



# SAN FRANCISCO PLANNING DEPARTMENT

---

## Discretionary Review Abbreviated Analysis

HEARING DATE: NOVEMBER 15, 2012

*Date:* November 8, 2012  
*Case No.:* **2009.0035DD**  
*Project Address:* **481 JERSEY STREET**  
*Permit Application:* 2008.03.18.7426  
*Zoning:* RH-2([Residential House, Two-Family)  
40-X Height and Bulk District  
*Block/Lot:* 6539/029  
*Project Sponsor:* Bich-Khoi Do  
1025 Alameda, #401  
Belmont, CA 94002  
*Staff Contact:* Michael Smith – (415) 558.6322  
[michael.e.smith@sfgov.org](mailto:michael.e.smith@sfgov.org)  
*Recommendation:* **Do not take DR and approve as proposed**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The proposal is to construct a one-story vertical addition, a rear horizontal addition, infill the setbacks at the east side of the building, and alter the front façade of a single-family dwelling. The proposed building would be a two-story over garage, single-family dwelling with 4 bedrooms and 3.5 baths in 3,200 square-feet of living area.

### SITE DESCRIPTION AND PRESENT USE

The subject property is a mid-block lot located on the south side of the street between Castro and Diamond Streets in the Noe Valley neighborhood. The subject lot slopes up from the street and has a rectangular shape, measuring 25 feet in width and 114 feet in depth and 2,850 square-feet in area, and is located within a RH-2 (Residential, House, Two-Family) Zoning District and a 40-X Height and Bulk District.

The subject property is improved with a one-story over garage, single-family dwelling that was constructed circa 1879 and has two-bedrooms and one bath in approximately 1,140 square-feet according to Assessor's Records. There is an existing shed at the rear of the property.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

481 Jersey Street is located on a residential block that is defined by, single-family and multi-family, Victorian and Edwardian era dwellings that are two to three-stories in height. Most of the buildings have ground floor garage entrances. The Noe Valley branch of the San Francisco Public Library, City Landmark No. 259, is located six lots east of the subject property in the middle of the block. The block slopes up from east to west with most properties having a gentle lateral slope. The adjacent properties to the west are key lots that measure 90-feet in depth.

### BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	March 7, 2012- April 6, 2012	April 6, 2012	November 15, 2012	219 days

### HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	November 5, 2012	November 5, 2012	10 days
Mailed Notice	10 days	November 5, 2012	November 2, 2012	13 days

### PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)		X	
Other neighbors on the block or directly across the street			
Neighborhood groups			

Both adjacent neighbors requested Discretionary Review of the project.

### DR REQUESTOR

1. David Merkel and John Sadler, owners and occupants of 475 Jersey Street, the adjacent property to the east of the subject property.
2. Monique Mabey, owner and occupant of 485 Jersey Street, the adjacent property to the west of the subject property.

### DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Applications*.

### PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*.

### ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e)

Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

### **RESIDENTIAL DESIGN TEAM REVIEW**

The plans have been revised to accurately reflect existing conditions on the adjacent properties. The existing building extends to the side property line, blocking the adjacent neighbors front light well to the west. Although taller in height, the proposed vertical addition is appropriately set back from the side property lines to protect light and air to the DR requestor's front light well to the west and the DR requestor's front roof deck to the east. Furthermore, the proposed building would extend minimally deeper than the adjacent building to the west and would be only one-story in height above grade. The addition is set back five-feet from the east side property at the upper floor to respond to the shorter building to the east.

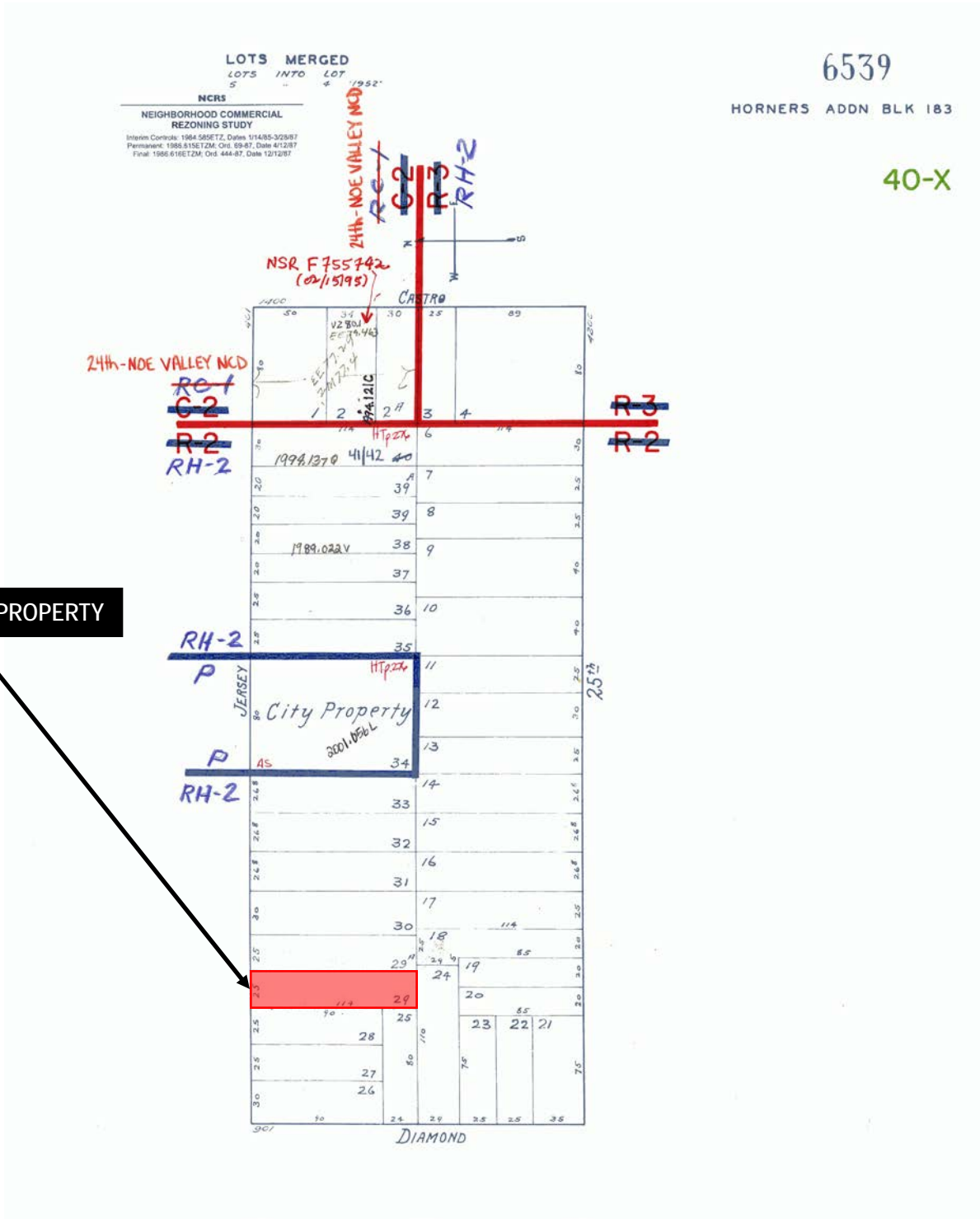
**Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.**

<b>RECOMMENDATION:</b>	<b>Do not take DR and approve project as proposed</b>
------------------------	---

**Attachments:**

- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- Context Photographs
- Section 311 Notice
- DR Applications
- Response to DR Applications
- Reduced Plans

# Parcel Map

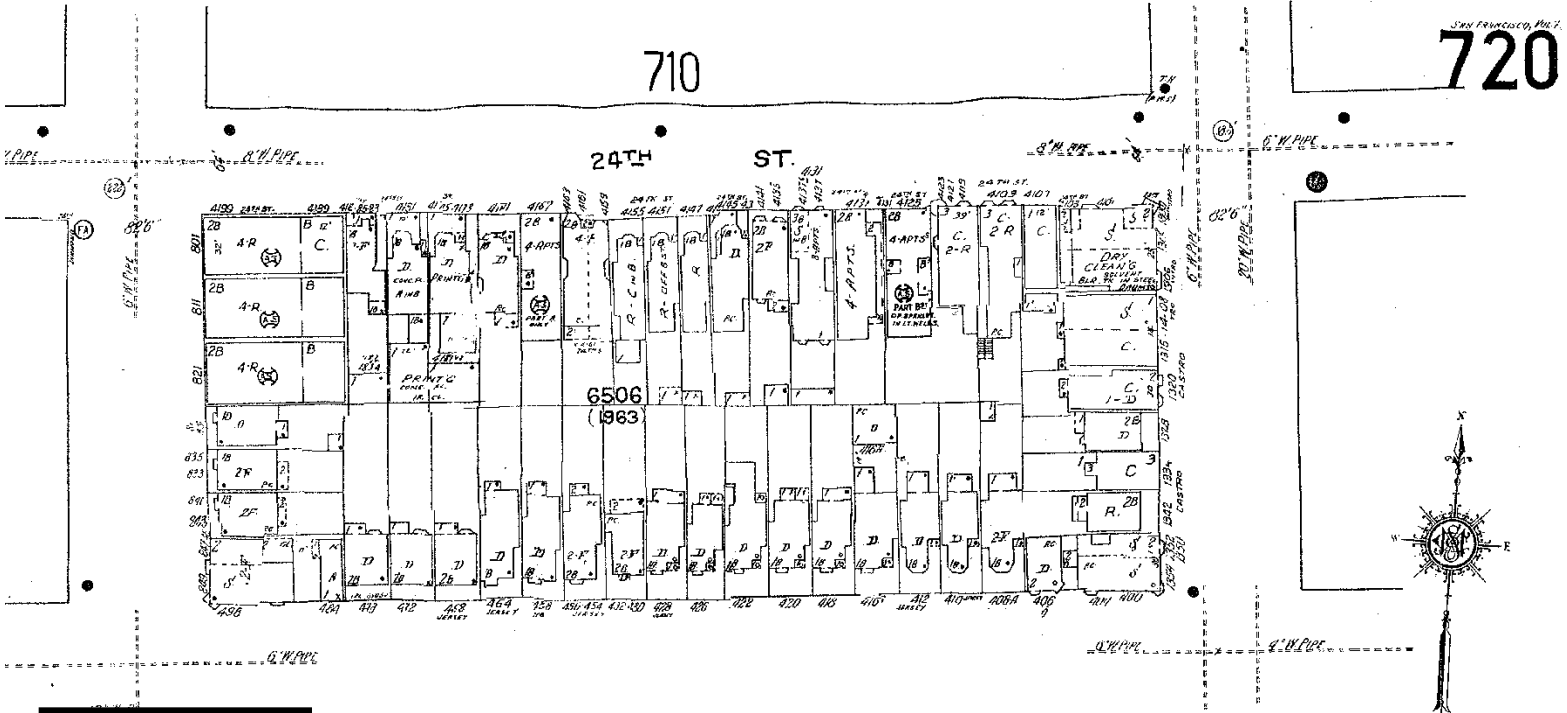


SUBJECT PROPERTY



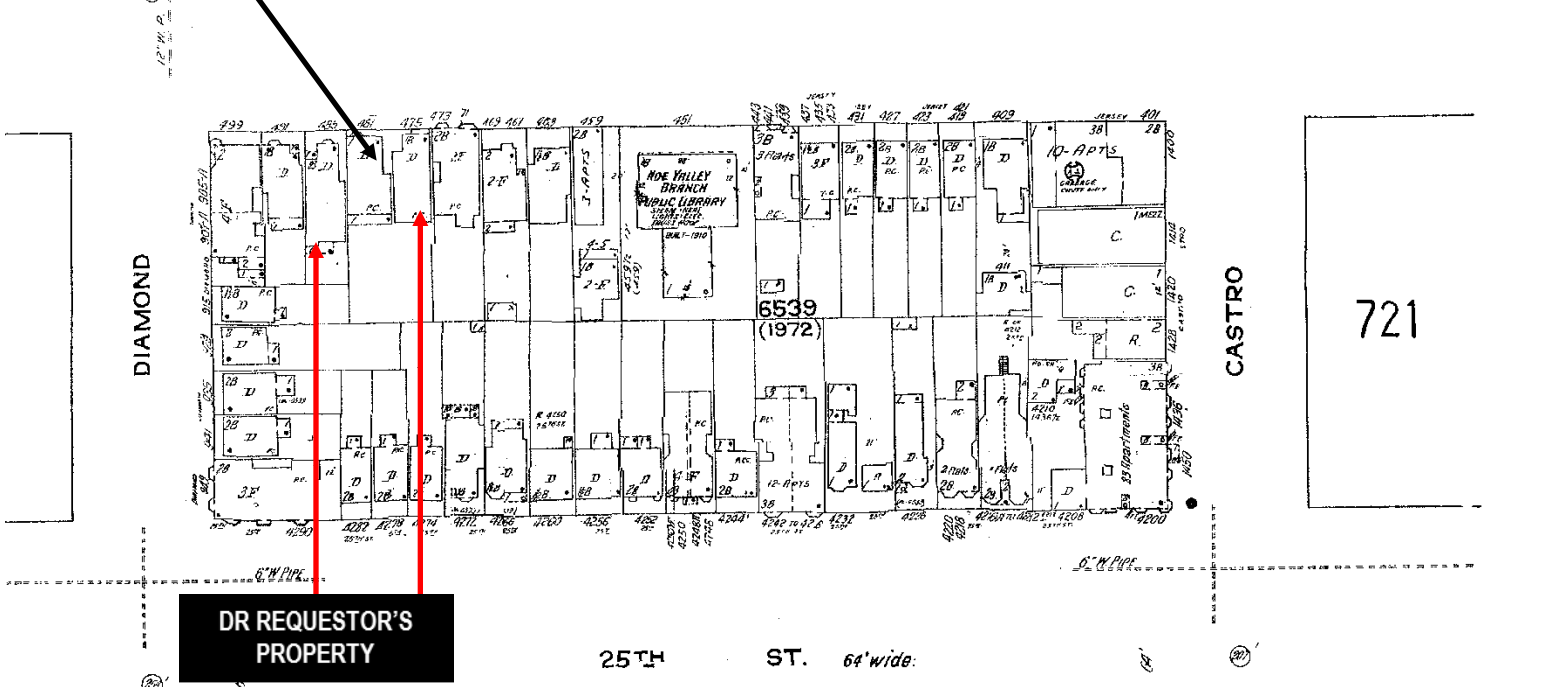
Discretionary Review Hearing  
 Case Number 2009.0035DD  
 481 Jersey Street

# Sanborn Map\*



**SUBJECT PROPERTY**

JERSEY 64' wide



**DR REQUESTOR'S PROPERTY**

25TH ST. 64' wide

\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing  
Case Number 2009.0035DD  
481 Jersey Street

# Aerial Photo



Discretionary Review Hearing  
Case Number 2009.0035DD  
481 Jersey Street

# Aerial Photo



Discretionary Review Hearing  
Case Number 2009.0035DD  
481 Jersey Street

# Aerial Photo



**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2009.0035DD  
481 Jersey Street





Front view of the subject property.





Above, DR requestor's adjacent property to the east. Below, DR requestor's property to the east.





Above rear view of DR requestor's building to the west. Below, rear view of subject building.



475 JERSEY REAR



485 JERSEY REAR



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On March 18, 2008, the Applicant named below filed Building Permit Application No. 2008.03.18.7426 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Bich-Khoi Do	Project Address:	481 Jersey Street
Address:	1025 Alameda, #401	Cross Streets:	between Castro and Diamond
City, State:	Belmont, CA 94002	Assessor's Block /Lot No.:	6539/029
Telephone:	(650) 281.4832	Zoning Districts:	RH-2 /40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE					
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION	or	<input checked="" type="checkbox"/> ALTERATION	
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS		<input checked="" type="checkbox"/> FACADE ALTERATION(S)	
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE)		<input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)	

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
FRONT SETBACK .....	6 feet .....	No Change
BUILDING DEPTH .....	50 feet, 6 inches .....	64 feet, 8 inches
REAR YARD .....	57 feet, 6 inches .....	43 feet, 4 inches
HEIGHT OF BUILDING(measured from curb to T.O.P.) .....	25 feet, 6 inches .....	31 feet
NUMBER OF STORIES .....	1 over garage .....	2 over garage
NUMBER OF DWELLING UNITS .....	1 .....	No Change
NUMBER OF OFF-STREET PARKING SPACES .....	1 .....	No Change

### PROJECT DESCRIPTION

The proposal is to construct a one-story vertical addition, a rear addition, infill the setbacks at the east side of the building, and alter the front facade. The new façade will have a modern vernacular with corten panels, stucco, and metal doors and windows. See attached plans.

PLANNER'S NAME: Michael Smith  
 PHONE NUMBER: (415) 558-6322  
 EMAIL: michael.e.smith@sfgov.org

DATE OF THIS NOTICE: 3-7-12  
 EXPIRATION DATE: 4-6-12

RECEIVED

APR 05 2008

Application for Discretionary Review

CASE NUMBER:  
For Staff Use only

# APPLICATION FOR Discretionary Review

copy

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: MONIQUE MABEY		
DR APPLICANT'S ADDRESS: 485 JERSEY ST.	ZIP CODE: 94114	TELEPHONE: (415) 533 1048
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: 481 Jersey LLC		
ADDRESS: 481 Jersey	ZIP CODE: 94114	TELEPHONE: (415) 999 6189
CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> F. JOSEPH BUTLER		
ADDRESS: 324 Chestnut Street	ZIP CODE: 94133	TELEPHONE: (415) 533 1048
E-MAIL ADDRESS:		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 481 JERSEY STREET		ZIP CODE: 94114
CROSS STREETS: <del>DIAMOND</del> DIAMOND / CASTRO		
ASSESSORS BLOCK/LOT: 6539 / 029	LOT DIMENSIONS: 25x114	LOT AREA (SQ FT): 2850
ZONING DISTRICT: RH-2	HEIGHT/BULK DISTRICT: 40x	

## 3. Project Description

Please check all that apply

Change of Use  Change of Hours  New Construction  Alterations  Demolition  Other

Additions to Building: Rear  Front  Height  Side Yard

Present or Previous Use: Single-family Residence

Proposed Use: same

Building Permit Application No. 2008.03.18.7426 Date Filed: 3/18/2008

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

*see attached*

---

---

---

---

# Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

see attached

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?



# Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: F. Joseph Butler, AIA

Date: 4/6/12

Print name, and indicate whether owner, or authorized agent:

F. JOSEPH BUTLER

Owner / Authorized Agent (circle one)

CASE NUMBER:  
For Staff Use only

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

**NOTES:**

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_

7426  
PA# 2008.03.18.481 Jersey Street Request for Discretionary Review

A4. The 2008 permit application was made by a different developer. The neighbors negotiated a last minute good neighbor gesture from that developer, a 15 foot setback from the original envelope of the proposed new third floor (See attached ten day Notice from the Planning Department). For two years there was no action on the permit, now a new developer has retracted that negotiated setback and proposed an even larger envelope than was previously submitted.

At a meeting in December 2011, we ASKED the new (present) owners to:

- eliminate parapets which represent 42" of wall height on our common property line, by using a two-hour rated roof assembly. While the plans show the parapets in only those locations where they want skylights, without a rated roof assembly DBI may require them all around the perimeter of the second (top) floor, and at each roof/terrace on the first floor, per the SFBC. ANSWER: NO
- Move the proposed skylights 5 feet in from the property line so that in conjunction with the rated roof assembly all of the proposed building's parapets can be eliminated. We thought we had a "yes" on this request from our meeting, but the drawings that were filed for the permit in December did not reflect it. ANSWER: NO
- match our light well/side yard setback on the front corner of their building, to the ground. Instead, they retained a 20 foot long 3' wide corridor alongside their garage. They explained that they needed to keep the existing wall their to avoid a demolition. ANSWER: NO.
- create a sun study to show the loss of light from their vertical addition, so that we might work with hard data to make corrections. ANSWER: NO.
- Restore the fifteen foot setback from the front wall of the existing house, at your proposed third floor. ANSWER: NO. They explained: our "Formula" requires three bedrooms and two baths on the top floor. Period.
- setback the side wall of their building from our common property line, at

the rear yard where it extends deeper than our home. ANSWER: NO, our "Formula" requires an unarticulated rectangular form, we will not.

- provide us with the file of their drafting program for their building so that the 3D model that WE have undertaken, can be more accurately and quickly modeled. ANSWER: NO. But you can pay our architect to make your models!

- In fact the current 311 drawings, WHICH INCLUDE NO CONCESSIONS FROM THE PLANS FIRST SHOWN TO THE NEIGHBORS, now include a new element on our common property line. Where the front bedroom terrace sets back at the top floor, a Corten steel louver system was **added**, that will further block ambient and direct sunlight to the Living Room and Parlor of my home.

**B1.** The home that has been mine for twenty years is an intact Victorian, on a street with many other buildings which retain their historic integrity. Our North facing living room faces onto the Street and the large mature street tree in front of my property. To the east of the Living room is a four foot side Yard setback, on my property which provides direct eastern sunlight 12 months of the year, into the Living Room and parlor windows.

The two sided exposure affords light and the opportunity for cross ventilation. Both buildings presently are one story over garage, with a gable roof so their eave and mine are now about the same height.

The proposed alteration is in fact a demolition. All of the front and rear walls are new, and a portion of the east facade is also to be demolished. That is more than 50% of the exterior walls.

The Residential Design Guidelines ask that new buildings/alterations respect historic buildings next door. The Guidelines suggest matching light wells, they suggest that vertical additions be set back from the front wall of the building, instead this 311 proposal has gone backwards from the envelope previously negotiated. Getting the concession of the top floor setback was our one prize from the earlier negotiation, now that has been retracted. How is that the good faith urged by the Department?

The facades of the proposed building are to sport metal windows and

“rusted” Corten steel panels. This block contains a large number of historic resources including two Here Today buildings, one is the City’s recently renovated Noe Valley Branch Library. These proposed materials and their block like like form are exceptional to the block, inconsistent with neighborhood character, and typify the architectural statement that is this developer’s “Formula”.

We think it is exceptional and extraordinary that a developer’s “formula” for their own success, can trump consistency with neighborhood character, and diminish the light to a historic resource which is our home. We think it is exceptional and extraordinary that a developer who negotiates with neighbors, can sell the home with its permit application, and the new developer is not bound by the previous concessions made to neighbors.

The General Plan and Priority Policies ask that neighborhood character be maintained and that historic buildings be conserved and protected.

**B2.** The loss of light to our home and that of our neighbors at 475, without some mitigations through this process will decrease the livability and value of my home. We should not have to resort to a vertical addition of our own to get our sunlight back. The sun studies we are producing show 2 plus months each year when NO direct sunlight will come into my Living Room and Parlor.

The character of the neighborhood should not suffer from the formula of a Peninsula developer whose rigidity not only precludes negotiation but makes matters worse.

**B3.** We would like the developer to:

- restore the previously negotiated 15 foot setback from the existing front wall at the third floor. The fourth bedroom of their “formula” can fit next to the ground floor bedroom.
- eliminate the 20 foot long corridor alongside their garage and make it a side yard setback to match the length of ours, if not the width. Ours side yard is four feet, three would be enough next door. This would allow the Living room and dining rooms proposed to have light from two sides. This

articulation at the front of the home would make it typical of the Victorian development on this block, and would eliminate only 40 square feet of habitable space!

- reduce the proposed depth of the rear wall of the first floor to 1 foot deeper than my home; We cannot tell you how far back that is from the rear wall as proposed, as the 311 drawings do not show the adjacent buildings in plan. This reduction to the first floor would preserve the access to the well defined mid block open space that homes on this block all share.
- move the skylights and provide a two-hour rated roof assembly to reduce the height of the vertical addition by 3'-6".

Our digital three dimensional models are in development, we will share the data with the Department and the developer. According to paperwork in the file, the RDT Review of this proposal was in September 2010. There was no mention of any of the Residential Design Guidelines considerations when working next to a historic resource, were those considered? There is no environmental review of the new envelope.

New developer, new envelope (longer), new environmental, the RDT should take a second look at this proposal, which they saw after the 15 foot setback had been conceded. We feel those proposed changes should demand a new review, if not a new permit application.

This is my second Discretionary Review Request of this permit application! Having gone through this process once already, it seems like double jeopardy to have to endure it again. Neighbors who negotiated in good faith and are now losing their concession, and are to be shaded by a deeper building into the rear yard than was previously proposed, is not the way that Planning Department literature describes the good faith negotiation process.

Finally, I have resided in this neighborhood for 20 years. I have been a respectful neighbor, and a member of the Friends of Noe Valley, the Victorian Alliance, and our local museums. I fully support the right of the developers to improve a property, and profit by it. However, to do so at the expense of long term residents, for whom developers concede nothing from their "formula", is an abuse of at least the language that describes how this process is supposed to work.

09.0035D

# APPLICATION FOR Discretionary Review Application

RECEIVED

## 1. Owner/Applicant Information

**DR APPLICANT'S NAME:**

David Merkel and John Sadler

APR 06 2012  
CITY & COUNTY OF SAN FRANCISCO

**DR APPLICANT'S ADDRESS:**

475 Jersey Street San Francisco, CA

**ZIP CODE:**

94114

**TELEPHONE:**

(415) 824 - 2391

**PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE**

**REQUESTING DISCRETIONARY REVIEW NAME:**

Henry Karnilowicz—permit

expediter for out of town developers/owners Bich-Khoi Do and Irene Velasquez

**ADDRESS:**

1019 Howard Street San Francisco, CA

**ZIP CODE:**

94103

**TELEPHONE:**

415-621-7533

**CONTACT FOR DR APPLICATION:**

David Merkel and John Sadler

**ADDRESS:**

475 Jersey Street San Francisco, CA

**ZIP CODE:**

94114

**TELEPHONE:**

(415) 824 - 2391

**E-MAIL ADDRESS:**

sadlemerk@aol.com

## 2. Location and Classification

**STREET ADDRESS OF PROJECT:**

481 Jersey Street San Francisco, CA

**ZIP CODE:**

94114

**CROSS STREETS:** Jersey Street between Diamond and Castro Streets

**ASSESSORS BLOCK/LOT: | LOT DIMENSIONS: | LOT AREA: | ZONING DISTRICT: |**

**HEIGHT/BULK DISTRICT:**

6539/029

25 X 114

2848 sq ft RH-2

40 - X

## 3. Project Description

*Please check all that apply*

Change of Use  Change of Hours  New Construction  Alteration  Demolition  Other

**Additions to Building:** Rear  Front  Height  Side Yard

Present or Previous Use: Residential

09.00350

Proposed Use: Residential

Building Permit App. No.: 2011.0721.0719 – Filed: 7/21/2011  
2008.0318.7426 – Filed: 3/18/2008

#### 4. Actions Prior to a Discretionary Review Request

<b>Prior Action</b>	<b>YES</b>	<b>NO</b>
Have you discussed this project with the permit applicant?	X	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	X	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	X

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

The Project Neighbors (David Merkel and John Sadler) requested that the owners of the Subject Property owners Bich-Khoi Do and Irene Velasquez meet with them to discuss the proposed project and its impacts so that a DR filing might be avoided and the parties might reach a mutually agreeable solution. The Subject Property Owners refused to make any changes of substance and refused to provide plans to address our concerns re: downsizing project such as set back in front, no parapet, lower ceilings, plans showing our setbacks, doors (basically how our house was in relation to theirs).

Move washer/dryer room away from our west wall window in the family room. **Discretionary Review Request**

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City’s General Plan or the Planning Code’s Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

On March 18, 2008, the former owners of 481 Jersey Street filed permit no. 2008.0318.7426 to undertake an extensive construction project on their property located at 481 Jersey Street in the Castro neighborhood of San Francisco. The project (“Project”) involved both horizontal and vertical additions. At the basement floor, the project sponsors proposed adding a bathroom, media room, and a bedroom to the structure. At the first floor, they intended to remove and relocate the kitchen within the home. At the second floor, three new bedrooms and three new bathrooms were to be added to the building.

No work was ever completed pursuant to this permit. The time allowed to complete all work authorized by building permit for property valued at \$100,001 - \$1,499,999 is 1,080 days.



On July 21, 2011, the previous owner filed building permit no. 2011.0721.0719 proposing to install new countertops and add two GFI (ground fault interrupt) outlets in the kitchen. The permit application also included alterations to a bathroom comprised of retiling the room and replacing the shower valve. By September 16, 2011, the construction was complete and Project Sponsors obtained a Final Inspection approval. The home, newly remodeled, was sold to the current owners who immediately set about the major alteration now being considered.

The plans and the proposal DO NOT meet the minimum standards of the Planning Code and do not comply with the Residential Design Guidelines. The plans as mailed to the neighborhood under the Planning Code 311 notification do not comply with Section 311. The plans fail to show openings, windows and doors on neighboring buildings and in particular fail to show our second floor west side deck, windows and doors which will all be blocked from direct light by the proposal. Planning Code Section 311 (c) 5 (H) states:

**“(H) The existing and proposed elevations shall document the change in building volume: height and depth.** Dimensional changes shall be documented, including overall building height and also parapets, penthouses and other proposed vertical and horizontal building extensions. The front and rear elevations shall include the full profiles of the adjacent structures including the adjacent structures' doors, windows and general massing. Each side elevation shall include the full profile of the adjacent building in the foreground of the project, and the adjacent windows, light wells and general massing shall be illustrated.”

In this instance, the “existing” elevations do not show the adjacent buildings at all and the proposed elevations show an outline of the adjacent buildings but do not show the doors, opening, setbacks, skylights, decks or any other features of the adjacent buildings. When we brought this to the attention of the planner assigned to the case, he said he did not have time to deal with our objections and we would have to file a request for discretionary review. This seems a terrible waste of money and time just to require the developers to comply with the basic mandates of the Planning Code, but we were given no choice.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

The impacts in this case are completely *unreasonable* because, as set forth above, the opening, setbacks, etc, on our building are not depicted on the plans, therefore, no “good neighbor gestures” or accommodations of any kind are made for our building. We rely on the openings on the west side of our building to acquire light for our home. Our west side setback, deck and skylight are the only source of light to that side of the building. This is typical of most homes in San Francisco, and it is completely unreasonable and a violation of the Planning Code and the mandatory Residential Design Guidelines to allow drawings which do not comply with the Code to be disseminated to the neighborhood and to ignore our building in the planning of the new large addition.

09.00350

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

No changes or alternatives have been considered; the Applicants refused to meet or discuss alternatives. We would like to have the front façade of the new floor addition setback from the street at least 10-15 feet since the developers are filling in the side light well and setback on the northeast corner of the building. All setbacks and windows should be accommodated with matching setback and the overall height of the addition should be reduced to allow more light to adjacent homes and to better match the existing neighborhood.

The city-wide Residential Design Guidelines similarly provide at pages 16 & 17 the following statements:

**“Light**

In areas with a dense building pattern, some reduction of light to neighboring buildings can be expected with a building expansion. However, there may be situations where a proposed project will have a greater impact on neighboring buildings. In these situations, the following design modifications can minimize impacts on light; other modifications may also be appropriate depending on the circumstances of a particular project:

- Provide setbacks on the upper floors of the building.
- Include a sloped roof form in the design.
- Provide shared light wells to provide more light to both properties.
- Incorporate open railings on decks and stairs.
- Eliminate the need for parapet walls by using a fire rated roof

The Project as proposed does not comply with the Planning Code or the General Plan:

**Planning Code Section 101 states that one of the purposes of the Planning Code is to provide adequate light, air, privacy and convenience of access to property in San Francisco.”**

This project does nothing to attempt to ameliorate the negative impacts of the large proposed addition as required by the Code.

The project also appears to be a complete demolition of this home.

09.00350

**Applicant's Affidavit**

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

*David Merkel*

Signature: *John Sadler*  
David Merkel & John Sadler

Date: April 6, 2012

Print name, and indicate whether owner, or authorized agent:

\_\_\_\_\_  
Owner / Authorized Agent

09.00350

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and signed by the applicant or authorized agent.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	X
Address labels (original), if applicable	X
Address labels (copy of the above), if applicable	X
Photocopy of this completed application	X
Photographs that illustrate your concerns	X
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	X
Letter of authorization for agent	
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

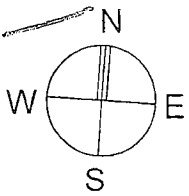
NOTES:

- Required Material.
- Optional Material.
- Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only  
Application received by Planning Department:

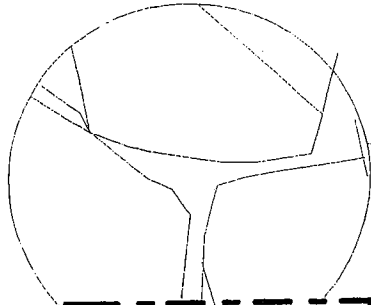
By: \_\_\_\_\_ Date: \_\_\_\_\_

09.0035D



JERSEY STREET

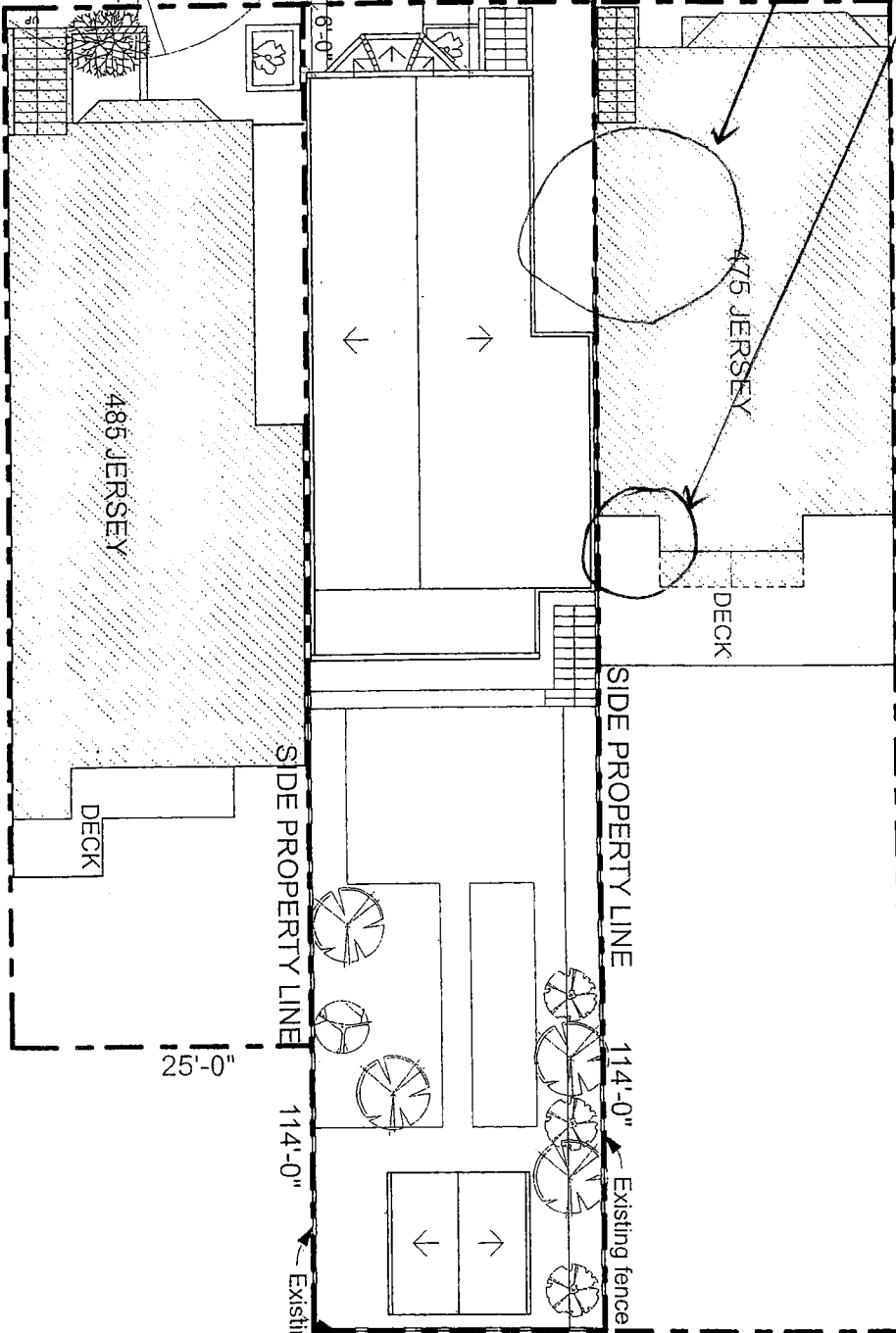
Decks, Setbacks, Windows and Skylights are not shown on the site plan or the elevations



DRIVEWAY (E)

(E) SIDEWALK

FRONT PROPERTY LINE



SIDE PROPERTY LINE

SIDE PROPERTY LINE

BACK PROPERTY LINE

25'-0"

114'-0"

114'-0"

25'-0"

25'-0"

Existing fence

Existing fence

2

Existing Site Plan

1

To see all the details that are visible on the screen, use the "Print" link next to the map.

# Google

09.0035D



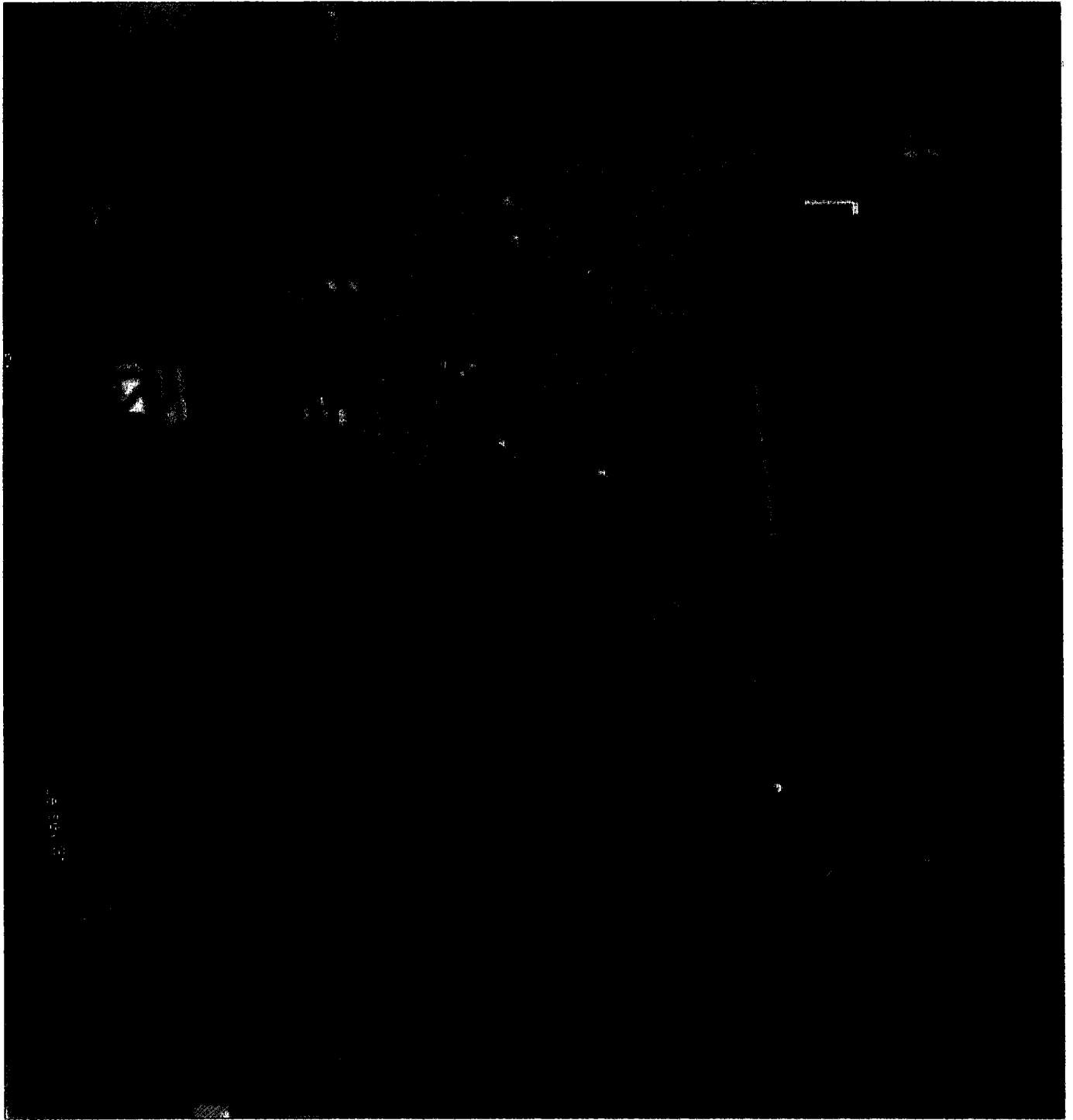
The Project fills in the light well and ignores the neighbors' windows and deck.

Google

09.0035D

To see all the details that are visible on the screen, use the "Print" link next to the map.

The Project Plans do not show the neighbors' deck, door, windows or skylight and do not provide any setbacks or other accommodations.



Albany  
Atlanta  
Brussels  
Denver  
Los Angeles  
New York

# McKenna Long & Aldridge<sup>LLP</sup>

121 Spear Street • Suite 200  
San Francisco, CA 94105  
Tel: 415.356.4600  
mckennalong.com

Orange County  
Rancho Santa Fe  
San Diego  
San Francisco  
Washington, DC

November 5, 2012

**FILE**

Mr. Rodney Fong  
President, Planning Commission  
Planning Department  
1650 Mission Street, Fourth Floor  
San Francisco, CA 94103

SUBJECT: 481 Jersey Street, San Francisco  
Opposition to Discretionary Review Request

Dear Commissioner Fong:

On September 27, 2011, 481 Jersey LLC ("Project Sponsor") purchased the property located at 481 Jersey Street, San Francisco ("Site"). The sale included the plans for building permit application No. 200803187426 to renovate an existing single family home submitted by the previous owner in March of 2008. A discretionary review ("DR") was filed by Monique Mabey, the neighbor to the west at 485 Jersey in 2009. After reviewing the previous project plans, the project sponsor submitted revised plans ("Project").

The Project includes interior renovation, addition of a second story, extending the depth of the building, a façade design change, adding light wells and/or side set backs to mirror the neighbor's light wells and set backs, and aligning the front façade of the new second-story with the existing façade plane below. See the case report for the Project plans.

Due to the change in building envelope from the previous project, the Project required new Section 311 notifications. David Merkel and John Sadler (collectively "Merkel"), the neighbors to the east at 475 Jersey Street, requested a discretionary review ("DR") on April 6, 2012, and Monique Mabey ("Mabey") updated her March 2008 DR request. On November 15, the Planning Commission ("Commission") will conduct a public hearing on these discretionary reviews.

The DR requests are without merit. No exceptional or extraordinary circumstance exists to support these DR requests. Therefore, the DR requests should be denied.

## SITE INFORMATION

The Site, located at 481 Jersey Street,<sup>1</sup> is 25' x 114' and improved with a 2,192 gsf single-family home, and is in an RH-2 Zoning District and a 40-X height and bulk District. The Site slopes

---

<sup>1</sup> The Site is on the south side of Jersey Street between Diamond and Castro Streets.



Commissioner Rodney Fong  
481 Jersey Street, San Francisco, CA  
Page 2 of 10

up hill with a difference of 14' to 15' between the front and the rear property lines and approximately 10" difference between the east and the west property line. A copy of the topographic survey by Langford Land Surveying is attached hereto as **Exhibit 1**.

The existing 50'-4" deep single-family home is one-story over a basement garage that is set back approximately 4'-2" from the front property line, which is accessed by a drive way on the west side of the lot. A small landscaped area separates the drive way from the stairs accessing the front entrance to the house. The side set back adjacent to the entrance stairs is enclosed by a security fence and gate. The 59'-6" landscaped rear yard that slopes uphill and has a small, one-story, gable-roofed shed/playroom in "the rear yard. See aerial photographs, photographs of the site and site vicinity attached to the case report. Block face photographs are attached hereto as **Exhibit 2**.

### **PROJECT DESCRIPTION**

The Project includes:

1. Extension of the existing basement and first floor approximately 16'-2" and 12'-2" respectively to the rear, a guest bedroom, a study/play room/recreation room, interior renovation and structurally upgrade the foundation. The rear addition will extend 3'-3" into the required rear yard, which is a permissible intrusion under Planning Code section 136(c)(25)(A) and (B)(i), leaving a 47'-4" rear yard;
2. Add a 61'-9" deep second floor containing a master bedroom suite with bath, two bedrooms, and one bathroom. The front façade will be altered to include a two-story bay window.
3. The new second floor will be set back 4'-7" on the east side (adjacent to the Merkel property) to a depth of 14'-3 1/2", and a side set back on the west side (adjacent to the Mabey property) that is 6'-1 1/2" wide to a depth of approximately 15.5' and 3'-0" wide for an additional 15'+ in a southerly direction. At the rear, there is a 5' x 18'-7" side set back on the east side adjacent to the Merkel's property.
4. Provide private usable open space (decks and rear yard) in excess of the Planning Code.

See plans, elevations and section attached to the Case Report. Photomontages of the Project are attached hereto and collectively referred to as **Exhibit 3**.

### **PROJECT HISTORY**

Permit application No. 200803187426 was submitted by Henry Karnilowicz, the previous owner, who proposed a vertical and horizontal project in March, 2008. The previous project was

similar to the proposed project that included expanding the basement to include expanded uninhabitable space and new habitable space (a bedroom and study), extensive renovation of the ground floor and addition of the second floor with three bedrooms and three baths. Karnilowicz made revisions to address the neighbors' concerns. Section 311 notifications were mailed to the neighbors on December 11, 2008. Mabey filed a discretionary review on January 13, 2009 listing objections similar to those asserted against the current proposed project. After Mabey filed the discretionary review, Karnilowicz continued to work with the neighbors to modify the project. Karnilowicz revised the project a total of five times to address the neighbor's concerns. As a result, a new 10-day 311 notification was sent to the neighbors on April 9, 2010 for that revised project.

Due to the economic down turn in 2008, Karnilowicz was unable to obtain financing for the project. On July 21, 2011, Karnilowicz filed Permit Application No. 201107210719 and was issued a permit to install new kitchen counter top, bathroom renovation and other minor pairs. However, Karnilowicz never withdrew the 2008 permit application to expand the building horizontally and vertically. Karnilowicz sold the property along with the plans to expand the existing home to the project sponsor in September, 2011. See **Exhibit 4** for copies of the Karnilowicz's proposed second floor (Sheet A1.2) and roof plans (Sheet A1.3).

### **CONSULTATION WITH NEIGHBORS**

The project sponsors have met with the DR Applicants numerous times to discuss modification to the project. As can be seen in the chronology of contacts below, consultation with the neighbors began before they purchased the property.

- 8/24/11 Met with the DR Applicants at their homes to discuss their concerns with the plans submitted more than a month before the project sponsor purchased the property by the previous owner. The DR Applicants informed the project sponsor that they are not satisfied with the plans by the previous owner and articulated their concerns as light and air access to their windows and decks, and privacy.
- 10/27/11 Reviewed plans with Mabey's architect, who thought the plans are acceptable and would review them with Mabey.
- 11/3/11 Request from Mabey's architect that story poles be installed and to reduce the depth of the first door at the rear, which extended 12' into the rear yard .
- 11/14/11 Installed story poles per Mabey's request and revised plans were sent to Mabey's architect, who suggested that the parapets be removed from the roof and to reduce the ceiling of the front bedroom on the second floor addition. The revised plan showed that the first floor would only expand 8' into the allowable rear yard intrusion area.

- 11/16/11 Request by Mabey's architect to shift the front portion of the new second floor to the east to provide more distance between the project and Mabey's building which would impact Merkel's home.
- 11/21/11 Met with Merkel to review plans. Merkel requested a 5' side set back next to their front and rear deck.
- 12/12/11 Met with Joseph Butler, the new architect for the Mabey, who requested a 3' light well starting at the basement level on the Mabey's side. Butler also requested minor changes on the plans to show the neighbors' windows and requested the washer/dryer be located at the front of the building, not the rear.
- 12/20/11 Explained to Butler that the washer/dryer cannot be moved forward because moving the massing forward would block Merkel's front deck and requested that the DR requestors select one of the revisions presented.
- 12/29/11 Informed by Butler that the neighbors still had not come to a decision on the various floor plan options presented and asked for additional information. The project sponsor informed the DR Applicants that plans would be submitted for 311 notification.
- 1/24/12 Mailed the 311 notification plans submitted to Planning Department to Butler and Mabey via e-mail with request to comment. Merkel did not wish to communicate via e-mail and would wait for their 311 notification plan from the Planning Department.
- 2/23/12 Request for CAD files by Butler.
- 3/7/12 Met with the neighbor at 491 Jersey requested to review the plans. After reviewing the plans, he supports the project and offered to mediate issues with other neighbors.
- 3/20/12 Met with Merkel to discuss their concerns, including moving the washer/dryer, reducing the height of the parapet walls and lowering the ceiling height of the front bedroom to 8', and a preference that the front bedroom be eliminated entirely. Also requested another set story poles be erected.
- 3/21/12 Informed by Mabey and Butler that they were not available. Butler stated that they were working on models and would send proposals when ready. Butler also did not responded to Project Sponsors request for alternative dates to meet.
- 3/25/12 Installed second set of story poles per Merkel's request.

Commissioner Rodney Fong  
481 Jersey Street, San Francisco, CA  
Page 5 of 10

- 3/30/12      Contacted Mark Walters and Vanessa Lambright to discuss their concern about façade design after learning.
- 10/18/12     Met with Mabey and Butler to discuss the project. Subsequent to this meeting, the parties exchanged e-mails regarding Butler's revised building envelope.
- 10/29/12     Met with DR Applicants and their attorney or architect and Michael Smith, the planner for the project at the Planning Department to discuss feasibility of reaching an agreeable compromised design.
- 11/1/12      Forwarded revised plans responding to discussion at Planning Department.

#### **ISSUES RAISED BY DR**

Merkel contends that the proposed project:

1. Does not comply with the applicable Planning Code provisions in that the 311 notification plans failed to fully comply with the section 311 requirements. Specifically, the plans failed to disclose the locations of the windows of the adjacent buildings and Merkel's front and rear decks;
2. Does not comply with the Residential Design Guidelines, including failure to comply with "good neighbor";
3. Affects the light and air access of Merkel's building by failing to provide matching setbacks on the new floor, to use open railings on decks and stairs, to eliminate roof parapets and to use a sloping roof;
4. Fails to comply with the Planning Code Section 101 and the General plan requiring the project to provide adequate light, air, privacy and convenience of access to the property in San Francisco; and
5. Is a demolition of the existing structure.

Mabey alleges that the proposed project:

1. Is a demolition and not an alteration;

2. Violates the Residential Design Guidelines because the front façade of the proposed project is not compatible with the historic buildings in the neighborhood and the third floor is not set back 15' from the existing façade; and
3. Will adversely affect the sunlight access to Mabey's living room and parlor.

### **RESPONSES TO ISSUES RAISE BY DR APPLICANTS**

1. ***The proposed project complies with the applicable Planning Code provisions***

It is true that the plans submitted by the contractor for Kamilowicz failed to show the outline of the neighbors building. It is also true that the project sponsor's first Architect failed to show the locations of the windows of the adjacent buildings. When the project sponsor discovered that their architect failed to comply with the Section 311 requirements, he was dismissed and the project sponsor engaged the service of the current project architect who corrected the plans. The plans before this Commission comply with all applicable provisions of the Planning Code, and relevant dimensions are included on the plans.

More importantly, the DR Applicants fully understood the relationship of the proposed building to their buildings and windows facing the proposed project because the alleged adverse impact of the proposed project on their windows and decks has been the focus of their discussion with the project sponsor and in their DR request and because story poles were erected. Therefore, the failure of the Section 311 plans to comply with all the technical requirements set forth in Section 311 of the Planning Code, which error has been corrected, was a harmless error. More importantly, the perceived impacts were discussed by all parties and adequately addressed by the project sponsor.

2. ***The proposed project complies with the residential design guidelines and "good neighbor" design features have been incorporated as part of the project to minimize impact on the Markel and Mabey's properties;***

The project sponsor agrees with your staff's analysis that the project complies with the Residential Design Guidelines. The project sponsor has incorporated the following "good neighbor" design features by sculpting the massing of the new floor as follows:

- Establish a project height and project depth similar to Mabey's building;
- Provide an approximately 30.5' deep side set back varying from 3' to 6'-1 ½" matching the Mabey's side set back at the front of the new second floor;

- Create a light well the first floor to bring additional light to the Mabey's north facing window facing the side set back;
  - Decline Mabey's request to extend a matching 31'+ deep side set back down to the sidewalk level because Mabey's ground floor is a garage with no windows facing the side set back and would require demolition of additional existing wall along the west property line;
  - Provide a 4'-7" by 14' deep west front side set back that matches Merkel's west facing front deck to ensure light and air access to Merkel's windows facing his front deck;
  - Provide a 5' wide by 19' deep side set back on the east side that extend to within 2' of market's rear façade to maximize the sunlight access to Merkel's deck off the attic;
  - Eliminated the decks in the front set back areas to ensure the privacy of the Merkel and Mabey's buildings;
  - Lower the ceiling height of the front bedroom to 8';
  - Lower the first floor height from 12' to 10';
  - Except for roof parapet required by the Building Code around the skylights next to the property line, replace the 42" high roof parapet with a 8" high maximum curb around the roof.
  - Reduce the depth of rear extension into the rear yard on the first floor from the initial proposed depth of 12' to 3'-3" to address Mabey's concerns.<sup>2</sup>
  - Revised the façade design to eliminate the rain screen above the 42" parapet on both side of the bay window.
3. ***The proposed project will not adversely affect the light and air access to Markel's and Mabey's buildings.***

---

<sup>2</sup> At the meeting, Mabey's architect suggested that the extension in the rear be reduced to 1'.

The massing of the new second floor with generous front and rear side set backs ensures that the light and air access to the Merkel's west facing windows, and Mabey's second floor east facing windows will continue to receive adequate light and air.

Mabey's request for a matching side set back along the common property line has been incorporated into the design, albeit it does not reach the ground adjacent to Merkel's garage. Similarly, Merkel's request for a matching front set back for his west facing terrace is part of the proposed project design. However, the project sponsor declined Merkel's suggestion to set back the entire new floor because it would eliminate the third bedroom on the new second floor. See Exhibit 3 for a copy of the photomontage.

The project is designed for families with children with three bedrooms on the same floor.<sup>3</sup> The front and rear side set backs constrain the width of the third floor leaving insufficient wide for two bedrooms side by side. The project balances Mabey and Merkel's desire to preserve the light and air access with the architectural program requirements of the project sponsor. Therefore the project will not adversely affect the light and air access to the homes of the DR Applicants.

**4. *The Proposed project comply with the purposes of the Planning Code (Section 101) and the General plan***

Section 101 of the Planning Code has five subsections that refer to broad land use principles. Merkel alleges that the proposed project violates Section 101(c) in that the project does not provide adequate light and air access, privacy and convenience of access to property, and to secure safety from fire and other dangers. The project design described above more than adequately ensure light and air access to the DR Applicants' windows facing the common property lines. The Planning code addresses light and air access by imposing requirements for front yard, side yard, rear yard, open space and other quantitative requirements, and is not directed at the individual buildings. The project complies with all applicable provisions of the Planning Code designed to ensure adequate light, air and privacy. Access to the project site and the adjacent building will not be altered by the project. The project will comply with all applicable provisions of the Building Code governing fire and seismic safety.

Finally, the proposed project is consistent with the provisions of the priority general plan policies in Section 101.1(b). See **Exhibit 5** for Section 101.1(b) findings.

---

<sup>3</sup> The fourth bedroom is a guest bedroom in the basement.

Commissioner Rodney Fong  
481 Jersey Street, San Francisco, CA  
Page 9 of 10

The Residential Design Guidelines addresses the relationship of adjacent buildings and the context of the immediate neighborhood. Your staff has determined that the project complies with the Residential Design Guidelines. See analysis in the case report before you.

5. ***The proposed project is not a demolition.***

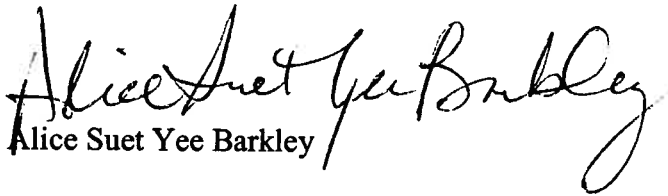
The demolition calculation is set forth on Sheet A1.2 of the project plans before this Commission. The demolition calculation has been scrutinized by the Commission staff and determined that the proposed project is not a demolition. Therefore, this assertion is not supported by any evidence in the record.

**CONCLUSION**

The photomontage (see Exhibit 3) shows that the project is contextually appropriate in height and massing. The project design has been revised numerous times to address the concerns of the immediate neighbors and balances the desires of the adjacent neighbors with those of the project sponsor. This design preserves the neighbors light and air access to their windows facing the common property line and privacy.

No extraordinary or unusual circumstance exists to support these discretionary review requests. The project sponsor respectfully requests that this Commission deny the discretionary review and approve the project. If you have any questions, please do not hesitate to call me at 415-356-4635.

Very truly yours

  
Alice Suet Yee Barkley



Commissioner Rodney Fong  
481 Jersey Street, San Francisco, CA  
Page 10 of 10

### **TABLE OF EXHIBITS**

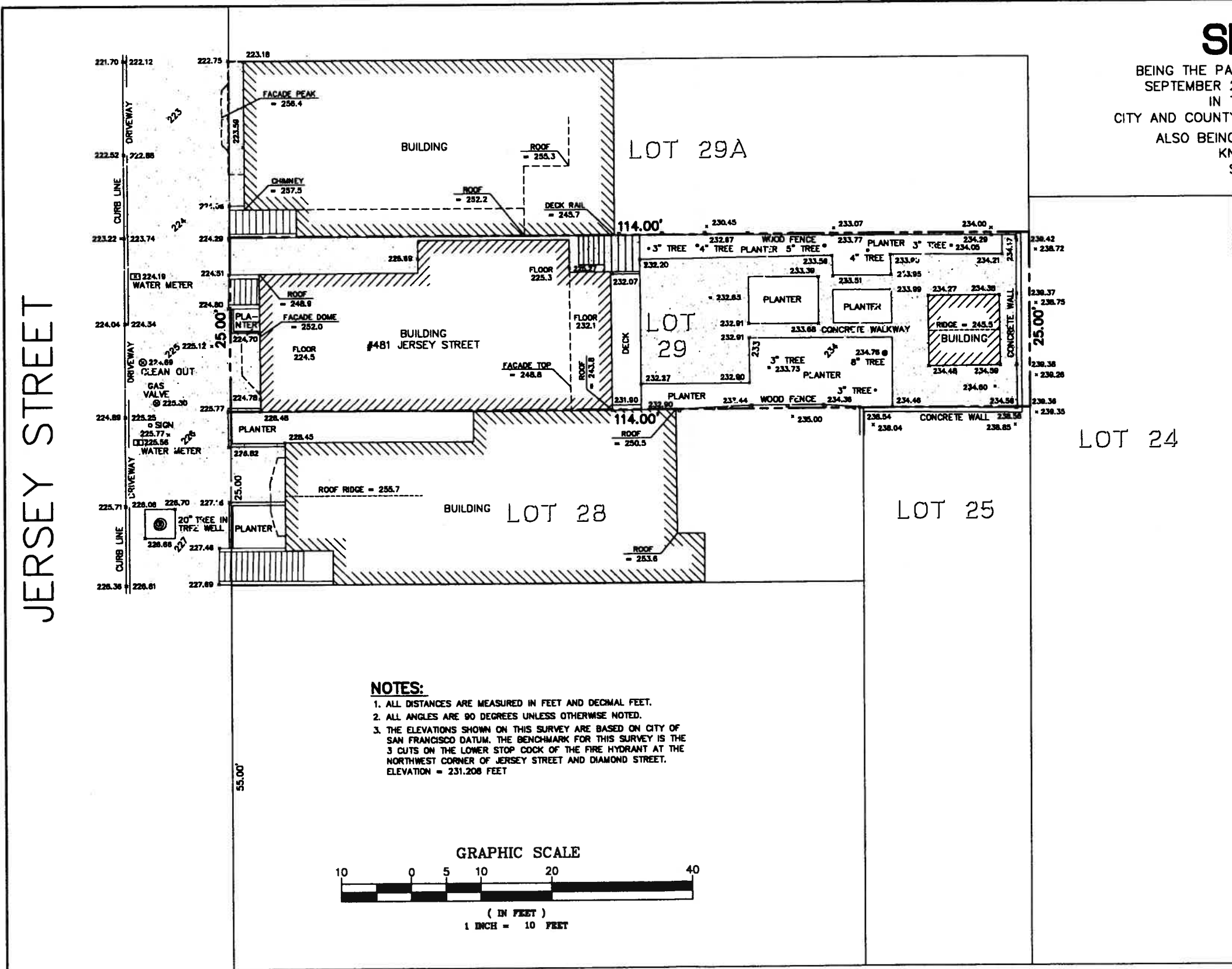
- Exhibit 1      Topographic Survey
- Exhibit 2      Block face photographs
- Exhibit 3      Photomontage of the project.
- Exhibit 4      Karnilowicz's proposed second floor (Sheet A1.2) and roof plans (Sheet A1.3)
- Exhibit 5      Consistency findings with Planning Code Section 101.1(b)

# EXHIBIT 1

# SITE SURVEY

BEING THE PARCEL DESCRIBED IN THE DEED RECORDED  
 SEPTEMBER 27, 2011 ON REEL K490 AT IMAGE 0019  
 IN THE OFFICIAL RECORDS OF THE  
 CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA  
 ALSO BEING LOT 29 OF ASSESSOR'S BLOCK 6539  
 KNOWN AS 481 JERSEY STREET  
 SAN FRANCISCO, CALIFORNIA

MAY 2012



JERSEY STREET

LOT 24

LOT 29A

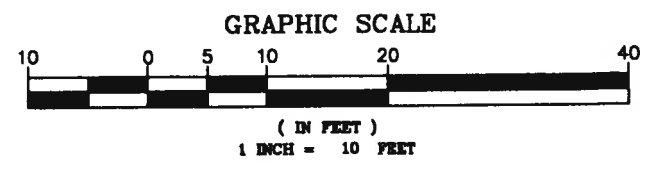
LOT 29

LOT 28

LOT 25

**NOTES:**

1. ALL DISTANCES ARE MEASURED IN FEET AND DECIMAL FEET.
2. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
3. THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON CITY OF SAN FRANCISCO DATUM. THE BENCHMARK FOR THIS SURVEY IS THE 3 CUTS ON THE LOWER STOP COCK OF THE FIRE HYDRANT AT THE NORTHWEST CORNER OF JERSEY STREET AND DIAMOND STREET. ELEVATION = 231.208 FEET



5/16/2012

DIAMOND STREET

# EXHIBIT 2

# EXHIBIT 2

Jersey Street - Southern Block Face



Jersey Street - Northern Block Face



# EXHIBIT 3



EXHIBIT 3

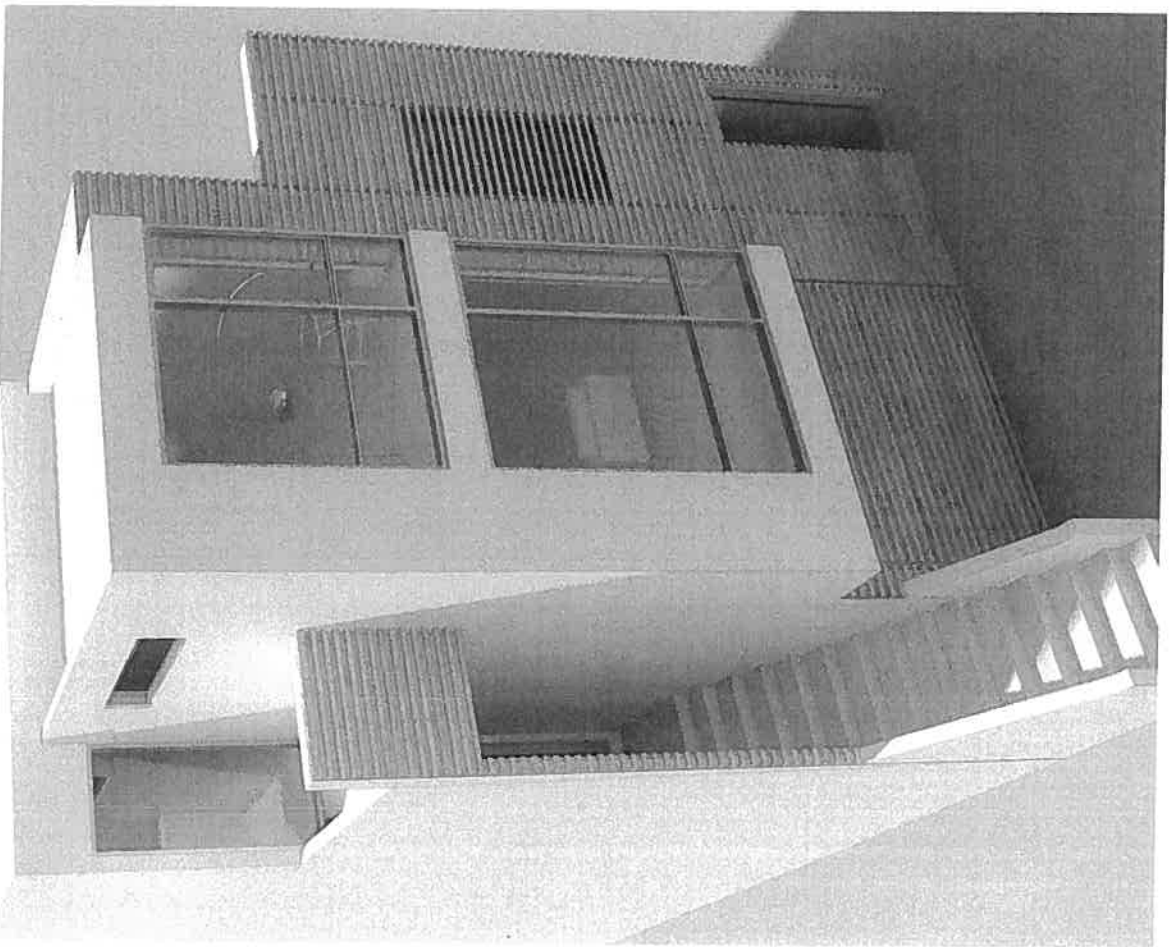
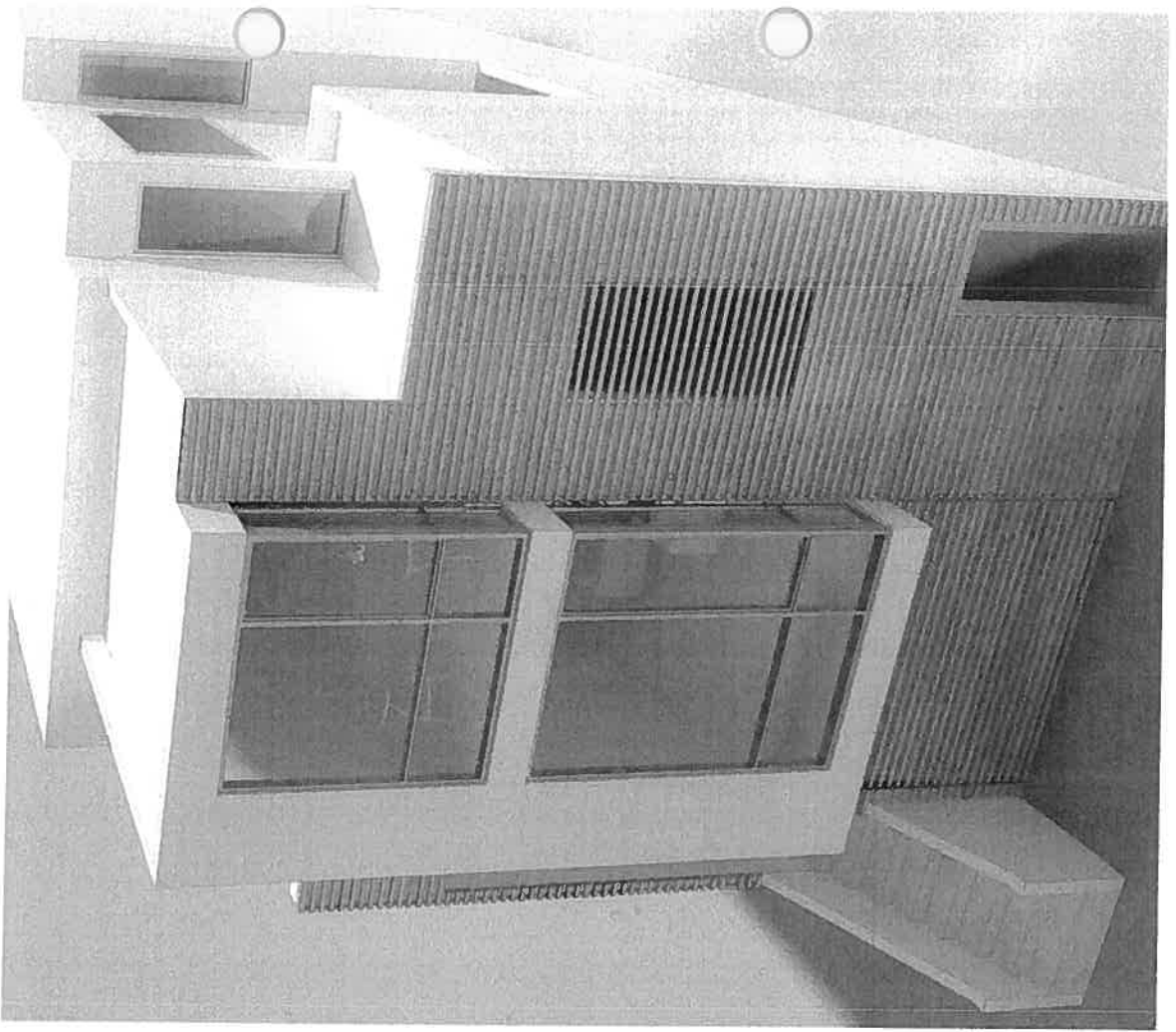
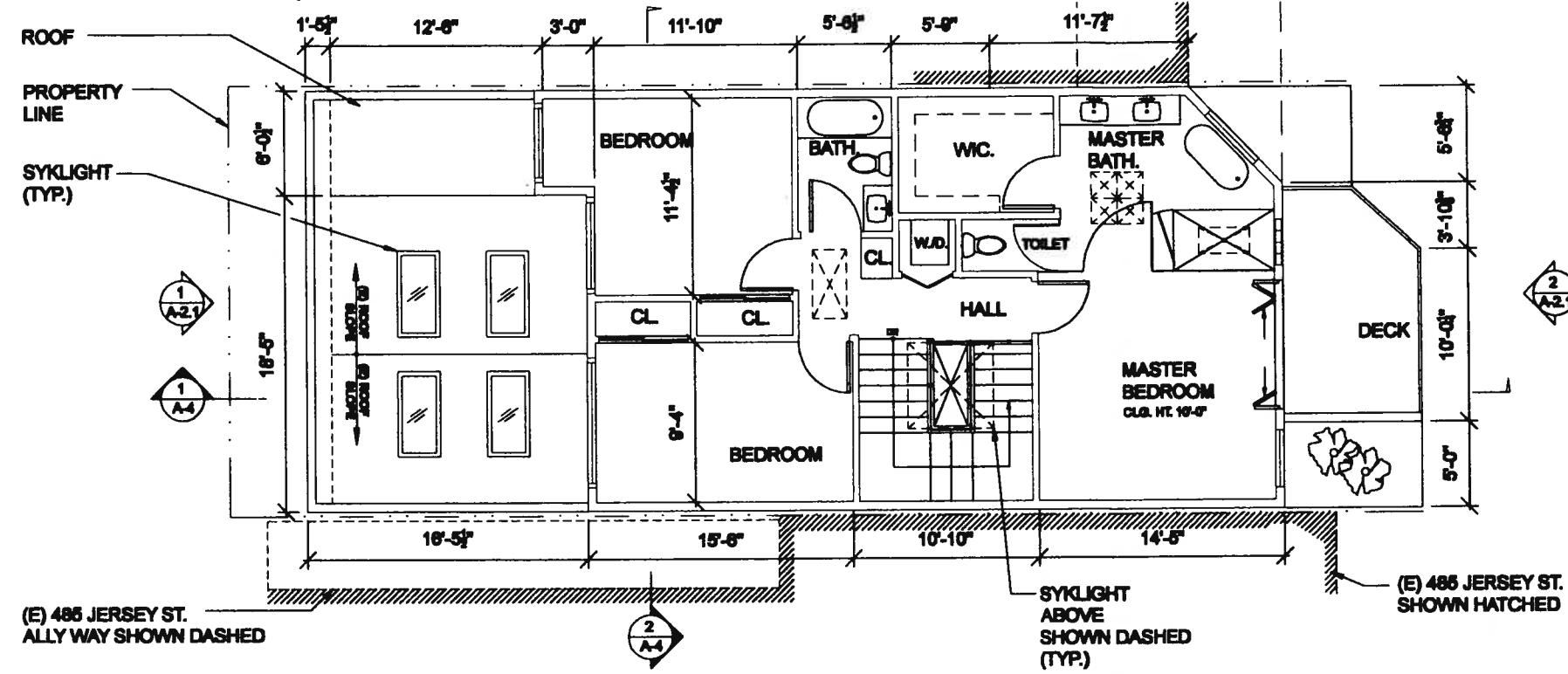


EXHIBIT 3B



# EXHIBIT 4



1 PROPOSED 2ND FLOOR PLAN (1010 SQ.FT.)

1/4" = 1'-0" N

**GENERAL NOTE:**  
 THESE DRAWINGS REPRESENT APPROXIMATIONS OF EXISTING CONDITIONS. ALL CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED BY CONTRACTORS.

O C C I D E  
 E X P R E  
 GENERAL CONTRACTOR  
 CONSULTING - DESIGN - CONSTRUCTION - MANAGEMENT  
 1010 HUNTER STREET  
 SAN FRANCISCO  
 CALIFORNIA 94103-2888  
 415-421-7200  
 415-421-7200 FAX

**HORIZONTAL/VERTICAL ADDITION**  
 481 JERSEY STREET  
 SAN FRANCISCO, CA  
 LOT 028Y BLK 659R,  
 CENSUS BLK 104,  
 CENSUS TRACT 213

**SHEET NAME:**  
 PROPOSED  
 2ND FLOOR & ROOF PLAN

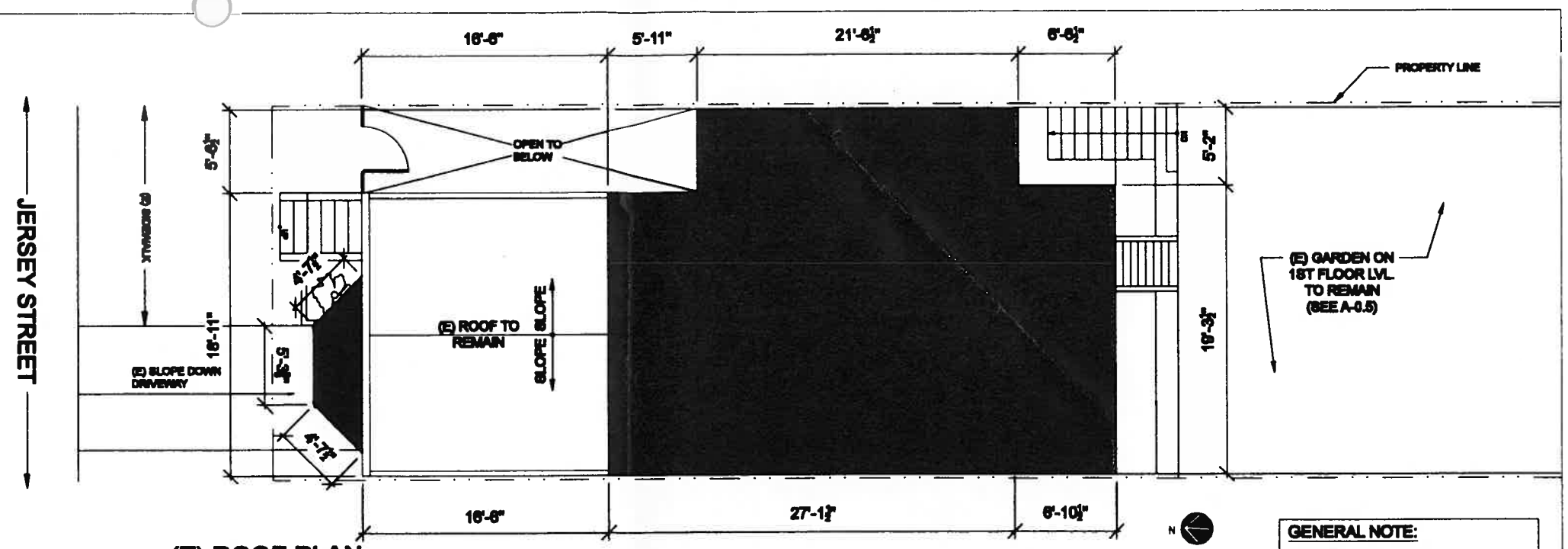
09/23/08	RE-SUBMITTAL
09/23/08	REVISED PER OWNER REQUEST
10/11/08	REVISED PER OWNER REQUEST
11/16/08	REVISED PER OWNER REQUEST
01/18/10	REVISED PER OWNER REQUEST

**DRAWN BY:** NSJ

**SCALE:** AS SHOWN  
**DATE:** 11/03/08

**SHEET #:** A-1.2

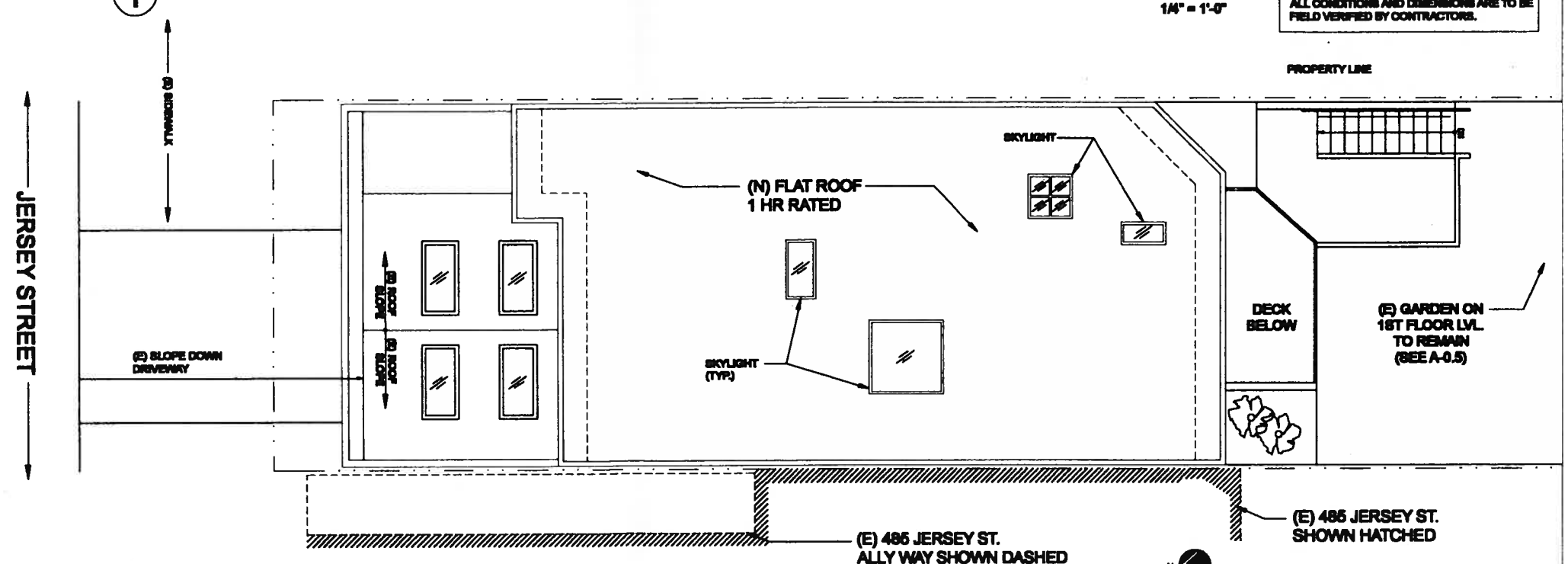
**LEGEND**  
 SECTION DETAIL  
 DETAIL REFERENCE  
 - - - - - PROPERTY LINE



1 (E) ROOF PLAN

**GENERAL NOTE:**  
THESE DRAWINGS REPRESENT APPROXIMATIONS OF EXISTING CONDITIONS. ALL CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED BY CONTRACTORS.

1/4" = 1'-0"



2 PROPOSED ROOF PLAN

(E) 485 JERSEY ST. SHOWN HATCHED

1/4" = 1'-0"

**HORIZONTAL/VERTICAL ADDITION**  
481 JERSEY STREET  
SAN FRANCISCO, CA  
LOT 028/ BLK 0838,  
CENSUS BLK 104,  
CENSUS TRACT 213

**SHEET NAME:**  
**(E) & PROPOSED ROOF PLAN**

08/23/08	RE-SUBMITTAL
08/22/08	REVISED PER OWNER REQUEST
10/11/08	REVISED PER OWNER REQUEST
11/15/08	REVISED PER OWNER REQUEST
01/16/10	REVISED PER OWNER REQUEST
01/24/10	REVISED PER OWNER REQUEST

**DRAWN BY:** NBJ

**SCALE:** AS SHOWN  
**DATE:** 11/03/08

**LEGEND**

- SECTION DETAIL
- DETAIL REFERENCE
- PROPERTY LINE
- SHADED SURFACE TO BE REMOVED
- HORIZONTAL SURFACE TO BE REMOVED: 983 SQ.FT.

**SHEET #:**  
**A-1.3**

# EXHIBIT 5

## **CONSISTENCY FINDINGS WITH PLANNING CODE SECTION 101.1(B)**

- 1) *That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.*

The project site is located in an RH-2 zoning district where neighborhood-serving retail uses are not permitted. The policies of Section 101.1(b)(1) are not applicable to the Project.

- 2) *That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.*

The proposed vertical and horizontal expansion will create a single family home suitable for family with children in the area, will be compatible with the scale or massing of the buildings in the area, and will enhance the cultural and economic diversity of the neighborhood. The Project, therefore, is consistent with the policies of Section 101.1(b)(2).

- 3) *That the City's supply of affordable housing be preserved and enhanced.*

The site is improved with an existing single family home that is not part of the City's affordable housing stock. The Project, therefore, is consistent with the policies of Section 101.1(b)(7) .

- 4) *That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking.*

The project, which is the expansion of an existing single family home, will have not impact on commuter traffic. There is no MUNI line on this block of Jersey Street. Vehicles entering or exiting the Site will not interfere with Muni Transit services. The on-site street parking space will be retained. the Project will not overburden neighborhood on-street parking. The Project, therefore, is consistent with the policies of Section 101.1(b)(4).

- 5) *That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.*

The Site is located in an RH-2 zoning district. Therefore, the policies of Section 101.1(b)(5) are not applicable.

- 6) *That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.*

The Project will meet the current seismic safety standards and will promote the policies of Section 101.1(b)(6).

7) *That landmarks and historic buildings be preserved.*

This site is not in a historic or conservation district and is not a historic resource. Renovation of this home will have no effect on any designated landmarks or any rated historic buildings. The Project, therefore, is consistent with the policies of Section 101.1(b)(7)

8) *That our parks and open space and their access to sunlight and vistas be protected from development.*

The closest public park and recreational facilities are Douglas Playground and the Noe Tennis Court both of which are uphill from the project site. Therefore, the proposed vertical expansion will not cast any shadow on these nearby public parks and open space and the project is consistent with the policies of Section 101.1(b)(8)..

**GENERAL NOTES**

ALL CONSTRUCTION AND INSTALLATION SHALL CONFIRM TO THE FOLLOWING CODES:  
 2010 TITLE 24 & CALIFORNIA BUILDING CODE (CBC) & SAN FRANCISCO AMENDMENTS  
 2010 CALIFORNIA MECHANICAL CODE (CMC) & CALIFORNIA PLUMBING CODE (CPC)  
 2010 CALIFORNIA ELECTRICAL CODE (CED) & CALIFORNIA ENERGY CODE (CEC)  
 2010 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS  
 2002 MFPA 13 INSTALLATION OF SPRINKLER SYSTEMS, 2002 MFPA13R SPRINKLER SYSTEMS FOR RESIDENTIAL OCCUPANCIES UP TO 4 STORIES IN HT. & 2002 MFPA 72 NATIONAL FIRE ALARM CODE AS APPLICABLE, AND ANY OTHER GOVERNING CODES & ORDINANCES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.

ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSION GOVERN.

ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.

WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.

DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFIRM WITH LOCAL BUILDING AND FIRE CODES.

PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.

ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.

VERIFY CLEARANCES FOR FLOES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OR WORK.

PROVIDE FIRE-BLOCKING AND DRAFTSTOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 1997/98 UBC 708, FIREBLOCKING & DRAFTSTOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:  
 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.  
 2) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.  
 3) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

WINDOW SIZES ON DRAWINGS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.

MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER PENETRATIONS OF FLOORS, WALLS AND CEILINGS SHALL BE SEALED AIRTIGHT WITH ACOUSTICAL SEALANT AND FIRESAFING AS REQUIRED.

ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED PER TITLE 24 REQUIREMENTS.

ALL WALL, FLOOR, ROOF, AND SHAFT CONSTRUCTION TO BE RATED, U.O.N.

DISCREPANCIES: WHERE A CONFLICT IN REQUIREMENTS OCCURS BETWEEN THE SPECIFICATIONS AND DRAWINGS, OR ON THE DRAWINGS, AND A RESOLUTION IS NOT OBTAINED FROM THE ARCHITECT BEFORE THE BIDDING DATE, THE MORE STRINGENT ALTERNATE WILL BECOME THE CONTRACTUAL REQUIREMENTS.

CONTRACTOR SHALL NOTIFY GEOTECHNICAL ENGINEER FOR INSPECTION OF COMPRESSION GROUTING, BUILDING PAD, FOUNDATION EXCAVATION, DEPTH, BACK FILL MATERIALS, AND DRAINAGE AS APPLICABLE.

CONTRACTOR SHALL ENSURE THAT GUIDELINES SET FORTH ON SHEET NO.6 ARE MAINTAINED DURING CONSTRUCTION, INSTALLATION, AND FINISHING OF ALL ASPECTS OF THIS PROJECT.

ALL CONCEALED SPACES UNDER RAISED SLEEPING PLATFORMS MUST BE SPRINKLERED.

PROVIDE I.C.B.O. EVALUATION SERVICES INC. REPORT ON TEST DATA FOR ALL SKYLIGHTS.

PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS, INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4.

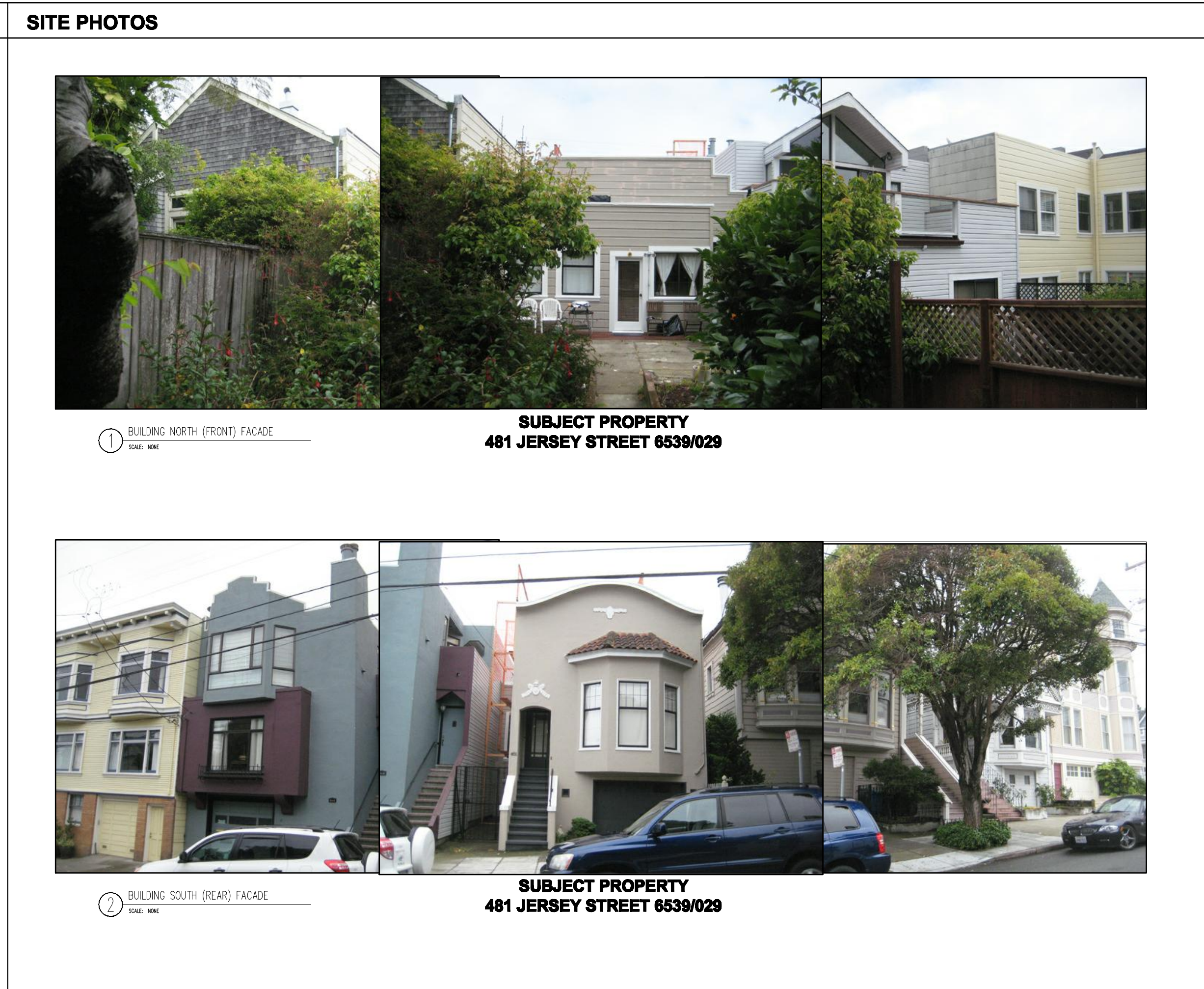
ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER UBC 2406.2.

ALL SMOKE DETECTORS TO BE HARD WIRED.

OPENINGS IN 1, 2, OR 3-HOUR RATED ASSEMBLIES SHOULD BE PROTECTED WITH (1), (2), OR (3)-HOUR RATED ASSEMBLIES, RESPECTIVELY.

ALL ASSEMBLIES SHOULD BE APPROVED.

ALL DUCT PENETRATIONS THROUGH RATED WALLS SHOULD BE PROTECTED WITH SMOKE AND FIRE DAMPERS.



**ABBREVIATIONS**

AB. ANCHOR BOLT	ELEV. ELEVATION	HT. HEIGHT	(R) REMODELED OR RELOCATED
A.F.F. ABOVE FINISHED FLOOR	EMER. EMERGENCY	HVAC. HEATING, VENTILATION, AND AIR CONDITIONING	R.D. ROOF DRAIN
AGGR. AGGREGATE	ENCL. ENCLOSURE	I.D. INSIDE DIAMETER	RE. REFER TO ...
AL. ALUMINUM	EQ. EQUAL	INSUL. INSULATION	HT. REFRIGERATOR
ALT. ALTERNATE	EQUIP. EQUIPMENT	INT. INTERIOR	REINF. REINFORCED
APPROX. APPROXIMATE	E.W. EACH WAY	JAN. JANITOR	REQ'D. REQUIRED
ARCH. ARCHITECTURAL	W.E.C. ELECTRIC WATER COOLER	JNT. JOINT	RM ROOM
BD. BOARD	EXP. EXPANSION	JST. JOIST	R.D. ROUGH OPENING
BLDG. BUILDING	EXT. EXTERIOR	KIT. KITCHEN	S SOUTH
BLK. BLOCK	F.A. FIRE ALARM	LAB. LABORATORY	S.C. SOLID CORE
BLK'G. BLOCKING	F.D.C. FLOOR DRAIN	LAV. LAVATORY	SCHED. SCHEDULE
BM. BEAM	F.D.C. FIRE DEPARTMENT CONNECTION	LAM. LAMINATE	SECT. SECTION
BOT. BOTTOM	FDN. FOUNDATION	LAV. LAVATORY	S.F. SQUARE FOOT
BTWN. BETWEEN	F.A. FIRE EXTINGUISHER	LT. LIGHT	SHT. SHEET
B.U.R. BUILT UP ROOFING	F.A.C. FIRE EXTINGUISHER CABINET	MAX. MAXIMUM	SIM. SIMILAR
B.W. BOTH WAYS	F.B. FINISH FLOOR	MECH. MECHANICAL	SPEC. SPECIFICATION
C.J. CONTROL JOINT	F.H.C. FIRE HOSE CABINET	MEMB. MEMBRANE	SO. OR SQUARE
CLG. CEILING	FIN. FINISH	MFR. MANUFACTURER	S.S. STAINLESS STEEL
CLKG. CAULKING	F.L. FLOW LINE	M.H. MANHOLE	STAGG. STAGGERED
CLR. CLEAR	FLR. FLOOR	MIN. MINIMUM	STD. STANDARD
C.M.U. CONCRETE MASONRY UNIT	FLUOR. FLUORESCENT	MISC. MISCELLANEOUS	STIFF. STIFFENER
COL. COLUMN	FND. FOUNDATION	M.O. MASONRY OPENING	STL. STEEL
CONC. CONCRETE	F.O.B. FACE OF BRICK	MTL. METAL	STRUC. STRUCTURAL
CONN. CONNECTION	F.O.C. FACE OF CONCRETE	MUL. MULLION	SUSP. SUSPENDED
CONSTR. CONSTRUCTION	F.S. FULL SIZE	N NORTH	TR. TREAD
CONT. CONTINUOUS	FT. FOOT OR FEET	(N) NEW	T & B TOP AND BOTTOM
C.T. CERAMIC TILE	FTG. FOOTING	N.I.C. NOT IN CONTRACT	TER. TERRAZZO
DEG. DEGREE	FURR. FURRING	NO. NUMBER	T & G TONGUE AND GROOVE
DET./DTL. DETAIL	GA. GAUGE	NOM. NOMINAL	THK. THICK
D.F. DRINKING FOUNTAIN	GALV. GALVANIZED	N.T.S. NOT TO SCALE	TYP. TYPICAL
DIAG. DIAGONAL	G.C. GENERAL CONTRACTOR	O.C. ON CENTER	U.O.N. UNLESS OTHERWISE NOTED
DIA. Ø DIAMETER	C.L. GLASS	O.D. OUTSIDE DIAMETER	VCT. VINYL COMPOSITION TILE
DN. DOWN	GR. GRADE	OH. OVERHEAD	VER. VERIFY
DS. DOWNSPOUT	GYP. GYPSUM	OPG. OPENING	VERT. VERTICAL
DWG. DRAWING	GYP. BD. GYPSUM BOARD	OPP. OPPOSITE	W WEST
E. EAST	H.B. HOSE BIBB	PCT. PRE-CAST	W/ WITH
(E) EXISTING	H.C. HOLLOW CORE	P.L. PROPERTY LINE	W.C. WATER CLOSET
EA. EACH	H/C HANDICAPPED	P.LAM. PLASTIC LAMINATE	WD. WOOD
E.J. EXPANSION JOINT	HDWD. HARDWOOD	PLAS. PLASTER	W/O WITHOUT
E.I.F.S. EXTERIOR INSULATION AND FINISH SYSTEM	HDWE. HARDWARE	PLYWD. PLYWOOD	P PROPERTY LINE
EL. ELEVATION	H.M. HOLLOW METAL	PR. PAIR	CL CENTERLINE
ELEC. ELECTRICAL	HR. HOUR	Q.T. QUARRY TILE	L

NOTE: CLARIFY WITH ARCHITECT - ALL ABBREVIATIONS NOT LISTED

**SYMBOLS LEGEND**

**PROJECT DIRECTORY**

PROJECT ARCHITECT  
 ANDY RODGERS ARCHITECTURE  
 7 LUPINE DRIVE  
 CORTE MADERA, CA 94925  
 P: 415.309.9612  
 E: ardesign@att.net

GENERAL CONTRACTOR  
 TBD

STRUCTURAL ENGINEER  
 TBD

T24 CONSULTANT  
 TBD

BUILDING OWNER  
 481 JERSEY ST LLC  
 (650) 281-4832

**PROJECT INFORMATION**

PROJECT ADDRESS: 481 JERSEY STREET  
SAN FRANCISCO, CA 94114

BLOCK/LOT: 6539/029

ZONING: RH-2

CONSTRUCTION TYPE: 5B

OCCUPANCY: R3

NUMBER OF FLOORS: 2

SPRINKLERING: NOT REQUIRED

TOTAL EXISTING LIVING AREA: 1100

PROPOSED LIVING AREA: 3200

PROJECT DESCRIPTION:

PROJECT SCOPE INCLUDES FULL REMODEL OF EXISTING FRONT AND REAR FACADE. EXISTING BASEMENT WILL BE CONVERTED TO A TWO-CAR GARAGE WITH ADDITIONAL LIVING SPACE, INCLUDING A PLAYROOM, STUDY, BATHROOM, BEDROOM, AND BACK PATIO. THE EXISTING FIRST FLOOR WILL HAVE A NEW REAR EXPANSION, INCLUDING A LIVING/DINING AREA AND KITCHEN. THE FIRST FLOOR WILL ALSO HAVE A NEW BATHROOM AND NEW REAR DECK. THE PROJECT WILL ALSO HAVE A NEW SECOND FLOOR ADDITION CONTAINING 3 BEDROOMS, 2 BATHROOMS, AND A FRONT AND REAR DECK. THE PROJECT WILL HAVE NEW INTERIOR AND EXTERIOR STAIRS, NEW WINDOWS AND DOORS, NEW FOUNDATION WORK, AND NEW PLUMBING, ELECTRICAL, AND HEATING SYSTEMS.

**PROJECT LOCATION**

**PROJECT LOCATION**

**REVISIONS**

andy  
rodgers  
design  
studio

415 309 9612

www.rodgersarchitecture.com

LICENSED ARCHITECT  
 ANDY RODGERS  
 No. C 30697  
 Ren. 11/01/17  
 STATE OF CALIFORNIA

ALTERATIONS TO:  
 481 JERSEY STREET  
 SAN FRANCISCO, CA, 94114  
 OWNER: 481 JERSEY STREET LLC (650) 281-4832

REVISED FOR SITE PERMIT

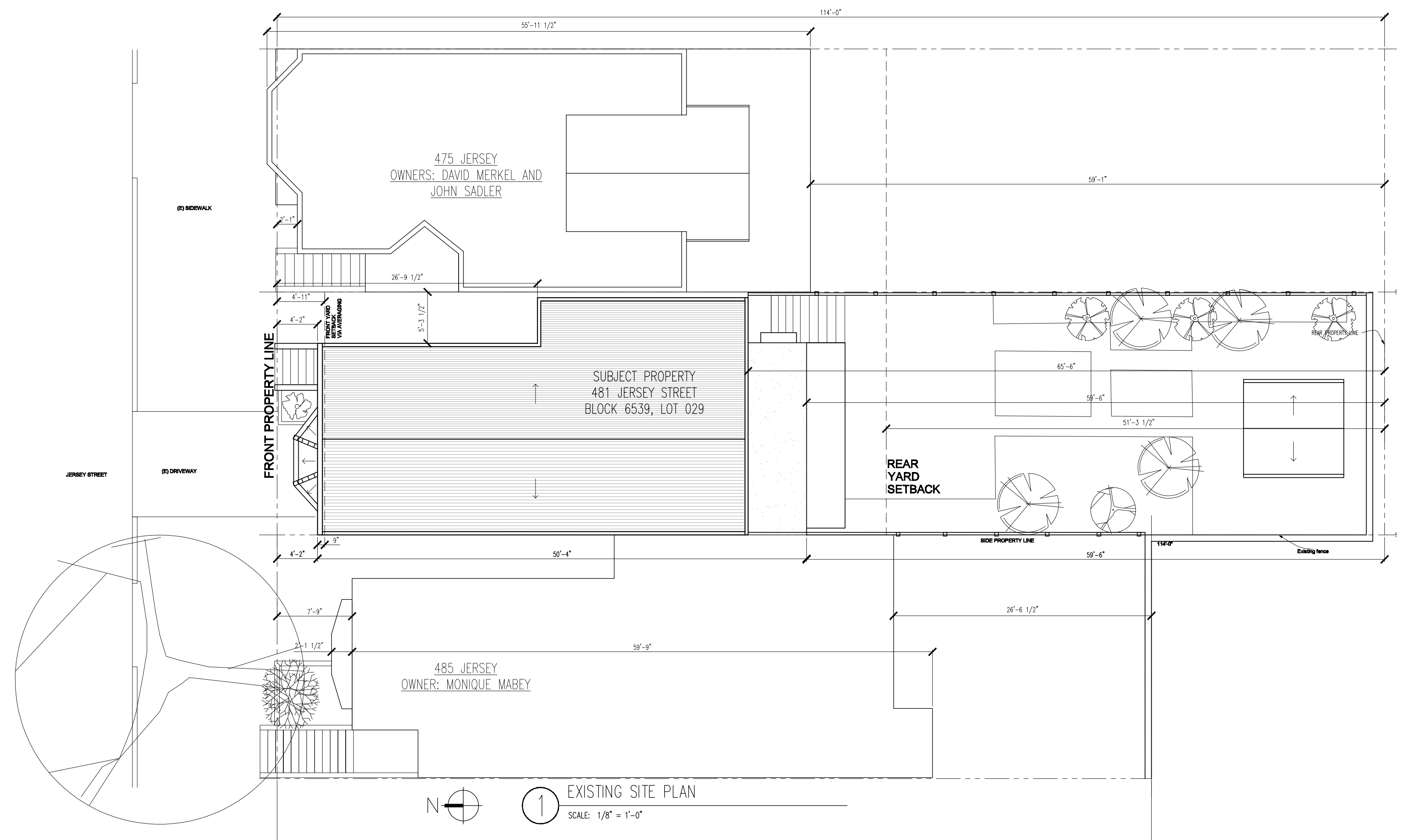
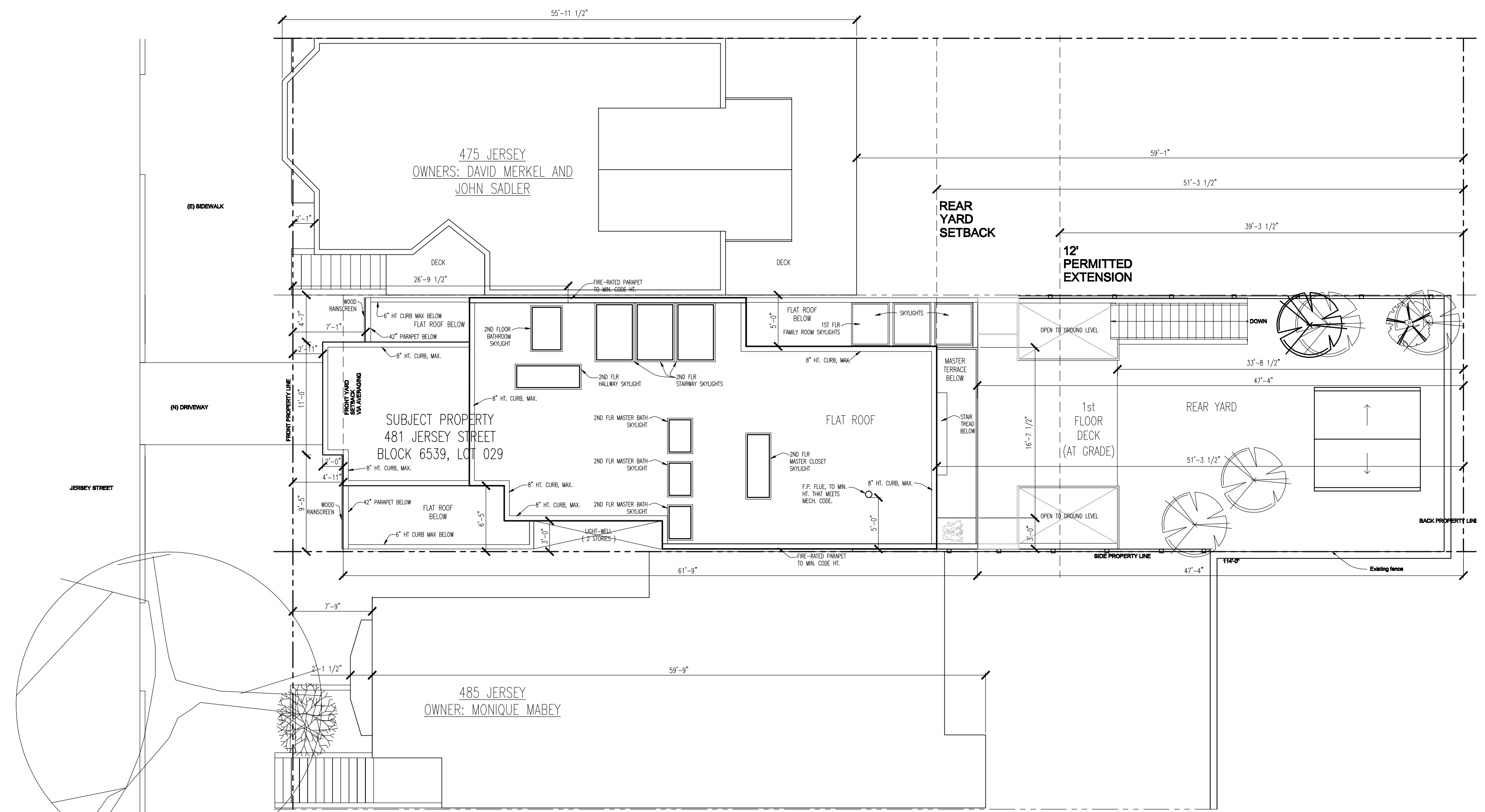
DATE NOV 5, 2012

SCALE

DRAWN

JOB

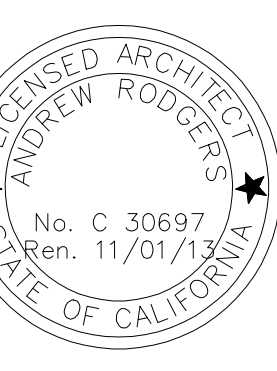
**A0.0**



REVISIONS

andy  
rodgers  
design  
studio

415 309 9612



ALTERATIONS TO:  
**481 JERSEY STREET**  
SAN FRANCISCO, CA, 94114  
OWNER: 481 JERSEY STREET LLC (650) 281-4832

REVISED FOR SITE PERMIT

SITE PLAN

DATE NOV 5, 2012

SCALE 1/8"=1'-0"

DRAWN

JOB

**A1.1**

www.rodgersarchitecture.com

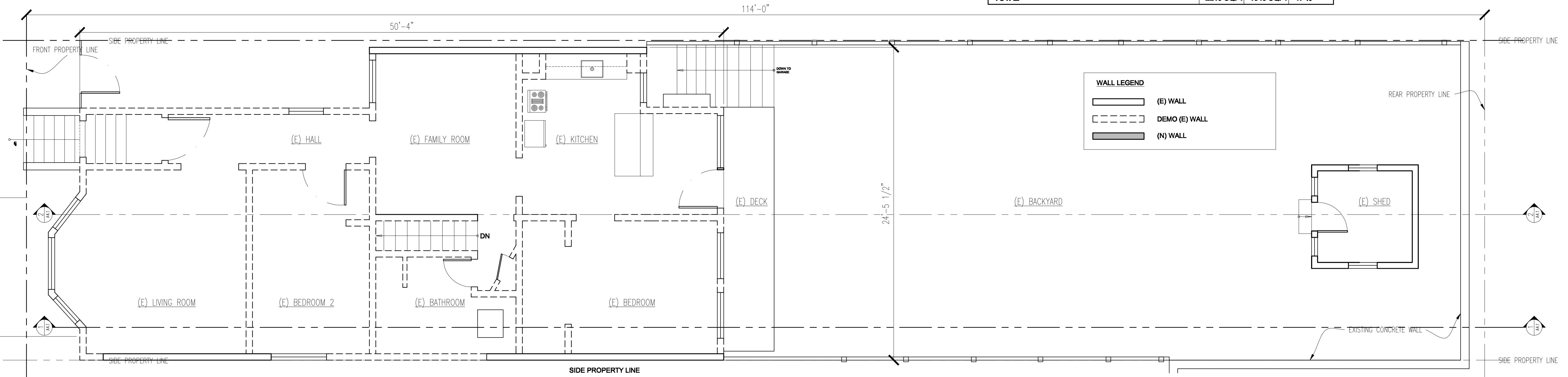


**DEMOLITION CRITERIA**

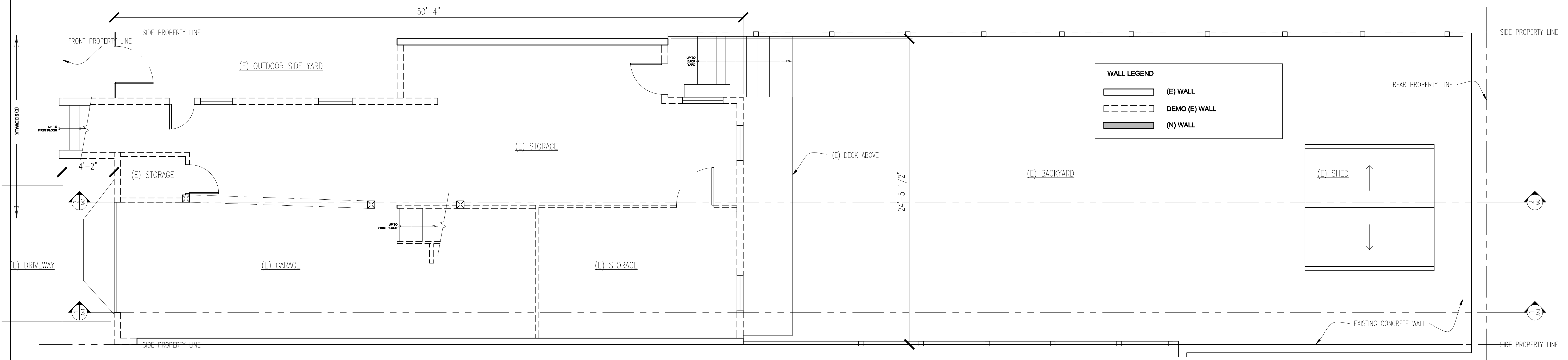
A major alteration of a residential Building that proposes the removal of more than 50% of the sum of the Front Façade and rear Façade, and also proposes the removal of more than 65% of the sum of all exterior walls, measured in lineal feet at the foundation level, or

A major alteration of a residential Building that proposes the removal of more than 50% of the Vertical envelope elements and more than 50% of the Horizontal elements of the existing building, as measured in square feet of actual surface area.

B AND C: DEMO CALCULATIONS - PLANNING DEPT			
	EXISTING	DEMO	% DEMO
<b>B1. FRONT AND REAR FAÇADE (COMBINED AREA&lt;50%)</b>	1079 SQFT	1079 SQFT	100%
<b>B2. EXTERIOR WALLS (&lt;65% AT FOUNDATION)</b>	149' 7"	79' 4"	53%
<b>C1. VERTICAL ENVELOPE ELEMENTS (FROM 0 TO 77")</b>			
NORTH ELEVATION	185 SQFT	182 SQFT	98%
EAST ELEVATION	382 SQFT	228 SQFT	60%
SOUTH ELEVATION	185 SQFT	178 SQFT	96%
WEST ELEVATION	382 SQFT	14 SQFT	4%
<b>TOTAL</b>	<b>1134 SQFT</b>	<b>602 SQFT</b>	<b>54%</b>
<b>C2. HORIZONTAL ELEMENTS</b>			
SECOND FLOOR	1115 SQFT	72 SQFT	6%
ROOF	1095 SQFT	976 SQFT	89%
<b>TOTAL</b>	<b>2210 SQFT</b>	<b>1048 SQFT</b>	<b>47%</b>



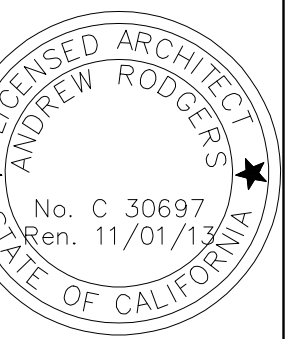
2 EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



1 EXISTING GROUND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

andy  
rogers  
design  
studio

415 309 9612



ALTERATIONS TO:  
481 JERSEY STREET  
SAN FRANCISCO, CA, 94114  
OWNER: 481 JERSEY STREET LLC (650) 281-4832

REVISED FOR SITE PERMIT

EXISTING FLOOR PLANS

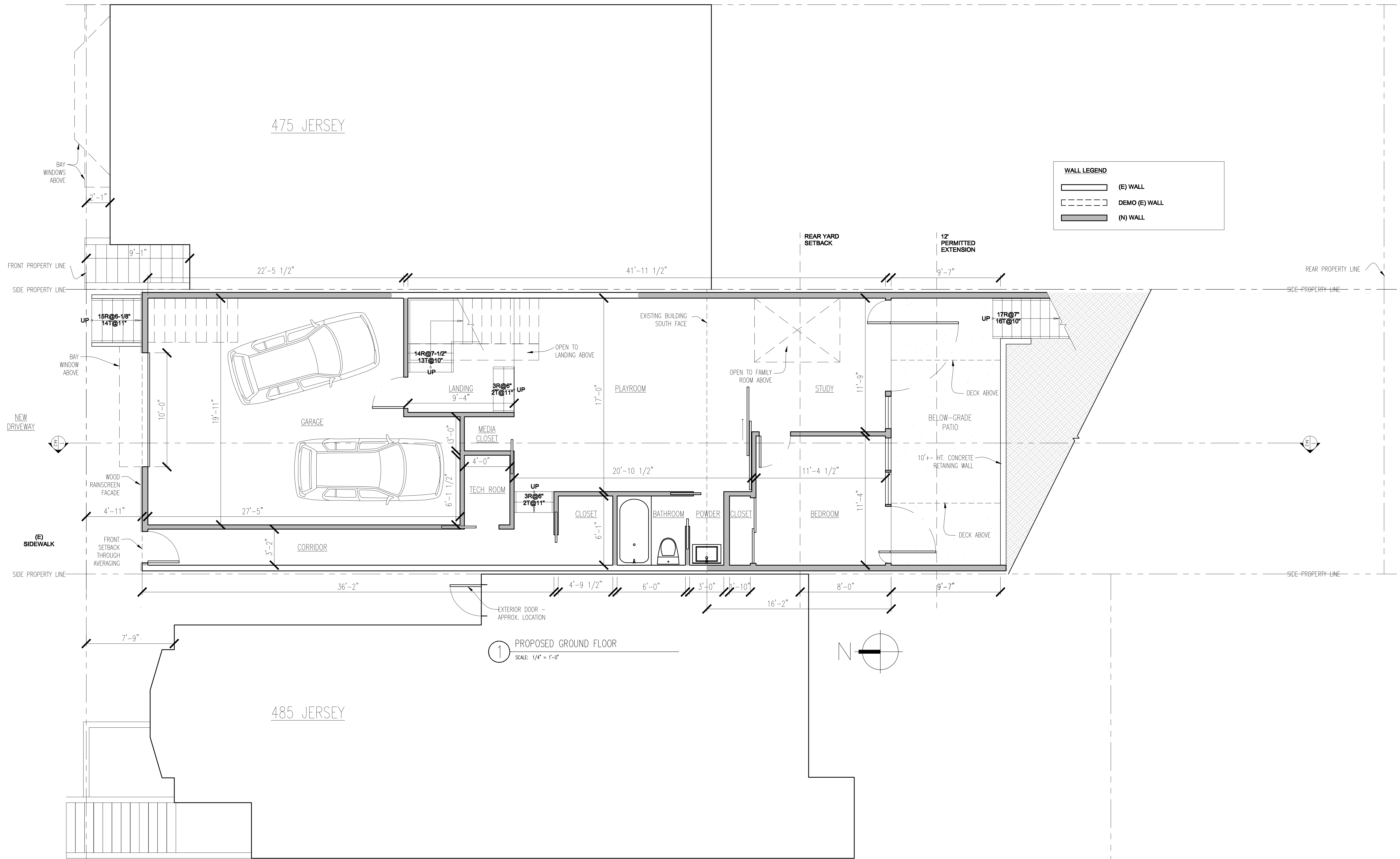
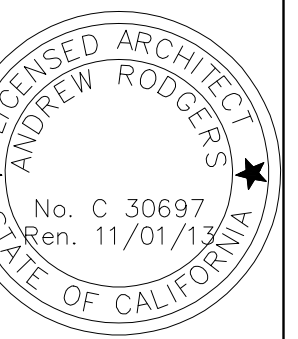
DATE NOV 5, 2012

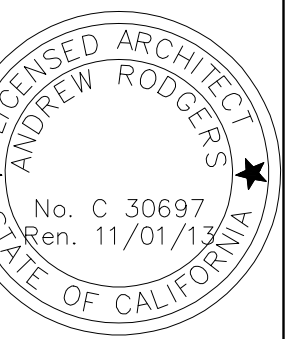
SCALE 1/4"=1'-0"

DRAWN

JOB

**A1.2**





ALTERATIONS TO:  
**481 JERSEY STREET**  
SAN FRANCISCO, CA, 94114  
OWNER: 481 JERSEY STREET LLC (650) 281-4832

REVISED FOR SITE PERMIT

PROPOSED FLOOR PLANS

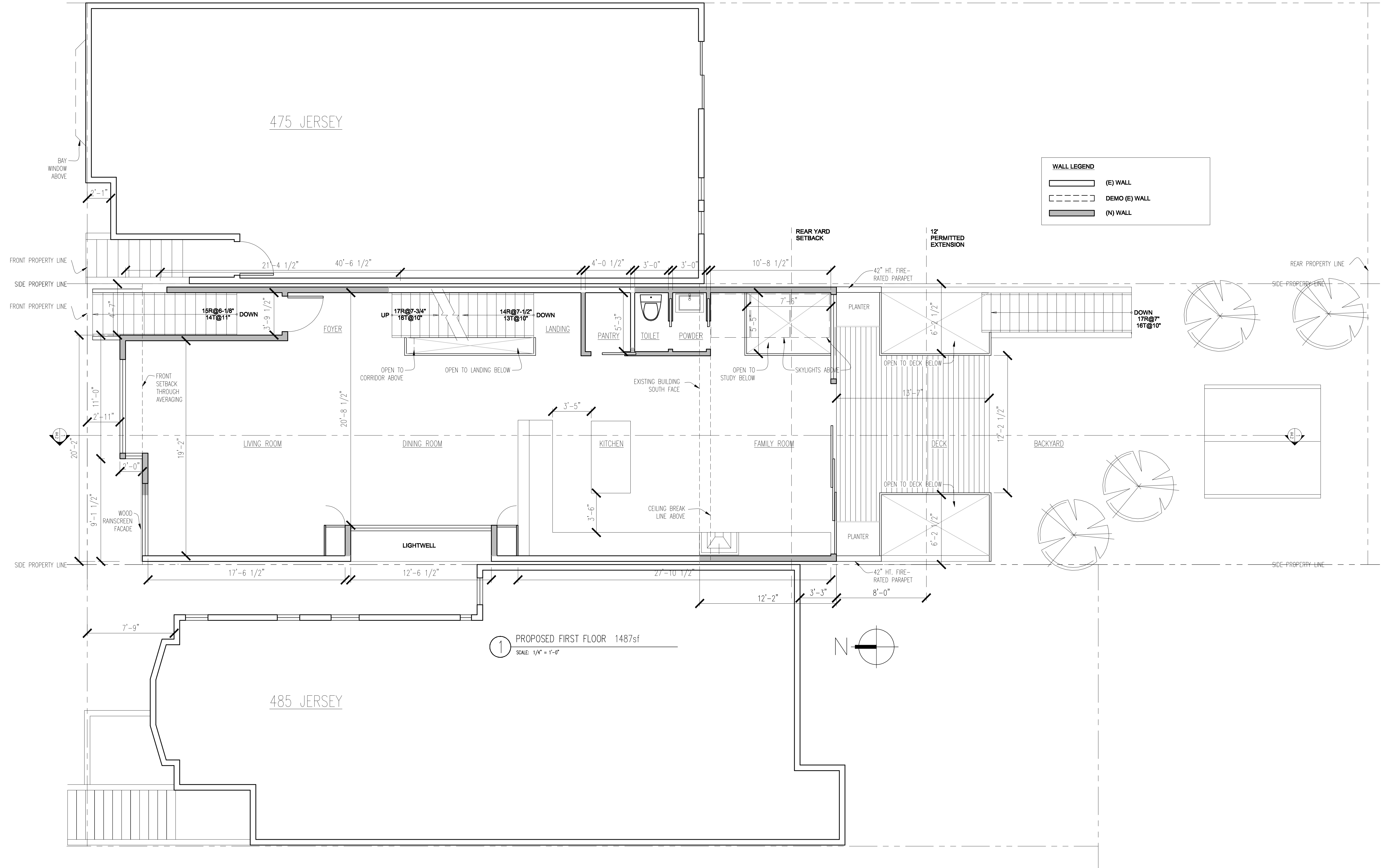
DATE NOV 5, 2012

SCALE 1/4"=1'-0"

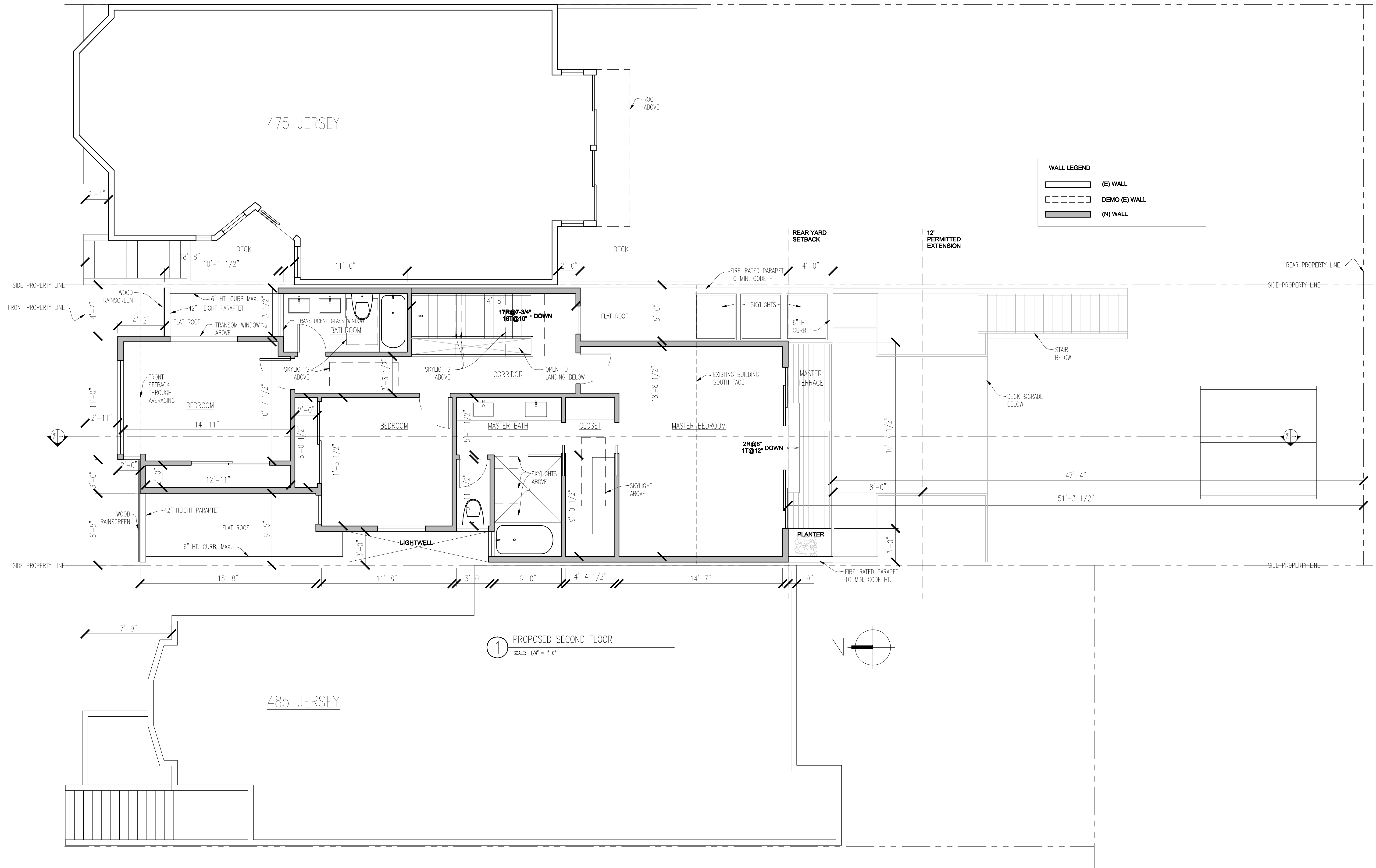
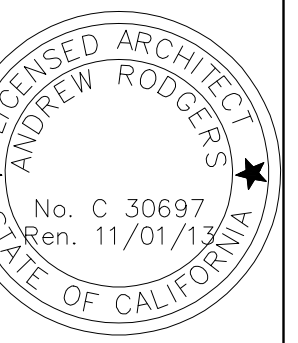
DRAWN

JOB

**A1.4**



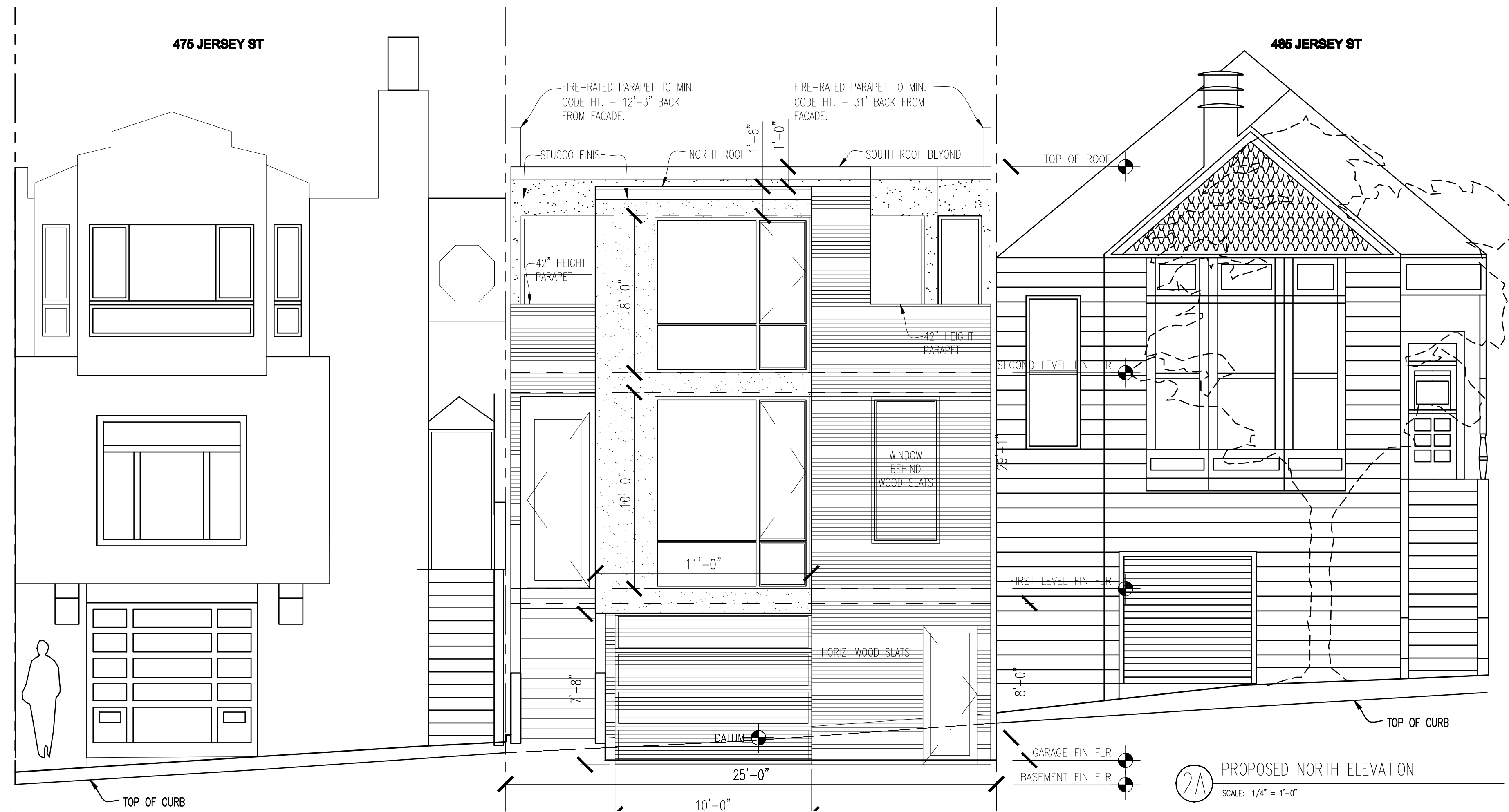
1 PROPOSED FIRST FLOOR 1487sf  
SCALE: 1/4" = 1'-0"



**WALL LEGEND**

	(E) WALL
	DEMO (E) WALL
	(N) WALL

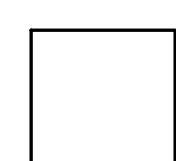
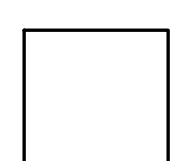
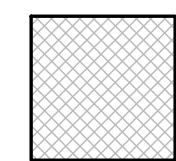
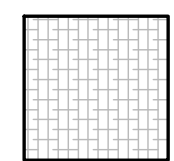
1 PROPOSED SECOND FLOOR  
SCALE: 1/4" = 1'-0"



2A PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



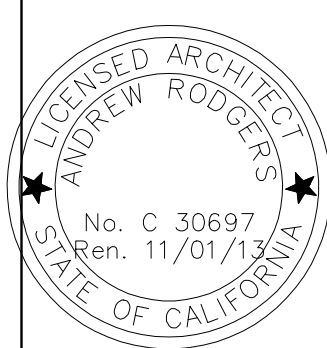
1 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

-  TOTAL WALL SURFACE AREA  
597 SQ. FT.
-  TOTAL ROOF SURFACE AREA  
189 SQ. FT.
-  TOTAL WALL SURFACE AREA  
TO BE REMOVED  
597 SQ. FT.
-  TOTAL ROOF SURFACE AREA  
TO BE REMOVED  
189 SQ. FT.

REVISIONS

andy  
rodgers  
design  
studio

415 309 9612



ALTERATIONS TO:  
**481 JERSEY STREET**  
SAN FRANCISCO, CA, 94114  
OWNER: 481 JERSEY STREET LLC (650) 281-4832

REVISED FOR SITE PERMIT

EXISTING / PROPOSED ELEVATIONS

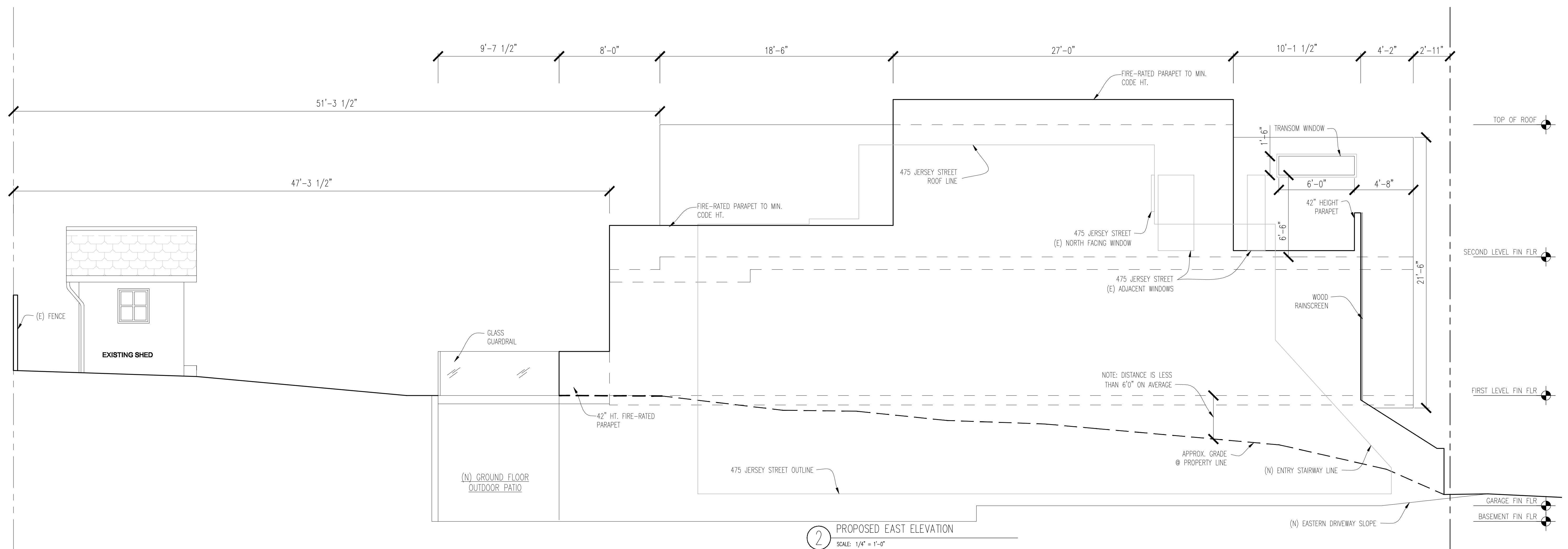
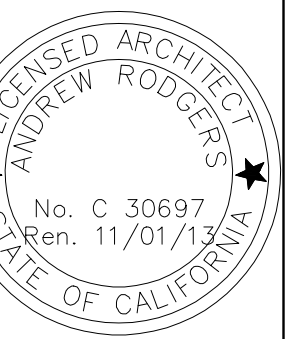
DATE NOV 5, 2012

SCALE 1/4" = 1'-0"

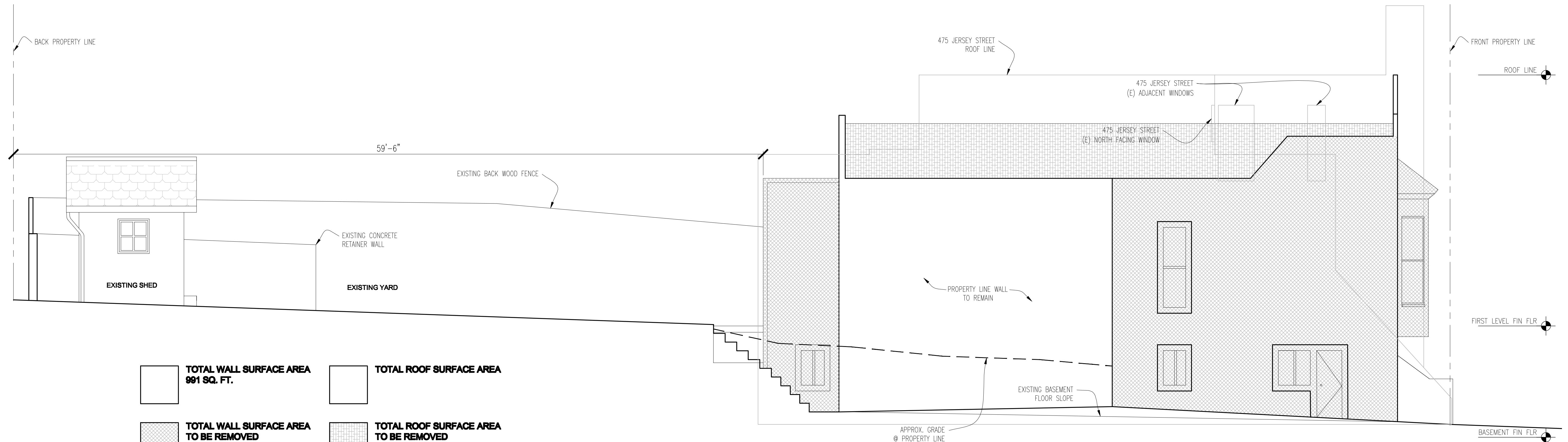
DRAWN

JOB

**A2.1**

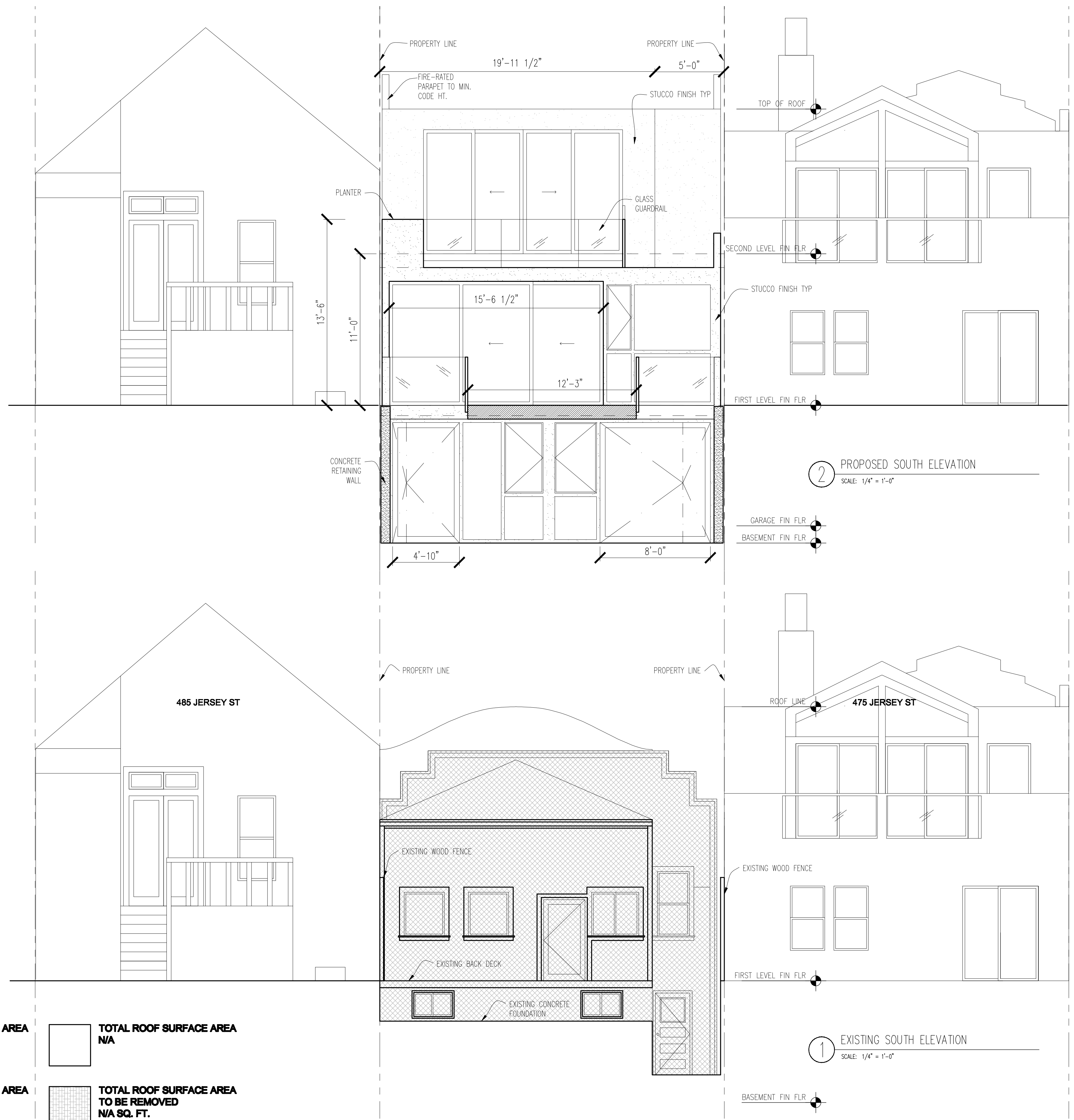




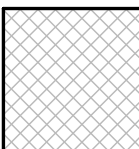
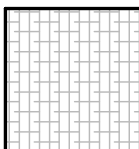
2 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

	<b>TOTAL WALL SURFACE AREA</b> 991 SQ. FT.		<b>TOTAL ROOF SURFACE AREA</b>
	<b>TOTAL WALL SURFACE AREA TO BE REMOVED</b> 604 SQ. FT.		<b>TOTAL ROOF SURFACE AREA TO BE REMOVED</b> 189 SQ. FT.



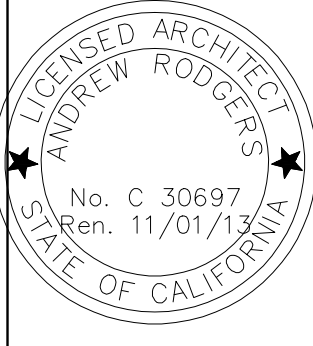
	TOTAL WALL SURFACE AREA 482 SQ. FT.		TOTAL ROOF SURFACE AREA N/A
	TOTAL WALL SURFACE AREA TO BE REMOVED 482 SQ. FT.		TOTAL ROOF SURFACE AREA TO BE REMOVED N/A SQ. FT.

REVISIONS

andy  
rodgers  
design  
studio

415 309 9612

www.rodgersarchitecture.com



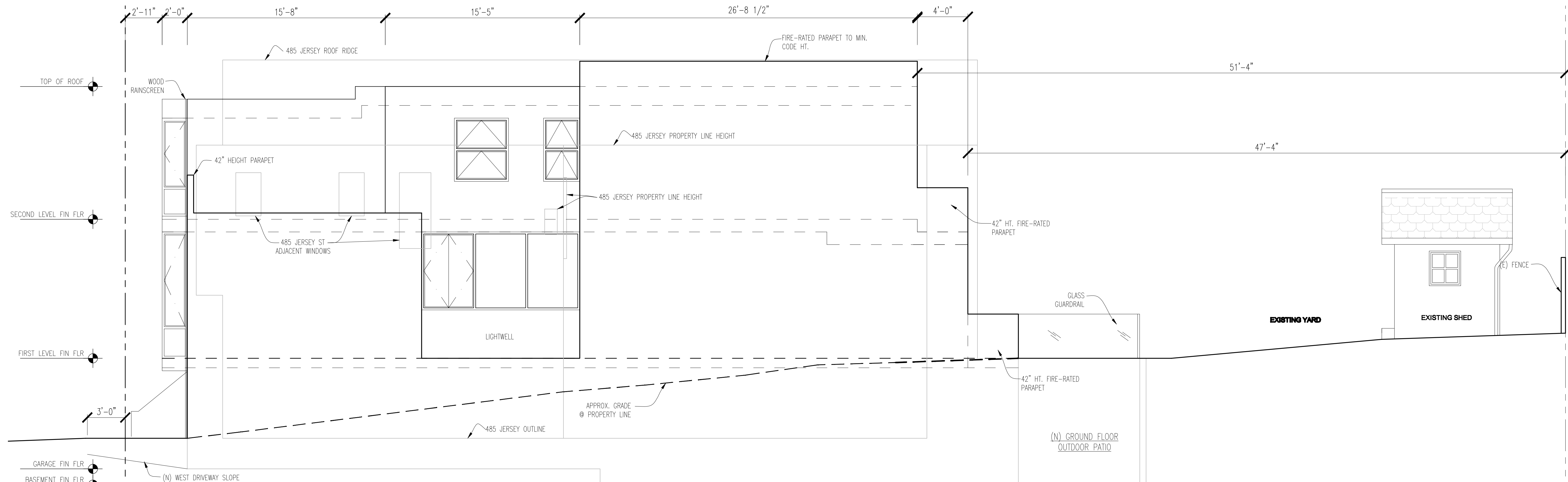
ALTERATIONS TO:  
481 JERSEY STREET  
SAN FRANCISCO, CA, 94114  
OWNER: 481 JERSEY STREET LLC (650) 281-4832

REVISED FOR SITE PERMIT

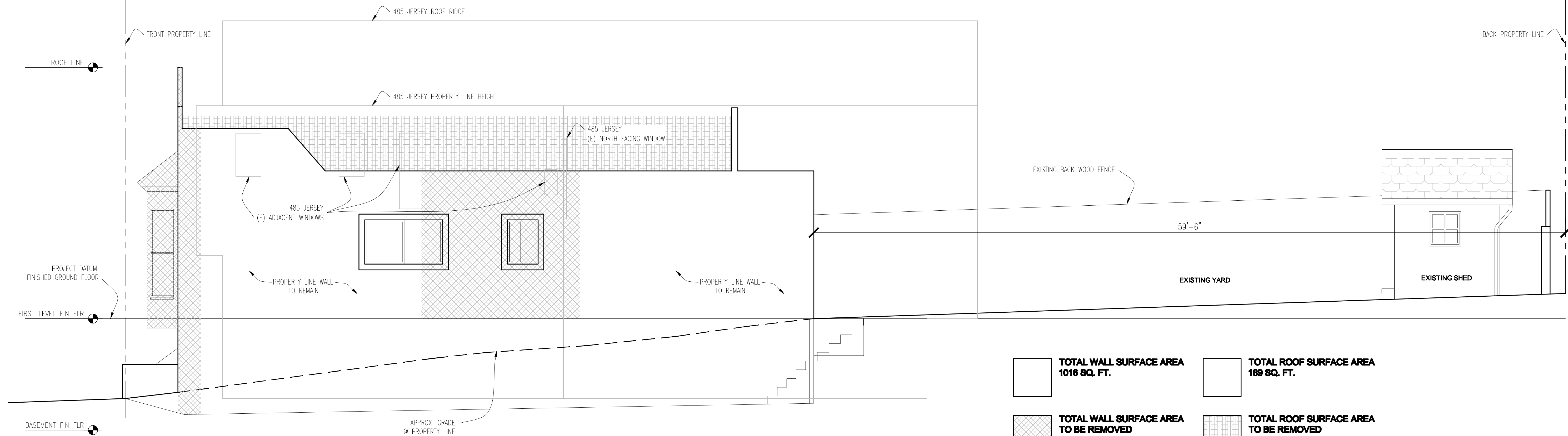
EXISTING / PROPOSED ELEVATIONS

DATE NOV 5, 2012  
SCALE 1/4"=1'-0"  
DRAWN  
JOB

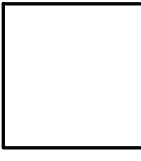
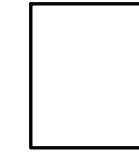
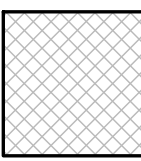
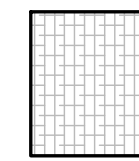
**A2.3**



2 PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"

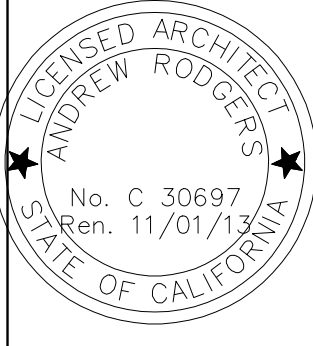


1 EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

	<b>TOTAL WALL SURFACE AREA 1016 SQ. FT.</b>		<b>TOTAL ROOF SURFACE AREA 189 SQ. FT.</b>
	<b>TOTAL WALL SURFACE AREA TO BE REMOVED 244 SQ. FT.</b>		<b>TOTAL ROOF SURFACE AREA TO BE REMOVED 189 SQ. FT.</b>

REVISIONS

**andy  
rodgers  
design  
studio**  
415 309 9612  
www.rodgersarchitecture.com



ALTERATIONS TO:  
**481 JERSEY STREET**  
SAN FRANCISCO, CA, 94114  
OWNER: 481 JERSEY STREET LLC (650) 281-4832

REVISED FOR SITE PERMIT

EXISTING / PROPOSED ELEVATIONS

DATE NOV 5, 2012  
SCALE 1/4"=1'-0"  
DRAWN  
JOB

**A2.4**

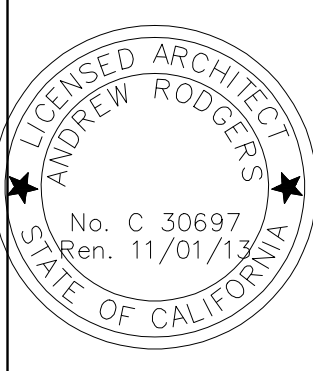


REVISIONS

andy  
rodgers  
design  
studio

415 309 9612

www.rodgersarchitecture.com



ALTERATIONS TO:  
**481 JERSEY STREET**  
SAN FRANCISCO, CA, 94114  
OWNER: 481 JERSEY STREET LLC (650) 281-4832

REVISED FOR SITE PERMIT

EXISTING SECTIONS

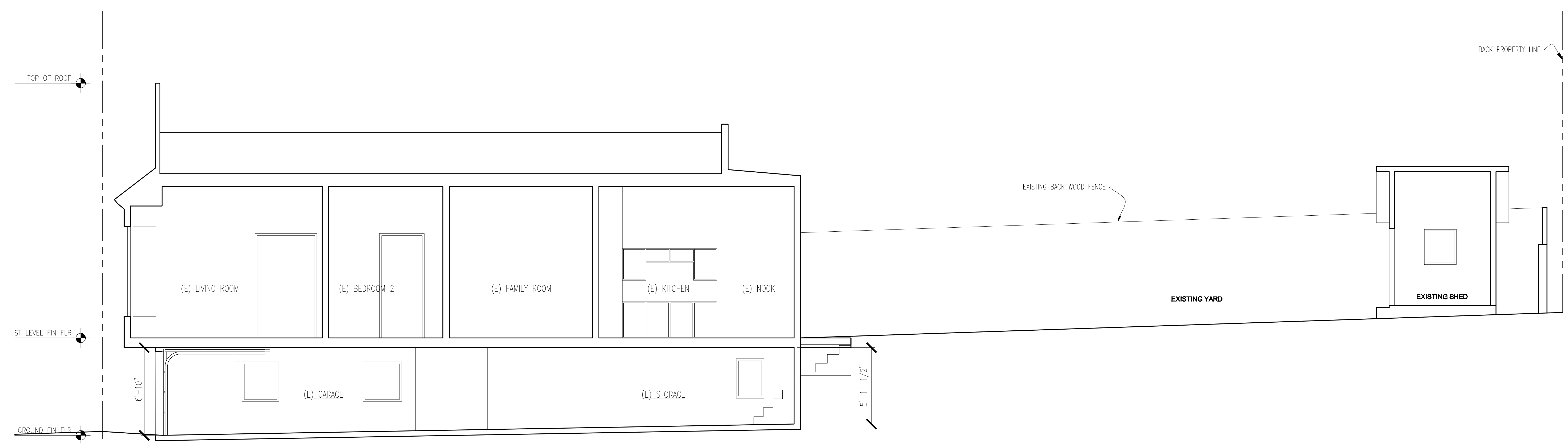
DATE NOV 5, 2012

SCALE 1/4"=1'-0"

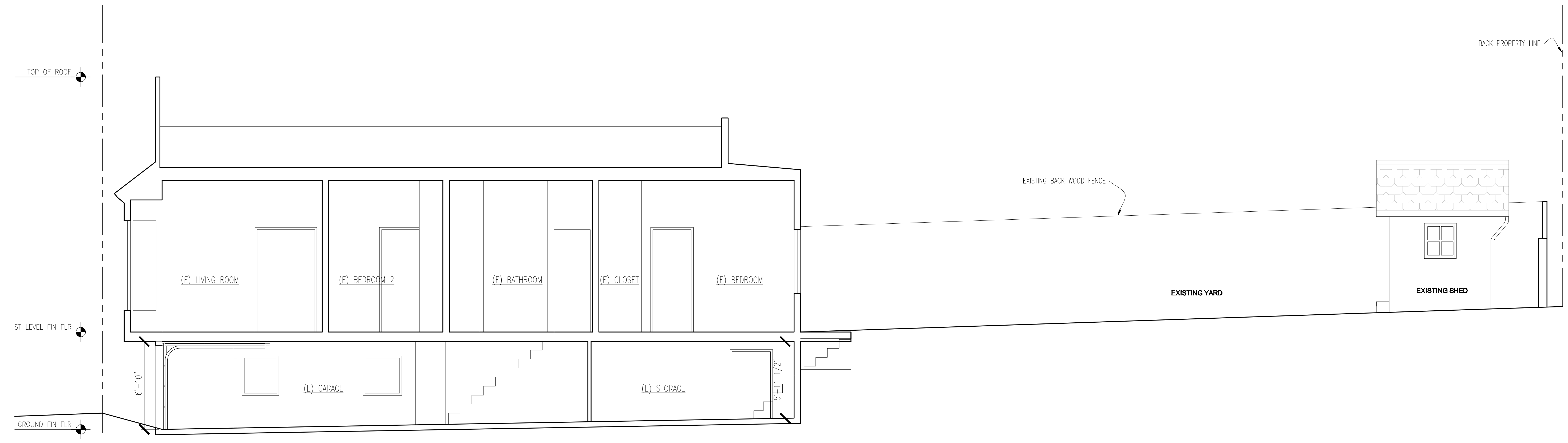
DRAWN

JOB

**A3.1**



2 EXISTING SECTION 2  
SCALE: 1/4" = 1'-0"



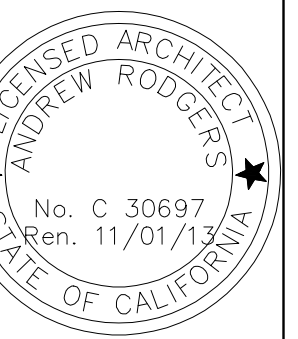
1 EXISTING SECTION 1  
SCALE: 1/4" = 1'-0"

REVISIONS

andy  
rodgers  
design  
studio

415 309 9612

www.rodgersarchitecture.com



ALTERATIONS TO:  
**481 JERSEY STREET**  
SAN FRANCISCO, CA, 94114  
OWNER: 481 JERSEY STREET LLC (650) 281-4832

REVISED FOR SITE PERMIT

PROPOSED SECTIONS

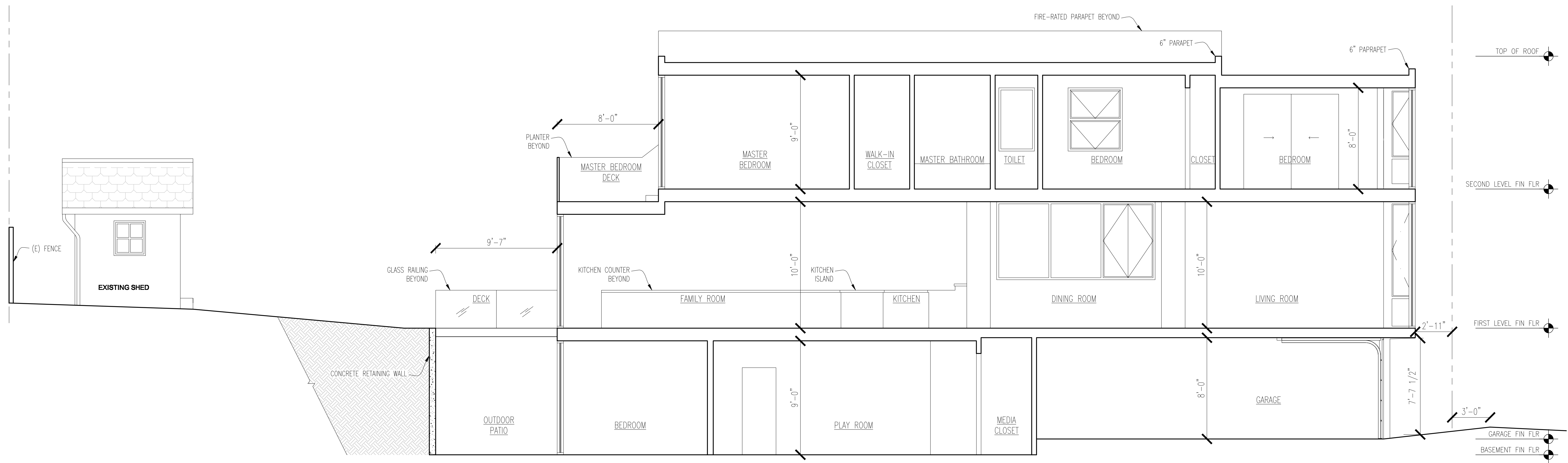
DATE NOV 5, 2012

SCALE 1/4" = 1'-0"

DRAWN

JOB

**A3.2**



1 PROPOSED SECTION  
SCALE: 1/4" = 1'-0"