



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Full Analysis

HEARING DATE JANUARY 13, 2011

Date: January 6, 2011
Case No.: 2009.1162DD
Project Address: 456 Urbano Drive
Permit Application: 2010.07.26.7410
Zoning: RH-1 (D) [Residential House, One-Family (Detached)]
40-X Height and Bulk District
Block/Lot: 3916/010
Project Sponsor: Tad and Kim Nguyen, Property Owners
456 Urbano Drive
San Francisco, CA 94127
Staff Contact: Elizabeth Watty – (415) 558-6620
Elizabeth.Watty@sfgov.org
Recommendation: **Take DR and disapprove the permit**

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PROJECT DESCRIPTION

Under Building Permit Application (BPA) No. 2010.07.26.7410, the Project seeks to legalize the height of the partially constructed vertical addition, which exceeds the height of the plans approved by the Planning Commission in Case No. 2007.0448DDD; BPA No. 2006.05.09.1110. It also seeks to legalize several other “as-built” modifications, which all deviate from the previously approved permit. These modifications include an increase in the size of the front deck at the 2nd floor (achieved by cutting into the lower level roofline), the window pattern (window pattern, size, lite pattern and style), roof and parapet design, chimney size and material, banding details, and the design of the roofline over the building entrance. The Planning Department and Ingleside Terraces Homes Association filed for Discretionary Review (DR) on this project.

The previously approved project (BPA No. 2006.05.09.1110) was brought to the Commission through a staff-initiated DR and two public DRs. The Commission took DR and approved the project with Staff’s recommendations to reduce the size (height, width, and depth) of the horizontal rear addition. Although the Commission did not make any changes to the height of the vertical addition, it was the concern of the adjacent neighbor who filed a separated DR. Many of the design features – particularly the windows – were debated at length with the Project Sponsor during the Department’s initial review of the project. The Project Sponsor was willing to follow the Department’s design requirements, and therefore design details and fenestration pattern were not a substantial part of the discussion at the Planning Commission hearing.

The previously-approved project (BPA 2006.05.09.1110) included the following scope of work:

- A 42-foot deep, **one-story vertical addition** to the existing single-story dwelling, setback 12 feet from the front building wall, with a 5'-0" front deck tucked behind the first floor roof.
- A one-story **horizontal rear addition** (12-feet tall, 22-feet wide, 11 feet deep, max.)
- A 5-foot deep, **one-story horizontal front addition** that expanded the existing dining room by 73 square feet by adding a front bay window to mirror the existing front bay window on the opposite side of the façade;
- The **replacement of the existing vinyl windows with flat grills** that were installed on the front of the building without benefit of permit with new wood windows with true divided lites;
- The **legalization of an existing horizontal rear addition** made to the detached, rear yard garage without benefit of permit; and
- The **elimination of a side addition made to the detached garage** without benefit of permits.

PROJECT HISTORY

The Subject Property, under its current ownership, has been the subject of several Notices of Violations, public hearings, and Stop Work Orders. Below is a timeline of the recent history:

- **March 27, 2006** – NOV 200668340 for work without permit (including horizontal addition).
- **May 9, 2006** – Building Permit Application No. 2006.05.09.1110 submitted to address work without a permit.
- **December 20, 2007** – Planning Commission DR Hearing – Staff-initiated DR (because Property Owner would not make the requested changes to comply with the Residential Design Guidelines) and two neighbor DRs. The Commission took DR and approved the project with the staff-recommended modifications, which were to reduce the height, depth and width of the horizontal rear addition.
- **November 17, 2008** – Building Permit Application No. 2006.05.09.1110 issued.
- **December 1, 2008** – Appeal No. 08-176 filed for Building Permit Application No. 2006.05.09.1110 by neighbor (DR requestor) stating concerns about shadows on her rooftop solar panel installation.
- **February 4, 2009** – Appeal No. 08-176 heard by Board of Appeals and upheld 4-1 (Goh dissenting). Department supported Permit Holder at that time because Department found shading effects of proposal on the neighbor's solar panel installation to be "minimal". Height of building (from approved plans) was 25' 6".
- **April 1, 2009** – NOV 200999468 issued for noncompliance with approved plans.
- **May 12, 2009** – Building Permit Application No. 200905128233 was filed to address complaint and revise the project to "meet height limit per application #200605091110." It was later determined that the subject application changed the datum used for measuring the height of the building and that the subject building was actually taller than what was authorized by the Planning Commission under Building Permit Application No. 2006.05.09.1110.
- **May 21, 2009** – The Planning Department issued a Stop Work Order request for Building Permit Application No. 2006.05.09.1110.
- **June 17, 2009** – The Department performed a site visit to the Subject Property and found that in addition to the height discrepancy, there were other aspects of the project (windows, railings and gabled entry) that were not in compliance with the approved plans.

- **June 23, 2009** – The Planning Department issued a revised Stop Work Order request for Building Permit Application No. 2006.05.09.1110, noting the other compliance issues.
- **July 14, 2009** – The Department issued a Notice of Violation and Penalty for the Subject Property because it had been reported to the Department that work continued at the subject property in violation of the Stop Work Order. The Department subsequently received confirmation that work had ceased and no penalties were assessed.
 - The Department stated that the overall height discrepancy (as determined by DBI) was approximately 1'-9" and demonstrated that Building Permit Application No. 2009.05.12.8233 changed the datum for height measurement from the previously approved plans, resulting in a building taller than originally approved by the Planning Commission and Board of Appeals.
 - The Appellant argued that there had been much confusion about the height measurement and that the first building inspector stated the discrepancy was 0'-7", the second inspector stated 1'-0", a third inspector stated 1'-3" and the Planning Department stated 3'-7". The Appellant stated that the height of the building was in compliance with approved plans (2009.05.12.8233) and that this had been verified by a surveyor.
 - The Board requested a copy of the survey and was provided a letter from a civil engineer (Ernest Renner) stating that the building conformed to approved plans (2009.05.12.8233). Steven Weiss, a land surveyor, testified that the building conformed to approved plans (2009.05.12.8233), but did not provide any documentation supporting this statement.
 - The Board agreed that the building was taller than originally approved and stated that while a 1'-9" discrepancy is not severe, it was significant given the amount of scrutiny given to the project.
 - The Board voted 5-0 to uphold the Zoning Administrator's Stop Work Order request.
- **December 22, 2009** – Property Owner decided to legalize the as-built conditions rather than correct the discrepancies; they filed an Environmental Evaluation for historic review.
- **July 26, 2010** – Property Owner filed a new building permit (BPA 2010.07.26.7410) that combined all of the as-built conditions on the lot, which they propose to legalize.
- **October 18, 2010** – Section 311 Notification was sent out to neighborhood on BPA 2010.07.26.7410, noting the Staff-initiated DR.
- **November 17, 2010** – Ingleside Terraces Homes Association filed DR.

SITE DESCRIPTION AND PRESENT USE

The Subject Property is an irregular lot, with widths ranging from approximately 48 feet along the street frontage to 62.5 feet along the rear property line. The average depth of the lot is 120 feet. The lot is relatively flat for the portion containing the dwelling, and slopes downward throughout the rear yard. The Subject Property is located in Ingleside Terraces, on Urbano Drive between Alviso and Moncada Way, at the western end of the former racetrack.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

Ingleside Terraces consists of approximately 750 single-family, detached homes, and was constructed between 1917 and 1951, primarily by Joseph Leonard, a local developer who played a major role in the development of the western portion of San Francisco. The neighborhood is boarded by Ocean Avenue to the north, Holloway Avenue to the south, Ashton Avenue to the east, and Junipero Serra Boulevard to

the west. Property types in Ingleside Terraces include Craftsman and Period Revival, Spanish Eclectic, and Mediterranean houses. The buildings vary in size, typically ranging from one-to-two stories over basements, but are of a similar scale, typically with side yards and many with detached garages located in the rear yards.

BUILDING PERMIT APPLICATION NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	10/18/10-11/17/10	11/17/10	1/13/11	57 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	January 3, 2011	January 3, 2011	10 days
Mailed Notice	10 days	January 3, 2011	January 3, 2011	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	2	0
Other neighbors on the block or directly across the street	0	1	0
Neighborhood groups	0	1	0

The Department has received comments from two adjacent neighbors, one neighbor on the block, and the Ingleside Terraces Homes Association, who are all in opposition to the Project Sponsor legalizing any of the as-built conditions. The Department has not received any support for the Project.

DR REQUESTORS

1. Planning Department, Staff-Initiated Discretionary Review
2. Ingleside Terraces Homes Association (ITHA) (Home Owners’ Association for the Subject Property).

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

The Planning Department’s concerns about this project and rationale for filing a DR include:

Issue #1: The as-built height of the vertical addition exceeds the height previously approved by both the Planning Commission and Board of Appeals. Due to the increase in height, the vertical addition is no longer a subordinate vertical addition, nor is it contextual with the surrounding neighborhood character.

Issue #2: The increased depth of the second-story front deck results in a three-foot reduction to the depth first-story roofline. This alteration makes the vertical addition more visible and detracts from the character of the building.

Issue #3: The “as-built” windows are not consistent with the windows approved by the Planning Commission, nor are they compatible with the architectural style of the dwelling. The Department had worked at length with the Project Sponsor during the review of their 2006 permit to have the Project Sponsor indicate the removal of the illegally installed windows (similar in design to the subject “as-built” windows) and installation of architecturally appropriate wood windows with true-divided lites.

Issue #4: There are several other design-related inconsistencies with the previously approved permit, including the chimney height and material, the location of banding, and the roofline over the entrance.

The Ingleside Terraces Homes Association (ITHA) has several concerns about this Project, including:

Issue #1: The Project is built in ‘willful violation’ of the building permit that was granted to the permit holder, after the discretionary review hearing in 2007 (Case No. 2007.0448DDDV), the Board of Appeals hearing in 2009 (Case No. 09-073). The Project Sponsor’s lack of compliance for three Stop Work Orders involved the Planning Department staff, the SF Police Department, and Department of Building Inspection.

Issue #2: It is a precedent setting situation that will have a negative effect in the Ingleside Terraces neighborhood, and potentially City-wide, if approvals are given after-the-fact, for a project that intentionally disregards the scope of work authorized in the permit. Approval of as-built conditions should not be given, and the method by which this project sponsor has renovated their property should not be sanctioned or ignored.

Issue #3: This Project has negatively impacted the Ingleside Terraces neighborhood since the Project Sponsor built in excess or in variation of the issued permit, including erecting the vertical addition to the residence about 1’-6” higher than permitted. The quality of San Francisco’s neighborhoods cannot be maintained or improved if project sponsors’ are allowed to violate approved permits and work outside the permit.

Issue #4: The Project Sponsor, Tad Nguyen, is a building contractor and should know better, but he has a lengthy history of deviating from the approved plans or doing work without permits. There are three other properties in Ingleside Terraces on which he has worked; all three have had violations.

Issue #5: The Project Sponsor has an on-going history of violations brought by the Contractors State License Board.

Please see the attached *Discretionary Review Application* for additional information and the DR Requestor’s exhibits.

PROJECT SPONSOR'S RESPONSE

The Project Sponsor states that they have an approved permit under BPA 2006.05.09. to build up to a height of 25'-6", and they have submitted the subject permit (BPA No. 2010.07.26.7410) to resolve the ambiguity regarding the building height measurement and to allow few changes to the façade and windows design for greater energy efficiency.

The Project Sponsor states that the other properties referenced in the DR Requestor's Application are not under the Project Sponsor's ownership. The Project Sponsor feels that they have addressed the Planning Departments concerns in the subject permit application.

The Project Sponsor states that they have discussed/worked with Planning and Building staff since April, 2009, to address their concerns by doing the following:

1. Obtaining Building Permit Application No. 2009.05.12.8233 on May 14, 2009, for revised plan reiterating the building height of 25'6. They paid \$714.50 to obtain this permit as required by Planning staff.
2. While working with staff during the 2006 permit review phase, they conferred with Planning staff and were told that as long as the front windows were "wood framed", those windows would be acceptable.
3. After they complied with Building Permit Application No. 2009.05.12.8233 and changed the project to meet Planning staff's concerns, Planning staff informed the Project Sponsor that the permit was erroneously approved, because that the datum point used for measuring height was not consistent with the datum point used in the original approval. Planning staff told the Project Sponsors that they needed another permit to address the full scope of work without permits, and they complied by submitting BPA 2010.07.26.7410.

The Project Sponsors have stated in their response that they are not willing to make any changes because they have paid additional fees of approximately \$10,000 and have patiently gone through this additional two-year process to try and legalize the as-built conditions.

They contests that the "as-built" height is 25'-11, as document by a Licensed Surveyor they hired, which is only five inches higher than the approved building height of 25'-6". They feel that the difference of five inches is negligible and should be tolerated for this type of construction.

They feel that the changes to the façade are slight and that the windows are being changed back to their original design to allow for greater light into the building and improved energy efficiency.

The Project Sponsor feels that the as-built conditions will not have any adverse effect on the surrounding properties, as there are examples of buildings with various heights in the surrounding neighborhood.

Lastly, the Project Sponsor feels that the "as-built" project should be approved because it has undergone Environmental Review, which took seven months and cost \$2,600.

Please see the attached *Response to Discretionary Review Application* for additional information and the Project Sponsor's exhibits.

PROJECT ANALYSIS

The Department and Commission's previous support of the vertical addition was based on its specific dimensions, being consistent with the Residential Design Guidelines, and being sensitively-designed to complement the surrounding neighborhood. Specifically, the vertical addition was approved as being setback 12-feet from the main front building wall, with a 5'-0" deck, making it "a subordinate design to the existing Spanish Eclectic style dwelling". The increase in height of the vertical addition in conjunction with the changes to the roofline at the lower level of the structure – both over the entry and the reduction in depth of the roof to accommodate a larger deck – increase the structure's visibility and decrease the architectural quality of the structure.

The as-built windows are larger than the approved windows with lower sills, a different lite pattern, and flat grills. The window pattern is also different on the sides of the building, which are visible from the public right-of-way. During the review of the 2006.05.09.1110 building permit, Staff discovered that the existing windows were installed without benefit of permit and were not architecturally appropriate for the building (Note: they were very similar to the current "as-built" windows). At the Department's instruction, the Project Sponsor updated the plans to indicate that the existing windows would be removed and new windows – as shown on the plans – would be installed. The new windows were supposed to be wood windows with either true divided lites or 3-dimensional divided lites that projected on the interior and exterior of the glass, with a spacer bar between panes (similar profile to a true divided lite). Window discussions were a big issue during staff's original review, and it is of great consternation to the Department that the Project Sponsor ignored the approved plans.

The remaining "as-built" conditions that deviate from the previous approved plans cumulatively affect the quality and character of the dwelling. Although individually these features may seem like minor changes to a larger project, design features that are visible from the public realm that deal with texture and detailing, such as the material and height of the chimney, the entry roofline, and the location of banding are critical in preserving the neighborhood character. The Code requires the Residential Design Guidelines to be applied to *every* residential project in residential districts, and this project should be required to follow-through in building the precise features reviewed and approved by the Department and Commission.

The Department of Building Inspection originally had some challenges in determining the degree to which the partially-constructed vertical addition deviated from the approved height because the ground elevation surrounding the building had been increased with the addition of new soil. This new soil added a significant amount of height to the grade of the property surrounding the house, which threw-off the height measurement of the building. According to the Department of Building Inspection, the height of a structure is taken as the measurement from the top of grade adjacent to the building to the top of the finished roof. In order to resolve this issue, particularly since the conditions at the site were no longer conducive to determining the accurate height, Planning Staff used the building's first floor as a static reference point, since this floor was not changed as part of the project. Review of the previously approved 2006 permit and the proposed 2010 permit indicate a height increase of 1'-9", as measured from the top of first floor to the top of the finished roof of the vertical addition.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the project against the previously approved project, and found the as-built alterations to be inconsistent with the Residential Design Guidelines.

The RDT does not support the massing of the vertical addition, as it is no longer a subordinate vertical addition, it no longer maintains the scale at the street, and it is no longer minimally visible from the street. The addition – as-built – stands out and does not complement the other buildings on the block, which is contrary to the design principles outlined in the Residential Design Guidelines. The RDT would support either a reduction in height by at least 1'-9" or an additional setback of 3'-0" from the front building wall, for a total of a 15'-0" front setback. (RDG, pg. 24-25)

The RDT does not support the proposed window changes, as they are not compatible with the Spanish/Mediterranean architectural style of the building. Windows define a building's character, and should be designed to be compatible with the building's architectural style. The size, shape, lite pattern, trim, and function of windows on Spanish/Mediterranean buildings have distinctive characteristics and features that typify its architectural style; the proposed windows are not compatible with those characteristics. (RDG, pg. 43-45)

Under the Commission's pending DR Reform Legislation, this project would be referred to the Commission, since it deviates from the Commission's previous approval and because staff does not find the as-built conditions to be consistent with the Residential Design Guidelines.

BASIS FOR RECOMMENDATION

- The as-built conditions are not consistent with the Residential Design Guidelines.
- The Department finds the plans previously approved by the Planning Commission and Board of Appeals, under BPA 2006.05.09.1110, to be a more appropriate alteration to the Subject Property.
- The proposed plans include numerous design modifications that would not be supported if they were being proposed and not already installed. In fact, the as-built windows are the same as the windows that illegally existed on the house when the 2006 permit was being proposed. The Project Sponsor wanted to keep those windows, but Staff required that they be removed and replaced with architecturally appropriate windows, since they were not installed with permits. Allowing the "as-built" windows would circumvent the Department's design review efforts and would denigrate the architectural quality of the structure.

RECOMMENDATION: Take DR and disapprove the building permit.

Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photos
Section 311 Notice
DR Application
Response to DR Application
RDT Comments
Reduced Plans of BPA 2006.05.09.1110
Reduced Plans of BPA 2010.07.26.7410
Comparative Graphics (2006 vs. 2010 permits)

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

Comments: The surrounding neighborhood is comprised of single-family detached dwellings constructed primarily between 1917 and 1951. The architectural styles are predominantly vernacular or Mediterranean Revival, although there is a mixture of other styles found throughout the neighborhood. The dwellings are mostly one and two stories in height, many of which contain detached rear yard garages.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?			
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?	X		
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?			X

Comments: The proposal respects the topography of the site, includes an articulated rear addition that minimizes impacts on adjacent properties, respects the existing pattern of side spacing, and is

articulated to protect privacy in adjacent dwellings. The as-built vertical addition, however, does not act as a transition between adjacent properties nor does it provide a pedestrian scale or enhance the street.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?		X	
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?		X	
Is the building's roofline compatible with those found on surrounding buildings?		X	

Comments: The depth of the building is compatible with the existing building scale at the mid-block open space, in that the rear addition was built in accordance with the Commission's required reduction (limiting it to one-story in height, 22 feet wide, and 11-feet deep). The height of the building, however, is not compatible with the existing building scale at the street due to the structure being 1'-9" taller than what was approved. Furthermore, the changes to the first floor roofline and windows are not compatible with surrounding buildings.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?		X	
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?		X	
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?	X		
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?			X
Are the design and placement of the garage entrance and door compatible with	X		

the building and the surrounding area?			
Is the width of the garage entrance minimized?		X	
Is the placement of the curb cut coordinated to maximize on-street parking?	X		
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?		X	
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

Comments: The previous approval left the building entrance unaltered, whereas the new roofline over the entrance is not compatible with the architectural style of the dwelling. The new deck has cut into the roof below, creating parapets that are disruptive to the architectural style of the structure. The previously approved bay window mimics the original bay window on the opposite side of the façade, and the garage is located at the rear of the lot and is minimally visible to the street. There are no dormers, stair penthouses, or windscreens proposed under this application.

BUILDING DETAILS (PAGES 43 - 48)

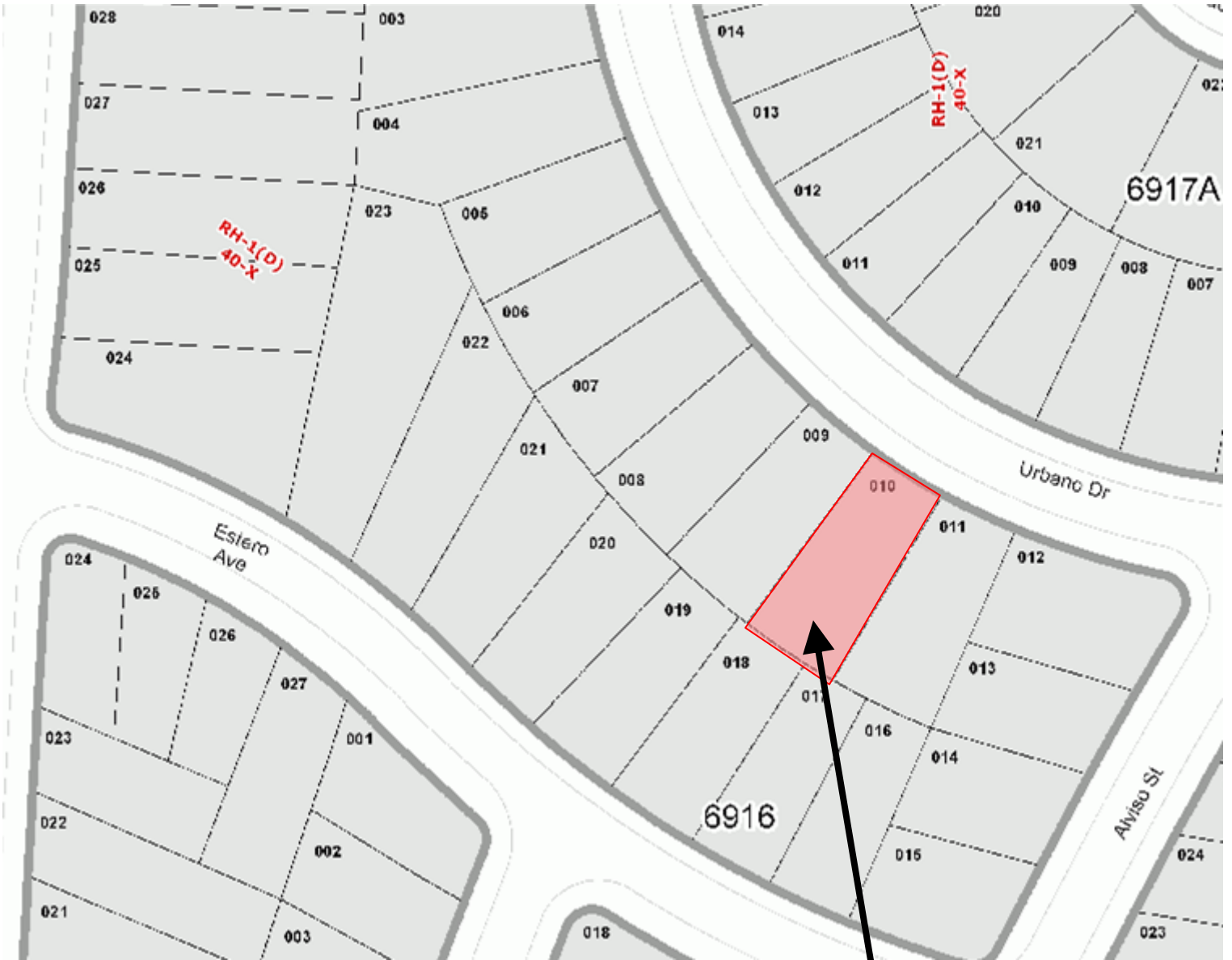
QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?		X	
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?		X	
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?		X	
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?		X	
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?		X	
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?		X	
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

Comments: The previously approved vertical addition incorporated minimal amounts of architectural detailing, to ensure the subordinate treatment of the vertical addition. The as-built

alterations, however, have altered the location of banding, changed the size and material of the chimney, and have changed the style, size, placement of windows and doors. The as-built quality of windows is not consistent with the Department's Window Guidelines, the Residential Design Guidelines, the architectural style of the subject house, or the quality of detailing found on neighboring properties.

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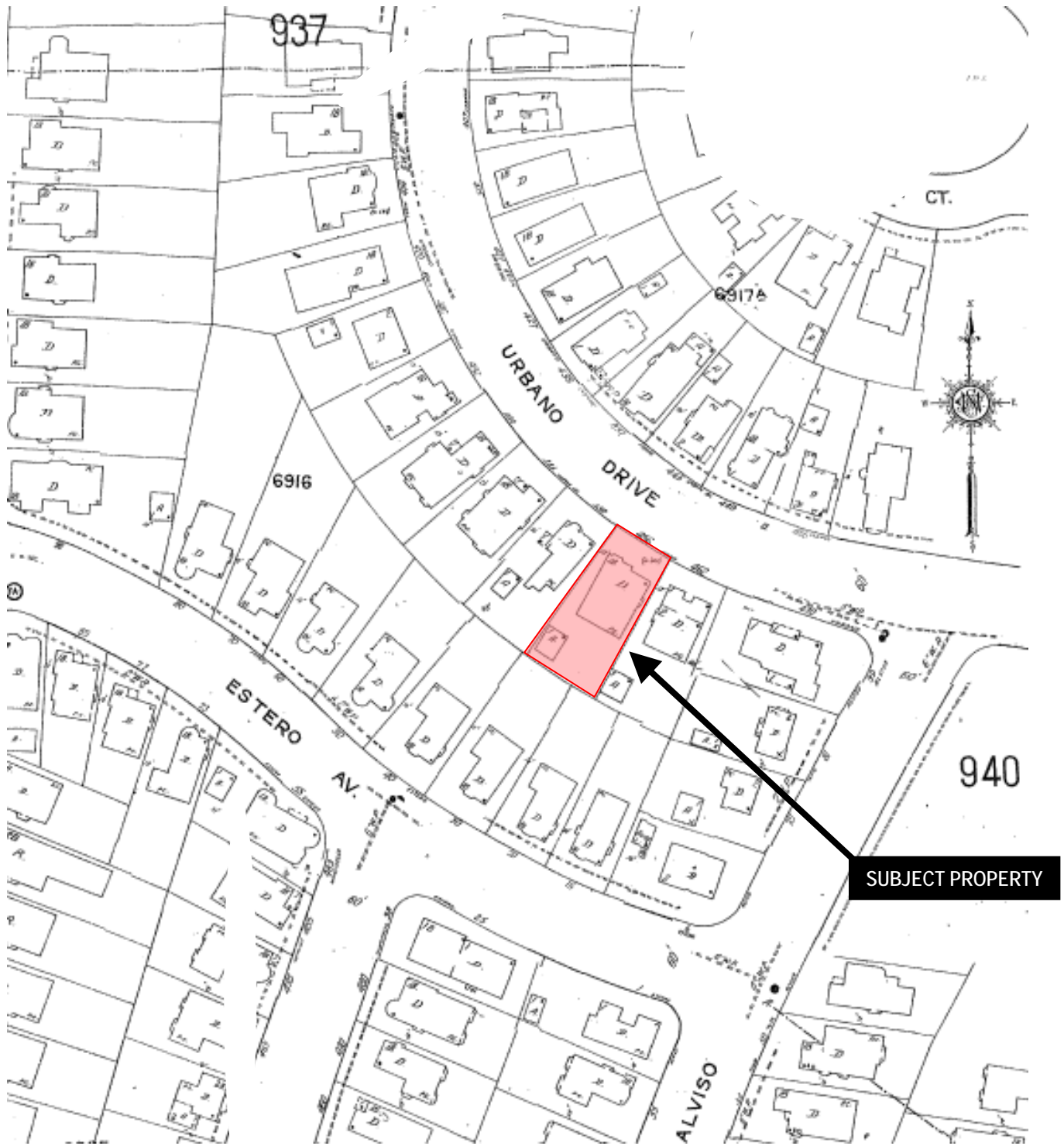
Block Book Map



SUBJECT PROPERTY



Sanborn Map

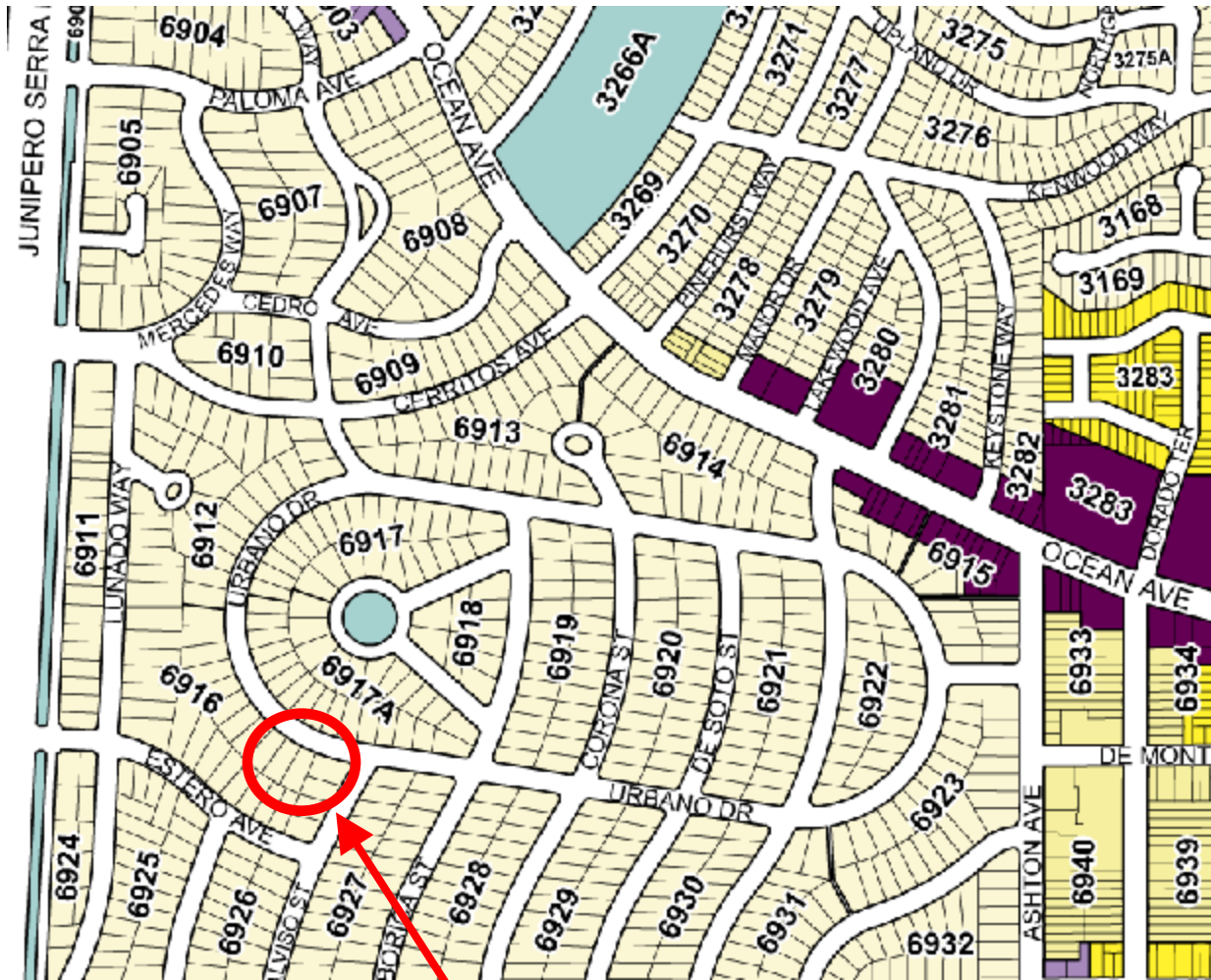


**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



DISCRETIONARY REVIEW
Building Permit No. 2010.07.26.7410
Case Number 2009.1162DD
456 Urbano Drive

Zoning Map



SUBJECT PROPERTY

ZONING USE DISTRICTS

RESIDENTIAL, HOUSE DISTRICTS

RH-1(D) RH-1 RH-1(S) RH-2 RH-3

RESIDENTIAL, MIXED (APARTMENTS & HOUSES) DISTRICTS

RM-1 RM-2 RM-3 RM-4

NEIGHBORHOOD COMMERCIAL DISTRICTS

NC-1 NC-2 NC-3 NCD NC-S

SOUTH OF MARKET MIXED USE DISTRICTS

SPD RED RSD SLR SLI SSO

COMMERCIAL DISTRICTS

C-2 C-3-S C-3-G C-3-R C-3-O C-3-O(SD)

INDUSTRIAL DISTRICTS

C-M M-1 M-2

CHINATOWN MIXED USE DISTRICTS

CRNC CVR CCB

RESIDENTIAL-COMMERCIAL DISTRICTS

RC-3 RC-4

REDEVELOPMENT AGENCY DISTRICTS

MB-RA HP-RA

DOWNTOWN RESIDENTIAL DISTRICTS

RH DTR TB DTR

MISSION BAY DISTRICTS

MB-OS MB-O

PUBLIC DISTRICT

P



DISCRETIONARY REVIEW

Building Permit No. 2010.07.26.7410

Case Number 2009.1162DD

456 Urbano Drive

Aerial Photos



SUBJECT PROPERTY



DISCRETIONARY REVIEW
Building Permit No. 2010.07.26.7410
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456 Urbano Drive

Aerial Photos



SUBJECT PROPERTY



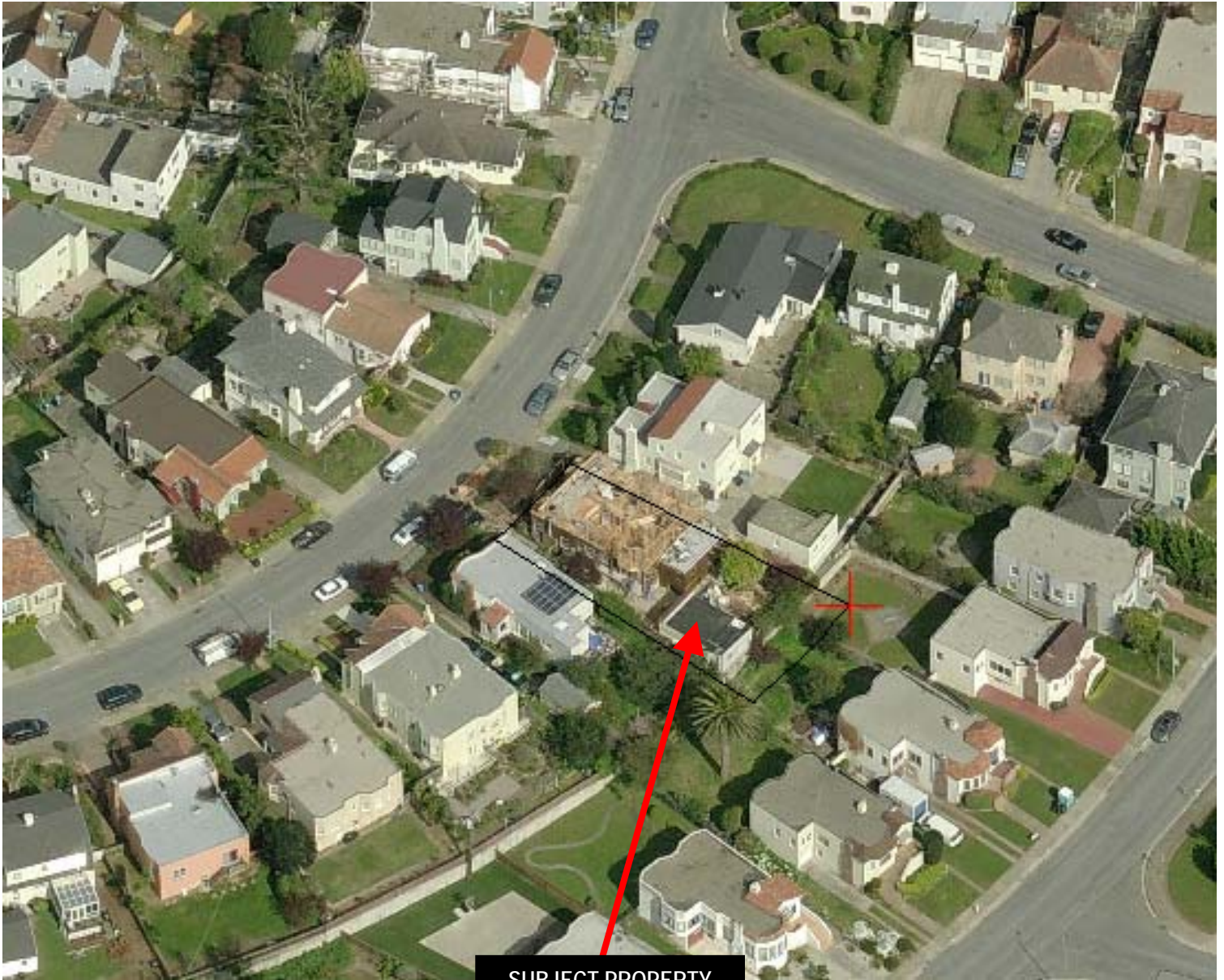
Aerial Photos



SUBJECT PROPERTY



Aerial Photos



SUBJECT PROPERTY



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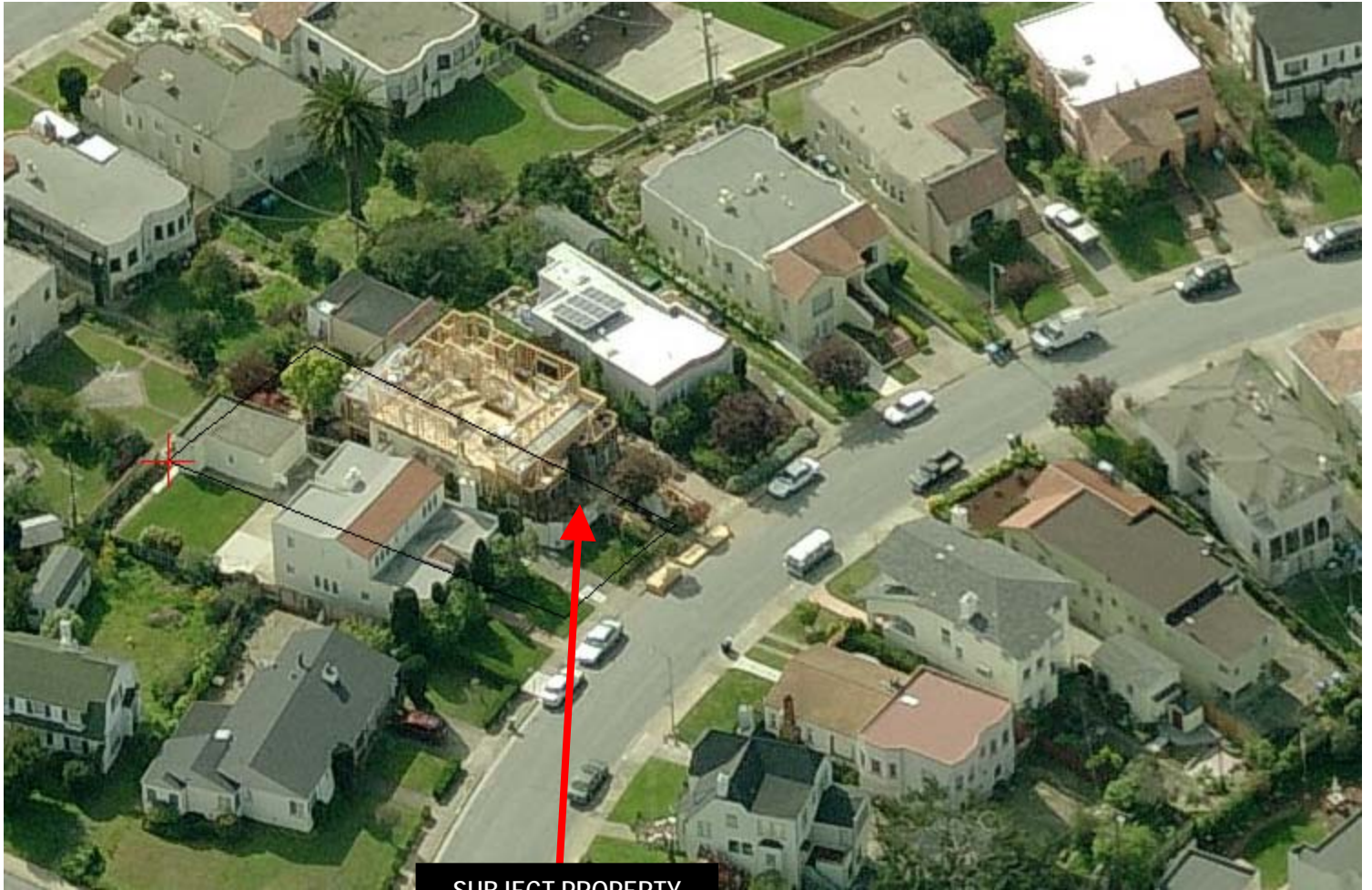
Aerial Photo



SUBJECT PROPERTY



Aerial Photo



SUBJECT PROPERTY



Context Photo



SUBJECT PROPERTY
BEFORE CONSTRUCTION

DISCRETIONARY REVIEW
Building Permit No. 2010.07.26.7410
Case Number 2009.1162DD
456 Urbano Drive





Here

HOUSES DIRECTLY ACROSS THE STREET OF 456 URBANO.





SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On July 26, 2010, the Applicant named below filed Building Permit Application No. 2010.07.26.7410 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Kim-Tad Nguyen (Homeowner)	Project Address:	456 Urbano Drive
Address:	456 Urbano Drive	Cross Streets:	Alviso and Moncada Way
City, State:	San Francisco, CA 94127	Assessor's Block /Lot No.:	6916/010
Telephone:	(650) 766-7342	Zoning Districts:	RH-1(D) /40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS <input checked="" type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
FRONT SETBACK	+17'-6"	No Change
SIDE SETBACK (west/right side)	+9'-6"	No Change
SIDE SETBACK (east/left side)	+4'-6"	No Change
BUILDING DEPTH	+65'-0"	No Change
REAR YARD (to building)	+37'-6"	No Change
BLDNG HEIGHT (measured at average grade of bldng)	+25'-0"	+26'-3"
BLDNG HEIGHT (measured from top of 1 st floor to roof)	+22'-0"	+24'-0"
NUMBER OF STORIES	3	No change
NUMBER OF DWELLING UNITS	1	No Change
NUMBER OF OFF-STREET PARKING SPACES	1	No Change

PROJECT DESCRIPTION

This permit seeks to legalize the height of the top floor addition, which exceeds the height that was previously approved by the Planning Commission and Board of Appeals under Building Permit Application No. 2006.05.09.1110; and also seeks to legalize several other as-built features that deviate from the previous approval. These features include, but are not limited to: the window pattern, roof and parapet design, chimney size and material, banding/trim details, and the design of the building entrance. A Stop Work Order has been issued by the Department of Building Inspection due to these inconsistencies with the approved plans and permit. The Project Sponsor is seeking to legalize this construction rather than correct it, which is the subject of this notice and will be the subject of future Planning Hearing. Due to this permit's substantive deviation from the Planning Commission's previous approval, the Project will be brought back to the Planning Commission for their approval. Should you have any questions or comments about the permit or upcoming hearing (which will be noticed separately at a later date), please call the planner at the number listed below.

PLANNER'S NAME: Elizabeth Watty

PHONE NUMBER: (415) 558-6620

EMAIL: Elizabeth.watty@sfgov.org

DATE OF THIS NOTICE: 10-18-10

EXPIRATION DATE: 11-17-10

NOTICE OF BUILDING PERMIT APPLICATION GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the site plan and elevations (exterior walls) of the proposed project, including the position of any adjacent buildings, exterior dimensions, and finishes, and a graphic reference scale, have been included in this mailing for your information. Please discuss any questions with the project Applicant listed on the reverse. You may wish to discuss the plans with your neighbors and neighborhood association or improvement club, as they may already be aware of the project. Immediate neighbors to the project, in particular, are likely to be familiar with it.

Any general questions concerning this application review process may be answered by the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00 a.m. - 5:00 p.m. Please phone the Planner listed on the reverse of this sheet with questions specific to this project.

If you determine that the impact on you from this proposed development is significant and you wish to seek to change the proposed project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Seek a meeting with the project sponsor and the architect to get more information, and to explain the project's impact on you and to seek changes in the plans.
2. Call the local Community Board at (415) 920-3820 for assistance in conflict resolution/mediation. They may be helpful in negotiations where parties are in substantial disagreement. On many occasions both sides have agreed to their suggestions and no further action has been necessary.
3. Where you have attempted, through the use of the above steps, or other means, to address potential problems without success, call the assigned project planner whose name and phone number are shown at the lower left corner on the reverse side of this notice, to review your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects, which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission over the permit application, you must make such request **within 30 days of this notice, prior to the Expiration Date shown on the reverse side**, by completing an application (available at the Planning Department, 1660 Mission Street, 1st Floor, or on-line at www.sfgov.org/planning). You must submit the application to the Planning Information Center during the hours between 8:00 a.m. and 5:00 p.m., with all required materials, and a check for \$500.00, for each Discretionary Review request payable to the Planning Department. If the project includes multi building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the approval (or denial) of the permit application by the Planning Department or Planning Commission may be made to the Board of Appeals within 15 days after the permit is issued (or denied) by the Superintendent of the Department of Building Inspection. Submit an application form in person at the Board's office at 1660 Mission Street, 3rd Floor, Room 3036. For further information about appeals to the Board of Appeals, including their current fees, contact the Board of Appeals at (415) 575-6880.

APPLICATION FOR Discretionary Review Application

1. Owner/Applicant Information

DR APPLICANT'S NAME: Ingliside Terraces Homes Assn		
DR APPLICANT'S ADDRESS: PO Box 27304 SF, CA	ZIP CODE: 94127	TELEPHONE: (415) 587-4349
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: TAD + Kim Nguyen		
ADDRESS: 456 Urbano Dr SF, CA	ZIP CODE: 94127	TELEPHONE: (650) 766-7342
CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> NORMAN MEUNIER, Director at Large		
ADDRESS: 450 MONTICELLO ST	ZIP CODE: 94127	TELEPHONE: (415) 587-4349
E-MAIL ADDRESS: NJMEUNIER@Comcast.net		

2. Location and Classification

STREET ADDRESS OF PROJECT: 456 Urbano Pr, SF, CA.		ZIP CODE: 94127
CROSS STREETS: Alviso & MONCADA		
ASSESSORS BLOCK/LOT: 6916 1010	LOT DIMENSIONS:	LOT AREA (SQ FT):
ZONING DISTRICT: RH1-D-	HEIGHT/BULK DISTRICT: 40-X	

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard

Present or Previous Use: RESIDENCE, 1 FAMILY

Proposed Use: " "

Building Permit Application No. 2010.07.26.7410

Date Filed: July 26, 2010

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P I C

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Project has been discussed & reviewed during Previous Discretionary Review and at Board of Appeals.

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

N/A

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

SEE ATTACHED #1

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

SEE ATTACHED #2

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

SEE ATTACHED #3

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the ~~owner or~~ authorized agent of the ~~owner of this property~~: APPLICANT. (ITAA)
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Norman J. Meunier

Date: Nov. 17, 2010

Print name, and indicate whether owner, or authorized agent:

NORMAN J. MEUNIER
Owner (Authorized Agent, circle one)

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Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Convenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

Norman J. Merriner
agent for *Ingleside Terraces Homes Assn*
November 17, 2010

For Department Use Only

Application received by Planning Department:

By: _____

E. Waffly
E. Waffly

Date: _____

11/17/10



SAN FRANCISCO
PLANNING
DEPARTMENT

FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department

Central Reception
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**
FAX: **415 558-6409**
WEB: **<http://www.sfplanning.org>**

Planning Information Center (PIC)
1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: **415.558.6377**
*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

APPLICATION REQUESTING DISCRETIONARY REVIEW
456 Urbano Drive, San Francisco, CA 94127
Application 2010.07.26.7410
ATTACHMENT

DISCRETIONARY REVIEW REQUEST

1. WHAT ARE THE REASONS FOR DISCRETIONARY REVIEW? THE PROJECT MEETS THE MINIMUM STANDARDS OF THE PLANNING CODE. WHAT ARE THE EXCEPTIONAL AND EXTRAORDINARY CIRCUMSTANCES THAT JUSTIFY DISCRETIONARY REVIEW OF THE PROJECT? HOW DOES THE PROJECT CONFLICT WITH THE CITY'S GENERAL PLAN OR THE PLANNING CODE'S PRIORITY POLICIES OR RESIDENTIAL DESIGN GUIDELINES? PLEASE BE SPECIFIC AND SITE SPECIFIC SECTIONS OF THE RESIDENTIAL DESIGN GUIDELINES.

Ingleside Terraces Homes Association (ITHA), on behalf of its members, requests discretionary review to stop project applicants' San Francisco Planning Code violations and to enforce the statutes and regulations of the City and County of San Francisco. ITHA support the efforts of the City's Planning Department and Department of Building Inspection on this project at 456 Urbano Drive, San Francisco.

The exceptional circumstances that justify discretionary review are:

1. The project is built in willful violation of the building permit that was granted to permit holder, after discretionary review hearing in 2007 (2007.0448DDDV) and a Board of Appeals hearing in 2009 (Case No. 09-073) about building violations which also included three Stop Work Orders. Eventually, project applicants' lack of compliance for three Stop Work Orders involved the Planning Department staff, the San Francisco Police Department, and Department of Building Inspection.

2. This is a precedent setting situation that will have a negative effect in the Ingleside Terraces neighborhood and potentially city-wide. Simply stated:

Why would any project sponsor or contractor comply with San Francisco building permits if a permit for alterations "built-as-is" is generally available from the Planning Department or Planning Commission?

And how can neighborhood character be preserved if, despite building plans carefully vetted by the Planning Department, the Planning Commission, and other City administrative agencies, structures are allowed to be "built-as-is," without regard to height, mass, block face, windows, parapets, and safety, rather than as approved in the building permit? See Exhibit (one) 1, attached photos of job site.

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PLANNING DEPARTMENT
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09-11620

2. THE RESIDENTIAL DESIGN GUIDELINES ASSUME SOME IMPACTS TO BE REASONABLE AND EXPECTED AS PART OF CONSTRUCTION. PLEASE EXPLAIN HOW THIS PROJECT WOULD CAUSE UNREASONABLE IMPACTS. IF YOU BELIEVE YOUR PROPERTY, THE PROPERTY OF OTHERS OR THE NEIGHBORHOOD WOULD BE ADVERSELY AFFECTED, PLEASE STATE WHO WOULD BE AFFECTED AND HOW:

This project has negatively impacted the Ingleside Terraces neighborhood since project applicants built in excess or in variation of the permit, including erecting the vertical addition to the residence about 1.5 feet higher than permitted. The quality of San Francisco's neighborhoods cannot be maintained or improved if project applicants are allowed to violate approved permits and work outside the permit.

Project applicant, Tad Nguyen, is a building contractor and should know better but he has a lengthy history of deviating from allowed work process as permitted. Requestor only knows about permits for work he has undertaken within ITHA boundaries. See attached Exhibit Two of Violation taken from the website of the San Francisco Department of Building Inspection (work at 349 Urbano Drive, 1350 Holloway, 456 Urbano Drive).

Also, project applicant has an ongoing history of violations brought by the Contractors State License Board under contractor's license number 722440, T Square Construction, 271-9th Street, San Jose, CA 95132. This is the same license referenced on the website of the San Francisco Department of Building Inspection for the project at 456 Urbano Drive, San Francisco. See Exhibit Three, CSLB Violations.

ITHA favors neighborhood improvement and agrees that property values increase as a result of reasonable remodeling projects undertaken pursuant to the laws, rule, and regulations of San Francisco's administrative agencies. But the method by which this project's applicants have renovated their property cannot be sanctioned or ignored. Neither the Building Department nor the Planning Department can function efficiently in the public interest when approved building permits are ignored or defied.

3. WHAT ALTERNATIVES OR CHANGES TO THE PROPOSED PROJECT, BEYOND THE CHANGES (IF ANY) ALREADY MADE WOULD RESPOND TO THE EXCEPTIONAL AND EXTRAORDINARY CIRCUMSTANCES AND REDUCE THE ADVERSE EFFECTS NOTED ABOVE IN QUESTION #1.

The exceptional circumstances that justify discretionary review of the project are: the original 2006 permit, the renovation and construction work at 456 Urbano Drive that exceeds the scope of the existing permits, and the public interest in safe building practices, administrative process, and the rule of law.

The only solution is that the Planning Department grant discretionary review and order that the project be built, NOT "as-is," but in FULL COMPLIANCE with the 2006 Permit No. 2006.05.09.1110.

09.11620'



P.O. Box 27304 • San Francisco, California 94127

November 17, 2010

San Francisco Planning Department
1660 Mission St
San Francisco, CA.
94103-9425

Regarding the Application for Discretionary Review for 456 Urbano Drive, San Francisco.

Be it known that our Board of Directors at our regular monthly meeting on October 21, 2010 authorized our Board Member At Large, Norman Meunier, to act as agent for the Board in the above mentioned matter.

This letter is to act as an attachment to the Neighborhood Organization Fee Waiver Request Form.

Thank you very much.

A handwritten signature in cursive script that reads "Norman Meunier".

Norman Meunier, Board Member At Large
For Ingleside Terraces Homes Association

09-11620

EXHIBIT 1

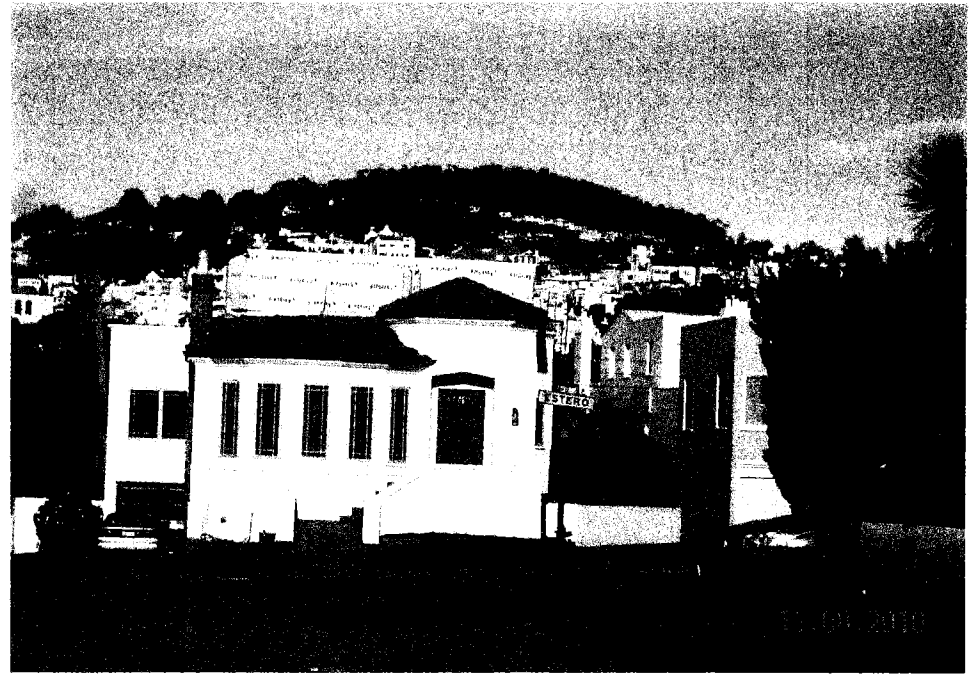
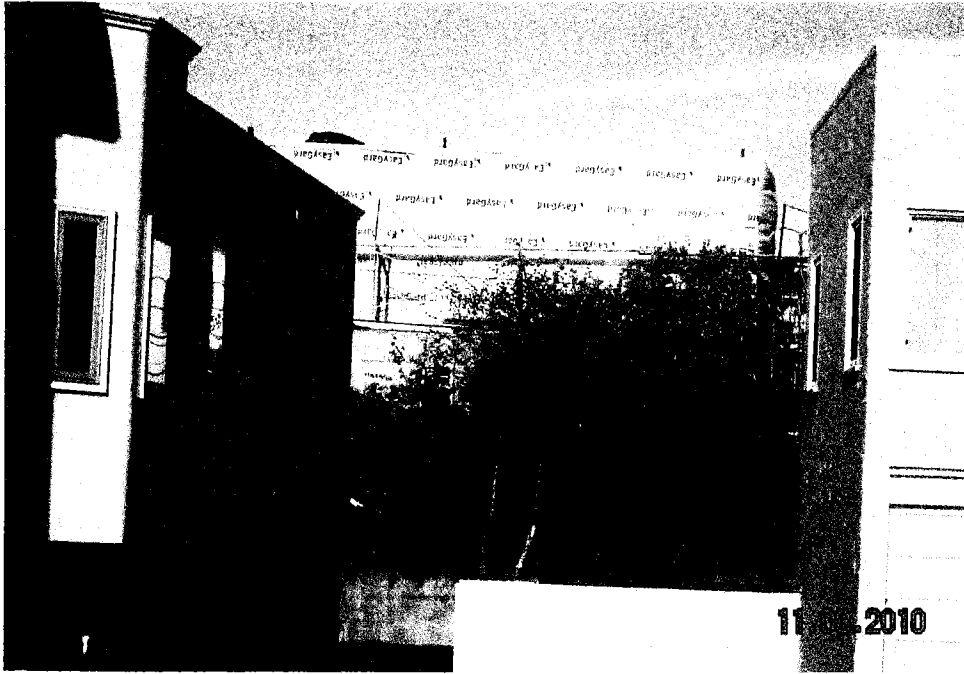
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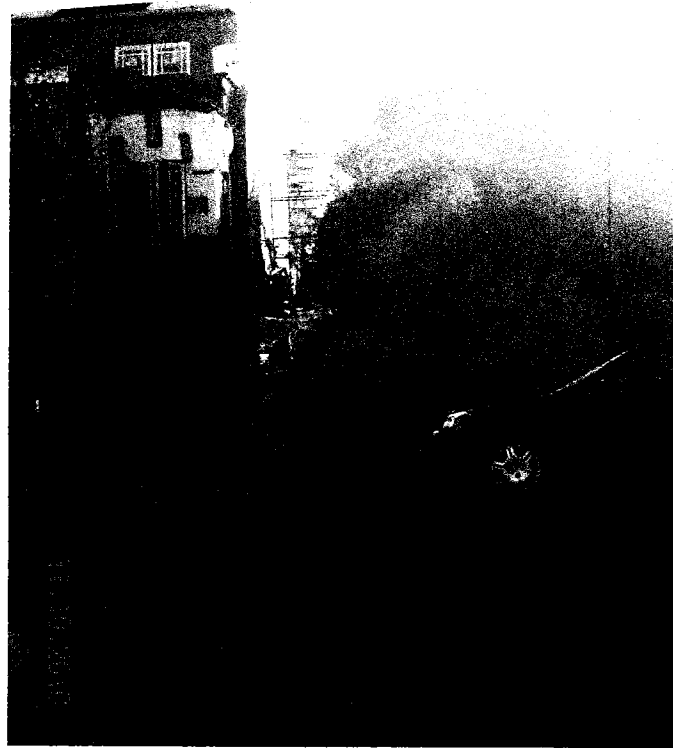
CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
PIC



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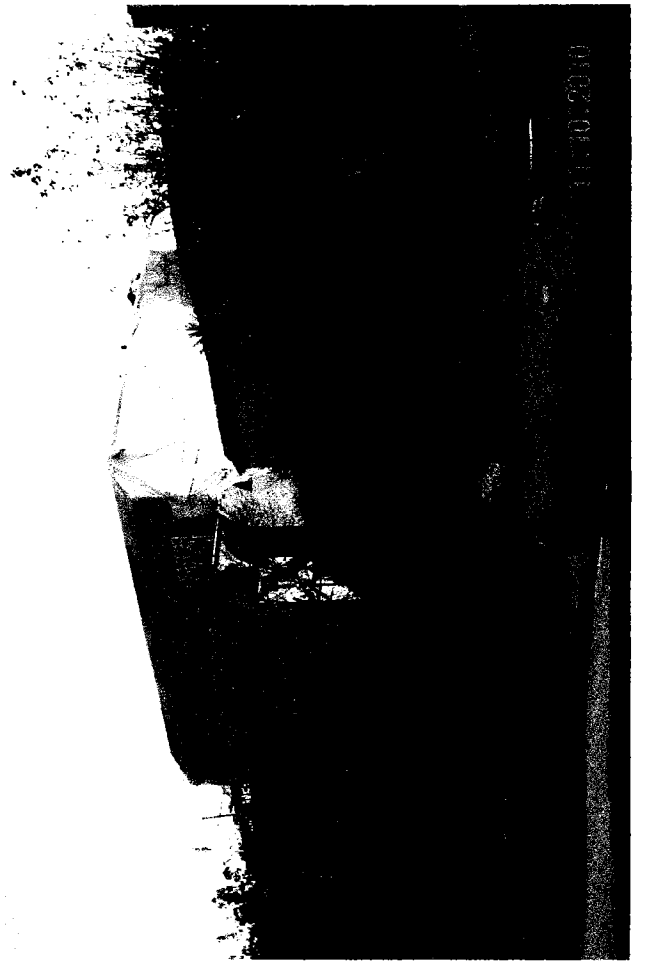
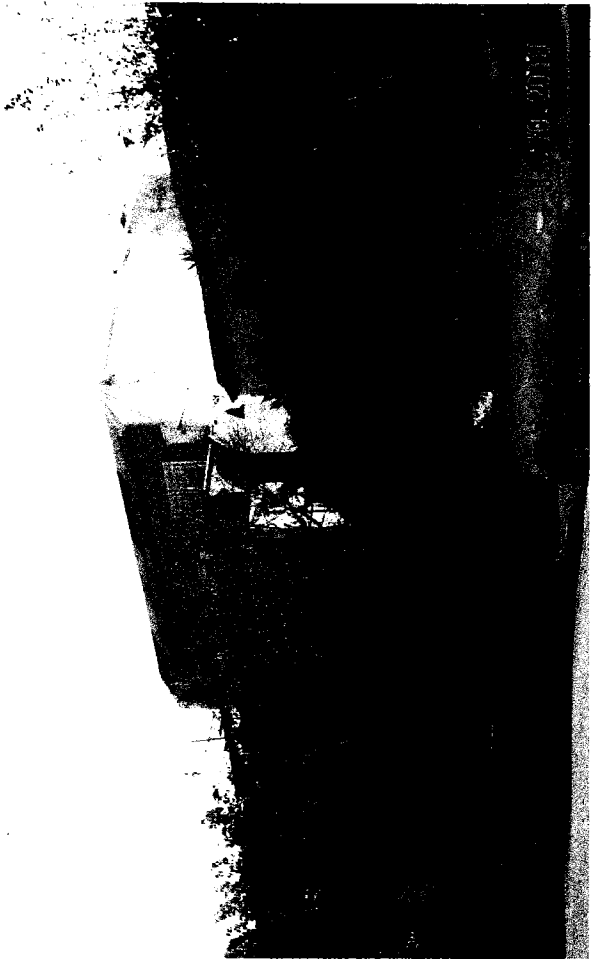


EXHIBIT 2

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PLANNING DEPARTMENT
PIC

*CSLB - CA.90V
SFGOV.org/DBIPTs/*

Online Permit and Complaint Tracking

Below is a list of building permits associated with the participant you selected. Click a permit number to display permit details.

Permit Agent: T SQUARE CONSTRUCTION - TAD V NGUYEN
License #: 722440

Permit #	Work Address	Role	App Date
✓ 200909146784	127 MILTON ST	CONTRACTOR	9/14/2009
✓ 200905128233	456 URBANO DR	CONTRACTOR	5/12/2009
200806033561	1350 HOLLOWAY AV	CONTRACTOR	6/3/2008
200803318414	349 URBANO DR	CONTRACTOR	3/31/2008
200801102251	1350 HOLLOWAY AV	CONTRACTOR	1/10/2008
200711077492	349 URBANO DR	CONTRACTOR	11/7/2007
200709182962	349 URBANO DR	CONTRACTOR	9/18/2007
200708028546	101 CASELLI AV	CONTRACTOR	8/2/2007
200706113503	103 CASELLI AV	CONTRACTOR	6/11/2007

*NOISE, HOURS
Paint etc*

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
CONCERNED NEIGHBORS OF INGLESIDE TERRACE,

Appeal No. 07-218

Appellant(s)

vs.

DEPT. OF BUILDING INSPECTION,

PLANNING DEPT. APPROVAL Respondent

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MAR 3 2008

and OFFICES
MC DONNELL & WEAVER

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT the above named appellant(s) appeals to the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the issuance on Nov. 8, 2007, to S. Nguyen, Permit to Alter a Building (on single-family house: comply with NOV No. 200724373; revision to BPA No. 2007/09/18/2962; repair walls, dry rot; replace roof framing per plans; replace stairs – dry rot per plans; driveway repairs; new roof) at 349 Urbano Drive.

APPLICATION NO. 2007/11/07/7492

Address & Tel. of Appellant(s):

Concerned Neighbors of Ingleside Terr., Appellant
c/o Suzanne McDonnell, Agent for Appellant
4091 – 24th Street
SF, CA 94114
415.641.0700 (tel)
415.641.0795 (fax)

Address & Tel. of Permit Holder(s):

S. Nguyen, Permit Holder
349 Urbano Drive
SF, CA 94127
415.585.6874 (tel)

I, Suzanne McDonnell declare under penalty of perjury that the foregoing is true and correct.

Entered on Nov. 26, 2007 at San Francisco, California

FOR HEARING ON Feb. 13, 2008

S. McDonnell
Appellant or Agent

NOTICE OF DECISION & ORDER

The aforementioned matter came on regularly for hearing before the Board of Appeals of the City & County of San Francisco on February 13, 2008, and the order was **OVERRULED** by the Board of Appeals.

PURSUANT TO § 4.106 of the Charter of the City & County of San Francisco and Article 1, § 14 of the Business & Tax Regulations Code of the said City & County, and the action above stated, the Board of Appeals hereby orders

that the issuance of the subject permit is **OVERRULED**, and the Department of Building Inspection is hereby ordered and directed to **REVOKE** the subject permit, with the following **FINDING**: a) the Board finds that the permit was issued in error due to lack of Planning Code § 311 notice, and due to inaccurate drawings.

BOARD OF APPEALS
CITY & COUNTY OF SAN FRANCISCO

Last Day to Request Rehearing: Feb. 25, 2008
Request for Rehearing: None
Rehearing: None
Notice Released: Feb. 29, 2008

Michael L. Garcia
Michael L. Garcia, President

If this decision is subject to review under Code of Civil Procedure § 1094.5, then the time within which judicial review must be sought is governed by California Code of Civil Procedure § 1094.6.

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AFFIDAVIT OF SERVICE

**Concerned Neighbors of Ingleside Terr., Appellant
c/o Suzanne McDonnell, Agent for Appellant
4091 - 24th Street
SF, CA 94114**

I, Victor F. Pacheco, Legal Asst. & Interim Dept. Head for the Board of Appeals, hereby certify that on this 29th day of February, 2008, I served the attached Notice(s) of Decision & Order for Appeal No(s). 07-218, C.N.I.T. vs. DBI, PDA, subject property at 349 Urbano Drive, on the appellant(s) by mailing a copy via U.S. mail, first class, to the address above.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct. Executed in San Francisco, California.

2/29/2008
Date

Victor F. Pacheco
Victor F. Pacheco

cc: DBI TSD (if applicable), DBI BID (if applicable), DBI CPB (if applicable), DBI HID (if applicable), DBI Records Management (if applicable), Planning Dept. (if applicable), & Redevelopment Agency (if applicable)

OTHER PARTIES
OR CONCERNED CITIZENS:

**S. Nguyen, Permit Holder
c/o Stephen Williams, Attorney for Permit Holder
1934 Divisadero Street
SF, CA 94115**

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Online Permit and Complaint Tracking

You selected:

Address: **456 URBANO DR**

Block/Lot: **6916 / 010**

Please select among the following links, the type of permit for which to view address information:

Electrical Permits Plumbing Permits Building Permits Complaints

(Complaints matching the selected address.)

Complaint #	Expired	Date Filed	Active	Div	Block	Lot	Street #	Street
201049143		05/27/2010	N	BID	6916	010	456	URBAN
200907340		05/22/2009	Y	BID	6916	010	456	URBAN
200900449		04/07/2009	Y	BID	6916	010	456	URBAN
200999468		04/01/2009	Y	CES	6916	010	456	URBAN
200884121		12/02/2008	N	BID	6916	010	456	URBAN
200882573		11/19/2008	N	BID	6916	010	456	URBAN
200878373		10/28/2008	Y	BID	6916	010	456	URBAN
200668340		03/27/2006	N	CES	6916	010	456	URBAN

There are additional @ Planning website!

[Online Permit and Complaint Tracking home page.](#)

09 11620

Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

-->

**Complaint
Number:**

201049143

Owner/Agent:

OWNER DATA
SUPPRESSED

Date Filed:

05/27/2010

Owner's Phone: --

Location:

456 URBANO DR

Contact Name:

Block:

6916

Contact Phone: --

Lot:

010

Complainant:

COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By:

Ying Pei

Division:

BID

Complainant's
Phone:

Complaint
Source:

TELEPHONE

Assigned to
Division:

BID

Description:

Failure to comply with Vacant or Abandoned Building Ordinance (194-09)

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRI
BID	CLANCY	6249		

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
05/25/10	ABANDONED BUILDING	BID	Clancy	INSPECTION OF PREMISES MADE	Site visit by Fergal Clancy in response to letter from owner dated May 14, 2010 stating the building was not vacant. The premises has been occupied at this time.
05/27/10	CASE OPENED	BID	Clancy	CASE RECEIVED	
06/14/10	ABANDONED BUILDING	BID	Clancy	OFFICE/COUNTER VISIT	Met w/Kim Nuygen at office w/Brett Howard and Felecia Deputy Director Ed Sweetman.
06/14/10	ABANDONED BUILDING	BID	Clancy	FIRST NOV SENT	Issued by Inspector Breckinridge.
06/15/10	ABANDONED BUILDING	BID	Clancy	INSPECTION OF PREMISES MADE	Site revisit - Inspector Breckinridge.
07/09/10	ABANDONED BUILDING	BID	Clancy	CASE ABATED	Registration fee has been Abated by Clancy.

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

06/14/10

Inspector Contact Information

Online Permit and Complaint Tracking home page.

Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

-->

**Complaint
Number:**

200907340

Owner/Agent:

OWNER DATA
SUPPRESSED

Date Filed:

05/22/2009

Owner's Phone:

--

Location:

456 URBANO DR

Contact Name:

--

Block:

6916

Contact Phone:

--

Lot:

010

Complainant:

COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By:

Christina Wang

Division:

BID

**Complainant's
Phone:**

**Complaint
Source:**

TELEPHONE

**Assigned to
Division:**

BID

Description:

City Planning requested to Stop Work Order. 2nd Complaint rec'd 7/2/09: Still continu
inside the building eventhough there is a Stop Work Order.

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRI
BID	VENIZELOS	1132		

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
05/22/09	CASE OPENED	BID	Venizelos	CASE RECEIVED	
05/22/09	OTHER BLDG/HOUSING VIOLATION	BID	Venizelos	FIRST NOV SENT	

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

05/22/09

Inspector Contact Information

[Online Permit and Complaint Tracking home page.](#)

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COMPLAINT DATA SHEET

-->

**Complaint
Number:**

200900449

Owner/Agent:

OWNER DATA
SUPPRESSED

Date Filed:

04/07/2009

Owner's Phone:

--

Location:

456 URBANO DR

Contact Name:

--

Block:

6916

Contact Phone:

--

Lot:

010

Complainant:

COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By:

Czarina Moreno

Division:

BID

**Complainant's
Phone:**

**Complaint
Source:**

TELEPHONE

**Assigned to
Division:**

BID

Description:

PA #200605091110 - installed vinyl windows instead of wood are clearly specified on the attached email dtd 3/17/09

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRI
CES	GRIECO	6227		

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
4/29/2009	Christina Wang	CES	send to Director of Complaint
6/29/2009	Christina Wang	CES	send to Director of Complaint
6/25/2009	Teresita Sulit	BID	Case returned to John Hinchion.

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
04/01/09	CASE OPENED	BID	Mather	CASE RECEIVED	
04/02/09	WITHOUT PERMIT - OTHER	BID	Mather	FIRST NOV SENT	
04/14/09	WITHOUT PERMIT - OTHER	BID	Mather	ADDENDUM TO NOV	N.O.V. issued by Sr Insp Tc
04/27/09	WITHOUT PERMIT - OTHER	BID	Mather	SECOND NOV SENT	2nd N.O.V. issued by Insp I Power.
04/29/09	WITHOUT PERMIT - OTHER	BID	Mather	REFERRED TO OTHER DIV	refer to CES
04/30/09	WITHOUT PERMIT - OTHER	CES	Hajnal	CASE UPDATE	Filed P.A. # 20090512823
06/25/09	WITHOUT PERMIT - OTHER	CES	Hinchion	CASE RETURNED	To BID per request-----J.F
06/25/09	WITHOUT PERMIT - OTHER	BID	Fessler	ADDENDUM TO NOV	amended 2nd NOV issued by Inspector Thomas Venizelo

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRI
BID	RAFAEL JR.	1034	9	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
04/07/09	CASE OPENED	BID	Mather	CASE RECEIVED	
04/08/09	OTHER BLDG/HOUSING VIOLATION	BID	Mather	FIRST NOV SENT	

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

04/08/09

Inspector Contact Information

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COMPLAINT DATA SHEET

-->

**Complaint
Number:**

200999468

Owner/Agent:

OWNER DATA
SUPPRESSED

Date Filed:

04/01/2009

Owner's Phone:

--

Location:

456 URBANO DR

Contact Name:

--

Block:

6916

Contact Phone:

--

Lot:

010

Complainant:

COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By:

Christina Wang

**Complainant's
Phone:**

Division:

BID

**Complaint
Source:**

TELEPHONE

**Assigned to
Division:**

CES

Description:

Instructions:

06/29/09	WITHOUT PERMIT - OTHER	BID	Fessler	REFERRED TO OTHER DIV	refer to CES
06/30/09	UNSAFE DECKS	CES	Grieco	CASE RECEIVED	
07/23/09	WITHOUT PERMIT - OTHER	CES	Yam	REFER TO DIRECTOR'S HEARING	DH date 8/6/2009
07/24/09	WITHOUT PERMIT - OTHER	CES	Yam	DIRECTOR HEARING NOTICE POSTED	
08/06/09	WITHOUT PERMIT - OTHER	CES	Yam	CASE CONTINUED	DH date 9/17/2009
09/17/09	WITHOUT PERMIT - OTHER	CES	Yam	ADVISEMENT	30-day advisement
10/19/09	WITHOUT PERMIT - OTHER	CES	Yam	ORDER OF ABATEMENT ISSUED	
10/28/09	WITHOUT PERMIT - OTHER	CES	Yam	ORDER OF ABATEMENT POSTED	

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

04/27/09
 06/25/09
 04/02/09
 04/14/09

Inspector Contact Information

Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

-->

Complaint Number: 200884121

Owner/Agent: OWNER DATA SUPPRESSED **Date Filed:** 12/

Owner's Phone: -- **Location:** 456

Contact Name: -- **Block:** 69:

Contact Phone: -- **Lot:** 010

Complainant: COMPLAINANT DATA SUPPRESSED **Site:**

Rating:

Occupancy Code:

Received By: Ch

Division: BII

Complainant's Phone:

Complaint Source: TELEPHONE

Assigned to Division: BID

Description: BPA#200605091110 was suspended by BPA

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DI
BID	RAFAEL JR.	1034	9

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMM
12/02/08	CASE OPENED	INS	Rafael Jr.	FIRST NOV SENT	

12/02/08	CASE OPENED	BID	Rafael Jr.	CASE RECEIVED	
05/05/09	WITHOUT PERMIT - OTHER	BID	Rafael Jr.	CASE ABATED	Permit h on 02/11

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

12/

Inspector Contact Information

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COMPLAINT DATA SHEET

Complaint Number: 200878373

Owner/Agent: OWNER DATA SUPPRESSED **Date Filed:** 10/28/08

Owner's Phone: -- **Location:** 456

Contact Name: -- **Block:** 69

Contact Phone: -- **Lot:** 010

Complainant: COMPLAINANT DATA SUPPRESSED **Site:**

Rating:

Occupancy Code:

Received By: GLO

Complainant's Phone:

Division: BII

Complaint Source: TELEPHONE

Assigned to Division: BID

Description: WORK WITHOUT PERMIT - HEAR JACKHAMMER

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DI
BID	GONZALEZ	6258	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMM
10/28/08	CASE OPENED	BID	Gonzalez	CASE RECEIVED	
10/28/08	WITHOUT PERMIT - OTHER	INS	Gonzalez	FIRST NOV SENT	

Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

-->

Complaint Number:	200668340		
Owner/Agent:	OWNER DATA SUPPRESSED	Date Filed:	03,
Owner's Phone:	--	Location:	456
Contact Name:		Block:	69:
Contact Phone:	--	Lot:	010
Complainant:	COMPLAINANT DATA SUPPRESSED	Site:	
		Rating:	
		Occupancy Code:	
		Received By:	Ch
Complainant's Phone:		Division:	BII
Complaint Source:	TELEPHONE		
Assigned to Division:	CES		
Description:	Work w/out a permit. 2nd Complaint 3/27/06 Re: Structure going up.		

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DI
CES	LI	6199	

REFERRAL INFORMATION

DATE	REFERRED BY	TO
11/13/2006	Christina Wang	CES

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMM
03/27/06	CONST WORK NO PERMIT	BID	Becker	FIRST NOV SENT	
03/27/06	CASE OPENED	BID	Becker	CASE RECEIVED	
11/09/06	CONST WORK NO PERMIT	BID	Becker	SECOND NOV SENT	ISSUED
11/13/06	CASE OPENED	CES	Li	CASE RECEIVED	
11/13/06	CONST WORK NO PERMIT	BID	Becker	REFERRED TO OTHER DIV	refer to c
05/13/09	CONST WORK NO PERMIT	CES	Hajnal	CASE ABATED	P.A. #20 CFC issu

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

03
11/

Inspector Contact Information

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Online Permit and Complaint Tracking

You selected:

Address: **1350 HOLLOWAY AV**

Block/Lot: **6925 / 012**

Please select among the following links, the type of permit for which to view address information:

[Electrical Permits](#) [Plumbing Permits](#) [Building Permits](#) [Complaints](#)

(Complaints matching the selected address.)

Complaint #	Expired	Date Filed	Active	Div	Block	Lot	Street #	Street
200905761 ✓		05/13/2009	N	BID	6925	012	1350	HOLL
200871680 ✓		09/04/2008	N	EID	6925	012	1350	HOLL
200868597 ✓		08/08/2008	Y	CES	6925	012	1350	HOLL
200863137 ✓		07/01/2008	N	BID	6925	012	1350	HOLL
200862694 ✓		06/30/2008	N	BID	6925	012	1350	HOLL
200861941 ✓		06/23/2008	N	BID	6925	012	1350	HOLL
200860017 ✓		06/03/2008	Y	CES	6925	012	1350	HOLL
200858511 ✓		05/21/2008	Y	CES	6925	012	1350	HOLL
200735812 ✓		12/18/2007	N	BID	6925	012	1350	HOLL

[Online Permit and Complaint Tracking home page.](#)

09.1162D

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRJ
BID	RAFAEL JR.	1034	12	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
05/13/09	CASE OPENED	BID	Rafael Jr.	CASE RECEIVED	
05/21/09	ILLEG CNVRSN/# UNITS	BID	Rafael Jr.	FIRST NOV SENT	
06/02/09	ILLEG CNVRSN/# UNITS	BID	Rafael Jr.	CASE ABATED	No second kitchen, single fa dwelling.

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

05/21/09

Inspector Contact Information

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COMPLAINT DATA SHEET

-->

**Complaint
Number:**

200905761

Owner/Agent:

OWNER DATA
SUPPRESSED

Date Filed:

05/13/2009

Owner's Phone:

--

Location:

1350 HOLLOWAY AV

Contact Name:

--

Block:

6925

Contact Phone:

--

Lot:

012

Complainant:

COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By:

Ying Pei

**Complainant's
Phone:**

Division:

BID

**Complaint
Source:**

TELEPHONE

**Assigned to
Division:**

BID

Description:

Ground floor - added full kitchen in which creation of second dwelling unit (unsafe builc

Instructions:

Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

Complaint Number: 200871680

Owner/Agent: OWNER DATA
SUPPRESSED

Owner's Phone: --

Contact Name:

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

Date Filed: 09/04/2008

Location: 1350 HOLLOWAY AV

Block: 6925

Lot: 012

Site:

Rating:

Occupancy Code:

Received By: Myra Williams

Division: EID

Complainant's Phone:

Complaint Source: TELEPHONE

Assigned to Division: EID

Description: Temporary electrical wire mired to temporary post, no inspection. PG&E wire land on t energized.

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRI
EID	O'SULLIVAN	1129	3	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
09/04/08	CASE OPENED	EID	O'Sullivan	CASE RECEIVED	
09/08/08	CASE OPENED	EID	O'Sullivan	CASE ABATED	ABATED - SERVICE EQUI INCLUDING SERVICE DR LAYING ON GROUND W/ PG&E DISCONNECTED POLE.

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

Inspector Contact Information

[Online Permit and Complaint Tracking home page.](#)

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Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

Complaint Number:	200868597		
Owner/Agent:	OWNER DATA SUPPRESSED	Date Filed:	08/08/2008
Owner's Phone:	--	Location:	1350 HOLLOWAY AV
Contact Name:		Block:	6925
Contact Phone:	--	Lot:	012
Complainant:	COMPLAINANT DATA SUPPRESSED	Site:	
		Rating:	
		Occupancy Code:	
		Received By:	Joan Wong
Complainant's Phone:		Division:	INS
Complaint Source:	TELEPHONE		
Assigned to Division:	CES		
Description:	Exceeding the scope of permit #200801021709 create 3rd story for usable attic spaces. e-mail 6/19/08)		
Instructions:			

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRJ
CES	JOHNSON	6219		

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
9/3/2008	Christina Wang	CES	send to Director of Complaint

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
08/08/08	CASE OPENED	BID	Rafael Jr.	CASE RECEIVED	
08/11/08	CONST WORK NO PERMIT	BID	Rafael Jr.	INSPECTION OF PREMISES MADE	10:15 am onsite investigation contractors observed taken attic space w/interior alterations have been created two roof attice spaces w/c includes v sr/tapping, 3/4" plywood fl electrical - branch cercuit w outlets and lighting system/ Required permits search.
08/13/08	CONST WORK NO PERMIT	BID	Rafael Jr.	FIRST NOV SENT	
08/28/08	CONST WORK NO PERMIT	BID	Rafael Jr.	SECOND NOV SENT	
09/03/08	CONST WORK NO PERMIT	BID	Rafael Jr.	REFERRED TO OTHER DIV	refer to CES
09/04/08	CASE OPENED	CES	Johnson	CASE RECEIVED	

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRI
BID	RAFAEL JR.	1034	9	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
07/01/08	CASE OPENED	BID	Rafael Jr.	CASE RECEIVED	
07/07/08	CONST WORK NO PERMIT	BID	Rafael Jr.	CASE ABATED	All on going work is accorde approved plans and permit and permits issued to addre violation issued by DBI

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

Inspector Contact Information

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Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

-->

Complaint Number: 200863137

Owner/Agent: OWNER DATA SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA SUPPRESSED

Complainant's Phone: --

Complaint Source: TELEPHONE

Assigned to Division: BID

Description: Dormers living in attic. Continuing to work after permit has been signed off.

Date Filed: 07/01/2008

Location: 1350 HOLLOWAY AV

Block: 6925

Lot: 012

Site: --

Rating: --

Occupancy Code: --

Received By: Catherine Byrd

Division: BID

Instructions:

Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

-->

Complaint Number: 200862694
Owner/Agent: OWNER DATA SUPPRESSED
Owner's Phone: --
Contact Name: --
Contact Phone: --
Complainant: COMPLAINANT DATA SUPPRESSED

Date Filed: 06/30/2008
Location: 1350 HOLLOWAY AV
Block: 6925
Lot: 012
Site:
Rating:
Occupancy Code:
Received By: Gloria San Buenaventura
Division: BID

Complainant's Phone:
Complaint Source: TELEPHONE
Assigned to Division: BID

Description: On going construction (pouring concrete, installing windows, etc) going beyond scope of stop work ord.

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRI
BID	RAFAEL JR.	1034	9	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
06/30/08	CASE OPENED	BID	Rafael Jr.	CASE RECEIVED	
07/02/08	WRK OVER PRMIT SCOPE	BID	Rafael Jr.	CASE ABATED	Site visit by Clancy again. "order" is ask in effect. The owener/authorized agent has the nessarry permits and a plans and has all fines paid with building inspection not violation "200735812" "200860017" . These violat remain active until all work completed as so to above all

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

Inspector Contact Information

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

-->

**Complaint
Number:**

200861941

Owner/Agent:

OWNER DATA
SUPPRESSED

Date Filed:

06/23/2008

Owner's Phone:

--

Location:

1350 HOLLOWAY AV

Contact Name:

--

Block:

6925

Contact Phone:

--

Lot:

012

Complainant:

COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By:

Catherine Byrd

**Complainant's
Phone:**

Division:

BID

**Complaint
Source:**

TELEPHONE

**Assigned to
Division:**

BID

Description:

Working beyond the scope of the permit. See attached e-mail dd 6/19/08

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRI
BID	RAFAEL JR.	1034	9	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
06/23/08	CASE OPENED	BID	Rafael Jr.	CASE RECEIVED	
06/24/08	CONST WORK NO PERMIT	BID	Clancy	CASE ABATED	Site visit by Clancy. Met with Reviewed and approved plan 200712100087 "horizontal Approved set shows 4 new doors the front and 2 at the back access door. All work in process comply with NOV is issued.

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

Inspector Contact Information

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COMPLAINT DATA SHEET

-->

**Complaint
Number:** 200860017

Owner/Agent: OWNER DATA
SUPPRESSED

Owner's Phone: --

Contact Name:

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

**Complainant's
Phone:**

**Complaint
Source:** TELEPHONE

**Assigned to
Division:** CES

Description: Work w/out a permit; unsafe bldg.

Instructions:

Date Filed: 06/03/2008

Location: 1350 HOLLOWAY AV

Block: 6925

Lot: 012

Site:

Rating:

Occupancy Code:

Received By: Christina Wang

Division: BID

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRI
CES	HINCHION	1125		

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
8/19/2008	Christina Wang	CES	send to Director of Complaint

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
06/03/08	CASE OPENED	BID	Rafael Jr.	CASE RECEIVED	
06/03/08	CONST WORK NO PERMIT	BID	Rafael Jr.	FIRST NOV SENT	
08/15/08	CONST WORK NO PERMIT	BID	Rafael Jr.	SECOND NOV SENT	
08/19/08	CONST WORK NO PERMIT	BID	Rafael Jr.	REFERRED TO OTHER DIV	refer to CES
08/22/08	CASE OPENED	CES	Hinchion	CASE RECEIVED	

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

06/03/08
08/15/08

Inspector Contact Information

[Online Permit and Complaint Tracking home page.](#)

Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

-->

Complaint Number: 200858511

Owner/Agent: OWNER DATA SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA SUPPRESSED

Complainant's Phone: --

Complaint Source: TELEPHONE

Assigned to Division: CES

Description: Unsafe bldg

Instructions:

Date Filed: 05/21/2008

Location: 1350 HOLLOWAY AV

Block: 6925

Lot: 012

Site:

Rating:

Occupancy Code:

Received By: Christina Wang

Division: BID

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRI
CES	HINCHION	1125		

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
6/17/2008	Christina Wang	CES	send to Director Complaint

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
05/21/08	HAZARDOUS BUILDING	BID	Rafael Jr.	FIRST NOV SENT	
05/21/08	CASE OPENED	BID	Rafael Jr.	CASE RECEIVED	
06/13/08	HAZARDOUS BUILDING	BID	Rafael Jr.	SECOND NOV SENT	
06/17/08	HAZARDOUS BUILDING	BID	Rafael Jr.	REFERRED TO OTHER DIV	refer to CES
06/20/08	CASE OPENED	CES	Hinchion	CASE RECEIVED	

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

05/21/08

06/13/08

Inspector Contact Information

[Online Permit and Complaint Tracking home page.](#)

Online Permit and Complaint Tracking

COMPLAINT DATA SHEET

-->

Complaint Number:	200735812		
Owner/Agent:	OWNER DATA SUPPRESSED	Date Filed:	12/18/2007
Owner's Phone:	--	Location:	1350 HOLLOWAY AV
Contact Name:		Block:	6925
Contact Phone:	--	Lot:	012
Complainant:	COMPLAINANT DATA SUPPRESSED	Site:	
		Rating:	
		Occupancy Code:	
		Received By:	Christina Wang
Complainant's Phone:		Division:	BID
Complaint Source:	TELEPHONE		
Assigned to Division:	BID		
Description:	Digging out the basement and gutting the inside of the house w/out a permit. Exceed sc permit. Failing follow through with requirements with construction debris.		
Instructions:			

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRJ
BID	RAFAEL JR.	1034	9	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
12/18/07	CASE OPENED	BID	Rafael Jr.	CASE RECEIVED	
12/19/07	CONST WORK NO PERMIT	BID	Rafael Jr.	CASE UPDATE	11:00am onsite investigation owner - observed: 1) top floor (e) ceiling/walls and altered joists/rafters and stud walls floor - concrete (n) walls an excavation +50 cubic yard permits. Issued "stop work"
12/20/07	CONST WORK NO PERMIT	BID	Rafael Jr.	FIRST NOV SENT	
01/10/08	CONST WORK NO PERMIT	BID	Rafael Jr.	ADDENDUM TO NOV	
01/13/09	CONST WORK NO PERMIT	BID	Rafael Jr.	CASE ABATED	complied with under PA#20

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

01/10/08
12/20/07

Inspector Contact Information

EXHIBIT 3

Complaint Violation Disclosure

License Number: 722440

Contractor Name: T SQUARE CONSTRUCTION

Complaint #: N A 2009 005210

Date: 10/20/2010

Status: REFERRED TO LEGAL ACTION

Case: N 2010 224

CODE	VIOLATION	DESCRIPTION
Business & Professions Code 7107		Abandonment without legal excuse of any cons
Business & Professions Code 7109.A		Departed from trade standards
Business & Professions Code 7068.1		Failed to exercise Qualifier's responsibility
Business & Professions Code 7071.11		Payment of claim against license bond
Business & Professions Code 7110		Violated building law - no permit
Business & Professions Code 7113		Exceeded contract amount
Business & Professions Code 7115		Failed to comply with Contractor's License Law
Business & Professions Code 7161.C		Fraud involving contract document
Business & Professions Code 7154		Employed non-registered salesperson
Business & Professions Code 7159		Violated all of the home improvement contract
Business & Professions Code 7159.5A2		No finance charge was identified as part of cor
Business & Professions Code 7159.5A3		Exceeded down pymnt of \$1000 or 10% which
Business & Professions Code 7159.5A4		Payment schedule not tied in to the value of wo
Business & Professions Code 7159.5A5		Contr has recvd/reqstd more money than work

[print](#) | [>> close window <<](#)

a. 2007.0448DDD (E. WATTY: (415) 558-6620)

456 Urbano Drive - west side between Alviso and Moncada Way; Lot 010 in Assessor's Block 6916 - Request for Discretionary Review of Building Permit Application No.'s 2006.05.09.1110 proposing to construct a one-story vertical addition, a horizontal front addition, and a two-story horizontal rear addition to the existing single-family detached dwelling, and of Building Permit Application No. 2007.10.18.5822 proposing to legalize a rear addition made to the noncomplying detached garage. The garage expansion is pending approval of Case No. 2007.0448DDD requesting a rear yard and noncomplying structure variance. The property is located in an RH-1 (D) (Residential, House, One-Family)(Detached) Zoning District and 40-X Height and Bulk District.

Preliminary Recommendation: Take Discretionary Review and approve with modifications.

(Continued from Regular Meeting of December 13, 2007)

12b. 2007.0448DDD (E. WATTY: (415) 558-6620)

456 Urbano Drive - west side between Alviso and Moncada Way; Lot 010 in Assessor's Block 6916 - Request for a Variance from Planning Code Sections 134 and 188, to legalize an addition made to the rear of a legal noncomplying detached garage, located in an RH-1(D) (Residential House, One-Family) (Detached) Zoning District and 40-X Height and Bulk District.

Note: To be decided by the Zoning Administrator.

//////////

CASE NO. 6730: 456 Urbano Drive – ABATEMENT APPEALS BOARD

Owner of Record & Appellant: Nguyen Tad V. & Kim D. T., 456 Urbano Drive, San Francisco, CA 94127

ACTION REQUESTED BY APPELLANT: Reversal of the Order of Abatement, and no imposition of Assessment of Costs.

Testimony, deliberation and possible action to affirm or reverse the Notice of Violation and/or to impose, or modify the terms and conditions of the proposed Order of Abatement.

//////////

BOARD OF APPEALS

* 456 Urbano Drive – The Planning Commission this as a triple DR and I heard the variance on December 20, 2007. One of those DRs was staff initiated because the project sponsor didn't reduce the scope and was not in compliance with the Residential Design Guidelines. One of the DRs filed from the adjacent neighbor at 450 Urbana was about shading on solar panels. At the hearing before you, planning staff demonstrated that there would not be significant shading to the solar panels. You did take discretionary review to reduce the size of the building but did not address the solar issues. The DR requestor did appeal your decision seeking compensation for the loss of the electrical production caused by the project. It was a three to one vote, with Goh dissenting to uphold your decision finding that there was not significant solar shading.

[2/5/2009]

////////////////////

* 456 Urbano Drive: The Planning Commission heard this on December 20 in a DR hearing. You took staff's advice and reduced the size of the building. An appeal was filed by a neighbor regarding shadows. The Board of Appeals upheld your decision and the project moved along except the project did not follow the approved permits. There was a Stop Work Order. They did not stop work. We had the police out there. Ultimately, we found the grade had been changed. The measurement which looks similar was not. We owe a debt of gratitude to the Building Inspection Department who brought this to our attention recognizing that it was too high and not what the Planning Commission approved. We believe it was 1.8 feet higher than what was approved. The Board of Appeals agreed with us. A new permit must be filed. We will review that permit and although we don't have that permit before us yet, we don't think that is in compliance with the neighborhood and in any case we would have to bring it back to you even if we thought it was appropriate because you took DR on it. I do believe it is going to be very difficult to bring this project back down to the original height because it's not like removing a parapet. Instead of building the floors at an eight foot floor to ceiling, they built at approximately 10 feet. This is not a simple thing to resolve.

Commissioner Antonini:

I just wanted to comment and thank Mr. Badiner and DBI for working on making sure that where there are violations or work done in excess of permits – I think it does happen fairly frequently and I'm glad that we are trying to find where can where this is happening.

Zoning Administrator Badiner:

Thank you. I should have said that the Board of Appeals complemented the Department, Enforcement and Neighborhood Planning staff Kate Conner and Elizabeth Watty for their diligent work on this. It is both their efforts that really brought this to fruition.

[9/10/2009]

RESPONSE TO DISCRETIONARY REVIEW

Case No.: 2009.1162DD
Building Permit No.: 2010.07.26.7410
Address: 456 Urbano Drive

Project Sponsor's Name: Kim Nguyen
Telephone No.: 415 244 8678 (for Department of City Planning to contact)

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

Our proposed project should be approved because:

On November 17, 2008, we have approved permit number 2006.05.09.1110 (exhibit A attached herewith) to build building height of 25'6". The reason we re-submit this permit application is to resolve the ambiguity regarding the building height measurement and to allow few changes to the façade and windows design for more energy efficiency.

Concerns of DR requester are for other properties that we do not own.

Concerns of Planning Staff DR are addressed in permit application submitted herewith.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

We have discussed/worked with Planning/Building staff since 04/2009 to address the concerns by:

1). Obtain permit number 2009.05.12.8233 on May 14, 2009 for revised plan reiterating building height of 25'6" (exhibit B attached herewith). We paid \$714.50 to obtain this permit as required by Planning staff.

2). Before we changed the window design to its original style before the remodeling, we conferred with Planning staff and were told that as long as the front windows are "wood" framed, those windows will be fine.

3). Right after we complied with permit number 2009.05.12.8233 and changed the project to meet Planning staff concern, Planning staff informed us that that permit was erroneously approved. Planning staff told us that we need another permit and we complied by submitting herewith permit number 2010.07.26.7410.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

We are not willing to change because we have paid additional fees of \$10,000+/- and patiently going through this additional 2-year process. Furthermore:

- 1) The "as-built" building height of 25'11" because it is only 5 inches higher than the approved building height of 25'6". The difference of 5 inches is considered negligible and should be tolerated for this type of construction;
- 2) The changes to the façade (slight change) and windows (back to their original design) allow more exterior lighting and more energy efficiency;
- 3) Our project will not have any adverse effect on the surrounding properties which consist of buildings with various heights (pictures shown in exhibit C attached herewith);
- 4) Our proposed project "as-built" was reviewed and approved by the Environmental Review on 07/29/2010 (after going through a 7-month process and paying \$2,600. fee).

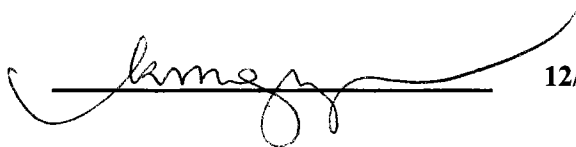
If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

We submit herewith survey letters dated 07/22/09 and 11/15/09 prepared by Licensed Surveyor's showing "as-built" building height of 25'11" and Project Designer's letter dated 07/30/09 reaffirming plan measurement for building height of 25'6" (exhibit D attached herewith).

4. Please supply the following information about the proposed project and the existing improvements on the property.

<u>Number of</u>	<u>Existing</u>	<u>Proposed</u>
Dwelling units (only one kitchen per unit -- additional kitchens count as additional units).....	_ 1 _	_ 1 _
Occupied stories (all levels with habitable rooms).....	_ 1.5 _	_ 2.5 _
Basement levels (may include garage or windowless storage rooms).....	_ 1 _	_ 1 _
Parking spaces (off-street).....	_ n/a _	_ n/a _
Bedrooms.....	_ 4 _	_ 5 _
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas.....	1,881	3,678
Height.....	17'	25'11"
Building depth.....	54'6"	65'6"
Most recent rent received (if any).....	none	none
Projected rents after completion of project.....	none	none
Current value of property.....	\$900K	\$1,200K
Projected value (sale price) after completion of project (if known).....	unknown	unknown

I attest that the above information is true to the best of my knowledge.



12/28/2010

Kim Nguyen

EXHIBIT A

OFFICIAL COPY

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

DEPARTMENT OF BUILDING INSPECTION

Kirk Means DBI

JUN 05 2008

DISTRIBUTED BY CUSTOMER SERVICE DIVISION

BUILDING INSPECTOR DEPT OF BLDG INSP

REFER TO APPROVED

APPROVED for vertical and horizontal rear addition, 24-1(A) approved per DL case no 2007 044850V UC X Garage alterations included under BPA No. 2007 10185822

FOR SINGLE FAMILY USE ONLY

DEPARTMENT OF CITY PLANNING

Approved Planning Dept Elizabeth Watty

APPROVED

N/A

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

APPROVED

By JAMES ZHAN DBI

OCT 17 2008

MECHANICAL ENGINEER DEPT OF BLDG INSPECTION

APPROVED

By ROBERT CHUN DBI

OCT 17 2008

CIVIL ENGINEER DEPT OF BLDG INSPECTION

SUBJECT TO ALL CONDITIONS OF DPWRSM. CONFORMITY INSPECN OBCN-0034

- Minor Encroachment Permit
- Street Improvement Permit
- Special Sidewalk Permit
- Excavation Permit

N/A

Simon Chan

BUREAU OF ENGINEERING

APPROVED

DEPARTMENT OF PUBLIC HEALTH

APPROVED

REDEVELOPMENT AGENCY

APPROVED

SFPUC

Monica Szulc 10/23/08

HOUSING INSPECTION DIVISION

SFPUC Capacity Charges See attached SFPUC Capacity Charge invoice for amount DBI will collect 50% or more of the total amount before the Site Permit is issued. Any balance will be billed and collected by SFPUC directly

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application and attached statements of conditions or stipulations which are hereby made a part of this application

Number of attachments

OWNER'S AUTHORIZED AGENT

[Signature]

REASON

NOTIFIED MR

DATE

REASON

NOTIFIED MR

NOTIFIED MR

DATE

REASON

NOTIFIED MR

DATE

REASON

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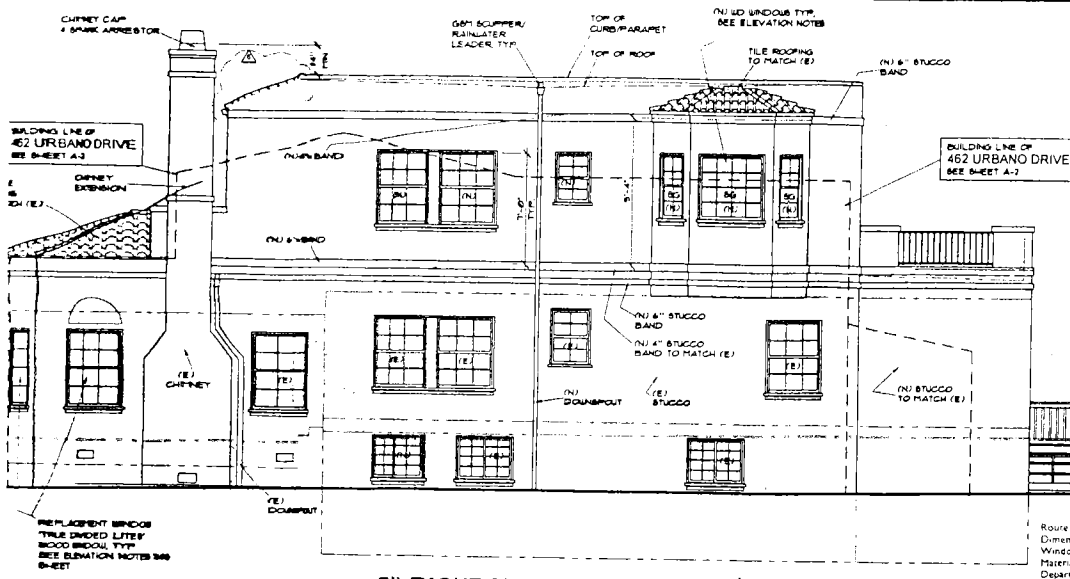
DATE

REASON

NOTIFIED MR

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

EXHIBIT B



3 (N) RIGHT SIDE ELEVATION
SCALE 1/4" = 1' - 0"

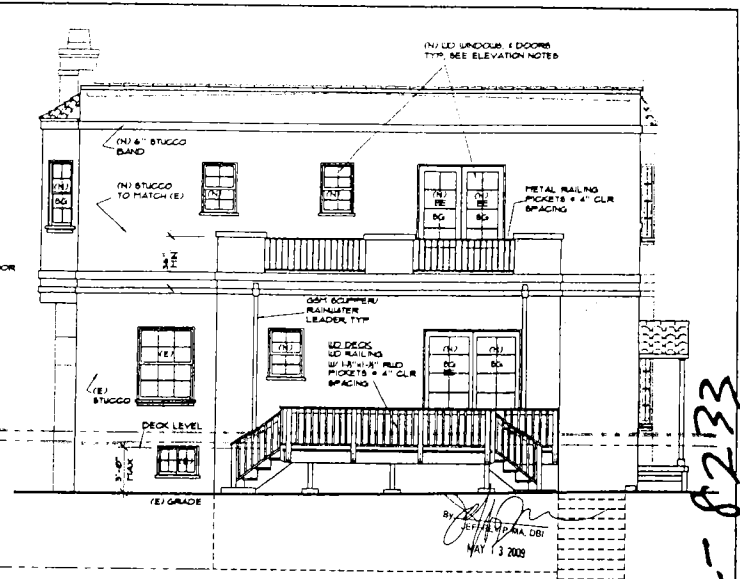
- LEGEND**
- (E) — EXISTING
 - (N) — NEW
 - (R) — REPLACEMENT
(FOR WINDOW UPGRADE - INSERT 3/4" x 1/2")
 - EE — EMERGENCY EGRESS - SEE DET 2/1A-4
 - RG — FIXED GLASS
 - SG — SAFETY GLAZING/TEMPERED GLASS
 - CH — DOUBLE OR SINGLE HUNG
 - AW — AWNING
 - SLDR — SLIDER
 - FD — FRENCH DOOR

- ELEVATION NOTES:**
1. ALL NEW WOOD WINDOWS (SPECIALLY THE FRONT ELEVATION) MUST BE TRUE DIVIDED LITES OR SIMULATED DIVIDED LITES ON THE INTERIOR, EXTERIOR AND SPACER BAR BETWEEN THE GLASS PANE (SEE DETAIL 3/1-7)
 2. EXISTING FRONT ELEVATION VINYL WINDOWS WITH FLAT GRILLS TO BE REMOVED AS NOTED. INSERT REPLACEMENT WINDOW PANELS OR KITCHEN/CLOSET DOOR PANELS (SEE DETAIL 3/1-7)
 3. PROVIDE ROUND STUCCO MOLD ALL WINDOW AND DOOR OPENING. PAINTED TO MATCH EXISTING.
 4. NEW TILED ROOF FOR UPPER LEVEL AND LOWER LEVEL FRONT ADDITION SHALL MATCH EXISTING FRONT TILED ROOFING.
 5. NEW STUCCO EXTERIOR FINISH PAINTED TO MATCH EXISTING.

APPROVED
PLANNING DEPARTMENT
Approving Planning Dept. Elizabeth Viny

FOR SINGLE FAMILY USE

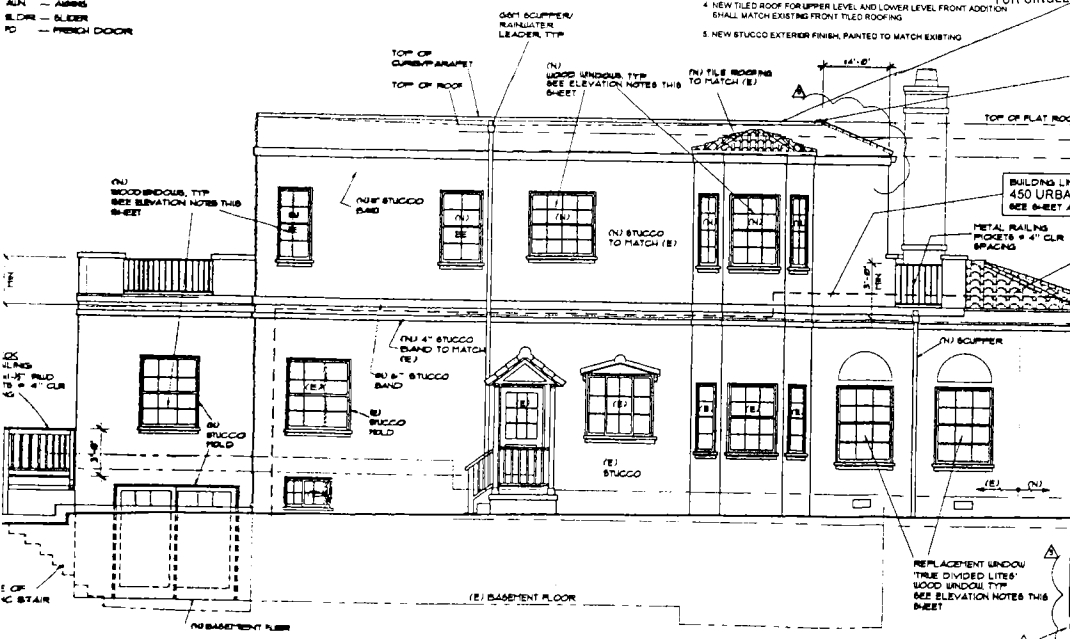
Route any changes in Building Dimensions, Exterior Materials, Window Location, Size or Materials or Use to the Planning Department for reapproval.



4 (N) REAR ELEVATION
SCALE 1/4" = 1' - 0"

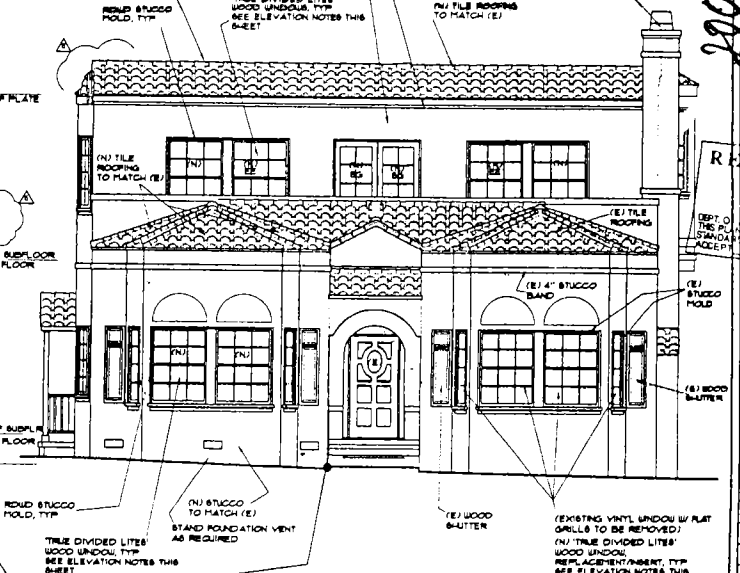
HEIGHT AS MEASURED UNDER PLANNING APPROVAL
AT THE SIDES & REAR ELEVATION TOP OF FLAT ROOF 1' 25" - 14"

SCOPE OF WORK:
- REVISE A-1 TO MEET HEIGHT LIMIT
- PER APPROVAL 200805091110



2 (N) LEFT SIDE ELEVATION
SCALE 1/4" = 1' - 0"

REFERENCE POINT OF (E) GRADE AT 8'-0" AWAY FROM (E) BUILDING = BROCK FORM 3'-STEP DOWN PER DBI



1 (N) FRONT ELEVATION
SCALE 1/4" = 1' - 0"

REVISION

RECEIVED

MAY 12 2009

DATE 01-08-09

SCALE AS NOTED

DRAWN HGE

JOB

SHEET

A-6

2009-05-12-82133

ADDITION & REMODEL

456 URBANO DRIVE

SAN FRANCISCO, CA 94127

HECTOR G. ESTIPONA

DESIGNER

2009 URBANO DRIVE

SAN FRANCISCO, CA 94127

APPROVED
Dept. of Building Insp.

MAY 14 2009

Vivian L. Day
DIRECTOR/CHIEF BUILDING OFFICIAL
DEPT. OF BUILDING INSPECTION

200900449
2009094168
200878373
20060

BUILDING ENLARGEMENT
DESCRIPTION
 VERTICAL
 HORIZONTAL

BLDG. FORM 3/8



APPLICATION NUMBER

APPROVAL NUMBER

2009-05-12-8232

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

FORM 3 OTHER AGENCIES REVIEW REQUIRED

FORM 8 OVER-THE COUNTER ISSUANCE

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

2 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

DATE FILED 05-12-09	FILED FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 456 URBANO DR.	BLOCK & LOT 6916/010
PERMIT NO. 1185265	ISSUED MAY 14 2009	(2) ESTIMATED COST OF JOB 100	(7B) REVISED COST Back check why

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. 5	(5A) NO. OF STORIES OF OCCUPANCY 1	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE RESIDENTIAL	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS 1
---------------------------	---------------------------------------	--	---------------------------------	--------------------------	---------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. 5	(5) NO. OF STORIES OF OCCUPANCY 2	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) RESIDENTIAL	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS 1
--------------------------	--------------------------------------	---------------------------------------	---	-------------------------	--------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? NO <input checked="" type="checkbox"/>
---	---	---	---

(14) GENERAL CONTRACTOR T-SQUARE	ADDRESS 291 9th St.	ZIP S.F.	PHONE 8722440	EXPIRATION DATE 10/2010
-------------------------------------	------------------------	-------------	------------------	----------------------------

(15) OWNER - LESSEE (CROSS OUT ONE) KIM-D-NGUYEN	ADDRESS 456 URBANO DR.	ZIP S.F.	PHONE (FOR CONTACT BY DEPT.) 585-6874
---	---------------------------	-------------	--

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
REVISE A-6 DRAWING TO MEET THE weight limit!
per permit # 20090509110

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT. FT.	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT. SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> ADDRESS	CALIF. CERTIFICATE NO.
--	------------------------

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") ADDRESS

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 60" to any wire containing more than 750 volts See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

<input type="checkbox"/> OWNER	<input type="checkbox"/> ARCHITECT
<input type="checkbox"/> LESSEE	<input type="checkbox"/> AGENT
<input type="checkbox"/> CONTRACTOR	<input type="checkbox"/> ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

9003-03 (REV. 1/02)

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE: The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claim, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (I), or (II) designated below or shall indicate item (III), or (IV), or (V), whichever is applicable. If however item (V) is checked item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:



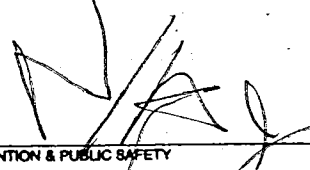

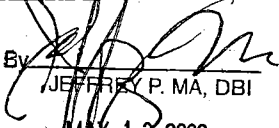


- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- (X) II. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier: State Fund
Policy Number: 1573500
- () III. The cost of the work to be done is \$100 or less.
- () IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
- () V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent: [Signature] Date: 5/12/09

OFFICE COPY

CONDITIONS AND STIPULATIONS



REFER TO:	APPROVED:  BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: 5/2/07 REASON: <i>Process Revised</i> APPROVAL: <i>Approved</i> NOTIFIED MR.
<input type="checkbox"/>	APPROVED: <i>to revise height of parapet. Height will not exceed 25'6" per PC approval. HISTORICALLY EXEMPT FROM ENVIRONMENTAL CLASS 1</i>  DEPARTMENT OF CITY PLANNING Approved Planning Dept. Elizabeth Watty	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED:  BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED:  MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED: By  JEFFREY P. MA, DBI MAY 13 2009 CIVIL ENGINEER, DEPT. OF BLDG INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED:  BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED: DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED: REDEVELOPMENT AGENCY	DATE: _____ REASON: _____ NOTIFIED MR.
<input type="checkbox"/>	APPROVED:  HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____ NOTIFIED MR.

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

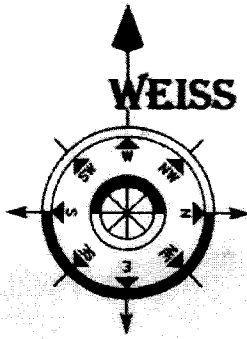
Number of attachments

OWNERS AUTHORIZED AGENT _____

EXHIBIT C



EXHIBIT D



Steven J. Weiss
CA PLS 8429

WEISS LAND SURVEYING

4808 Glencannon St.
Santa Rosa, CA
(707) 486-4903
weisslandsurveying@gmail.com

DATE: November 15, 2009

Attn: Craig Nikitas
Senior Planner, Director's Office
San Francisco Planning Department
1650 Mission St., #400
San Francisco, CA 94103

Re: Survey completed at:
456 Urbano Drive
San Francisco, CA 94127
AB 6919, LOT 010

Permit #: 2009-05-12-8233

By: Steven J. Weiss, PLS 8429

Dear Mr. Nikitas,

This letter is to certify that a field survey was performed at the above site by me on July 21, 2009 to determine the Height of the Top of the Completed Flat Roof Parapet based on the beginning Reference Point Elevation of the Brick Porch (@ front building entrance) 3 steps down (the landing in front of door being the 1st step). This Reference Point is also located 5'-0" from the face of the Existing Building at the front door entrance.

The approved height from Reference Point to Top of Parapet is 25'-6" as shown on Plan Sheet #A-6 with approval stamps by Planning on May 13, 2009 and by DBI on May 13 & 14, 2009. The actual height measured by my field survey is 26'-0".

The field survey was performed by me while an employee of Renner Surveying & Engineering, Inc. with a fully calibrated digital survey instrument (Topcon 3 Series) which measures distances to a remote prism with an infrared beam to the accuracy of .001th of a foot. This instrument is connected to a TDS Ranger data collector which is essentially a handheld field computer which stores all the field data. By utilizing measured heights of instruments and prisms and recording them in the Ranger, precise elevations are generated with this data.



Steven J. Weiss
CA PLS 8429

WEISS LAND SURVEYING

4808 Glencannon St.
Santa Rosa, CA
(707) 486-4903
weisslandsurveying@gmail.com

This particular survey began from existing control points on Estero Avenue behind the subject house established from an earlier survey. The elevations of these control points are based on an assumed datum of 100 feet at the initial point. From this existing control survey shots were taken at the top of the roof parapet at the rear of subject house by reaching it from construction scaffolding. The elevation at roof parapet was measured in two separate locations at 135.86.

Then, from this existing control point, a new control point was established on the rear deck of the upper floor of the house and a second new point was established at the front deck of the subject house by shooting through the upper floor of the house. Another new control point was established from here on the sidewalk in front of the subject house, positioned so as to view the front porch and steps. Precise elevation checks are done with every move forward to a new control point and all these checks were within minimal tolerances of 0.01' of elevation.

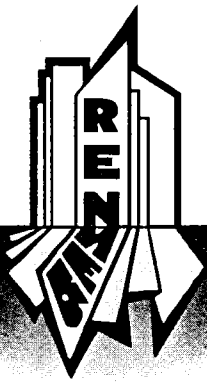
Then from this last control point survey shots were taken on the front landing and all the steps. The elevation of the reference step as mentioned on Page 1 (at 5' from door and 3 steps down) is 109.86. Subtracting the elevation of roof parapet (135.86) by the elevation of the reference step (109.86) gives the building height of 26.00' (26'-0").

Since the top of the roof parapet was measured at the rear of the house because of ease of access, it is assumed that elevation is the same all around the house as shown on the building plans.

Steven J. Weiss

Steven J. Weiss PLS 8429
License Expires: 12/31/2010





RENNER SURVEYING & ENGINEERING, INC.

DATE: July 22, 2009

Attn: Craig Nikitas
Senior Planner, Director's Office
San Francisco Planning Department
1650 Mission St., #400
San Francisco, CA 94103

Re: Survey completed at:
456 Urbano Drive
San Francisco, CA 94127
AB 6919, LOT 010

Permit #: 2009-05-12-8233

By: Renner Surveying & Engineering, Inc.

Dear Mr. Nikitas,

This letter is to certify that a field survey was performed at the above site by our survey crew on July 21, 2009 to determine the Height of the Top of the Completed Flat Roof Parapet based on the beginning Reference Point Elevation of the Brick Porch (@ front building entrance) 3 steps down. This Reference Point is also located 5'-0" from the face of the Existing Building at the front door entrance.

The approved height from Reference Point to Top of Parapet is 25'-6" as shown on Plan Sheet #A-6 with approval stamps by Planning on May 13, 2009 and by DBI on May 13 & 14, 2009. The actual height measured by our field survey is 26'-0".

Please contact me if any further information or clarification is required.

Ernest Renner R.C.E. # 20046
Expires: 9/30/2009



07/22/2009
Date

SmartZone Communications Center Collaboration Suite

kimnguyen288@comcast.net

Fwd: "As Built" Roof Height - 456 Urbano Drive, San Francisco

Tuesday, August 04, 2009
1:14:03 PM

From: kimnguyen288@comcast.net

To: elizabeth.watty@sfgov.org; kate.conner@sfgov.org; daniel.lowrey@sfgov.org

Cc: erenner@renner-inc.com; sweiss@renner-inc.com

Hi Liz, Kate and Dan:

As a follow-up of our meeting today, please see email below from Mr. Renner regarding the "As built" height compared to 2006-05-09-1110 approved plans.

Thanks for taking time to meet with me today.

Kim

415 244 8678

----- Forwarded Message -----

From: "Ernie Renner" <erenner@renner-inc.com>

To: "Kim Nguyen" <kimnguyen288@comcast.net>

Sent: Tuesday, August 4, 2009 10:41:16 AM GMT -08:00 US/Canada Pacific

Subject: FW: Re: "As Built" Roof Height - Please Review

-----Original Message-----

From: Ernie Renner [mailto:erenner@renner-inc.com]

Sent: Friday, July 31, 2009 10:52 AM

To: Kim Nguyen

Subject: Re: "As Built" Roof Height - Please Review

Dear Kim and Ted:

On July 22, 2009 we verified the actual roof height to be 26'0" based on the plans approved by the Planning Department on May 13, 2009 and by DBI on May 13 & 14, 2009. A certification letter was sent to Mr. Craig Nikitas at the San Francisco Planning Department.

Based on your request, we have also reviewed the plans (Sheets A-1 & A-6, dated 12-18-06, Permit #2006-05-09-1110), signed by Elizabeth Watty on 11/12/08. These plans were approved based on measuring the roof height from the bottom of the second step, 5'-0" from the existing face of the building.

As discussed in the Architect's (Hector Estipona) letter, dated 07-30-09, there were a number of changes to the interior of the building due to dry rot damages. He also states that there were no changes to the overall exterior height of 25'-6" as shown on the revised as-built approved plans submitted on 5/15/09, permit #2009-05-12-8233.

The back of the third step was approved per permit #2009-05-12-8233. This is the same elevation as the bottom of the second step - El. 109.85' per the plans dated 12-18-06. The actual height measured is 26'-0".

Sincerely Yours,

Ernest Renner
RCE #20046

07-30-09

To: Larry Badiner
Craig Nikitas
Kate Conner
SF Planning Department


Re: 456 Urbano Drive
Building Height Clarifications

Dear Messrs. Badiner, Nikitas and Ms. Conner,

The original approved plans dated November 17, 2008 (Permit #2006-05-09-1110) on sheet A-6, Left Side Elevation clearly shown as 25'-6" total approved building height by using the point of reference to be two steps down from front porch, 5'-0" from the existing face of the building.

Although the original plan approved the new second floor ceiling height to be 9'-0", the existing roof rafters expected to be remained and a new floor system to be sitting on top of the existing roof, during the framing construction, we decided to take out most of the existing roof system due to dry-rot damages and also due to the existing structure no longer meeting the seismic code requirements. As a result, the actual floor level of the second floor has lower elevation and the second floor to ceiling height increased (from 9'-0" to 10'-4.5"), yet still maintaining the approved overall exterior height of 25'-6" as shown on revised as-built approved plans submitted on 5/14/09, permit #2009-05-12-8233.

Sincerely yours,



Hector Estipona
Project Designer

SmartZone Communications Center Collaboration Suite

kimnguyen288@comcast.net

Re: 456 Urbano Dr./ complaint #200999468

Tuesday, April 07, 2009 8:48:33 AM

From: Elizabeth.Watty@sfgov.org

To: tad@inglesidenetworks.com

Cc: edward.sweeney@sfgov.org; kimnguyen288@comcast.net; Patrick.ORiordan@sfgov.org; robert.power@sfgov.org

All:

Planning is fine with interior alterations, including a change in floor-to-ceiling heights, if, and only if, there is no change in exterior appearance and height. If an increased floor-to-ceiling height can be accommodated with no exterior change or increase in height, I see no problems.

I believe the height to the top of the tile parapet is 25'6", but the height of the remaining portion of the building is slightly shorter. The rear extension of the building should only be one story in height, or a maximum of 12' above grade, 11 deep, and 22 feet wide (based on Planning Commission mandated changes).

According to Mr. Nguyen, DBI is requiring that the roof parapet be increased in height in order to accommodate proper roof drainage. Was this permit issued in error? Is the only option to extend the height of the parapet, or can other means accommodate the drainage issue? I told Mr. Nguyen that I would like to be able to speak directly with a person in DBI who is requiring the increase in parapet height so I can better understand what is required and why.

As I'm sure you know, this project has been through a long and difficult process. It had 3 Discretionary Reviews filed against it (including a Staff-initiated DR) and an appeal at the Board of Appeals. The Planning Commission mandated changes to this project, and the Department ultimately defended the project at the Board of Appeals based on a shadow study that Craig Nikitas conducted, which was based on the height of the building at the top of the parapets.

Please let me know if you have any questions.

Thank you.

Elizabeth Watty, LEED AP
 Neighborhood Planning, Southwest Quadrant
 San Francisco Planning Department
 1650 Mission Street, Suite 400
 San Francisco, CA 94103
 (t) 415.558.6620
 (f) 415.558.6409
www.sfgov.org/planning

"tadnguyen "
 <tad@inglesidenet
 works.com>

04/06/2009 10:18
 PM

<Elizabeth.Watty@sfgov.org>,
 <robert.power@sfgov.org>,
 <Patrick.ORiordan@sfgov.org>

To

cc

<edward.sweeney@sfgov.org>, "Kim
 Nguyen" <kimnguyen288@comcast.net>

Subject

456 Urbano Dr./ complaint
#200999468

For the record

This is to summarize the various discussions and meetings that I had with Patrick O'Riordan and Robert Power at DBI on Thursday 4/2/09 at 4PM and Elizabeth Watty, DBP, on Monday, 4/5/09 at 11AM:

1. Topics discussed with O'Riordan and Power
 - a. Building height to be 25'6" as per approved plan
 - b. Ceiling Height at 10'5" (15" over approved plan)
 - c. Parapet height at 30" per building standard

O'Riordan told me to clarify with Planning if 15" over approved ceiling height is acceptable. As long as Planning has no issue with the ceiling height than he would be fine with it.

2. Topics discussed with E. Watty:

I presented the approved plan of 456 Urbano Dr., summarized the progress of the ongoing construction and three unclear issues brought up by DBI as shown in item 1

Ms. Watty advised that I should maintain the approved building height which is 25' 6".

Due to the ¼" scale, we found that the parapet from plan is at 6"-8' height which is insufficient for roof drain. Therefore I request for 12" parapet height due to the 36' long pitch from one side of the building to the design water drain location. Ms. Watty would like a meeting with DBI plan checker for this request.

Ms. Watty confirm that the building interior height is not an issue. She would be OK with the 10'5 ceiling height.



SAN FRANCISCO PLANNING DEPARTMENT

RESIDENTIAL DESIGN TEAM REVIEW

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

DATE: 9/1/10 RDT MEETING DATE: 9/2/10

Reception:
415.558.6378

PROJECT INFORMATION:

Planner: Elizabeth Watty

Address: 456 Urbano Drive

Cross Streets: Alviso and Moncada Way

Block/Lot: 6916/010

Zoning: RH-1 (D)

Height/Bulk District: 40-X

BPA/Case No. 2010.07.26.7410

Project Status Initial Review Post NOPDR DR Filed

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION:

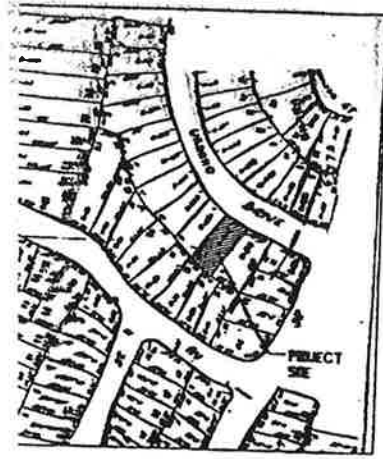
Project includes is to legalize the as-built conditions on the lot, which deviate in several ways from the previously approved plans (Commission approved via staff and public DRs). Discrepancies include 1'-9" increase in height, changes to the window pattern, and changes to the entrance.

PROJECT CONCERNS:

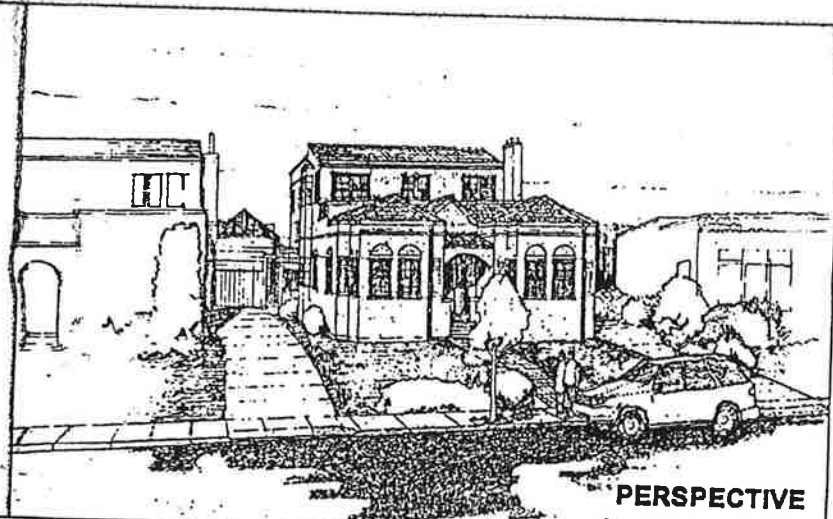
Would the Department support this project as revised? Must go back to the Commission since it deviates from their previous approval.

RDT COMMENTS:

- The RDT does not support the massing of the vertical addition as proposed as it is no longer a subordinate vertical addition, it does not maintain the scale at the street, and it is not minimally visible from the street. The addition – as constructed – stands out and does not complement the other buildings on the block, which are all contrary to the principles in the RDGs. The RDT would support either a reduction in height of 1'-9" or an additional setback of 3'-0" from the front building wall, for a total of a 15'-0" front setback. (RDG, pg. 24-25)
- The RDT does not support the proposed window changes, as they are not compatible with the Spanish/Mediterranean architectural style of the building. Windows define a building's character, and should be designed to be compatible with the building's architectural style. The size, shape, lite pattern, trim, and function of windows on Spanish/Mediterranean buildings have distinctive characteristics and features that typify its architectural style; the proposed windows are not compatible with those characteristics. (RDG, pg. 43-45)



LOCATION MAP
NO SCALE



PERSPECTIVE

DRAWING INDEX

SITEPLAN, LOCATION MAP	A-1
VEIEWS	A-2
EXISTING FLOOR, ELEVATIONS	A-3
NEW BASEMENT & FIRST FLOOR PLANS	A-4
NEW SECOND FLOOR & ROOF PLANS	A-5
(N) ELEVATIONS	A-6
BUILDING SECTION, DETAILS	A-7
GENERAL NOTES & DETAILS	A-8
BASEMENT & 1ST FLR FRAMING FROM PLAN	B-1
2ND FLOOR ROOF FRAMING PLAN	B-2
DETAILS	B-3
DETAILS	B-4
DETAILS	B-5
GENERAL STRUCTURAL MEMBER DETAILS	B-6
SWY STRUCTURAL DETAILS	B-7
TITLE-SH	T-24

REVISIONS

HECTOR G. ESTIPONA
DESIGNER
285 BOWTIE AVENUE
SOUTH SAN FRANCISCO, CA 94080
TEL: 650-754-1444 FAX: 650-754-1444

BUILDING & SITE DATA

AREA	
EXISTING DWELLING	
FIRST FLOOR (MAIN LEVEL)	
BASEMENT	
TOTAL	
EXISTING ACCESSORY STRUCTURE (GARAGE)	
GARAGE	
STORAGE (TO BE REUTILIZED)	
(S.F. TO BE REMOVED)	
TOTAL	
ADDITION	
FIRST FLOOR (TO REBACK)	
FIRST FLOOR (TOPS EXTENSION FRONT)	
SECOND FLOOR	
BASEMENT FLOOR	
FAMILY ROOM EXTENSION	
BEDROOM CLOSET EXTENSION	
TOTAL	

SUBJECT TO ALL CONDITIONS OF DPW/BSM
Order Number CONFORMITY INTEREST 0222-10024
Minor Encroachment Permit
Street Improvement Permit
Easement Permit
Easement Permit
APPLICANT TO APPLY FOR SIDEWALK LANDSCAPING
DPW/BSM SIGN OFF ON JOB CARD
REQUIRED PRIOR TO DBI FINAL
CALL 554-7149 TO SCHEDULE

#21
ROBERT CHAMBERLAIN, DBI
OCT 17 2008

RECEIVED
OCT 17 2008
DUPLICATE OF BUREAU INSPECTION
THIS PLAN SETS THE QUALITY
STANDARD FOR REPAIRWORK
ACCEPTED

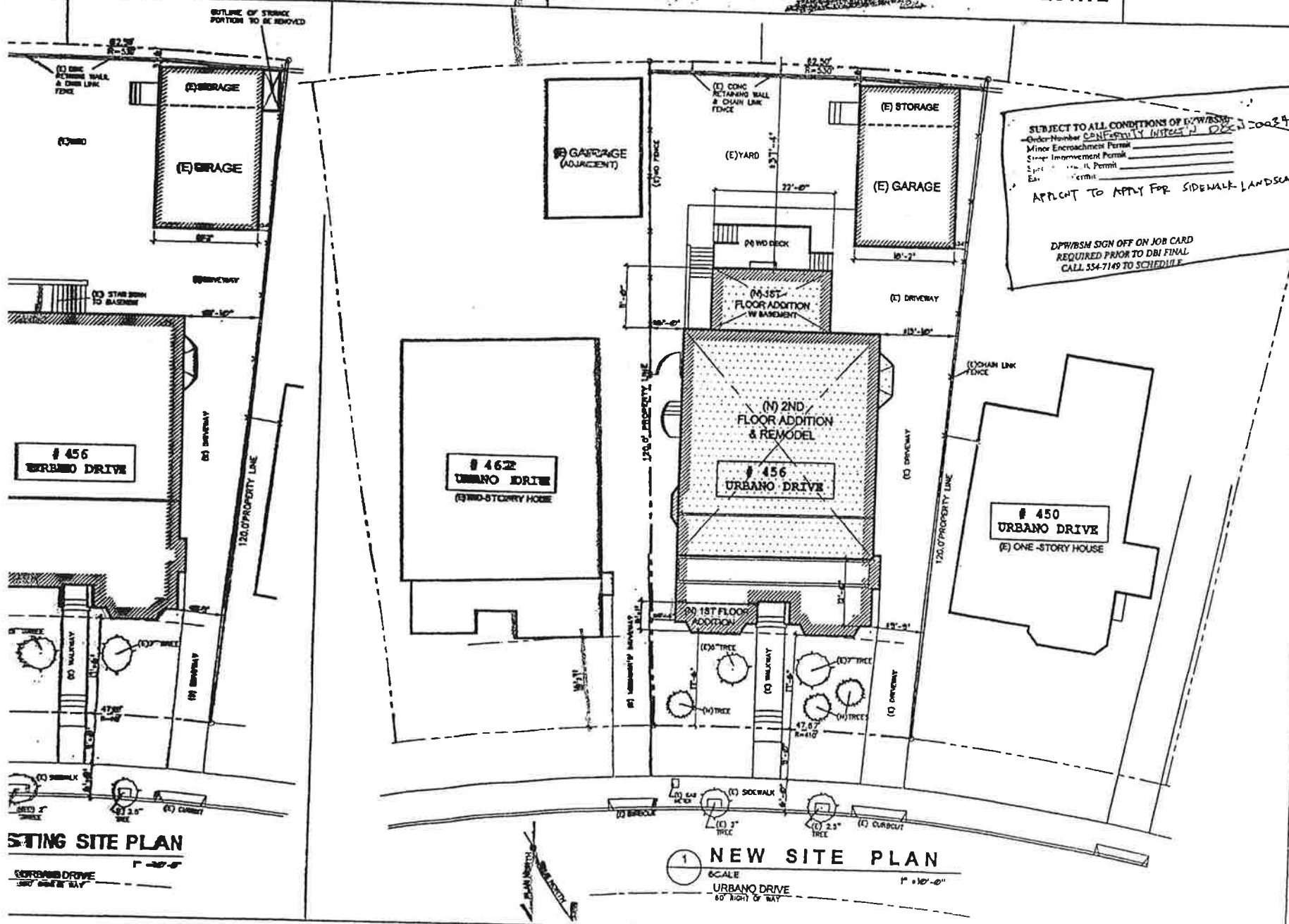
APPROVED
DEPT. OF PUBLIC WORKS
MAY 2008

GENERAL NOTES

- 1 - ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT EDITION AND COUNTY OF SAN FRANCISCO'S ANNO CODES AND ORDINANCES:
SAN FRANCISCO HOUSING CODE (SFC) [SFC] [SFC]
SAN FRANCISCO BUILDING CODE (SBC) [SBC] [SBC]
SAN FRANCISCO ELECTRICAL CODE (SFC) [SFC] [SFC]
SAN FRANCISCO MECHANICAL CODE (SMC) [SMC] [SMC]
- 2 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS ON THE JOB SITE AND EXISTING CONDITIONS.
- 3 - DO NOT SCALE DRAWINGS, USE WRITTEN NOTICES WHEN PLANS BE BUILT.

Base Inc. changes to Building
Dimensions, Exterior Elevation,
Window Location, Size or
Placement, or Use under Planning
Department for approval.
Approved Planning Dept. Elizabeth Bay
CIRCULARLY DISTRIBUTION SHOWS CHECK REVIEW
ON 5.5.1.

APPROVED FOR SUBMIT TO
CPC DISCRETIONARY
PER VIEW CHECK
ALL RESPONSIBILITY BE
REFERS TO YOU.
2008-09-14
FOR SINGLE FAMILY USE ONLY

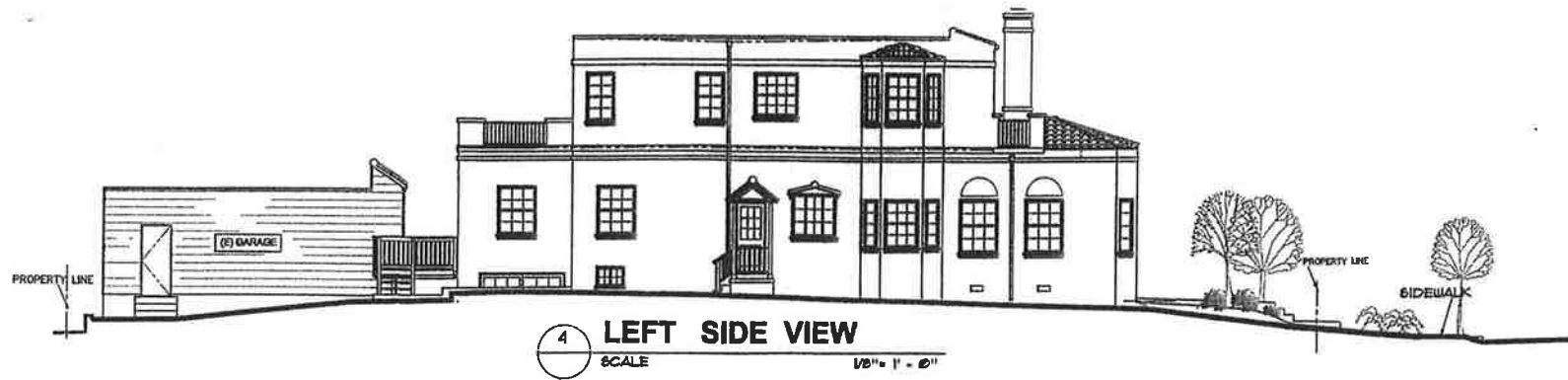


EXISTING SITE PLAN
SCALE 1" = 10'-0"

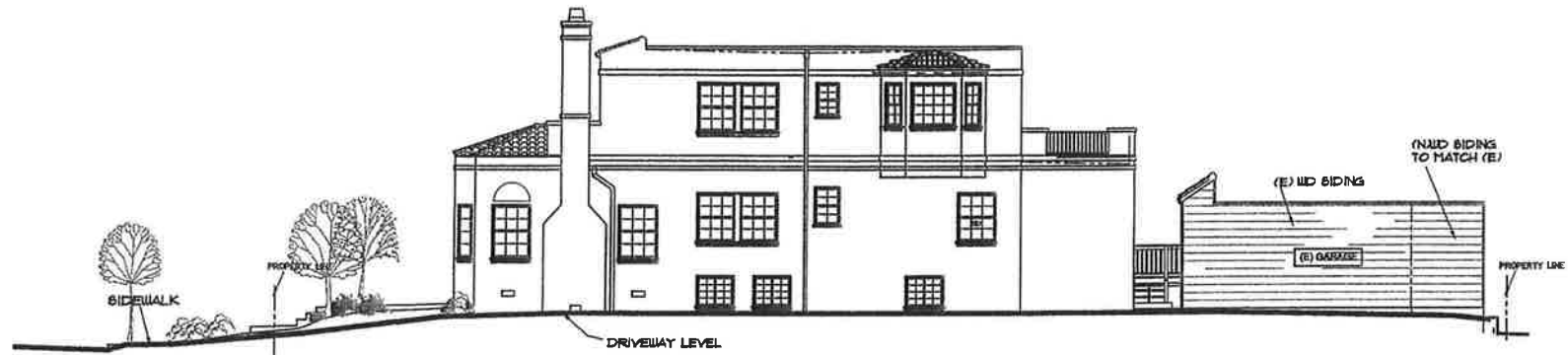
NEW SITE PLAN
SCALE 1" = 10'-0"

ADDITION & REMODEL
456 URBANO DRIVE
SAN FRANCISCO, CA 94127
TAS & KIM MEYER
TEL: 650-754-1444

2008-05-09-1110



4 LEFT SIDE VIEW
SCALE 1/8" = 1' - 0"



3 RIGHT SIDE VIEW
SCALE 1/8" = 1' - 0"



2 REAR VIEW
SCALE 1/8" = 1' - 0"



1 FRONT (STREET) VIEW
SCALE 1/8" = 1' - 0"

RECEIVED
MAY 16 2008
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPT

NO.	REVISIONS
1	DATE: 12-16-06
2	SCALE: AS NOTED
3	DRAWN: HGE
4	JOB:
5	SHEET:

HECTOR G. ESTIPONA
DESIGNER
223 BONITA AVENUE
SOUTH SAN FRANCISCO, CA 94080
TEL. # 415-338-8771 FAX # 415-338-8745

ADDITION & REMODEL
456 URBANO DRIVE
SAN FRANCISCO, CA 94127
OWNER: TAD & KIM NGUYEN TEL. # 650-766-7342

Kirk Means, DBI
JUN 05 2008

A-2

REVISIONS	BY

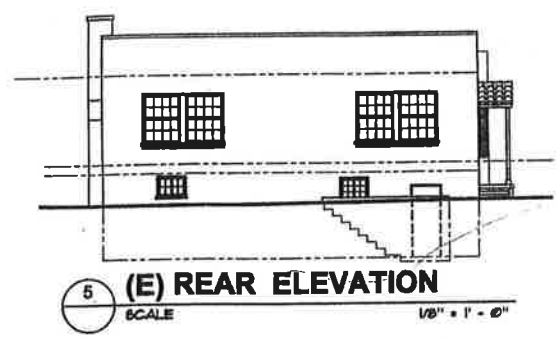
HECTOR G. ESTIPONA
 ARCHITECT
 223 BOWEN AVENUE
 SAN FRANCISCO, CA 94102
 TEL: 415-398-8751 FAX: 415-398-8752

ADDITION & REMODEL
456 URBANO DRIVE
 SAN FRANCISCO, CA 94127
 OWNER: TAD & KIM NGUYEN TEL: # 650-766-7342

DATE 12-18-06
 SCALE AS NOTED
 DRAWN HGE
 JUN 05 2008
A-3
 OF SHEET

RECEIVED
 MAY 16 2008
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR MICROFILMING
 ACCEPT

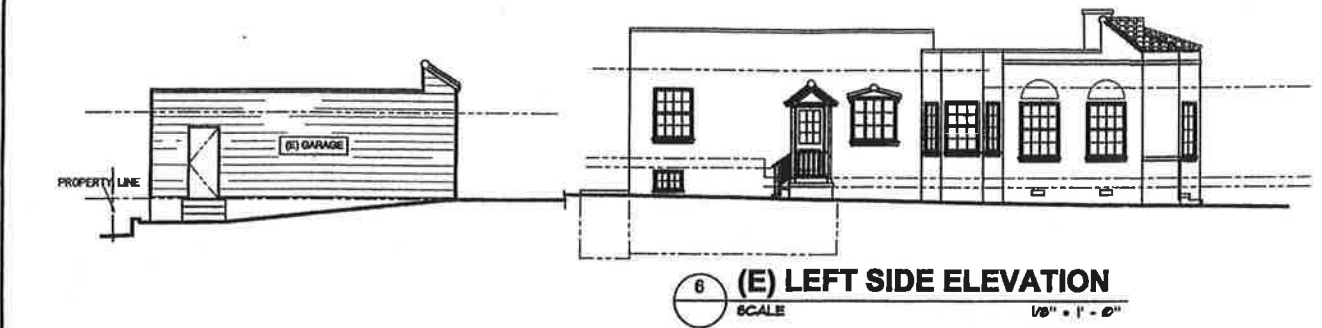
Handwritten initials



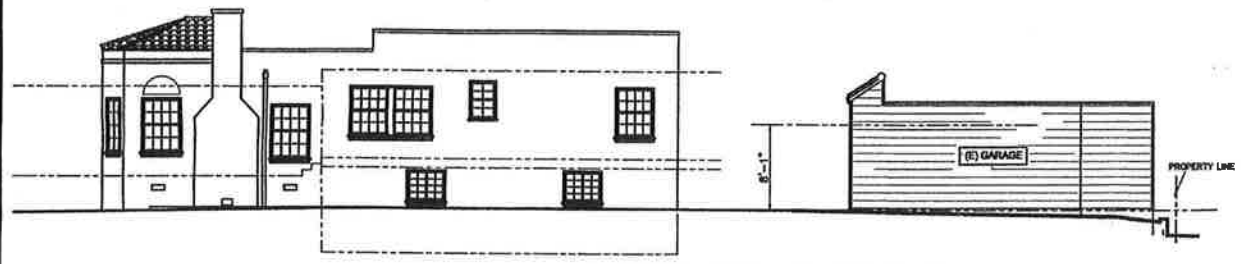
5 (E) REAR ELEVATION
SCALE 1/8" = 1' - 0"



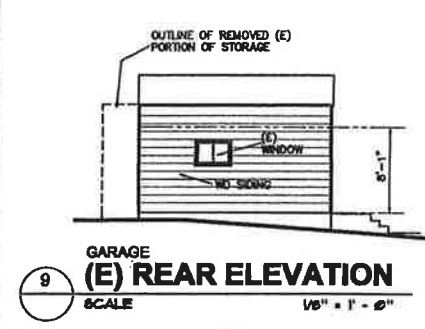
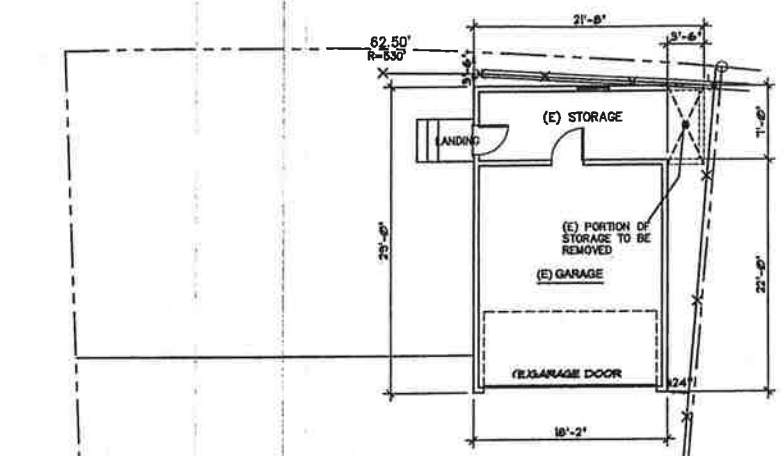
4 (E) FRONT ELEVATION
SCALE 1/8" = 1' - 0"



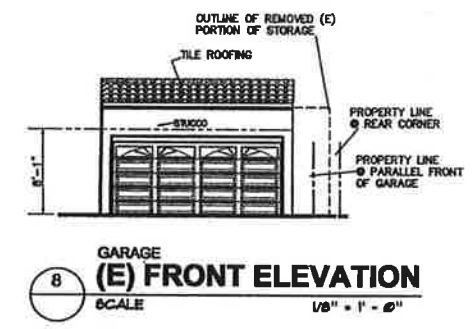
6 (E) LEFT SIDE ELEVATION
SCALE 1/8" = 1' - 0"



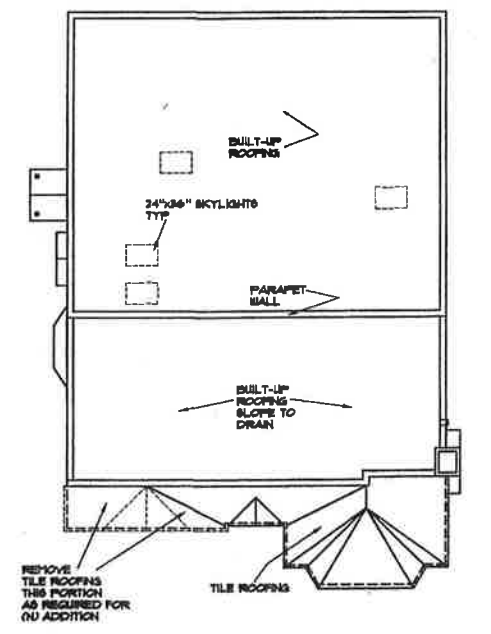
7 (E) RIGHT SIDE ELEVATION
SCALE 1/8" = 1' - 0"



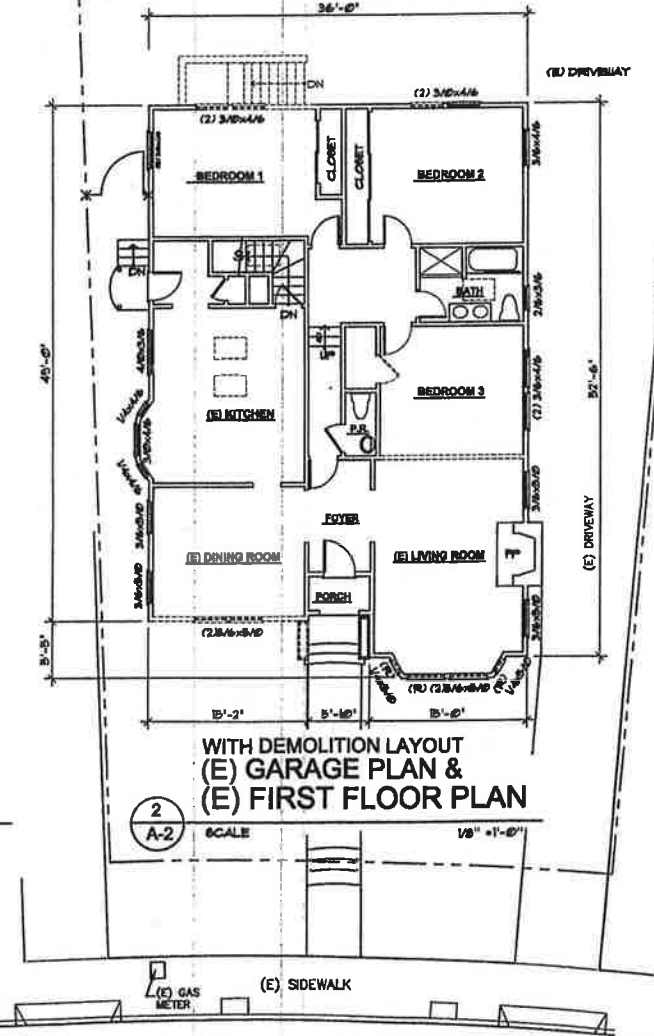
9 (E) REAR ELEVATION
SCALE 1/8" = 1' - 0"



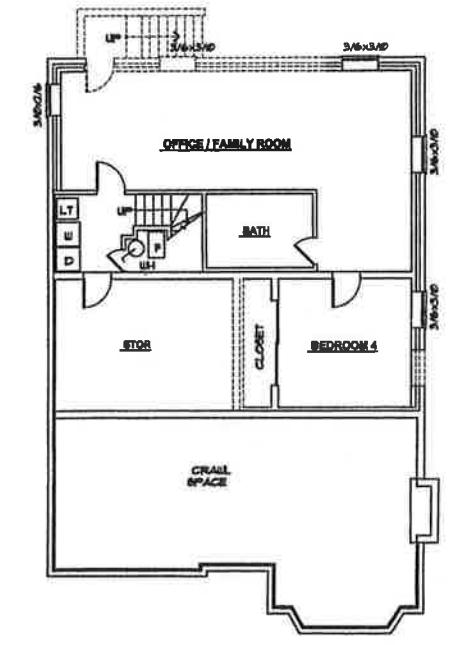
8 (E) FRONT ELEVATION
SCALE 1/8" = 1' - 0"



3 (E) ROOF PLAN
SCALE 1/8" = 1' - 0"

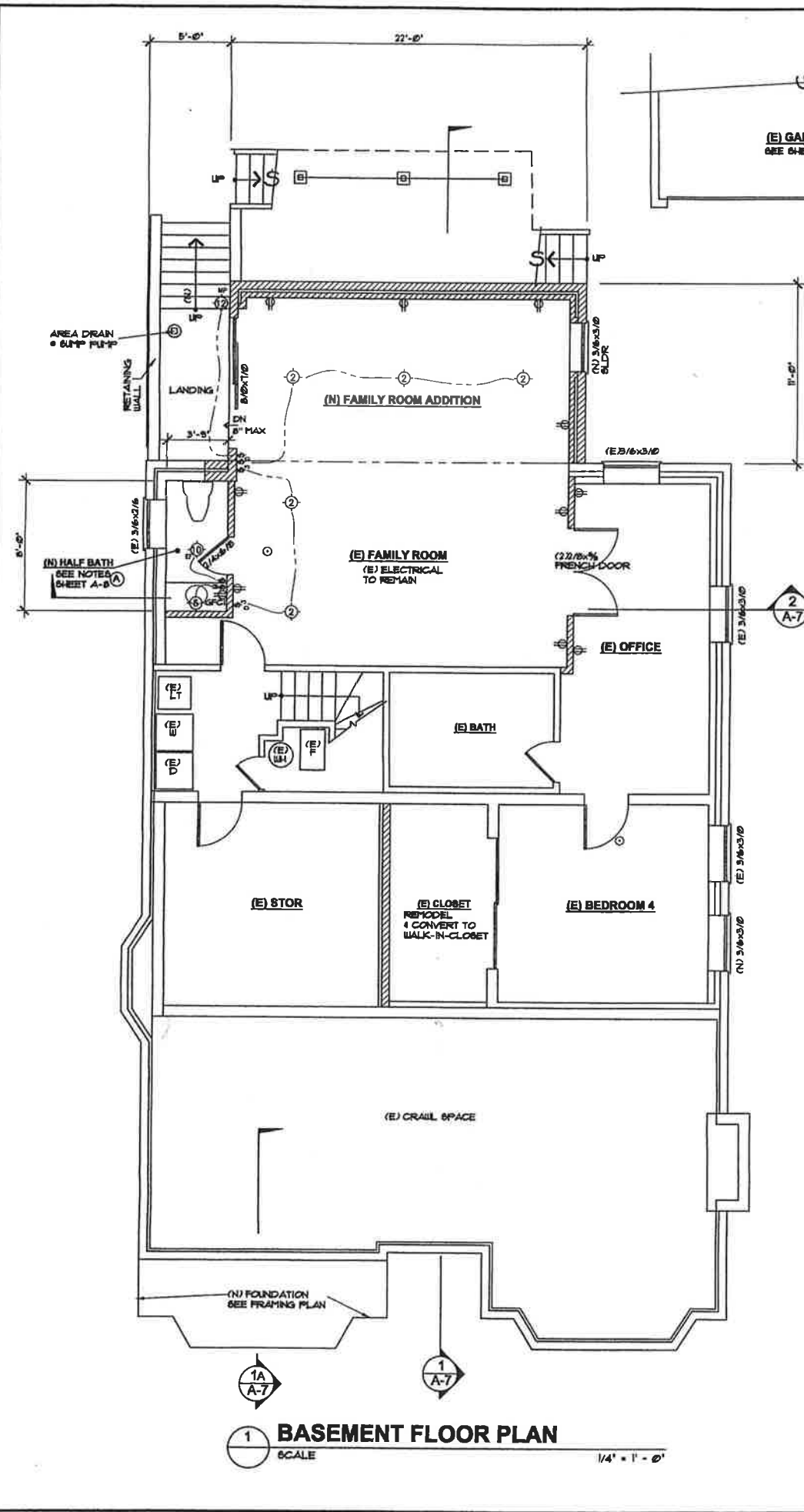


2 WITH DEMOLITION LAYOUT
(E) GARAGE PLAN &
(E) FIRST FLOOR PLAN
SCALE 1/8" = 1' - 0"



1 WITH DEMOLITION LAYOUT
(E) BASEMENT FLOOR PLAN
SCALE 1/8" = 1' - 0"

DEMOLITION LEGEND
 — EXISTING WALL OR CONDITION TO REMAIN
 - - - EXISTING WALL TO BE REMOVED (SEE EXISTING/DEMOLITION PLAN)



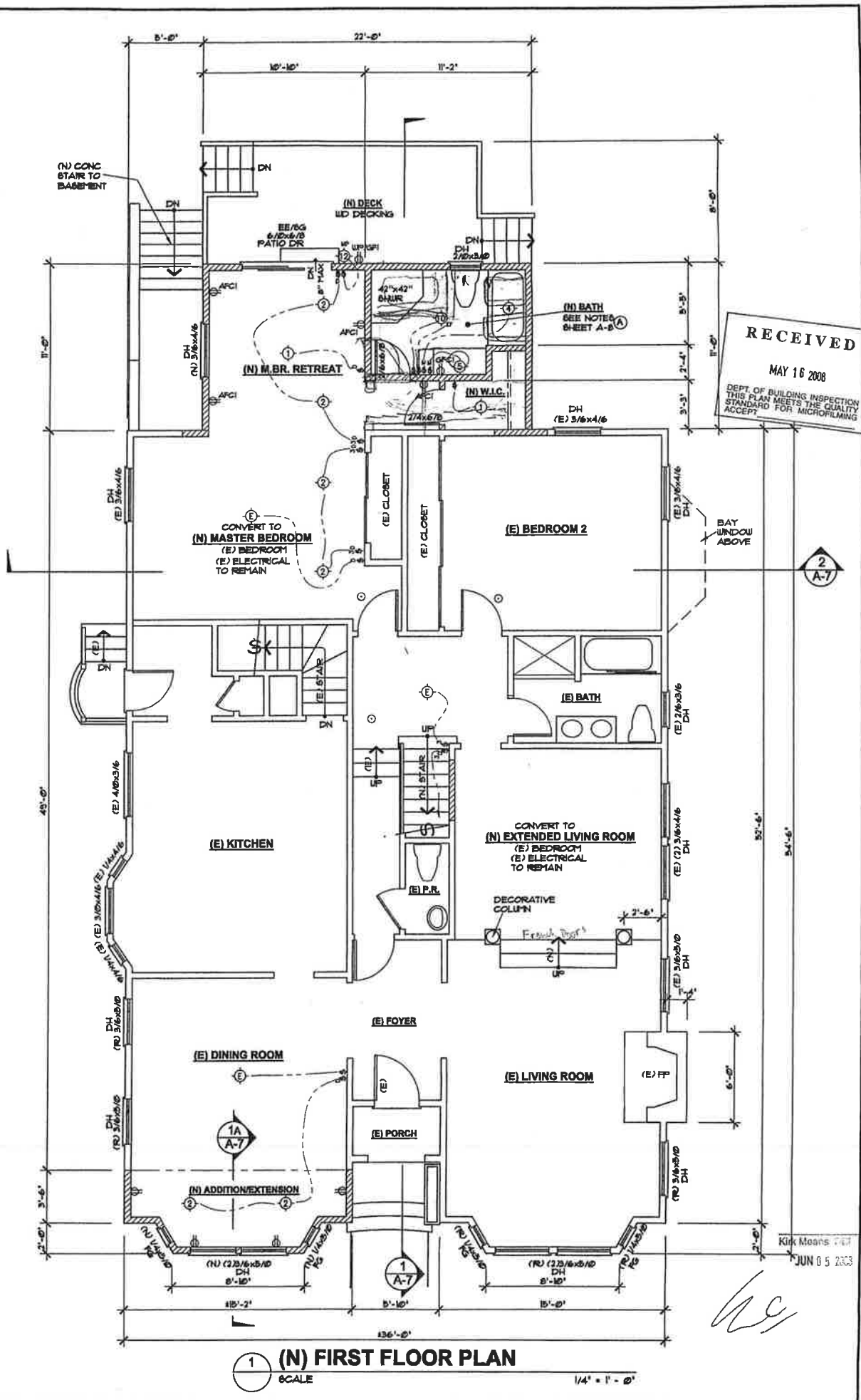
1 BASEMENT FLOOR PLAN
SCALE 1/4" = 1' - 0"

- LEGEND**
- EXISTING WALL OR CONDITION TO REMAIN
 - - - EXISTING WALL TO BE REMOVED (SEE EXISTING/DEMOLITION PLAN SHEET A-2)
 - ==== NEW STUD/WALL
 - XXXXXX (REMOVE & REPLACE) NEW STUD/WALL
 - (E) - EXISTING
 - (N) - NEW
 - (R) - 'REPLACEMENT' (FOR WINDOW UPGRADE- INSERT/SAME SIZE)
 - UNO - UNLESS OTHERWISE NOTED
 - DN - DOWN
 - 2/8x6/8 - DENOTES 2'-0" WIDE x 6'-8" HIGH
 - EE - EMERGENCY EGRESS-SEE DET. 3/A-5
 - FG - FIXED GLASS
 - SG - SAFETY GLAZING/TEMPERED GLASS
 - CAWT - CASEMENT
 - AWN - AWNING
 - BLDR - SLIDER
 - DH - DOUBLE/SINGLE HUNG
 - W - WASHER
 - D - DRYER
 - LT - LAUNDRY TUB
 - WH - WATER HEATER
 - F - FURNACE
 - WC - WATER CLOSET

- ELECTRICAL LEGEND**
- WF - WEATHERPROOF
 - GFCI - GROUND FAULT CIRCUIT INTERRUPTOR
 - AFCI - ARC FAULT CIRCUIT INTERRUPTER
 - ⊕ - DUPLEX OUTLET
 - ⊙ - SPECIAL OUTLET
 - ⊖ - DUPLEX OUTLET- 1/2 WIRE HOT
 - ⊙ - REFERENCE TO LIGHT FIXTURE
 - ⊙ - REFERENCE TO LIGHT FIXTURE MOTION SENSOR + PHOTOCONTROL
 - EF - EXHAUST FAN
 - ⊕ - LIGHT SWITCH
 - ⊕ - THREE WAY SWITCH
 - ⊕ - FOUR WAY SWITCH
 - ⊕ - SWITCH WITH DIMMER
 - ⊕ - SWITCH WITH MANUAL-ON OCCUPANCY SENSOR
 - ⊙ - SMOKE DETECTOR SEE NOTE (B) SHEET A-5

- LIGHTING FIXTURE SCHEDULE**
- Can light recessed into insulated spaces are to be I.C. rated
 All fixture, trim and tracks as selected by Owner
 All recessed fixtures in sloping ceiling shall be "aloped ceiling cans"
 Electrical placement of lighting, switches and convenience outlets are suggested and maybe changed at the direction of the Owner
 Prior to installation all electrical shall be located as per Code.

- 1 Ceiling mounted Incandescent light fixture
- 2 Recessed incandescent light fixture
- 3 Recessed "eyeball" incandescent light fixture
- 4 Recessed incandescent light fixture rated for damp location
- 5 Wall mounted incandescent light fixture
- 6 Ceiling Surface mounted fluorescent light fixture
- 7 Chandelier ceiling mounted light fixture
- 8 Recessed can fluorescent light fixture
- 9 Undercabinet fluorescent light fixture
- 10 Fluorescent fixture/Exhaust fan combination
- 11 Undercabinet fluorescent or low-voltage can light fixture
- 12 Exterior rated wall mounted incandescent light fixture
- 13 Exterior rated soffit recessed can incandescent light fixture
- 14 Specialty light fixture
- 15 Existing to remain (Field verify) rework if required



1 (N) FIRST FLOOR PLAN
SCALE 1/4" = 1' - 0"

RECEIVED
MAY 16 2008
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPT

REVISIONS	BY

HECTOR G. ESTIPONA
DESIGNER
223 BONITA AVENUE
SOUTH SAN FRANCISCO, CA 94080
TEL. # 415-988-0751 FAX # 415-988-0751

ADDITION & REMODEL
456 URBANO DRIVE
SAN FRANCISCO, CA 94127
OWNER TAD & KIM NGUYEN TEL # 650-766-7342

DATE 12-16-06
SCALE AS NOTED
DRAWN HGE
JOB
SHEET
A-4
OF SHEET

NO.	DATE	DESCRIPTION
1	04/08/08	

RECEIVED
MAY 16 2008
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPT

DESIGNER
HECTOR G. ESTIPONA
225 BONTA AVENUE
SOUTH SAN FRANCISCO, CA 94080
TEL: 650.887.0001 FAX: 650.887.0002

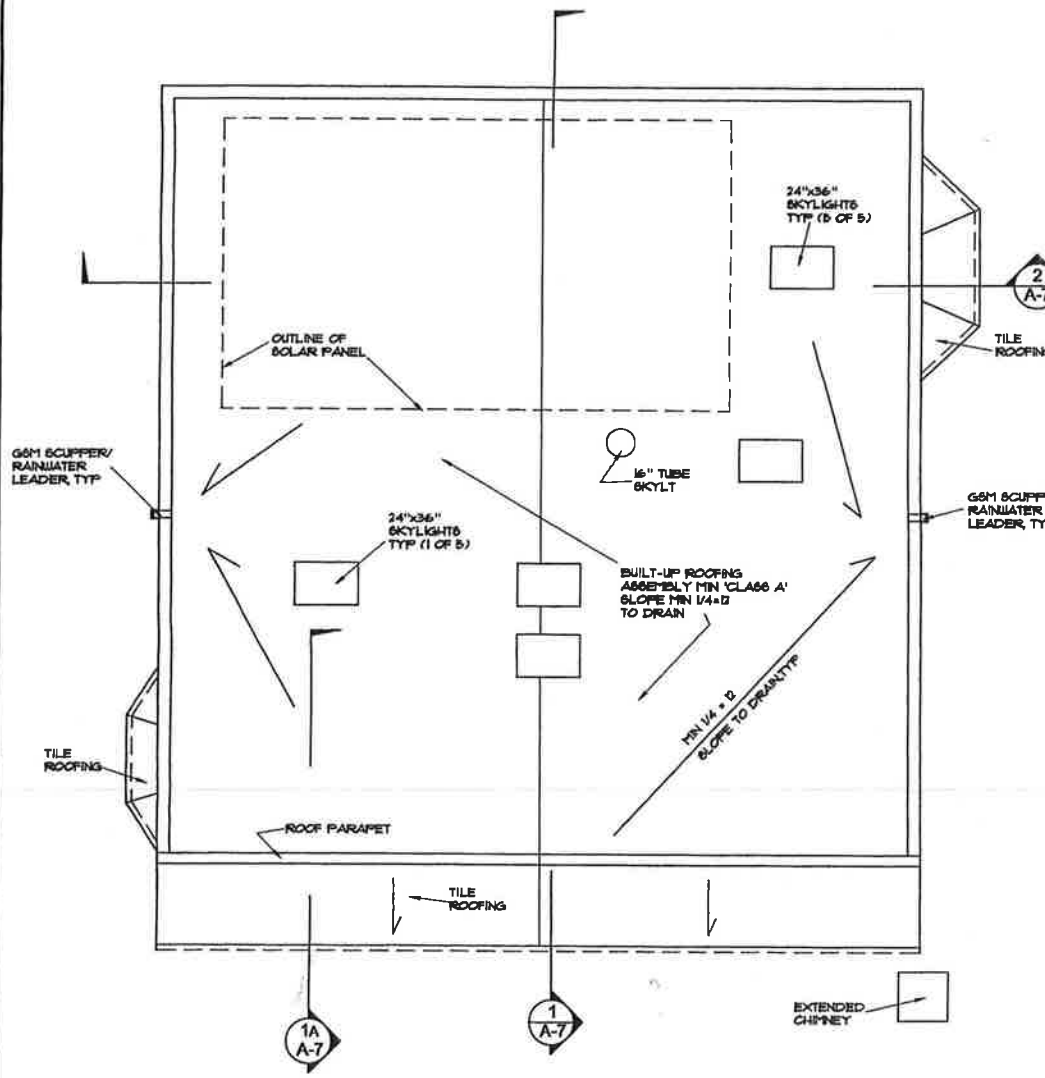
ADDITION & REMODEL
456 URBANO DRIVE
SAN FRANCISCO, CA 94127

DATE 02-16-08
SCALE AS NOTED
DRAWN HGE
JOB
SHEET
A-5
OF 8 SHEET

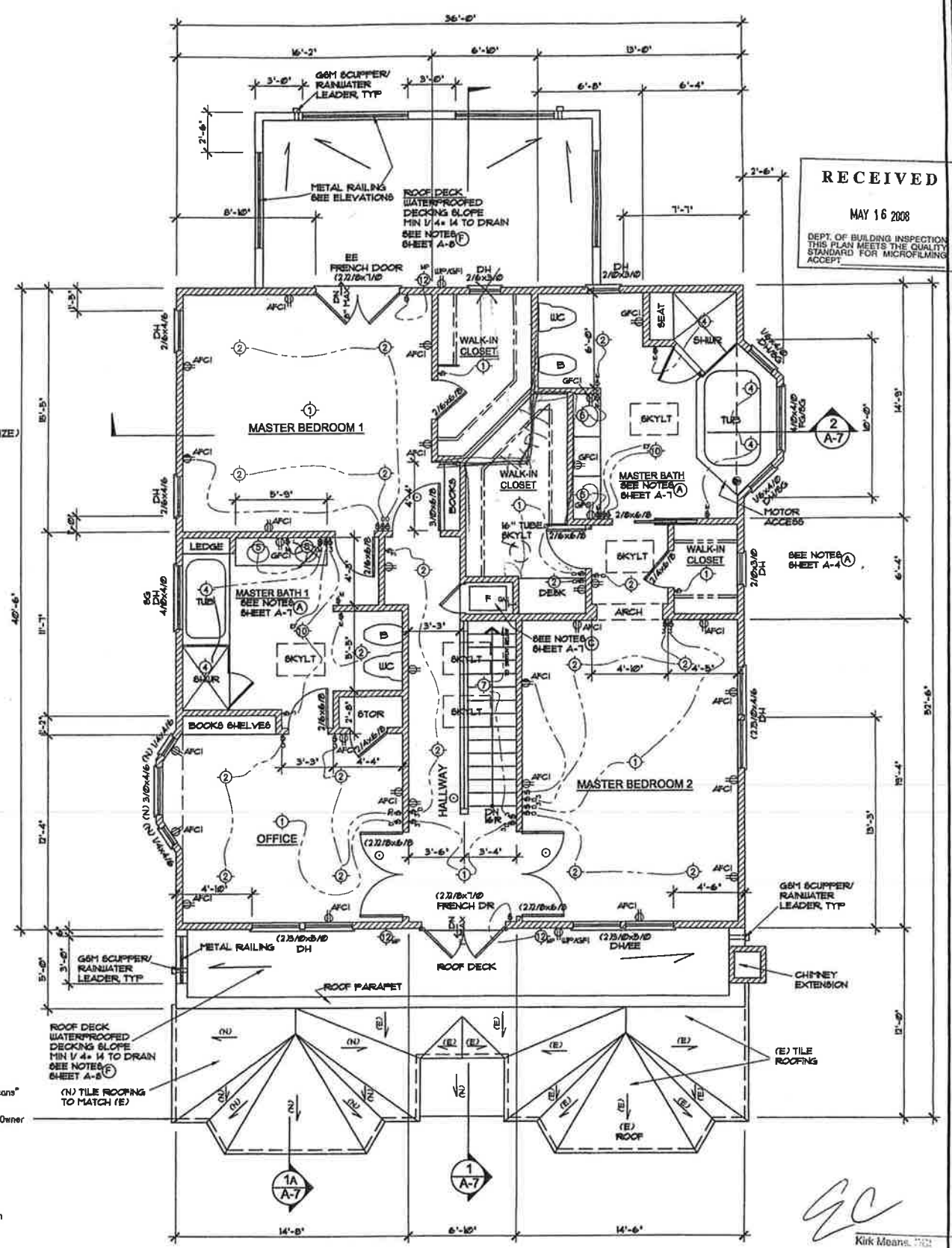
- LEGEND**
- EXISTING WALL OR CONDITION TO REMAIN
 - - - EXISTING WALL TO BE REMOVED (SEE EXISTING/DEMOLITION PLAN)
 - ▨ NEW STUD/WALL
 - ▨ (REMOVE 4 REPLACE) NEW STUD/WALL
 - (E) - EXISTING
 - (N) - NEW
 - (R) - 'REPLACEMENT' (FOR WINDOW UPGRADE- INSERT/SAME SIZE)
 - UNO - UNLESS OTHERWISE NOTED
 - DN - DOWN
 - 2/8x6/B - DENOTES 2'-0" WIDE x6'-8" HIGH
 - EE - EMERGENCY EGRESS-SEE DET. 3/A-B
 - FG - FIXED GLASS
 - GG - SAFETY GLAZING/TEMPERED GLASS
 - CBMT - CABINET
 - AINN - AINING
 - BLDR - SLIDER
 - DH - DOUBLE/SINGLE HUNG
 - W - WASHER
 - D - DRYER
 - LT - LAUNDRY TUB
 - WH - WATER HEATER
 - F - FURNACE
 - UC - WATER CLOSET
 - B - BIDET

- ELECTRICAL LEGEND**
- UP - WEATHERPROOF
 - GFCI - GROUND FAULT CIRCUIT INTERCEPTOR
 - APCI - ARC FAULT CIRCUIT INTERRUPTER
 - ⊕ - DUPLEX OUTLET
 - ⊕ - SPECIAL OUTLET
 - ⊕ - DUPLEX OUTLET - 1/2 WIRED HOT
 - ⊕ - REFERENCE TO LIGHT FIXTURE
 - ⊕ - REFERENCE TO LIGHT FIXTURE MOTION SENSOR + PHOTOCONTROL
 - EF - EXHAUST FAN
 - ⊕ - LIGHT SWITCH
 - ⊕ - THREE WAY SWITCH
 - ⊕ - FOUR WAY SWITCH
 - ⊕ - SWITCH WITH DIMMER
 - ⊕ - SWITCH WITH MANUAL-ON OCCUPANCY SENSOR
 - ⊕ - SMOKE DETECTOR SEE NOTE (E) SHEET A-B

- LIGHTING FIXTURE SCHEDULE**
- Can light recessed into insulated spaces are to be I.C. rated
All fixtures, trim and tracks as selected by Owner
All recessed fixtures in sloping ceiling shall be "sloped ceiling cans"
Electrical placement of lighting, switches and convenience outlets are suggested and may be changed at the direction of the Owner
Prior to installation all electrical shall be located as per Code.
- 1 Ceiling mounted incandescent light fixture
 - 2 Recessed incandescent light fixture
 - 3 Recessed "eyeball" incandescent light fixture
 - 4 Recessed incandescent light fixture rated for damp location
 - 5 Wall mounted incandescent light fixture
 - 6 Ceiling Surface mounted fluorescent light fixture
 - 7 Chandelier ceiling mounted light fixture
 - 8 Recessed can fluorescent light fixture
 - 9 Undercabinet fluorescent light fixture
 - 10 Fluorescent fixture/Exhaust fan combination
 - 11 Undercabinet fluorescent or low-voltage can light fixture
 - 12 Exterior rated wall mounted incandescent light fixture
 - 13 Exterior rated soffit recessed can incandescent light fixture
 - 14 Specialty light fixture
 - (E) Existing to remain (Field verify) rework if required



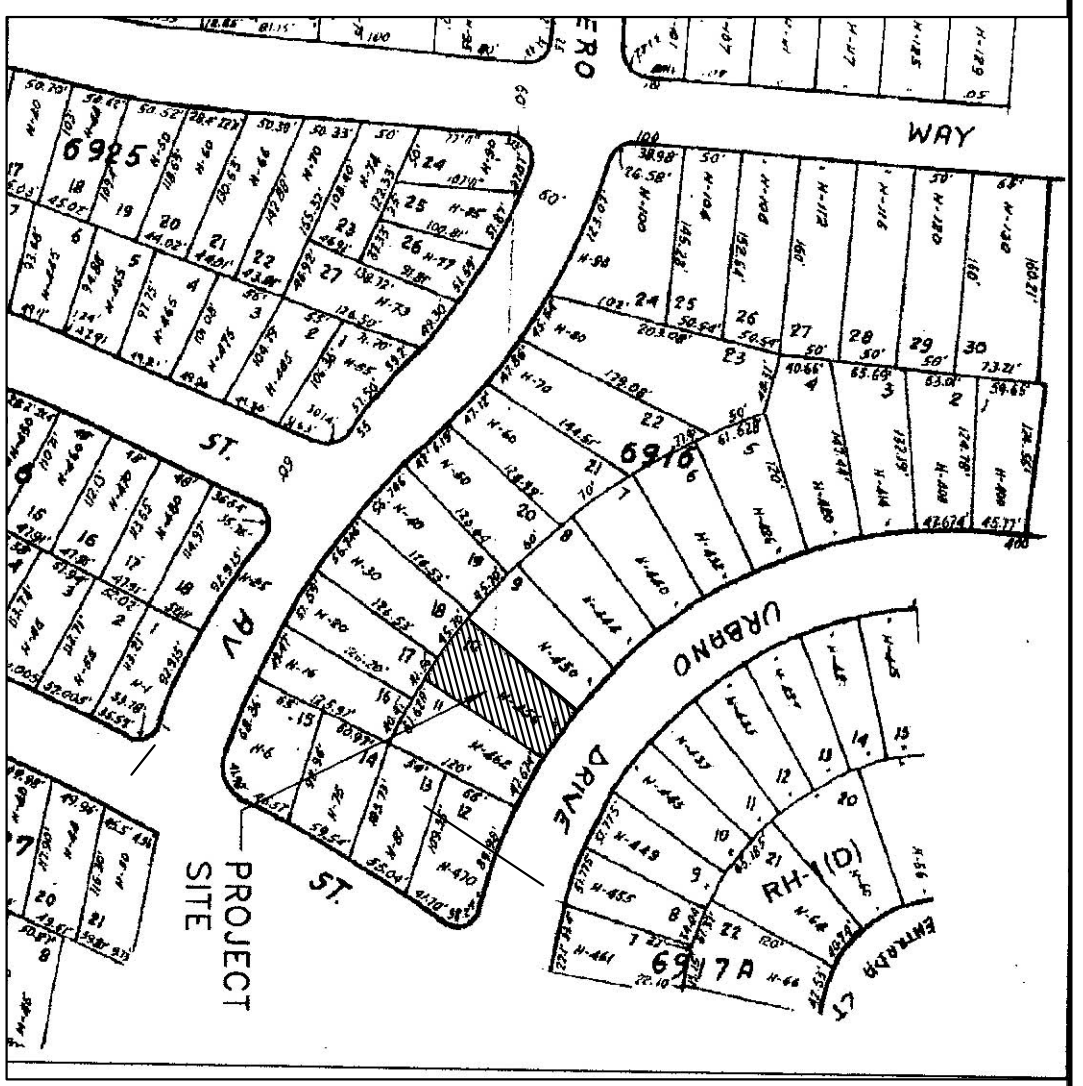
2 (N) ROOF PLAN
SCALE 1/4" = 1' - 0"



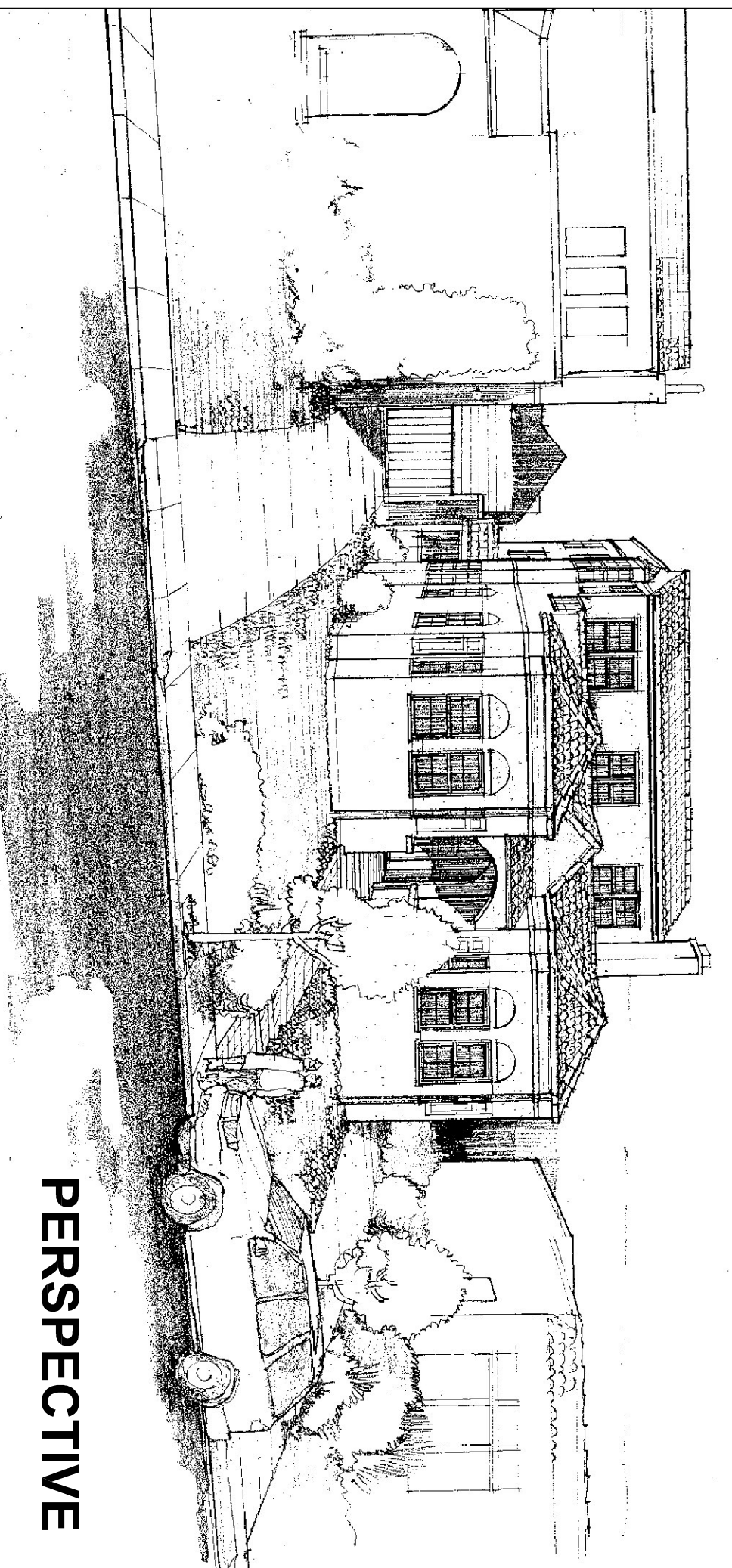
1 (N) SECOND FLOOR PLAN
SCALE 1/4" = 1' - 0"

RECEIVED
MAY 16 2008
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPT

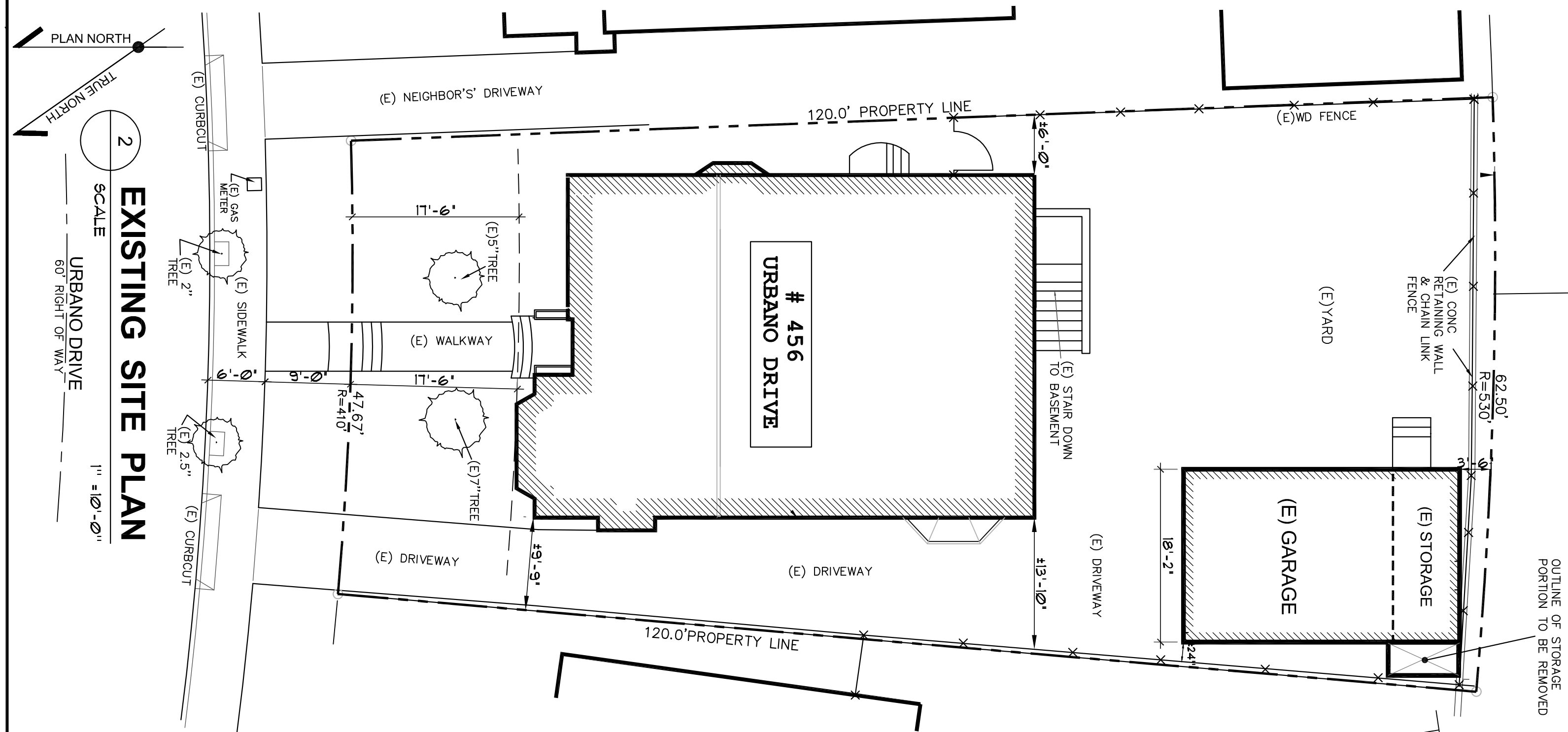
Kirk Moans, P.E.
JUN 05 2008



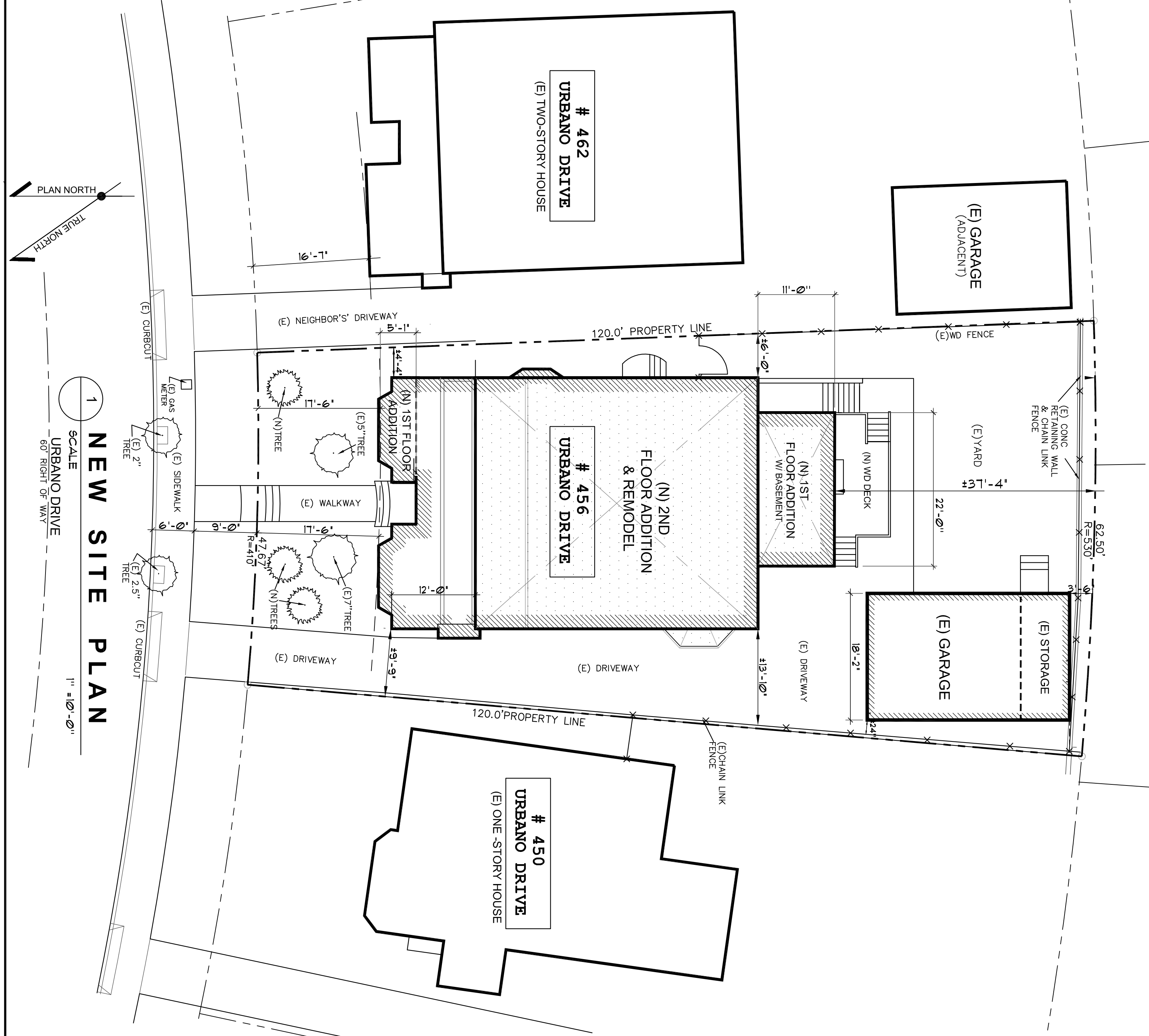
3 LOCATION MAP
NO SCALE



PERSPECTIVE



2 EXISTING SITE PLAN
SCALE 1" = 10'-0"
URBANO DRIVE
60' RIGHT OF WAY



1 NEW SITE PLAN
SCALE 1" = 10'-0"
URBANO DRIVE
60' RIGHT OF WAY

DRAWING INDEX

SITE PLAN, LOCATION MAP	A-1
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GENERAL NOTES & DETAILS	A-8
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SW STRONGWALL DETAILS	SW
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BUILDING & SITE DATA

LOT AREA	6,662 S.F.
EXISTING DWELLING	
FIRST FLOOR (MAIN LEVEL)	1,881 S.F.
BASEMENT	856 S.F.
TOTAL	2,739 S.F.
EXISTING ACCESSORY STRUCTURE/GARAGE	
GARAGE	400 S.F.
STORAGE (TO BE LEGALIZED)	152 S.F.
(25 S.F. TO BE REMOVED)	
TOTAL	552 S.F.
ADDITION	
FIRST FLOOR @ THE BACK	242 S.F.
FIRST FLOOR (DINING EXTENSION/FRONT)	73 S.F.
SECOND FLOOR	1,482 S.F.
BASEMENT FLOOR	
FAMILY ROOM EXTENSION	242 S.F.
BEDROOM CLOSET EXTENSION	41 S.F.
TOTAL	2,080 S.F.

GENERAL NOTES

- ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT CITY AND COUNTY OF SAN FRANCISCO CODES AND OTHER ORDINANCES. SAN FRANCISCO HOUSING CODE (SFHC 01) SAN FRANCISCO BUILDING CODE (SFGC 01) SAN FRANCISCO PLUMBING CODE (SFGC 01) SAN FRANCISCO ELECTRICAL CODE (SFGC 01) SAN FRANCISCO MECHANICAL CODE (SFGC 01)
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITION ON THE JOB SITE AND EXISTING CONDITION.
- DO NOT SCALE DRAWINGS. USE WRITTEN IN NO CASE SHALL PLANS BE SCALED.

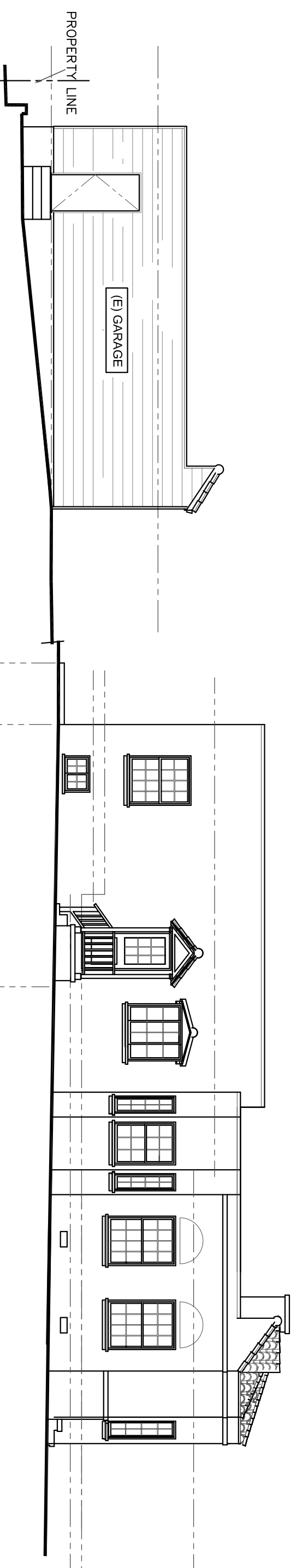
HECTOR G. ESTIPONA
DESIGNER
223 BONITA AVENUE
SOUTH SAN FRANCISCO, CA 94080
TEL # 415-305-8731 FAX # 650-871-6345

ADDITION & REMODEL
456 URBANO DRIVE
SAN FRANCISCO, CA 94127

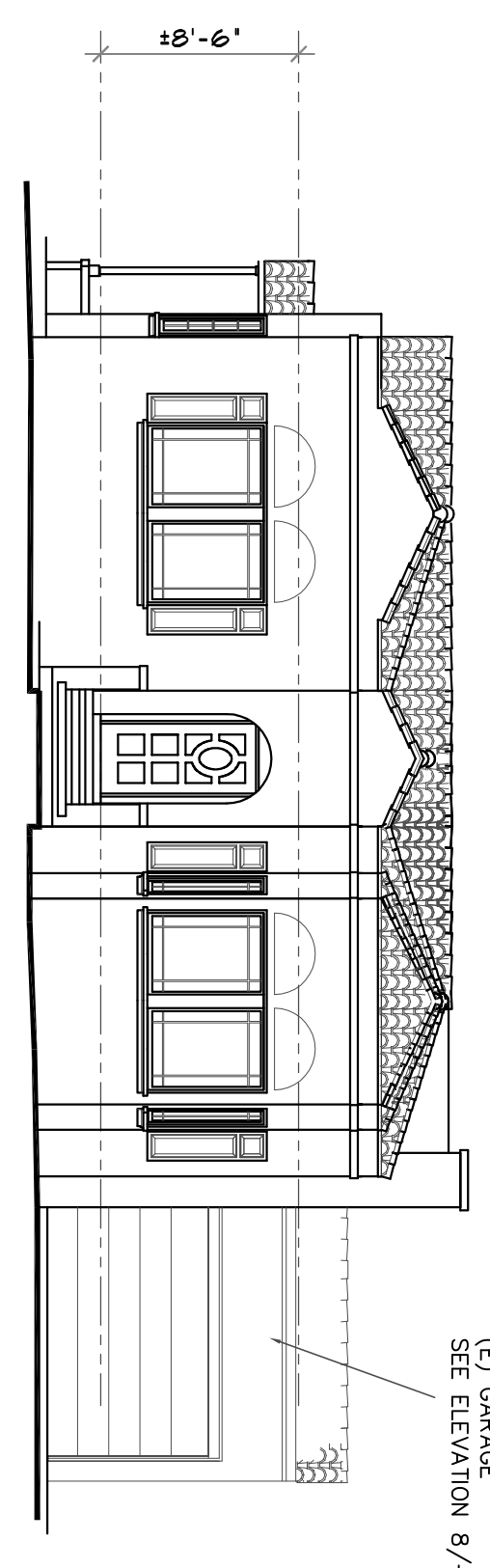
OWNER TAD & KIM NGUYEN TEL # 650-766-7342

DATE 12-18-06
SCALE AS NOTED
DRAWN HAE
JOB SHEET
SHEET
A-1
OF SHEET

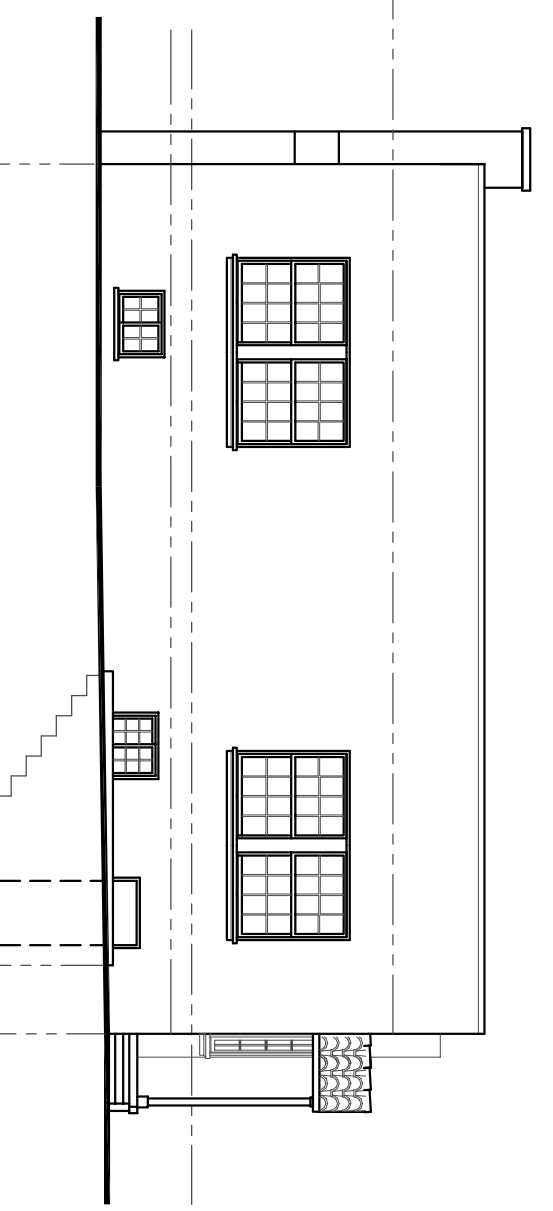
REVISIONS
BY



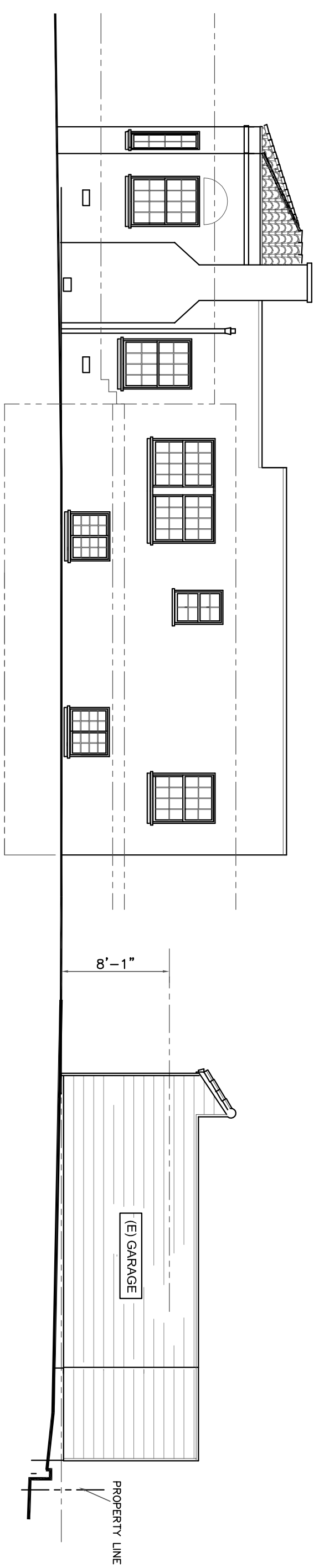
6 (E) LEFT SIDE ELEVATION
SCALE 1/8" = 1' - 0"



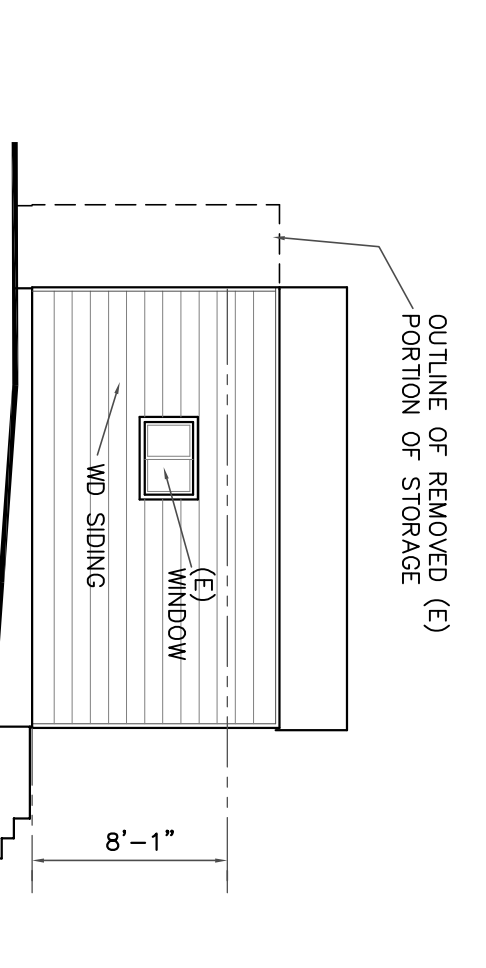
4 (E) FRONT ELEVATION
SCALE 1/8" = 1' - 0"



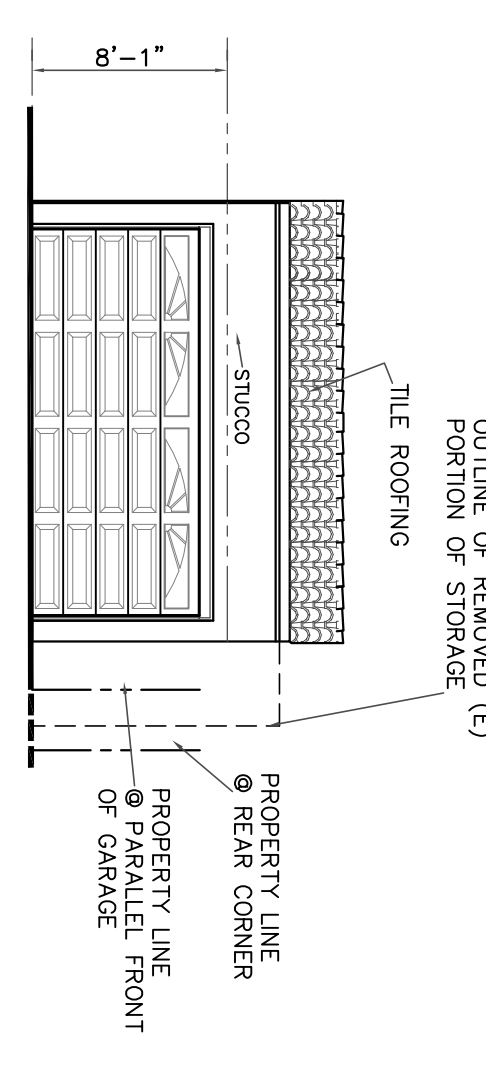
5 (E) REAR ELEVATION
SCALE 1/8" = 1' - 0"



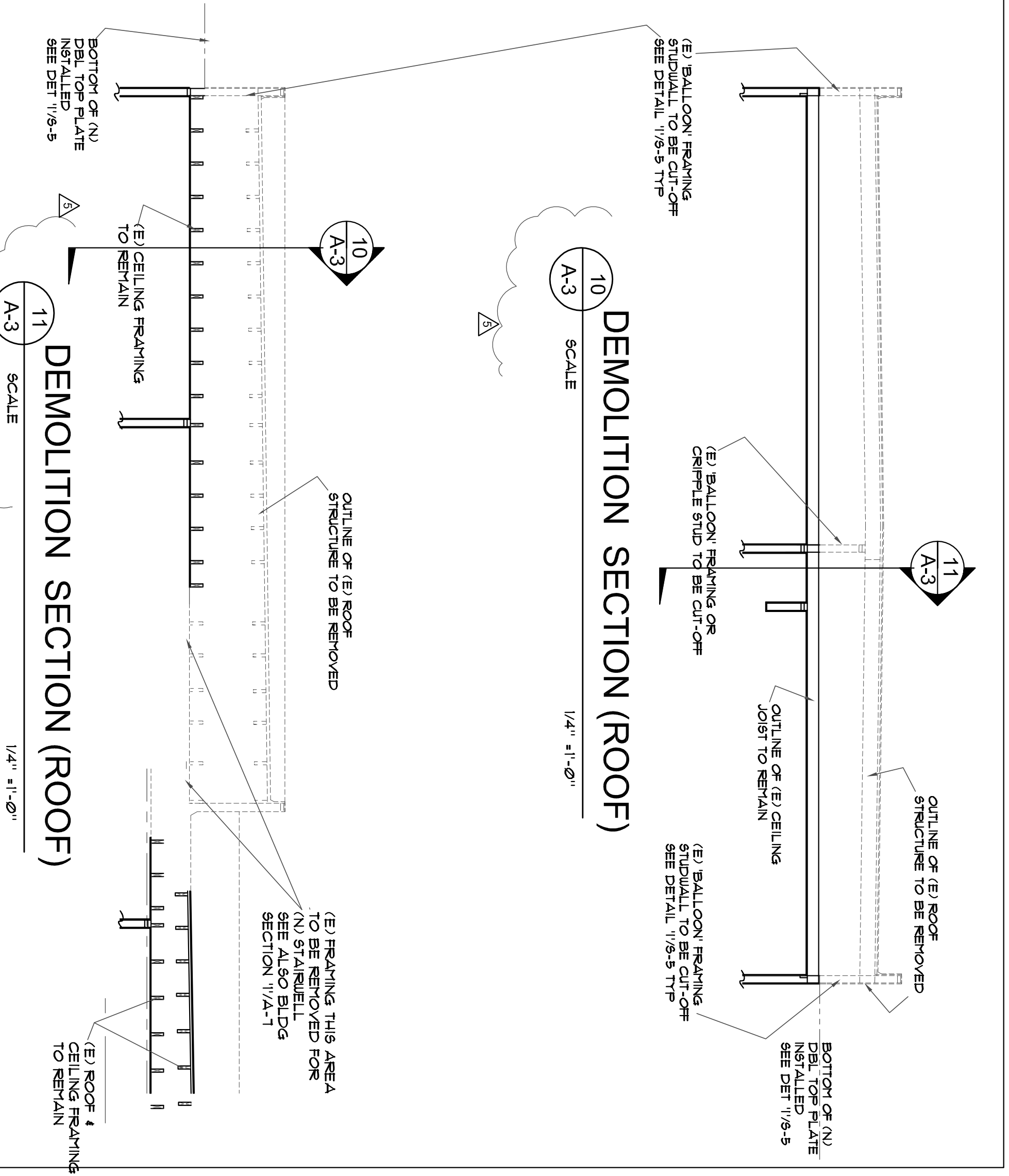
7 (E) RIGHT SIDE ELEVATION
SCALE 1/8" = 1' - 0"



9 GARAGE (E) REAR ELEVATION
SCALE 1/8" = 1' - 0"

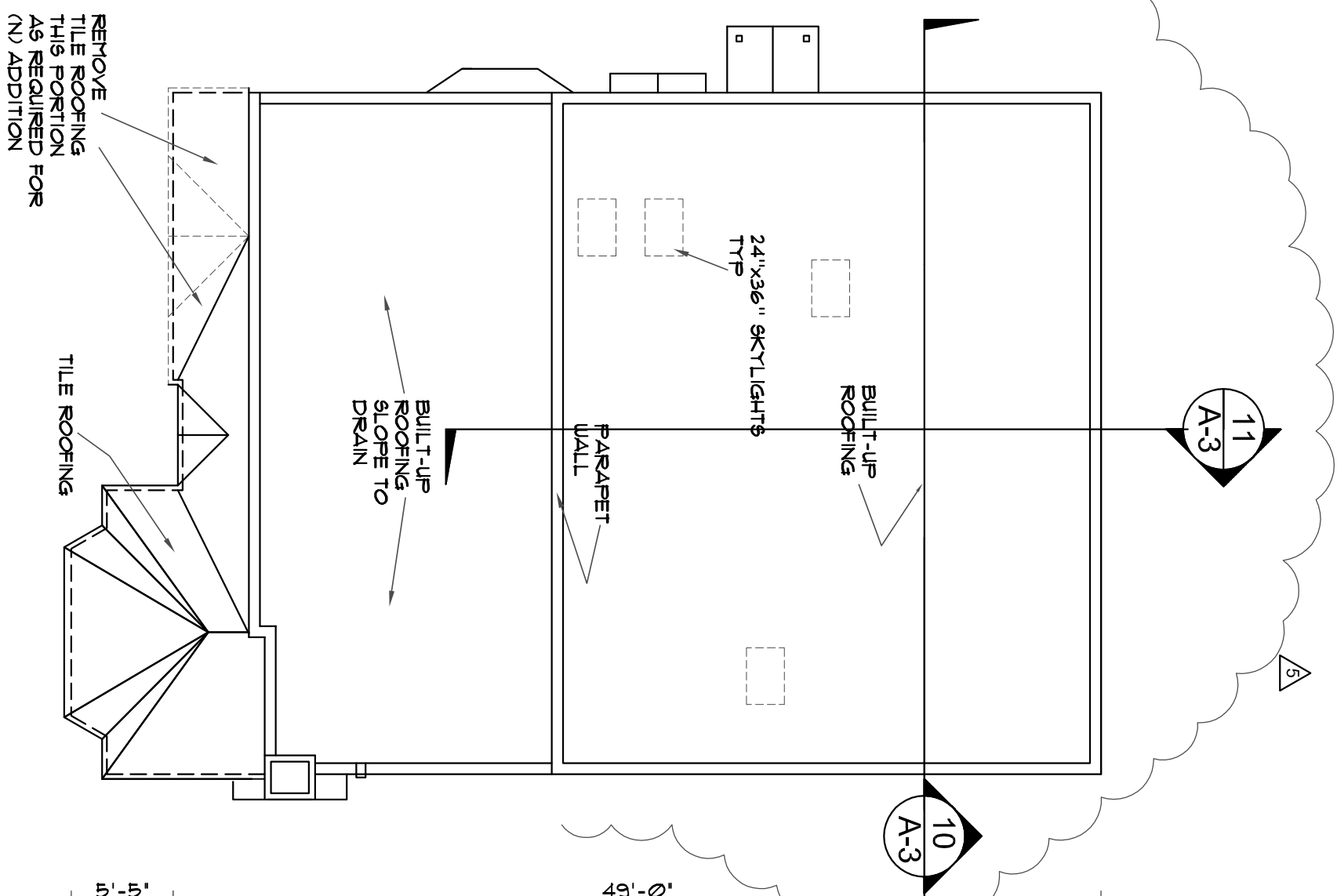


8 GARAGE (E) FRONT ELEVATION
SCALE 1/8" = 1' - 0"

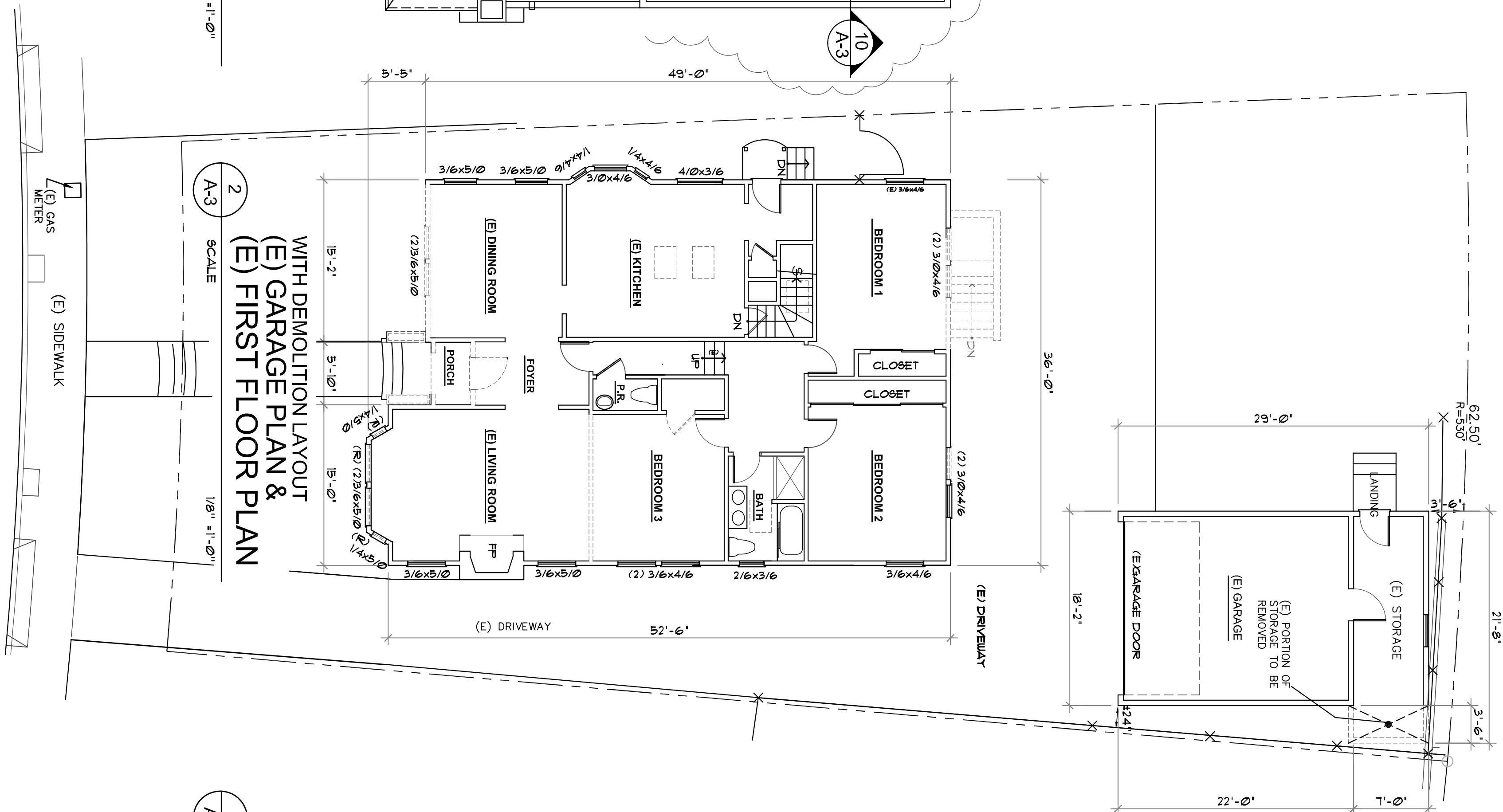


10 DEMOLITION SECTION (ROOF)
SCALE 1/4" = 1' - 0"

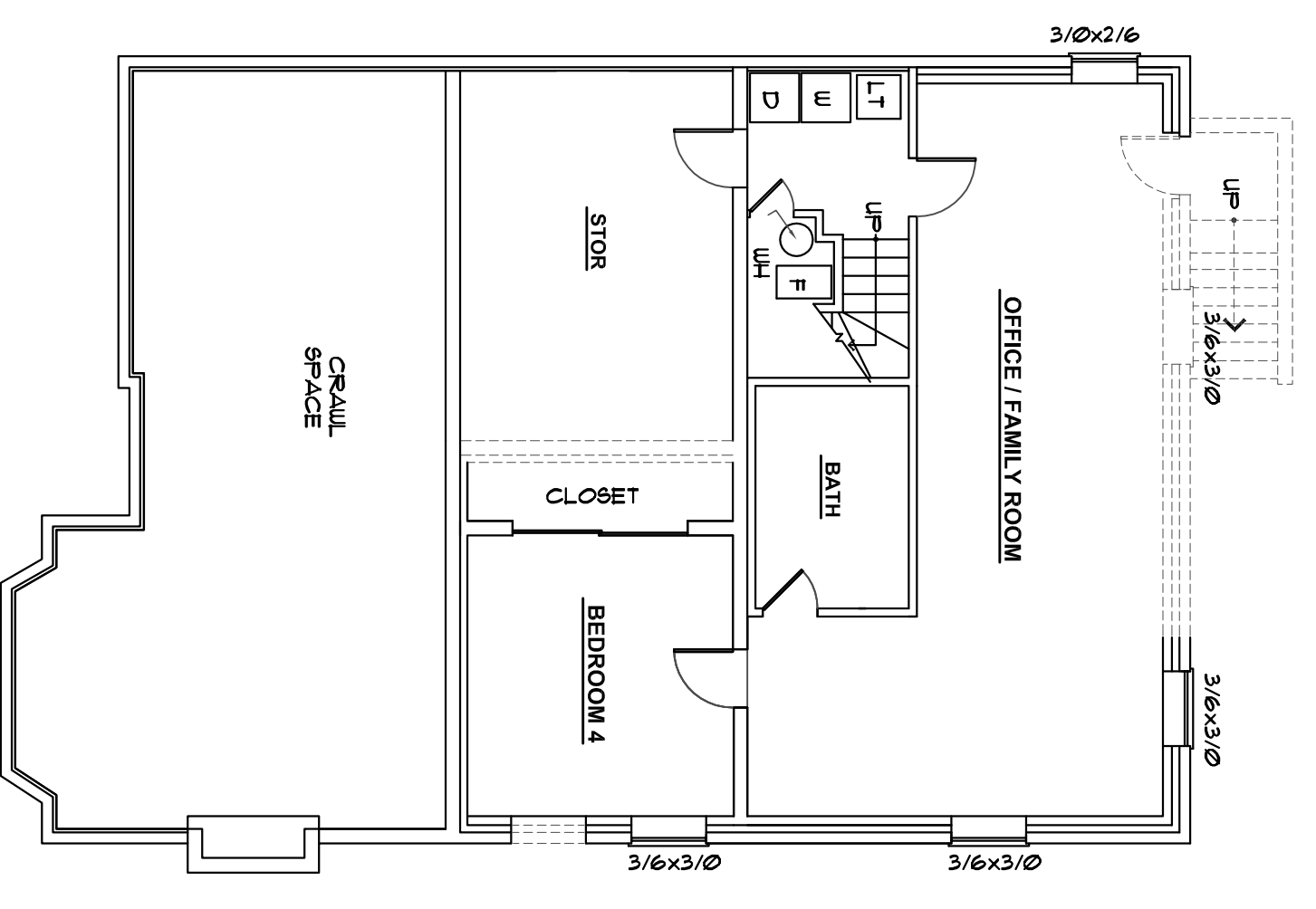
11 DEMOLITION SECTION (ROOF)
SCALE 1/4" = 1' - 0"



3 (E) ROOF PLAN
SCALE 1/8" = 1' - 0"



2 WITH DEMOLITION LAYOUT (E) GARAGE PLAN & (E) FIRST FLOOR PLAN
SCALE 1/8" = 1' - 0"



1 WITH DEMOLITION LAYOUT (E) BASEMENT FLOOR PLAN
SCALE 1/8" = 1' - 0"

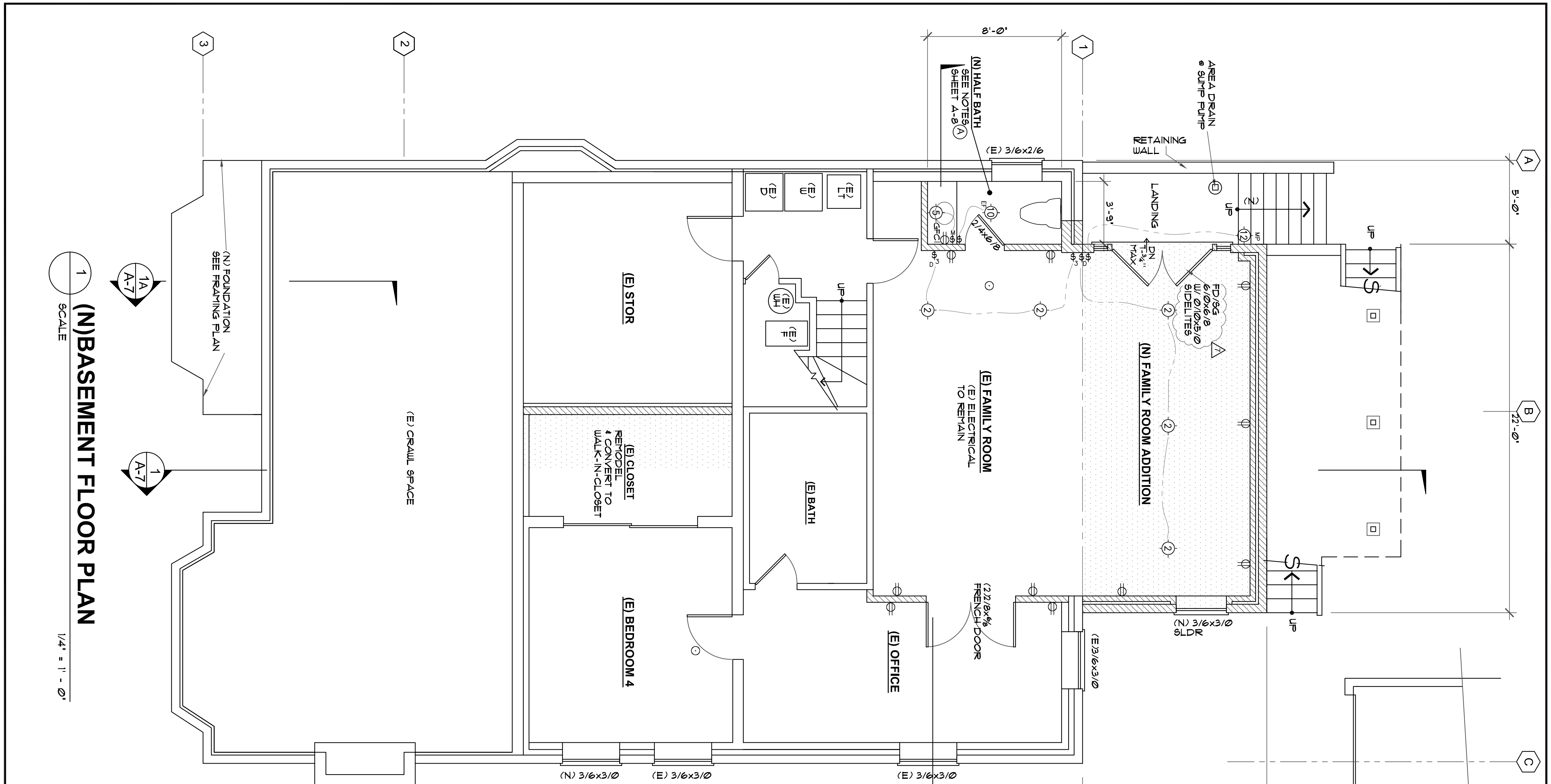
DEMOLITION LEGEND
 --- EXISTING WALL OR CONDITION TO REMAIN
 --- EXISTING WALL TO BE REMOVED (SEE EXISTING/DEMOLITION PLAN)

REVISIONS	BY
04/09/08	
02/07/08	
HE	

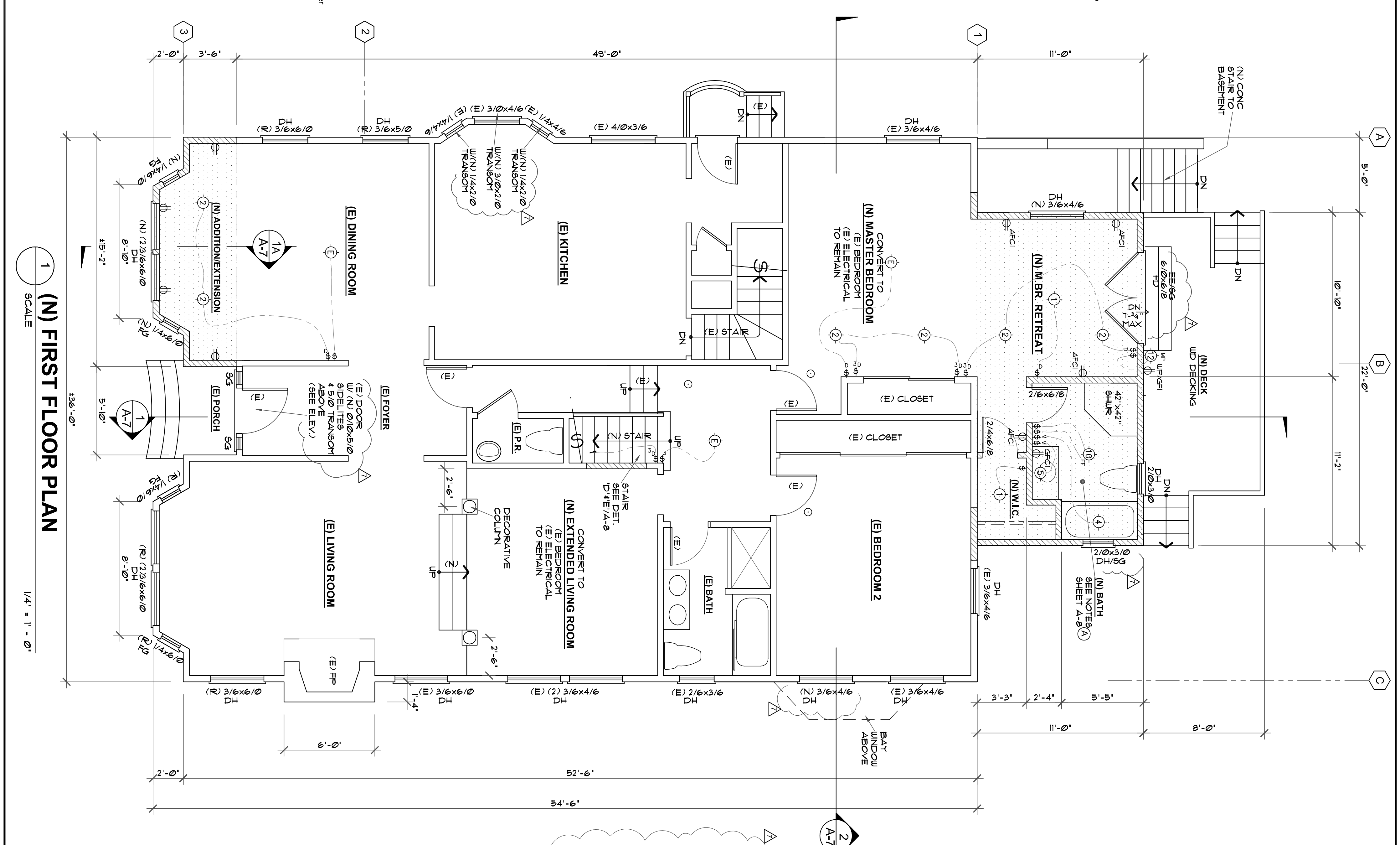
HECTOR G. ESTIPONA
 DESIGNER
 223 BONITA AVENUE
 SOUTH SAN FRANCISCO, CA 94080
 TEL # 415-305-8731 FAX # 650-871-6345

ADDITION & REMODEL
456 URBANO DRIVE
 SAN FRANCISCO, CA 94127
 OWNER TAD & KIM NGUYEN TEL # 650-766-7342

DATE 12-18-06
 SCALE AS NOTED
 DRAWN HGE
 SHEET
A-3
 OF SHEET



- LEGEND**
- EXISTING WALL OR CONDITION TO REMAIN
 - - - EXISTING WALL TO BE REMOVED (SEE EXISTING/DEMOLITION PLAN SHEET A-2)
 - ▨ NEW STUDWALL
 - ▨ REMOVE + REPLACE NEW STUDWALL
 - ▨ NEW ADDITION AREA
 - (E) — EXISTING
 - (N) — NEW
 - (R) — REPLACEMENT (FOR WINDOW UPGRADE - INSERT SAME SIZE)
 - UNO — UNLESS OTHERWISE NOTED
 - DN — DOWN
 - 2 1/8x6/8 — DENOTES 2'-0" WIDE X 6'-8" HIGH
 - EE — EMERGENCY EGRESS - SEE DET. 3/A-8
 - FG — FIXED GLASS
 - SG — SAFETY GLAZING/TEMPERED GLASS
 - CSHT — CABINET
 - AIN — AINING
 - GLDR — GLIDER
 - DH — DOUBLE SINGLE HUNG
 - W — WASHER
 - D — DRYER
 - LT — LAUNDRY TUB
 - UH — WATER HEATER
 - F — FURNACE
 - WC — WATER CLOSET
- ELECTRICAL LEGEND**
- UP — WEATHERPROOF
 - GFIC — GROUND FAULT CIRCUIT INTERRUPTOR
 - AFCI — ARC FAULT CIRCUIT INTERRUPTER
 - DO — DUPLEX OUTLET
 - SO — SPECIAL OUTLET
 - DU — DUPLEX OUTLET - 1/2 WIRED HOT
 - REF — REFERENCE TO LIGHT FIXTURE
 - MO — MOTION SENSOR • PHOTOCONTROL
 - EF — EXHAUST FAN
 - LS — LIGHT SWITCH
 - 3S — THREE WAY SWITCH
 - 4S — FOUR WAY SWITCH
 - SW — SWITCH WITH DIMMER
 - MO — MANUAL-ON OCCUPANCY SENSOR
 - SD — SMOKE DETECTOR
 - SEE NOTE (B) SHEET A-8
- LIGHTING FIXTURE SCHEDULE**
- Can light recessed into insulated spaces are to be I.C. rated
 All fixture, trim and trims as selected by Owner
 All recessed fixtures in sloping ceiling shall be "sloped ceiling cove"
 Electrical placement of lighting switches and convenience outlets are suggested and may be changed at the direction of the Owner
 Prior to installation all electrical shall be located as per Code.
- 1 — Ceiling mounted incandescent light fixture
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 - 7 — Chandelier ceiling mounted light fixture
 - 8 — Recessed can fluorescent light fixture
 - 9 — Undercabinet fluorescent light fixture
 - 10 — Fluorescent fixture/exhaust fan combination
 - 11 — Undercabinet fluorescent or low-voltage can light fixture
 - 12 — Exterior rated wall mounted incandescent light fixture
 - 13 — Exterior rated soft recessed can incandescent light fixture
 - 14 — Specialty light fixture
 - 15 — Existing to remain (Field verify)
 - 16 — Rework if required



AS - BUILT REVISIONS

ADDITION & REMODEL

456 URBANO DRIVE
 SAN FRANCISCO, CA 94127

OWNER TAD & KIM NGUYEN TEL # 650-766-7342

HECTOR G. ESTIPONA
 DESIGNER
 223 BONITA AVENUE
 SOUTH SAN FRANCISCO, CA 94080
 TEL # 415-305-8731 FAX # 650-871-6345

NO.	DATE	DESCRIPTION
1	04/08/08	AS-BUILT

BY: _____

HE

DATE: 12-18-06

SCALE: AS NOTED

DRAWN: HGE

JOB: _____

SHEET: _____

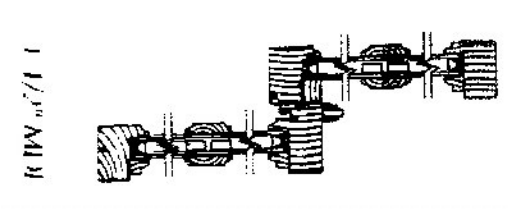
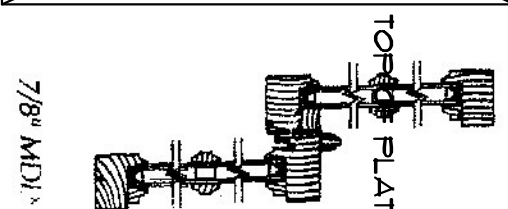
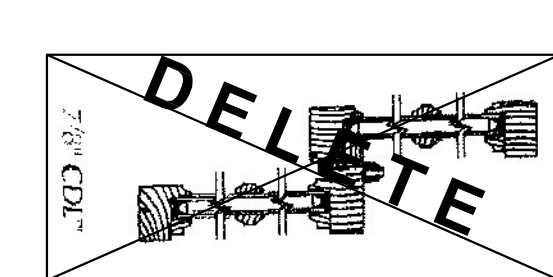
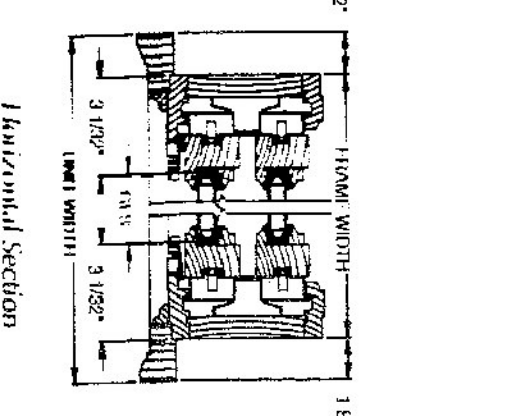
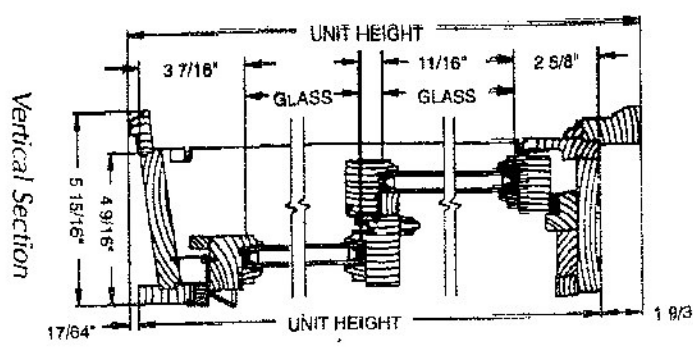
OF: _____

A-4

Double-Hung Window Details

Wood Double-Hung

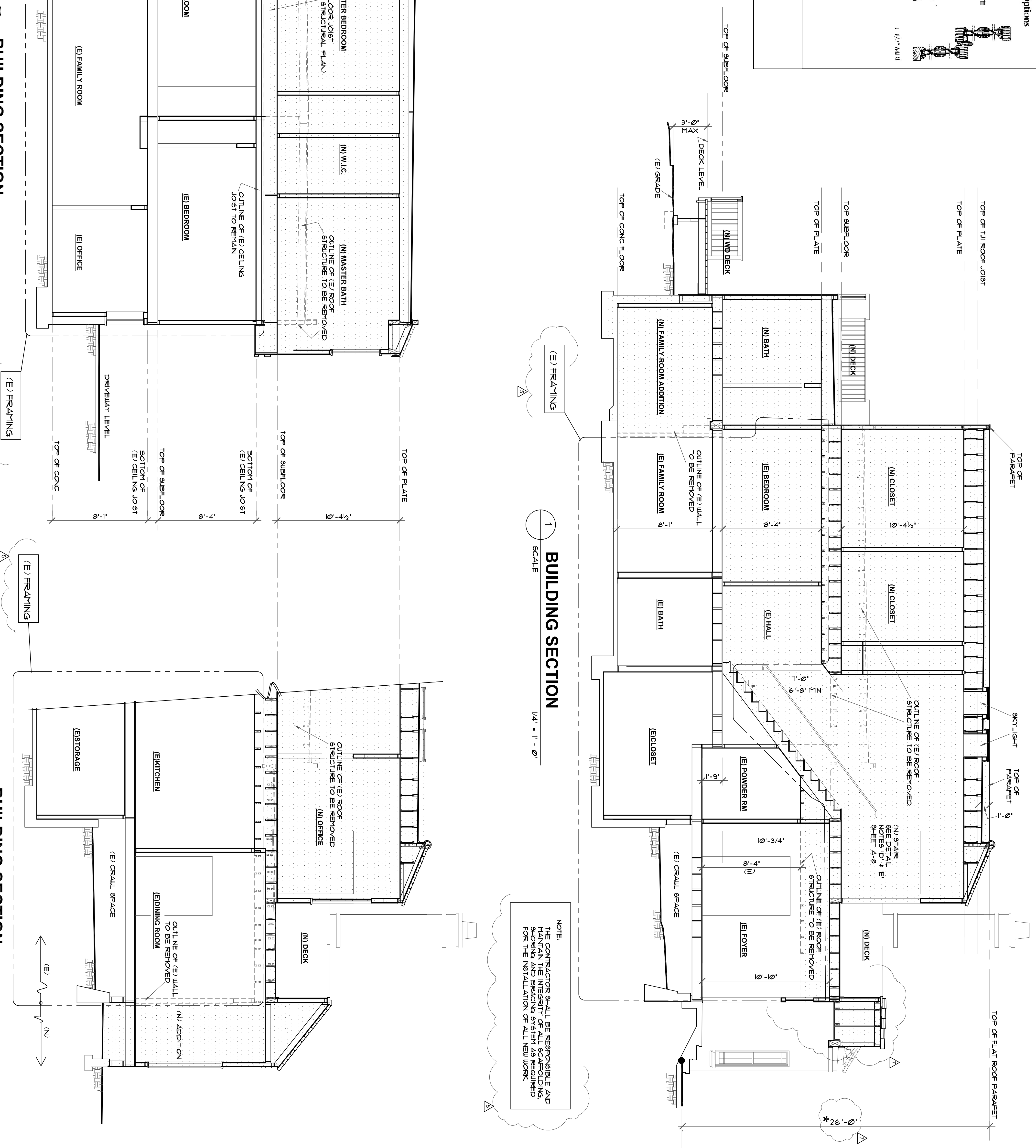
Wood Double-Hung



3 WINDOW DETAILS
NO SCALE

- LEGEND
- NEW ADDITION AREA
 - (E) — EXISTING
 - (N) — NEW

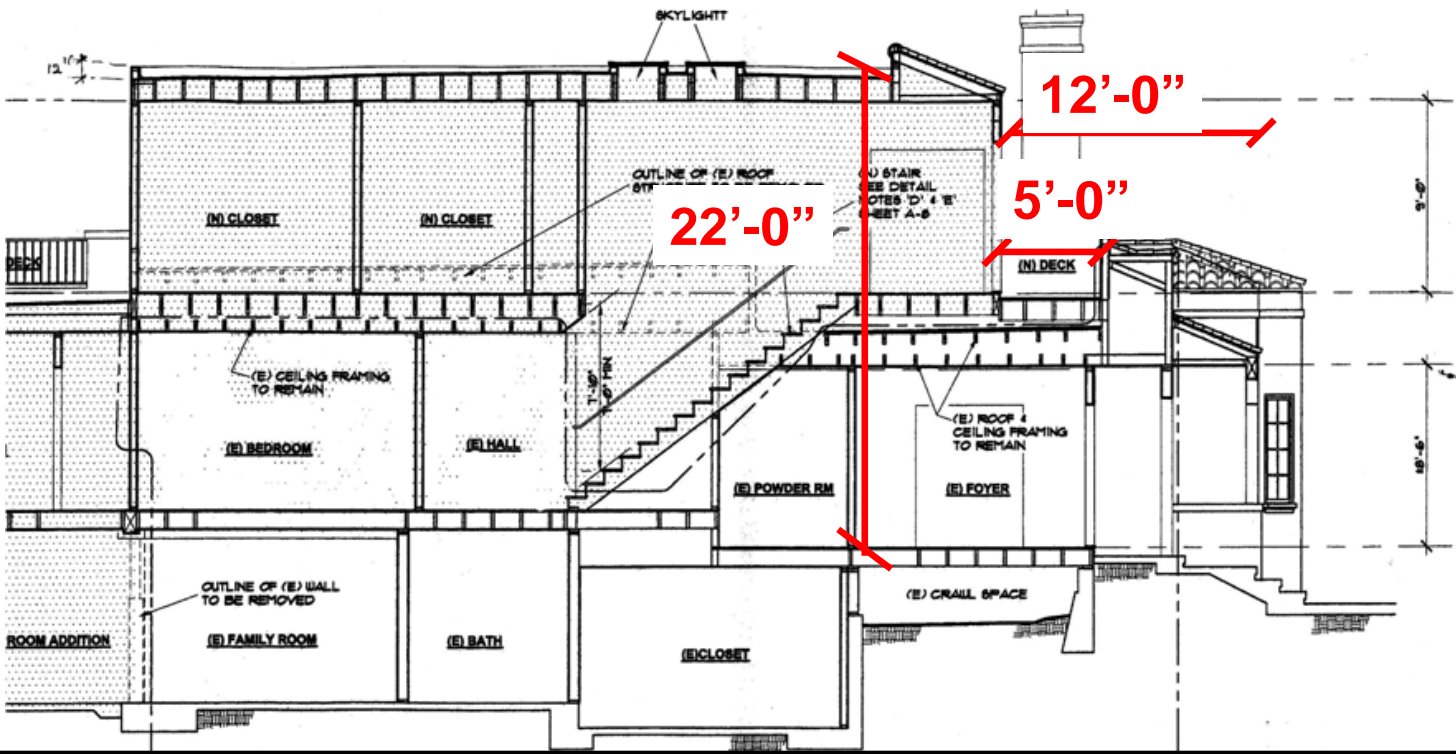
1 BUILDING SECTION
1/4" = 1' - 0"



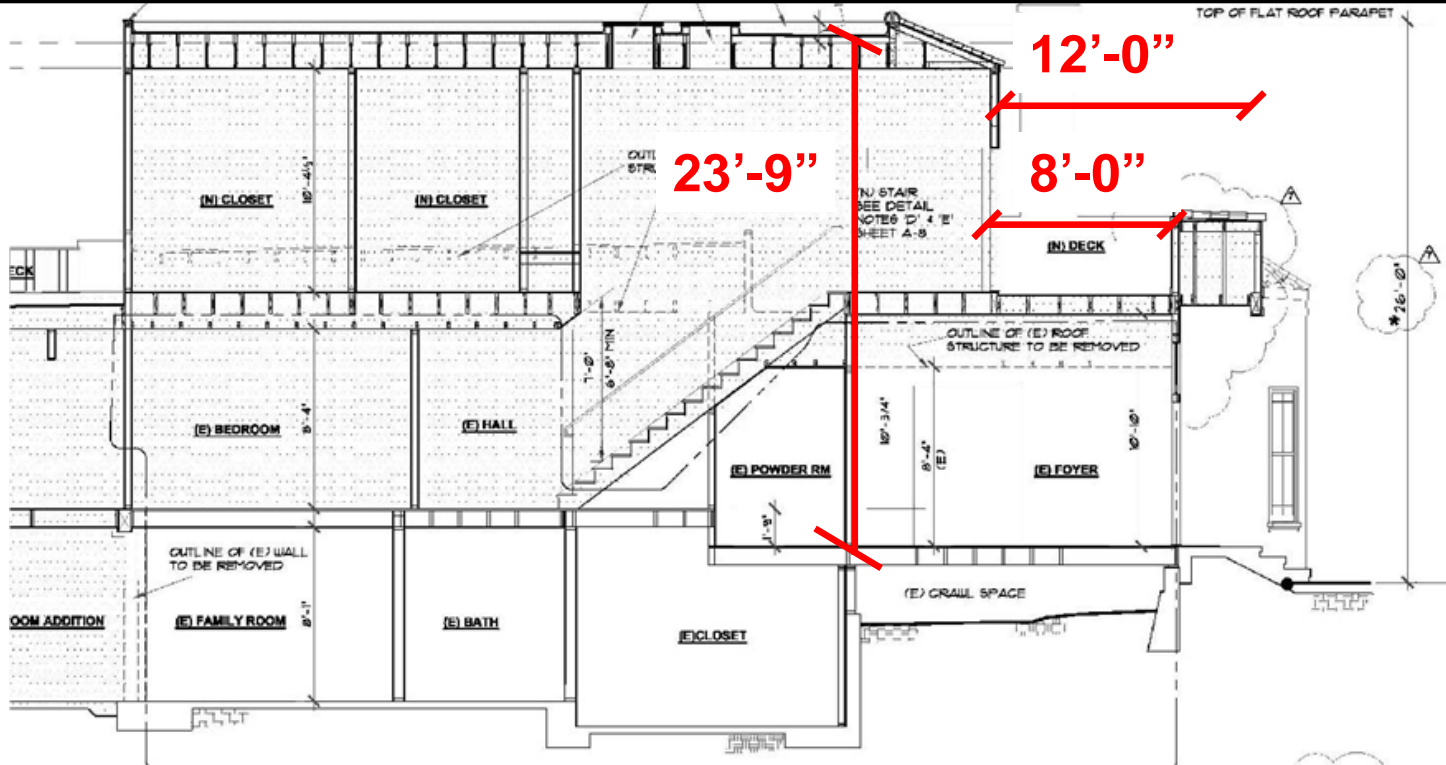
NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE AND MAINTAIN THE INTEGRITY OF ALL SCAFFOLDING, SHOWING STIFFENERS AND BRACING SYSTEMS REQUIRED FOR THE INSTALLATION OF ALL NEW WORK.

2 BUILDING SECTION
1/4" = 1' - 0"

1A BUILDING SECTION
1/4" = 1' - 0"



PREVIOUSLY APPROVED
BPA 2006.05.09.1110



PROPOSED
BPA 2010.07.26.7410

