to the top of the railing also blocks that view. We want to see out, not down into your yard.
2. If you want a compromise on paper, we will agree to a partial frosting of the railing in front of the glass door. The planning department's position on the matter supports glass, and if the Planning Commission agrees... we will still frost a portion of the glass to benefit both of us, but there won't be any restrictions on the potential next owner of our house.
3. We would prefer to maintain existing good relations with you, and feel you want the same. How you feel is important to us, but at the same time the potential of our house was one of the primary reasons we bought it. We are decent people and although we have the ability to see into your property like the other neighbors ...including the people in the public library, we choose not to go out of our way to look into your yard. If a secure compromise that benefits both of us would in your opinion help us maintain good feelings between us, lets compromise before the hearing. At the hearing it is too late to secure a documented compromise.

Thanks again,

Jerry

Attachment 5

From: Jerry Guay
Sent: Thursday, March 17, 2011 11:55 AM
To: Robin Bonelli
Cc: Jerry Guay
Subject: RE: 474 Connecticut project

Hi Robin –

Thanks very much for your response.

At this point, there should be no confusion as we've been discussing frosting a portion of the railing section immediately adjacent to the north facing glass door leading out to the terrace.

Our last proposal was to compromise by changing the plans to incorporate frosting the lower 33% of the railing section immediately adjacent to the north facing glass door (e.g. the existing section only). If 33% is not acceptable to you, and you have another number in mind somewhere between zero and <100% that is agreeable to everyone, then the DR can be cancelled.

Your latest proposal still shows this railing section as being 100% frosted (no compromise), and it seems that we are therefore at an impasse and will proceed with the DR ASAP. We have informed Mr. Sanchez that the DR needs to be scheduled ASAP.

Please call me anytime if you like.

Thanks again, and as I mentioned, no matter what the DR results are, we intend to continue to work with you and frost a portion of the railing to facilitate your privacy concerns.

Jerry

Attachment 6

From: Jerry Guay
Sent: Tuesday, March 22, 2011 11:54 AM
To: Robin Bonelli
Cc: Jerry Guay
Subject: RE: 474 Connecticut - north railing proposal

Thanks Robin –

This looks almost identical to the previous drawing (100% frosted east section of the N. facing railing) sent after we had offered to compromise by frosting the lower 33% of that section. At that point, we had asked if you had a different % somewhere between 0- <100%.

Would it be okay if I took a look from the inside of your house to see your perspective?

Thanks

Jerry

In addition to my response I am presenting the following photos and corresponding statements provided by my Architect. The same arrows and photos were superimposed on the existing and proposed site plan for comparison.

1. Photograph number 1 on the sheet A2 show a view from my client's existing deck to the neighbor's windows. The windows are in clear view at this position. Since I am standing next to the existing rail and the propose location to the glass rail the material and its transparency are irrelevant to the visibility of the windows.

2. Photograph number 2 on sheet A2 shows the location of the neighbor's windows in relation to the level of my existing deck and proposed landing.

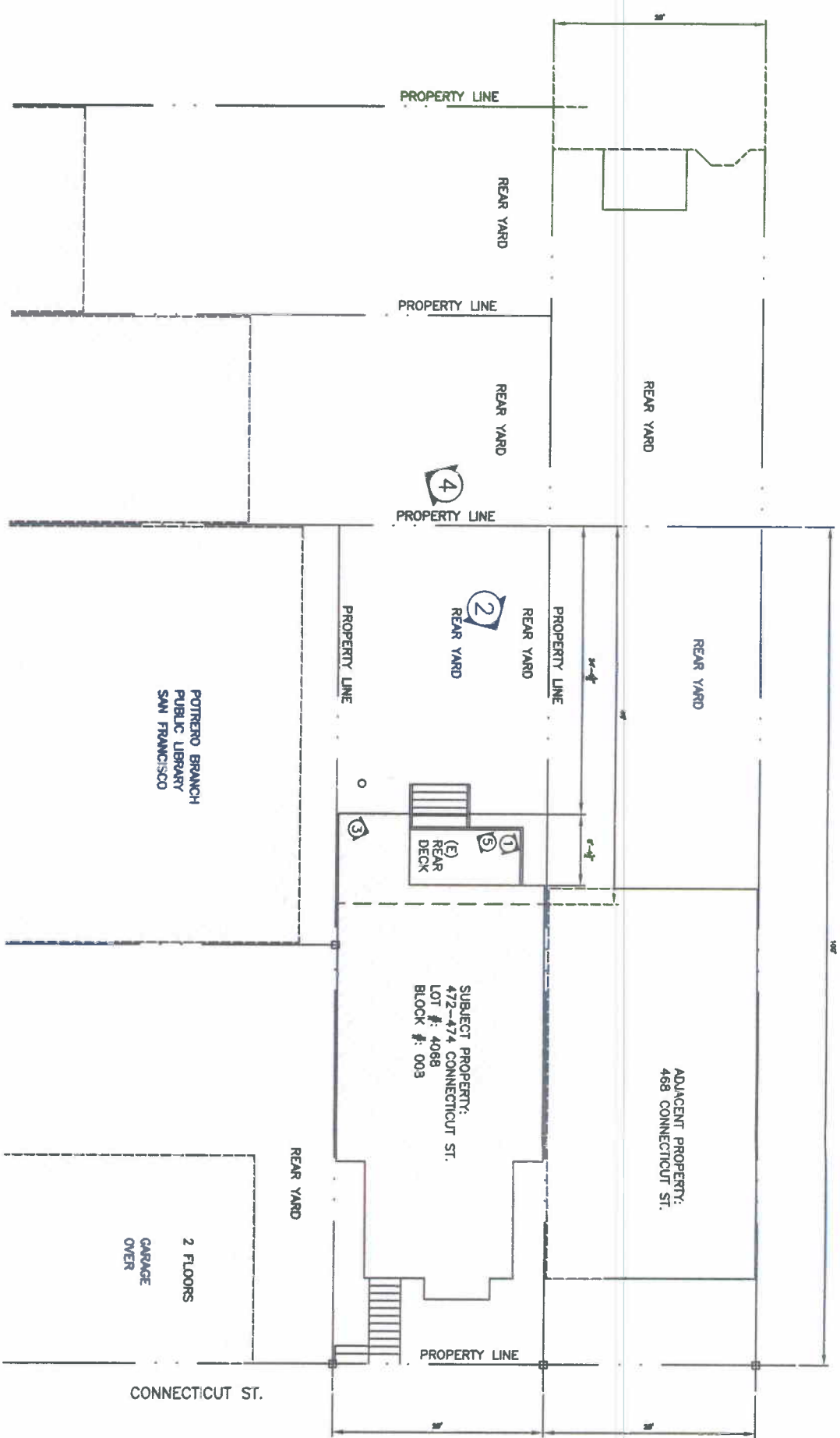
3. Photograph number 3 on sheet A2 shows a view from inside the existing structure across the existing deck to the neighbor's windows. At this angle the existing rail blocks most of the view to the windows but the angle is so extreme that no view in the windows is possible. At this angle the most one sees is the window frame. At the site line that the proposed 42" high rail could block a portion of my client's view of the neighbor's windows there would be no significant view into the neighbor's windows. In relation to the complaint of privacy loss; there is no significant difference between glass and another material when the angle of the sight line is this severe.

4. Photograph 4 shows a view from the yard of the project to the adjacent north facing façade of the library. The privacy in any of the back yards is already compromised by the windows of the adjacent neighbors and the extensive windows on the back of the library.

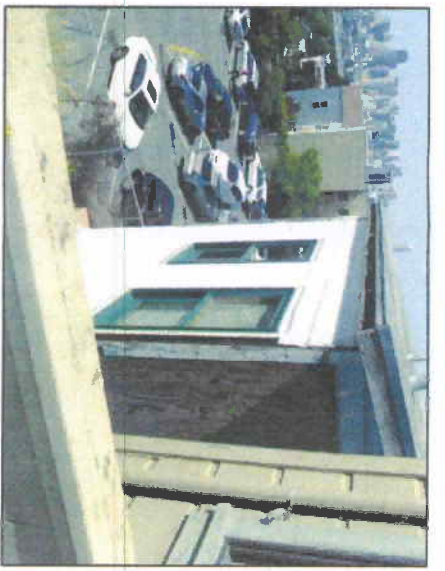
5. Photograph 5 shows a view from the deck of the project to the adjacent north facing façade of the library.

6. The last photograph 6 is comprehensive. This photo shows the relationship between the project site, the neighbor's rear façade, and the backs of all the surrounding building.

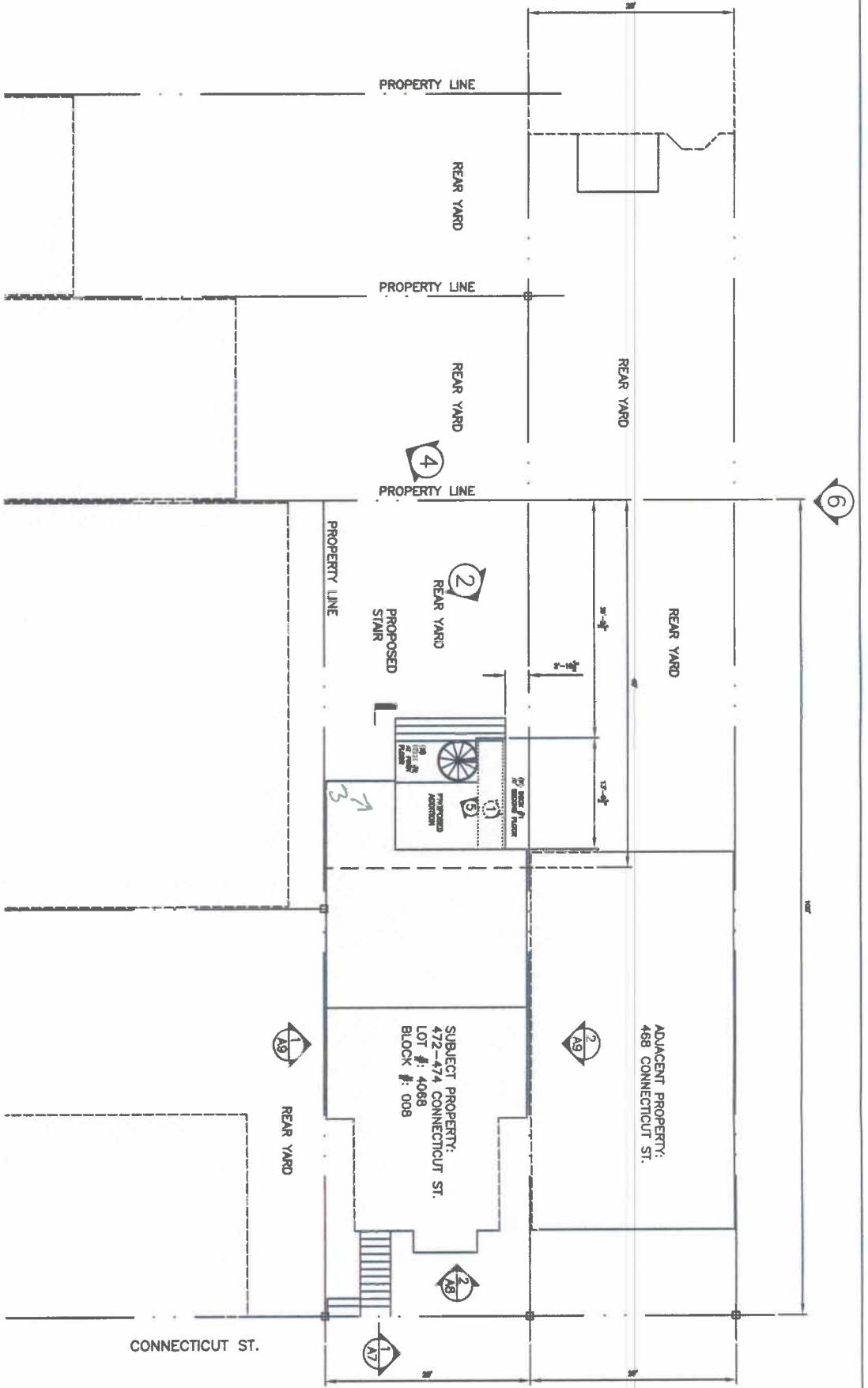
Given the scale, orientation of windows, and materials of the context the proposed project is not out of the ordinary. The proposed project is smaller than the recent projects built near it. The project orientation minimizes views to the neighbor's windows. There are significant examples of successful glass railings in clear view of both the project site and the adjacent neighbor's property.



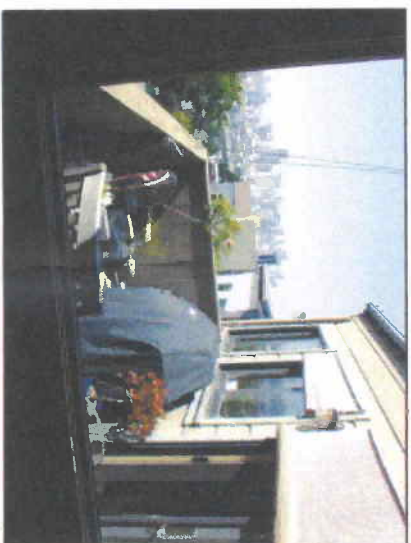
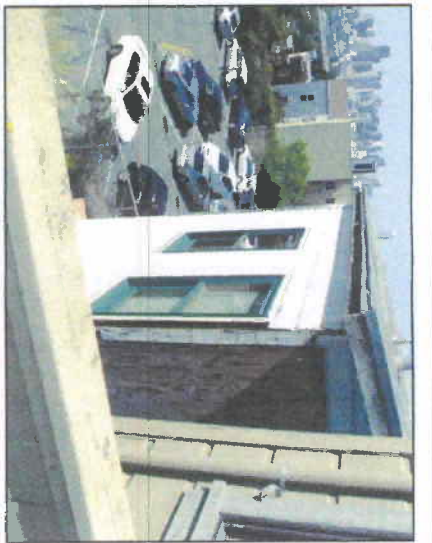
7 EXISTING SITE PLAN
SCALE: 1/8" = 1' - 0"



OWNER: MR. JERRY GUAY 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107 (408) 398-2524	PROJECT: HOUSE REMODEL 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94117	ARCHITECT: ASHTON RICHARDS 1607B MCALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252	DATE: JUNE 22/2010 SCALE: AS SHOWN DRAWN: AR JOB	SHEET A2 OF SHEET	REVISED BY
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7 PLOT PLAN
SCALE: 1/8" = 1' - 0"



OWNER: MR. JERRY GUAY 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94107 (408) 398-2524	PROJECT: HOUSE REMODEL 472-474 CONNECTICUT ST. SAN FRANCISCO CA 94117	ARCHITECT: ASHTON RICHARDS 1607B MCALLISTER ST. SAN FRANCISCO CA 94115 (415) 378 6252	DATE: JUNE 22/2010 SCALE: AS SHOWN DRAWN: AR
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SHEET A3
OF SHEET