



# SAN FRANCISCO PLANNING DEPARTMENT

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## Memo to the Planning Commission

HEARING DATE: MARCH 3, 2011  
Continued from the January 27, 2011 Hearing

*Date:* February 24, 2011  
*Case No.:* **2009.0175CV**  
*Project Address:* **5495-5499 California Street/ 214-216 – 17<sup>th</sup> Avenue**  
*Zoning:* NC-1 (Neighborhood Commercial, Cluster)  
40-X Height and Bulk District  
*Block/Lot:* 1417/031  
*Project Sponsor:* Tony Kim  
100 Clement Street  
San Francisco, CA 94118  
*Staff Contact:* Aaron Starr – (415) 558-6362  
[aaron.starr@sfgov.org](mailto:aaron.starr@sfgov.org)  
*Recommendation:* Approval with Conditions

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### BACKGROUND

This item was originally heard by the Planning Commission on January 27, 2011. The Planning Commission continued the item to March 3, 2011 directing that the project sponsor continue to refine the proposed design to make the vertical addition more complementary to the existing historic commercial building and the proposed new construction more compatible with the residential development on 17<sup>th</sup> Avenue.

### CURRENT PROPOSAL

The program of the proposal has not changed; however, the design has been significantly altered.

The architect revised the vertical addition above the existing commercial building so that the mass is pushed back more from the California Street façade and brought toward the 17<sup>th</sup> Street façade. The height of the addition has been increased by 1' (from 10'-6" to 11'-6") to allow bigger windows and to create a better proportion in relation to the building below, and the materials have been revised.

The architect revised the new 3-unit residential building so that the number of materials on the front façade are reduced, the windows have been changed to punched openings and pitched roofs have been added to the fourth floor. Also the "active use" along the 17<sup>th</sup> Avenue frontage was replaced with a space for art at the ground floor as a way to provide visual interest at the pedestrian realm, the lobby area was increased in size and bicycle parking was added to the parking garage.

Staff finds the revised proposal acceptable and recommends that the Commission approve the project with the additional condition that the art proposed in-lieu of the "active use" on the ground floor be rendered in a more durable medium than paint, such as mosaic tile or stained glass, and that the art be

reviewed by the Planning Department prior to the issuance of the building permit to ensure it complies with this requirement.

### **REQUIRED COMMISSION ACTION**

In order for the project to proceed, the Commission must grant Conditional Use Authorization for the demolition of the existing two residential units and for the development on a lot greater than 4,999 sq. ft. in area.

### **BASIS FOR RECOMMENDATION**

- The Project will result in a net gain of two dwelling-units.
- The Project will create four family-sized dwelling-units, two with two bedrooms and two with three bedrooms.
- No tenants will be displaced as a result of this Project.
- Given the scale of the Project, there will be no significant impact on the existing capacity of the local street system or MUNI.
- The NC-1 Zoning District allows a maximum of six dwelling-units on this property. This District is intended to accommodate a greater density than what currently exists on this underutilized lot, and several of the surrounding properties reflect this ability to accommodate the maximum density. The Project is therefore an appropriate in-fill development.
- Although the existing residential structure proposed for demolition is more than 50 years old, a review of the Historic Resource Evaluation resulted in a determination that the residential building is not an historic resource or landmark.

In addition, The Department believes this project is necessary and/or desirable under Section 303 of the Planning Code for the following reasons:

- Both the intensity and the size of the proposed development are compatible with the neighborhood.
- The project preserves an existing neighborhood-serving use (Miss Tilly’s Ballet School)
- The District is well served by transit and is providing the required number of parking spaces for the new residential units; therefore the proposed project should not impact traffic.

<b>RECOMMENDATION:</b> <b>Approve with Conditions</b>
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**Attachments:**

Revised drawings and renderings

**SYMBOLS**

○ COLUMN GRID LINE

◊ INTERIOR ELEVATION NUMBER WITH DIRECTION INDICATION SHEET NUMBER  
A-4

● SECTION/DETAIL IDENTIFICATION SHEET NUMBER

— ENLARGED PLAN SECTION OR DETAIL REFERENCE

— ROOM/SPACE NUMBER

— DOOR NUMBER HARDWARE GROUP

◊ WINDOW NUMBER

— NEW STUD WALL - SEE DETAIL

— NEW STUD WALL WITH INSULATION SEE DETAIL

— NEW DOOR

— EXISTING CONDITION TO BE REMOVED

— EXISTING WALL/DOOR TO REMAIN

— MASONRY WALL

F.D. FLOOR DRAIN

R.D. ROOF DRAIN

H.B. HOSE BIBB

S.P. SPRINKLER HEAD

⊙ SMOKE DETECTOR

⊙ THERMOSTAT

— C.A.R. COLD AIR RETURN

— HEATING DUCT REGISTER

⊗ EXHAUST FAN

⊗ EXHAUST FAN WITH HEAT FAN

⊗ EXHAUST FAN WITH HEAT LAMP

► TELEPHONE OUTLET +12' UON

TV TELEVISION OUTLET +12' UON

— DUPLX RECEPTACLE (110V) +12' UON

— APPLIANCE CIRCUIT (220V) +12' UON

— DUPLX RECEPTACLE WITH ONE SWITCHED OUTLET +12' UON

GFI GROUND FAULT INSULATED DUPLX RECEPTACLE +12' UON

— SWITCH +48' UON

3 3 WAY

4 4 WAY

DIM DIMMER

'A' LIGHTING FIXTURE IDENTIFICATION TAG

⊙ H.I.D. OR INCANDESCENT LIGHT FIXTURE RECESSED

F1 5' COMPACT FLUORESCENT RECESSED LIGHT W/ 1-CFH26 LAMP - 28 WATTS

A1 5' LOW VOLTAGE PENDANT LIGHT - 50 WATTS

⊙ H.I.D. OR INCANDESCENT LIGHT FIXTURE CEILING MOUNTED

⊙ CHANDELIER

⊙ H.I.D. OR INCANDESCENT LIGHT FIXTURE WALL MOUNTED

H.I.D. OR INCANDESCENT WALL SCONCE W/ HEIGHT INDICATION

FLUORESCENT FIXTURE RECESSED OR SURFACE MOUNTED

FLUORESCENT FIXTURE WALL MOUNTED

— TRACK LIGHT FIXTURE CEILING MOUNTED W/ LENGTH INDICATION

GAS NATURAL GAS OUTLET

[HWH] HOT WATER HEATER



LOOKING FROM CORNER OF CALIFORNIA ST. AND 17TH AVE.



LOOKING FROM ACROSS 17TH AVE.

**5499 CALIFORNIA STREET & 200 17TH AVENUE  
- COMMERCIAL ALTERATION & 1-STORY ADDITION**

**206-208-210 17TH AVENUE  
- NEW 4-STORY 3-UNIT DWELLING**

**SCOPE OF WORK**

1. SUBDIVISION OF EXISTING LOT INTO TWO LOTS - 46'-1" & 50'-0"
2. DEMOLITION OF PORTION OF EXISTING BUILDINGS AND ALTERATION OF REMAINING PORTION
3. ADD 1 DWELLING ON EXISTING BUILDING
4. NEW 4-STORY 3-UNIT DWELLING ON NEW LOT

**DRAWING INDEX**

A-0	SCOPE OF WORK / PROJECT DATA / GENERAL NOTES
E-1	EXISTING SITE PLAN & FLOOR PLANS
E-2	DEMOLITION CALCULATION
E-3	EXISTING ELEVATIONS
A-1	PROPOSED SITE / ROOF PLAN & BUILDING AREA CALCULATION
A-2	5499 CALIFORNIA ST. / 200 17TH AVE. - PROPOSED 1ST FLOOR PLAN
A-3	5499 CALIFORNIA ST. / 200 17TH AVE. - PROPOSED 2ND & 3RD FLOOR PLANS
A-4	5499 CALIFORNIA ST. / 200 17TH AVE. - PROPOSED ELEVATIONS
A-5	206-208-210 17TH AVE. - PROPOSED 1ST FLOOR PLAN
A-6	206-208-210 17TH AVE. - PROPOSED 2ND FLOOR PLAN
A-7	206-208-210 17TH AVE. - PROPOSED 3RD & 4TH FLOOR PLANS
A-8	206-208-210 17TH AVE. - PROPOSED ELEVATIONS
A-9	PROPOSED SECTION

**PROJECT DATA**

BUILDING PERMIT APPLICATION #: -

BLOCK/LOT: 1417 / 031 OCCUPANCY: -

ZONING: NC-1 NUMBER OF UNITS: -

NUMBER OF STORIES: -

TYPE OF CONSTRUCTION: -

**GENERAL NOTES**

PLEASE TAKE NOTICE THAT THE DRAWINGS AS PREPARED BY GABRIEL Y. NG AND ASSOCIATES FOR THE PROJECT ARE LIMITED TO THE EXTENT AS REQUIRED FOR PLAN CHECK PURPOSES BY CITY AGENCIES HAVING JURISDICTION OVER THE PROJECT.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN-BUILD (DESIGN AND INSTALL) ALL SYSTEMS AND ELEMENTS AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, MECHANICAL, FIRE SPRINKLER AND ELECTRICAL SYSTEMS; AND ALL DETAILS FOR ROOFING, FLASHING, WATERPROOFING AND SOUND PROOFING STANDARDS.

THE USE OF THESE DRAWINGS FOR THE CONSTRUCTION OF THE PROJECT SHALL CONSTITUTE THE CONTRACTOR'S REPRESENTATION THAT IT HAS REVIEWED AND VERIFIED THE BUILDABILITY OF THE PROJECT AS SHOWN ON THESE DRAWINGS IN THE LIGHT OF SITE CONDITIONS AND APPLICABLE CODE REQUIREMENTS; AND THAT ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR SHALL UNDERTAKE FULL RESPONSIBILITIES TO DESIGN-BUILD ALL ELEMENTS AND MAKE NECESSARY ADJUSTMENTS AS REQUIRED FOR THE COMPLETION OF THE PROJECT IN ITS ENTIRETY PURSUANT TO ALL APPLICABLE CODE REQUIREMENTS, TRADE AND WORKMANSHIP STANDARDS.

ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY BUILDING CODE AND INTERNATIONAL BUILDING CODE, AS WELL AS ALL APPLICABLE FEDERAL STATE, OSHA, BAY AREA AIR QUALITY MANAGEMENT DISTRICT, COUNTY AND CITY ORDINANCES, AMENDMENTS AND RULINGS. THE CITY CODE SHALL GOVERN WHEN IT AND THE IBC OR ANY OTHER REFERENCE CODES AND STANDARDS ARE IN CONFLICT.

THE CONTRACTOR SHALL GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE LAWFUL EXECUTION OF THE WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE LOT, EASEMENT, SOIL CONDITIONS, ALL PROPOSED DIMENSIONS, INCLUDING EXCAVATION, UNDERPINNING, DRAINAGE AND UTILITY LINES AT SUBJECT PROPERTY, AS WELL AS, AT ADJACENT PROPERTIES. IF THE CONTRACTOR ENCOUNTERS DISCREPANCIES IN THE DRAWINGS, HE SHALL CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF CORRECTIONS TO THE WORK IF HE NEGLECTS TO ADHERE TO THIS PROCESS.

THE DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR A FINISHED PIECE OF WORK. THE CONTRACTOR SHALL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE COMPLETED IN A GOOD AND WORKMANLIKE MANNER AND IN EVERY DETAIL ALTHOUGH EVERY NECESSARY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. EXCEPT AS OTHERWISE SPECIFICALLY STATED, THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, FEES, MATERIALS, LABOR, TOOLS, AND EQUIPMENT FOR THE ENTIRE COMPLETION OF THE WORK INTENDED TO BE DESCRIBED.

AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE, SUBJECT PROPERTY, AND ADJACENT PROPERTIES. THE ARCHITECT SHALL NOT REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTORS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.


ALL DRAWINGS, SPECIFICATIONS, AND INFORMATION FURNISHED HERewith ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE HELD CONFIDENTIAL AND SHALL NOT BE USED FOR ANY PURPOSE OR PURPOSES OTHER THAN THOSE FOR WHICH THEY HAVE BEEN SUPPLIED AND PREPARED. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING, AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

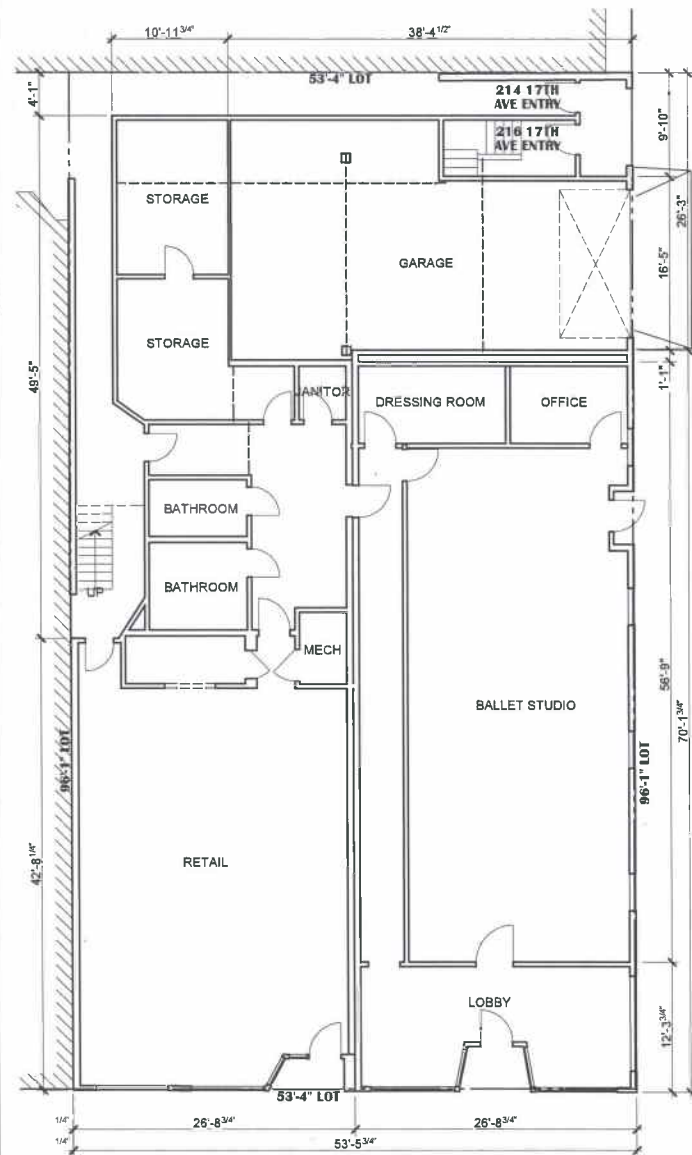
ANY DRAWINGS ISSUED WITHOUT THE APPROVAL STAMP, SIGNED AND DATED BY THE BUILDING DEPARTMENT SHALL BE CONSIDERED IN THE PRELIMINARY STAGE AND SHALL NOT BE USED FOR CONSTRUCTION.

DO NOT SCALE DRAWINGS.

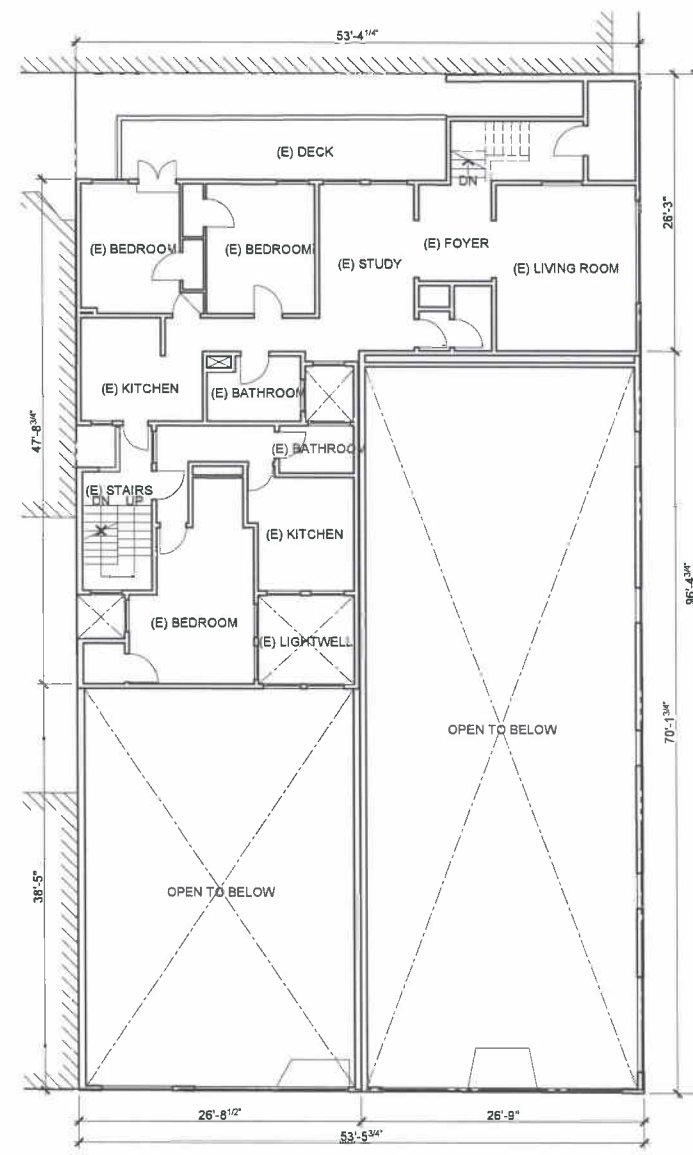
**ABBREVIATIONS**

A	AND	C.O.	CLEANOUT	E.	EAST	FLR.	FLOOR	JAN.	JANITOR	O.F.D.	OVERFLOW DRAIN	REI.	RETAINING	SUSP.	SUSPENDED
∠	ANGLE	C.T.	CERAMIC TILE	(E)	EXISTING	FLUOR.	FLUORESCENT	JT.	JOINT	O.H.	OVERHEAD	RGTR.	REGISTER	SYM.	SYMMETRICAL
@	AT	CAB.	CABINET	E.P.	EXPANSION JOINT	FFRF.	FIREPROOF	KIT.	KITCHEN	OBS.	OBSURE	RM.	ROOM	T.&G.	TONGUE & GROOVE
⊙	CENTER LINE	CEM.	CEMENT	E.P.	ELEC. PANEL BOARD	FT.	FOOT OR FEET	LAB.	LABORATORY	OPNG.	OPENING	S.	SOUTH	T.B.	TOWEL BAR
∅	DIAMETER	CLG.	CEILING	E.W.	EACH WAY	FTG.	FOOTING	LAM.	LAMINATE	OFF.	OFFICE	S.A.D.	SEE ARCHITECTURAL DRAWINGS	T.C.	TOP OF CURB
#	POUND OR NUMBER	CLKG.	CAULKING	E.W.C.	ELEC. WATER COOLER	FURR.	FURRING	LAV.	LAVATORY	OPP.	OPPOSITE	S.C.	SOLID CORE	T.P.	TOP OF PAVEMENT
—	PROPERTY LINE	CLR.	CLOSURE	EA.	EACH	FUT.	FUTURE	LKR.	LOCKER	P.C.	PHOTO CELL	S.C.D.	SEAT COVER DISPENSER	T.P.D.	TOILET PAPER DISPENSER
A.D.	AREA DRAIN	CLR.	CLEAR	EL.	ELEVATION	G.B.	GRAB BAR	LT.	LIGHT	P.L.A.M.	PAPER LAMINATE	S.D.	SOAP DISPENSER	T.V.	TELEVISION
A.P.	ACCESS PANEL	CONC.	CONCRETE	ELEV.	ELEVATOR	G.D.	GARBAGE DISPOSAL	M.C.	MAXIMUM	P.T.D.	PAPER TOWEL DISPENSER	S.G.D.	SLIDING GLASS DOOR	T.W.	TOP OF WALL
ACOUS.	ACOUSTICAL	CONN.	CONNECTION	EMER.	EMERGENCY	G.F.I.	GROUND FAULT INTERRUPTER	MECH.	MECHANICAL	P.T.R.	PAPER TOWEL	S.H.	SINGLE HUNG (WINDOW)	TEL.	TELEPHONE
ADJ.	ADJACENT	CONST.	CONSTRUCTION	ENCL.	ENCLOSURE	G.S.M.	GALVANIZED SHEET	MEMB.	MEMBRANE	PL.	PLASTER	S.N.D.	SANITARY NAPKIN DISPENSER	TER.	TERRAZZO
AGGR.	AGGREGATE	CONT.	CONTINUOUS	EQPT.	EQUIPMENT	GA.	GALLON	MET.	METAL	PLAS.	PLYWOOD	S.N.R.	SANITARY NAPKIN DISPENSER	THK.	THICK
ALUM.	ALUMINUM	CORR.	CORRIDOR	EXP.	EXPOSITION	GAL.	GALLON	MFR.	MANUFACTURER	PR.	PLASTER	S.R.	SERVICE SINK	TRD.	TREAD
APPROX.	APPROXIMATE	CSMT.	CASEMENT (WINDOW)	EXPO.	EXPOSED	GL.	GLASS	M.H.	MANHOLE	PRCST.	PRECAST	S.S.K.	STAINLESS STEEL	TYP.	TYPICAL
ARCH.	ARCHITECTURAL	CTR.	CENTER	EXT.	EXTERIOR	GND.	GROUND	MIR.	MIRROR	PT.	POINT	SCHED.	SCHEDULE	U.O.N.	UNLESS OTHERWISE NOTED
ASB.	ASBESTOS	D.H.	DOUBLE HUNG (WINDOW)	F.A.	FIRE ALARM	GYP.	GYPSPUM	MISC.	MISCELLANEOUS	Q.T.	QUARRY TILE	SECT.	SECTION	UNF.	UNFINISHED
ASPH.	ASPHALT	D.O.	DOOR OPENING	F.D.	FLOOR DRAIN	H.B.	HOSE BIBB	MTD.	MOUNTED	R.	RISER	SH.	SHELF	UR.	URINAL
AWN.	AWNING (WINDOW)	D.S.P.	DRY STANDPIPE	F.E.	FIRE EXTINGUISHER	GYP.	GYPSPUM	MUL.	MULLION	R.D.	ROOF DRAIN	SHR.	SHOWER	VERT.	VERTICAL
B.R.	BEDROOM	DBL.	DOUBLE	F.H.C.	FIRE HOSE CABINET	H.C.	HOLLOW CORE	N.	NORTH	R.O.	ROUGH OPENING	SHT.	SHEET	VEST.	VESTIBULE
BD.	BOARD	DEPT.	DEPARTMENT	F.O.C.	FACE OF CONCRETE	H.M.	HARDWOOD	(N)	NEW	R.W.	RAIN WATER LEADER	SHR.	SHOWER	W.	WEST
BITUM.	BITUMINOUS	DET.	DETAIL	F.O.F.	FACE OF FINISH	HDWD.	HARDWOOD	N.I.C.	NOT IN CONTRACT	R.W.L.	RAIN WATER LEADER	SL.	SLIDER (WINDOW)	W.	WITH
BLDG.	BUILDING	DIA.	DIAMETER	F.O.S.	FACE OF STUD	HORIZ.	HORIZONTAL	N.T.S.	NOT TO SCALE	RAD.	RADIUS	SPEC.	SPECIFICATION	W.C.	WATER CLOSET
BLK.	BLOCK	DN.	DOWN	F.P.	FIREPLACE	HR.	HOUR	OR #	OR NUMBER	REF.	REFERENCE	SQ.	SQUARE	WD.	WOOD
BLKG.	BLOCKING	DR.	DOOR	F.S.	FULL SIZE	H.T.	HEIGHT	O.A.	OVERALL	REFR.	REFRIGERATOR	STA.	STATION	WO.	WITHOUT
BM.	BEAM	D.S.P.	DRY STANDPIPE	FIN.	FINISH	I.D.	INSIDE DIAMETER (DIM.)	O.C.	ON CENTER	REINF.	REINFORCED	STD.	STANDARD	WP.	WATERPROOF
BO.S.	BOTH SIDES	DWG.	DRAWING	FLSH.	FLASHING	INSUL.	INSULATION	O.D.	OUTSIDE DIAMETER (DIM.)	REQ.	REQUIRED	STR.	STRUCTURAL	WSCT.	WAINSCOT
BT.	BOTTOM					INT.	INTERIOR			RESIL.	RESILIENT			WT.	WEIGHT

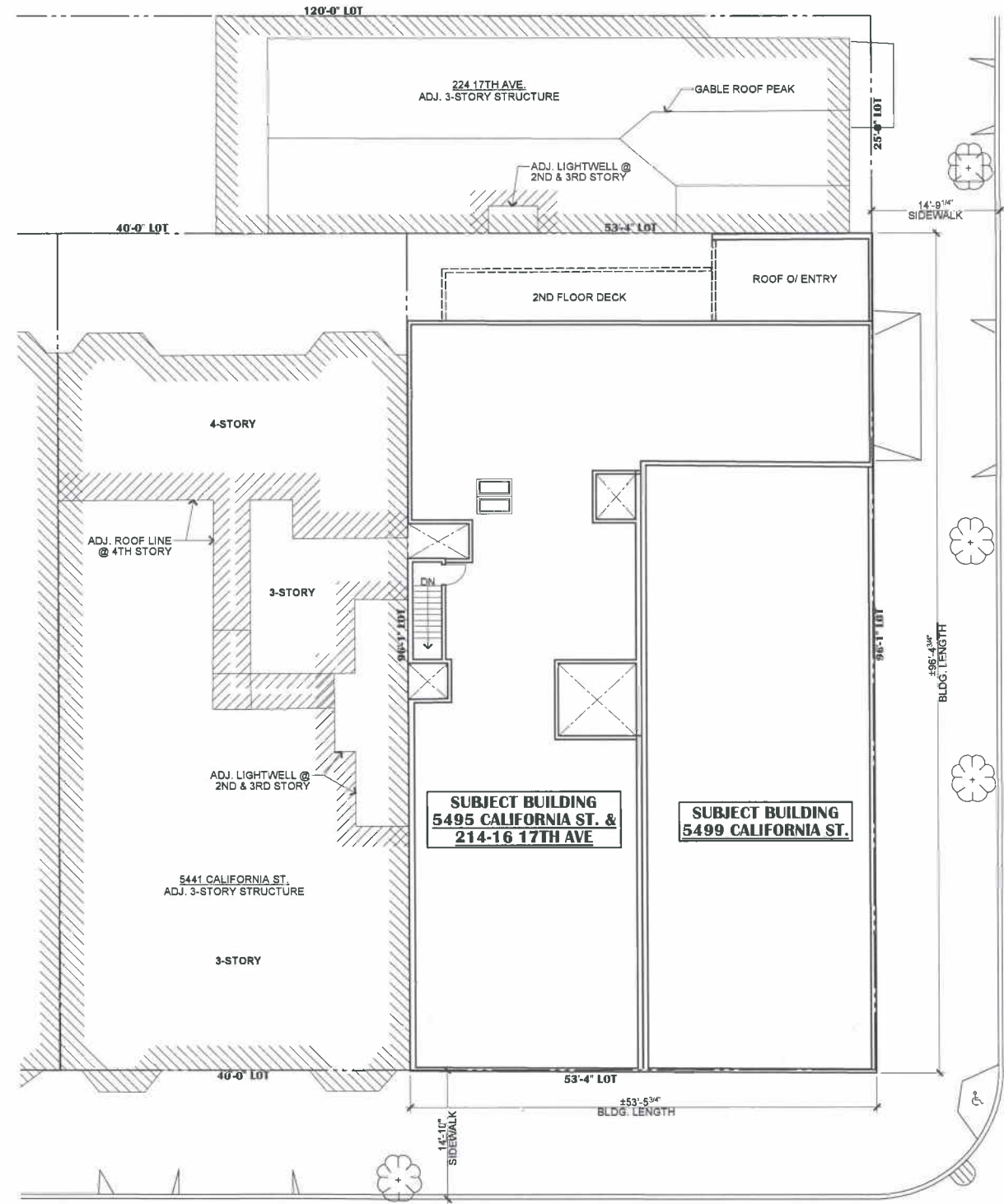
<p><b>REVISIONS</b></p> <p>4-28-10 Rev. # 4- ENTRY EC</p> <p>7-1-10 Rev. # 5-Add Elev. EC</p> <p>8-11-10 Cl / V APPL. EC</p> <p>10-21-10 Rev. # 6- Pre-App. EC</p> <p>1-12-11 Per Sec. 145.1 EC</p> <p>2-16-11 Per 1st Hearing EC</p>		 <p>GABRIEL Y. NG &amp; ASSOCIATES ARCHITECTURE + PLANNING + INTERIORS 1360 PP AVENUE, SUITE 210 SAN FRANCISCO, CA 94122 415-455-6650 415-455-6670 www.gnyng.com</p>	
<p><b>5499 CALIFORNIA ST./ 200, 206-208-210 17TH AVE. BLOCK 1417, LOT 031 SAN FRANCISCO, CA 94118</b></p>			
<p><b>SCOPE OF WORK, PROJECT DATA &amp; GENERAL NOTES</b></p>			
<p>Date: <b>10/21/09</b></p> <p>Scale: <b>AS NOTED</b></p> <p>Drawn: <b>EC</b></p> <p>Job: <b>090804</b></p> <p>Sheet: <b>A-0</b></p> <p>of 22 Sheets</p>			



**(E) 1ST FLOOR PLAN**  
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



**(E) 2ND FLOOR PLAN**  
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



**(E) SITE/ ROOF PLAN**  
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"

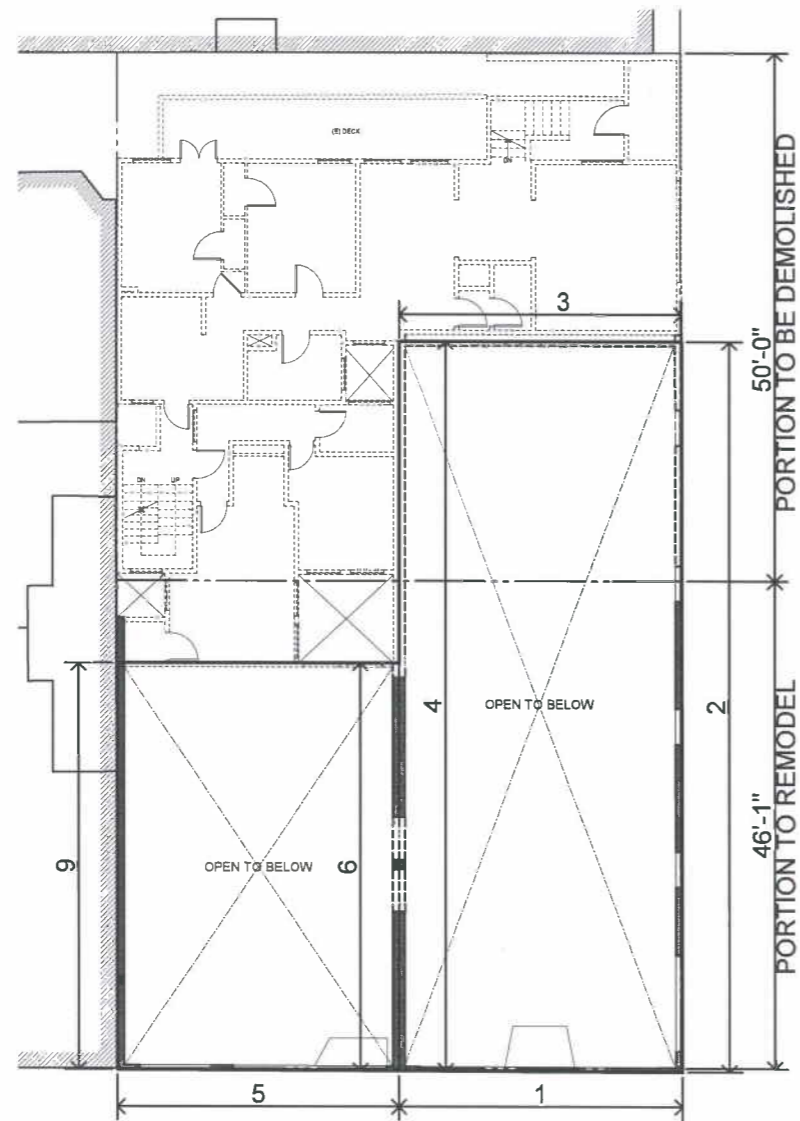
REVISIONS	BY
4-28-10	EC
Rev. #4- ENTRY	EC
7-1-10	EC
Rev. #5-Add.Elev.	EC
8-11-10	EC
CU / V APPL.	EC
10-21-10	EC
Rev. #6- Pre-App	EC
1-12-11	EC
Per Sec 145.1	EC
2-18-11	EC
Per 1st Hearing	EC

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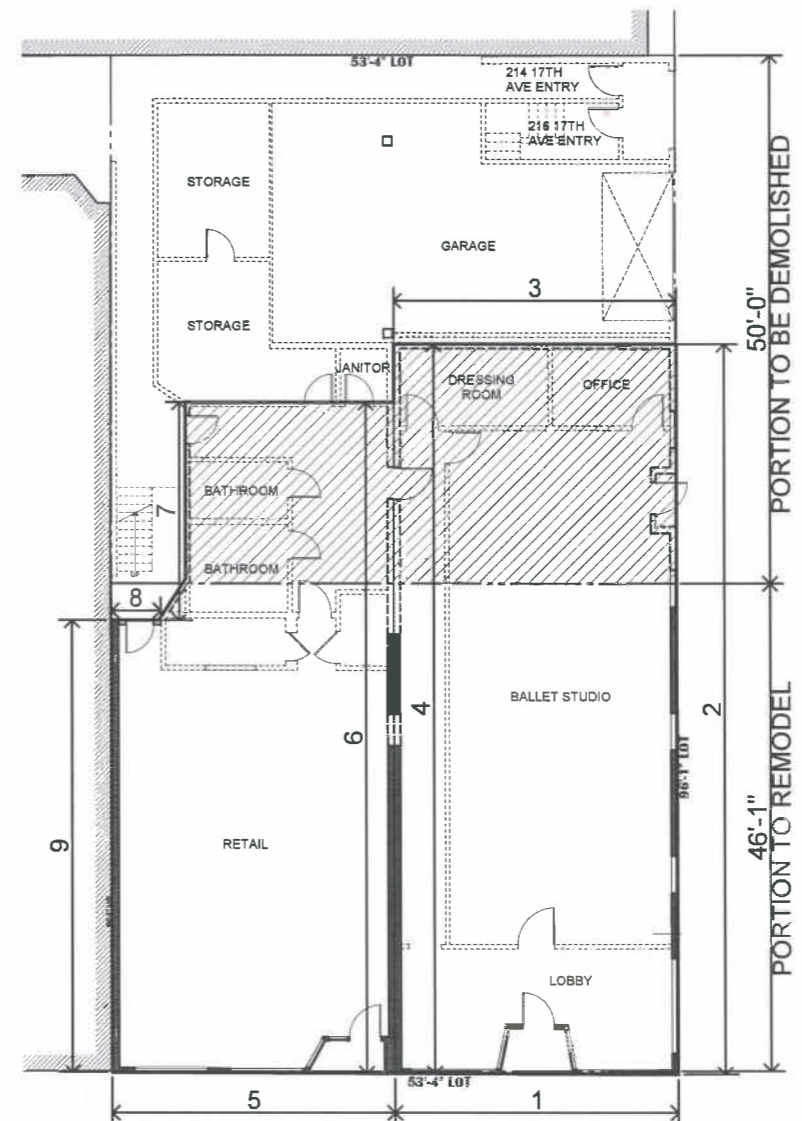
**5499 CALIFORNIA ST./**  
**200, 206-208-210 17TH AVE.**  
**BLOCK 1417, LOT 031**  
**SAN FRANCISCO, CA 94118**

**EXISTING SITE PLAN & FLOOR PLANS**

Date	10/21/09
Scale	AS NOTED
Drawn	EC
Job	090804
Sheet	E-1



RESIDENTIAL AREA TO BE DEMOLISHED = 1,470.0 sq ft



RESIDENTIAL AREA TO BE DEMOLISHED = 1,250.5 sq ft

TOTAL COMMERCIAL AREA = 3,353.0 sq ft

COMMERCIAL AREA TO BE DEMOLISHED = 945.0 sq ft

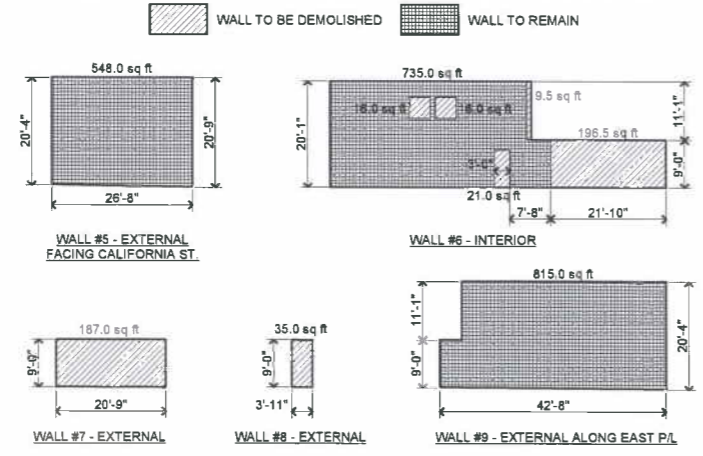
**(E) 2ND FLOOR DEMOLITION PLAN**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1' - 0"

**(E) 1ST FLOOR DEMOLITION PLAN**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1' - 0"

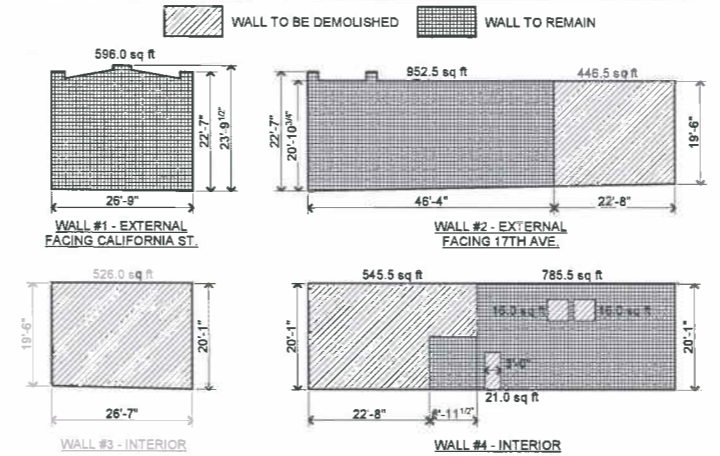
- COMMERCIAL AREA TO BE DEMOLISHED
- COMMERCIAL EXTERNAL WALL TO REMAIN
- COMMERCIAL EXTERNAL WALL TO BE REMOVED
- WALL TO BE REMOVED

- COMMERCIAL AREA TO BE DEMOLISHED
- COMMERCIAL EXTERNAL WALL TO REMAIN
- COMMERCIAL EXTERNAL WALL TO BE REMOVED
- WALL TO BE REMOVED

**WALL SURFACE AREA OF COMMERCIAL SPACE AT 5495 CALIFORNIA**



**WALL SURFACE AREA OF COMMERCIAL SPACE AT 5499 CALIFORNIA**



Demolition calculation per Planning Code Section 1005(f)

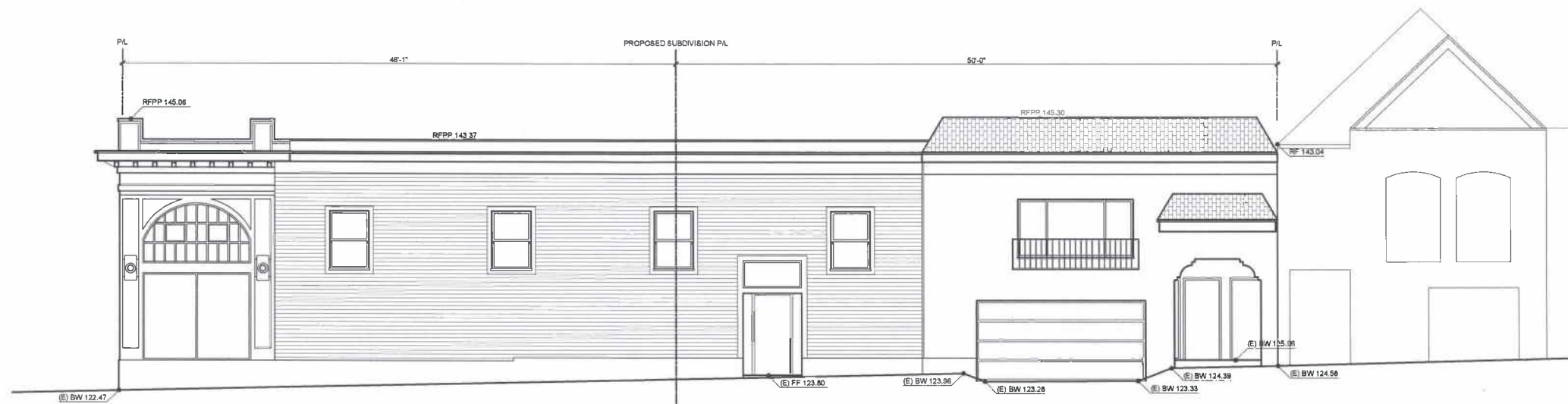
	Demo (sq. ft.)	Total (sq. ft.)	Demo Percent
1. >25% of Surface of External Walls Facing Public Streets - Wall # 1, 2, 5	446.50	2543.00	17.56%
2. >50% of All External Walls from their function as External Walls - Wall #1, 2, 5, 7, 8, 9	666.58	3560.00	18.88%
3. >25% of External Walls from function as either External or Internal Walls - All walls	2052.00	6483.00	31.65%
4. >75% of the Building's Existing Internal Structural Framework or Floor Plate	945.00	3353.00	28.18%

REVISIONS	BY
4-28-10	EC
Rev. #4- ENTRY	EC
7-1-10	EC
Rev. #5-Add Elev	EC
8-11-10	EC
CL / V APPL.	EC
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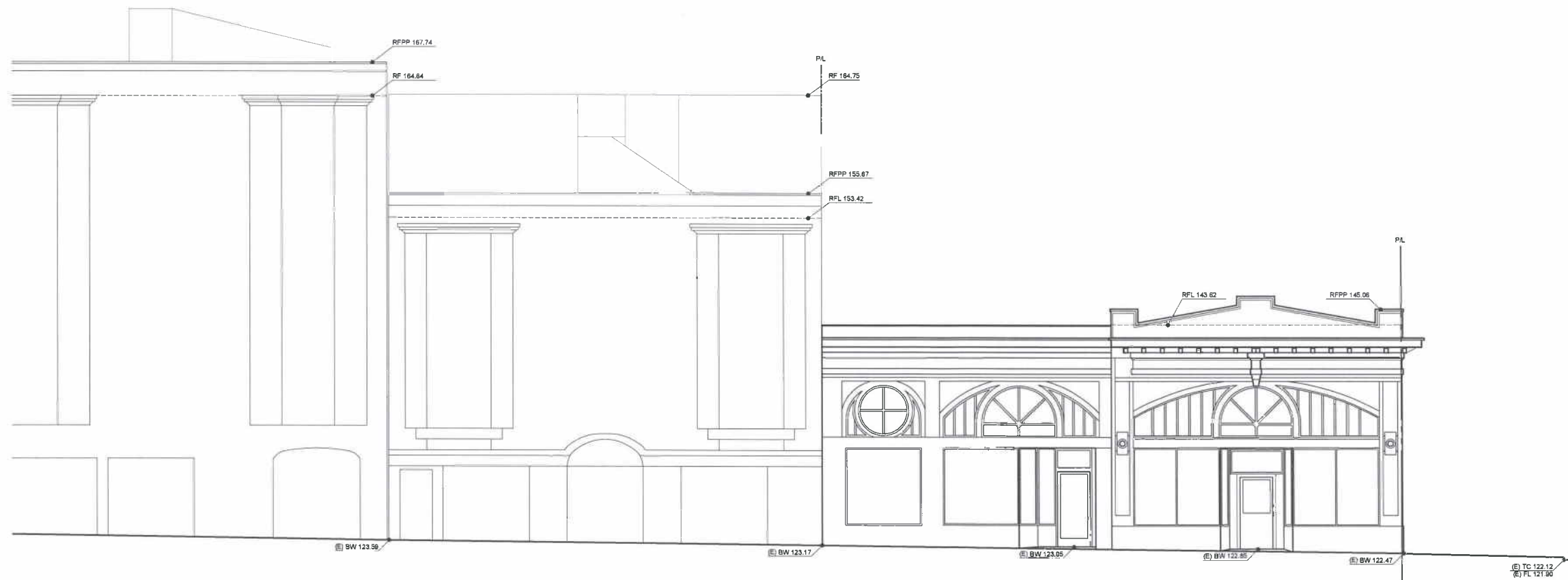
**GABRIEL Y. NG & ASSOCIATES**  
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 www.gngna.com

**5499 CALIFORNIA ST./  
 200, 206-208-210 17TH AVE.  
 BLOCK 1417, LOT 031  
 SAN FRANCISCO, CA 94118**

**DEMOLITION CALCULATION**



**(E) ELEVATION ON 17TH AVE.**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 3/16"= 1'-0"



**(E) ELEVATION ON CALIFORNIA ST.**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 3/16"= 1'-0"

REVISIONS	BY
4-28-10	EC
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10-21-10	EC
Rev. #6- Pre-App	EC
1-12-11	EC
Per Sec 145.1	EC
2-18-11	EC
Per 1st Hearing	EC



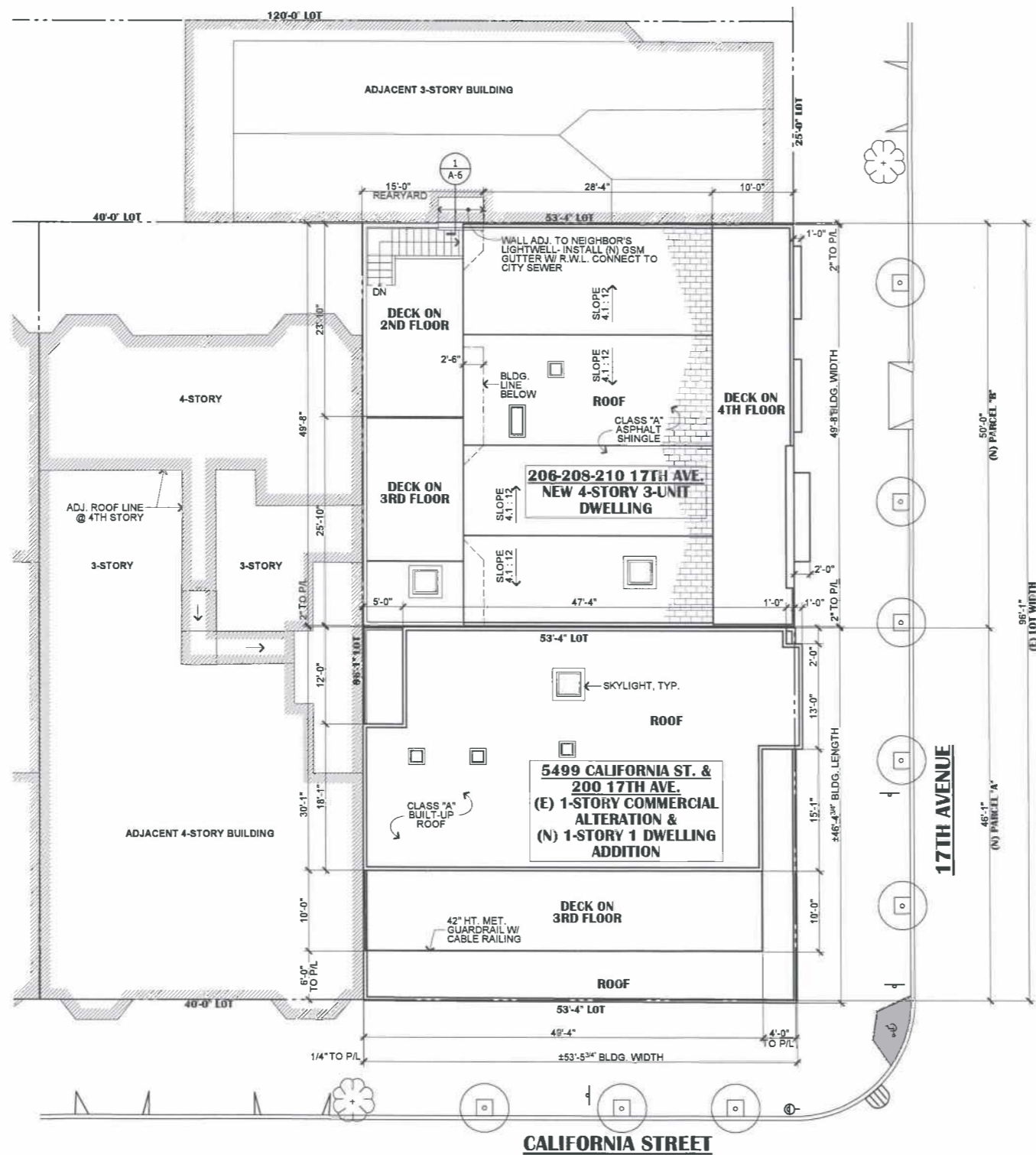
GABRIEL Y. NG & ASSOCIATES  
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 1340 BRUNNEN AVENUE, SUITE 310  
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 415.445.8600  
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5499 CALIFORNIA ST./  
 200, 206-208-210 17TH AVE.  
 BLOCK 1417, LOT 031  
 SAN FRANCISCO, CA 94118

EXISTING ELEVATIONS

Date 10/21/09  
 Scale AS NOTED  
 Drawn EC  
 Job 090804

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**E-3**  
 Of 22 Sheets



**North**  
**SITE/ ROOF PLAN**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"

**BUILDING AREA CALCULATION (in Square Feet):**

Existing buildings	Commercial	Residential	
	5499 California St	214-16 17th Ave	216
2nd Floor	445.5	445.5	1024.5
Ground Floor	3353		444.5
Garage (1st)		403	403
Sub-total	3353	848.5	1872
Total Building Area	3353	2720.5	

Total Living area for all Units = 1914.6 S.F.  
 Total Garage = 806 S.F.

(E) Residential area = 2720.5 S.F.  
 (E) Commercial area = 3353 S.F.  
 Total (E) Building area = 6073.5 S.F.  
 (E) Building area to be removed = 3712.5 S.F.

**Proposed buildings**

	PARCEL "A" - Lot area = 2467.6 s.f.				PARCEL "B" - Lot area = 2896.5 s.f.			
	Commercial		Residential		Residential		Residential	
	5499 California St	200 17th Ave	206-208-210 17th Ave	210	206-208-210 17th Ave	206	208	210
4th Floor			115					1348.5
3rd Floor			132			1724		
2nd Floor			1494.5		2041.5			
Mezzanine	339.5	54.5						
1st Floor	2293.5	114		781				
Garage (1st)				1706				
Sub-total	2833	168.5	1494.5	2961	2041.5	1724	1348.5	
Total Building Area	4298		8075					

NOTE:  
 Area Calculation as shown is intended for permit application purposes only and shall not be used for selling or leasing purposes.  
 Final square footage and finished dimensions may vary from these plans due to construction variables.

**OPEN SPACE AREA CALCULATION (in Square Feet):**

	Residential		
	200 17th Ave	206-208-210 17th Ave	210
4th Floor Deck (Private)	206	208	472
3rd Floor Deck (Private)		258	
2nd Floor Deck (Private)	482.5	277	
Total Open Space	482.5	258	472

Usable Open Space Calculation:  
 Usable Open Space Required:  
 Private: 400 S.F. (100 S.F. per unit x 4 units)  
 Common: 532 S.F. (133 S.F. per unit x 4 units)  
 Total Proposed Usable Open Space:  
 Private: 1488.5 S.F.  
 Common: 0.0 S.F.  
 Total: 1488.5 S.F.

NOTE:  
 Area Calculation as shown is intended for permit application purposes only and shall not be used for selling or leasing purposes.  
 Final square footage and finished dimensions may vary from these plans due to construction variables.

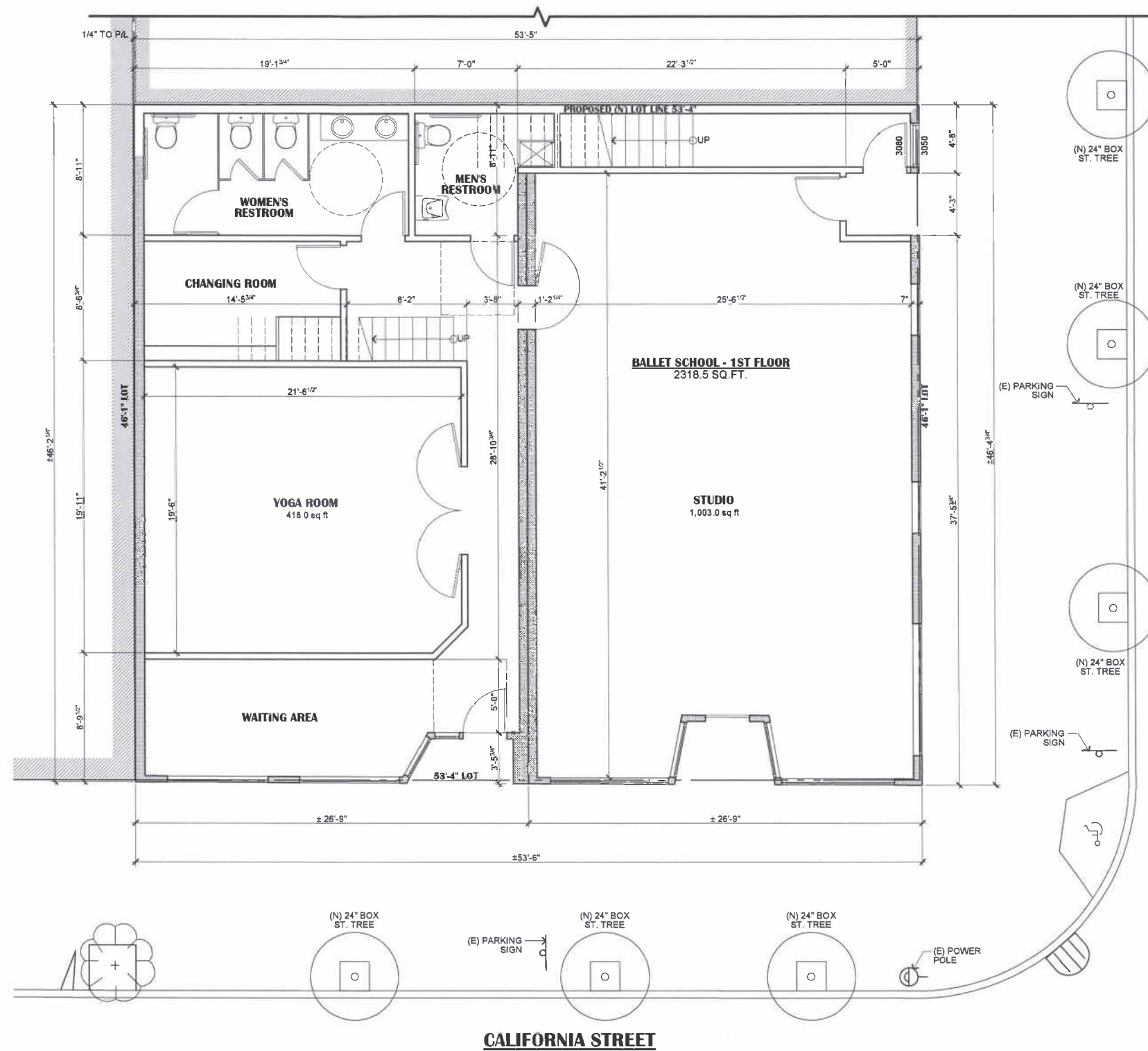
REVISIONS	BY
4-28-10	EC
Rev. #4-ENTRY	EC
7-1-10	EC
Rev. #5-Add.Elev	EC
8-11-10	EC
CU / V APPL	EC
10-21-10	EC
Rev. #6-Pre-App	EC
1-12-11	EC
Per Sec 145.1	EC
2-18-11	EC
Per 1st Hearing	EC

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**PROPOSED SITE / ROOF PLAN &  
 BUILDING AREA CALCULATION**

Date	10/21/09
Scale	AS NOTED
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Sheet	<b>A-1</b>
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**1ST FLOOR PLAN**

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"

**LEGEND**

- EXISTING WALL TO REMAIN
- (N) WALL

REVISIONS	BY
4-28-10	EC
Rev. #4- ENTRY	EC
7-1-10	EC
Rev. #5-Add.Elev.	EC
8-11-10	EC
CL / V APPL	EC
10-21-10	EC
Rev. #6- Pre-App	EC
1-12-11	EC
Per Sec. 145.1	EC
2-18-11	EC
Per 1st Hearing	EC



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 BLOCK 1417, LOT 031  
 SAN FRANCISCO, CA 94118**

**5499 CALIFORNIA ST./ 200 17TH AVE.  
 PROPOSED 1ST FLOOR PLAN**

Date **10/21/09**  
 Scale **AS NOTED**  
 Drawn **EC**  
 Job **090804**

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REVISIONS	BY
4-28-10	EC
Rev. #4- ENTRY	EC
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Rev. #5-Add Elev.	EC
8-11-10	EC
CU / V APPL	EC
10-21-10	EC
Rev. #6- Pre-App	EC
1-12-11	EC
Per Sec 145.1	EC
2-18-11	EC
Per 1st Hearing	EC



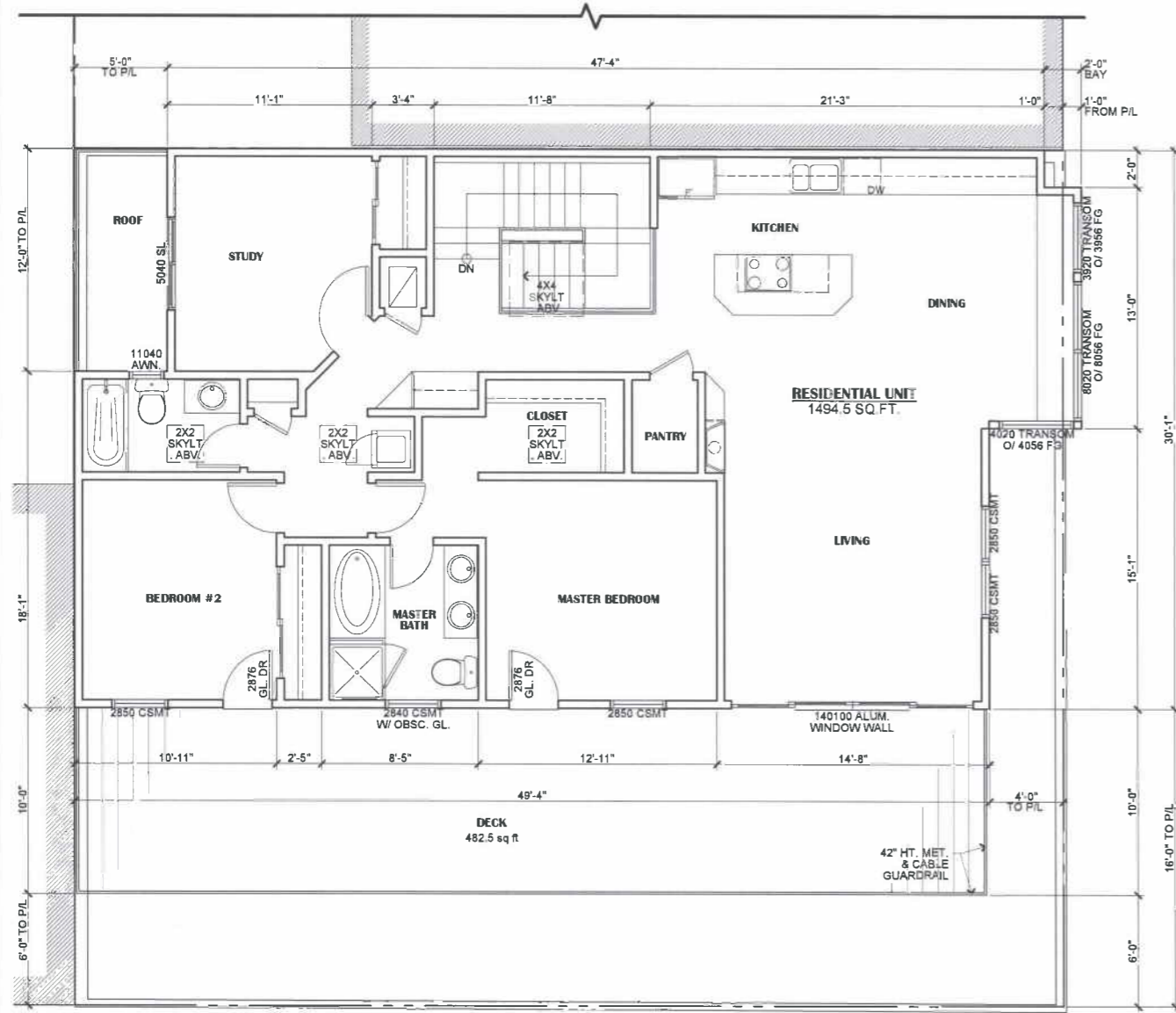
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200, 206-208-210 17TH AVE.  
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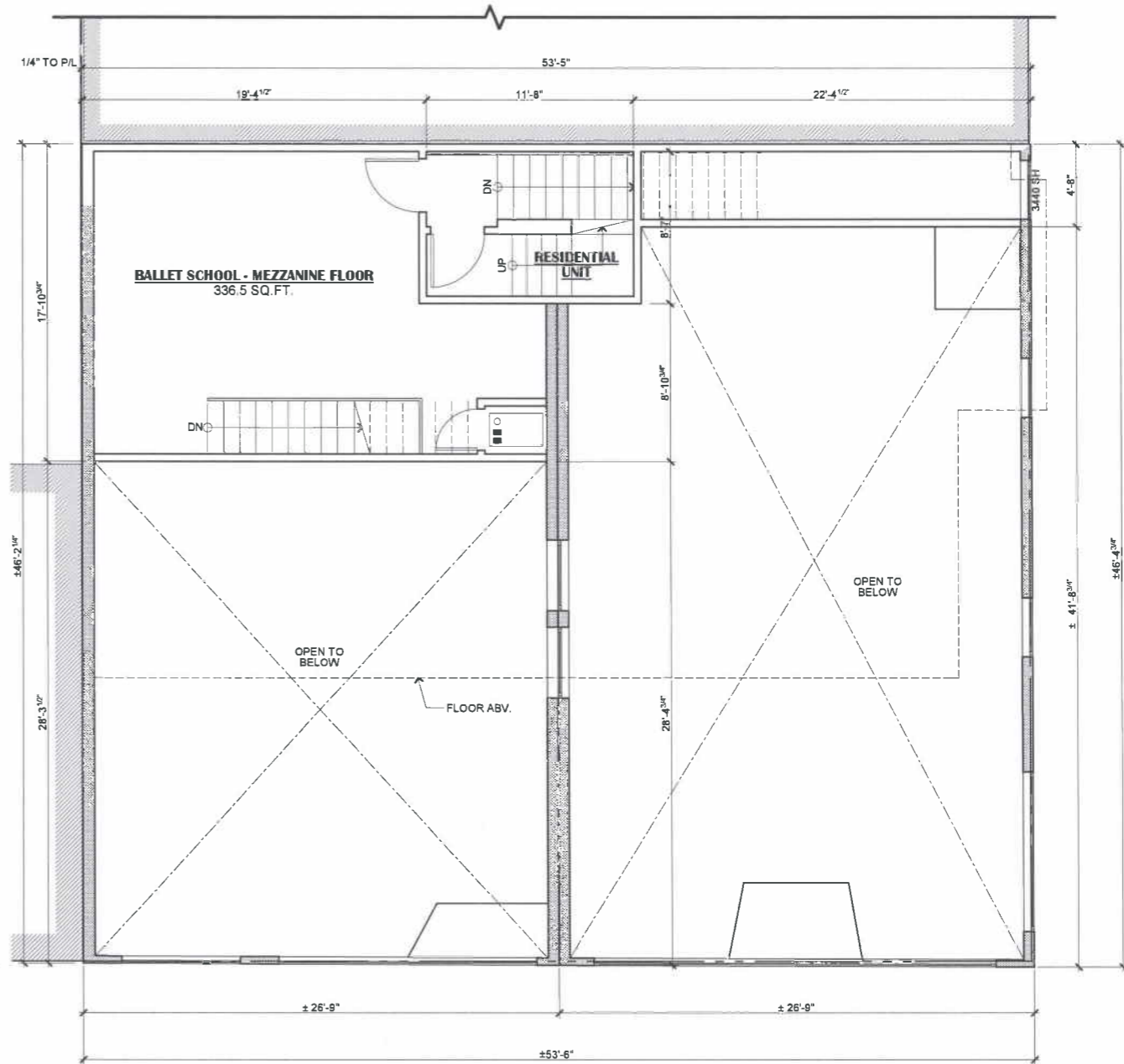
5499 CALIFORNIA ST./ 200 17TH AVE.  
PROPOSED MEZZANINE & 2ND FLOOR  
PLANS

Date 10/21/09  
Scale AS NOTED  
Drawn EC  
Job 090004  
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**North** **2ND FLOOR PLAN**  
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



**North** **MEZZANINE FLOOR PLAN**  
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"

**LEGEND**  

 EXISTING WALL TO REMAIN  
 (N) WALL

REVISIONS	BY
4-28-10	EC
Rev. #4 ENTRY	EC
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Rev. #5-Add. Elev.	EC
6-11-10	EC
CU / V APPL.	EC
10-21-10	EC
Rev. #6- Pre-App	EC
1-12-11	EC
Per Sec 145.1	EC
2-18-11	EC
Per 1st Hearing	EC



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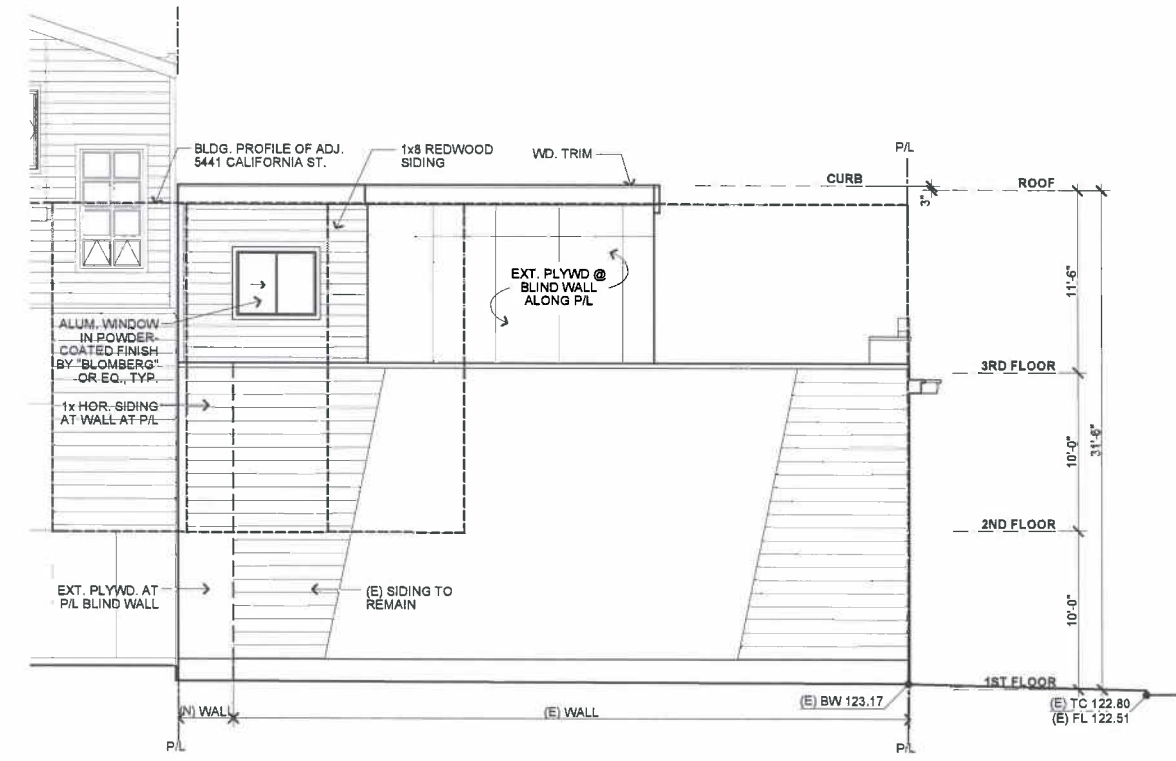
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 PROPOSED ELEVATIONS**

Date 10/21/09  
 Scale AS NOTED  
 Drawn EC  
 Job 090804  
 Sheet

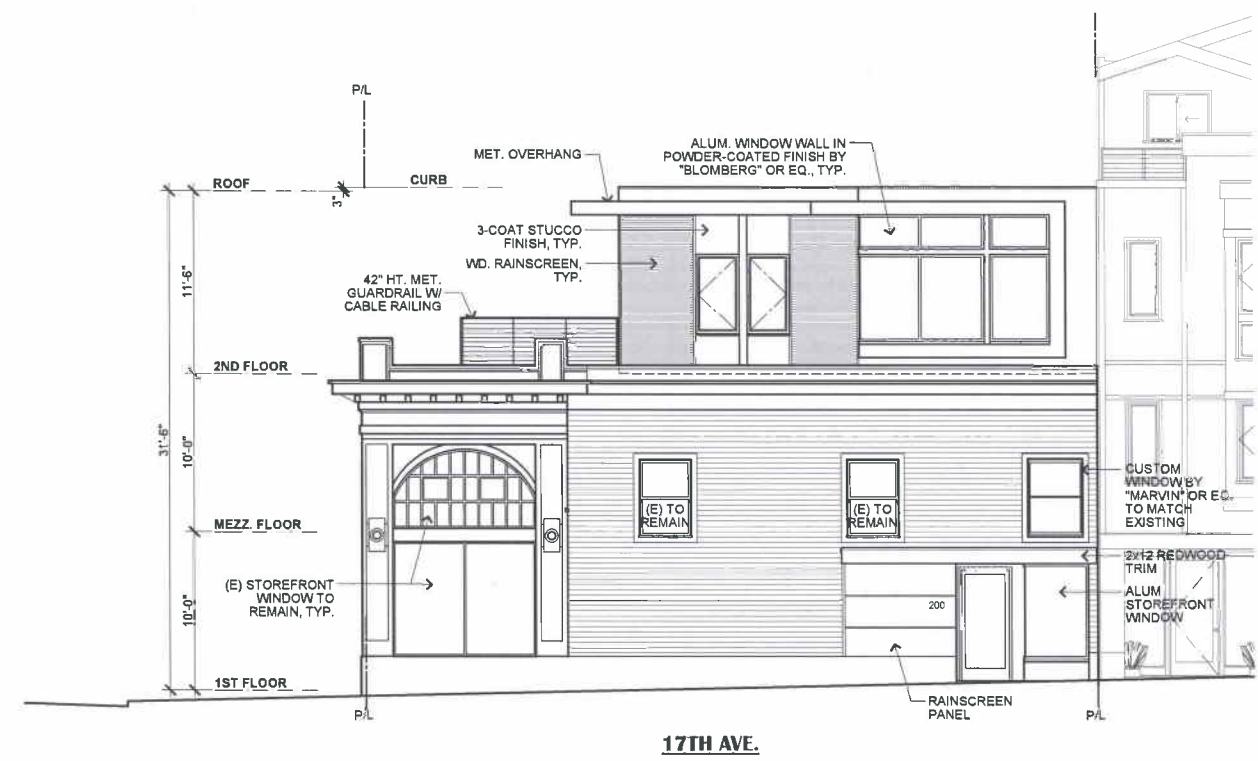
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 Of 22 Sheets



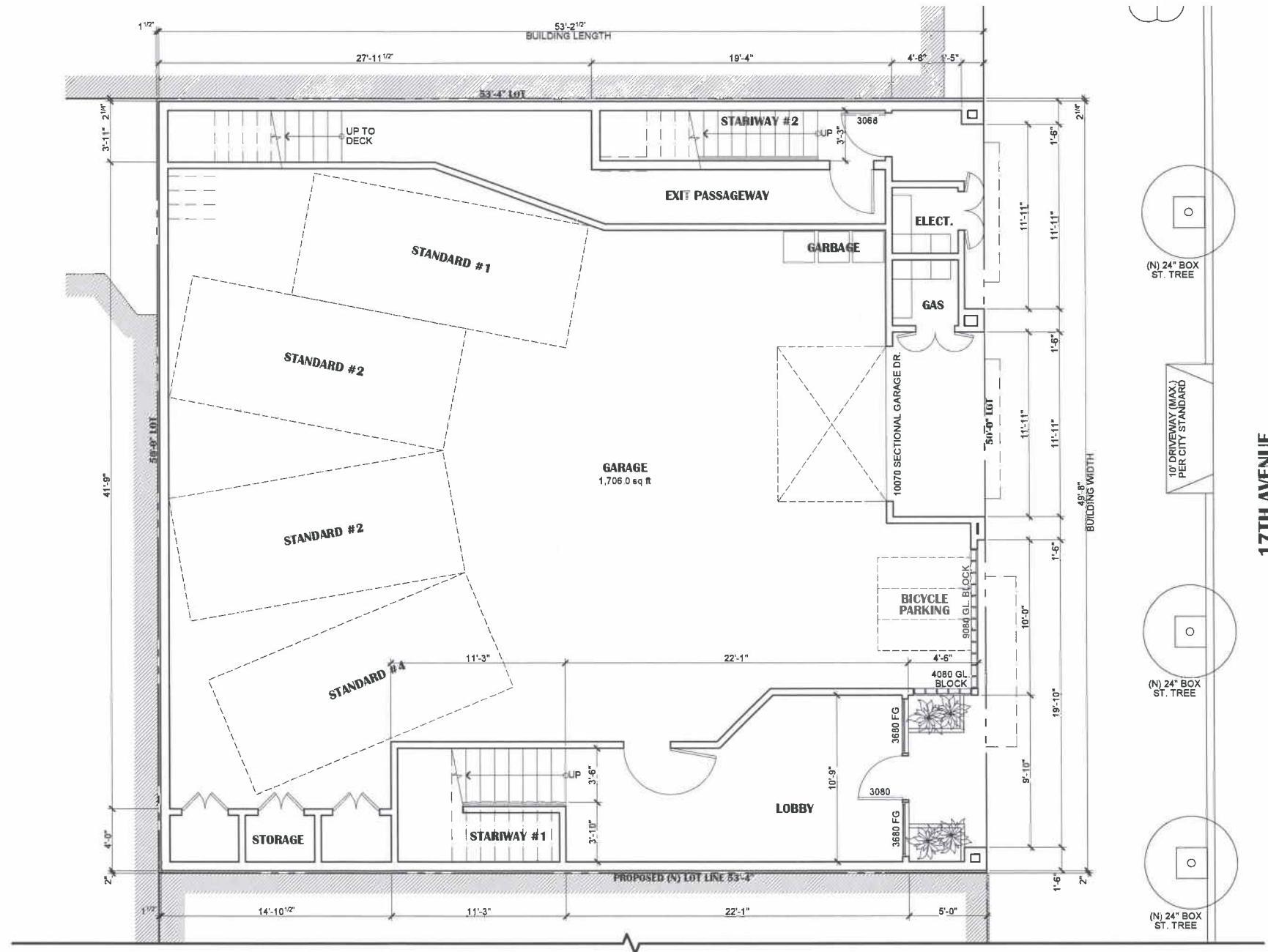
**ELEVATION ON CALIFORNIA ST.**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 3/16"= 1'-0"



**SIDE ELEVATION**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 3/16"= 1'-0"



**ELEVATION ON 17TH AVE.**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 3/16"= 1'-0"



**1ST FLOOR PLAN**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.      SCALE: 1/4" = 1'-0"

REVISIONS	BY
4-28-10	EC
Rev. #4- ENTRY	EC
7-1-10	EC
Rev. #5-Add Elev.	EC
8-11-10	EC
CU / V APPL	EC
10-21-10	EC
Rev. #6- Pre-App	EC
1-12-11	EC
Per Sec 145.1	EC
2-18-11	EC
Per 1st Hearing	EC

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**BLOCK 1417, LOT 031**  
**SAN FRANCISCO, CA 94118**

**206-208-210 17TH AVE.**  
**PROPOSED 1ST FLOOR PLAN**

Date	10/21/09
Scale	AS NOTED
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REVISIONS	BY
4-28-10	EC
Rev. #4- ENTRY	EC
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Rev. #5-Add. Elev.	EC
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CU / V APPL	EC
10-21-10	EC
Rev. #6- Pre-App	EC
1-12-11	EC
Per Sec 145.1	EC
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Per 1st Hearing	EC



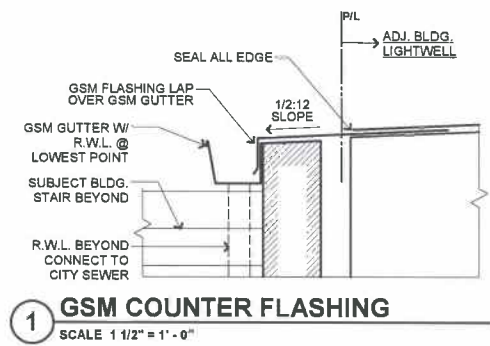
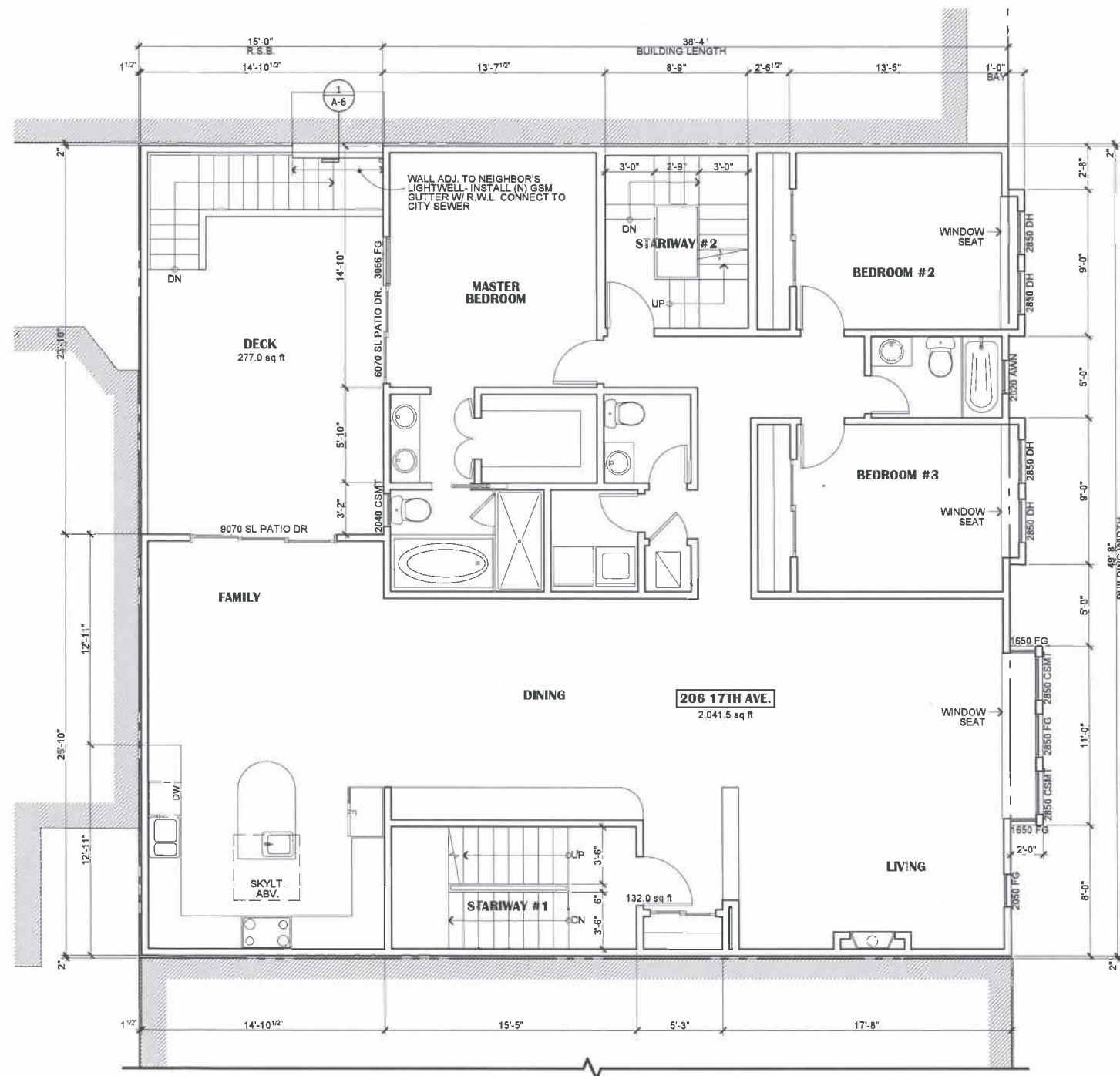
**GABRIEL Y. NG & ASSOCIATES**  
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**206-208-210 17TH AVE.**  
**PROPOSED 2ND FLOOR PLAN**

Date 10/21/09  
 Scale AS NOTED  
 Drawn EC  
 Job 090804

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**North**  
**2ND FLOOR PLAN**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"

REVISIONS	BY
4-28-10	EC
Rev. #4- ENTRY	EC
7-1-10	EC
Rev. #5- Add Elev.	EC
8-11-10	EC
CL / V APPL.	EC
10-21-10	EC
Rev. #6- Pre-App.	EC
1-12-11	EC
Per Sec 145.1	EC
2-18-11	EC
Per 1st Hearing	EC



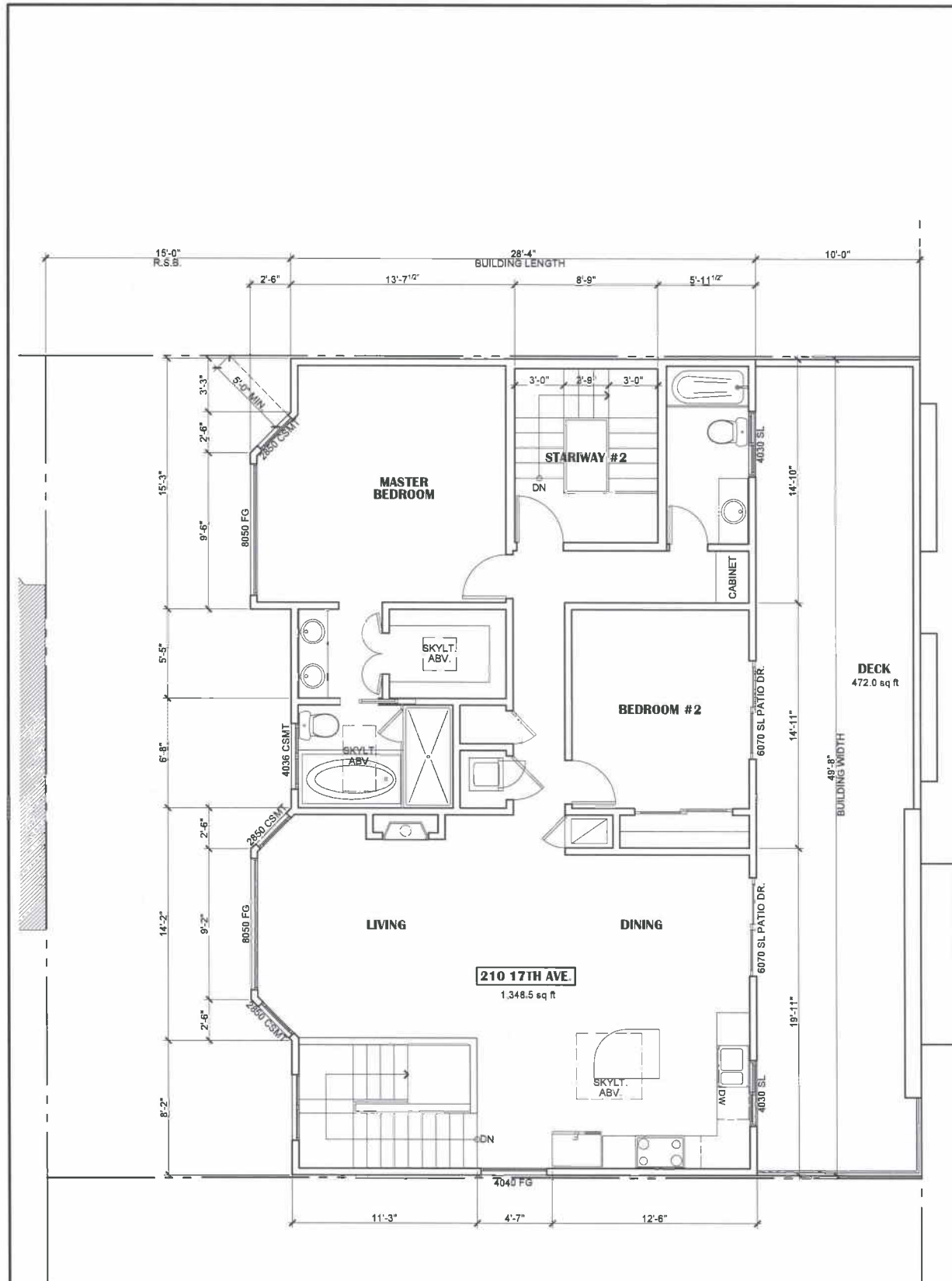
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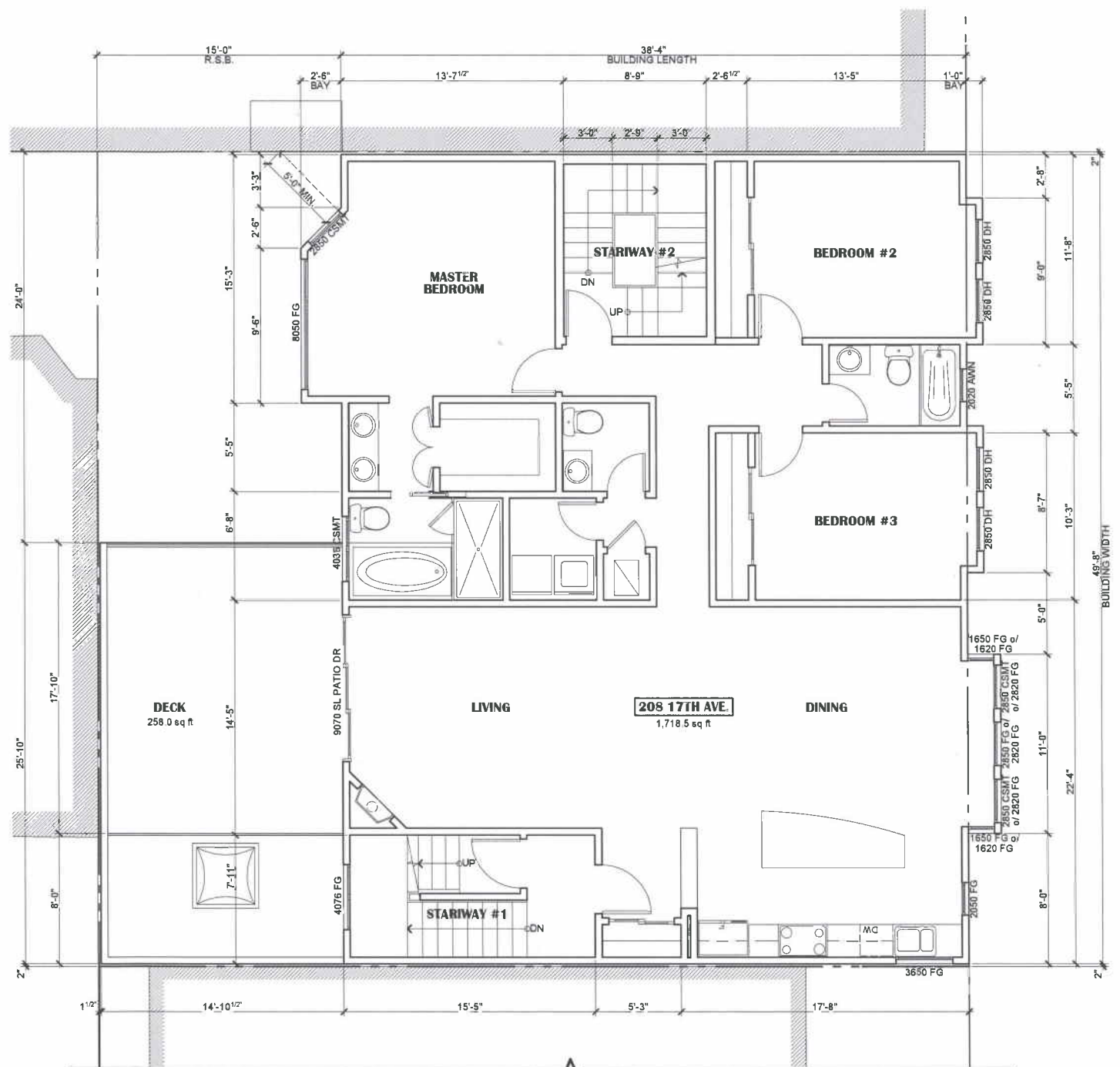
206-208-210 17TH AVE.  
 PROPOSED 3RD & 4TH FLOOR PLANS

Date 10/21/09  
 Scale AS NOTED  
 Drawn EC  
 Job 090804

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**A-7**  
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**4TH FLOOR PLAN**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



**3RD FLOOR PLAN**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"

REVISIONS	BY
4-28-10	EC
Rev. #4-ENTRY	EC
7-1-10	EC
Rev. #5-Add. Elev.	EC
8-11-10	EC
CL / V APPL.	EC
10-21-10	EC
Rev. #6-Pre-App	EC
1-12-11	EC
Per Sec. 145.1	EC
2-18-11	EC
Per 1st Hearing	EC

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**206-208-210 17TH AVE.  
 PROPOSED ELEVATIONS**

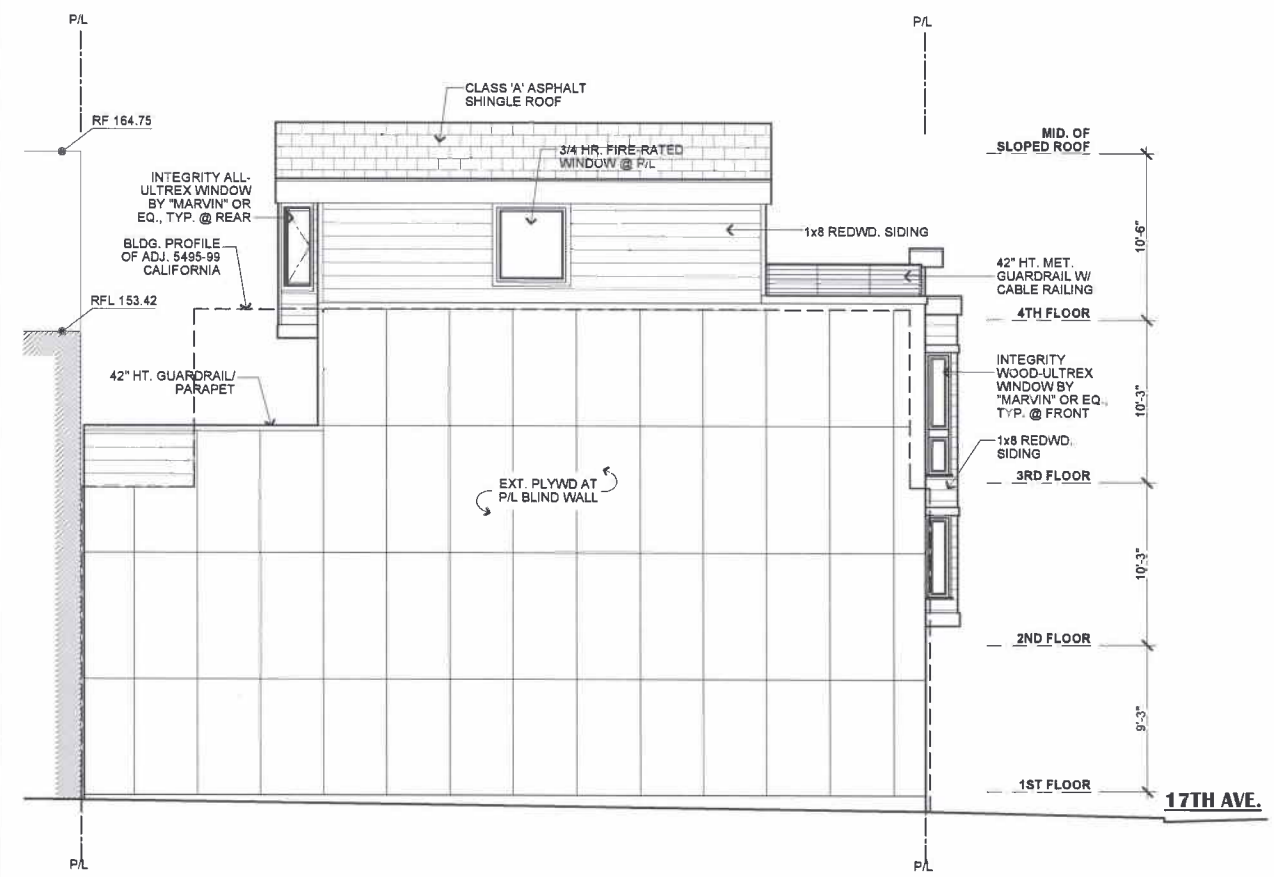
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 Drawn: EC  
 Job: 090804  
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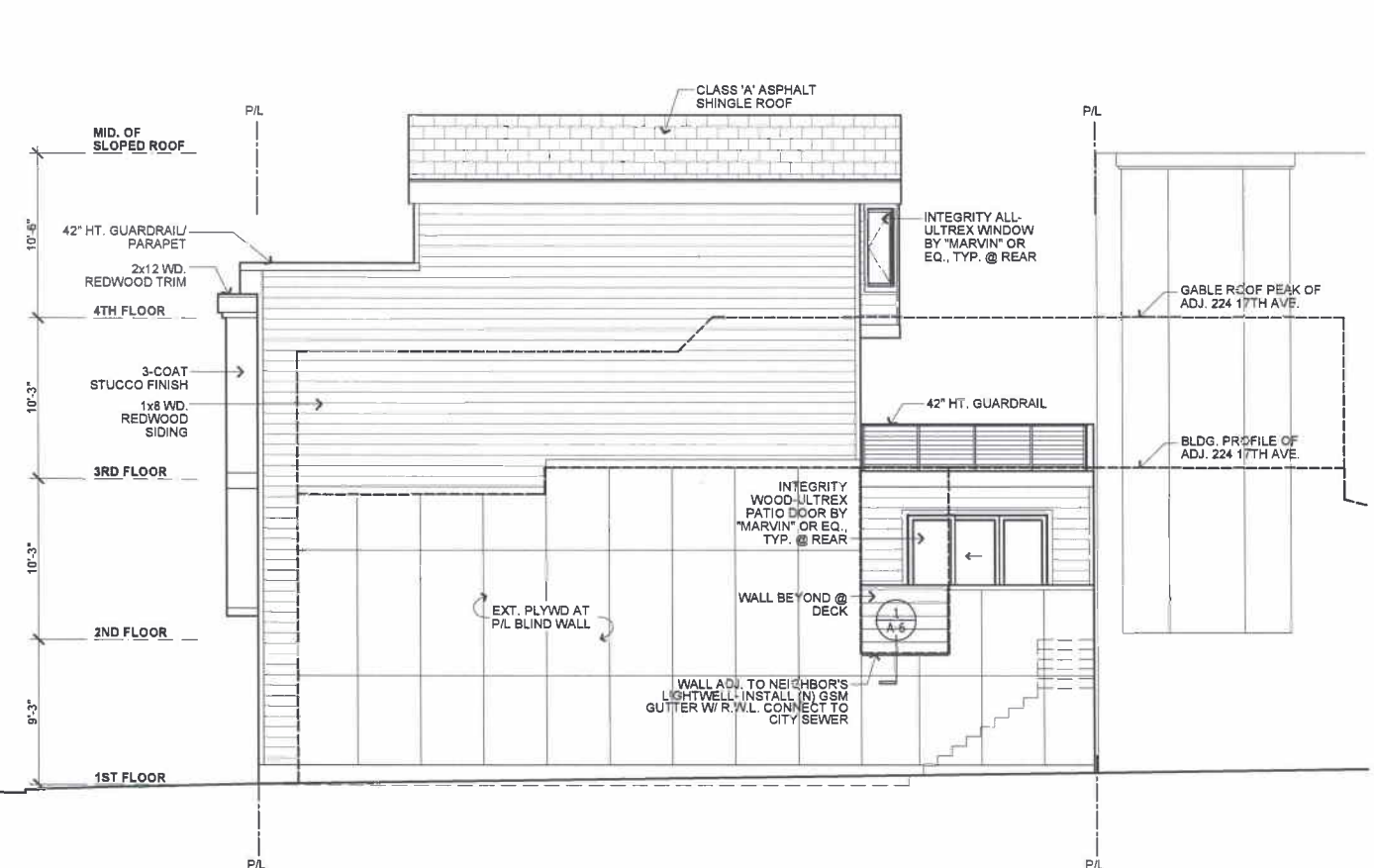
**REAR ELEVATION**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 3/16"= 1'-0"



**FRONT ELEVATION**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 3/16"= 1'-0"



**RIGHT ELEVATION**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 3/16"= 1'-0"



**LEFT ELEVATION**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 3/16"= 1'-0"

REVISIONS	BY
4-28-10	
Rev. #4- ENTRY	EC
7-1-10	
Rev. #5-Add. Elev.	EC
8-11-10	
CL / V APPL.	EC
10-21-10	
Rev. #6- Pro-App	EC
1-12-11	
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2-18-11	
Per 1st Hearing	EC



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**PROPOSED SECTION**

Date 10/21/09  
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**LONGITUDINAL SECTION**  
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"

**LEGEND**  
 [Solid line] EXISTING WALL TO REMAIN  
 [Dashed line] (N) WALL



EXISTING STREESCAPE ALONG CALIFORNIA ST.



EXISTING STREESCAPE ALONG 17TH AVE.





EXISTING STREESCAPE ACROSS 17TH AVE.



## EXISTING SITE PHOTOS

5499 CALIFORNIA ST./ 200, 206-208-210 17TH AVE., SAN FRANCISCO, CA 94118



EXISTING STREESCAPE AT CORNER OF CALIFORNIA ST. & 17TH AVENUE



STREESCAPE WITH PROPOSED BUILDINGS



EXISTING STREESCAPE AT CORNER OF CALIFORNIA ST. & 17TH AVENUE



STREESCAPE WITH PROPOSED BUILDINGS



PROPOSED BUILDINGS LOOKING FROM ACROSS CALIFORNIA ST.



PROPOSED BUILDING LOBBY



PROPOSED BUILDINGS LOOKING FROM ACROSS 17TH AVE.

