



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use / Residential Demolition

HEARING DATE: JUNE 23, 2011

Date: June 16, 2011
Case No.: **2008.1218C**
Project Address: **70-74 GOLD MINE DRIVE**
Zoning: RH-1 (Residential, House, Single-Family) District
40-X Height and Bulk District
Block/Lot: 7520/033 & 034
Project Sponsor: Toby Morris
Kerman Morris Architects
69A Water Street
San Francisco, CA 94133
Staff Contact: Sharon Lai – (415) 575-9087
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Recommendation: Approval with Conditions

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PROJECT DESCRIPTION

The Applicant seeks a Conditional Use Authorization to demolish an existing single-family house located on lot 033 and a detached garage structure located on lot 034, merge lots 033 and 034, and to construct three new dwelling units. Pursuant to Planning Code Section 209.1(f), the RH-1 District permits dwellings at a density ratio up to one dwelling-unit for each 3,000 square feet of lot area, and no more than three dwelling-units per lot, if authorized as a Conditional Use by the Planning Commission. The Subject Property contains 9,808 square feet of lot area, and is thus conditionally permitted by the Planning Commission to have a density of three dwelling-units on the lot. Pursuant to Section 317(d), a Conditional Use Authorization by the Planning Commission is required for the demolition of existing housing.

The project proposes three family sized dwelling units that are two-stories over garage. The units are configured to be accessed by a shared driveway from Gold Mine Drive. Unit A is oriented to face Gold Mine Drive, whereas Units B and C are oriented to be perpendicular to Gold Mine Drive towards the east. Each unit will have three bedrooms and will range from 2,768 to 2,872 net square feet.

Pursuant to Planning Code 317 (c), "where an application for a permit that would result in the loss of one or more Residential Units is required to obtain Conditional Use Authorization by other sections of this Code, the application for a replacement building or alteration permit shall also be subject to Conditional Use requirements." This report includes findings for a Conditional Use Authorization in addition to Demolition Criteria established in Planning Code Section 317. The design of the new structure is analyzed in the Design Review Checklist.

DEMOLITION APPLICATION		NEW BUILDING APPLICATION	
Demolition Case Number	2008.1218C	New Building Case Number	2008.1218C
Recommendation	Approve CU with conditions	Recommendation	Approve CU with conditions
Demolition Application Number	TBD	New Building Application Number	TBD
Number Of Existing Units	1	Number Of New Units	3
Existing Parking	1	New Parking	6
Number Of Existing Bedrooms	2	Number Of New Bedrooms	9
Existing Building Area	±1,200 Sq. Ft.	New Building Area	±8,471 Sq. Ft.
Public DR Also Filed?	No	Public DR Also Filed?	No
311 Expiration Date (Combined with CU Notice)	June 23, 2011	Date Time & Materials Fees Paid	N/A

SITE DESCRIPTION AND PRESENT USE

The project sites are located at the beginning of a cul-de-sac, on the north side of Gold Mine Drive, and east of Diamond Heights Boulevard, lots 033 and 034 in Assessor's Block 7520. The project sites are within an RH-1 (Residential, House, Single-Family) District and a 40-X Height and Bulk district. The project sites currently contain two buildings, the vacant residential unit at 70 Gold Mine Drive is located on lot 033 and the detached garage structure at 74 Gold Mine Drive is located on lot 034. The residential building is a two-story, single-family home structure constructed circa 1895. The garage is a single story structure containing one parking space and was constructed circa 1985, based upon Department of Building Inspection's record. The two parcels have curved lot frontages, with lot depths ranging from approximately 121 feet to 143 feet. Lot 033 is 38 feet, 6 inches wide at the street, containing a lot size of 4,681 square feet; and lot 034 is 41 feet, 6 inches at the street, containing a lot size of 5,127 square feet.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project sites are located at the neck of a cul-de-sac, within the Noe Valley neighborhood and bordering Diamond Heights. The immediate neighborhood is a mix of single family homes within the RH-1 (Residential House, One unit per lot) zoned properties and apartments within the RM-1 (Residential Mixed, Low Density) zoned properties. The block-face is characterized by low, flat two- to three-story structures, and larger apartment complexes. The subject building appears to be the only modified Queen Anne style structure on the block. The adjacent property (lot 015) to the west is zoned RM-1 and developed with three-story, 64 unit apartment buildings. There is a walkway easement along lot 015's east side property line, which is adjacent to the subject property's west side property line. The adjacent building to the east is a two-story, single-family home. The "Vista Del Monte" housing

development with 104 units and zoned RM-1, is located on the south side of Gold Mine Drive opposite the subject property.

REPLACEMENT STRUCTURE

The project proposes to construct three attached family-sized dwelling units that are each two-stories over garage. The units are accessed by a shared driveway from Gold Mine Drive. Unit A is oriented to face Gold Mine Drive with 2,872 square feet of net square footage; Unit B is oriented perpendicular to Gold Mine Drive, with the unit entry facing east and has 2,768 net square feet; and Unit C is also accessed along the shared driveway, facing east, and has 2,831 net square feet. Each unit will have three bedrooms and two parking spaces. The building will be setback 11 feet from the front property line (south) and setback 31 feet, 6 inches from the rear property line (north). The west side building façade adjacent to the pedestrian easement will be setback a minimum of 2 feet, 6 inches to a maximum of 11 feet at certain intervals. The east side façade is approximately 30 feet from the property line and has the shared driveway that will be screened by a planting area and an 8 foot tall property line fence. The open space requirements are met through decks and the shared rear yard, and the exposure requirements are met by providing the east side setback. The development is fully Code compliant as per RH-1 zoning standards and will not require a variance.

ENVIRONMENTAL REVIEW

The Planning Department determined that the project is categorically exempt from environmental review for the purposes of the California Environmental Quality Act (CEQA) on March 4, 2009.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	June 3, 2011	June 3, 2011	20 days
Mailed Notice	10 days	June 13, 2011	June 13, 2011	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	1	1	0
Other neighbors on the block or directly across the street	3	11	0
Neighborhood groups	3	0	0

The Planning Department has received 7 letters in support and 1 letter and two phone calls in opposition to the project. Neighbors in opposition to the project are concerned with the elimination of views, the

increase in noise and light caused by vehicular traffic down the proposed driveway, and are concerned about security and access onto their property.

ISSUES AND OTHER CONSIDERATIONS

- The project would require a lot merger and result in an unusually large lot with approximately 9,808 square feet.
- The existing structures (garage and dwelling) do not meet the affordability criterion under Planning Code Section 317.
- The project proposes 6 parking spaces where 3 are required, and exceeds the amount permitted as accessory parking.
- The proposed Project is designed to be three-stories tall, where the adjacent single-family homes within the same RH-1 zoning are predominantly two-stories.
- The driveway may cause issues for neighboring properties due to potential vehicular noise and light. The driveway which is approximately 90 feet deep from the street may cause safety concerns by increasing the accessibility from the street to the adjacent properties.

RESIDENTIAL DESIGN TEAM REVIEW

The request(s) for demolition and new construction was reviewed by the Department's Residential Design Team (RDT). The RDT's comments include:

- The massing of the building is modulated at the street to create a fine-grained residential scale, consistent with the neighborhood character, and acts as a transition between the adjacent apartment building and single-family dwelling. (RDG, pg. 24-25, 28-29)
- The design of the building, specifically its fenestration pattern, material choice, and building proportions at the street are consistent with, and act as a transition to, the surrounding properties (RDG, pg. 43-48)
- The project includes substantial buffers along the sides and rear of the property. (RDG, pg. 15-16, 25-26)
- Public view sheds will not be adversely affected by the proposed project, as the height of the project is consistent with the surrounding development; private views are not protected under the Residential Design Guidelines. (RDG, pg. 18)

The RDT supports the project as proposed.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use authorization for the demolition of the existing single-family dwelling and to three new dwelling units for each 3,000 square feet of lot area on the RH-1 lot.

BASIS FOR RECOMMENDATION

- The project proposes to demolish an unsound housing unit and will result in the construction of three new family sized dwelling units. The existing dwelling is found to be unsound based on

Planning Code Section 317, in that the upgrade cost is more than 50 percent of the replacement cost. The upgrade cost for the existing dwelling is 94% of the replacement cost and is therefore deemed unsound.

- Although the amount of proposed parking exceeds the amount permitted as an accessory use, the project meets the findings pursuant to Section 157 for parking exceeding accessory amounts.
- The Subject RH-1 parcel abuts a large RM-1 lot (south side neighbor) that contains 64 apartment units, within three buildings. Due to topography, the adjacent apartment is situated approximately one story taller than the north side of the Subject lot. The proposed Project has been designed to act as a transition between the two zoning districts and is configured so that the scale of the development will be consistent with the single-family home pattern along Gold Mine Drive.
- A motorized gate will be installed at the neck of the driveway to increase security. Additionally, property line fences will be installed to inhibit access to the adjacent properties.
- The proposed rear yard has been designed to be deeper than the adjacent RH-1 neighbor, so as to provide additional relief for the neighbors as well as to minimize the size of the building footprint.
- The Project will create two additional family-sized dwelling-units, each with three bedrooms.
- No tenants will be displaced as a result of this Project.
- Given the scale of the Project, there will be no significant impact on the existing capacity of the local street system or MUNI.
- The RH-1 Zoning District allows a maximum of three dwelling-units on the proposed lot. This District is intended to accommodate a greater density than what currently exists on this underutilized lot. The Project is therefore an appropriate in-fill development.
- Although the structure is more than 50-years old, a review of the Historic Resource Evaluation resulted in a determination that the existing building is not an historic resource or landmark.
- The project increasing the City's housing stock
- The project is well designed and integrated with the existing neighborhood character.
- The project will increase the availability of on-street parking by reducing curb cuts and increasing the number of off-street parking.
- The proposed Project meets all applicable requirements of the Planning Code.

RECOMMENDATION: Approval with Conditions.

Attachments:

Design Review Checklist for replacement building
Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Residential Demolition Application
Prop M findings
Environmental Evaluation / Historic Resources Information
Reduced Plans
Context Photos
Color Rendering
* All page numbers refer to the Residential Design Guidelines

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input checked="" type="checkbox"/> Renderings |
| <input checked="" type="checkbox"/> Sanborn Map | <input checked="" type="checkbox"/> Photo Simulations |
| <input checked="" type="checkbox"/> Aerial Photo | <input checked="" type="checkbox"/> Public Comment |
| <input checked="" type="checkbox"/> Context Photos | <input checked="" type="checkbox"/> Letter from Sponsor |
| <input checked="" type="checkbox"/> Site Photos | |
| <input checked="" type="checkbox"/> HRER | |
| <input checked="" type="checkbox"/> Soundness Report | |

Exhibits above marked with an "X" are included in this packet

Planner's Initials

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Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

Comments: Cul-de-sac containing 2- and 3- story single-family structures and larger apartment complexes.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?	X		
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?			X
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?	X		
Is the building articulated to minimize impacts on light to adjacent cottages?			X

Comments: Side setbacks are provided to alleviate impacts on neighbors. Landscaping and setback is provided along the walkway easement along the west side property line.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

Comments: The proposed structure will have a flat roof, which is prominent in the subject block. The 11 foot front setback requirement is respected, and the proposed rear yard is deeper than that of the east side single-family home.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?	X		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?			X
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?			X
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?	X		
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?	X		
Are the parapets compatible with the overall building proportions and other building elements?	X		

Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

Comments: The building entrance for Unit A is located at the front of the building facing the street and respects the established pattern. The other two units are designed to be accessed from the shared driveway, so as to maintain the existing single-family house rhythm at abutting the street. Curb cuts are reduced and relocated to be adjacent to an existing curb cut, minimizing lose of on street parking.

BUILDING DETAILS (PAGES 43 - 48)

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

Comments: Many buildings in the neighborhood were constructed within the last 50 years and are modern. The proposed contemporary design incorporates materials, fenestration, design elements that are similar to those present within the immediate neighborhood.

SPECIAL GUIDELINES FOR ALTERATIONS TO BUILDINGS OF POTENTIAL HISTORIC OR ARCHITECTURAL MERIT (PAGES 49 - 54)

QUESTION	YES	NO	N/A
Is the building subject to these Special Guidelines for Alterations to Buildings of Potential Historic or Architectural Merit?			X
Are the character-defining features of the historic building maintained?			X

Are the character-defining building form and materials of the historic building maintained?			X
Are the character-defining building components of the historic building maintained?			X
Are the character-defining windows of the historic building maintained?			X
Are the character-defining garages of the historic building maintained?			X

Comments: The existing structures have been found to not be resources.



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Motion No. XXXX

HEARING DATE: JUNE 23, 2011

Date: June 16, 2011
Case No.: **2008.1218C**
Project Address: **70-74 GOLD MINE DRIVE**
Zoning: RH-1 (Residential, House, Single-Family) District
 40-X Height and Bulk District
Block/Lot: 7520/033 & 034
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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 157, 204.5, 209.1, 303 AND 317, TO DEMOLISH A SINGLE-FAMILY HOME AND A DETACHED GARAGE, MERGE LOTS 033 AND 034, CONSTRUCT THREE NEW DWELLING UNITS AND TO ALLOW ONE PARKING SPACE ABOVE THE AMOUNT PERMITTED AS-OF-RIGHT, WITHIN THE RH-1 ZONING – RESIDENTIAL HOUSE, ONE UNIT PER LOT AND 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On January 6, 2011, Toby Morris of Kerman Morris Architects (Project Architect) for Gold Mine Partners LLC (Property Owner) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Sections 209.1, 303 and 317 to demolish a single-family home and detached garage structure at **70 and 74 Gold Mine Drive**, merge the two lots, and construct three new dwelling units within an RH-1 (Residential, House, Single-Family) District and a 40-X Height and Bulk District.

On June 23, 2011, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2008.1218C.

On March 4, 2009, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 1 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project Case No. 2008.1218E.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2008.1218C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Applicant seeks a Conditional Use Authorization to demolish an existing vacant single-family house located on lot 033 and a detached garage structure located on lot 034, merge lots 033 and 034, and to construct three new dwelling units. Pursuant to Planning Code Section 209.1(f), the RH-1 District permits dwellings at a density ratio up to one dwelling-unit for each 3,000 square feet of lot area, and no more than three dwelling-units per lot, if authorized as a Conditional Use by the Planning Commission. The Subject Property contains 9,808 square feet of lot area, and is thus conditionally permitted by the Planning Commission to have a density of three dwelling-units on the lot. Pursuant to Section 317(d), a Conditional Use Authorization by the Planning Commission is required for the demolition of existing housing.

The project proposes three family sized dwelling units that are two-stories over garage. The units are configured to be accessed by a shared driveway from Gold Mine Drive. Unit A is oriented to face Gold Mine Drive, whereas Units B and C are oriented to be perpendicular to Gold Mine Drive towards the east. Each unit will have three bedrooms and will range from 2,768 to 2,872 net square feet.

3. **Site Description and Present Use.** The project sites are located at the beginning of a cul-de-sac, on the north side of Gold Mine Drive, and east of Diamond Heights Boulevard, lots 033 and 034 in Assessor's Block 7520. The project sites are within an RH-1 (Residential, House, Single-Family) District and a 40-X Height and Bulk district. The project sites currently contain two buildings, the residential unit at 70 Gold Mine Drive is located on lot 033 and the detached garage structure at 74 Gold Mine Drive is located on lot 034. The residential building is a two-story, single-family home constructed circa 1906. The garage is a single story structure containing one parking space constructed circa 1985, based upon Department of Building Inspection's record. The two parcels have curved lot frontages, with lot depths ranging from approximately 121 feet to 143 feet. Lot 033 is 38 feet, 6 inches wide at the street, containing a lot

size of 4,681 square feet; and lot 034 is 41 feet, 6 inches at the street, containing a lot size of 5,127 square feet.

4. **Surrounding Properties and Neighborhood.** The project sites are located at the neck of a cul-de-sac, within the Noe Valley neighborhood and bordering Diamond Heights. The immediate neighborhood is a mix of single family homes within the RH-1 (Residential House, One unit per lot) zoned properties and apartments within the RM-1 (Residential Mixed, Low Density) zoned properties. The block-face is characterized by low, flat two- to three-story structures, and larger apartment complexes. The subject building appears to be the only modified Queen Anne style structure on the block. The adjacent property (lot 015) to the west is zoned RM-1 and developed with three-story, 64 unit apartment buildings. There is a walkway easement along lot 015's east side property line, which is adjacent to the subject property's west side property line. The adjacent building to the east is a two-story, single-family home. The "Vista Del Monte" housing development with 104 units and zoned RM-1, is located on the south side of Gold Mine Drive opposite the subject property
5. **Public Comment.** The Planning Department has received three letters in support and one letter and one phone call in opposition to the project. Neighbors in opposition to the project are concerned with the elimination of views, the increase in noise and light caused by vehicular traffic down the proposed driveway, and are concerned about security and access onto their property.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Dwelling Unit Density.** Pursuant to Planning Code Section 209.1(f), Conditional Use Authorization is required to establish three dwelling-units on a lot that provides at least 9,000 square feet of lot area in the RH-1 District

The Project seeks Conditional Use Authorization to allow three dwelling-units on the Subject Property, which contains approximately 9,808 square feet of lot area.

- B. **Residential Demolition.** Pursuant to Planning Code Section 317(d), Conditional Use Authorization is required for applications proposing to demolish existing housing. This Code Section establishes a checklist of criteria that delineate the relevant General Plan Policies and Objectives.

The demolition of unsound housing is exempt from Mandatory Discretionary Review hearings and is eligible for administratively approval by the Zoning Administrator pursuant to Section 317(d)(3). However, if a Conditional Use authorization is required for approval of the permit to Demolish a Residential Building by other sections of this Code, the Commission shall consider the replacement structure as part of its decision on the Conditional Use application, pursuant to Section 317(d)(2). As the project requires Conditional Use Authorization per the requirements of the Section 317, the

additional criteria specified under Section 317 have been incorporated as findings as part of this Motion. See Item 8, "Additional Findings pursuant to Section 317" below.

- C. **Front Setback.** Section 132 establishes front setback requirements in the RH and RM districts.

The proposed building will be setback a minimum of 11 feet from the front property line, to match that of the adjacent east side neighbor in the same district.

- D. **Rear Yard Requirement.** Planning Code Section 134 requires, in RH-1 Districts, a rear yard measuring 25 percent of the total depth.

The Project proposes an approximately 31 foot, 6 inches deep rear yard for the lot, which is equal to 25 percent of the lot depth. All three dwelling units will have access to the rear yard.

- E. **Open Space.** Section 135 establishes standards for usable open space for dwelling units. In the RH-1 District 300 square feet of usable open space is required for each unit if private, or 400 square feet per unit if shared.

The Project provides both private and shared usable open space in form of decks and rear yard. The proposed rear yard is approximately 2,400 square feet, which is over 800 square feet for each dwelling unit. Each dwelling unit provides qualified private usable open space in form of decks at the second, third and roof levels.

- F. **Exposure.** Section 140 requires that every dwelling unit have windows in at least one 120-square-foot-minimum-size room face directly onto an open area, such as a public street, public alley, side yard at least 25 feet in width, or rear yard meeting the requirements of the Code.

All units have Code-complying exposure onto a public street, or onto an open area that is no less than 25 feet in every horizontal direction for the floor at which the dwelling unit is located and the floor immediately above, meeting the requirements of the Code. Unit A faces the street, Unit B and Unit C. are open to the side (east) at the three level that is more than 25 feet in every horizontal direction.

- G. **Parking Exceeding Accessory Amounts.** Planning Code Section 204.5 states that accessory parking shall be parking that does not exceed 150 percent of the required number of spaces where three or more spaces are required by the Planning Code. Planning Code Section 157 sets forth the following criteria, in addition to Conditional Use criteria per Section 303, for when the amount of parking exceeds the amount of accessory parking.

As the project proposes three units, three parking spaces are required. Two accessory parking spaces or up to a total of five parking spaces (equal to 150 percent of the required amount of parking) is allowed as-of-right. The project proposes one parking space in excess of the accessory amount for a total of six parking spaces.

1. Demonstration that trips to the use or uses to be served, and the apparent demand for additional parking, cannot be satisfied by the amount of parking classified by this Code as accessory, by transit service which exists or is likely to be provided in the foreseeable future, by car pool arrangements, by more efficient use of existing on-street and off-street parking available in the area, and by other means;

The Project Sponsor proposes to construct two independently accessible, side by side parking spaces for each dwelling unit, with a total of six parking spaces, which is one in excess of the five allowed with accessory parking. Due to the size of the proposed units, it is anticipated that Project residents will own at least two vehicles per unit, and therefore the six spaces will be necessary to serve Project's parking demand. The surrounding area contains two higher density affordable housing developments. Allowing enclosed parking for the dwelling units with internal access to and from the garage will increase the safety for the residents. Furthermore, there are only two bus lines available within a ¼ mile radius from the project site (bus #35 and 53). Due to limited availability of public transit, it is anticipated that future residents will rely on driving.

2. Demonstration that the apparent demand for additional parking cannot be satisfied by the provision by the applicant of one or more car-share parking spaces in addition to those that may already be required by Section 166 of this Code.

Car share spaces are not required for this small project. The proposed parking garage will not be accessible to non-residents of the Project, and therefore car-share parking spaces are not feasible to provide.

3. The absence of potential detrimental effects of the proposed parking upon the surrounding area, especially through unnecessary demolition of sound structures, contribution to traffic congestion, or disruption of or conflict with transit services;

The proposed parking will have no detrimental effects on the surrounding area. The Project is residential and will not create significant new commuter traffic that could overburden local streets or neighborhood parking. The construction of the three garages with six spaces will ensure that the Project does not contribute to the need for on-street parking. The three garages will share one driveway, which minimizes the amount of curb cut required and preserves the availability of on-street parking. Furthermore, the construction of the garage will have no negative effect on the Property itself, in that the existing building is found to be unsound.

4. In the case of uses other than housing, limitation of the proposed parking to short-term occupancy by visitors rather than long-term occupancy by employees; and

The proposed use for the Project is residential, and therefore, this criterion does not apply.

5. Availability of the proposed parking to the general public at times when such parking is not needed to serve the use or uses for which it is primarily intended.

The project will produce only six parking spaces intended for use by the residents of the three dwelling units. The project is located in a residential neighborhood. Both the size of the project

and its location make it impractical to share the parking with the public. In addition, due the location and design of the garages being directly accessible to the connected dwelling units and its accessibility through a shared private driveway, it would not be feasible to make the proposed parking accessible to the general public. The shared driveway will be located on private property behind a motorized gate. In addition, once in the garage, the only egress would be into the units themselves. For these reasons, public access to the garage would not be possible.

- H. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is located in a 40-X Height and Bulk District, with a 35-foot height limit and requires a 30-foot height limit at the front property line.

The three new dwelling units as designed will be 30 feet at the front and a maximum height of 32 feet from existing grade.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The replacement building is designed to be in keeping with the existing development pattern and the neighborhood character. The use and size of the proposed project is compatible with the immediate neighborhood and has been designed to be a transition between the RM-1 and RH-1 zoning districts. While the project proposes demolition of one existing dwelling unit the replacement structure will provide three new family sized units.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project is designed to be compatible with the surrounding neighborhood and serves as a transition between the adjacent larger apartment building and the two-story single family homes. Side setbacks and additional vegetation are also provided to aid in the transition as well as provide relief for the adjacent neighbors. The proposed rear yard is deeper than what is provided by the single-family home to the east of the subject site.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code requires three parking spaces for the replacement building. 6 spaces are proposed, where currently one parking space in the detached garage is provided for the existing buildings. The project also eliminates the existing 30-foot wide curb cut and creates a new 10 foot wide curb cut that will be shared by all three dwelling units. The 20 foot net reduction in curb cuts results in additional on-street parking.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

As the proposed project is residential in nature, unlike commercial or industrial uses, the proposed residential use is not considered to have the potential to produce noxious or offensive emissions.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

Although designed in a contemporary aesthetic, the façade treatment and materials of the replacement buildings have been appropriately selected to be harmonious with the existing surrounding neighborhood. The existing building is one of the only pitched roof structures on the block. The proposed flat roof line is consistent with other flat roof structures in the subject block.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable RH-1 District.

The proposed project is consistent with the stated purpose of the RH-1 Districts.

- 8. **Additional Findings pursuant to Section 317** establishes criteria for the Planning Commission to consider when reviewing applications to demolish or convert Residential Buildings. On balance, the Project does comply with said criteria in that:

- i. Whether the Project Sponsor has demonstrated that the residential structure is unsound, where *soundness* is an economic measure of the feasibility of upgrading a residence that is deficient with respect to habitability and Housing Code requirements, due to its original construction. The *soundness factor* for a structure shall be the ratio of a construction upgrade to the replacement cost, expressed as a percent. A building is unsound if its soundness factor exceeds 50-percent. A residential building that is unsound may be approved for demolition.

Project meets criterion.

Based on Planning staff's review of the Soundness Report prepared by "Patrick Buscovich & Associates Structural Engineers, Inc." – an independent third party for this Project – the existing dwelling is unsound. A summary of deficiencies that are due to original construction includes structural pest damage, foundation deficiencies, mold due to lack of flashing and weather proofing, framing deficiencies, and hazardous electrical conditions. All costs associated with the remediation of original construction deficiencies can be counted toward the upgrade cost. The submitted soundness report (enclosed) has been evaluated by staff and demonstrates that the building exceeds the threshold for soundness as defined per Section 317 of the Planning Code, where the upgrade cost to be \$197,800 and the replacement cost to be \$210,290. The upgrade cost is 94% of the replacement cost, which is more than the 50% threshold for soundness. Therefore, the existing dwelling unit is found to be unsound.

- ii. Whether the property is free of a history of serious, continuing code violations;

Project meets criterion.

A review of the Department of Building Inspection and the Planning Department databases showed no enforcement cases or notices of violation for the subject property.

- iii. Whether the housing has been maintained in a decent, safe, and sanitary condition;

Project meets criterion.

The structures appear to be in decent condition, although original construction deficiencies are evident. The dwelling unit has been vacant for 7 years.

- iv. Whether the property is an "historic resource" under CEQA;

Project meets criterion.

Although the existing structures are more than 50 years old, a review of the supplemental information resulted in a determination that neither structure is an historical resource.

- v. Whether the removal of the resource will have a substantial adverse impact under CEQA;

Project meets criterion.

Not applicable. The structures are not historical resources.

- vi. Whether the Project converts rental housing to other forms of tenure or occupancy;

Project meets criterion.

The Project does not convert rental housing to other forms of tenure or occupancy, as the existing dwelling unit has been vacant. There are no restrictions on whether the three new units will be rental or ownership.

- vii. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

Project meets criterion.

No rent controlled units will be removed. The project site has been owned by the current owners since 2006 and the unit has been vacant since 2004.

- viii. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Project meets criterion.

Although the Project proposes demolition of a two-bedroom unit, the number of units is being increased at the project site. The three new dwelling units will be three-bedroom, family sized, single-family residence, ranging from 2,768 to 2872 net square feet.

- ix. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

Project meets criterion.

The replacement building conserves neighborhood character with appropriate scale, design, and materials, and improves cultural and economic diversity by appropriately increasing the number of bedrooms, which provide family-sized housing. The project would create a net gain of two dwelling units to the City's housing stock.

- x. Whether the Project protects the relative affordability of existing housing;

Project does not meet criterion.

The Project does not protect the relative affordability of existing housing, as the project proposes demolition of the existing residential building, which is valued at \$740,000, and construction of three new buildings. However, it should be taken into consideration that the existing buildings have been vacant for 7 years and the combined appraisal value of the existing residential building and the garage structure is \$1,390,000, which exceeds the affordability value of \$1,342,000 (80th Percentile of San Francisco single-family home values).

- xi. Whether the Project increases the number of permanently affordable units as governed by Section 315;

Project meets criterion.

The Project is not subject to the provisions of Planning Code Section 315, as the project proposes less than five units.

- xii. Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

Project meets criterion.

The Project has been designed to be in keeping with the scale and development pattern of the established neighborhood character.

- xiii. Whether the Project creates quality, new family housing;

Project meets criterion.

The Project proposes two new opportunities for family-sized housing. All three dwelling units will be three-bedroom single-family residence with a shared rear yard, privately accessed open space, and two parking spaces for each unit.

- xiv. Whether the Project creates new supportive housing;

Project does not meet criterion.

The Project does not create supportive housing.

- xv. Whether the Project promotes construction of well-designed housing to enhance existing neighborhood character;

Project meets criterion.

The overall scale, design, and materials of the proposed buildings are consistent with the block-face and compliment the neighborhood character with a contemporary design.

- xvi. Whether the Project increases the number of on-site dwelling units;

Project meets criterion.

The Project would increase the number of on-site units from one to three units.

- xvii. Whether the Project increases the number of on-site bedrooms.

Project meets criterion.

The project proposes to increase the total number of bedrooms from two to nine.

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT (2004)

OBJECTIVE 1:

TO PROVIDE NEW HOUSING, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING, IN APPROPRIATE LOCATIONS WHICH MEETS IDENTIFIED HOUSING NEEDS AND TAKES INTO ACCOUNT THE DEMAND FOR AFFORDABLE HOUSING CREATED BY EMPLOYMENT DEMAND.

Policy 1.4:

Locate in-fill housing on appropriate sites in established residential neighborhoods.

The Project provides new housing that would be relatively affordable to future owners or occupants, in that it is diverting the land costs over three units rather than one unit. The existing lots have historically been owned together, and the detached garage on lot 034 has historically been dedicated for the use of the residence located on lot 033. Based on the existing zoning controls, which allows for three dwelling-units on the proposed lot (merging lot 033 and 034) due to the abnormally large square footage of this RH-1 zoned lot (approximately 9,808 square feet); the Subject Property is an appropriate location for additional dwelling-units.

OBJECTIVE 2:
RETAIN THE EXISTING SUPPLY OF HOUSING.

Policy 2.1:
Discourage the demolition of sound existing housing.

Although the project proposes to demolish one residential structure, it has been vacant for 7 years and has been found to be an unsound unit. The project also increases the unit count to three dwelling units.

OBJECTIVE 8:
ENSURE EQUAL ACCESS TO HOUSING OPPORTUNITIES.

Policy 8.7:
Eliminate discrimination against households with children.

The project provides opportunities for families by proposing three family-sized dwelling units, each for three-bedroom, single-family homes with dedicated off-street parking.

Policy 8.9:
Encourage the provision of new home ownership opportunities through new construction so that increased owner occupancy does not diminish the supply of rental housing.

The Project provides new housing through increasing the net unit count by two.

OBJECTIVE 11:
IN INCREASING THE SUPPLY OF HOUSING, PURSUE PLACE MAKING AND NEIGHBORHOOD BUILDING PRINCIPLES AND PRACTICES TO MAINTAIN SAN FRANCISCO'S DESIRABLE URBAN FABRIC AND ENHANCE LIVABILITY IN ALL NEIGHBORHOODS.

Policy 11.2:
Ensure housing is provided with adequate public improvements, services, and amenities.

Well-designed buildings are amenities to neighborhoods. The project proposes well-designed buildings with interior layouts superior to that of the existing structures. The new structure will preserve the existing mid-block open space pattern. The reduction in curb cuts will also add additional on-street parking.

Motion No. XXXX
Hearing Date: June 23, 2011

CASE NO 2008.1218C
70-74 Gold Mine Drive

URBAN DESIGN

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.2:

Recognize, protect and reinforce the existing street pattern, especially as it is related to topography.

The project proposes demolition of a residential building and a detached garage structure that are on two separate lots. Similar to other existing structures on the block-face, the proposed building has a flat roof and contains an on-site parking on the ground floor, with interior connection to the dwelling units. The proposed project also respects the established front setback and adds additional vegetation and landscaping.

Policy 1.3:

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

The proposed replacement building reflect the existing neighborhood character and development pattern, in that it is designed to be a transition between the two-story single family homes and the larger apartment complexes. The proposed building is of similar mass, width and height and depth as the adjacent neighbors. The proposed front setback of 11 feet, reflect a prevailing pattern of front setbacks found along the block-face.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.6:

Respect the character of older development nearby in the design of new buildings.

The massing of the replacement buildings' main front façades has been designed to be compatible with the prevailing street pattern of low profiles with flat roof. Although interpreted in a contemporary architectural style, the proposed building proportions and exterior materials have been selected to be compatible with the adjacent buildings and the immediate neighborhood character.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

Existing neighborhood-serving retail uses would not be displaced or otherwise adversely affected by the proposal, as the existing buildings do not contain commercial uses/spaces. The proposed additional dwelling units and bedrooms would house more individuals to patronize the existing neighborhood-serving retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

While the existing housing is proposed to be demolished, the new dwelling units are oriented so that at the street it reads as a single-family home.

- C. That the City's supply of affordable housing be preserved and enhanced,

No affordable housing will be impacted.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project would not have a significant adverse affect on automobile traffic congestion or create parking problems in the neighborhood. The project would enhance neighborhood parking by providing six off-street parking spaces, where one currently exists. The project also reduced the amount of curb cuts and thereby increases the availability of on-street parking.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project is a residential project in an RH-1 District; therefore the Project would not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses would not be affected by the Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The replacement structure would be built in compliance with San Francisco's current Building Code Standards and would meet all earthquake safety requirements.

- G. That landmarks and historic buildings be preserved.

Landmark or historic buildings do not occupy the Project site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no negative impact on existing parks and open spaces. The project does not exceed the 40-foot height limit, and is thus not subject to the requirements of Planning Code Section 295 – Height Restrictions on Structures Shadowing Property Under the Jurisdiction of the Recreation and Park Commission. The height of the proposed structures is compatible with the established neighborhood development.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2008.1218C** subject to the following conditions attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94012.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on June 23, 2011.

Linda Avery
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSED:

ADOPTED: June 23, 2011

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow the demolition of a single-family house and a detached garage, merge lots 033 and 034 to create a 9,808 square foot parcel, and to allow three new dwelling units for each 3,000 square feet of lot area. The project proposes three, two-story over garage, dwelling units and a total of 6 parking spaces, located at 70-74 Gold Mine Drive, Block 7520, and Lots 033 and 034, pursuant to Planning Code Sections **157, 204.5, 209.1(f), 303, and 317** within the RH-1 District and a 40-X Height and Bulk District; in general conformance with plans, dated March 14, 2011, and stamped "EXHIBIT B" included in the docket for Case No. **2008.1218C** and subject to conditions of approval reviewed and approved by the Commission on **June 23, 2011** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **May 5, 2011** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

DESIGN

2. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

3. **Lot Merger.** The Project Sponsor shall complete a lot line adjustment with the Bureau of Streets and Mapping, prior to Planning Department approval.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

4. **Trees.** All existing trees as shown on the submitted proposed site plan shall be preserved.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

5. **Guardrails.** The Project Sponsor shall continue to work with Planning Department to design bird-safe guardrails. Final materials, glazing, color, texture, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

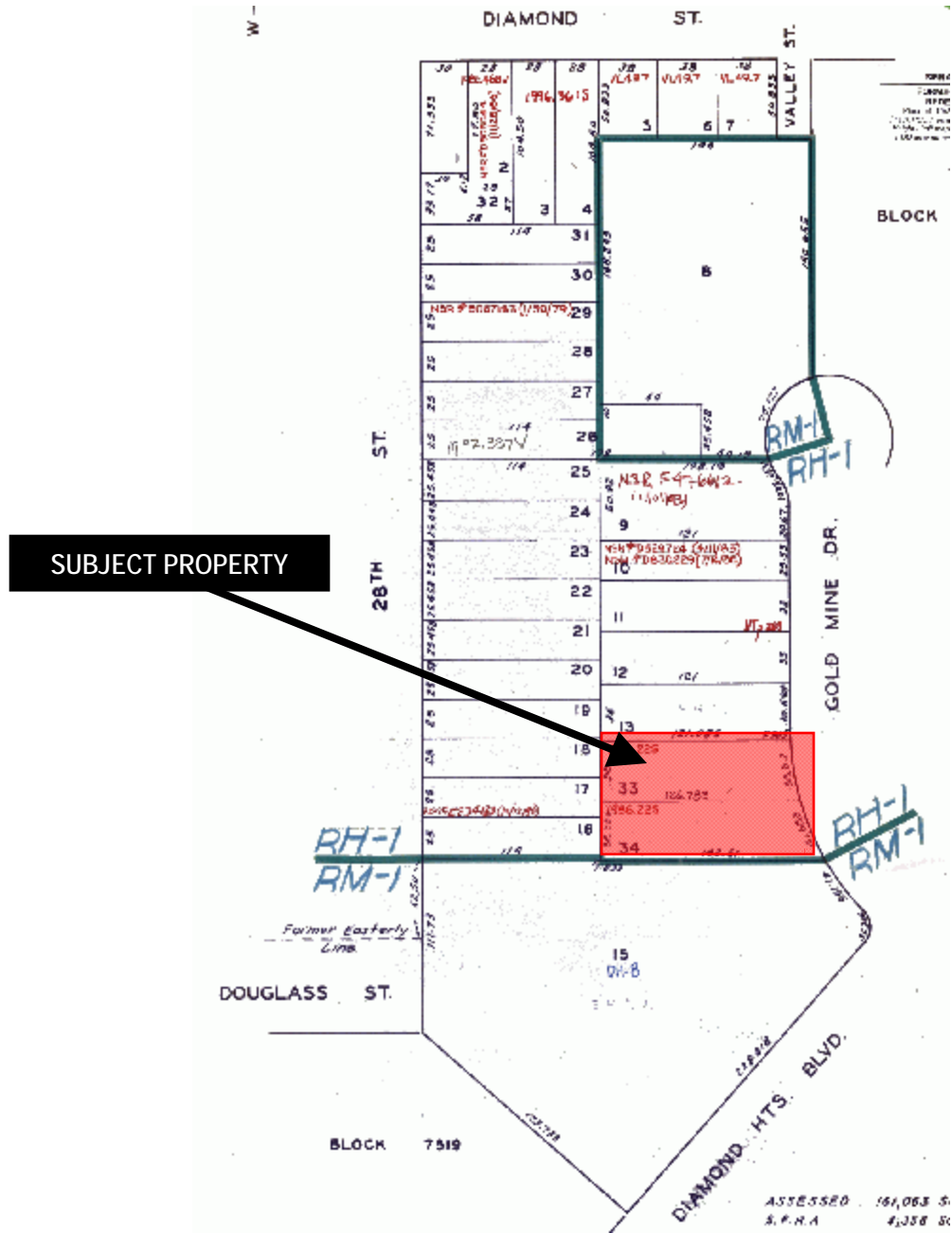
MONITORING

6. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code

Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction. *For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org*

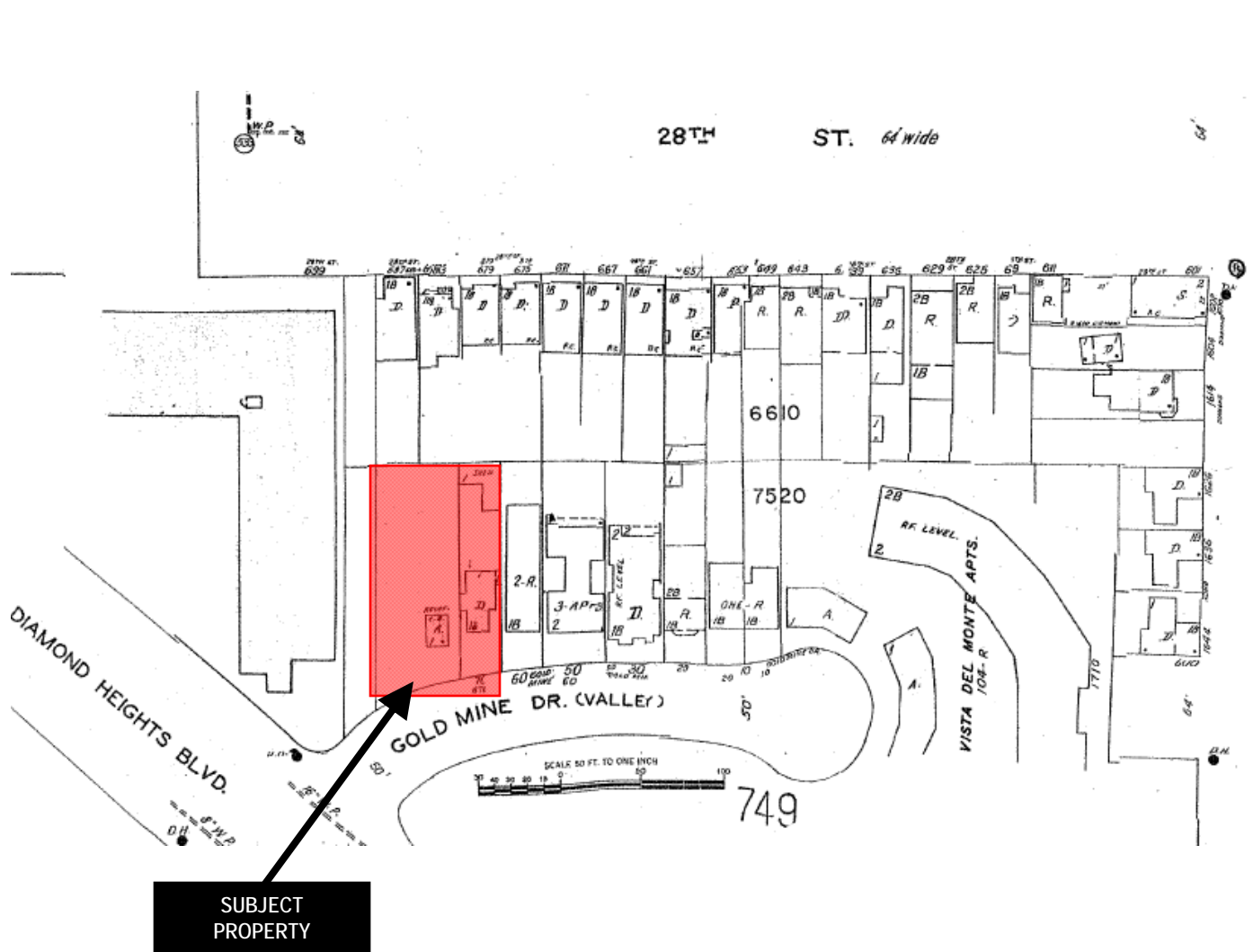
70 Gold Mine Dr

Parcel Map



Conditional Use Hearing
Case Number 2008.1218C
70 Gold Mine Drive

Sanborn Map*

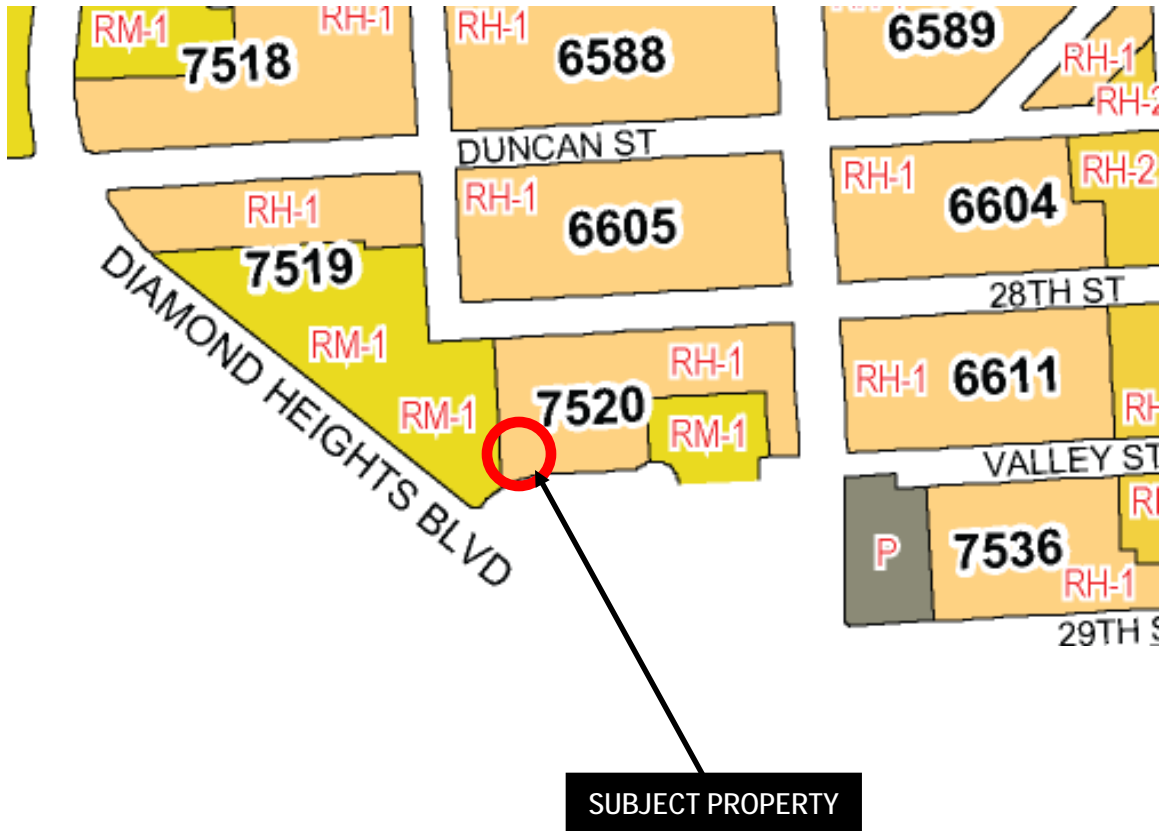


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Hearing
Case Number 2008.1218C
70 Gold Mine Drive

Zoning Map



Conditional Use Hearing
Case Number 2008.1218C
70 Gold Mine Drive

Aerial Photo

View from South



SUBJECT
PROPERTY

Conditional Use Hearing
Case Number 2008.1218C
70 Gold Mine Drive

Aerial Photo

View from East

SUBJECT
PROPERTY



Conditional Use Hearing
Case Number 2008.1218C
70 Gold Mine Drive

Site Photo

SUBJECT
PROPERTY



Conditional Use Hearing
Case Number 2008.1218C
70 Gold Mine Drive



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning File

Date: March 11, 2011

To: Brett Bollinger, Major Environmental Analysis

From: Tina Tam, Senior Preservation Planner
(415) 558-6325
tina.tam@sfgov.org

Re: 70 Gold Mine Drive, Case No. 2008.1218E

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

The Department, pursuant to CEQA (Public Resources Code Sections 21000 *et seq.*) and the CEQA Guidelines (Title 14 California Code of Regulations Sections 15000 *et seq.*), issued a Categorical Exemption for the project at 70 Gold Mine Drive on March 16, 2009, finding that the project met the criteria for an exemption under CEQA Guidelines Section 15301(e). Based upon the Historic Resource Evaluation Response, dated March 12, 2009, the subject residential building is not a historic resource for the purposes of CEQA.

The purpose of this memo is to clarify the review conducted by Preservation Staff which included the review of both the residential and garage structures. The consultant's report prepared by KDI Land Use Planning included information for both structures. Based upon Department of Building Inspection's record, the garage structure was constructed in 1985, hence it's construction date (of not more than 50 years old) makes it's a Category C (Not a Historic Resource) for the purposes of CEQA and is not eligible for listing on the California Register.

As such, the previous CEQA determination that the project is Categorically Exempt from further environmental review is still applicable.



**SAN FRANCISCO
PLANNING DEPARTMENT**

Date received:

Environmental Evaluation Application

Environmental review under CEQA is administered by the Major Environmental Analysis (MEA) division of the Planning Department. The environmental review process begins with the submittal of a completed Environmental Evaluation (EE) Application to the Planning Department. Only the current EE Application form will be accepted. No appointment is required but staff is available to meet with applicants upon request.

The EE Application will not be processed unless it is completely filled out and the appropriate fees are paid in full. Checks should be made payable to the San Francisco Planning Department. See the current *Schedule of Application Fees* and contact the staff person listed below for verification of the appropriate fees. Fees are generally non-refundable. Documents in italics are available online at sfgov.org/planning.

The EE Application is comprised of four parts. Part 1 is a checklist to ensure that the EE Application is complete; Part 2 requests basic information about the site and the project; Part 3 is a series of questions to help determine if additional information is needed for the EE Application; and Part 4 is a project summary table.

The complete EE Application should be submitted to the Planning Department staff as follows: For projects greater than 10,000 square feet in size and where Part 3 Questions #3, #8, or #10 are answered in the affirmative, or for projects that require mitigation measures, please send the application materials to the attention of Ms. Kienker. For all other projects, please send the application materials to the attention of Ms. Wise.

Viktoriya Wise
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9049, viktoriya.wise@sfgov.org

Leigh Kienker
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9036, leigh.kienker@sfgov.org

PART 1 - EE APPLICATION CHECKLIST	Provided	Not Applicable
Two copies of this application with all blanks filled in	<input checked="" type="checkbox"/>	
Two sets of project drawings	<input type="checkbox"/>	
Photos of the project site and its immediate vicinity, with viewpoints labeled	<input checked="" type="checkbox"/>	
<i>Supplemental Information Form for Historical Resource Evaluation and/or Historic Resource Evaluation Report</i> , as indicated in Part 3 Questions 1 and 2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Geotechnical Report, as indicated in Part 3 Questions 3a and 3b	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Tree Disclosure Statement</i> , as indicated in Part 3 Question 4	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Phase I Environmental Site Assessment, as indicated in Part 3 Question 8	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Community Plan Area Supplemental Information Form</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Additional studies (list)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Applicant's Affidavit. I certify the accuracy of the following declarations:

- a. The undersigned is the owner or authorized agent of the owner(s) of this property.
- b. The information presented is true and correct to the best of my knowledge.
- c. I understand that other applications and information may be required.

Signed (owner or agent)

Tang Kim

Date

9/8/08

(For Staff Use Only) Case No.

0008-1A18E

Address

70 Gold Mine Drive

Block/Lot

7520 / 033

PART 2 – PROJECT INFORMATION

Owner/Agent Information

Property Owner	Herman Bensinger	Telephone No.	415 246 8855
Address	50 Gold Mine Drive	Fax No.	416 480 1406
	SF 94131	Email	tony@townconsulting.com
Project Contact	Tony Kim (Town Consulting)	Telephone No.	
Address	100 Clement Street 3 rd floor	Fax No.	
	SF 94118	Email	

Site Information

Site Address(es):	70 Gold Mine Drive		
Nearest Cross Street(s)	Douglass Street		
Block(s)/Lot(s)	7520 / 033	Zoning District(s)	RH-1
Site Square Footage	5,005	Height/Bulk District	40-X
Present or previous site use	Vacant single-family house		
Community Plan Area (if any)	n/a		

Project Description - please check all that apply

- Addition
 Change of use
 Zoning change
 New construction
 Alteration
 Demolition
 Lot split/subdivision or lot line adjustment
 Other (describe) Is the subject building (single-family house) a historic resource.

Describe proposed use

Narrative project description Please summarize and describe the purpose of the project.

Class 1 : Demolition of a small single-family home
 ~ Class 1 (1)(1)

CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: March 16, 2009
TO: Brett Bollinger, Major Environmental Analysis
FROM: Sophie Middlebrook, Preservation Technical Specialist
RE: 70 Gold Mine Drive, Case No. 2008.1218E

1650 Mission St.
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415.558.6377

The attached Categorical Exemption and Historic Resource Evaluation Report (HRER) have been issued for the proposed project located at 70 Gold Mine Drive, Case Number 2008.1218E.

The previously issued Categorical Exemption, issued on March 4, 2009, with an HRER dated February 26, 2009, has been rescinded due to an error on Page 2 of the HRER. Page 2 of the February 26, 2009 HRER erroneously describes a building other than the subject building in the evaluation of the applicability of Criterion 3 of the California Register.

The error described above has been corrected in the attached Categorical Exemption and HRER dated March 12, 2009, and therefore supersedes the Categorical Exemption issued on March 4, 2009.



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Historic Resource Evaluation Response

Project Address: 70 Gold Mine Drive
Block/Lot: 7520/033
Case No.: 2008.1218E
Date of Review: March 12, 2009
Planning Dept. Reviewer: Sophie Middlebrook
 (415) 558-6372 : sophie.middlebrook@sfgov.org

1650 Mission St.
 Suite 400
 San Francisco,
 CA 94103-2479

Reception
 415.558.6378

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 415.558.6409

Planning
 Information
 415.558.6377

PROPOSED PROJECT Demolition Alteration

PROJECT DESCRIPTION

The proposed project includes the demolition of the existing residential structure, and the construction of a new, single-family home on the subject property. The proposed project is still in the schematic stage, and no plans for the proposed new structure have been submitted.

PRE-EXISTING HISTORIC RATING / SURVEY

The County Assessor's records indicate that the building was constructed in 1985; this date is not consistent with historic Sanborn Fire Insurance maps, applications on file with the San Francisco Water Department, or with the architectural style, form, and massing of the subject building and the detached garage. Information from the Water Department indicates that the subject building was constructed in 1906. Although the subject building is not included on any historic surveys and is not included on the National or the California Registers, its recorded date of construction makes it a "Category B" building for the purposes of CEQA review by the Planning Department.¹ It does not appear that the subject building is a historic resource for the purposes of CEQA review.

HISTORIC DISTRICT / NEIGHBORHOOD CONTEXT

The subject building is located on the north side of Gold Mine Drive, within an RH-1 Zoning District, east of Diamond Heights Boulevard. The subject building is one of the few residential structures in the area with a gable roof peak; the surrounding neighborhood is characterized by low, flat structures and the larger "Vista Del Monte" apartment complex. The subject building appears to be the only building constructed in a modified Queen Anne architectural style on the block. It does not appear that the subject property is located within a potential historic district for the purposes of CEQA.

1. **California Register Criteria of Significance:** Note, a building may be an historical resource if it meets any of the California Register criteria listed below. If more information is needed to make such

¹ Please see "Preservation Bulletin #16," available online at:
http://www.sfgov.org/site/uploadedfiles/planning/projects_reports/PresBulletinInCEQA10_8_04.PDF (November 2, 2007)

a determination please specify what information is needed. (This determination for California Register Eligibility is made based on existing data and research provided to the Planning Department by the above named preparer / consultant and other parties. Key pages of report and a photograph of the subject building are attached.)

Event: or Yes No Unable to determine
Persons: or Yes No Unable to determine
Architecture: or Yes No Unable to determine
Information Potential: Further investigation recommended.
District or Context: Yes, may contribute to a potential district or significant context

If Yes; Period of significance:

Notes: Below is an evaluation of the subject property against the criteria for inclusion on the California Register; it does not appear that the subject property is eligible for the California Register.

Criterion 1: It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;

As noted above, the subject building appears to have been constructed in 1906, and stands out on the block face as an modified Queen Anne structure surrounded by buildings constructed in the 20th century mid-century modern architectural style. The subject building does not, however, appear to be associated with events that have made a significant contribution to the broad patterns of local residential development history.

Criterion 2: It is associated with the lives of persons important in our local, regional, or national past;

Mr. Ingeborg Bryngleson owned the property in 1906 at the time that the first application for a water connection was made. Bryngleson is also listed as the property owner on early maps of Horner's Addition. No persons of known historical significance appear to have been associated with the subject property.

Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;

The subject building is a two-story cottage detailed in a modified Queen Ann architectural style. The wood frame house has a cross gabled roof form, with one gable end facing Gold Mine drive and a perpendicular cross gable that runs east-west. The subject building is clad in wood siding; the gable end facing Gold Mine Drive features distinctive shingles with angular exposed laps, and the lower portion of the building is clad in horizontal wood siding. A single double-hung, wood framed window is centered in the street-facing gable.

The building's primary entrance is recessed and located on the west side of the street-facing elevation. A single wood-framed, double-hung window is located east of the recessed entrance, flush with the front building wall. The front building walls are canted on either side of the window, giving the appearance of a modified bay, although the configuration does not extend beyond the

front building wall. A wood-framed, double-hung window is centered in each of the canted walls. Decorative brackets give the appearance of support under the second story on the east side of the facade where the front building is angled. The porch and foundation are of a light-hued brick.

The subject building stands out as an unusual example of residential development that pre-dates the mid-century residential building development that included the multi-family Vista Del Monte apartments located at the termination of Gold Mine Drive. Although aspects of the general form and applied decorative elements of the subject building resemble those described in nineteenth century pattern books such as *Victorian Domestic Architectural Plans and Details* by William Comstock and Palliser and Company's *New Cottage Homes*, it appears more likely that the subject building's form and detailing are derived from local knowledge, convention, and styling. Details such as the shingles at the gable end, the straight, rectangular decorative supports under the porch eave, and the narrow decorative brackets at the east corner of the street-facing elevation suggest that the builder was not following a specific pattern, but rather based decorative elements on local models.

Criterion 4: It yields, or may be likely to yield, information important in prehistory or history;

It does not appear that the subject property is likely to yield information important to a better understanding of prehistory or history.

-
2. **Integrity** is the ability of a property to convey its significance. To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity. To retain historic integrity a property will always possess several, and usually most, of the aspects. The subject property has retained or lacks integrity from the period of significance noted above:

Location:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Setting:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Association:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Feeling:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Design:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Materials:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Workmanship:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks			

Notes: Evaluation of integrity is not applicable as the subject building has not been shown to be significant under California Register criteria.

-
3. **Determination Whether the property is an "historical resource" for purposes of CEQA**

No Resource Present (Go to 6. below) Historical Resource Present (Continue to 4.)

-
4. If the property appears to be an historical resource, whether the proposed project is consistent with the Secretary of Interior's Standards or if any proposed modifications would materially impair the resource (i.e. alter in an adverse manner those physical characteristics which justify the property's inclusion in any registry to which it belongs).

- The project appears to meet the Secretary of the Interior's Standards. (Go to 6. below)
Optional: See attached explanation of how the project meets standards.
- The project is NOT consistent with the Secretary of the Interior's Standards and is a significant impact as proposed. (Continue to 5. if the project is an alteration)

5. Character-defining features of the building to be retained or respected in order to avoid a significant adverse effect by the project, presently or cumulatively, as modifications to the project to reduce or avoid impacts. Please recommend conditions of approval that may be desirable to mitigate the project's adverse effects.

6. Whether the proposed project may have an adverse effect on off-site historical resources, such as adjacent historic properties.

Yes No Unable to determine

Notes: As noted above, the subject building does not appear to be an historic resource.

PRESERVATION COORDINATOR REVIEW

Signature: 
Mark Luellen, Preservation Coordinator

Date: 3/12/09

CC:

Linda Avery, Recording Secretary, Historic Preservation Commission
Vimaliza Byrd / Historic Resource Impact Review File

G:\DOCUMENTS\historic\70 Goldmine Drive.doc

Historic Resource Evaluation

Category B/Alteration or Demolition Proposed (Building over 50 Years of Age) -- Supplemental Information



70 GOLD MINE DRIVE PROJECT

Publication Date: April 3, 2008

Submitted to:

San Francisco Planning Department
1650 Mission Street, Fourth Floor
San Francisco, California 94103

Prepared by KDJ Land Use Planning

SOUNDNESS REPORT

70 Goldmine Dr.

San Francisco, CA 94123

Prepared By: **Patrick Buscovich & Associates
Structural Engineers, Inc.
235 Montgomery Street, 823
San Francisco, CA 94104**

Copyright 2011

Job Number: 11.058

Date: June 2, 2011

Disclaimer:

This report is a soundness study on the subject structure. The Patrick Buscovich has prepared this report under generally recognized engineering principle. The preparer has no interest in this property or any other property of the owner nor is the preparer of this report doing any other work on this property or any other property owned by this owner.

Basis of Soundness Report

The soundness evaluation will be based upon the cost to repair and/or remediate applicable soundness criteria. These costs are based upon the house being vacant, which it is currently. The costs are prepared in conjunction with a licensed contractor and represent current construction costs. Not included in these costs are architectural and engineering fees. Permit fees are also included as well as an 18% profit/overhead. This soundness cost is to be compared to a replacement cost. Not included in this replacement cost is the demolition cost of the existing structure.

It is important to note that the soundness cost number using the 50% threshold does not include the following:

1. Deterioration due to intentional, willful negligence.
2. Maintenance.
3. Remodeling not associated with required work.
4. Upgrade not associated with required work.

The official DCP Soundness Matrix Item number system will be used in this report. The complete DCP Soundness Matrix is in Appendix A. The 1903 San Francisco Building Code will be the Building Code used in the analysis.

Planning Information

The lot has an area of 5,050 ft². The zoning is RH1, 40x Height. The DCP property information report is in Appendix C. The assessor shows the floor area as 1,200ft². Field measurement give 598 ft² habitable at 1st floor, 607 ft² basement, and ± 322 ft² unpermitted rear addition and 598 ft² unpermitted attic.

Building Description

The building is a one story over basement, wood framed, single family house. The first level is the habitable floor. There is an unpermitted addition in the rear 1st floor and an unpermitted attic. The foundations of the house are 5 to 7 feet tall concrete retaining walls. Major portions of the house foundation show signs of deterioration and spalling. Further, the basement retaining wall are rotating inward. The two side walls and the rear wall are rotating inward, the front wall has been replaced (see attached plans). Because of all these problems, the sides and rear foundation requires replacement. The interior of the house is in a state of uninhabitability. Mold is throughout the house. The mold is attributable to water intrusion into the house through the exterior walls. There is also major termite damage. The house also needs some reframing to address defective construction and electrical work to abate a hazardous electrical condition. The detached garage is excluded from this report.

Summary of deficiencies

DCP Matrix #16 –Structural Pest

The termite report is substantial. Damage is substantially due to sub-standard construction of the house. The primary problem is water intrusion from missing building paper/weather proofing on the exterior walls. No building paper was found during destructive testing. The termite cost of \$43,775. (Attached Appendix E and Photo 1 & 2). The 1903 San Francisco Building Code (SFBC) required building paper under the exterior wood siding. None was found during destructive testing.

DCP Matrix #8 Perimeter –Foundation

The retaining wall footings needs to be almost completely replaced. These basement walls are 7 inch thick, leaning 3 inches inward and badly spalling. The San Francisco Building Code (1903) required foundation walls to be a minimum thickness of 13 inches. The code require failing (Eaning) wall to be fixed. Portion of the existing foundation have previously been replace (See attached plan). The cost estimate to replace almost the entire foundation is \$66,500 (103 LF @\$500/LF + \$15,000 Shoring). A small section of the house foundation at the front has recently been replaced (See attached plans).

DCP Matrix #5 – Flashing/Weather Proofing/Mold

The structure is a single family house built Circa 1900 with later unpermitted additions. This inadequate/missing flashing and weatherproofing has allowed water intrusion into the house. The 1903 SFBC require building paper under the exterior siding. No building paper was found during destructive testing. This water intrusion due to missing building paper (water/damp proofing) has caused extensive mold (See photo 1 & 2). The estimated cost to abate water intrusion and the mold is \$59,800 (598 ft² x \$100/ft²). This estimate includes total interior plaster removal & replacement, removal and replacement of exterior siding, installing flashing and weatherproofing/building paper and the mold work. To install the building paper and abate the mold (remove plaster), the house will be stripped to bare wood framing. Not included in the cost estimate is the unpermitted rear addition.

DCP Matrix #10 – Framing

The structure is a poorly built house with unpermitted later additions The exterior siding and interior finishes will need to be removed and replaced. This framing to be done as the same time the house is gutted for the mold/flashing work. The cost to do this framing will be minimal. This new framing is to address potential unknown dryrot from the missing building paper. The level of mold on interior is a good indicator of dryrot of the wood framing.

DCP Matrix #12 – Electrical

Install ground fault circuit interrupt (GFCI) plugs in kitchen and bathroom to address hazardous electrical condition. The old electrical wiring in these rooms will require replacement to make the electrical system safe as part of the mold work. See attach memo in appendix D.

New Construction Cost

Based upon as-built measurement, the legal area of the house is 598 square feet and 607 ft² of basement/storage. Based upon DCP cost of \$240/ ft² to rebuild habitable floor area and \$110/sf for non-habitable area, the replacement cost is:

$$(598/\text{ft}^2 \times \$240/\text{ft}^2) + (607 \text{ ft}^2 \times \$110/\text{ft}^2) = \$143,520 + \$66,770 = \$210,290$$

50% Cost Evaluation

Upgrade Cost \$197,809
 Replacement Cost \$210,290 = 94% > 50% **unsound** Building

Conclusion

Based upon Department of City Planning Guidelines and Engineering Principle's, the building is **unsound**.

The follow items will require work:

Upgrade Cost Breakdown

<u>DCP 50% Matrix Item #</u>	<u>Description</u>	<u>Cost</u>	<u>Mark up</u>	<u>Mark 18%</u>
#8	Replace 103 L.F.foundation @\$500/LF Due to detective construction Shoring building for Foundation Work	\$66,500	18%	\$11,970
#16	Termite Report Due to improper weather proofing Dryrot, power post beetle and termite damage	\$43,775+	N/A	
#5	Mold in house Due to improper weather proofing/Flashing	\$59,800 Minimum	18%	\$10,765
#10	Framing damage due to improper weather proofing	Unknown	18%	?
#12	GFCI plug in kitchen and bathroom due to mold work	Unknown	18%	?
Note: No mark up on termite. No permit fee on termite.		Subtotal		\$22,734
		Building Permit		\$5,000
				\$175,075
		18% Mark-up		\$22,734
		Total		\$197,809

Sincerely,

Patrick Buscovich
 Structural Engineer

Copyright 2010

List Attachment:

- Floor Plans
- DBI
- Photographs
- DCP
- TRA Report

Sample Soundness Report Template

Project Address: 11.058 - 70 Goldmine Dr.

Replacement Cost \$210,290

Type of Space		Area (Square Feet)	Cost per Square Foot	Cost
1	occupied, finished spaces	598	\$240/SF	\$143,520
2	unfinished space with flat ceiling & > 7'-6" of headroom (e.g., basements, garages)	607	\$110/SF	\$66,770
3			Replacement Cost Total	\$210,290

WORK THAT COULD BE INCLUDED IN THE UPGRADE COST ESTIMATE FOR THE 50% THRESHOLD:
(Attach cost estimates from relevant consultants)

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
1	Providing room dimensions at a minimum of 70 sq. ft. for any habitable room			--
2	Providing at least one electrical outlet in each habitable room and 2 electrical outlets in each kitchen			--
3	Providing at least one switched electrical light in any room where there is running water			--

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
4	correcting lack of flashing or proper weather protection if not originally installed			--
5	installing adequate weather protection and ventilation to prevent dampness in habitable room if not originally constructed	Flashing/Weatherproofing/Mold	See Photo 1 and 2	\$59,800 +/-
6	provision of garbage and rubbish storage and removal facilities if not originally constructed (storage in garage is permitted)			
7	eliminating structural hazards in foundation due to structural inadequacies			
8	eliminating structural hazards in foundation due to structural inadequacies	Shore Building Repair 103 LF Foundation	See Plan	\$15,000 \$51,500 \$66,500
9	correcting vertical walls or partitions which lean or are buckled due to defective materials or which are insufficient in size to carry loads.			
10	eliminating structural hazards in ceilings, roofs, or other horizontal members, such as sagging or splitting, due to defective materials, or insufficient size.			
11	eliminating structural hazards in fireplaces and chimneys, such as listing, bulging or settlement due to defective materials or due to insufficient size or strength.			

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
12	upgrading electrical wiring which does not conform to the regulations in effect at the time of installation	Install GFCI plug and Kitchen & Bathroom		TBD
13	upgrading plumbing materials and fixtures that were not installed in accordance with regulations in effect at the time of installation			
14	providing exiting in accordance with the code in effect at the time of construction			
15	correction of improper roof, surface or sub-surface drainage if not originally installed			
16	correction of structural pest infestation (termites, beetles, dry rot, etc.) to extent attributable to original construction deficiencies (e.g., insufficient earth-wood separation)	See Markoff Termite Report		\$43,775
17	Other relevant issues			
18	Building Permit Application cost			
19	Contractor's profit & overhead, not to exceed 18% of construction subtotal, if unit costs used for repair items do not include profit & overhead			\$22,734
			50% Threshold Cost Subtotal	\$197,809

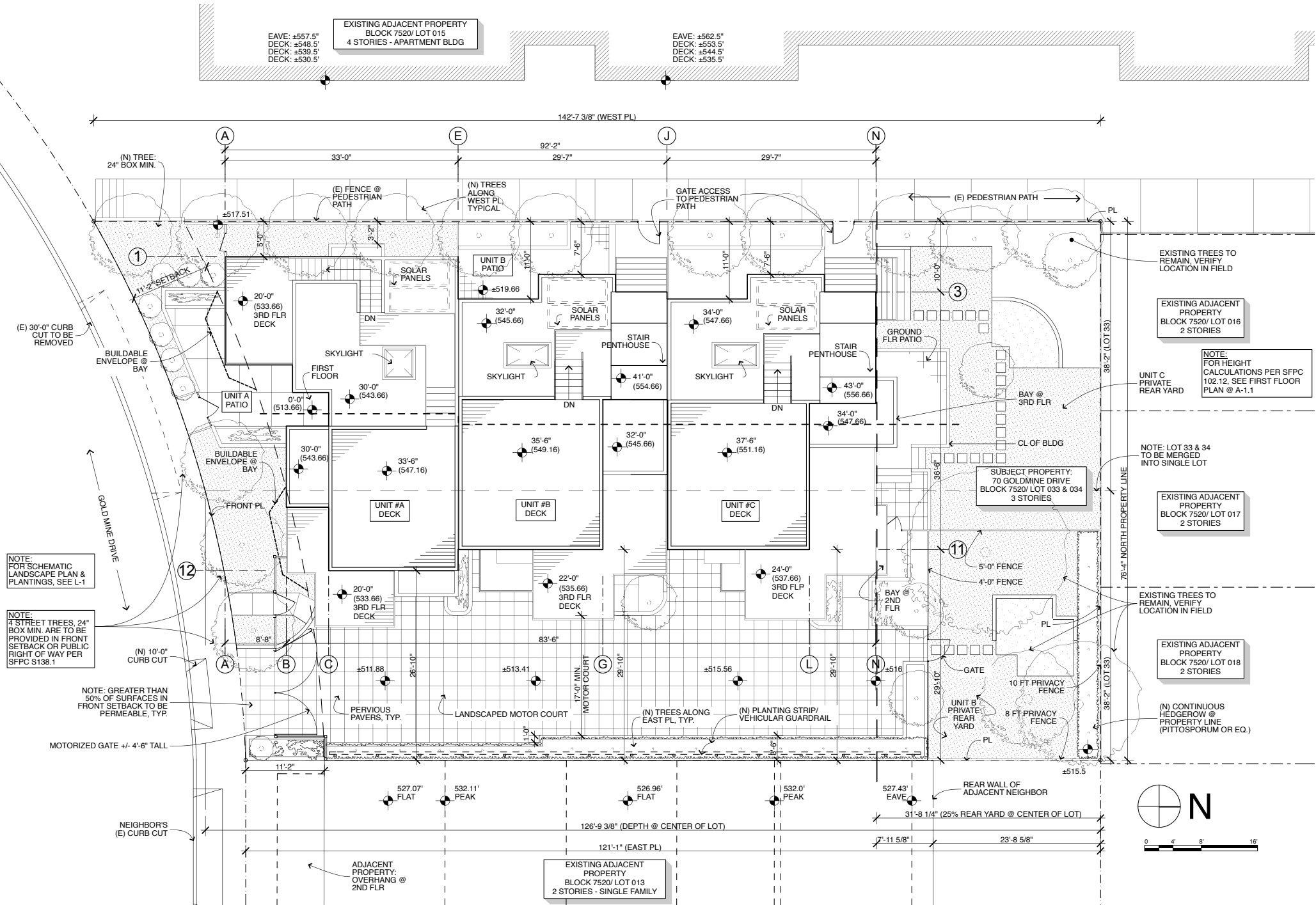
Summary

Replacement Cost: \$210,290

50% Threshold Repair Cost: \$105,145

70 GOLD MINE DRIVE

THREE NEW SINGLE FAMILY HOMES

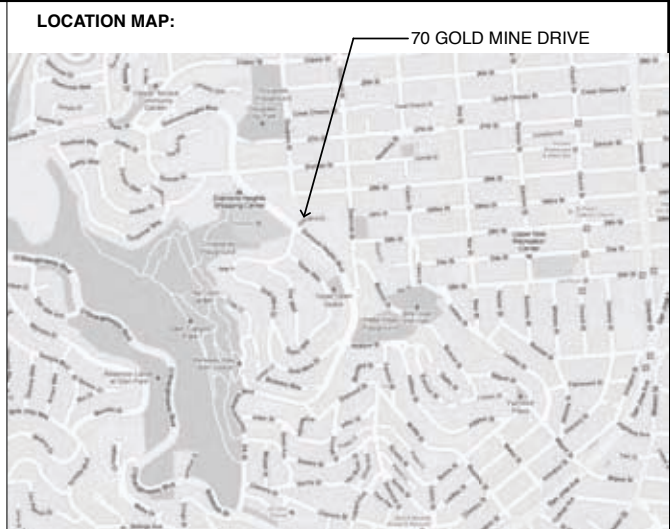


1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

CU/PLNG R3
6/23/2011

BUILDING GROSS SQUARE FOOTAGE:

UNIT "A" HABITABLE:	2872 SF
UNIT "A" GARAGE:	469 SF
UNIT "B" HABITABLE:	2768 SF
UNIT "B" GARAGE:	436 SF
UNIT "C" HABITABLE:	2831 SF
UNIT "C" GARAGE:	403 SF
TOTAL GROSS SF:	9779 SF



TITLE 24 COMPLIANCE:
Title-24 Mandatory Measures:
All work to comply with Title-24 Mandatory Measures including but not limited to: R-13 min. insulation in all new/rebuilt exterior walls; R-19 min. insulation in all new/rebuilt roofs; R-13 raised floor insulation in all new/rebuilt wood framed floors; double insulated doors and window products with certified U-value and infiltration certification; exterior doors and windows weatherstripped; all joints and penetrations caulked and sealed; 50% minimum high efficacy lighting in kitchens (separately switched); high efficacy lighting in bathrooms, garage, laundry room and utility rooms (or manual-on occupancy sensor); all other rooms, lighting to be high efficacy, manual-on occupancy sensor, or dimmer. All recessed incandescent ceiling fixtures to be IC approved. All recessed fluorescents to be ICAT rated. Outdoor lighting to be high efficacy or motion sensor with photocell. All exterior lights to be high efficacy or to be controlled by a motion sensor with photo cell per CEC 150(k)6. See attached compliance sheets on A-0.2, project notes, product information and drawings for project specific insulation levels and energy efficiency provisions.

DESCRIPTION OF WORK:
This work consists of the construction of three (3) new detached single family homes on a single merged lot (existing lots #33 and #34 to be merged). Existing structures to be removed: A Categorical Exemption for the removal of the existing home on site was issued on 3/12/2009, Case No. 2008.1218E. Off street parking will be provided in the form of private garages. All units to have code complying open space. No Variances are required. Conditional Use Approval is required by the Planning Commission for the proposed three (3) units on this merged lot in a RH-1 zoning district.

All work to comply with current local and state codes including, but not limited to: the 2010 Edition of the California Building Code, the California Plumbing Code, the California Mechanical Code, the California Electrical Code and the California Fire Code, the current editions of the San Francisco Building and Planning Codes, Title-24 Energy Standards, etc...

BUILDING DATA:

OWNERS:	GOLD MINE PARTNERS, LLC TEL: (415) 626-3701
ADDRESS:	70 GOLD MINE DRIVE SAN FRANCISCO, CA 94131
BLOCK/LOT:	BLOCK 7520/ LOT 033 & 034
ZONING DISTRICT:	RH-1/40-X
LOT SIZE:	9,808 SQ. FT.
SFBC OCCUPANCY CLASS:	R-3 (3 TOWNHOUSES)
CONSTRUCTION TYPE:	TYPE-V 1-HOUR
DESIGN:	KERMAN MORRIS ARCHITECTS 69A WATER STREET SAN FRANCISCO, CA 94133 T: (415) 749-0302 F: (415)928-5152

DRAWING INDEX:

T-1	PROPOSED SITE PLAN	A-2.4	EAST ELEVATION
S-1	SURVEY	A-2.5	WEST ELEVATION
A-0.2	EXISTING SITE PLAN	A-2.6	WESTERN NEIGHBOR/ WEST ELEVATION
A-0.3	GENERAL NOTES	A-3.1	SECTION
A-0.4	AS-BUILT PLANS	L-1	SCHEMATIC LANDSCAPE PLAN
A-0.5	AS-BUILT PLANS		
A-0.6	AS-BUILT ELEVATIONS		
A-0.7	AS-BUILT GARAGE PLANS & ELEVATIONS		
A-1.1	FIRST FLOOR PLAN		
A-1.2	SECOND FLOOR PLAN		
A-1.3	THIRD FLOOR PLAN		
A-1.4	ROOF PLAN		
A-2.1	FRONT ELEVATION		
A-2.2	REAR ELEVATION		
A-2.3	FRONT & REAR ELEVATIONS		

KERMAN MORRIS ARCHITECTS
69A WATER STREET
SAN FRANCISCO CALIFORNIA 94133
TEL. 415.749.0302 FAX. 415.928.5152

Revisions:
CU/PLNG R1 - 3/14/2011
CU/PLNG R2 - 4/15/2011
CU/PLNG R3 - 6/23/2011

70 GOLD MINE DRIVE
3-UNIT RESIDENTIAL
NEW CONSTRUCTION
BLOCK 7520/
LOT 033 & 034

PROPOSED SITE PLAN

NOTICE
These drawings and specifications are the property and copyright of KermanMorrisArchitects and shall not be used on any other work except by written agreement with KermanMorrisArchitects.
The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.
These drawings are an industry standard builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative typical details. SPECIFICALLY EXCLUDED FROM THE SCOPE OF DESIGN SERVICES AND AS INDICATED IN THESE PLANS ARE ALL WATERPROOFING DETAILS/ DESIGN, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER.
All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

DATE: 6/23/2011
SCALE:
DRAWN BY: JLL
CHECKED BY: TM
JOB NO.: 1006

DRAWING
T-1
1 of 19 sheets

1008 - 70 GOLD MINE DRIVE
6/23/2011 - CU/PLNG R3

GENERAL NOTES

- (1) ALL DISTANCES (RECORD) - MEASURED, UNLESS OTHERWISE NOTED
- (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION
- (3) PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-442-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED
- (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY
- (5) ENDOACHMENT UPON AND BY THE ADJOINING PRIVATE PROPERTIES ARE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM
- (6) CONSULTANT IS NOT RESPONSIBLE FOR AREAS MARKED AS "HEAVY BRUSH"
- (7) SINCE A CURRENT POLICY OF TITLE INSURANCE WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY, THE CONSULTANT IS NOT RESPONSIBLE FOR THE OMISSION HEREON OF ANY FACTS WHICH WOULD NORMALLY BE DISCLOSED BY SUCH A POLICY
- (8) THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF MR. RICHARDSON & HIS ARCHITECT/ENGINEER. USE BY ANY OTHER PARTY FOR ANY PURPOSE WHATSOEVER IS PROHIBITED.
- (9) ROOF/LEAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINTS VISIBLE FROM THE GROUND
- (10) TREES WERE LOCATED BY ESTIMATING THE CENTER OF THE TREE WHERE IT ENVIRES THE GROUND & IDENTIFYING THE DIAMETER AT BREAST HEIGHT. EXACT LOCATION OF TREES SHOULD BE VERIFIED IN THE FIELD PRIOR TO ANY DESIGN WORK. TREE TYPES MAY BE VERIFIED BY A CERTIFIED ARBORIST, IF NECESSARY

BASIS OF SURVEY

FIELD NATIONAL TITLE COMPANY PRELIMINARY REPORT ORDER NO. 06 730423-50, 74 GOLD MINE DRIVE, SAN FRANCISCO, CALIFORNIA, DATED 05 JANUARY 2007. (TEL: 415-668-1300, FAX: 415-628-0175)

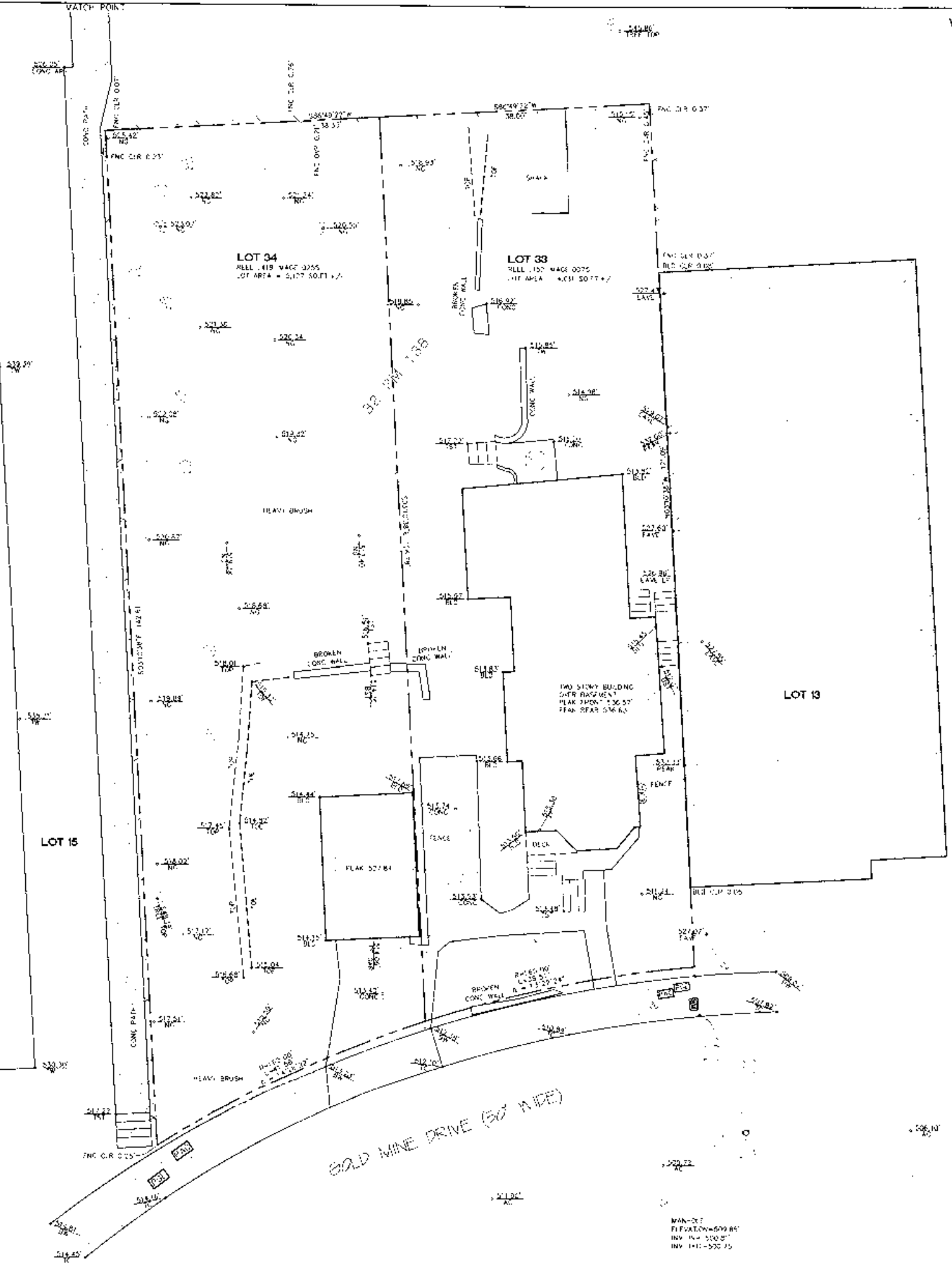
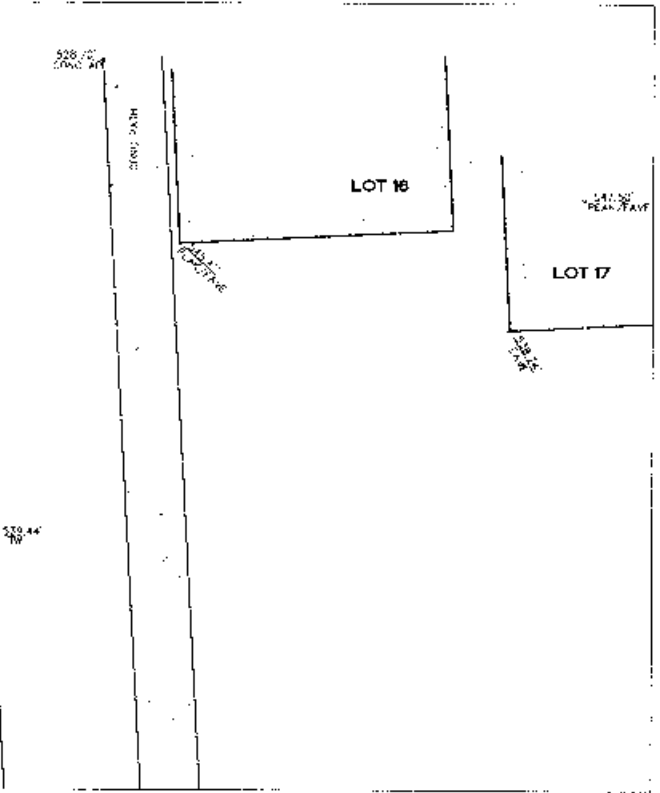
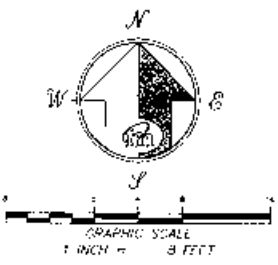
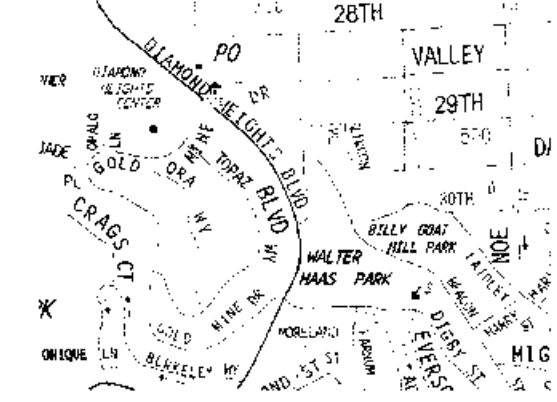
MAP REFERENCES

PARCEL MAP FILED JUNE 5th, 1986 IN BOOK 32 AT PAGE 138 SAN FRANCISCO CITY AND COUNTY RECORDS

BASIS OF ELEVATION

ELEVATION IS TAKEN FROM A FOUND CROSS ON THE NE CORNER OF GOLD MINE DRIVE AND DIAMOND HEIGHTS BLVD. HAVING AN ELEVATION OF 515.17' SAN FRANCISCO CITY AND COUNTY DATUM

VICINITY MAP A.T.S.



REVISION 01-24-08:

- VISIBLE ROOF SECTION LOT 15
- ELEVATION OF TREE TOP ON WEST P/L AND BEYOND NORTH P/L
- CONCRETE STAIRS AND PATH ALONG WEST P/L
- TOP OF FOUNDATION AND FF OF BUILDING ON LOT 15
- OVER-HANG BUILDING POP OUT ON LOT 15
- PEAK/LEAVE HEIGHTS OF LOTS 16 AND 17

LEGEND

- AC ASPHALT/CONCRETE
- BW BACK OF WALL
- BLD BUILDING
- BST BOTTOM OF STEP
- CONC CONCRETE
- CLR CLEAR
- FENC FENCE
- OVH OVER
- ST TOP OF STEP
- TW TOP OF WALL
- FF FINISHED FLOOR
- FL FLOWLINE
- N.T.S NOT TO SCALE
- THRESH THRESHOLD
- LP LOW POINT
- PROPERTY LINE
- - - - - EDGE OF DECK
- ... FLOWLINE
- - - - - FENCE
- - - - - SEWER LINE
- ... TREE CLUSTER
- ... TREE WITH DIMENSION AT CHEST HEIGHT
- ... STUMP
- WATER VALVE
- PAC GAS AND ELECTRIC BOX
- PAC BELL BOX
- GAS METER
- ELECTRIC METER
- SEWER MANHOLE
- CLEAN OUT

SITE SURVEY

LANDS OF RICHARDSON
 REEL 1118 IMAGE 0255
 REEL 1152 IMAGE 0077
 OFFICIAL RECORDS OF SAN FRANCISCO COUNTY
 70 AND 74 GOLD MINE DRIVE
 PREPARED AT THE REQUEST OF
 PHILIP RICHARDSON

SAN FRANCISCO COUNTY
 JANUARY 2008



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 LAST UPDATED 12/21/08

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Revisions:

CU/PLNG R1 - 3/14/2011
CU/PLNG R2 - 4/15/2011
CU/PLNG R3 - 6/23/2011



70 GOLD MINE DRIVE

**3-UNIT RESIDENTIAL
NEW CONSTRUCTION**

BLOCK 7520/
LOT 033 & 034

EXISTING SITE PLAN

NOTICE

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DATE: 1/6/2011

SCALE: 1/16" = 1'-0"

DRAWN BY: JLL

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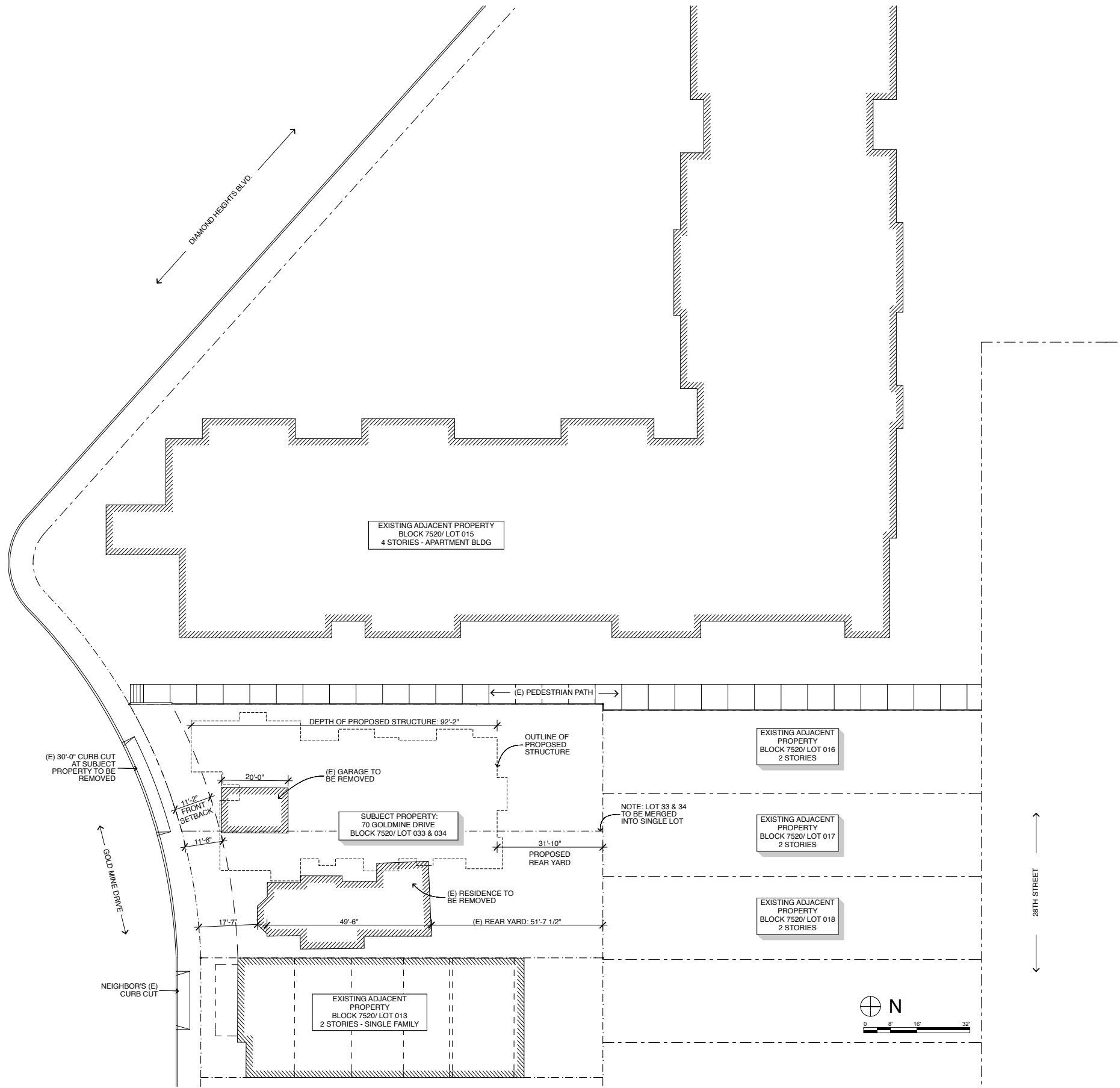
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A-0.2

3 of 19 sheets

1006 - 70 GOLD MINE DRIVE
6/23/2011 - CU/PLNG RS



1 EXISTING SITE
SCALE: 1/16" = 1'-0"

ABBREVIATIONS:

#	NUMBER	EQ	EQUAL	PL	PROPERTY LINE
@	AT	EXT	EXTERIOR	PLY	PLYWOOD
AB	ANCHOR BOLT	FDN	FOUNDATION	PTDF	PRESSURE TREATED DOUGLAS FIR
ADJ	ADJACENT	FIN	FINISH	PLAM	PLASTIC LAMINATE
ALT	ALTERNATE	FLR	FLOOR	PTD	PAINTED
A.F.F.	ABOVE FINISH FLOOR	FLOUR	FLUORESCENT	PTN	PARTITION
APPROX	APPROXIMATE	F.O.C.	FACE OF CONCRETE	R	RISER
ASPH	ASPHALT	F.O.S.	FACE OF STUD	REF	REFERENCE
BLDG	BUILDING	FTG	FOOTING	REFR	REFRIGERATOR
BETW	BETWEEN	FOF	FACE OF FINISH	RWD	REDWOOD
BOT	BOTTOM	GALV	GALVANIZED	REINF	REINFORCED
CAB	CABINET	G.F.I.	GROUND FAULT	R.O.	ROUGH OPENING
CEM	CEMENT	INT	INTERRUPTER	R.W.L.	RAIN WATER LEADER
CLR	CLEAR	GND	GROUND	REQ	REQUIRE
CMU	CONC. MASONRY UNIT	GYP	GYP SUM	SH	SHEET
COL	COLUMN	GW	GYP SUM WALL BOARD	S.O.G.	SLAB ON GRADE
CONT	CONTINUOUS	HORZ	HORIZONTAL	STD	SPECIFICATION
CTR	CETER	HT	HEIGHT	STRUC	STRUCTURAL
CL	CENTERLINE	INSUL	INSULATION	SUSP	SUSPENDED
CER	CERAMIC	INT	INTERIOR	SYM	SYMMETRICAL
CLG	CEILING	JT	JOINT	TRD	TREAD
CONC	CONCRETE	LAV	LAVATORY	T&G	TONGUE AND GROOVE
DBL	DOUBLE	MAX	MAXIMUM	THK	TRICK
DEPT	DEPARTMENT	MIN	MINIMUM	T.O.S.	TOP OF SLAB
DIA	DIAMETER	MFR	MANUFACTURER	TP	TOILET PAPER
D.F.	DOUGLAS FIR	MTL	METAL	TB	TOWEL BAR
D.H.	DOUBLE HUNG	(N)	NEW	TYP	TYPICAL
DIM	DIMENSION	NIC	NOT IN CONTRACT	U.O.N.	UNLESS OTHERWISE NOTED
DN	DOWN	NO#	NUMBER	VERT	VERTICAL
DS	DOWNSPOUT	N.T.S.	NOT TO SCALE	VIF	VERIFY IN FIELD
DTL	DETAIL	O.C.	ON CENTER	W/	WITH
DWG	DRAWING	OPNG	OPENING	W/O	WITHOUT
(E)	EXISTING	OPP	OPPOSITE	WC	WATER CLOSET
EA	EACH			WDW	WINDOW
ELEC	ELECTRICAL			WP	WATERPROOF
EL	ELEVATION			WT	WEIGHT
				WD	WOOD
				WH	WATER HEATER

PLANNING DEPT. NOTES:

PROJECT LOCATION: 70 Gold Mine Drive, Block 7520/Lots 33 and 34

ZONING DISTRICT: RH-1

HEIGHT DISTRICT: 40-X

LOT SIZE: Existing two lots to be merged into single larger lot: Lot 033 = 4,681 S.F.; Lot 034 = 5,127 S.F. Total combined lot area in merged lots = 9,808 S.F.

CURRENT USE: Single family home and detached garage (to be removed for proposed new residential structure).

HISTORICAL REVIEW/CATEGORICAL EXEMPTION ISSUED: On March 12, 2009 the San Francisco Planning Department issued a Categorical Exemption and Historic Resource Evaluation Report on Case No. 2008.1218E finding that no "historical resource" is present on the site; the existing structures have not been shown to be significant under California Register criteria; and that the removal of these structures as proposed in this project will not have an adverse effect on off-site historical resources. The Class 1(L)(1) Demolition of the small single family home on the site was found to be Categorical Exempt from Environmental Review.

PROPOSED USE: 3-unit townhouse style residential building with off-street parking (6 spaces) accessed off of drive court. (Single curb cut at street proposed.)

DENSITY: per San Francisco Planning Code (SFPC) Section 209.1(f), one (1) dwelling unit/3,000 S.F. lot area is allowed with Conditional Use. 9,808/3,000 = 3.26 dwelling units = 3 units allowed. (3) Units proposed. *Conditional Use Required.*

SETBACKS:
Front Setback: Per SFPC Section 132(d)(2) an adjacent lot abutting onto another street (the apartment building to the west is on Diamond Heights) is disregarded. Front Setback = same as single adjacent building to the east (block 7520/lot 013): 11'-2" setback required and proposed. Project Complies.

Rear Yard: Per SFPC Section 134(a)(1) = 25% of the lot depth is required as rear yard at grade and measured at the centerline of the lot. 25% rear yard required and provided; no variance required. Project Complies.

USABLE OPEN SPACE:
 Per SFPC Section 135 and Table 135 for RH-1 Zoning: 300 S.F. private open space or 400 S.F. common open space is required. Units "A," "B" and "C" all have private roof decks exceeding 300 S.F., as well as yards and patios at grade. Project Complies.
 Per SFPC Section 140, at least (1) room in each unit must face directly onto a compliant rear yard, public way, or side yard at least 25'-0" wide. Unit "A" faces the public way. Unit "B" opens to a side yard more than 25'-0" wide. Unit "C" faces the compliant rear yard. Project Complies.

PARKING: PER SFPC Section 150 and Table 151, one (1) parking space is required/ dwelling unit. Three (3) parking spaces are required; six (6) parking spaces are provided. Project Complies.

BICYCLE PARKING: Per SFPC Section 155.5, 1 "Class1" space per 2 dwelling units is required. Three (3) bicycle parking spaces (1 per unit) is provided in the unit garages. Project Complies.

HEIGHT: SFPC Section 261 governs.
 Per SFPC Section 102.12(c) at up-sloping lots, "height" is measured from the "average of the ground elevations at either side of the building or building step at that cross section."
 Per Section 261(b)(1) for RH-1 lots, height limit is 35'-0" maximum. Per SFPC Section 261(c)(1) the height is limited to 30'-0" at the legislated front setback and is to "increase at an angle of 45 degrees from the horizontal toward the rear of the lot" until the height limit of 35'-0" is reached. See site plan, sections and elevations for Average Grade and Maximum Height. Project Complies.

STREET TREES: Per Sec. 138.1, (7) street trees required at a minimum of 24" box size on street or within front setback. (1) tree for first 20 ft of street frontage + 1 tree per each additional 10 ft street frontage.) (7) Trees provided.



69A WATER STREET
 SAN FRANCISCO
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CUPLNG R2 - 4/15/2011
CUPLNG R3 - 6/23/2011



70 GOLD MINE DRIVE

3-UNIT RESIDENTIAL
 NEW CONSTRUCTION

BLOCK 7520/
 LOT 033 & 034

GENERAL NOTES

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CUPLNG R3 - 6/23/2011



70 GOLD MINE DRIVE

3-UNIT RESIDENTIAL
NEW CONSTRUCTION

BLOCK 7520/
LOT 033 & 034

AS-BUILT PLANS

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1006

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A-0.4

AREA CALCULATIONS

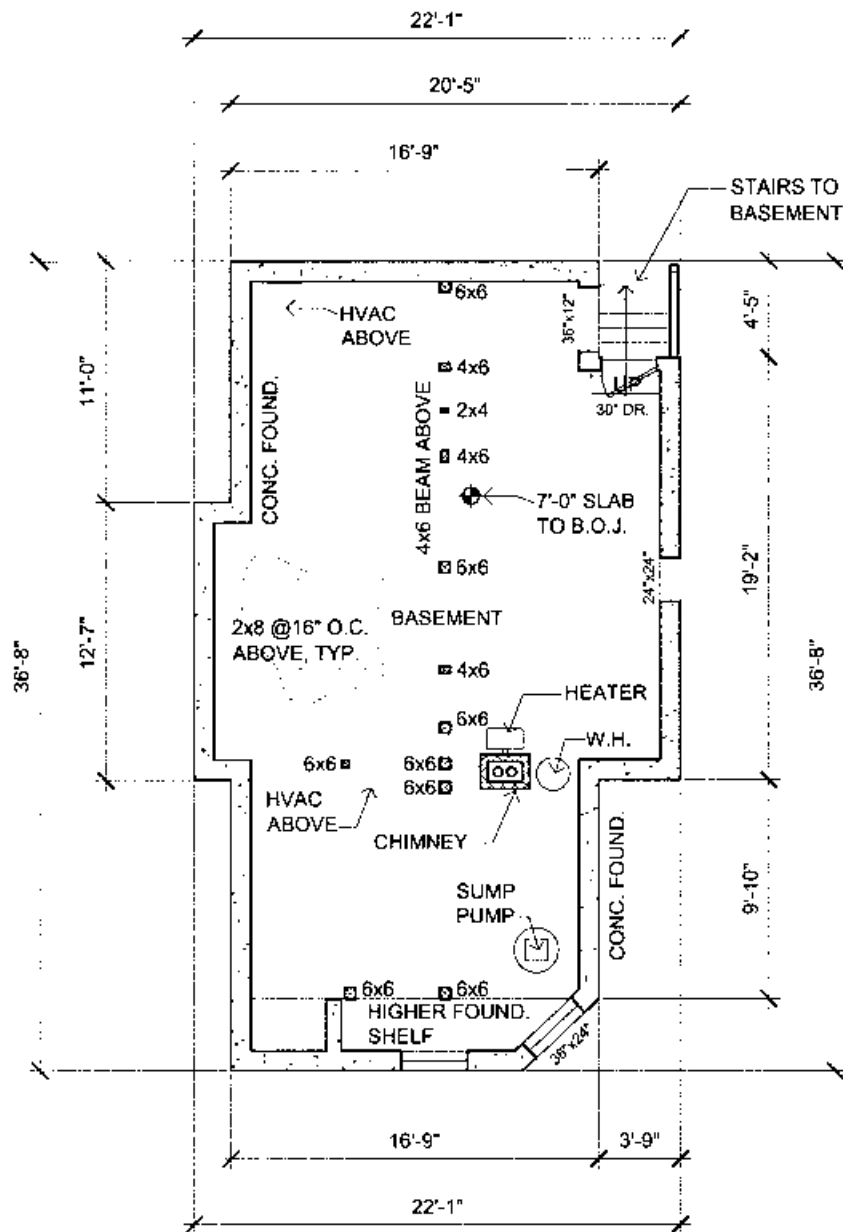
BASEMENT: 597 S.F.

FIRST FLOOR ORIGINAL: 680 S.F.

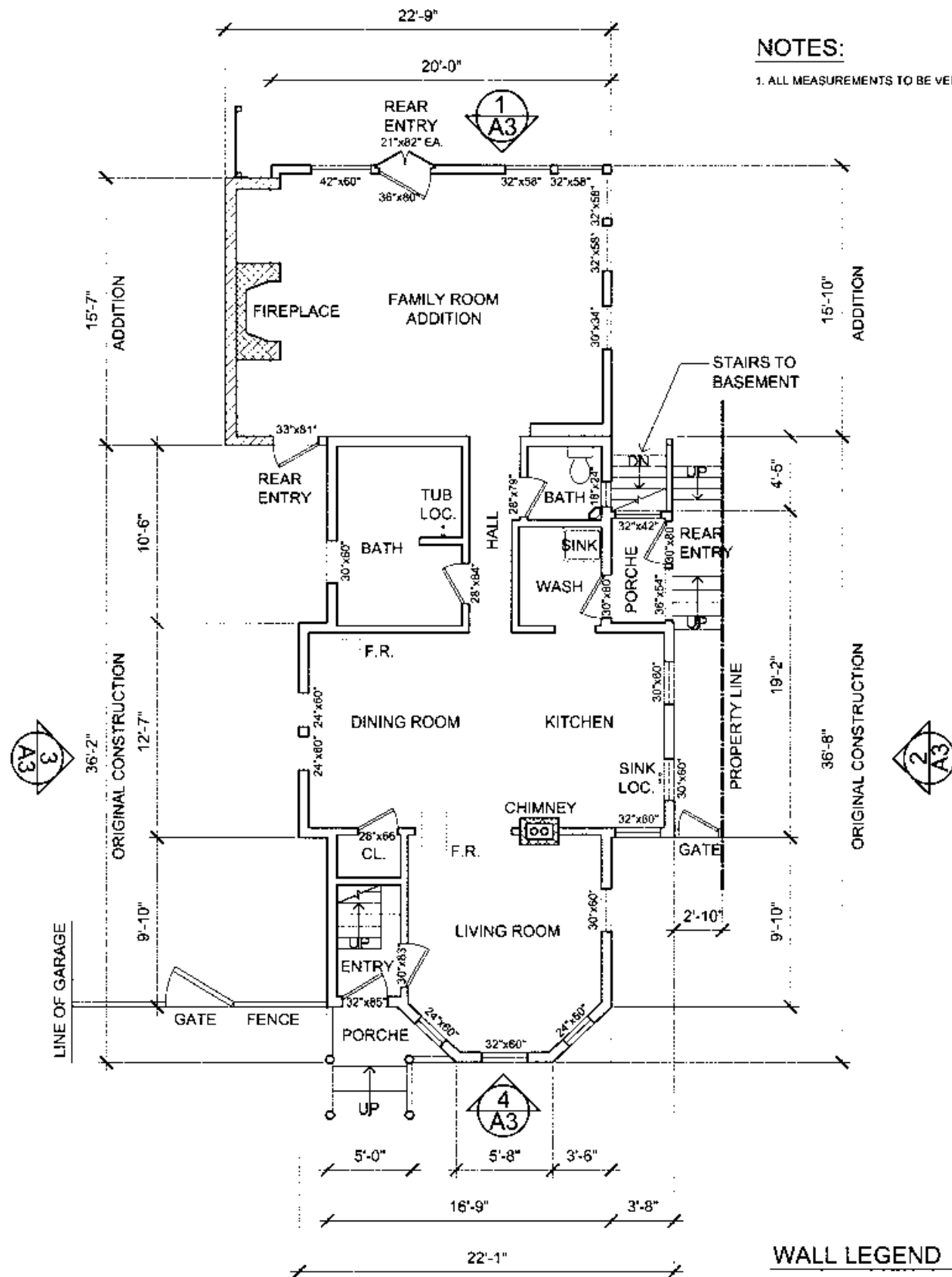
FIRST FLOOR ADDITION: 360 S.F.

SECOND FLOOR: 680 S.F.

TOTAL AREA: 2317 S.F.



1 BASEMENT FLOOR PLAN
597 S.F.



2 FIRST FLOOR PLAN
1,040 S.F.

NOTES:

1. ALL MEASUREMENTS TO BE VERIFIED IN FIELD.

WALL LEGEND

- WOOD WALL AND PART.
- CONCRETE WALL
- C.M.U. WALL
- BRICK WALL

NORTH



Revisions:

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CUPLNG R3 - 6/23/2011



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3-UNIT RESIDENTIAL
NEW CONSTRUCTION

BLOCK 7520/
LOT 033 & 034

AS-BUILT PLANS

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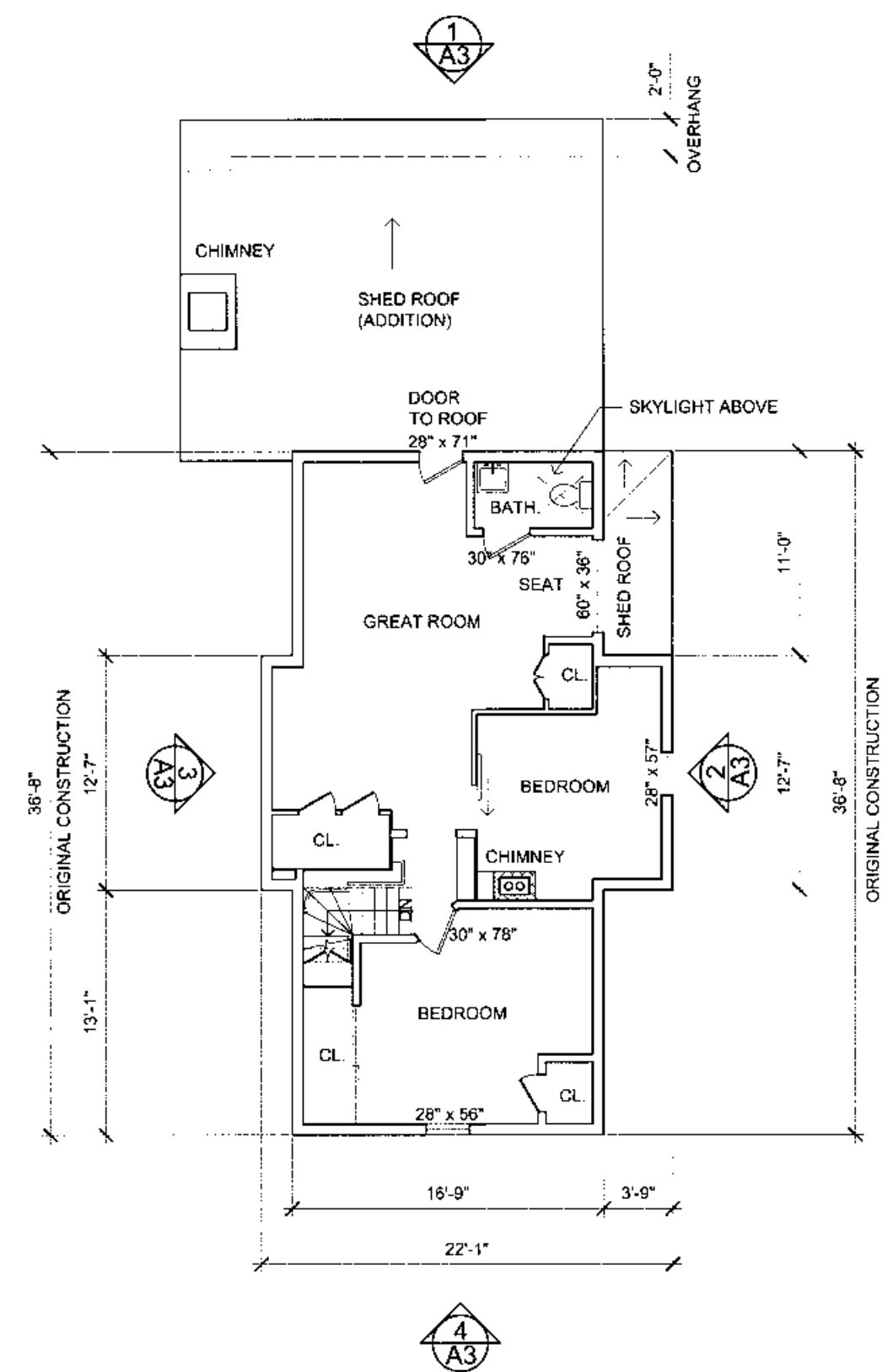
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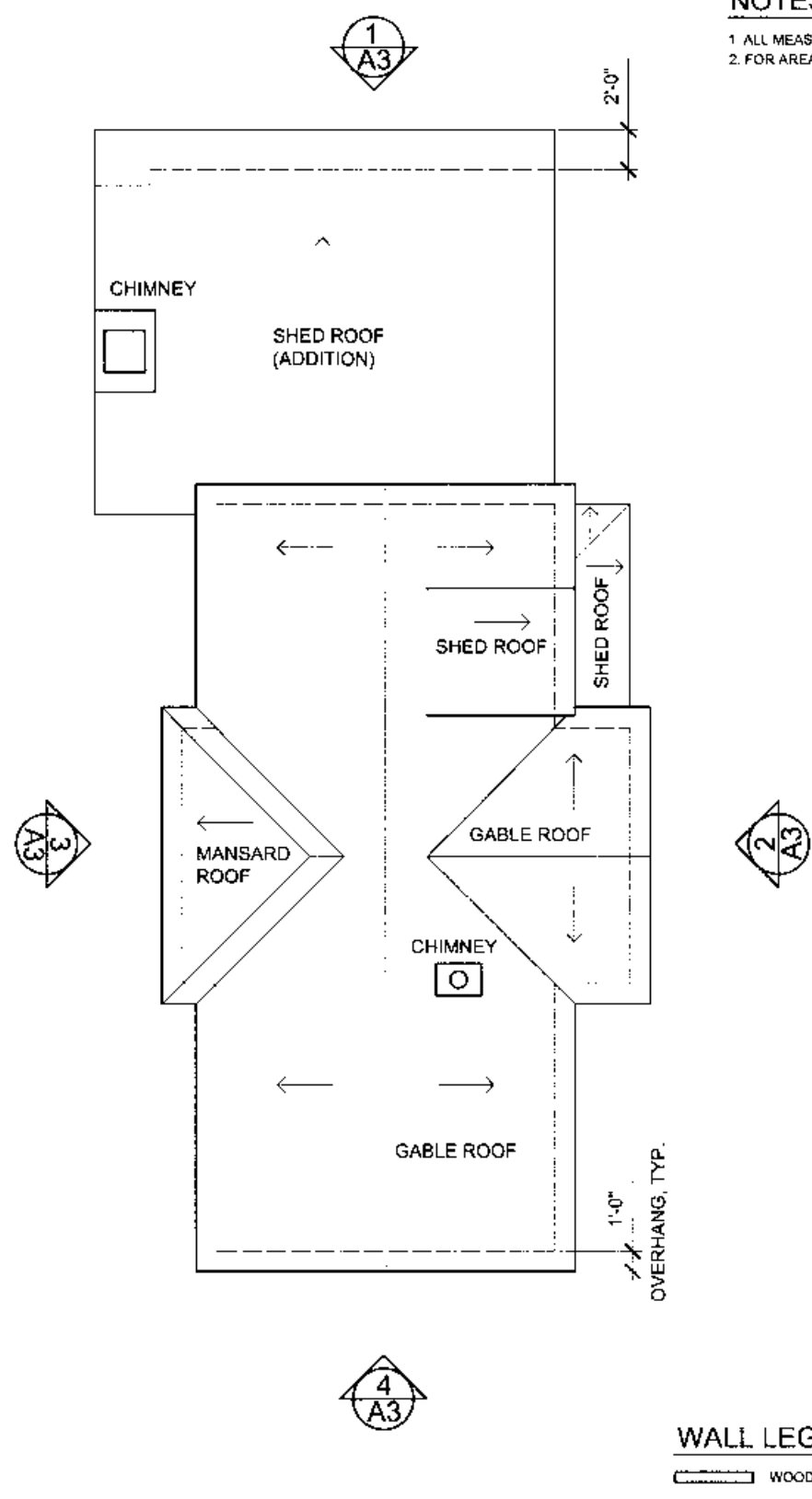
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NOTES:
1. ALL MEASUREMENTS TO BE VERIFIED IN FIELD.
2. FOR AREA CALCULATIONS SEE SHEET A1.



1 SECOND FLOOR PLAN
680 S.F.



2 ROOF PLAN

WALL LEGEND

	WOOD WALL AND PART.
	CONCRETE WALL
	C.M.U. WALL
	BRICK WALL



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AS-BUILT ELEVATIONS

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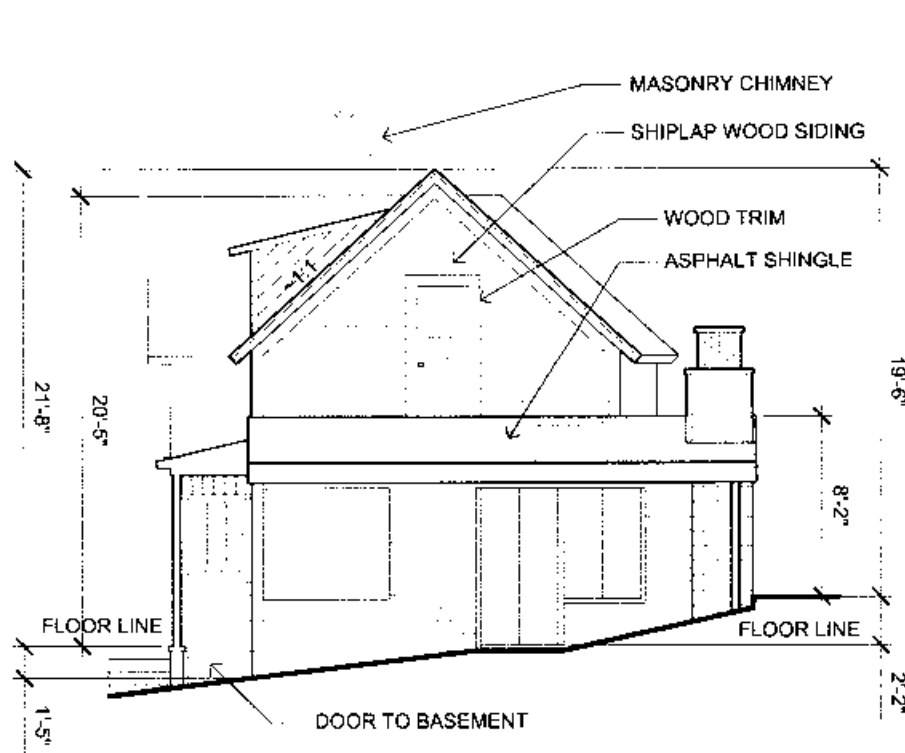
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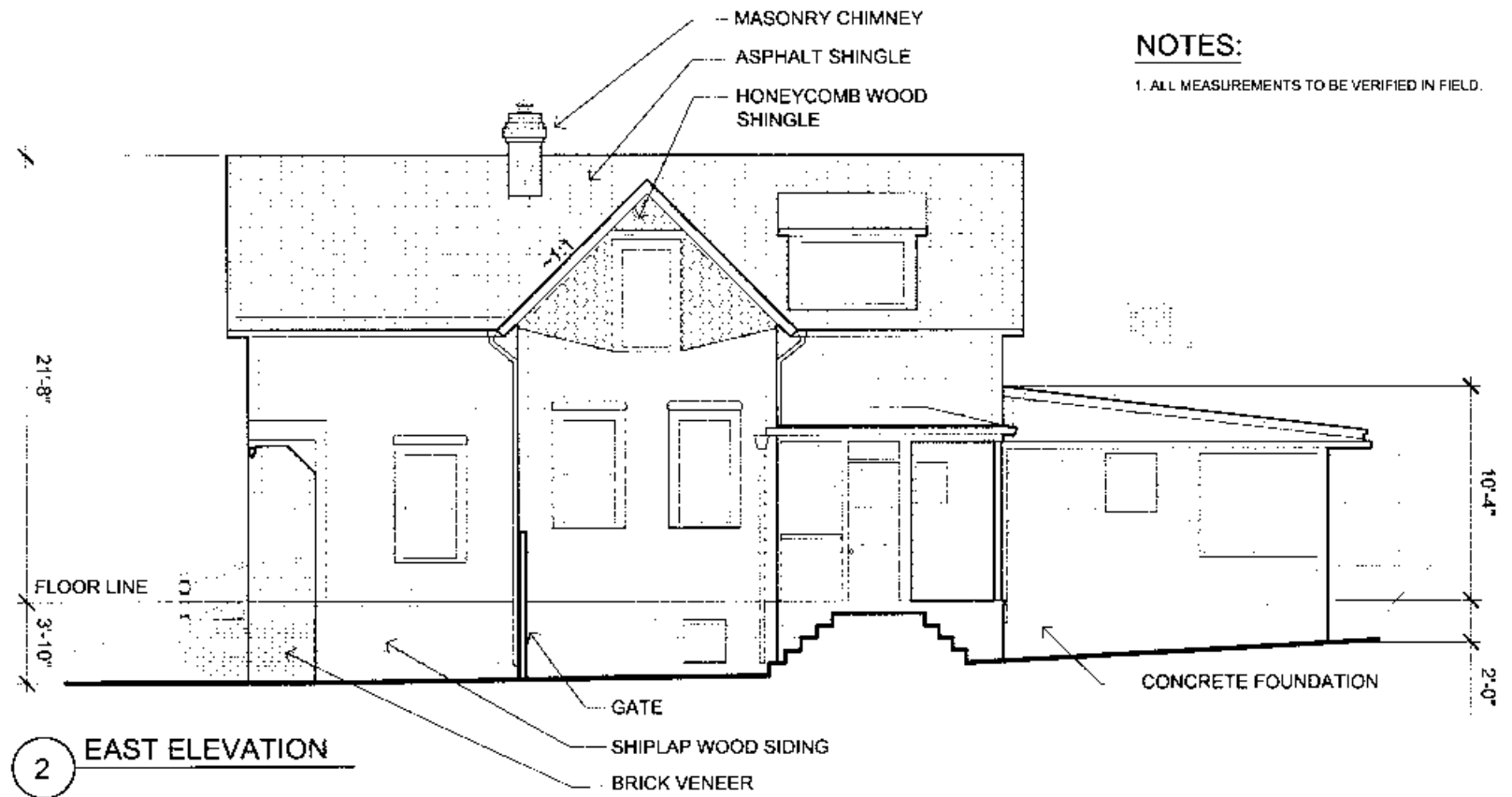
1006 - 70 GOLD MINE DRIVE 6/23/2011 - CUPLNG R3

NOTES:

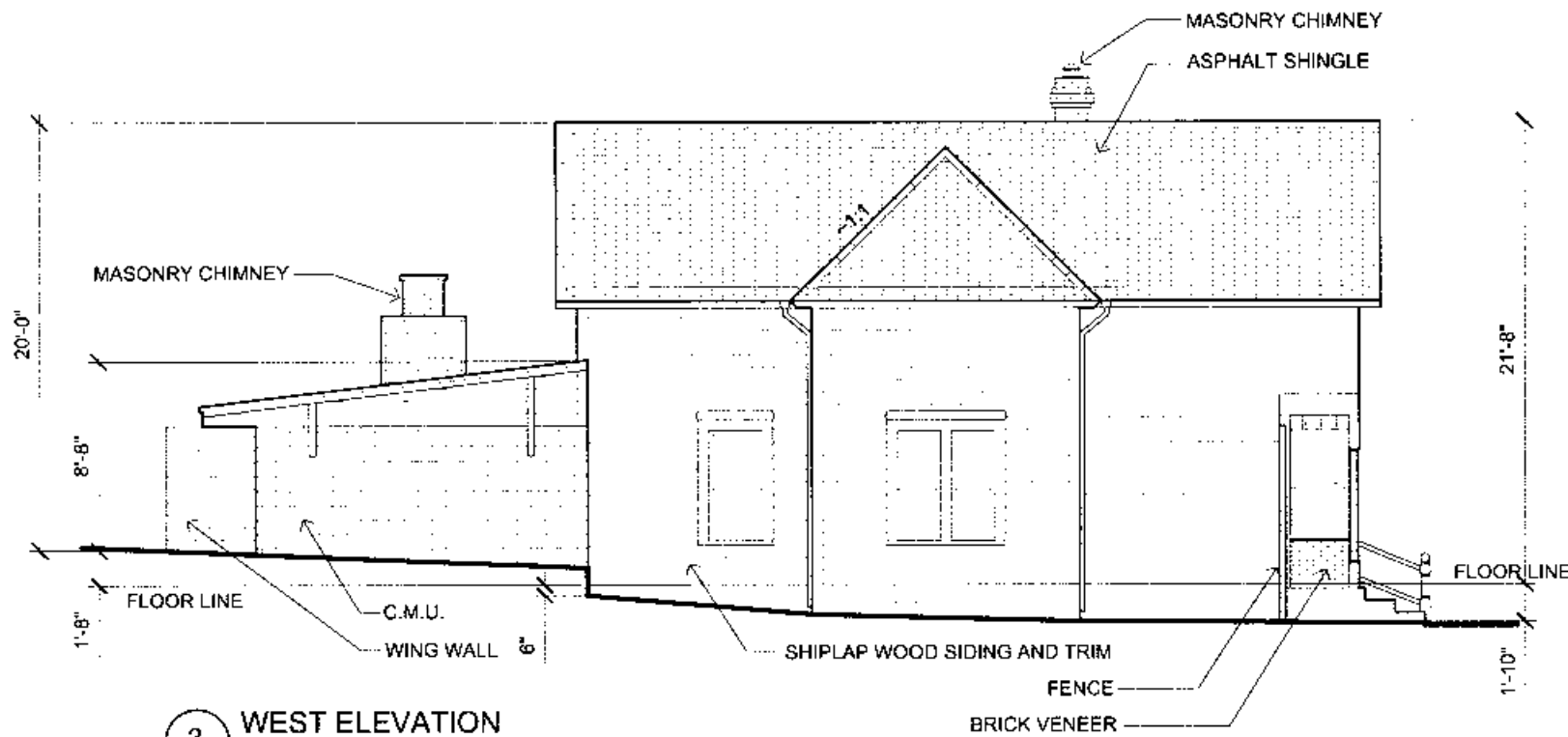
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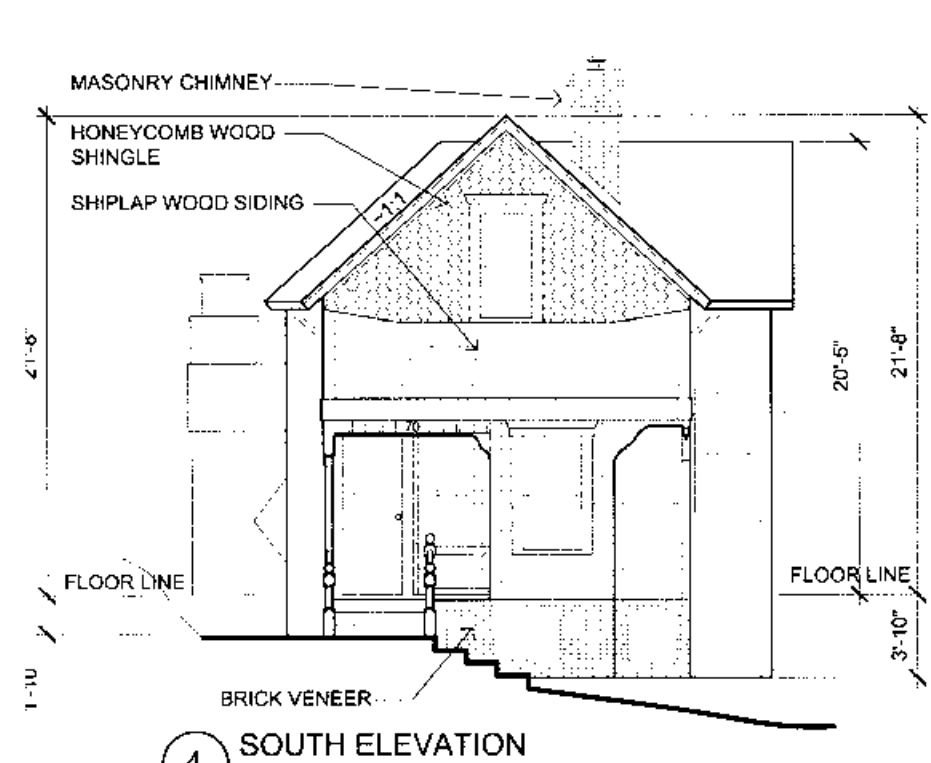
1 NORTH ELEVATION



2 EAST ELEVATION



3 WEST ELEVATION



4 SOUTH ELEVATION

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AS-BUILT GARAGE PLANS & ELEVATIONS

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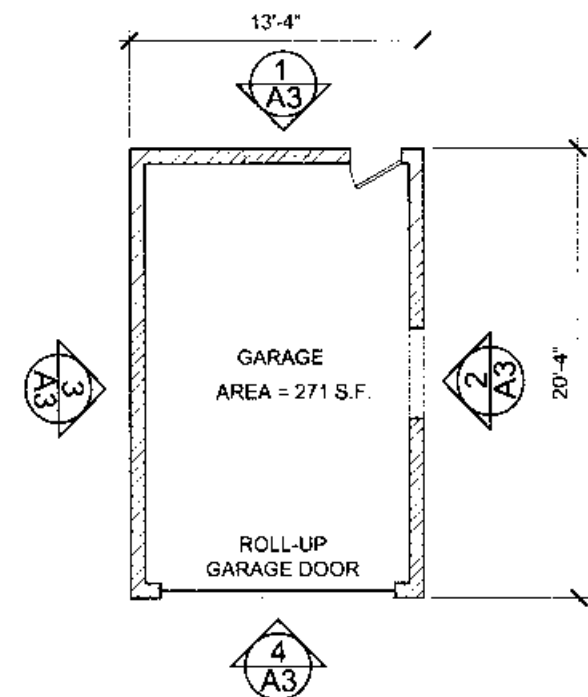
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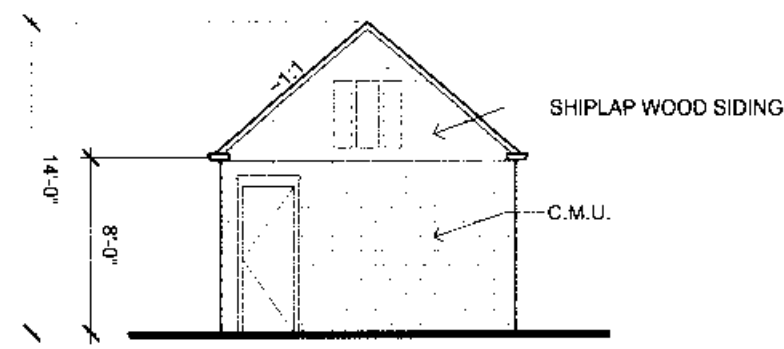
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8 of 19 sheets

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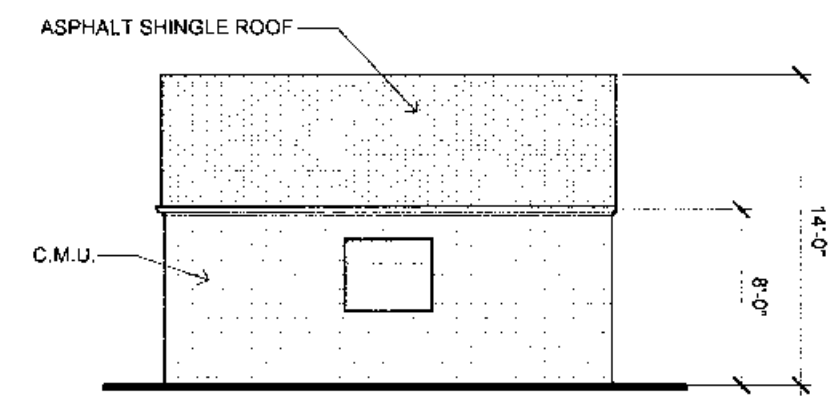
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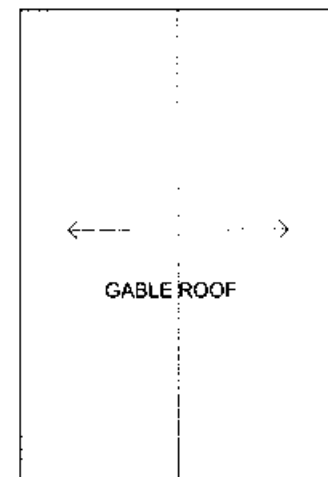
5 GARAGE FLOOR PLAN
360 S.F.



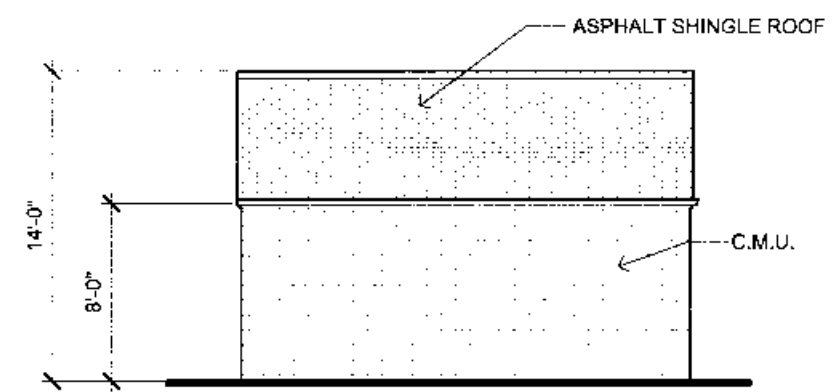
1 NORTH ELEVATION



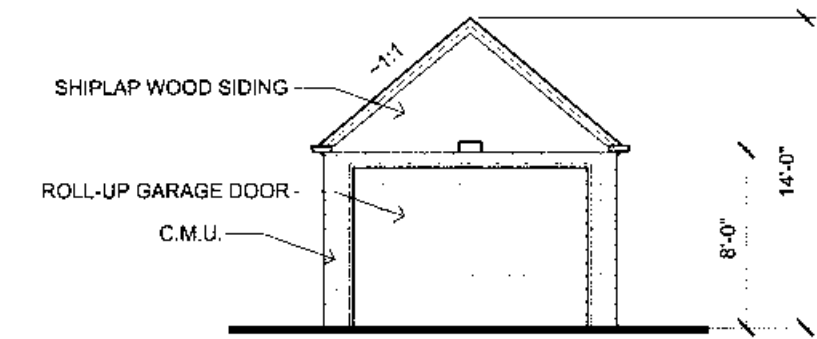
2 EAST ELEVATION



6 ROOF PLAN



3 WEST ELEVATION



4 SOUTH ELEVATION

WALL LEGEND

- WOOD WALL AND PART.
- CONCRETE WALL
- C.M.U. WALL
- BRICK WALL



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3-UNIT RESIDENTIAL
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FIRST FLOOR PLAN

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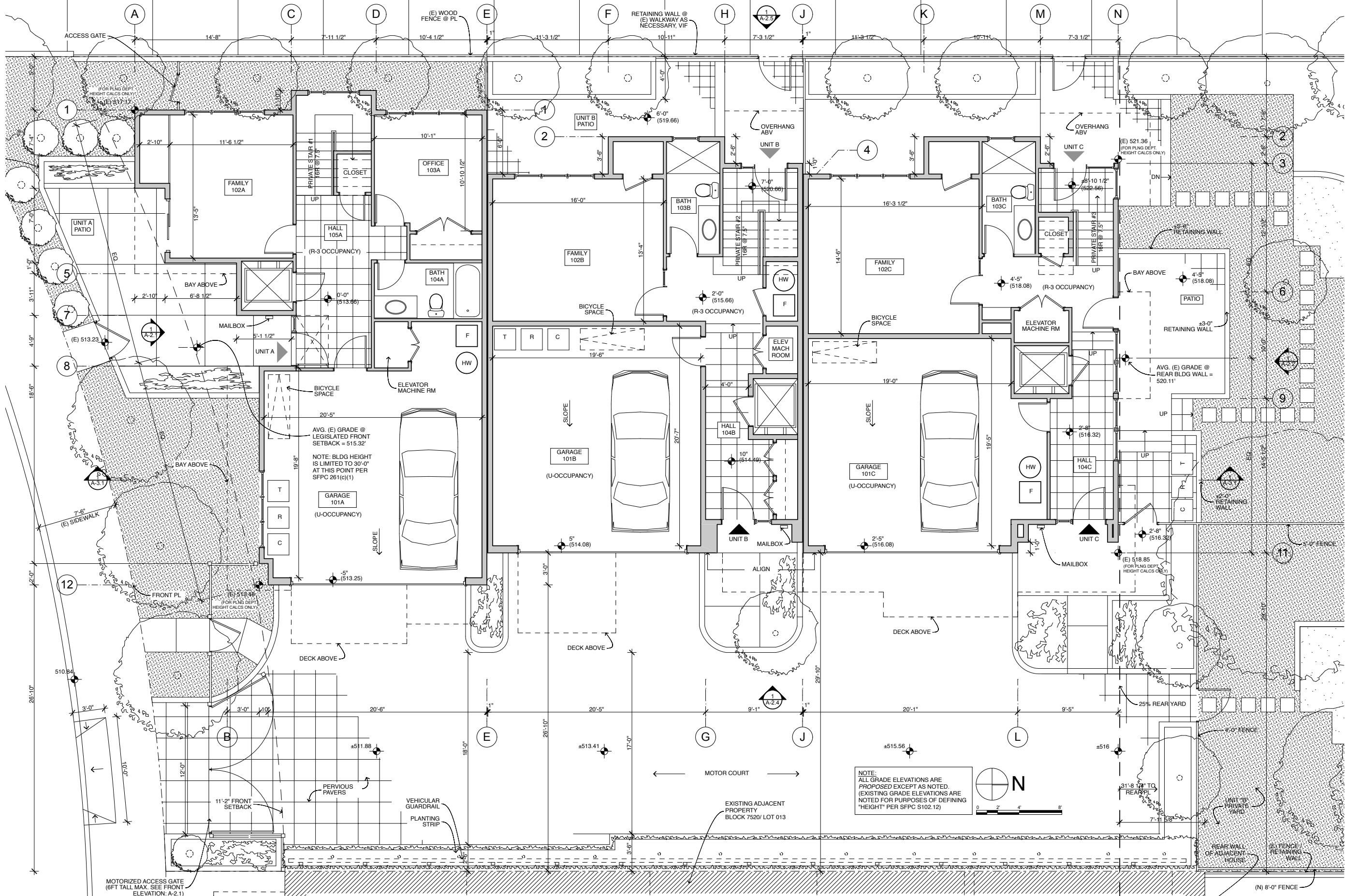
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NOTE:
ALL GRADE ELEVATIONS ARE PROPOSED EXCEPT AS NOTED.
EXISTING GRADE ELEVATIONS ARE NOTED FOR PURPOSES OF DEFINING "HEIGHT" PER SFPC S102.12



1 FIRST FLOOR
SCALE: 1/4" = 1'-0"

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SECOND FLOOR PLAN

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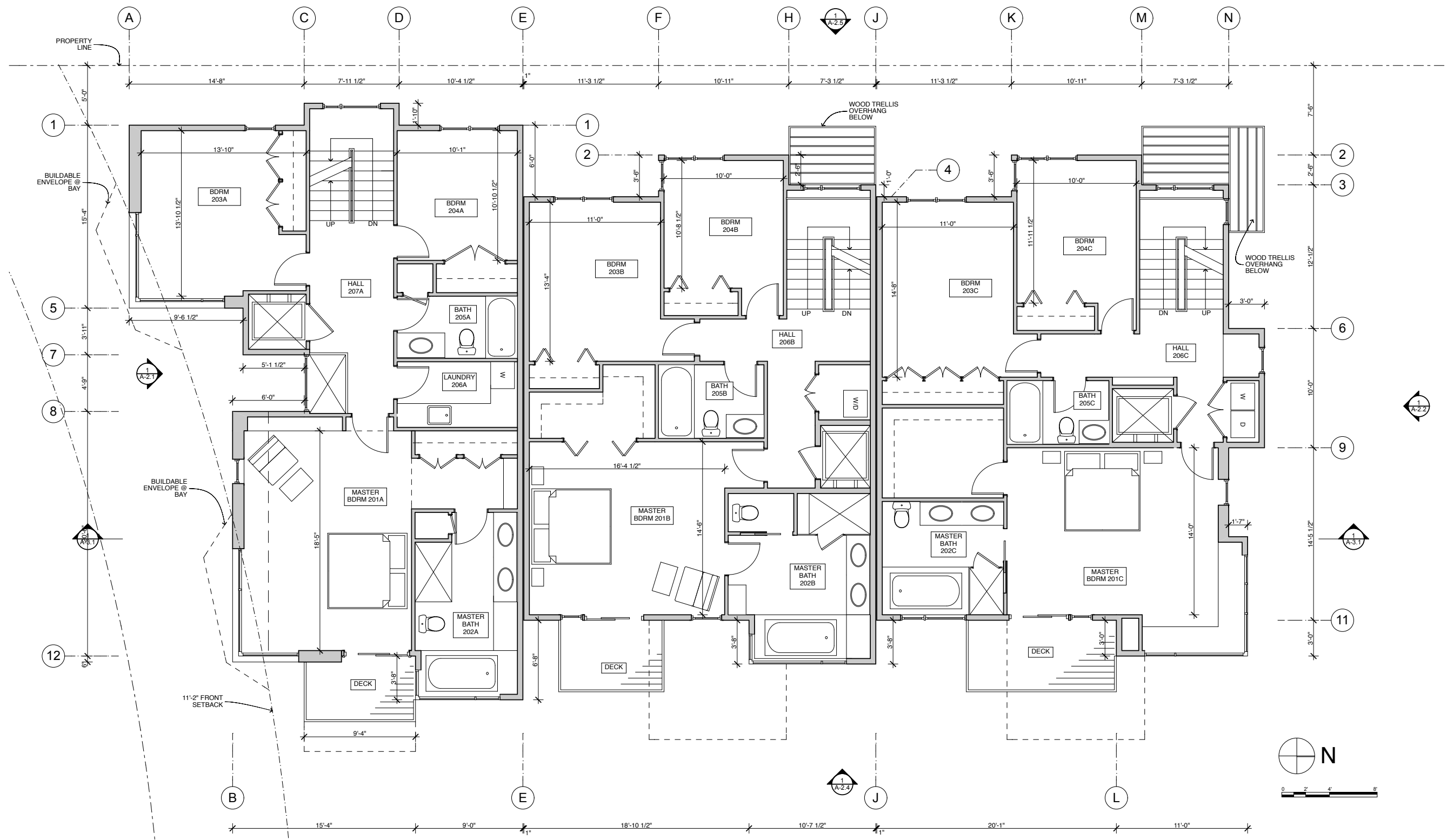
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1 SECOND FLOOR
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THIRD FLOOR PLAN

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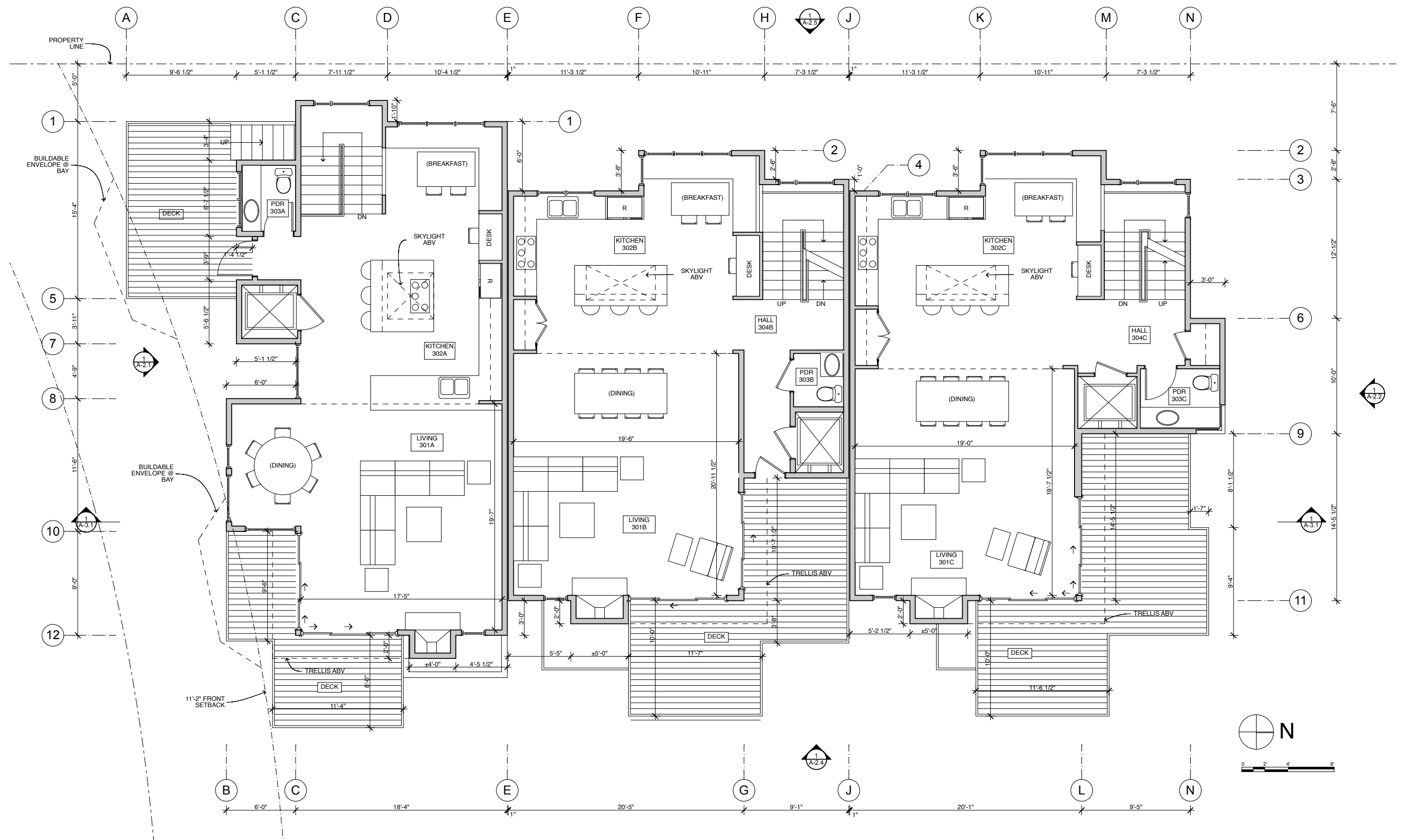
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1 THIRD FLOOR
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ROOF PLAN

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A-1.4



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

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CUPLNG R3	- 6/23/2011



70 GOLD MINE DRIVE

**3-UNIT RESIDENTIAL
NEW CONSTRUCTION**

**BLOCK 7520/
LOT 033 & 034**

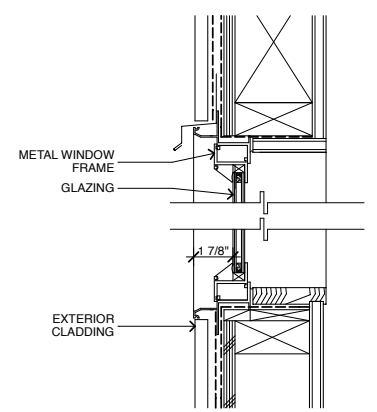
FRONT ELEVATION

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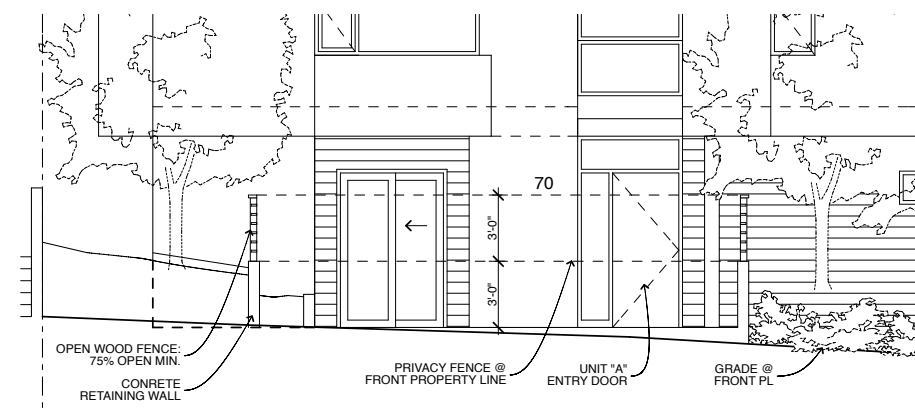
DATE:	1/6/2011
SCALE:	1/4" = 1'-0"
DRAWN BY:	JLL
CHECKED BY:	TM
JOB NO.:	1006

DRAWING

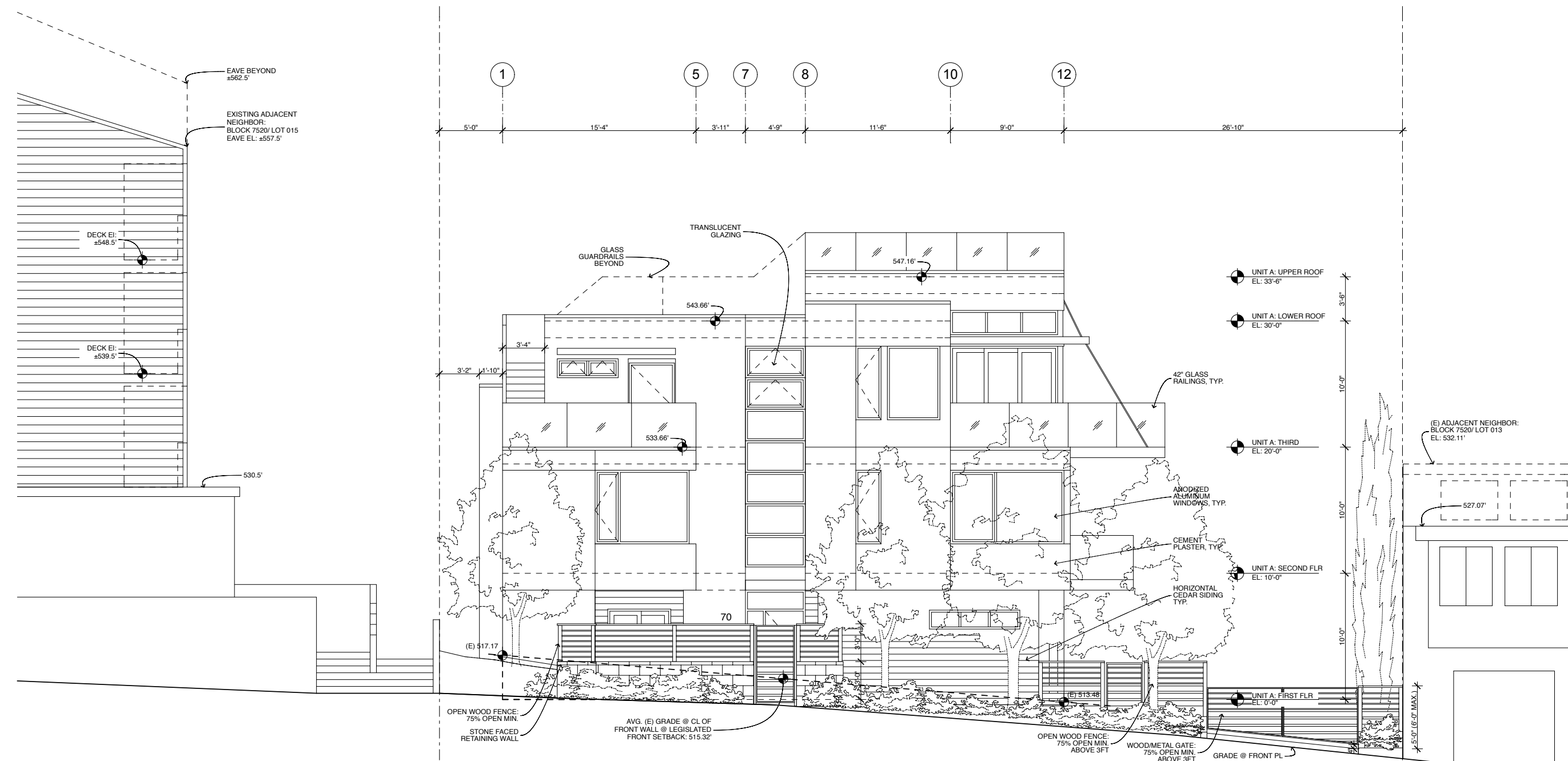
A-2.1



3 WINDOW HEAD/SILL, TYP.
SCALE: 3" = 1'-0"



2 UNIT "A" ENTRY ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

CUPLNG R1 - 3/14/2011
CUPLNG R2 - 4/15/2011
CUPLNG R3 - 6/23/2011



70 GOLD MINE DRIVE

**3-UNIT RESIDENTIAL
NEW CONSTRUCTION**

BLOCK 7520/
LOT 033 & 034

REAR ELEVATION

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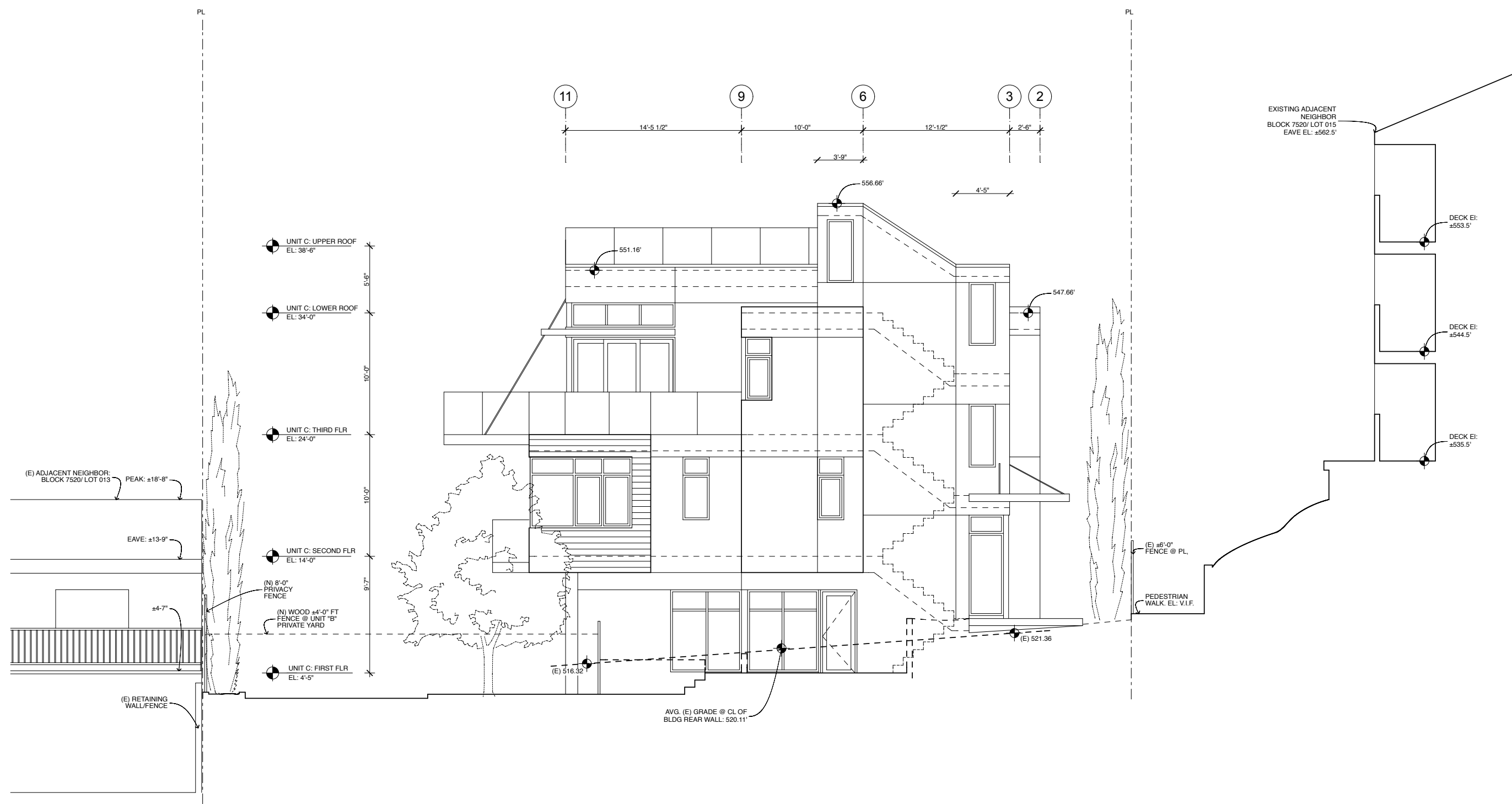
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DATE:	1/6/2011
SCALE:	1/4" = 1'-0"
DRAWN BY:	JLL
CHECKED BY:	TM
JOB NO.:	1006

DRAWING

A-2.2



1 NORTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

CUPLNG R1 - 3/14/2011
CUPLNG R2 - 4/15/2011
CUPLNG R3 - 6/23/2011



70 GOLD MINE DRIVE

3-UNIT RESIDENTIAL
NEW CONSTRUCTION

BLOCK 7520/
LOT 033 & 034

FRONT & REAR
ELEVATIONS

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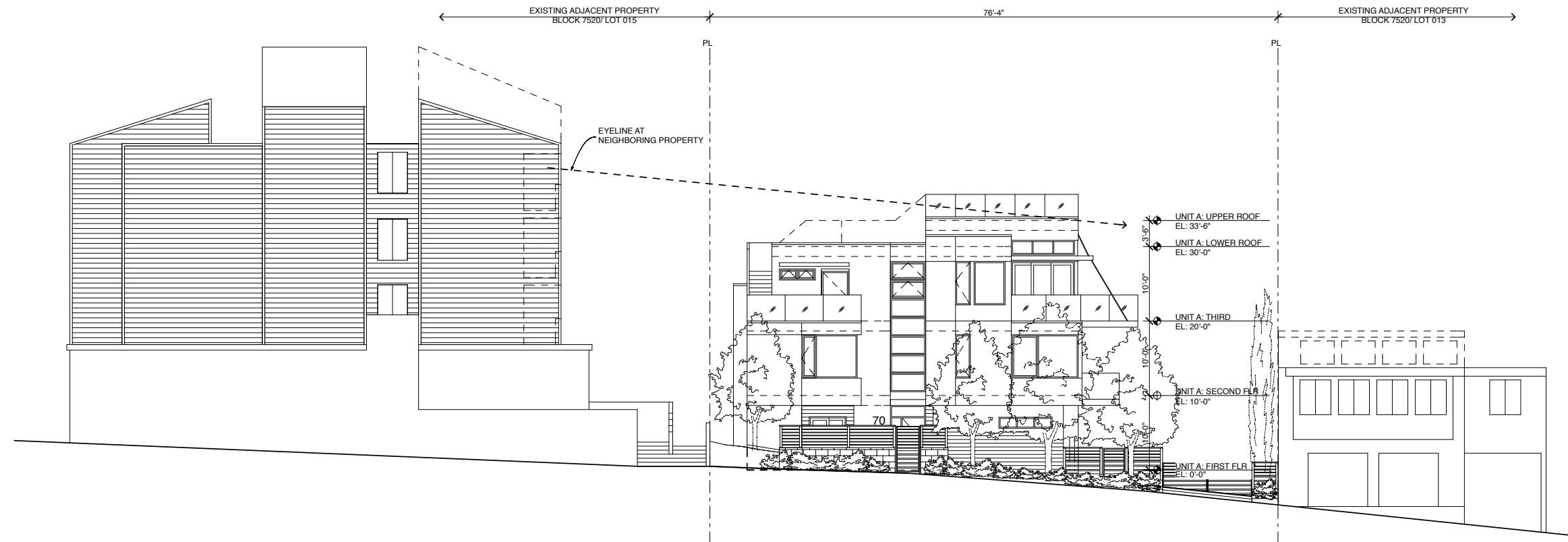
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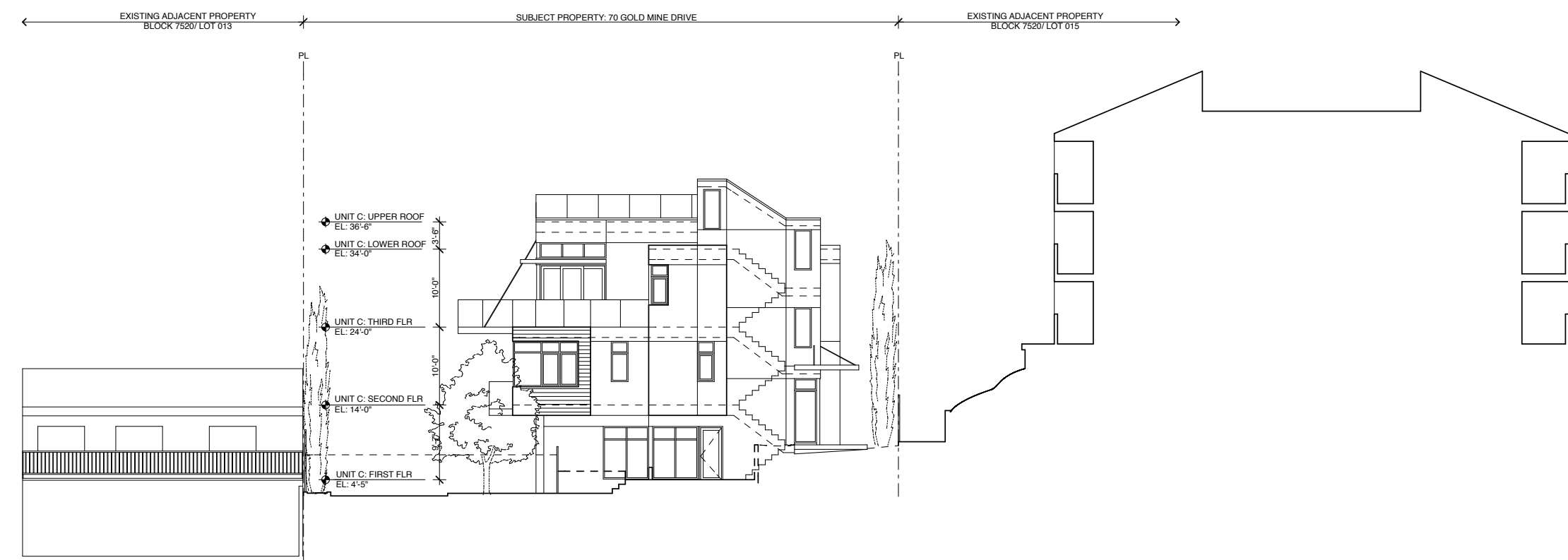
DATE:	1/6/2011
SCALE:	1/4" = 1'-0"
DRAWN BY:	JLL
CHECKED BY:	TM
JOB NO.:	1006

DRAWING

A-2.3



2 1/8" SOUTH (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"



1 1/8" NORTH (REAR) ELEVATION
SCALE: 1/8" = 1'-0"

Revisions:

CUPLNG R1 - 3/14/2011
CUPLNG R2 - 4/15/2011
CUPLNG R3 - 6/23/2011



70 GOLD MINE DRIVE

**3-UNIT RESIDENTIAL
NEW CONSTRUCTION**

BLOCK 7520/
LOT 033 & 034

EAST ELEVATION

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DATE: 1/6/2011

SCALE: 1/4" = 1'-0"

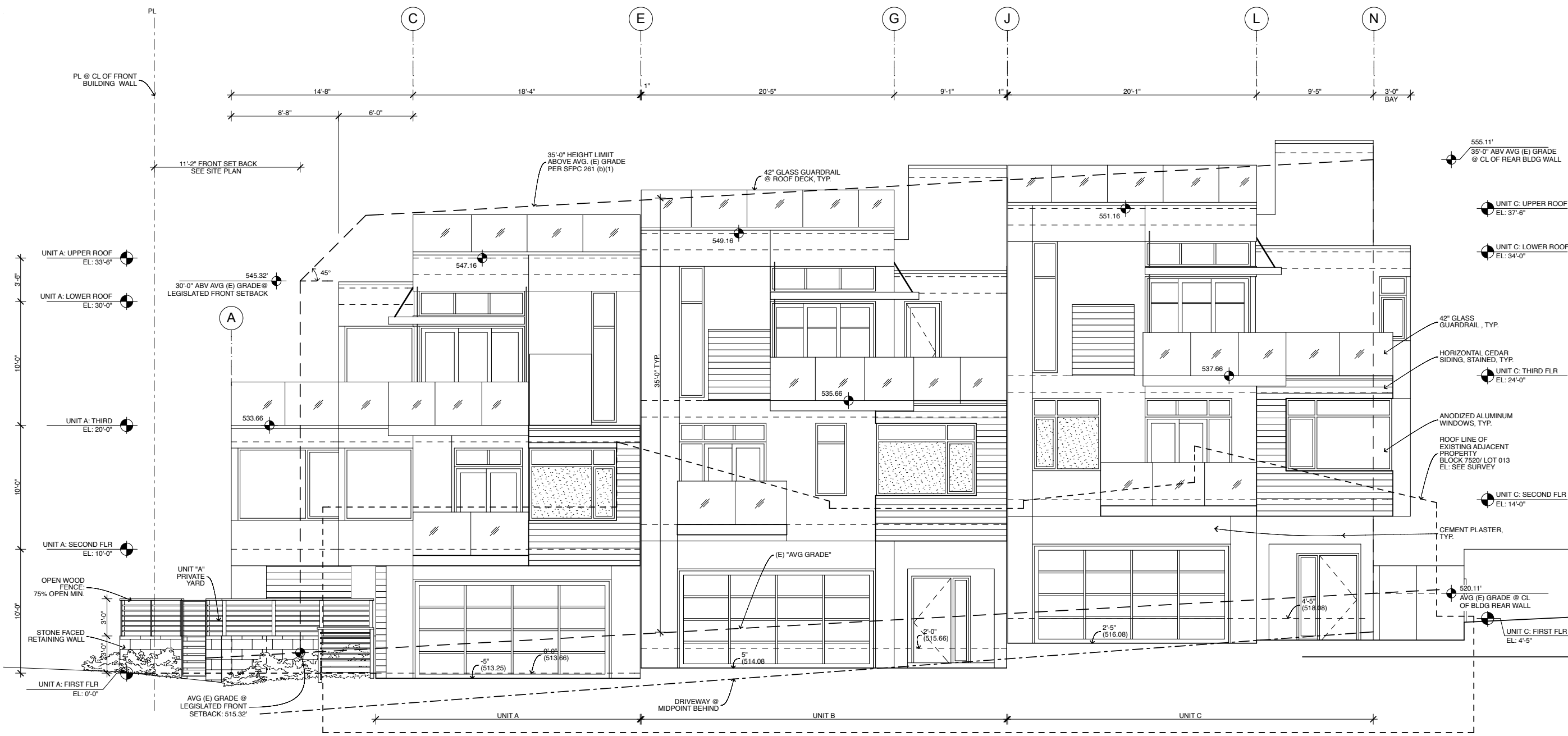
DRAWN BY: JLL

CHECKED BY: TM

JOB NO.: 1006

DRAWING

A-2.4



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

CUPLNG R1 - 3/14/2011
CUPLNG R2 - 4/15/2011
CUPLNG R3 - 6/23/2011



70 GOLD MINE DRIVE

3-UNIT RESIDENTIAL
NEW CONSTRUCTION

BLOCK 7520/
LOT 033 & 034

WEST ELEVATION

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DATE: 1/6/2011

SCALE: 1/4" = 1'-0"

DRAWN BY: JLL

CHECKED BY: TM

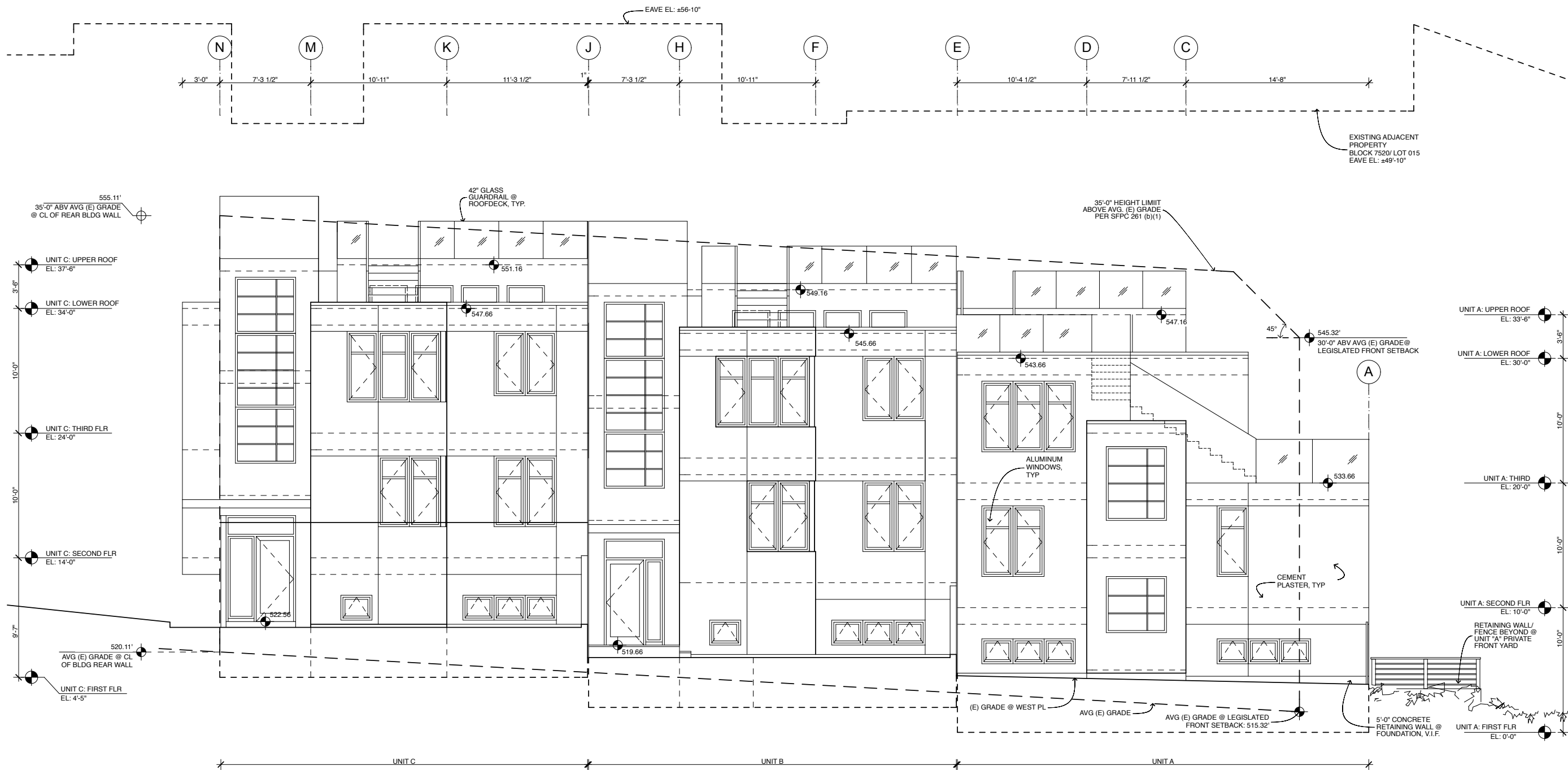
JOB NO.: 1006

DRAWING

A-2.5

17 of 19 sheets

1006 - 70 GOLD MINE DRIVE
6/23/2011 - CUPLNG R3



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

CUPLNG R1 - 3/14/2011
CUPLNG R2 - 4/15/2011
CUPLNG R3 - 6/23/2011



70 GOLD MINE DRIVE

3-UNIT RESIDENTIAL
NEW CONSTRUCTION

BLOCK 7520/
LOT 033 & 034

WESTERN NEIGHBOR/
WEST ELEVATION

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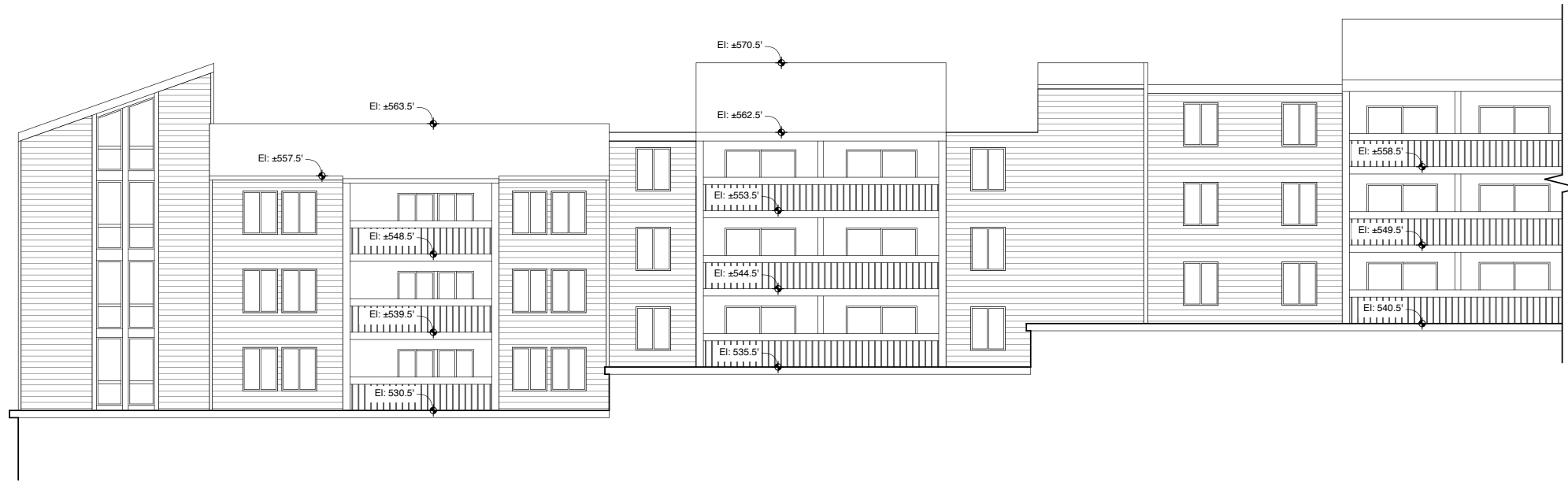
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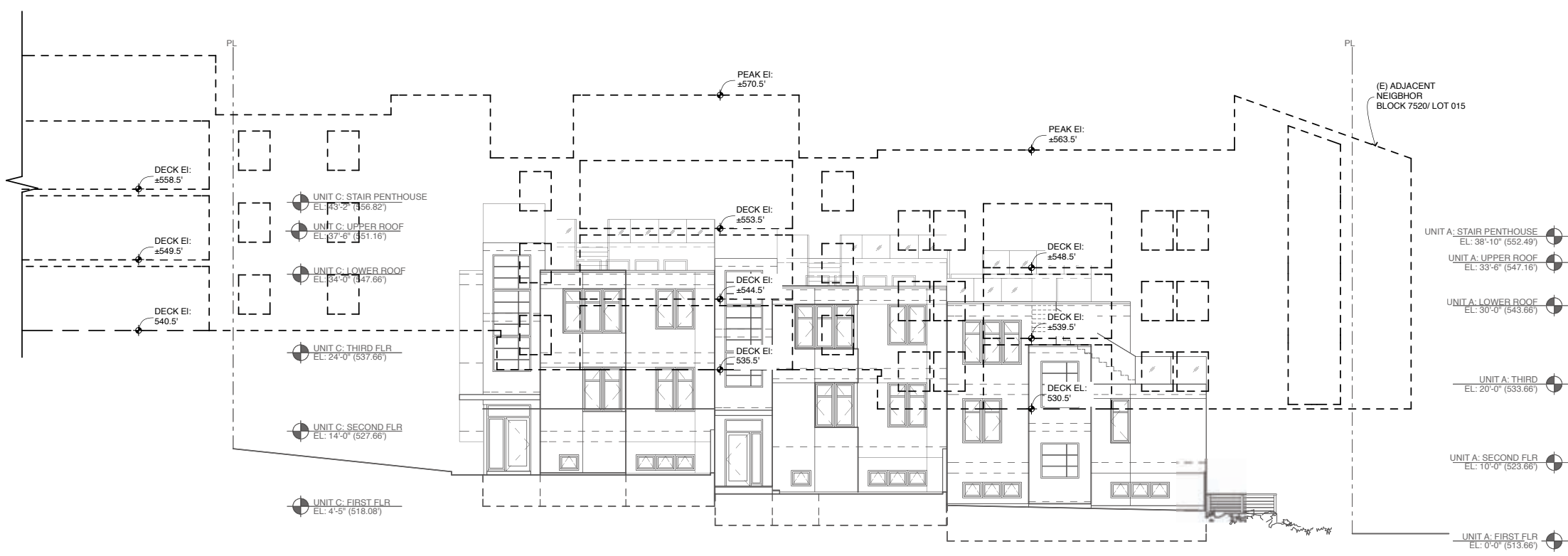
DATE:	1/6/2011
SCALE:	1/4" = 1'-0"
DRAWN BY:	JLL
CHECKED BY:	TM
JOB NO.:	1006

DRAWING

A-2.6



1 WESTERN NEIGHBOR @ BLOCK 7520/ LOT 015
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Revisions:

CUPLNG R1 - 3/14/2011
CUPLNG R2 - 4/15/2011
CUPLNG R3 - 6/23/2011



70 GOLD MINE DRIVE

3-UNIT RESIDENTIAL
NEW CONSTRUCTION

BLOCK 7520/
LOT 033 & 034

SECTION

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SCALE: 1/4" = 1'-0"

DRAWN BY: JLL

CHECKED BY: TM

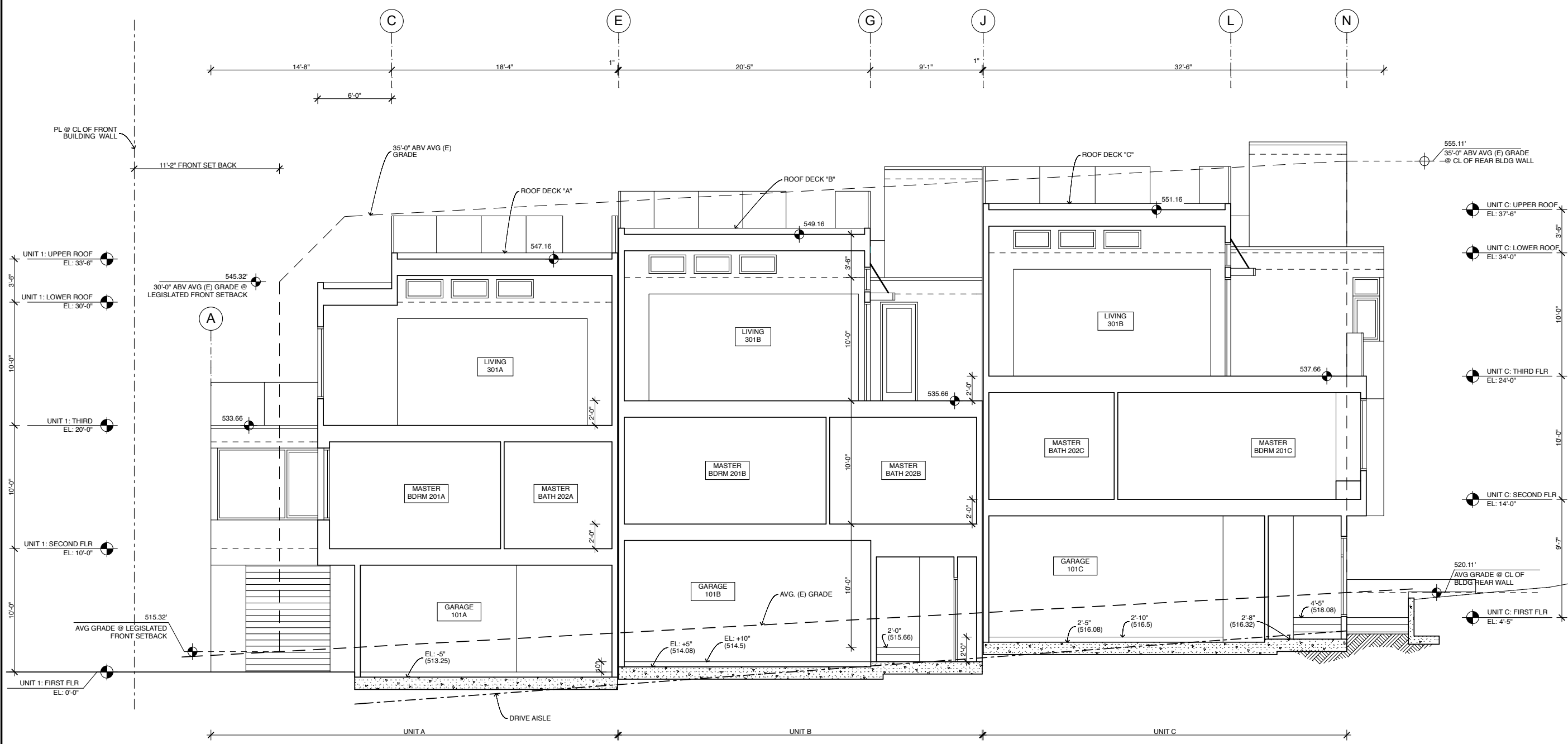
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DRAWING

A-3.1

19 of 19 sheets

1006 - 70 GOLD MINE DRIVE 6/23/2011 - CUPLNG RS



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

Revisions:

CUPLNG R1 - 3/14/2011
CUPLNG R2 - 4/15/2011
CUPLNG R3 - 8/23/2011

70 GOLD MINE DRIVE

3-UNIT RESIDENTIAL
NEW CONSTRUCTION

BLOCK 7520/
LOT 033 & 034

SCHEMATIC LANDSCAPE
PLAN

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DATE: 1/6/2011

SCALE:

DRAWN BY: JLL

CHECKED BY: TM

JOB NO.: 1006

DRAWING

L-1

PLANT LEGEND

STREET TREE 20-30' TALL

ROLLING SPREAD, EVERGREEN



- EXAMPLES:
FRUITLESS OLIVE (*Olea europaea*)
ERICACEAE LAURAT (*Ericadotrya laefloxa*)
WATER-OAK (*Tristania 'Elegant'*)



TYPICAL FORM
(FRUITLESS OLIVE)



SCREEN TREE 30-50' TALL
UPRIGHT, EVERGREEN

- EXAMPLES:
PORN PINE (*Podocarpus gracilior*)
HOTTEN (*Maytenus boaria*)
MITTOSPORUM (*Pittosporum crassifolium*)



TYPICAL FORM
(MITTOSPORUM)



SCREEN SHRUB 12-18' TALL
UPRIGHT, EVERGREEN

- EXAMPLES:
YEW PINE (*Podocarpus macrophyllus*)
PURPLE HAZEL BUSH (*Cedrecoea 'Purpurea'*)
AMERICAN ARBOVITAE (*Thuja Emerald*)
BAY LARDER



TYPICAL FORM
(YEW PINE)



FLOWERING TREE 10' TALL
PROLIFEROUS

- EXAMPLES:
FRUNITS 'KILANSON' (*Flowering Cherry*)
FRUNITS 'KHAUJER VERNIUS' (*Flowering Plum*)



TYPICAL FORM
(FLOWERING PLUM)



**SHRUBS &
GROUND COVER**



SMALL BROWN
LANDSCAPES ARCHITECTURE

1070 12th Street, Suite 400
San Francisco, CA 94103
Phone: 415.435.9127
Fax: 415.435.9127
smallbrown.com



LANDSCAPE SCHEMATIC



← ADJACENT NEIGHBOR TO WEST:
BLOCK 7520/ LOT 015

SUBJECT PROPERTY: 70 GOLD MINE DRIVE
BLOCK 7520/ LOT 033 & 034

ADJACENT NEIGHBOR TO EAST:
BLOCK 7520/ LOT 013



← GOLD MINE DRIVE →

EXISTING STREET VIEW

**70 GOLD MINE DRIVE
KERMAN MORRIS ARCHITECTS**

**CONDITIONAL USE HEARING
6/23/2011**

ADJACENT NEIGHBOR TO WEST:
BLOCK 7520/ LOT 015

FENCE @ WEST PL

REAR OF SUBJECT PROPERTY

ADJACENT NEIGHBOR TO EAST:
BLOCK 7520/ LOT 013



REAR OF SUBJECT PROPERTY:
70 GOLD MINE DRIVE
BLOCK 7520/ LOT 033 & 034

EXISTING REAR YARD VIEW

**70 GOLD MINE DRIVE
KERMAN MORRIS ARCHITECTS**

**CONDITIONAL USE HEARING
6/23/2011**



BUILDINGS ACROSS THE STREET
BLOCK 7535/ LOT 100



PHOTOMONTAGE WITH PROPOSED BUILDING

**70 GOLD MINE DRIVE
KERMAN MORRIS ARCHITECTS**

**CONDITIONAL USE HEARING
6/23/2011**



BIRDSEYE VIEW FROM GOLDMINE DRIVE

**70 GOLD MINE DRIVE
KERMAN MORRIS ARCHITECTS**

**CONDITIONAL USE HEARING
6/23/2011**



BIRDSEYE VIEW FROM REAR YARD

**70 GOLD MINE DRIVE
KERMAN MORRIS ARCHITECTS**

**CONDITIONAL USE HEARING
6/23/2011**



REAR YARD

**70 GOLD MINE DRIVE
KERMAN MORRIS ARCHITECTS**

**CONDITIONAL USE HEARING
6/23/2011**



VIEW OF COMMON PEDESTRIAN WALKWAY FROM GOLDMINE DRIVE

**70 GOLD MINE DRIVE
KERMAN MORRIS ARCHITECTS**

**CONDITIONAL USE HEARING
6/23/2011**



VIEW OF FACADE FROM GOLDMINE DRIVE

**70 GOLD MINE DRIVE
KERMAN MORRIS ARCHITECTS**

**CONDITIONAL USE HEARING
6/23/2011**



VIEW OF DRIVEWAY FROM GOLDMINE DRIVE

**70 GOLD MINE DRIVE
KERMAN MORRIS ARCHITECTS**

**CONDITIONAL USE HEARING
6/23/2011**

September 1, 2010

San Francisco Planning Dept
1650 Mission Street, Ste 400
San Francisco, Ca 94103

RE: 70 Gold Mine Drive – San Francisco

Dear Sir or Ms:

On August 10th Herbert Besinger and Phillip Richardson conducted a notice of Pre-Application Meeting at 350 Amber to discuss merging two (2) existing lots into one lot and construction of three (3) new single family residential units with a height of 35 feet (see enclosed plan).

Under the plan that was presented the owners of 70 Goldmine plan to create a 35 foot wall of building structures with a five (5) foot setback from the western edge of their property. There are residents living in the adjacent three story apartment complex, some of them for over 30 years or more, that will be severely affected by blocked light and shadows from this 35 foot wall of structures as currently proposed. Besinger and Richardson also plan to put a garage on the first floor and build two floors above when they could easily not build over a garage space and still accomplish unobstructed views over the SFR adjacent properties to the east on the site. There are no other single family residential buildings in the area that are 35 feet in height.

The 70 Goldmine owners further propose a non-conforming building depth of 87 feet when the permitted depth is 78 feet. They want to create a 30 foot driveway pulling traffic off Goldmine and redirecting it North/South on the site with possible impacts to the single family residential neighbors adjacent at the northern edge of their property line. This was unanimously opposed at the August 10th meeting by the many voting/ tax-paying citizens who reside in the neighborhood. A two story development on the site would certainly meet with less neighborhood resistance and an improved plan with fewer impacts on existing neighbors' properties would be a start. The plan as presented seems to have been conceived in a vacuum without input or concern for anyone else in the neighborhood and it was opposed by all neighbors in attendance at the Pre-Application Meeting. Their plans need to start to address some of these above concerns.

Sincerely, 5225 DIAMOND HT'S BLVD. # 285-1231

Apt
321

Joe Vachon #321

Mal Hamilton #116

314

Michael O'Connor #314

Scott Davis #314

218

Julia C. Cohen #218

[Signature] #221

318

[Signature] #318

[Signature] #221

318

Kandice Myer #318

[Signature] #106



EDGAR ESCOBEDO
Property Manager
Vista Del Monte
Apartments

49 Gold Mine Dr. | San Francisco CA 94131
415-282-1634 | Fax: 415-282-1496
vdmmail@chavezfoundation.org
www.chavezfoundation.org



Mrs. Sharon Lai
Planning Department
Suite 400
1650 Mission Street
San Francisco, CA 94103

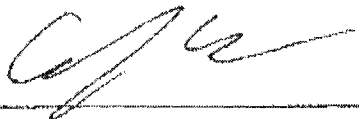
Subject: 70-74 Gold Mine Drive, S.F., CA 94131

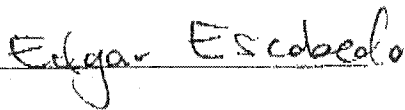
We have seen the posters at the site of 70-74 Gold Mine Drive regarding a proposal (2008.1218C) to remove the existing structures on this site and develop three new dwellings in its place.

We have spoken with the project sponsors about the proposed project and seeing the plans. We fully support their proposal.

Please lend it your support and approve this project.

Sincerely,



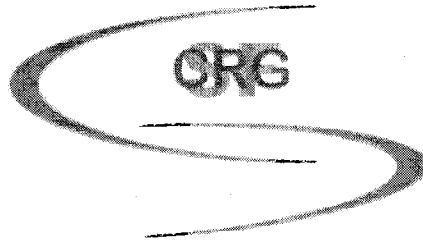






Date: 6/13/11

Date: 6/13/2011



SAN FRANCISCO COALITION FOR RESPONSIBLE GROWTH

June 15, 2011

Sharon W. Lai
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 70 Gold Mine Drive

Dear Ms. Lai:

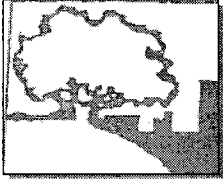
We have been asked to write a letter assessing the project at 70 Gold Mine Drive in San Francisco. We are delighted to do this, and we fully support the construction of three new townhouse style homes on this double lot in Diamond Heights. The extremely attractive design of the homes fits well with the environment and its surroundings. All units offer significant open space and comply with the current code. The architects have been diligent in their outreach efforts in reaching out to the neighbors and incorporating their demands. We have absolutely no reservations in endorsing this project.

If you have any questions, please contact us at your earliest convenience.

Sincerely,

Rodrigo Santos, SE
President of SFCRG
P.O. Box 460911
San Francisco, CA 94146
www.sfcr.org

**Diamond Heights Community Association
P.O. Box 31519
San Francisco, CA 94131**



June 14, 2011

San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear Commission President Olague and Commissioners Antonini,
Borden, Fong, Miguel, Moore and Sugaya:

The Diamond Heights Community Association Board of Directors would like to go on record in support of the 70-74 Gold Mine Drive project. After viewing the structural drawings, our Board feels the current plans are an excellent match for the neighborhood for the following reasons.

- The project is for three single family dwellings which will provide much needed housing for families.
- The project enhances Gold Mine Drive by replacing a structure and garage that have long been vacant creating a safety hazard in the community.
- The owners and architect met with the community to hear concerns and reconfigured the project to meet many of the neighbors' concerns.
- The project will be an attractive addition to the neighborhood.

We hope you will give your approval for the project.

Sincerely,

Betsy Eddy
DHCA, President

cc: Sandra Lai
Toby Morris

Officers

President

Betsy Eddy

Vice President

Lee Ann Prifti

Treasurer

Norman Cromartie

Board of Directors

Patrick Carroll
Richard Craib
Bob Dockendorff
Jack Lenk
Jeanette Oliver
Janis Prifi
Lee Ann Prifti
John Schlenke
Annie Shynebaugh

Leland and Janie Lin Wong
20 Gold Mine Drive
San Francisco, CA. 94131-2157
Tel: 415-806-2338 Email: ljallc@gmail.com

To: The Planning Department and Commissioners

From: Leland Wong *lw*
Janie Lin Wong *JLW*

Date: Wednesday, April 27, 2011

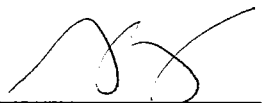
Re: 70-74 Gold Mine Drive, S.F., CA 94131

We have seen the posters at the site of 70-74 Gold Mine Drive and also received a "Notice of Hearing" from the San Francisco Planning Department regarding a proposal **(2008.1218C)** to remove the existing structures on this site and develop three new homes.

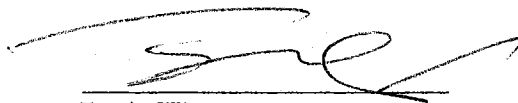
We have spoken with the project sponsors about the proposed project and have seen the plans. We fully support their proposal.
We strongly believe it will greatly improve our neighborhood.

Please lend it your support and approve this project.

Sincerely,



Leland Wong



Janie Wong

To: The Planning Department and Commissioners,

Subject: 70-74 Gold Mine Drive

My name is Bruce Ponte and I live at 10 Gold Mine Drive, S.F., CA 94131.

I have received a "Notice of Hearing" from the San Francisco Planning Commission regarding a proposal (2008.1218C) to remove the existing structures on this site and develop three new dwellings in its place. I have also seen the posters on the site.

The project sponsors have shown me the plans and I fully support the project.

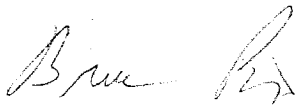
I have lived at 10 Gold Mine since 1994 and I believe the new housing will change our neighborhood for the better.

Your support and approval of this project would not only add more housing it will also create a beautiful and balanced neighborhood.

Thank you,

Sincerely,

Bruce Ponte



Date:

4/28/11

4/28/2011

To: The Planning Department and Commissioners

Subject: 70-74 Gold Mine Drive, San Francisco, CA 94131

From: Dr. David Tong and Dr. Midori Yenari
30 Gold Mine Drive, S.F. CA 94131

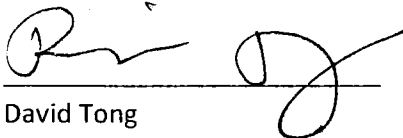
We have received a "Notice of Hearing" from the San Francisco Planning Department regarding a proposal (2008.1218C) to remove the existing structures on this site and develop three new homes.

We have seen and discussed the plans with the project sponsors and fully support the project.

We look forward to the improvement the new housing will bring.

Please lend support and approve this project.

Sincerely,



David Tong



Midori Yenari Tong

Date: 4-28-11

Date: 4-28-11

To: The Planning Department and Commissioners:

Subject: 70-74 Gold Mine Drive

From: Elias Martinez and Mirna Martinez

1 Gold Mine Drive #1, San Francisco, CA 94131

We have seen the "Notice of Hearing" at the site of 70-74 Gold Mine Drive regarding a proposal (2008.1218C) to remove the existing structures and develop three new homes.

We have spoken with the project sponsors about the proposed project and have seen the plans. We think the new houses will make a beautiful addition to our neighborhood.

We fully support their proposal.

Please lend it your support and approve this project.

Sincerely,



Elias Martinez

Date: 5/2/2011



Mirna Martinez

Date: 5/2/2011

June 14, 2011

Ms. Christina Olague
President, Planning Commission
1650 Mission Street, Fourth Floor
San Francisco, CA 94103

Subject: Conditional Use Application for Three-unit Development
at 70 Gold Mine Drive, San Francisco (Block 7520/Lots 33 & 34)

Dear President Olague:

Our office represents Goldmine Partners LLC (“Applicant”), who proposes to demolish an existing single family home and a garage on two adjacent lots, merge the lots and construct a three-unit, 9,779 gross square feet¹, approximately 32 feet high residential building at 70 Gold Mine Drive, San Francisco (Assessor’s block 7520, lots 33 and 34; herein “Site”). The Project requires a Conditional Use application because the Site is located in a RH-1 zoning district that principally allows one single family home per lot. For the reasons discussed below, the Conditional Use application and the project merits your approval.

SITE INFORMATION

The Site is located in an RH-1 zoning district and consists of two underutilized lots each with 5,005 square feet (“sf”), based on City records. The site slopes upward front to back and east to west, such that the northwest (rear) corner of the site is 16 feet above the southeast corner at the sidewalk. Lot 34 is developed with a garage and Lot 33 is developed with a one-story single-family home that is 22’-6” above the sidewalk curb and has an attic. This structure has been vacant for four and a half years and has no heat or kitchen. The kitchen was removed four years ago due to mold and dry rot. The Planning Department has determined that the existing building and the existing garage on the Site are not historic resources and that their demolition will not result in an adverse impact on the environment. See Case Report or **Exhibit 1** for a copy of the March 12, 2009 Categorical Exemption and the Historic Resource Evaluation Response; see **Exhibit 2** for a copy of the March 11, 2011 Memorandum to File by Major Environmental Analysis section of the Department; and see **Exhibit 3** for a copy of the April 3, 2008 Historic Resource Evaluation. The existing single-family home, moreover is unsound; it would cost \$210,290 to replace this building and \$197,809 to rehabilitate it. See Analysis of Soundness in the **Exhibit 5**.

¹ The 9,779 gsf include the garages.

The building to the west is a four-story apartment complex varying between 42' and 47' tall facing the subject property; it is set back approximately 20' from its east property line, with the last 5' being a dedicated public pedestrian walkway. Two-story single-family homes on lots of approximately 3,993 sf are to the east. Several of these single-family homes have rear yards that do not comply with the current Planning Code. See Aerial photographs and photographs of the site and site vicinity attached to your staff's case report.

PROJECT DESCRIPTION

The proposed development will include demolition of the existing home and garage and the construction of a new three-unit condominium building containing a total of 9,779 gsf pursuant to a conditional use application.² These units will share a drive way and planting strip on the east. The proposed building will be set back 11'-2" from the front property line. The front yard/setback will be landscaped except for a 12'-0" drive aisle at the eastern end.

Instead of subdividing the combined 10,010 sf lot into three (3) standard lots of approximately 25.4' wide, the Applicants chose to construct a detached building with three townhouse units that has on the west a side yard and, on the east a common drive way with a landscaping strip of against the eastern neighbor's blind wall.

The proposed building will have a 31'-8 1/4" deep Code complying rear yard (25% of lot depth) and the new structure will be shorter than the adjacent single family home to the east.³ The mature trees at the rear of the property will be preserved and new landscaping will be added to provide privacy for the adjacent rear yards.

The ground floor of each townhouse will have a two car garage, a full bath and a family room that can be used as a guest bedroom. The front townhouse unit also will have a small home office. The second floor of each townhouse will contain an ensuite master bedroom, two bedrooms, one bath and a laundry room. The third

² Planning Code Section 209.1(f) permits the construction of 1 dwelling unit per 3,000 sf of lot area pursuant to a conditional use authorization.

³ It is the applicant's understanding that this neighbor may object to the project in that he prefers either three standard lots with the single family home or the driveway be relocated elsewhere on the Site.

floor of each townhouse will contain the kitchen, living room, dining room and a deck. All the units will be accessible by elevators. Each townhouse will have a roof deck. These roof decks are at elevations lower than the east facing decks of the apartment building to the west.⁴ See **Sheet T-1** of the Plans elevations and sections attached to the **Case Report**.

NEIGHBORHOOD OUTREACH

The project sponsors are residents of this neighborhood and determined to improve this underutilized site with a high quality development to the benefit of the neighborhood. Over the course of three years of design and submittals, the project sponsors have actively engaged with neighbors and neighborhood associations, incorporating design modifications responsive to issues raised. See **Exhibit 4**, Chronology of Contacts with Neighbors and Neighborhood Organizations and letters of support in **Case Report**.

APPROVALS REQUIRED

The Project will require the following approvals:

1. Conditional use authorization to construct a three unit building and to demolish the existing home;
2. Street and Sidewalk permits associated with the proposed development;
3. Condominium subdivision maps for the proposed three units.

⁴ The third floor decks of the Apartment Complex to the west are at SF Datum 548.5' and 553.5', and look over the proposed townhouse roof decks, which will be at 547.16', 549.18' and 551.16' respectively. See Sheet T-1 and Sheet A-2.6 of plans attached to Case Report for documentation of how the proposed roof decks relate to those at the Apartment Complex. Only the glass railings of the townhouse roof decks will be slightly higher than the apartment's third floor decks. The townhouse staircase penthouses have also been sloped and kept to the minimum height allowed by the Building Code.

THE PROJECT IS CONSISTENT WITH THE SECTION 303 CRITERIAS

The Project meets the requirements of §303(c) in that:

1. *The proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary and desirable for, and compatible with, the neighborhood or the community.*

The Project site is zoned RH-1, but contains 10,010 sf that allows for the construction of a three-unit building. Each townhouse unit will be constructed independently, with no common walls to ensure sound will not be transmitted between the units and to minimize the Homeowners Association fee, which will make the units more affordable. Development of 3 units on the Site will result in a similar density per acre as the single family homes to the east.

The Project has been designed to be a transition in scale, massing and height from the large Apartment Complex to the west and the finer scale of single-family homes to the east. The Project is both compatible with the neighborhood and desirable. The addition to the City's housing stock of three (3) new three-bedroom units suitable for families is a benefit to the City.

2. *The proposed uses or features will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential developments in the vicinity.*

A. The nature of the proposed site (including its size and shape) and the proposed size, shape and arrangement of structures.

The proposed 32' high building is one-story shorter than the Apartment Complex to the west and one-story higher than the single family home to the east. The Project serves as a better transition from the large apartment complex to the single-family homes than would three (3) three-story attached single-family homes on separate lots facing Gold Mine Drive. The 5'+ west side yard, the 11'-2" front yard, the 3' planning strip along the east property line and the 31'-8 1/4" rear yard will all be landscaped, serving to soften the new structure's relationship to its neighbors and contribute positively to the existing visual context. See **Sheet T-1** of the plans attached to the **Case Report**.

Construction of one three-unit building in lieu of three single-family homes on three lots will eliminate two curb cuts and a ground floor level that otherwise would be dominated by three (3) garage doors. The result is a superior design for the Project.

The building has been designed with varying planes on all four façades to break up the scale and mass of the building. The 44'-6" wide front façade is broken into a 15'-4" western segment and a 29'-2" eastern segment. The single family homes to the east are generally 33'-0" wide. The Project's scale, bulk and design will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential developments in the vicinity.

B. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading.

A categorical exemption has been issued for the proposed project concluding that the Project will not have an adverse effect on the environment. According to the Department's Transportation Impact Analysis Guidelines, the Project will generate a total of 30 daily person trips, of which 5 will occur during the PM peak period.⁵ Even assuming that all 5 daily person trips will be vehicular trips, that volume will not be a significant increase to the current levels.

The Project will have 2 off street parking spaces per unit which is more than the project demand of 1.5 off-street parking spaces per unit.⁶ The off-street parking spaces will be accessed from one 10'-0" curb cut versus the existing 30'-0" wide curb cut; the Project will result in the addition of one on-street parking space for the neighborhood. With only one curb cut, the Project will have no impact on the existing accessibility to the site or the traffic pattern around the site.

For moving-in and out, the driveway can be used for loading and unloading with minimum disruption to traffic on Gold Mine Drive.

⁵ According to the Guidelines, a unit with 2+ bedrooms will generate 10 daily trips, of which 17.3% will occur during the PM peak hour.

⁶ See Department's Transportation Impact Analysis Guidelines.

During construction, construction worker parking and material storage can be accommodated on site using the driveway and rear yard area. The Project, therefore, has adequate off-street parking and loading.

C. The safeguards afforded to prevent noxious or offensive emissions, such as noise, glare, dust and odor.

During construction some noise will be generated. Construction noise is governed by the San Francisco Police Code. During construction, the Applicant will require its contractors to water and sweep the Site and sidewalk to minimize release of dust and particulate matters into the air. Construction will be limited to Monday through Friday between the hours of 7:00 AM and 6:00 PM, and from 8:00 AM to 5:00 PM on Saturday. All impact tools will be muffled to minimize noise during construction.

After completion, the Project will not generate any offensive odor, noxious fumes, noise or dust. Lighting in the evening will be similar to all the neighboring residential buildings. Exterior lighting will be down lighting so as not to generate glare. To ensure that headlights of automobiles accessing the garages will not generate glare to the homes to the rear and the east of the Site, fences will be erected to the maximum permissible heights and trees will be planted along the rear and east property line to screen the headlights. See **Sheet T-1** site plan and **Sheet L-1** landscape schematic of the plans attached to the **Case Report**.

3. The proposed project will not adversely affect the applicable objectives and policies of the City's General Plan in that:

For the sake of brevity, the Applicant refers to and incorporates by reference here the General Plan conformance findings in the Draft Conditional Use Approval Motion before the Commission.

**THE PROJECT IS CONSISTENT WITH
THE PROVISIONS OF PLANNING CODE SECTION 101.1(b)**

The Project is consistent with the priority policies of Section 101.1(b) of the Planning Code. See the Proposition M findings in the Draft Conditional Use Approval Motion before the Commission.

CONCLUSION

For the reasons discussed above, the Project meets all applicable Planning Code provisions and should be approved by this Commission.

Very truly yours,

A handwritten signature in black ink, appearing to read "Toby Morris", with a long horizontal flourish extending to the right.

Toby Morris

Encl.: Exhibits

cc: Commissioner Ron Miguel, Vice President
Commissioner Michael J. Antonini
Commissioner Gwyneth Borden
Commissioner Kathrin Moore
Commissioner Hisashi Sugaya
Commissioner Rodney Fong
Linda Avery, Commission Secretary
John Rahaim, Director of Planning
Scott Sanchez, Zoning Administrator
Sharon Lai, Project Planner
Herb and Vali Bensinger
Phil Richardson

TABLE OF EXHIBITS

- Exhibit 1 Categorical Exemption and HRER, March 12, 2009.
- Exhibit 2 Memo to the Planning File, Major Environmental Analysis section of the Department: March 11, 2011.
- Exhibit 3 Historic Resource Evaluation: 70 Gold Mine Drive Project, prepared by KDI Land Use Planning: April 3, 2008.
- Exhibit 4 Chronology of Contacts with Neighbors and Neighborhood Organizations.
- Exhibit 5 Soundness Report: 70 Gold Mine Dr., prepared by Patrick Buscovich & Associates Structural Engineers, Inc.: June 2, 2011

EXHIBIT 1:

Categorical Exemption and HRER, March 12, 2009



**SAN FRANCISCO
PLANNING DEPARTMENT**

Date received:

Environmental Evaluation Application

Environmental review under CEQA is administered by the Major Environmental Analysis (MEA) division of the Planning Department. The environmental review process begins with the submittal of a completed Environmental Evaluation (EE) Application to the Planning Department. Only the current EE Application form will be accepted. No appointment is required but staff is available to meet with applicants upon request.

The EE Application will not be processed unless it is completely filled out and the appropriate fees are paid in full. Checks should be made payable to the San Francisco Planning Department. See the current *Schedule of Application Fees* and contact the staff person listed below for verification of the appropriate fees. Fees are generally non-refundable. Documents in italics are available online at sfgov.org/planning.

The EE Application is comprised of four parts. Part 1 is a checklist to ensure that the EE Application is complete; Part 2 requests basic information about the site and the project; Part 3 is a series of questions to help determine if additional information is needed for the EE Application; and Part 4 is a project summary table.

The complete EE Application should be submitted to the Planning Department staff as follows: For projects greater than 10,000 square feet in size and where Part 3 Questions #3, #8, or #10 are answered in the affirmative, or for projects that require mitigation measures, please send the application materials to the attention of Ms. Kienker. For all other projects, please send the application materials to the attention of Ms. Wise.

Viktoriya Wise
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9049, viktoriya.wise@sfgov.org

Leigh Kienker
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9036, leigh.kienker@sfgov.org

PART 1 – EE APPLICATION CHECKLIST	Provided	Not Applicable
Two copies of this application with all blanks filled in	<input checked="" type="checkbox"/>	
Two sets of project drawings	<input type="checkbox"/>	
Photos of the project site and its immediate vicinity, with viewpoints labeled	<input checked="" type="checkbox"/>	
<i>Supplemental Information Form for Historical Resource Evaluation and/or Historic Resource Evaluation Report</i> , as indicated in Part 3 Questions 1 and 2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Geotechnical Report, as indicated in Part 3 Questions 3a and 3b	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Tree Disclosure Statement</i> , as indicated in Part 3 Question 4	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Phase I Environmental Site Assessment, as indicated in Part 3 Question 8	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Community Plan Area Supplemental Information Form</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Additional studies (list)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Applicant's Affidavit. I certify the accuracy of the following declarations:

- a. The undersigned is the owner or authorized agent of the owner(s) of this property.
- b. The information presented is true and correct to the best of my knowledge.
- c. I understand that other applications and information may be required.

Signed (owner or agent): Tang Kim Date: 9/8/08

(For Staff Use Only) Case No. 2008.1218E Address: 70 Gold Mine Drive
Block/Lot: 7520 / 033

PART 2 - PROJECT INFORMATION

Owner/Agent Information

Property Owner	<u>Herman Bensinger</u>	Telephone No.	<u>415 246 8855</u>
Address	<u>50 Gold Mine Drive</u>	Fax No.	<u>416 480 1406</u>
	<u>SF 94131</u>	Email	<u>tony@townconsulting.com</u>
Project Contact	<u>Tony Kim (Town Consulting)</u>	Telephone No.	_____
Address	<u>100 Clement Street 3rd floor</u>	Fax No.	_____
	<u>SF 94118</u>	Email	_____

Site Information

Site Address(es):	<u>70 Gold Mine Drive</u>		
Nearest Cross Street(s)	<u>Douglass Street</u>		
Block(s)/Lot(s)	<u>7520 / 033</u>	Zoning District(s)	<u>RH-1</u>
Site Square Footage	<u>5,005</u>	Height/Bulk District	<u>40-X</u>
Present or previous site use	<u>Vacant single-family house</u>		
Community Plan Area (if any)	<u>n/a</u>		

Project Description please check all that apply

- Addition
 Change of use
 Zoning change
 New construction
 Alteration
 Demolition
 Lot split/subdivision or lot line adjustment
 Other (describe) Is the subject building (single-family house) a historic resource.

Describe proposed use _____

Narrative project description. Please summarize and describe the purpose of the project.

*Class 1 : Demolition of a small single family home
 ~ Class 1 (1)(1)*

CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: March 16, 2009
TO: Brett Bollinger, Major Environmental Analysis
FROM: Sophie Middlebrook, Preservation Technical Specialist
RE: 70 Gold Mine Drive, Case No. 2008.1218E

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

The attached Categorical Exemption and Historic Resource Evaluation Report (HRER) have been issued for the proposed project located at 70 Gold Mine Drive, Case Number 2008.1218E.

The previously issued Categorical Exemption, issued on March 4, 2009, with an HRER dated February 26, 2009, has been rescinded due to an error on Page 2 of the HRER. Page 2 of the February 26, 2009 HRER erroneously describes a building other than the subject building in the evaluation of the applicability of Criterion 3 of the California Register.

The error described above has been corrected in the attached Categorical Exemption and HRER dated March 12, 2009, and therefore supersedes the Categorical Exemption issued on March 4, 2009.



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Historic Resource Evaluation Response

Project Address: 70 Gold Mine Drive
Block/Lot: 7520/033
Case No.: 2008.1218E
Date of Review: March 12, 2009
Planning Dept. Reviewer: Sophie Middlebrook
(415) 558-6372 | sophie.middlebrook@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROPOSED PROJECT Demolition Alteration

PROJECT DESCRIPTION

The proposed project includes the demolition of the existing residential structure, and the construction of a new, single-family home on the subject property. The proposed project is still in the schematic stage, and no plans for the proposed new structure have been submitted.

PRE-EXISTING HISTORIC RATING / SURVEY

The County Assessor's records indicate that the building was constructed in 1985; this date is not consistent with historic Sanborn Fire Insurance maps, applications on file with the San Francisco Water Department, or with the architectural style, form, and massing of the subject building and the detached garage. Information from the Water Department indicates that the subject building was constructed in 1906. Although the subject building is not included on any historic surveys and is not included on the National or the California Registers, its recorded date of construction makes it a "Category B" building for the purposes of CEQA review by the Planning Department.¹ It does not appear that the subject building is a historic resource for the purposes of CEQA review.

HISTORIC DISTRICT / NEIGHBORHOOD CONTEXT

The subject building is located on the north side of Gold Mine Drive, within an RH-1 Zoning District, east of Diamond Heights Boulevard. The subject building is one of the few residential structures in the area with a gable roof peak; the surrounding neighborhood is characterized by low, flat structures and the larger "Vista Del Monte" apartment complex. The subject building appears to be the only building constructed in a modified Queen Anne architectural style on the block. It does not appear that the subject property is located within a potential historic district for the purposes of CEQA.

1. **California Register Criteria of Significance:** Note, a building may be an historical resource if it meets any of the California Register criteria listed below. If more information is needed to make such

¹ Please see "Preservation Bulletin #16," available online at:
http://www.sfgov.org/site/uploadedfiles/planning/projects_reports/PresBulletin16CEQA10_8_04.PDF (November 2, 2007)

a determination please specify what information is needed. (This determination for California Register Eligibility is made based on existing data and research provided to the Planning Department by the above named preparer / consultant and other parties. Key pages of report and a photograph of the subject building are attached.)

- Event: or Yes No Unable to determine
Persons: or Yes No Unable to determine
Architecture: or Yes No Unable to determine
Information Potential: Further investigation recommended.
District or Context: Yes, may contribute to a potential district or significant context

If Yes; Period of significance:

Notes: Below is an evaluation of the subject property against the criteria for inclusion on the California Register; it does not appear that the subject property is eligible for the California Register.

Criterion 1: It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;

As noted above, the subject building appears to have been constructed in 1906, and stands out on the block face as an modified Queen Anne structure surrounded by buildings constructed in the 20th century mid-century modern architectural style. The subject building does not, however, appear to be associated with events that have made a significant contribution to the broad patterns of local residential development history.

Criterion 2: It is associated with the lives of persons important in our local, regional, or national past;

Mr. Ingeborg Bryngleson owned the property in 1906 at the time that the first application for a water connection was made. Bryngleson is also listed as the property owner on early maps of Horner's Addition. No persons of known historical significance appear to have been associated with the subject property.

Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;

The subject building is a two-story cottage detailed in a modified Queen Ann architectural style. The wood frame house has a cross gabled roof form, with one gable end facing Gold Mine drive and a perpendicular cross gable that runs east-west. The subject building is clad in wood siding; the gable end facing Gold Mine Drive features distinctive shingles with angular exposed laps, and the lower portion of the building is clad in horizontal wood siding. A single double-hung, wood framed window is centered in the street-facing gable.

The building's primary entrance is recessed and located on the west side of the street-facing elevation. A single wood-framed, double-hung window is located east of the recessed entrance, flush with the front building wall. The front building walls are canted on either side of the window, giving the appearance of a modified bay, although the configuration does not extend beyond the

front building wall. A wood-framed, double-hung window is centered in each of the canted walls. Decorative brackets give the appearance of support under the second story on the east side of the facade where the front building is angled. The porch and foundation are of a light-hued brick.

The subject building stands out as an unusual example of residential development that pre-dates the mid-century residential building development that included the multi-family Vista Del Monte apartments located at the termination of Gold Mine Drive. Although aspects of the general form and applied decorative elements of the subject building resemble those described in nineteenth century pattern books such as *Victorian Domestic Architectural Plans and Details* by William Comstock and Palliser and Company's *New Cottage Homes*, it appears more likely that the subject building's form and detailing are derived from local knowledge, convention, and styling. Details such as the shingles at the gable end, the straight, rectangular decorative supports under the porch eave, and the narrow decorative brackets at the east corner of the street-facing elevation suggest that the builder was not following a specific pattern, but rather based decorative elements on local models.

Criterion 4: It yields, or may be likely to yield, information important in prehistory or history;

It does not appear that the subject property is likely to yield information important to a better understanding of prehistory or history.

-
2. **Integrity** is the ability of a property to convey its significance. To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity. To retain historic integrity a property will always possess several, and usually most, of the aspects. The subject property has retained or lacks integrity from the period of significance noted above:

Location:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Setting:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Association:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Feeling:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Design:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Materials:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Workmanship:	<input type="checkbox"/> Retains	<input type="checkbox"/> Lacks			

Notes: Evaluation of integrity is not applicable as the subject building has not been shown to be significant under California Register criteria.

-
3. **Determination Whether the property is an "historical resource" for purposes of CEQA**

No Resource Present (Go to 6. below) Historical Resource Present (Continue to 4.)

-
4. If the property appears to be an historical resource, whether the proposed project is consistent with the Secretary of Interior's Standards or if any proposed modifications would materially impair the resource (i.e. alter in an adverse manner those physical characteristics which justify the property's inclusion in any registry to which it belongs).

- The project appears to meet the Secretary of the Interior's Standards. (Go to 6. below)
Optional: See attached explanation of how the project meets standards.
- The project is NOT consistent with the Secretary of the Interior's Standards and is a significant impact as proposed. (Continue to 5. if the project is an alteration)

5. Character-defining features of the building to be retained or respected in order to avoid a significant adverse effect by the project, presently or cumulatively, as modifications to the project to reduce or avoid impacts. Please recommend conditions of approval that may be desirable to mitigate the project's adverse effects.

6. Whether the proposed project may have an adverse effect on off-site historical resources, such as adjacent historic properties.

Yes No Unable to determine

Notes: As noted above, the subject building does not appear to be an historic resource.

PRESERVATION COORDINATOR REVIEW

Signature: _____

Mark Luellen, *Preservation Coordinator*

Date: 3/12/09

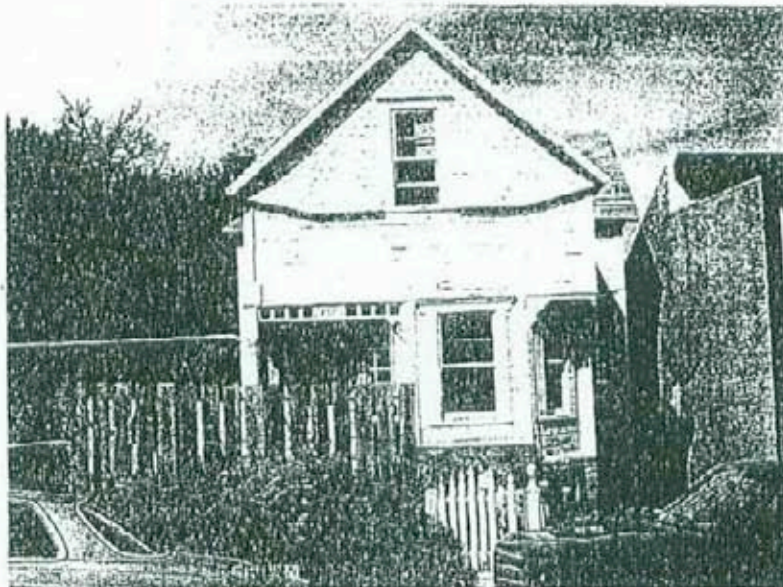
CC:

Linda Avery, *Recording Secretary*, Historic Preservation Commission
Vernaliza Byrd / Historic Resource Impact Review File

G:\DOCUMENTS\historic\70 Goldmine Drive.doc

Historic Resource Evaluation

Category B/Alteration or Demolition Proposed (Building over 50 Years of Age) -- Supplemental Information



70 GOLD MINE DRIVE PROJECT

Publication Date: April 3, 2008

Submitted to:

San Francisco Planning Department
1650 Mission Street, Fourth Floor
San Francisco, California 94103

Prepared by KDI Land Use Planning

EXHIBIT 2:

Memo to the Planning File, Major Environmental Analysis
Section of the Department, March 11, 2011.



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning File

Date: March 11, 2011

To: Brett Bollinger, Major Environmental Analysis

From: Tina Tam, Senior Preservation Planner
(415) 558-6325
tina.tam@sfgov.org

Re: 70 Gold Mine Drive, Case No. 2008.1218E

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

The Department, pursuant to CEQA (Public Resources Code Sections 21000 *et seq.*) and the CEQA Guidelines (Title 14 California Code of Regulations Sections 15000 *et seq.*), issued a Categorical Exemption for the project at 70 Gold Mine Drive on March 16, 2009, finding that the project met the criteria for an exemption under CEQA Guidelines Section 15301(e). Based upon the Historic Resource Evaluation Response, dated March 12, 2009, the subject residential building is not a historic resource for the purposes of CEQA.

The purpose of this memo is to clarify the review conducted by Preservation Staff which included the review of both the residential and garage structures. The consultant's report prepared by KDI Land Use Planning included information for both structures. Based upon Department of Building Inspection's record, the garage structure was constructed in 1985, hence it's construction date (of not more than 50 years old) makes it's a Category C (Not a Historic Resource) for the purposes of CEQA and is not eligible for listing on the California Register.

As such, the previous CEQA determination that the project is Categorically Exempt from further environmental review is still applicable.

EXHIBIT 3:

Historic Resource Evaluation:
70 Gold Mine Drive Project
Prepared by KDI Land Use Planning, April 3, 2008.

Historic Resource Evaluation

Category B/Alteration or Demolition Proposed (Building over 50 Years of Age) – Supplemental Information



70 GOLD MINE DRIVE PROJECT

Publication Date: April 3, 2008

Submitted to:

San Francisco Planning Department
1650 Mission Street, Fourth Floor
San Francisco, California 94103

Prepared by KDI Land Use Planning

April 3, 2008

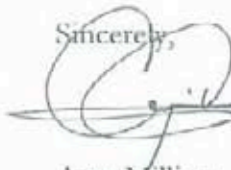
Dear Planning Department Staff:

This Historic Resource Evaluation Supplemental is written to provide a basis for determining the degree of environmental impact that may occur due to the proposed demolition or alteration of a residential structure at 70 Gold Mine Drive and the relative level of historic significance currently associated with this structure.

KDI has prepared this supplemental based on generally recognized research procedure and analysis. KDI has no interest in this property or any other property of the owner.

Please do not hesitate to phone me or Corey Alvin at 415.341.8890 or via email at amy@kdiplanning.com and corey@kdiplanning.com respectively.

Sincerely,



For Amy Million

Amy Million
Project Manager

Consultant Qualifications

Both the Code of Federal Regulations (CFR) and the California Environmental Quality Act (CEQA) recommend the minimum education and experience required to perform historic preservation identification, evaluation and analysis. The consultants at Katama Development, Inc. (KDI) meet these requirements. KDI's preservation consultants have graduate degrees in Urban Planning, with associated undergraduate and graduate degrees in anthropology and landscape architecture. In addition, KDI's preservation consultants have years of fulltime experience in researching, writing, and analyzing preservation standards and historic architecture for public and non-public agencies and individuals.

70 Gold Mine Drive Historic Resource Evaluation

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Historical Resource Evaluation—Request for Information
Category B/Alteration or Demolition Proposed (Building over 50 Years of Age)—Supplemental Information

Address: 70 Gold Mine Drive

Block No. 7520 Lot No. 033

Date of Construction: 1912 circle one: **Actual** **Estimated**

Source for date, or basis for estimate: Spring Valley Water Company Records, Sanborn Fire Insurance Company Maps and the San Francisco Directory

Builder/Architect: Unknown

Original Owner: Ingeborg Bryngleson

Subsequent Owners: William Killpack, Clarissa I. Killpack (1984-1986); Clarissa I. Killpack & Jane Killpack (1986); Peter, Arlene, Jean Killpack (1986-2001), *Goldmine Partners, LLC. (2001-2003); Richard Newsom & Jane C. Killpack (2003-2006); Goldmine Partners, LLC (2006

* The Assessors Office representation of this record is an error according to the subject property owner.

Historic Name: none Common Name: none

Original Use: Single-Family Residential

Present Use: Single-Family Residential

Has the building been moved? If yes, provide date: No

▪ Original Location: _____

Architectural Style: Queen Anne Style Cottage

ON A SEPARATE SHEET(S), PROVIDE THE FOLLOWING INFORMATION:

1. **Property Description**
 - Provide a written description of the property, describing its architectural form, features, materials, setting, and related structures
2. **History**
 - Provide a written description of the history of the property, including any association with significant events or persons.
3. **Construction History**
 - Provide a written description of all alterations to the property. Attach copies of all available building permits.
4. **Photographs**
 - Provide current photographs showing all facades, architectural details, site features, adjacent buildings, the block face, and facing buildings
 - Provide historic photographs, if available
5. **Other Information**
 - Attach available information that may provide information that will help to determine whether the property is an historic resource, such as historic Sanborn Maps, drawings, newspaper articles and publications.

Historic Survey Information:

The Property is (mark all that apply):

- No Constructed prior to 1906 Earthquake
- No Listed in the 1976 Architectural Survey and more than 50 years old
- No Listed in the 1968 Junior League Survey (the basis for *Here Today*)
- No Listed in a San Francisco Architectural Heritage Survey and more than 50 years old
- No Listed in the Unreinforced Masonry Building (UMB) Survey
- No General Plan Referenced Building
- No National Register and California Register Status Code of 7
- No Listed in the North Beach Survey, Local Survey Codes 4, 5, or 6
- No Is there an existing, proposed or potential historic district in the immediate vicinity to which the subject building would be a contributor?
- Other Informational Survey
- Name of Survey _____
- Other, please list. _____
-

If you have been referred to MEA by staff, please enter name: _____

Form prepared by: _____ KDI Land Use Planning _____ Date: 4/3/08

Address: _____ 855 Folsom Street, Suite 106, San Francisco, CA 94107 _____ Phone: (415) 341-8890

What sources did you use to compile this information? Please list; use additional sheet(s) if necessary.

- San Francisco Department of Building Inspection permit records;
- San Francisco Planning Department records;
- San Francisco Office of the Assessor – Recorder Sales Ledger;
- San Francisco Water Department Records;
- Sanborn Maps 1913, 1950, 1965, 1975, 1988 1990, Present;
- San Francisco Block Book Maps 1901, 1906, 1910 and Present;
- San Francisco Library Historical Photo Database;
- San Francisco History Room Biographical Index;
- San Francisco City Directories;
- Junior League of San Francisco Here Today Files;
- Our Society Blue Books (club memberships reviewed);
- San Francisco Newspaper Index 1904–1949;
- San Francisco Chronicle Index 1950 – current.

1. Property Description

- Provide a written description of the property, describing its architectural form, features, materials, setting, and related structures:

The subject lot is located on the north side of Gold Mine Drive east of Diamond Height Boulevard. According to the Assessor's records the lot is 5,005 square feet. The subject building is a two-story 1,200 square foot, single-family residential building.

The subject building is a simple Queen Anne Cottage style with a front gable and a pitched roof. The front gable is trimmed with plain fascia and clad with fish scale shingles. A double-hung window with a simple sill and small hood occupies the center. Below the gable and above the first floor is plain wood shiplap siding provided to differentiate between the two stories. The first floor is primarily comprised of two features; the large canted bay window on the east side and a porch on the west. The canted bay is comprised of three original double-hung windows. Decorative brackets support the roof on the canted east corner. Under the bay is a small window surrounded with brick cladding. The window appears to provide natural light to the basement or crawl space beneath. The porch on the west side is supported by turned posts, curved brackets and has a spindle work frieze. Leading to the brick front porch is a brick path and steps.

According to application on record with the San Francisco Water Department, water service was applied for by Ingeborg Bryngleson and G.A. Jewett on three separate occasions. The earliest date recorded is August 7, 1906. The subsequent dates of June 26, 1912 and a re-tap on August 29, 1917 are substantiated by the Spring Valley Water Company abstracts. The applications state the subject building to be a two-story, 750 square foot single-family residence. From the site sketch, likely provided by the Department, it appears that the estimated calculation of 750 square feet did not take into account the second floor. The footprint of the subject building on the water record measures approximately 750 square feet and is consistent with the early Sanborn maps. Although the water records suggest that the building was constructed in 1906, the various listings in the San Francisco Directory and the Water Department abstracts are the basis for 1912 as the closest estimate for the year of construction.

The subject building was originally addressed as 676 Valley Street. Early Sanborn and Block Book maps show that Valley Street was a through street originally part of a typical San Francisco rectangle shaped block connecting Douglass and Diamond Streets. The Sanborn maps document show that Valley Street was changed between 1950 and 1965 to a cul-de-sac only accessible from Diamond Heights Boulevard. It was during this time that the street name changed to Gold Mine Drive and the subject property was given the new address of 30 Gold Mine Drive. In July 1967, the City again changed the address to 70 Gold Mine Drive.

Building permit records indicate that only two building permits were issued for the subject property. The first building permit was issued in 1948 for the garage located on the adjacent parcel and currently addressed as 74 Gold Mine Drive. A second permit was issued in 1985 to construct an 8ft. (width) by 20 ft. (length) concrete parking pad as required to provide an off street parking space adjacent to the subject building.

The subject building appears to retain much of its historic integrity in regard to its architectural details and materials. The building's footprint on the first Sanborn map of 1913 is consistent with the present Sanborn map, including the size and footprint of the single-story shed located in the rear yard. With exception to the brick cladding along the base of the front façade, the façade retains detail typically associated with simple Victorian architecture.

Neighborhood Context

The subject property is within the RH-1 zoning district. The subject block is comprised of primarily multi-family residential buildings and large residential complexes. The subject building is substantially smaller in width than the adjacent buildings and smaller than the majority of the buildings in the general vicinity. It is however comparable in height to many of the surrounding two-story, flat roofed homes due its relatively steeply pitched roof line. The building is not consistent in architectural design, setting or footprint with its neighboring buildings. The Sanborn maps document that the subject building was built more than 35 years prior to many of the surrounding structures. Although the subject building was built within a Period of

History

- Provide a written description of the history of the property, including any association with significant events or persons:

San Francisco water tap records, Sanborn Fire Insurance Company maps and the San Francisco Directory indicate that the subject building was built circa 1912. Ingeborg Bryngleson is documented on the Block Book map and San Francisco Water Department records as the first owner of record for the subject building. Ms. Bryngleson and George A. Jewett are shown on the application for water service dated August 1907, June 1912 and a re-tap in August 1917. Ingeborg Bryngleson was never listed in the Directory to have an association with the subject property. Instead she was listed as a neighboring resident at 640 Valley Street between 1905 and 1908. George A. Jewett was found to be listed as the first occupant of the subject property (676 Valley Street) from 1912-1913. Later John E. and Augusta Bryngleson were documented in the San Francisco Directory 1917-1923 as occupants of 676 Valley Street. John E. Bryngleson was a carpenter and a watchman for American Steel and Wire Company.

Research yields that William F. and Clarissa Killpack owned the subject property from about 1944 until 1986. William Killpack was documented as an employee of the San Francisco Fire Department. After 1986 several other members of the Killpack family including Peter, Jane, Arlene and Jean Killpack owned the property until ownership was transferred to Goldmine Partners, LLC, the final owner of record.

No persons were found to have a primary association with the property and building who are significant to the community, State or Nation.

Current documentation shows Goldmine Partners, LLC as the owner of this property. Documentation from the Block Book Maps, San Francisco Directory and the Assessor's Office lists previous owners of the property as the following:

Ingeborg Bryngleson (est. 1901-1913)
William Killpack, Clarissa I. Killpack (1944-1986);
Clarissa I. Killpack & Jane Killpack (1986);
Peter, Arlene, Jean Killpack (1986-2001);
*Goldmine Partners, LLC. (2001-2003);
Richard Newsom & Jane C. Killpack (2003-2006);
Goldmine Partners, LLC (2006-Present).

*The Assessors Office representation of this record is an error according to the subject property owner

National and California Register Criteria

The standards and criteria used by the California Register for determining eligibility are based on the standards and criteria developed for use by the National Park Service for the National Register. California Register listing criteria requires that a property must be demonstrated to be significant under one or more of four criteria, Events, Persons, Design/Construction, or Information Potential/Archaeology and the building itself must retain its integrity.

- **Events** – Research of the subject property revealed that no particular pattern of events occurred on the property that would suggest an important association with local, State, or National history.
- **Persons** – No persons were found to have a primary association with the property and building who is significant to the community, State or Nation.
- **Design/Construction** – Research of water records, Sanborn maps and the San Francisco Directory indicate the building was constructed circa 1912. The subject building is a small two-story residential Queen Anne style cottage that retains many of the façade features typically associated with larger Queen Anne style homes.

History Cont'd

National and California Register Criteria

- **Information Potential/Archeology** – No research was found to suggest the property could be a location that may contain information or archeology that would be impacted by the demolition or alteration of the subject building.

Integrity

- **Location** – After the earthquake and fire of 1906 the development of San Francisco moved west into the rural areas. The subject building was constructed circa 1912 which was during the early development of this area with few other modest sized homes. As shown in the early picture of Gold Mine hill, this area was slow to develop through the early part of the 20th century.
- **Association** – As indicated by the photos below, the neighborhood has substantially changed with smaller homes being replaced by multi-family buildings and large residential complexes. The subject building is the only building on the block face to appear on both the 1913 and present Sanborn maps. The subject building is out of context with the mix of multi-family residential styles. The Queen Anne style cottage has a strong association with the Period of Significance however it has little or no association with the existing structures in the surrounding area as they were constructed during a period well beyond the Victorian age.
- **Design** – Design features of Victorian era buildings are typically concentrated on the front façade. The size and location of the building indicate that this was a working class cottage. Structural detailing including a front porch supported by turned posts, curved brackets and a spindle frieze and the prominent bay window are design features that identify early 1900 construction.
- **Workmanship** – The subject building appears structurally sound and was built soon after the 1906 earthquake. However workmanship is also typically tied to the façade detailing. The subject building is adequately detailed with some unique ornamentation.
- **Setting** – While the subject building would have been consistent with the neighborhood at the time of construction (reference to Sanborn Map 1913), today the subject building is incompatible in size and architectural style of the nearby structures. It is the only building on the block face that appears on both the Sanborn maps from 1913 and present. A few buildings on the street which first appear on the 1950 Sanborn map are also on the present map. The subject building is out of context with the current setting of the neighborhood which does not retain its association with the Period of Significance.
- **Feeling** – The subject building invokes a feeling that would connect it to the Period of Significance and the Victorian/Queen Anne era. However it reads as a historic island surrounded by 1950 era modern style buildings.
- **Materials** – The subject building appears to retain much of its historic architectural integrity. The building's footprint on the first Sanborn map of 1913 is consistent with the present Sanborn map, including the size and footprint of the single-story shed located in the rear yard. With exception to the brick cladding along the base of the front façade, the façade retains detail typically associated with Queen Anne style architecture.

Conclusion

The subject building appears to retain much of its historic integrity in regard to its architectural details and materials. The building's footprint on the first Sanborn map of 1913 is consistent with the present Sanborn map, including the size and footprint of the single-story shed located in the rear yard. With exception to the brick cladding along the base of the front façade, the façade retains detail typically associated with simple Victorian architecture. However, the building is not consistent in architectural design, setting or footprint with its neighboring buildings. The Sanborn maps document that the subject building was built more than 35 years prior to many of the surrounding structures. Although the subject building was built within a Period of Significance (between 1870-1920), the surrounding structures were built were much later. The subject building therefore has little architectural relationship to the rest of the neighborhood.

3. Construction History

- Provide a written description of all alterations to the property. Attach copies of all available building permits:

Water records show the first water tap to the subject property occurred in 1906. However, research shows that the building was likely not built until 1912 when a second water service application was filed. The Block Book map from 1901, 1906, 1910 and present and Sanborn maps from 1913, 1950, 1965, 1975, 1988, 1990 and present, confirm the existence of the subject property and/or building.

The San Francisco Department of Building Inspection had the following permits on record:

676 Valley Drive

Issued November 11, 1948

A permit to erect single-story, 260 square foot, 14-foot tall garage structure.

30 Gold Mine Drive

No Building Permits on record

70 Gold Mine Drive

Issued May 21, 1985

Construction of an 8ft. (width) by 20 ft. (length) concrete parking pad as required to provide off street parking adjacent to building.

74 Gold Mine Drive

No Building Permits on record

4. **Photographs**

- Provide current photographs showing all facades, architectural details, site features, adjacent buildings, the block face, and facing buildings
- Provide historic photographs

Photographs of the subject building, the block face, corner buildings and other surrounding buildings are attached.

5. **Other Information**

- Attach available information that may provide information that will help to determine whether the property is an historic resource, such as historic Sanborn maps, drawings, newspaper articles and publications.

Relevant information is attached, including San Francisco Planning Department Property Information Report, Sanborn Maps, Block Book Maps, Building Permit Records, and Spring Valley Water Company Records from the San Francisco Water Department.

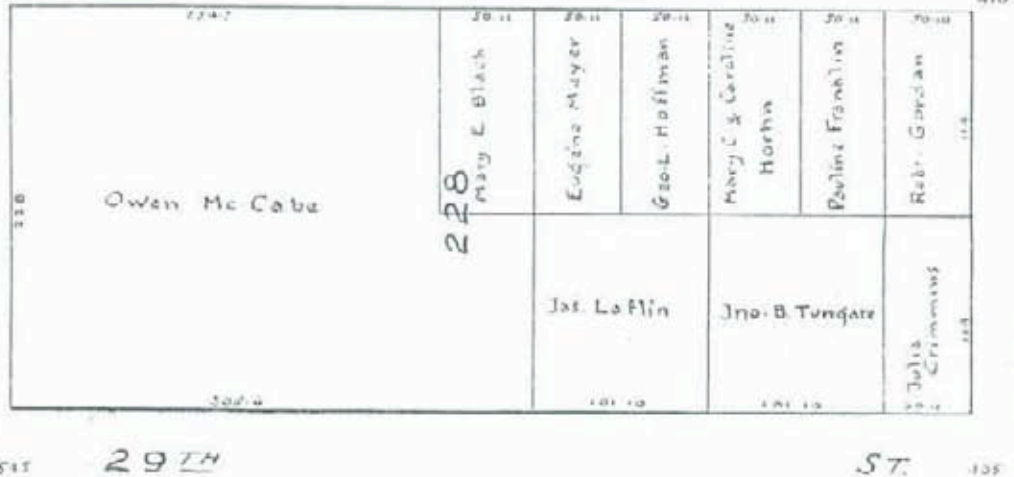
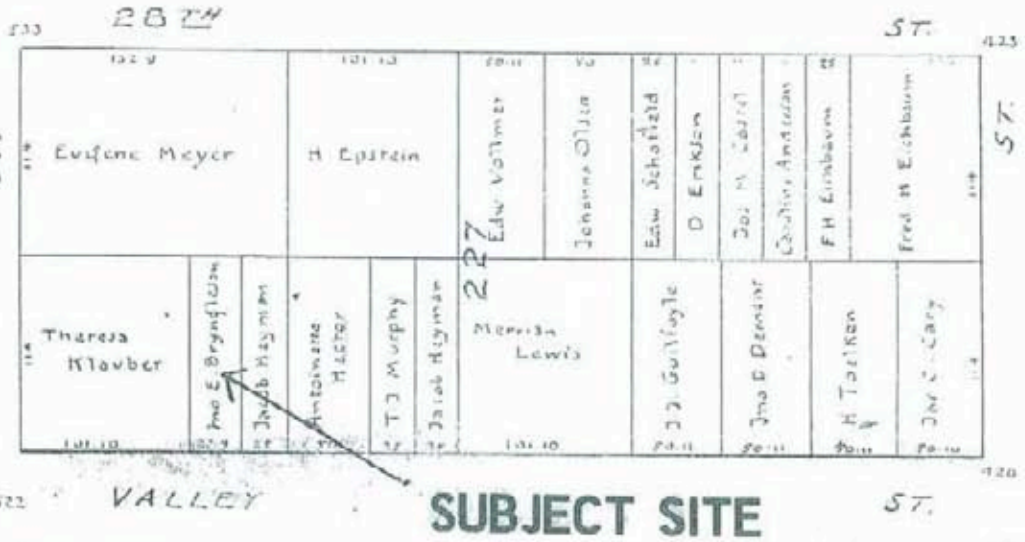
BLOCK BOOK MAP 1901

HORNER'S ADDITION

702

DOUGLASS ST

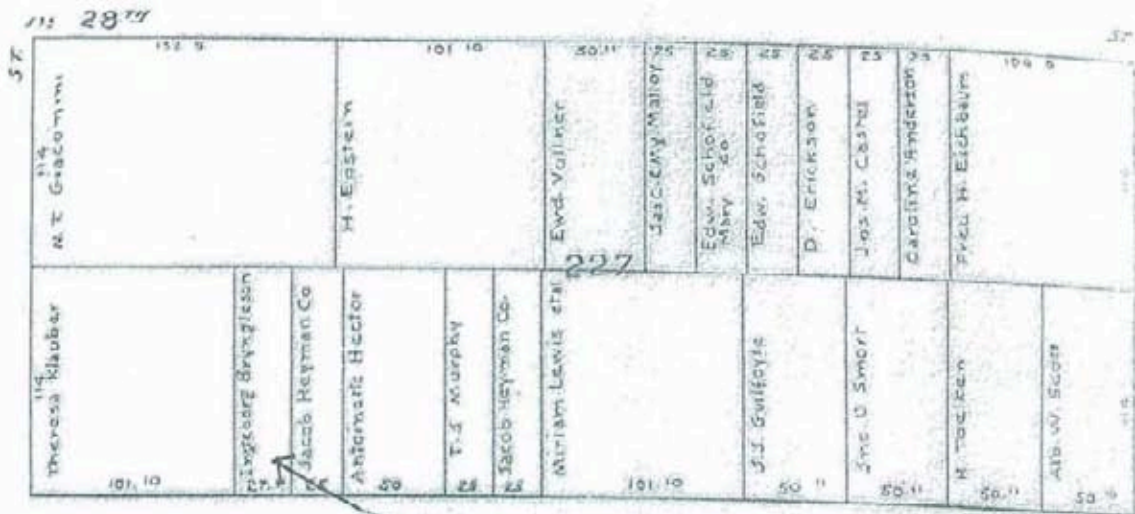
DIAMOND ST



BLOCK BOOK MAP 1906

HORNER'S ADDITION

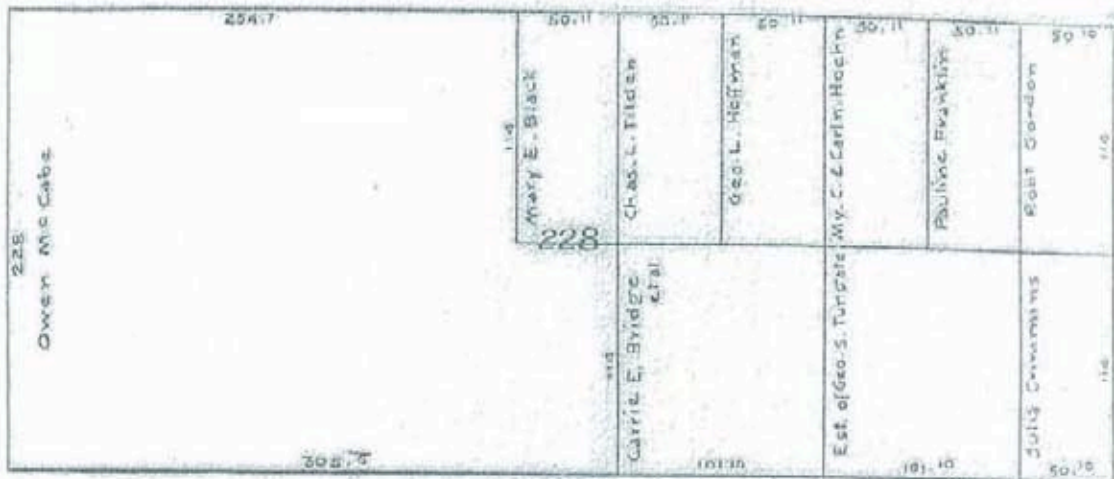
296



576 VALLEY

SUBJECT SITE

DOUGLASS ST



565 297W

DIAMOND ST



DAY

57 11

Mary's Help Hospital

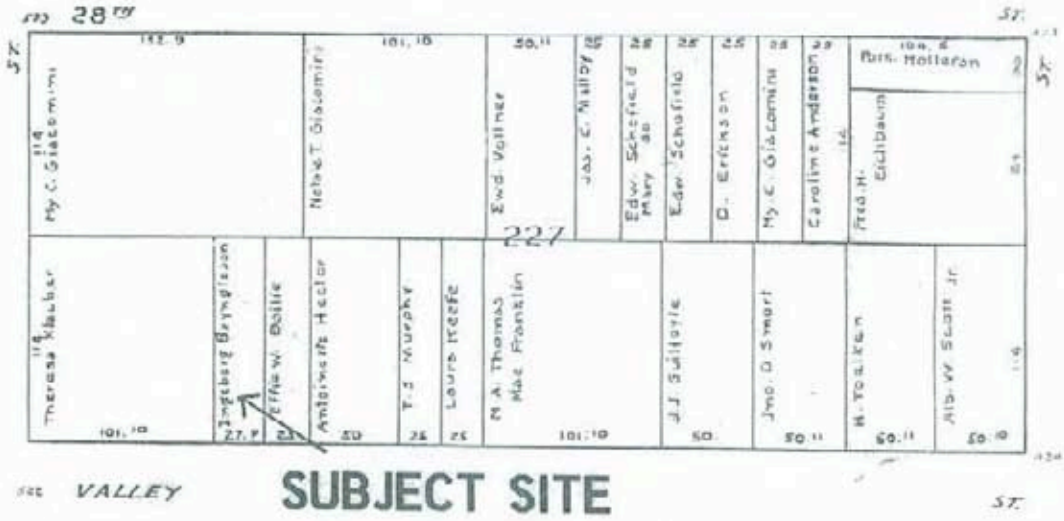
BLOCK BOOK MAP 1910

HORNER'S ADDITION

296

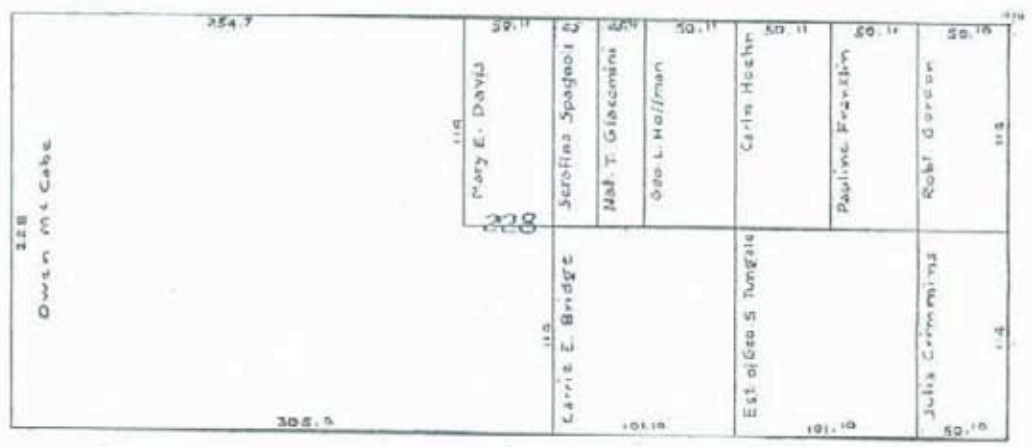
DOUGLASS ST

DIAMOND ST

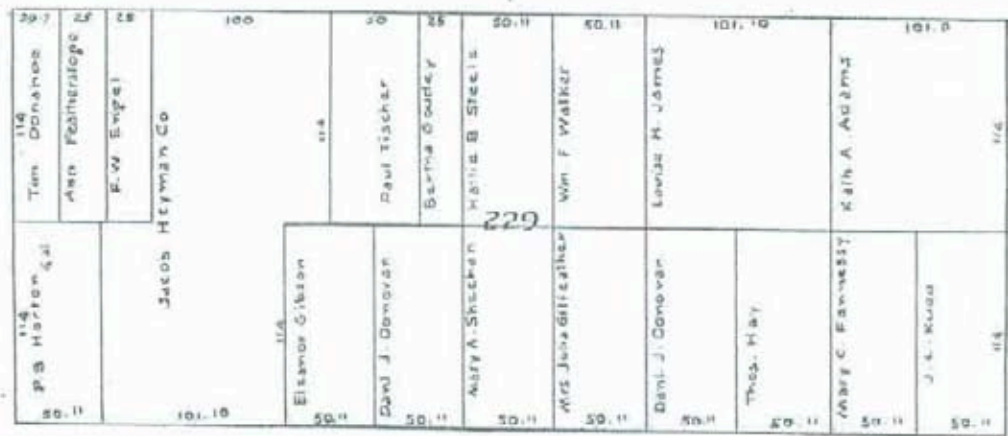


VALLEY

SUBJECT SITE



29



DAY



226

228

SANBORN MAP 1913

DUNCAN 64' wide

DOUGLASS

DIAMOND

6605
(2019)

28TH ST. 64' wide

6610
(4340)

SUBJECT SITE

VALLEY

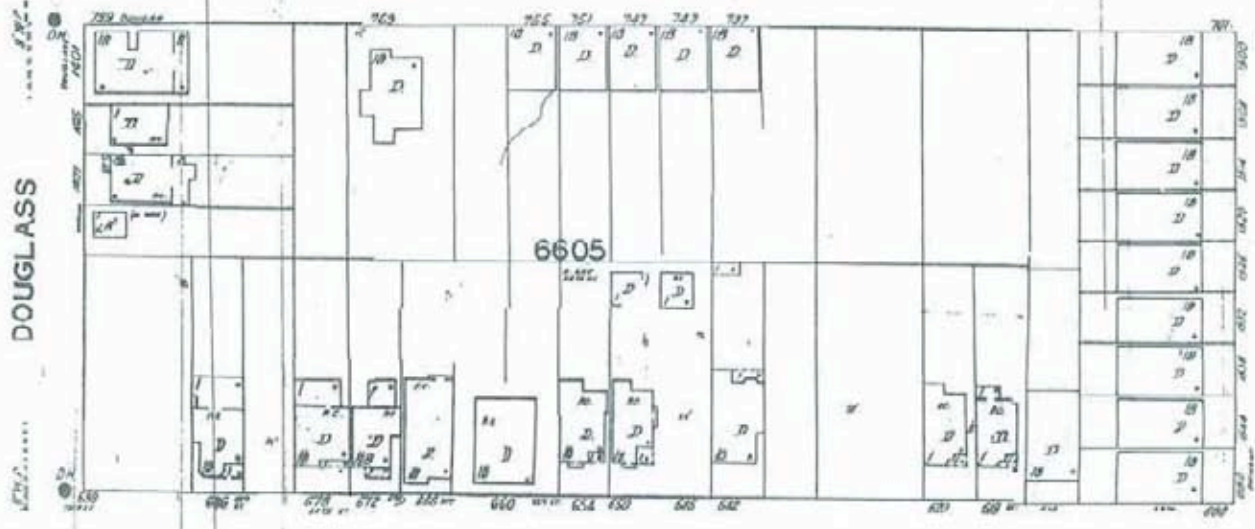
Scale of feet



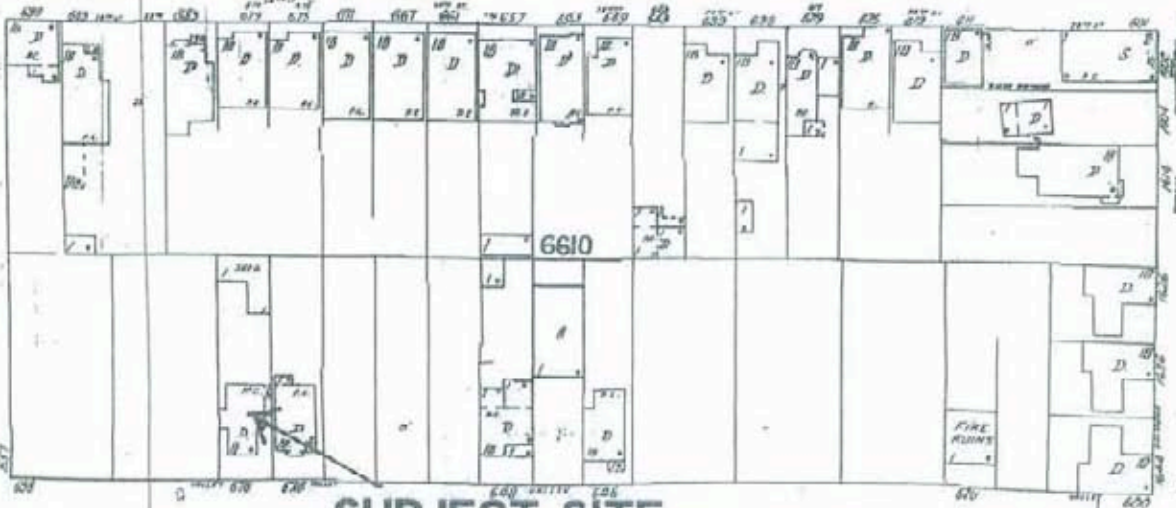


SANBORN MAP 1950

DUNCAN 64' wide

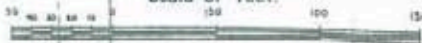


28TH ST. 64' wide



SUBJECT SITE VALLEY

Scale of Feet.



SANBORN MAP 1965

DUNCAN 64' wide

DOUGLASS

DIAMOND

28TH ST. 66' wide

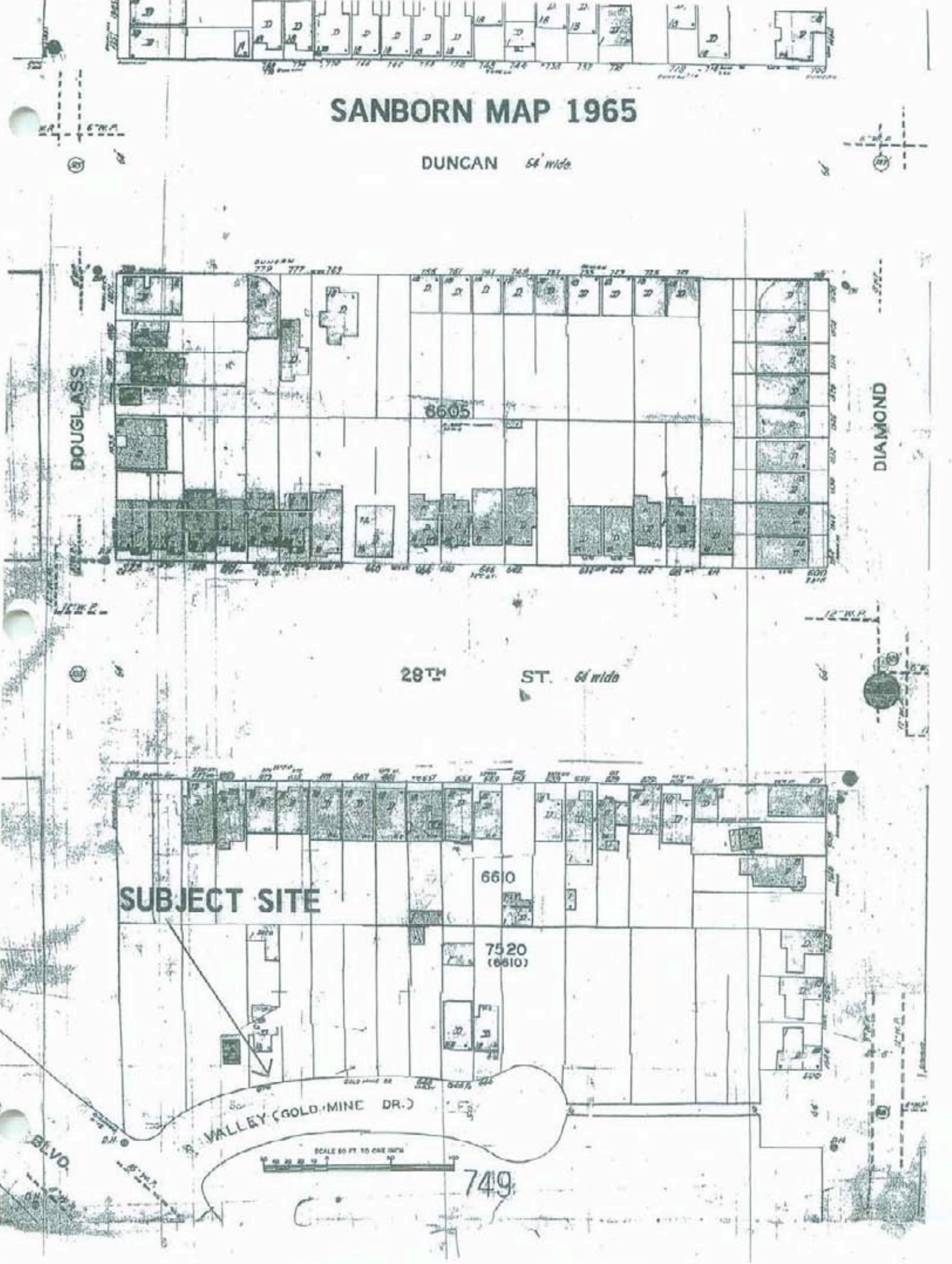
SUBJECT SITE

8605
6610
7520 (6610)

VALLEY (GOLD-MINE DR.)

SCALE 80 FT TO ONE INCH

749



SANBORN MAP 1975

DUNCAN 64' wide

DOUGLASS

DIAMOND

28TH ST. 64' wide

SUBJECT SITE

6605

660

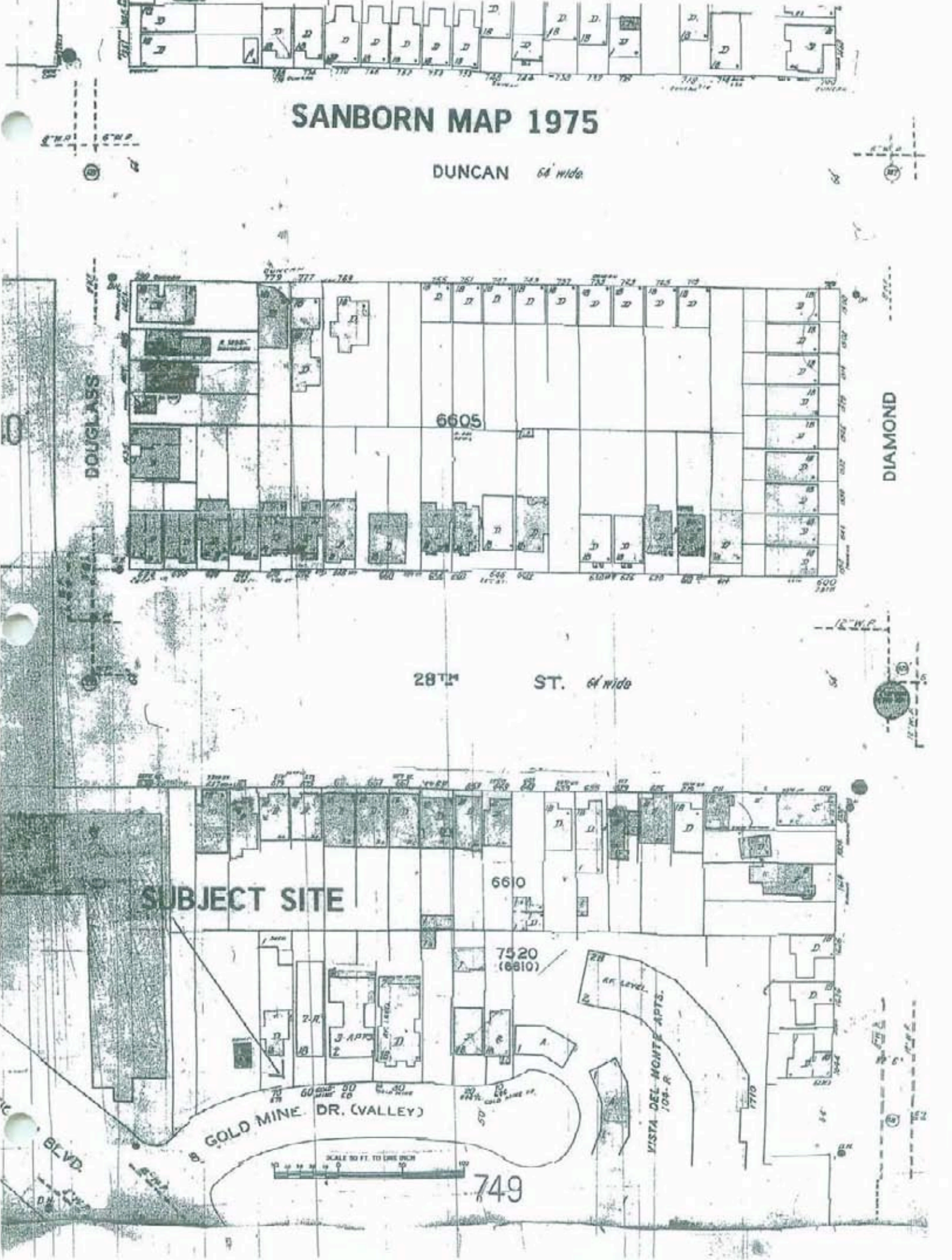
7520
(6810)

749

GOLD MINE DR. (VALLEY)

VISTA DEL MONTE APTS.
109-R

SCALE 50 FT. TO ONE INCH



SANBORN MAP 1988

DUNCAN 64' wide

DOUGLASS

DIAMOND

28TH ST. 64' wide

SUBJECT SITE

6605
660
7520
(6610)

GOLD MINE DR. (VALLEY)

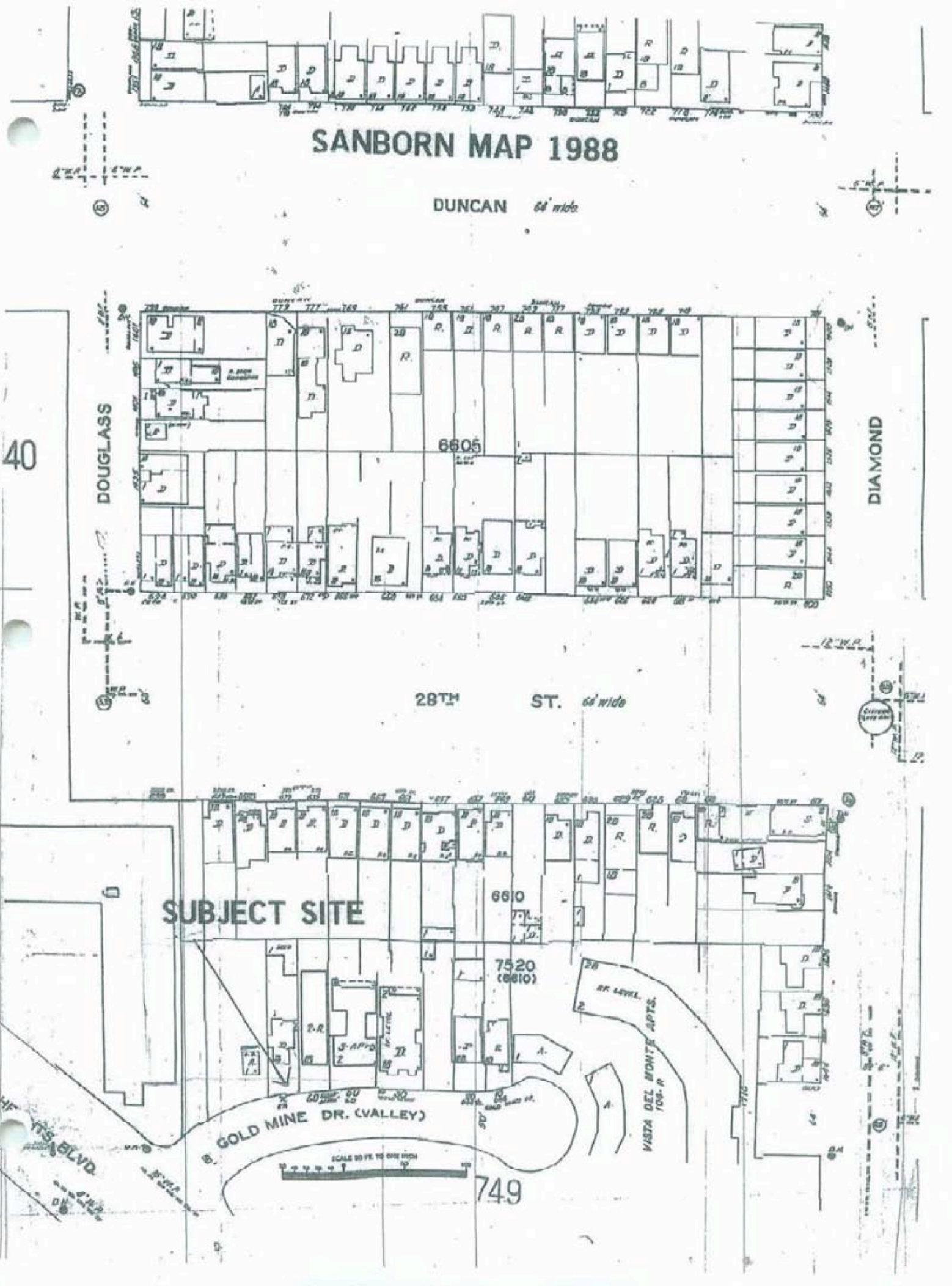
VISTA DEL MONTE APTS.
108-R

SCALE 20 FE. TO ONE INCH

749

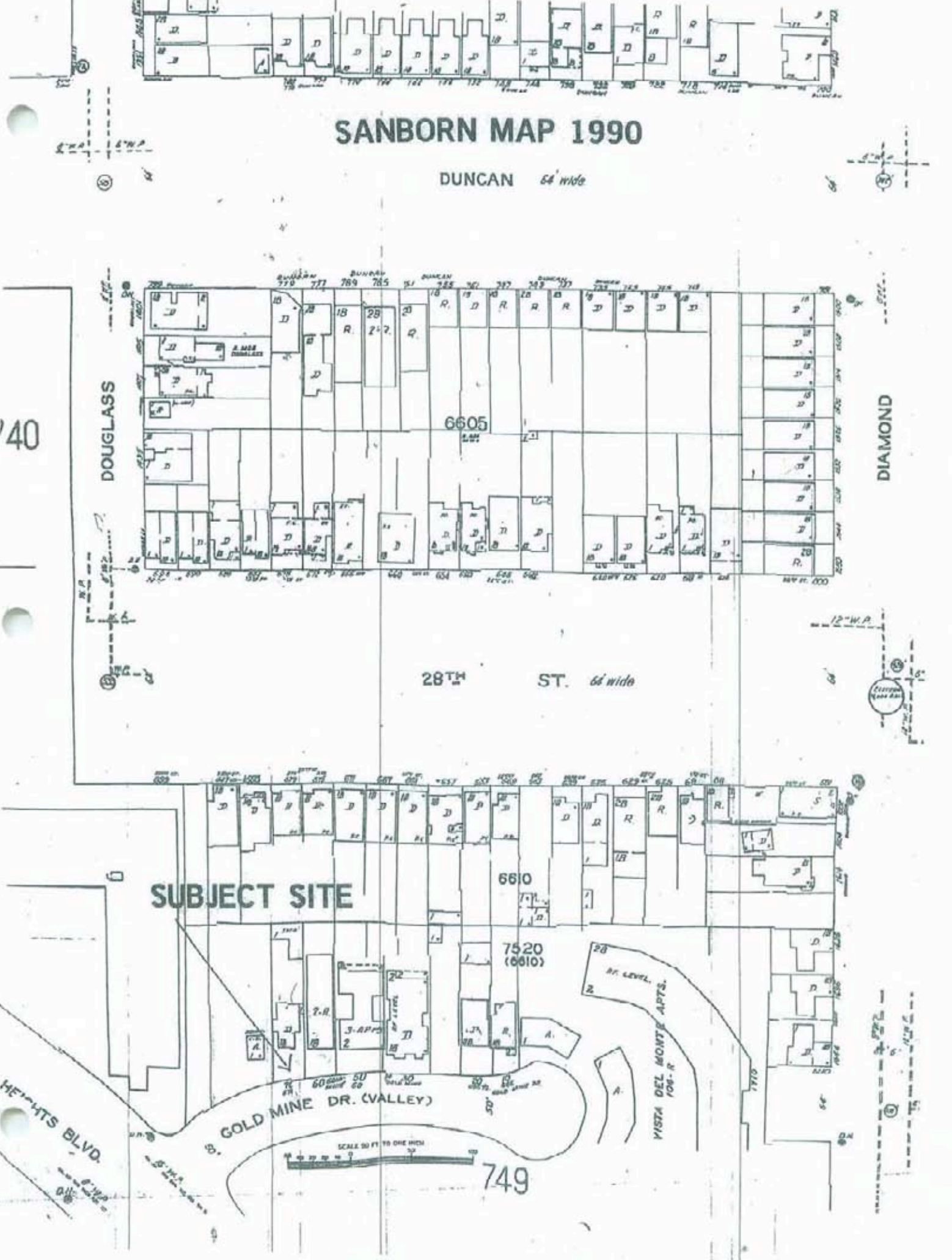
40

HIGHWAY 175 BLVD.



SANBORN MAP 1990

DUNCAN 64' wide



40

DOUGLASS

DIAMOND

28TH ST. 64' wide

SUBJECT SITE

6610

7520 (6610)

GOLD MINE DR. (VALLEY)

VISTA DEL MONTE APTS

HEMETS BLVD.

SCALE 50 FT TO ONE INCH

749

SANBORN MAP PRESENT

741

731

27TH ST. 14' wide



DUNCAN 14' wide

740

DOUGLASS

6605

DIAMOND

742

28TH ST. 14' wide

SUBJECT SITE

6610

7520

DIAMOND HEIGHTS BLVD.

GOLD MINE DR. (VALLEY)

PASTA DEL MONTE APPTS.

BRISWALLEY

749



BLOCK BOOK MAP PRESENT

7520

~~D.H. REDEVELOPMENT AREA LOTS 5-18~~

HORNER'S ADDN. BLK. 227
REVISED 1987



DIAMOND ST.

VALLEY ST.

SFRM-DH EXPIRED
FORMER DIAMOND HEIGHTS
REDEVELOPMENT AREA
Map No. 1919, Adopted 1974, 1/28/80-1919
Check Plat Map and Study Worksheet Form 500-2-2
Height and Area, City 2014 and 1. An Amendment of
PUD Ordinance 1974 Administrative Code

BLOCK 7535

28TH ST.

28TH ST.

SUBJECT SITE

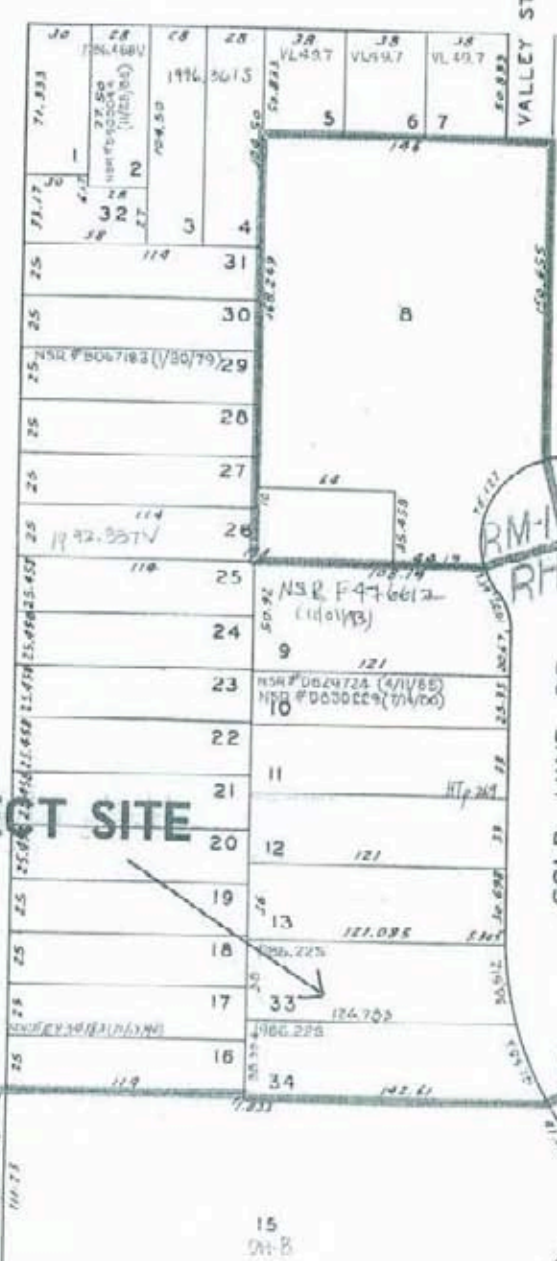
GOLD MINE DR.

DOUGLASS ST.

BLOCK 7519

DIAMOND HTS. BLVD.

ASSESSED 161,063 SQ. FT.
S.P.R.A. 4,356 SQ. FT.
BLK. TOTAL 165,419 SQ. FT.

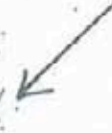


SPRING VALLEY WATER RECORD

1909 Page 1126 Valley

DATE	NAME	WATER No.	STREET No.	LOCATION
Sept 6 1908	E. Nelson	84470	184-90	700 S. 50th St. of Dixon
Sept 22 1908	W. W. Masery	84474	475	S. S. 130 St. of Dixon
Jan 18 1909	J. Lundberg	84476	529	S. S. 190 St. of Dixon
Feb 17 1909	S. Spagnola	84475	643	S. S. 228 St. of Dixon
April 20 1909	Wm. A. Hamilton	84477	507	Retap 9/13/29
May 17 1909	Milo M. Mahoney	84478	571	S. S. 115 St. of Dixon
Aug 11 09	Mr. Keegan	84479	225	
Oct 23 09	W. B. Cortler	84480	839	St. 100 St. of Dixon
March 1910	Geo. J. Palmer	84481	322	
" 1910	Wm. W. W.	84481	469	St. 110 St. of Dixon
April 27 1910	W. W. W.	84482	471	" 155 St. of Dixon
June 27 1911	J. Degernice	84483	457	" 225 St. of Dixon
Nov. 6	Alfred Olsson	84484	477	" 105 St. of Dixon
" 9	J. Degernice	84485	674	St. 127 St. of Dixon
Apr 16 1912	A. Rex	84486	219	
June 25	Mrs. J. Carlton	84487	115	Retap 5/1/29
" 27	G. A. Jewett	84493	676	Retap Aug 11/17
Mar 15 1913	Jorgeir Degernice	84489	456	St. 255 E. Castro
Aug 7	D. Houde	84490		" 205 St. of Dixon
June 24 1915	Samuel Giddens	84411		St. 75 St. of Dixon
July 14	Mr. Giddens	88110	11	
June 23 1916	Frederick W. W.	88112		St. 130 W. Castro
Aug 16	Mr. J. J. Leary	84496	371	
Oct 5/16	Mr. J. W. W.	88113	326	
"	Mr. W. W.	88114	330	

SUBJECT SITE



If the image of this document appears less sharp than this notice, it is due to the quality of the original.

BIDG. FORM

No. 112693
 APPLICATION OF
Wm. Retzsch Owner

FOR PERMIT TO ERECT
 Type Single story STRUCTURE
 (R.F. 2.4)
 Location 61/2 E. Parkley

Total Cost \$ 500
 Filed Nov - 8 1948

Approved:

APPROVED
 Dist. Public Works

Superintendent, Bureau of Building Inspection

Permit No. 105019
 Issued 11/11/48

Certificate of Final Completion:

Issued 11/11/48



Lot No. _____

Assessor's Block No. _____

Workers' Compensation Insurance Policy or Certificate on file with Central Formal Bureau

No Workers' Compensation Insurance Policy or Certificate on file for reasons of omission checked:

(a) No one to be employed

(b) Casual labor only to be employed

(c) Services or labor to be performed in return for old or accumulated only, received from any individual, charitable or non-profit organization

Approved:

Zone 1st
 CPC Setback _____

[Signature]
 Structural Engineer, Bureau of Building Inspection

Approved:

[Signature]
 Department of City Planning

Approved:

Department of Public Health

Approved:

Bureau of Engineering

Approved:

Department of Electricity

Approved:

Air Commission

Approved:

Bureau of Fire Prevention & Public Safety

Approved:

[Signature]
 Fire Chief, Bureau of Building Inspection

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS
BLDG. FORM

CENTRAL PERMIT BUREAU

1

APPLICATION FOR BUILDING PERMIT
FOR TYPE 1-2-3-4 STRUCTURES

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF
FINAL COMPLETION IS POSTED ON THE BUILDING

Plot 8 104 8

Application is hereby made to the Department of Public Works of the City and County of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location of Lot West side of 16th Wally Street
25 2435 16th Wally Street
- (2) Type of building 1 No. of stories 1 No. of basements 0
- (3) Total cost 300 Height of building 14' No. of families 1
- (4) Use of building Large (5) Occupancy residential
Building Code Classification
- (6) Note: Sect. 105, S.F. Bldg. Code. Change in use. No change in use shall be made in the character of occupancy, or use of any building which would put the building to a different use, unless such building is made to comply with the requirements of this code for that use, and unless the Bureau of Building Inspection and the Bureau of Fire Prevention and Public Safety have been notified before such a change has been made.
- (7) Size of lot: Front 25 ft., rear 25 ft., depth of lot 114 ft.
- (8) Ground floor area of building 260 square ft.
- (9) Any other building on lot None (Must be shown on Plot Plan if answer is Yes)
Yes No
- (10) Is building designed for any more stories Yes How many seven
Yes or No
- (11) Design live load for floor single car

Note: Sect. 2215, S. F. Building Code. "The full live load for which each floor or part of a floor in a commercial or industrial structure is designed shall be indicated on the drawings filed with the application and also be indicated on a small scale floor plan suitably framed under glass and permanently affixed to the structure and maintained in a conspicuous location in a public hall or corridor on each floor, etc."

- (12) Supervision of construction by owner Address 16th Wally
- (13) General contractor owner California License No. None
Address 16th Wally
- (14) Architect owner California Certificate No. None
Address 16th Wally
- (15) Engineer owner California Certificate No. None
Address 16th Wally
- (16) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit, and all the laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or subsidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assigns.
- (17) Owner Wm. K. Koppack
Address 16th Wally Phone No. 16278544
(For contact by Bureau)

By owner Address 16th Wally
Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor

PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF HOTEL OR APARTMENT HOUSE PURSUANT TO SECT. 408, SAN FRANCISCO BUILDING CODE.

If the image of this document appears less sharp than this notice, it is due to the quality of the original.

APPROVED
 Dept. Public Works
 MAY 21 1985

R.M.C.B.
 SUPERINTENDENT
 BUREAU OF BUILDING INSPECTION

DGT 09
 BID-IMP The 242
 REC-PP YES NO
 CH-RESP REPORTED YES NO
 CH-INT
 CH-HEALTH
 CH-PAID-ANC
 CH-PAID-TO
 CH-PAID-SIN
 CH-PARTIC
 CH-KOD
 CH-SHA

APPLICATION NUMBER
 8501749
 8-25-85

**APPLICATION FOR BUILDING PERMIT
 ADDITIONS, ALTERATIONS OR REPAIRS**

**CITY AND COUNTY OF SAN FRANCISCO
 DEPARTMENT OF PUBLIC WORKS**

FORM 3 PRE-APPROVAL SITE INSPECTION REQUIRED
 FORM B OVER-THE-COUNTER ISSUANCE

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
 PUBLIC WORKS OF SAN FRANCISCO FOR PERMISSION TO
 BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS
 SUBMITTED HERewith AND ACCORDING TO THE PERMITS
 AND FOR THE PURPOSES OF THE BUILDING CODE.

(2) NUMBER OF PLAN SETS

DATE: 2-20-85
 PERMIT NO.: 331420
 PERMITS FEE RECEIPT NO.: 136440
 ISSUED: MAY 21 1985
 (1) STREET ADDRESS OF JOB: 70 GOLDMINE DR
 BLOCK & LOT: 7520
 (2) ESTIMATED COST OF JOB: \$1,000.00
 (3) REVISED COST:

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

DESCRIPTION OF EXISTING BUILDING
 (A) TYPE OF CONSTR. 5V (B) NO. OF STORES OF OCCUPANCY 2 (C) NO. OF BASEMENTS AND CELLARS 1 (D) PRESENT USE: S/F (E) OCCUP. CLASS: R-3 (F) NO. OF DWELLING UNITS: 0
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION
 (A) TYPE OF CONSTR. 5V (B) NO. OF STORES OF OCCUPANCY 2 (C) NO. OF BASEMENTS AND CELLARS 1 (D) PROPOSED USE: PARKING PAD FOR BLOCK ALTERATION (E) OCCUP. CLASS: R-3 (F) NO. OF DWELLING UNITS: 0
 (10) IS AUTO DRIVEWAY TO BE CONSTRUCTED OR ALTERED? YES NO (11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES NO (12) ELECTRICAL WORK TO BE PERFORMED? YES NO (13) PLUMBING WORK TO BE PERFORMED? YES NO
 (14) GENERAL CONTRACTOR: NONE
 ADDRESS: 70 GOLDMINE DR. PHONE: 885-3894 EXPIRATION DATE:

(15) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT).
 CONSTRUCTION OF AN 8FT (WIDTH) BY 20 FT. (LENGTH) CONCRETE PARKING PAD AS REQUIRED TO PROVIDE OFF STREET PARKING ADJACENT TO bldg.

ADDITIONAL INFORMATION — FORM 3 APPLICANTS ONLY

(17) DOES THIS ALTERATION CREATE ADDITIONAL STORIES TO BUILDING? YES NO (18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT: _____ FT. (19) DOES THIS ALTERATION CREATE, SEEK OR INCREASE EXTENSION TO BUILDING? YES NO (20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA: _____ SQ. FT.
 (21) WILL SIDEWALK OVERLAP SIDEWALK SPACE BE REPAIRED OR ALTERED? YES NO (22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES NO (23) HAS ANY OTHER EXISTING BLDG. ON LOT? IF YES, SHOW ON PLAN: YES NO (24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES NO
 (25) ARCHITECT OR ENGINEER DESIGN: CONSTRUCTION
 (26) CONSTRUCTION LEADER (ENTER NAME AND BRANCH OR DIVISION IF ANY, IF THERE IS NO BRANCH OR DIVISION, ENTER "UNDESIGNED")
 MARTIN H RON ASSOCIATES INC 604 MISSION ST. S.F. CA 94105
 NONE

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.
 No portion of building or structure or scaffolding used during construction to be closer than 6' to any wire containing more than 750 volts. See Sec. 385, California Penal Code.
 Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.
 Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this bureau for approval.
 ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.
 BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.
 APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24). THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.
 In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX
 OWNER ARCHITECT ENGINEER
 LESSEE AGENT WITH POWER OF ATTORNEY
 CONTRACTOR ATTORNEY IN FACT

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERE TO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE: The Permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to waive the defense of the City and County of San Francisco against all such claims, demands and actions.
 In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have on file, or file with the Central Permit Bureau, either Certificate (I) or (II) or (III) designated below or shall intimate item (IV) or (V) or (VI) below, whichever is applicable. If however, item (VI) is checked then item (V) must be checked as well. Mark the appropriate method of compliance below:

- () I. Certificate of Consent to Self-insure issued by the Director of Industrial Relations.
- () II. Certificate of Workman's Compensation Insurance issued by an admitted insurer.
- () III. An exact copy or duplicate of (I) certified by the Director or (II) certified by the insurer.
- () IV. The cost of the work to be performed is \$100 or less.
- () V. I certify that in the performance of the work for which this Permit is issued, I shall not employ any person in any manner in or to become subject to the workman's compensation laws of California, I further acknowledge that I understand, in the event that I should become subject to the workman's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the Permit herein applied for shall be deemed revoked.
- () VI. I certify as the owner (or the agent of the owner) that in the performance of the work for which this Permit is issued, I will employ a contractor who complies with the workman's compensation laws of California and who has on file, or prior to the commencement of any work will file, with the Central Permit Bureau evidence that workman's compensation insurance is in effect.

Applicant's Signature: *Bob Killpack* Date: 2/20/85

CONDITIONS AND STIPULATIONS

REFER TO	<p>APPROVED:</p> <p>Any electrical or plumbing work will require appropriate separate permits.</p> <p><i>John 5/3/85</i> BUILDING INSPECTOR, BUR. OF BLDG. INSP.</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input checked="" type="checkbox"/>	<p>APPROVED:</p> <p>Exempt per Sec. 11 San Francisco Planning Code Ord. # 443-78 File # 319-78</p> <p><i>S F R A</i></p> <p>5-13-85 <i>AT</i></p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p>BUREAU OF FIRE PREVENTION & PUBLIC SAFETY</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p>CIVIL ENGINEER BUR. OF BLDG. INSPECTION</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input checked="" type="checkbox"/>	<p>APPROVED:</p> <p><i>George M. Laughlin</i> BUREAU OF ENGINEERING</p> <p><i>5-19-85</i></p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p>DEPARTMENT OF PUBLIC HEALTH</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input checked="" type="checkbox"/>	<p>APPROVED:</p> <p>APPROVED FOR COMPLIANCE WITH REDEVELOPMENT REQUIREMENTS</p> <p><i>May 14 85</i> <i>George M. Laughlin</i> REDEVELOPMENT AGENCY</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p>RESIDENTIAL-ENV. INSPECTOR, DIV. OF ART. & HOTEL INSP., S.F.</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>
<input type="checkbox"/>	<p>APPROVED:</p>	<p>DATE: _____</p> <p>REASON: _____</p> <p>NOTIFIED MR. _____</p>

I agree to comply with all conditions or stipulations of the various city, county departments mentioned in this application and attached documents of conditions or stipulations, which are hereby made part of this application.

Number of attachments _____

John W. Kellipick
OWNER'S AUTHORIZED AGENT

PESSIS TO TURE IN S. F.

Madeleine de Bryas, who
aster, Mlle. Jacqueline
touring the country in
of the American Com-
evastated France, under
s of the Committee on
emation, will lecture in
on, August 20 to 24.
ngs in San Francisco
for the supervision of
van of the State Council

Bryas and her sis-
d for months in the dis-
rance overrun by the
ave worked both as rep-
of the American Com-
s Red Cross nurses.
oring to San Franciscans
ormation of the ruins
Huns, the plight of the
refugees and the work
committee is doing for
and destitute.

three years the Ameri-
ee of which Miss Anne
w York is chairman has
to thousands of these
se united children sep-
their mothers and fath-
on its large farm near
ven them schooling till
could find a new home

itee has also taken up
of roadside canteens
and French soldiers at
of the French Govern-

Head of Famous Jewett Family Is Reception Guest

In honor of George A. Jewett of Des
Moines, Iowa, president of the Jewett
Family Association of America, who
is in San Francisco for a short stay,
Mr. and Mrs. Robert E. Leo Jewett
gave a reception at their residence,
45 Ashbury terrace. Members of the
Jewett family in this portion of Cal-
ifornia attended.

The Jewett Family Association, of
America, incorporated, composed of
more than 3,000 members, is the only
association of its kind. Its members
are scattered over the entire country
and Australia.

Every year the family holds a re-
union in a different part of the
United States. The reunion in Massa-
chusetts in June of this year is said
to have been attended by over 1,000
of the family.

A book is published each year, in
which news of interest of the mem-
bers of the family is recorded, and
new facts of the genealogy of the
family are related.

The Jewetts trace back their family
in America to Maximilian and Joseph
Jewett, sons of Edward and Mary
(Taylor) Jewett of Bradford, Eng-
land, who came to America in 1639
and settled in the town of Rowley,
Massachusetts. The Jewetts are be-
lieved to have come originally from
France during the Norman invasion
of England.

The names of members of the
Jewett family are to be found in the
records of every American war since
King Philip's war in 1637, and many
of the present family are now fight-
ing in the present great war.

AUTO ARREST SET NEW

During the past six months
July 31 exactly 1,657
drivers were arrested for
other violations of the

During the same period
warned by the police tri-
bunal. This shows a large
increase over the six months pre-
ceding which time 1,000 were
5,913 were warned.

One of the reasons for
is said to be that hun-
dreds were arrested after the first
failed to observe the new
changing license plates
chines.

During the month of
one were arrested and
police courts fines amount-
ing to \$30 were imposed.

During the fiscal year
fines were imposed in
courts.

Taxpayers Allege Waste by

Alleging that taxes
having been raised
the Tax Inquest As-
sembly meeting at
the city hall.



View of block face looking east



View of block face looking west



View of southern block face looking east



View of southern block face looking west



View of adjacent property to the east



View of garage on adjacent lot to west, addressed as 74 Gold Mine Drive



View of property directly across the street



Front gable window



Window on east side



Decorative bracket on canted east corner (bay window)

Project Description Cont'd

Neighborhood Context

Significance (between 1870-1920), the surrounding structures were built much later. The subject building therefore has little architectural relationship to the rest of the neighborhood.



Large modern era apartment structure adjacent and west of the subject building.



Subject building



Modern era residential building adjacent and east of the subject building.

The neighborhood is not within a fully documented historic district nor is the subject building within proximity to a fully documented historic district.



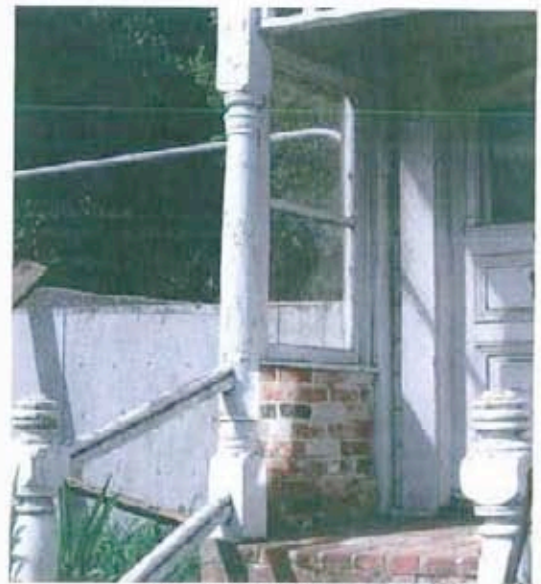
Covered front porch with turned posts



Victorian style door



Spindle work frieze and curved brackets



Window in front porch



Brick steps and path leading to front entry



Brick cladding around basement window



Gold Mine hill in Diamond Heights, date unknown.
Source: San Francisco Historic Photograph Collection



Douglass Street looking northerly from 21st Street, August 24, 1927.
Source: San Francisco Historic Photograph Collection



Gold Mine Hill and the surrounding area in the Diamond Heights district. June 26, 1953.
Source: San Francisco Historic Photograph Collection



Duncan Street in the Diamond Heights district, August 1963.
Source: San Francisco Historic Photograph Collection

EXHIBIT 4:

Chronology of Contacts with Neighbors
and Neighborhood Organizations

70 GOLD MINE DRIVE:

EXHIBIT 4: CHRONOLOGY OF CONTACTS WITH NEIGHBORS & NEIGHBORHOOD ORGANIZATIONS

Prepared by Kerman/Morris Architects 6/14/11

7/16/08: Project sponsors Herb and Vali Bensinger (residents at 50 Gold Mine Drive) **conduct a Community Meeting** with neighbors (residents on the subject block of Gold Mine Drive and 28th Street; residents at the Avalon Diamond Heights were invited as well) to present and discuss a proposal to improve the subject property with 4 units of housing.

8/10/10: Kerman/Morris Architects (KMA) notices and holds a Community Pre-Application Meeting. 11 neighbors in attendance, not including the project sponsors. Proposal presented was (3) townhouse units accessed off a drive court on the east side, 35'-0" tall building, with a rear yard matching the rear wall of adjacent home at 60 Gold Mine Drive (23'-8" deep yard; rear yard variance required). Concerns raised by neighbors are the height of the building and encroachment into rear yard and driveway.

8/25/10: KMA mails copies of plans to neighbors who attended the Pre-Application meeting.

4/18/11: KMA mails letter to all residents in 150' radius and owners in 300' radius describing changes made to the design as a result of issues raised by neighbors at 8/10/10 Community Pre-Application:

- Reducing the height by 2'.
- Reducing the depth by 8' to create code complying 31'-8" yard,
- Eliminating the elevator penthouses from the roofs.

4/18/11: KMA mails letter and revised drawings to all persons who attended our 8/10/10 Community Pre-Application meeting and who at that time had requested drawings from us. Included in this group were abutters Cindy Reuter (679 28th Street), many residents of the Avalon at Diamond Heights (5285 Diamond Heights Blvd.), and Mr. & Mrs. Tsang (60 Gold Mine Blvd.). Letter notes that KMA has changed the design by,

- Reducing the height by 2'.
- Reducing the depth by 8' to create code complying 31'-8" rear yard,
- Eliminating the elevator penthouses from the roofs.

4/26/11 (week of): Project sponsor Vali Bensinger meets with neighboring residents of Gold Mine Drive to show them plans and discuss the project. Many support the project (see letters of support in Planning Department file).

4/26/11: Neighbor Cindy Reuter (679 28th Street, abutter) meets with Planner Sharon Lai to discuss her concerns with the project and possible mitigations (see response below, 5/25/11). Ms. Lai subsequently phones architect Toby Morris to communicate Ms. Reuter's concerns and possible mitigations.

4/27/11: KMA phone conversation with Cheryl Hodgins (105 Gold Mine Drive) regarding any project impact on views from the homes on Gold Mine Drive south of Diamond Heights Blvd.

5/9/11: Project sponsors Herb and Vali Bensinger meet with Mr. George Tsang (60 Gold Mine Blvd., abutter) to discuss project. The Tsangs voice these concerns:

- Subject project potential for views into his bathroom windows,
- Opinion that subject project should have around 25' wide drive aisles,
- Desire that an auto barricade be installed in the eastern planting strip of subject project's driveway to prevent cars from hitting his house,
- Concern about carbon monoxide getting into his house,
- Security: request for a high fence between his and the subject property's back yards: agreement that a gate at the front of subject property's driveway would be beneficial,
- Concern about surcharge on his foundations by subject property's driveway and cars.

5/17/11: Project sponsors mail letter to Mr. and Mrs. Tsang (60 Gold Mine Blvd., abutter) committing to make modifications to the project design on their behalf to address substantive issues raised in 5/9/11 meeting and requesting the Tsangs contact project sponsor with any further comments or concerns (none were raised):

- Translucent glass offered,
- Drive aisles widened,
- Auto barricade included,
- Tall back yard fence and motorized gate at front to be installed,
- Driveway to be engineered to avoid surcharge.

5/25/11: KMA Project Architect, Toby Morris, phones abutting neighbor, Cindy Reuter (679 28th Street, abutter), to discuss modifications to the project made in response to concerns raised by Ms. Reuter at the 8/10/10 Community Pre-Application Meeting and with Project Planner, Sharon Lai on 4/26/11.

5/25/11: Toby Morris (KMA) emails to Ms. Reuter (679 28th Street, abutter) a summary of modifications made to design in response to security and light pollution concerns raised by Ms. Reuter. KMA commits to:

- Install the maximum height fence allowed by Planning Code (10'-0") at our shared rear property line and plant a continuous hedgerow in front of it to a) reduce light penetration from auto head lights, and b) provide security, and
- Include a motorized gate at the front of the proposed driveway at 70 Gold Mine to provide a second barrier for additional security.

5/26/11: Project sponsors Herb and Vali Bensinger attend Diamond Heights Neighborhood Association (DHNA) community meeting and speak with Association President Betsy Eddy about 70 Gold Mine project.

6/1 to 6/8/11: Follow up phone conversations between project sponsors and Diamond Heights Neighborhood Association (DHNA) members. KMA provided graphic materials on design for neighborhood group to assess.

6/7/11: Representatives from San Francisco Citizens for Responsible Growth (SFCRG) who were noticed of the Community Pre-application Meeting on 8/10/10 meet with KMA to review plans and decide to support proposed project at 70 Gold Mine Drive.

6/9/11: Diamond Heights Neighborhood Association holds board meeting to discuss the project and votes to support 70 Gold Mine Drive proposal.

6/10/11: Project sponsor Vali Bensinger meets with property management for Vista Del Monte Apartments (directly across Gold Mine Drive from subject property) to show plans and discuss the project.

EXHIBIT 5:

Soundness Report: 70 Gold Mine Dr.
Prepared by Patrick Buscovich & Associates Structural Engineers
June 2, 2011

SOUNDNESS REPORT

70 Goldmine Dr.

San Francisco, CA 94123

Prepared By:

**Patrick Buscovich & Associates
Structural Engineers, Inc.
235 Montgomery Street, 823
San Francisco, CA 94104**

Copyright 2011

Job Number: 11.058

Date: June 2, 2011

Disclaimer:

This report is a soundness study on the subject structure. The Patrick Buscovich has prepared this report under generally recognized engineering principle. The preparer has no interest in this property or any other property of the owner nor is the preparer of this report doing any other work on this property or any other property owned by this owner.

Basis of Soundness Report

The soundness evaluation will be based upon the cost to repair and/or remediate applicable soundness criteria. These costs are based upon the house being vacant, which it is currently. The costs are prepared in conjunction with a licensed contractor and represent current construction costs. Not included in these costs are architectural and engineering fees. Permit fees are also included as well as an 18% profit/overhead. This soundness cost is to be compared to a replacement cost. Not included in this replacement cost is the demolition cost of the existing structure.

It is important to note that the soundness cost number using the 50% threshold does not include the following:

1. Deterioration due to intentional, willful negligence.
2. Maintenance.
3. Remodeling not associated with required work.
4. Upgrade not associated with required work.

The official DCP Soundness Matrix Item number system will be used in this report. The complete DCP Soundness Matrix is in Appendix A. The 1903 San Francisco Building Code will be the Building Code used in the analysis.

Planning Information

The lot has an area of 5,050 ft². The zoning is RH1, 40x Height. The DCP property information report is in Appendix C. The assessor shows the floor area as 1,200ft². Field measurement give 598 ft² habitable at 1st floor, 607 ft² basement, and ± 322 ft² unpermitted rear addition and 598 ft² unpermitted attic.

Building Description

The building is a one story over basement, wood framed, single family house. The first level is the habitable floor. There is an unpermitted addition in the rear 1st floor and an unpermitted attic. The foundations of the house are 5 to 7 feet tall concrete retaining walls. Major portions of the house foundation show signs of deterioration and spalling. Further, the basement retaining wall are rotating inward. The two side walls and the rear wall are rotating inward, the front wall has been replaced (see attached plans). Because of all these problems, the sides and rear foundation requires replacement. The interior of the house is in a state of uninhabitability. Mold is throughout the house. The mold is attributable to water intrusion into the house through the exterior walls. There is also major termite damage. The house also needs some reframing to address defective construction and electrical work to abate a *hazardous* electrical condition. The detached garage is excluded from this report.

Summary of deficiencies

DCP Matrix #16 –Structural Pest

The termite report is substantial. Damage is substantially due to sub-standard construction of the house. The primary problem is water intrusion from missing building paper/weather proofing on the exterior walls. No building paper was found during destructive testing. The termite cost of \$43,775. (Attached Appendix E and Photo 1 & 2). The 1903 San Francisco Building Code (SFBC) required building paper under the exterior wood siding. None was found during destructive testing.

DCP Matrix #8 Perimeter –Foundation

The retaining wall footings needs to be almost completely replaced. These basement walls are 7 inch thick, leaning 3 inches inward and badly spalling. The San Francisco Building Code (1903) required foundation walls to be a minimum thickness of 13 inches. The code require failing (Eaning) wall to be fixed. Portion of the existing foundation have previously been replace (See attached plan). The cost estimate to replace almost the entire foundation is \$66,500 (103 LF @\$500/LF + \$15,000 Shoring). A small section of the house foundation at the front has recently been replaced (See attached plans).

DCP Matrix #5 – Flashing/Weather Proofing/Mold

The structure is a single family house built Circa 1900 with later unpermitted additions. This inadequate/missing flashing and weatherproofing has allowed water intrusion into the house. The 1903 SFBC require building paper under the exterior siding. No building paper was found during destructive testing. This water intrusion due to missing building paper (water/damp proofing) has caused extensive mold (See photo 1 & 2). The estimated cost to abate water intrusion and the mold is \$59,800 (598 ft² x \$100/ft²). This estimate includes total interior plaster removal & replacement, removal and replacement of exterior siding, installing flashing and weatherproofing/building paper and the mold work. To install the building paper and abate the mold (remove plaster), the house will be stripped to bare wood framing. Not included in the cost estimate is the unpermitted rear addition.

DCP Matrix #10 – Framing

The structure is a poorly built house with unpermitted later additions The exterior siding and interior finishes will need to be removed and replaced. This framing to be done as the same time the house is gutted for the mold/flashing work. The cost to do this framing will be minimal. This new framing is to address potential unknown dryrot from the missing building paper. The level of mold on interior is a good indicator of dryrot of the wood framing.

DCP Matrix #12 – Electrical

Install ground fault circuit interrupt (GFCI) plugs in kitchen and bathroom to address hazardous electrical condition. The old electrical wiring in these rooms will require replacement to make the electrical system safe as part of the mold work. See attach memo in appendix D.

New Construction Cost

Based upon as-built measurement, the legal area of the house is 598 square feet and 607 ft² of basement/storage. Based upon DCP cost of \$240/ ft² to rebuild habitable floor area and \$110/sf for non-habitable area, the replacement cost is:

$$(598/\text{ft}^2 \times \$240/\text{ft}^2) + (607 \text{ ft}^2 \times \$110/\text{ft}^2) = \$143,520 + \$66,770 = \$210,290$$

50% Cost Evaluation

Upgrade Cost \$197,809
 Replacement Cost \$210,290 = 94% > 50% **unsound** Building

Conclusion

Based upon Department of City Planning Guidelines and Engineering Principle's, the building is **unsound**.

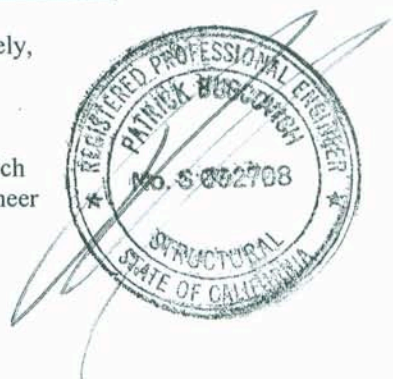
The follow items will require work:

Upgrade Cost Breakdown

<u>DCP 50% Matrix Item #</u>	<u>Description</u>	<u>Cost</u>	<u>Mark up</u>	<u>Mark 18%</u>
#8	Replace 103 L.F.foundation @\$500/LF Due to detective construction Shoring building for Foundation Work	\$66,500	18%	\$11,970
#16	Termite Report Due to improper weather proofing Dryrot, power post beetle and termite damage	\$43,775+	N/A	
#5	Mold in house Due to improper weather proofing/Flashing	\$59,800 Minimum	18%	\$10,764
#10	Framing damage due to improper weather proofing	Unknown	18%	?
#12	GFCI plug in kitchen and bathroom due to mold work	Unknown	18%	?
Note: No mark up on termite. No permit fee on termite.		Subtotal		\$22,734
		Building Permit		\$5,000
				\$175,075
		18% Mark-up		\$22,734
		Total		\$197,809

Sincerely,

Patrick Buscovich
 Structural Engineer



Copyright 2010

List Attachment:

- Floor Plans
- DBI
- Photographs
- DCP
- TRA Report

Sample Soundness Report Template

Project Address: 11.058 - 70 Goldmine Dr.

Replacement Cost \$210,290

Type of Space		Area (Square Feet)	Cost per Square Foot	Cost
1	occupied, finished spaces	598	\$240/SF	\$143,520
2	unfinished space with flat ceiling & > 7'-6" of headroom (e.g., basements, garages)	607	\$110/SF	\$66,770
3				
Replacement Cost Total				\$210,290

WORK THAT COULD BE INCLUDED IN THE UPGRADE COST ESTIMATE FOR THE 50% THRESHOLD:
 (Attach cost estimates from relevant consultants)

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
1	Providing room dimensions at a minimum of 70 sq. ft. for any habitable room			--
2	Providing at least one electrical outlet in each habitable room and 2 electrical outlets in each kitchen			--
3	Providing at least one switched electrical light in any room where there is running water			--

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
4	correcting lack of flashing or proper weather protection if not originally installed			--
5	installing adequate weather protection and ventilation to prevent dampness in habitable room if not originally constructed	Flashing/Weatherproofing/Mold	See Photo 1 and 2	\$59,800 +/-
6	provision of garbage and rubbish storage and removal facilities if not originally constructed (storage in garage is permitted)			
7	eliminating structural hazards in foundation due to structural inadequacies			
8	eliminating structural hazards in foundation due to structural inadequacies	Shore Building Repair 103 LF Foundation	See Plan	\$15,000 \$51,500 \$66,500
9	correcting vertical walls or partitions which lean or are buckled due to defective materials or which are insufficient in size to carry loads.			
10	eliminating structural hazards in ceilings, roofs, or other horizontal members, such as sagging or splitting, due to defective materials, or insufficient size.			
11	eliminating structural hazards in fireplaces and chimneys, such as listing, bulging or settlement due to defective materials or due to insufficient size or strength.			

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
12	upgrading electrical wiring which does not conform to the regulations in effect at the time of installation	Install GFCI plug and Kitchen & Bathroom		TBD
13	upgrading plumbing materials and fixtures that were not installed in accordance with regulations in effect at the time of installation			
14	providing exiting in accordance with the code in effect at the time of construction			
15	correction of improper roof, surface or sub-surface drainage if not originally installed			
16	correction of structural pest infestation (termites, beetles, dry rot, etc.) to extent attributable to original construction deficiencies (e.g., insufficient earth-wood separation)	See Markoff Termite Report		\$43,775
17	Other relevant issues			
18	Building Permit Application cost			
19	Contractor's profit & overhead, not to exceed 18% of construction subtotal, if unit costs used for repair items do not include profit & overhead			\$22,734
			50% Threshold Cost Subtotal	\$197,809

Summary

Replacement Cost: \$210,290

50% Threshold Repair Cost: \$105,145

Patrick Buscovich

From: Sharon.W.Lai@sfgov.org
Sent: Friday, May 27, 2011 2:29 PM
To: Toby Morris
Cc: Patrick Buscovich
Subject: Re: 70 Gold Mine - soundness report

I CANNOT READ
TWO OF YOUR
COMMENTS



70 Gold Mine -
Soundness Repor...

Hi Toby and Pat,

Toby, thank you for your message. I do understand the urgency and appreciate your consideration.

Please see the enclosed document for my notes on the soundness report. I apologize for the legibility my hand writing. If a word document can be provided, I can transfer my comments onto it.

Best,

Sharon Lai, LEED AP

Neighborhood Planning, Southwest Quadrant San Francisco Planning Department 1650 Mission Street, Suite 400 San Francisco, CA 94103

(t) 415.575.9087

(f) 415.558.6409

www.sfgov.org/planning

(See attached file: 70 Gold Mine - Soundness Report Notes.pdf)

From: Toby Morris <toby@kermanmorris.com>
To: <Sharon.W.Lai@sfgov.org>, <patrick@buscovich.com>
Date: 05/27/2011 02:16 PM
Subject: Re: 70 Gold Mine - soundness report

Hello Sharon,

Thank you for your email and YES this works fine with me. I know you are juggling other commitments and appreciate your efforts to get this file in shape.

My clients are worried the materials will not be ready by Wednesday June 1 (as you have requested of us) and as this item is not in my direct control I am trying to do what I can to keep things on track. They absolutely do not want to have to continue the hearing again and that is where their anxiety is coming from.

It sounds to me that we are in good shape. Pat tells me he is ready to make any final changes you request in quick order so it is still reasonable to assume this will be finalized before Wednesday. I assume you too would like the soundness report finalized as soon as possible so you have that out of the way as you write the staff report.

I will call Pat to ensure he understands to expect your hand marked up comments shortly. Sorry he apparently did not get you the electronic copy you requested.

If there is anything I can do to help, feel free to ask.

Sincerely,

Toby Morris, Architect

EID Guidelines, Electrical Permits

Purpose: To clarify electrical permit requirements for minor alterations and upgrades to existing residential kitchens.

An Electrical Permit is required when the scope of work includes or later results in the installation or alteration of any of the following:

Branch circuit wiring

Small appliance receptacle outlets

Fixed appliances

Lighting system changes

Ground-fault protection of existing receptacles

Removal of kitchen wall or ceiling finish

Change in layout of existing countertops

An Electrical Permit is **not** required when the layout of the replaced countertops is unchanged and the existing small-appliance receptacles and the kitchen lighting were installed or upgraded with permit and approved under the provisions of the 1998 or later Editions of the San Francisco Electrical Code (SFEC). The 1998 and subsequent Editions of the SFEC require all countertop receptacles to have GFCI protection and be spaced so that no point along the wall line of the countertop is more than 24" from a receptacle, SFEC Section 210.52 (C)

DESCRIPTION

APPENDIX A

**SOUNDNESS REPORT
TEMPLATE**

APPENDIX B

PHOTOGRAPHS

APPENDIX C

DCP / ASSESSOR

APPENDIX D

DBI

APPENDIX E

TERMITE REPORT

SOUNDNESS REPORT TEMPLATE

DCP 50% Soundness Items

<u>Item</u>	<u>Description</u>
1.	Min. 70 S.F. room
2.	Electrical outlet
3.	Light switch in kitchen and bathroom
4.	Flashing
5.	Weather protection and ventilation
6.	Garbage storage
7.	Foundation hazard
8.	Foundation hazard
9.	Wall hazard
10.	Floor/Roof hazard
11.	Chimney hazard
12.	Electrical
13.	Plumbing
14.	Exiting
15.	Roofing
16.	Structural pest
17.	Other
18.	Building permit
19.	18% Profit overhead

Appendix A

PHOTOGRAPHS

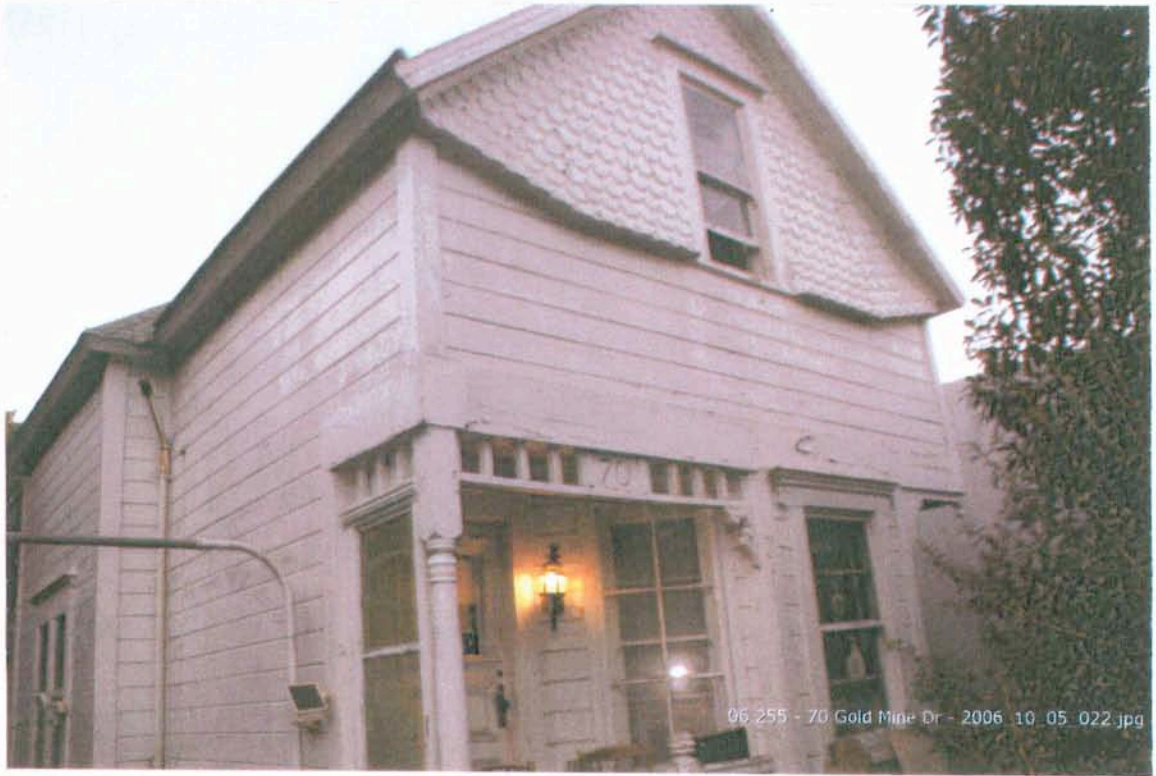
Appendix B



1. Living Room - Mold



2. Kitchen - Mold



3. Front Elevation

DCP

Appendix C

GOETTINGEN

STREET NUMBER	MODE	OWNERS NAME AND MAILING ADDRESS			LAND USE DESCRIPTION	UMITS			ZONE CODE	TOTAL IMPROVMT VALUE (X100)	TOTAL CASH VALUE (X100)	SALES BY REVENUE STAMPS (X100)	LOAN AMT(S) (X100)	SALE DATE MM-YY
		ROOMS	BATHS	CONSTRUCT/STYLE		YEAR	BLDG.SQFT=BS	L						
1335	ST	HERNANDEZ HECTOR			1 DWELLING UNIT	1			1B RH1	100,4	140,0			
		RM- 4		CN-CONCRET	YR-54 LS- 1,149									
1337	ST	HERNANDEZ HECTOR			VACANT				RH1		19,8			
1338	ST	ARONCE JOSE A & LETICIA M			1335 GOETTINGEN ST SAN FRANCISCO CA 94134				1B RH1	20,3	34,6	28,0		5-72
		RM- 5 BA- 2.0		CN-CONCRET	YR-54 LS- 1,221									
1344	ST	THOMPSON PRISCILLA E			1 DWELLING UNIT				1B RH1	35,3	55,9	38,0		5-77
		RM- 5 BA- 1.0		CN-CONCRET	YR-59 LS- 1,098									
1351	ST	LI BING CAN & LIANG WANXIA			1 DWELLING UNIT	1			1B RH1	97,6	201,4	F 155,0	1085	7-87
		RM- 6 BA- 2.0		CN-CONCRET	YR-64 LS- 1,452									4-84
1357	ST	WOOD ISAAC T & LUTISHA			1 DWELLING UNIT				1B RH1	41,1	55,3			
		RM- 6 BA- 2.0		CN-CONCRET	YR-63 LS- 1,350									
1360	ST	MUNCH MARY K			1 DWELLING UNIT				2B RH1	79,8	117,3	F 335,0	2680	7-99
		RM- 8 BA- 1.0		CN-CONCRET	YR-07 LS- 1,208									5-86
1362	ST	CHAVEZ EFREN V & HILDA			1 DWELLING UNIT	2			1B RH1	42,4	63,7	F 45,0		4-79
-1364		RM- 6 BA- 2.0		CN-CONCRET	YR-30 LS- 1,220									
1363	ST	YON DEAN			1 DWELLING UNIT				1B RH1	16,0	30,3			
		RM- 6 BA- 1.0		CN-CONCRET	YR-52 LS- 832									
1368	ST	LAU DANIEL K & YIU KWAN & LAI			1 DWELLING UNIT				1B RH1	58,3	86,0	F 62,0	52,7	4-80
		RM- 4 BA- 1.0		CN-CONCRET	YR-52 LS- 832									
1369	ST	SIHS JOSEPH & ELLA M			1 DWELLING UNIT				1B RH1	16,0	30,3			
		RM- 4 BA- 1.0		CN-CONCRET	YR-52 LS- 832									
1374	ST	MEI SOO NG			1 DWELLING UNIT				1B RH1	39,7	63,3	F 43,0	23,0	12-77
		RM- 4 BA- 1.0		CN-CONCRET	YR-52 LS- 832									
1375	ST	CHEUNG YEE WAN			1 DWELLING UNIT				1B RH1	44,2	72,1	49,0		5-77
		RM- 5 BA- 1.0		CN-CONCRET	YR-52 LS- 952									
1380	ST	ILDEFONZO TEODORO & MAGDALENA			1 DWELLING UNIT				1B RH1	19,5	30,7			
		RM- 4 BA- 1.0		CN-CONCRET	YR-52 LS- 832									
1381	ST	GIONI LOUIS & JOSEPHINE RT RT			1 DWELLING UNIT				1B RH1	21,2	34,0			
		RM- 5 BA- 1.0		CN-CONCRET	YR-52 LS- 949									
1386	ST	WONG KAREN M			1 DWELLING UNIT				1B RH1	51,8	155,6			1-92
		RM- 4 BA- 1.0		CN-CONCRET	YR-52 LS- 832									3-87
1387	ST	JAOCHICO NOEL U & GLORIA			1 DWELLING UNIT				1B RH1	88,4	199,0	F 125,0	1620	3-87
		RM- 4 BA- 1.0		CN-CONCRET	YR-52 LS- 822									6-93
1393	ST	BOBROW MORRIS D			1 DWELLING UNIT	1			1B RH1	51,5	97,7	F 74,0		1-76
		RM- 4 BA- 1.0		CN-CONCRET	YR-52 LS- 832									7-83

GOLD

40	ST	KJELL & KATHRYN QVALE FAM TR			OFFICE BUILDING	2	4	C2		598,4	1,006,9			6-89	1-00
		RM- 27		CN-CONCRET	YR-10 BS- 19,586										
48	ST	BURNS MARY A RT RT			OFFICE BUILDING	2	2B	C2		178,3	240,7			1-0	-00
		RM- 5 BA- 5.0		CN-MASONRY	BS- 5,280										
56	ST	WELLS FARGO BANK NATL ASSCN T			COMMERCIAL PROPER	1	1B	C2		243,0	368,0			1-0	-00
		RM- 11 BA- 2.0		CN-MASONRY	YR-06 BS- 4,126										

GOLD MINE

10	DR	PONTE BRUCE			1 DWELLING UNIT	1			1B RH1	150,0	332,1	F 310,0	3090	12-94	3-07
		RM- 6 BA- 1.0		CN-CONCRET	YR-40 LS- 1,665									3-92	-074
20	DR	WONG LELAND & JANIE L			1 DWELLING UNIT	1			2B RH1	269,8	380,3	F 87,0		3-86	3-07
		RM- 9 BA- 4.0		CN-CONCRET	YR-88 LS- 3,670									5-77	-074
30	DR	ANTHONY COURTNEY L JR			1 DWELLING UNIT	1			1B RH1	247,7	374,7	F 154,5	95,0	10-85	3-07
		RM- 7 BA- 2.0		CN-CONCRET	YR-68 LS- 2,092									3-79	-074
49	DR	VISTA DEL MONTE LTD			APARTMENT HOUSE	104			3 RM1	1,578,8	2,269,1			3-07	-074
		RM- 528 BA- 162.0		CN-CONCRET	YR-71 BS- 95,428									3-07	-074
50	DR	BENSINGER RT RT			1 DWELLING UNIT	1			1B RH1	171,8	383,2	F 290,0		9-86	3-07
		RM- 6 BA- 2.0		CN-CONCRET	YR-68 LS- 2,064									9-83	-074
60	DR	TSANG THE TR			1 DWELLING UNIT				RH1	91,9	116,7	F 5,8		7-73	3-07
		RM- 5 BA- 1.0		CN-CONCRET	YR-75 LS- 1,200									3-07	-074
70	DR	KILLPACK CLARISSA I & JANE			1 DWELLING UNIT	1			2 RH1	8,5	35,0			3-07	-074
		RM- 5 BA- 1.0		CN-CONCRET	YR-85 LS- 1,200									3-07	-074
74	DR	KILLPACK PETER & ARLENE			VACANT				RH1		26,5			5-90	-074
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									12-87	-074
102	DR	LAU TERENCE & JUNNIE W F			CONDOM	1			1B RM1	198,4	259,4	F 212,5	1680	2-92	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									9-84	-101
104	DR	YAHAMOTO RICHARD K & TROY T			CONDOM	1			1B RM1	136,0	200,8	F 155,0		8-73	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									8-73	-101
106	DR	HURLEY SUE E			CONDOM	1			RM1	130,7	199,5				
108	DR	GORKANI MOJGAN M			CONDOM	1			RM1	208,7	310,6	F 305,0	2440	1-98	
110	DR	HODGINS SHERYL F			CONDOM	1			RM1	148,7	227,0				
112	DR	PSARAS TULA			CONDOM	1			1B RM1	93,9	137,2	F 95,0	65,0	7-78	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									-101	-101
114	DR	WILLY L GUIGNARD TRUST NO 1			CONDOM	1			1B RM1	51,2	66,4			9-88	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									4-73	-101
118	DR	CLARK WILLIAM E			CONDOM	1			1B RM1	98,7	322,8	F 317,0	1500	8-97	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									3-93	-101
120	DR	WON BETTY			CONDOM	1			1B RM1	51,2	66,4	F 38,5		4-73	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									-101	-101
124	DR	WON MARGARET F 1995 LVING TR			CONDOM	1			1B RM1	51,2	66,4	F 38,5		4-73	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									-101	-101
126	DR	WON DONALD C TE TE			CONDOM	1			1B RM1	51,2	66,4			4-09	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									-101	-101
130	DR	KWONG WILLIAM Y & JENNIE S RT			CONDOM	1			1B RM1	51,2	66,4	F 54,5		12-74	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									4-09	-101
132	DR	MCAVOY BARRY W			CONDOM	1			1B RM1	132,7	337,3	F 488,5	3000	7-99	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									6-93	-101
136	DR	CHANG JACQUELINE J WESLEY K			CONDOM	1			1B RM1	69,1	89,1	F 44,5		8-73	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									-101	-101
138	DR	PATTERSON JAMES R			CONDOM	1			1B RM1	118,4	176,2	F 122,0	62,0	9-78	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									-101	-101
142	DR	STOLTENBERG ROBERT H			CONDOM	1			1B RM1	197,5	317,1	F 265,0	2319	7-88	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									9-73	-101
144	DR	CHANG DELBERT & JACQUELINE			CONDOM	1			1B RM1	188,7	377,4	F 370,0	2960	5-98	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									6-83	-101
148	DR	RANKIN LYNNWOD S			CONDOM	1			1B RM1	84,1	112,7	F 75,0		1-77	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									-101	-101
150	DR	LEE MONTY & CELIA			CONDOM	1			1B RM1	51,2	66,4	F 46,5		1-74	4-09
		RM- 6 BA- 2.0		CN-CONCRET	YR-73 LS- 1,387									-101	-101
154	DR	FONG KAI-TUNG & MARGARET M			CONDOM	1			1B RM1						

PROPERTY INFORMATION REPORT

Block 7520 Lot 033 Census Tract 216 Census Block 201

Site Address: 70 - GOLD MINE DR

Site Zip Code: 94131

OWNER

NEWSOM RICHARD E&KILLPACK J
70 GOLD MINE DR
SAN FRANCISCO CA
94131

PROPERTY VALUES

Land	\$230,647.00	Sales Date	
Structure	\$97,546.00	Price	\$0.00
Fixture	\$0.00		
Other	\$0.00		

PHYSICAL CHARACTERISTICS

Lot Frontage		Year Built	1985
Lot Depth		Stories	2
Lot Area	5,005.00	Assessor Units	1
Lot Shape	O	Bedrooms	0
Building Sq.Ft.	1,200.00	Bathrooms	1
Basement Sq.Ft.	0.00	Rooms	5
Authorized Use	ONE FAMILY DWELLING	Assessor Use	DWELLING (ONE UNIT)
Original Use	UNKNOWN		

PLANNING INFORMATION

Zoning	RH-1	Planning District	7
Height Limit	40-X	SUD	
Quadrant	SOUTHWEST	SSD	
Leg. Setback		Redevelopment Area	NOT IN RDA PROJECT AREA

Notices of Special Restrictions:

Non-Conforming Uses:

Comments:

PARCEL EVENTS (Special Instructions, Determination Letters, Project Reviews)

Date	Type	Description
07/24/2006	Project Review	70 Gold Mine Dr.- Delomition of an existing 2 story building and detached garage. New construction of 9 new units. Zoning change from RH-1 to RM-1.

San Francisco Planning Department
Office of Analysis and Information Systems

PROPERTY INFORMATION REPORT

Block 7520

Lot 033

Census Tract 216

Census Block201

BUILDING PERMIT APPLICATIONS

Appl. No.	Act Date	Status	Description
8501749	11/01/1985	COMPLETE	PROVIDE OFF-STREET PARKING

PERMIT APPEALS

Appeal No.	Appl. No.	Case No.	Hearing	Nature of Appeal	Hearing Result
------------	-----------	----------	---------	------------------	----------------

7520

D.H. REDEVELOPMENT AREA - LOTS 5-18

HORNER'S ADDN. BLK. 227

REVISED 1987

40-X



DIAMOND ST.

VALLEY ST.

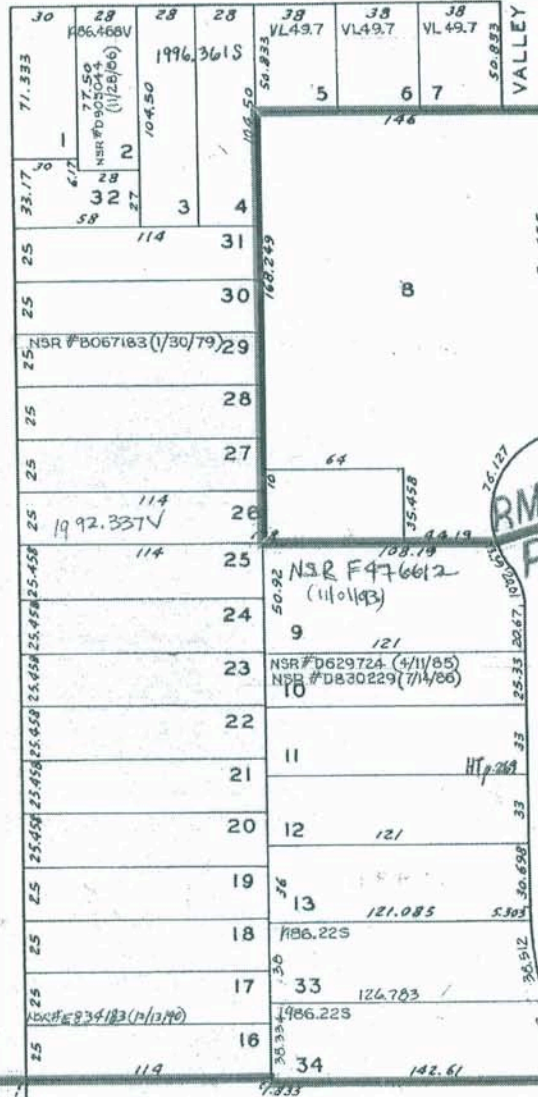
ST.

28 TH

DOUGLASS ST.

GOLD MINE DR.

DIAMOND HTS. BLVD.



SFRA—DH EXPIRED
 FORMER DIAMOND HEIGHTS
 REDEVELOPMENT AREA
 Planned—1949, Adopted—1954, Closed—1978
 Check PUD files and Redevelopment Plan Setback &
 Height Limit maps (see DH # nos.) to determine if
 PUD amendment or ZA determination is required

BLOCK 7535

RH-1
RM-1

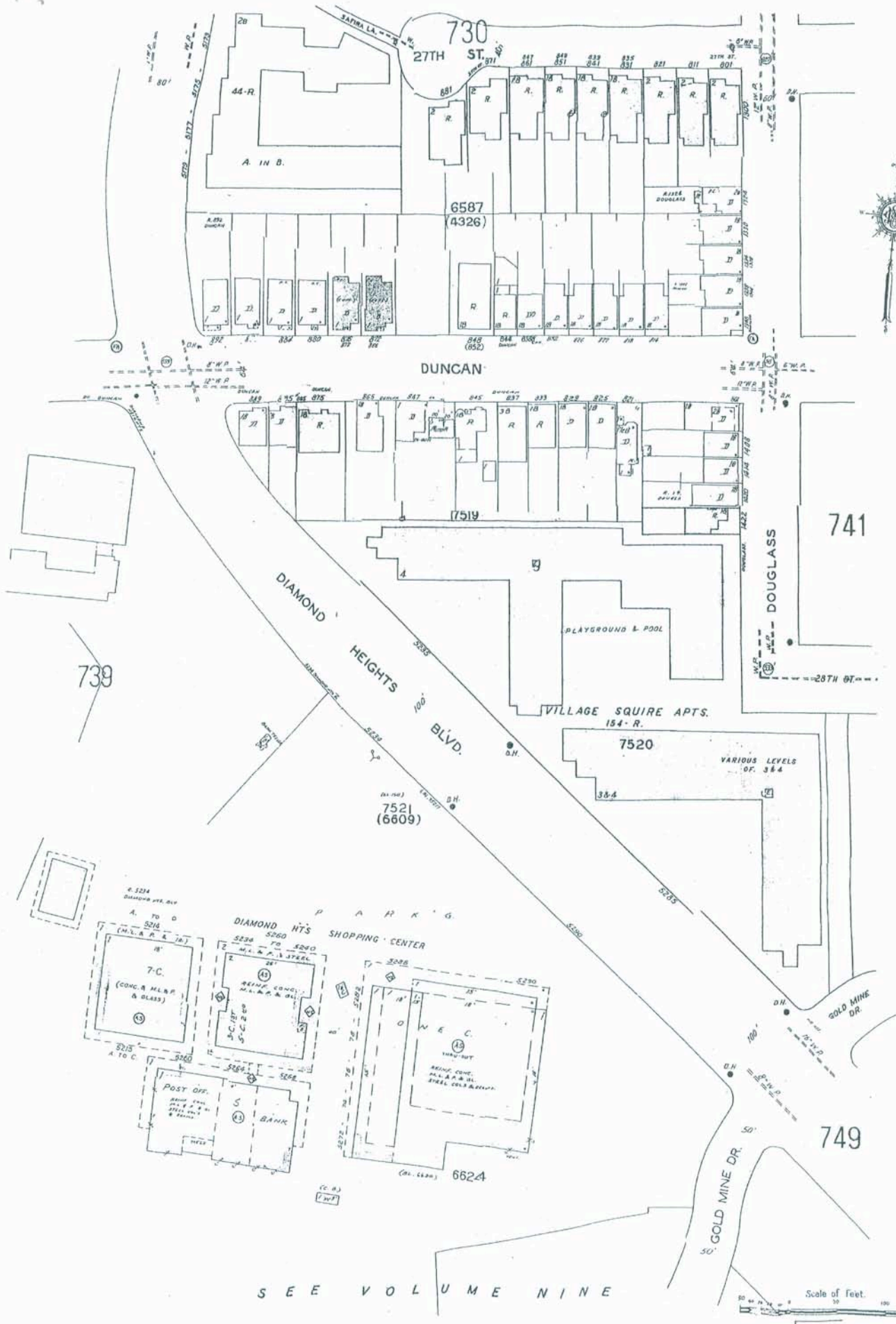
RH-1
RM-1

Former Easterly Line

BLOCK 7519

ASSESSED 161,063 SQ. FT.
 S.F.R.A. 4,358 SQ. FT.
 BLK. TOTAL 165,419 SQ. FT.





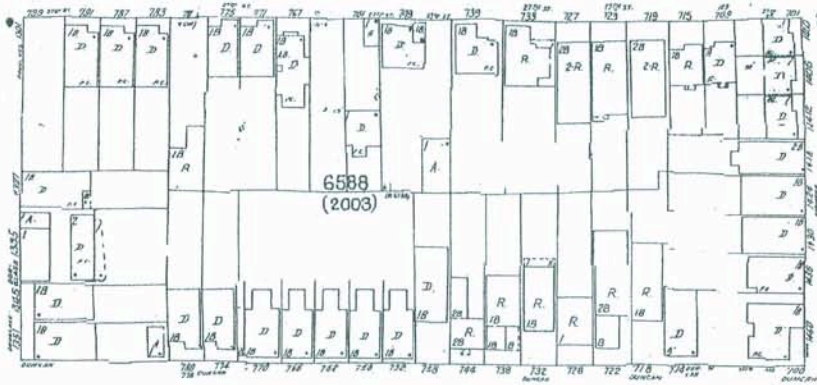
SEE VOLUME NINE

Scale of Feet. 0 20 40 60 80 100 120 140 160

San Francisco No. 7
741

731

27TH ST.



DUNCAN 64' wide

740

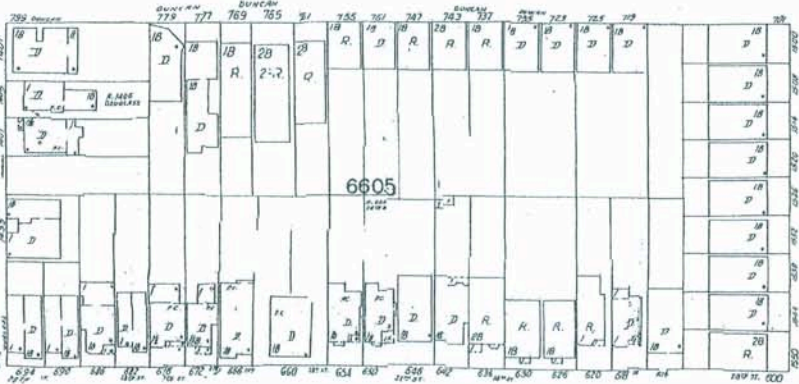
DOUGLASS

28TH ST. 64' wide

6605

DIAMOND

742



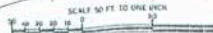
749

DIAMOND HEIGHTS BLVD.

GOLD MINE DR. (VALLEY)

VISTA DEL MONTE APTS
104-R

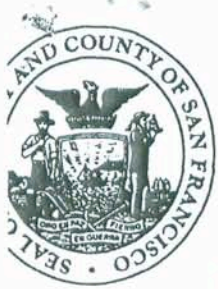
VALLEY



DBI PERMIT HISTORY

<u>DATE</u>	<u>DESCRIPTION</u>
1985	Concrete Parking PAD

Appendix D



CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

1660 Mission Street, San Francisco CA 94103

Report of Residential Building Record

(Housing Code Section 351(a))
Residential Requirement Report Division
(415) 558-6081

BEWARE: This report describes the current legal use of this property as compiled from records of City Departments. There has been no physical examination of the property itself. This record contains no history of any plumbing or electrical permits. The report makes no representation that the property is in compliance with the law. Any occupancy or use of the property other than that listed as authorized in this report may be illegal and subject to removal or abatement, and should be reviewed with the Department of Planning and the Department of Building Inspection. Errors or omissions in this report shall not bind or stop the City from enforcing any and all building and zoning codes against the seller, buyer and any subsequent owner. The preparation or delivery of this report shall not impose any liability on the City for any errors or omissions contained in said report, nor shall the City bear any liability not otherwise imposed by law.

Address of Building 70 GOLD MINE DR

Block 7520

Lot 033

Other Addresses

1. Present authorized Occupancy or use: ONE FAMILY DWELLING

2. Is this building classified as a condominium? Yes No

3. Does this building contain any Residential Hotel Guest Rooms as defined in Chap. 41, S.F. Admin. Code? Yes No

Zoning district in which located: RH-1

3. Building Code Occupancy Classification: R-3

Do Department of City Planning Records show an expiration date for any non-conforming use of this property? Yes No

If Yes, what date? The zoning for this property may have changed. Call City Planning, (415) 558-6377, for the current status.

Building Construction Date: UNKNOWN

Original Occupancy or Use: UNKNOWN

Construction, conversion or alteration permits issued, if any:

Application #	Permit #	Issue Date	Type of Work Done	Status
001749	531420	21-MAY-85	CONSTRUCTION OF AN 8FT (WIDTH) BY 20 FT (LENGTH) CONCRETE PARKING PAD	C

4. Is this property within a project area for which a redevelopment plan has been approved by the Board of Supervisors? Yes No

3. Is this property within a or does it abut upon the right-of-way of a freeway route which has been adopted by the California State Highway Commission and approved by the Board of Supervisors? Yes No

2. Does the property abut upon a street to be widened pursuant to action of the Board of Supervisors? Yes No

1. Is this property a conservation area? Yes No

1. Is there an active Franchise Tax Board Referral on file? Yes No

1. Is this property currently under abatement proceedings for code violations? Yes No

Number of structures on property? 1 11. Is Building in Fire Zones? Yes No

A. Has energy inspection been completed? Yes No B. If yes, has a proof of compliance been issued? Yes No

Patty Herrera, Manager, Public Services Division

Date of Issuance: 17 MAR 2006

Date of Expiration 17 MAR 2007

By: MAY YU

Report No: 200603139238

Amy Lee, Acting Director
Department of Building Inspection

THIS REPORT IS VALID FOR ONE YEAR ONLY.

The law requires that, prior to the consummation of the sale or exchange of this property, the seller must deliver this report to the buyer and the buyer must sign it.

(For Explanation of terminology, see attached)

ANATION OF TERMS USED IN REPORT OF RESIDENTIAL RECORDS (3R REPORT)

ding: A residential building is a building or portion thereof or more dwelling units but not including 30 or more guest rooms or

thorized Occupancy or Use: Number of units presently found on the building permits on file. If the Department is unable to horized occupancy of the building based on permits on file ill be indicated.

ums: Refers to the type of ownership of the building.

l Hotel Guest Rooms: Certain hotels are regulated as to use f they contain Residential Guest Rooms. Call Housing Inspection 6220 for information.

istrict: The main uses of property permitted by the Planning Code istrict are as follows:

- ublic Use) district
- use, One-Family, Detached Dwellings district
- use, One-Family) district
- use, One-Family with Minor Second Unit district
- use, Two-Family) district
- use, Three-Family) district
- xed Residential, Low Density) district
- xed Residential, Moderate Density) district
- xed Residential, Medium Density) district
- xed Residential, High Density) district
- esidential-Commercial Combined, Low Density) district
- esidential-Commercial Combined, Moderate Density) district
- esidential-Commercial Combined, Medium Density) district
- esidential-Commercial Combined, High Density) district
- ighborhood Shopping) district
- mmunity Business) district
- owntown Office) district
- owntown Retail) district
- owntown General Commercial) district
- owntown Support) district
- avy-Commercial) district
- ght Industrial) district
- avy Industrial) district
- ighborhood Commercial Cluster) district
- all-Scale Neighborhood Commercial) district
- derate-Scale Neighborhood Commercial) district
- ighborhood Commercial Shopping Center) district
- id Used Districts**
- inatown Community Business) district
- inatown Residential/Neighborhood Commercial) district
- inatown Visitor Retail) district
- Mixed Use Districts**
- esidential Enclave) district
- uth Park) district
- esidential Service) district
- vice/Light Industrial/Residential) district
- vice/Light Industrial) district
- vice/Secondary Office) district
- istricts**
- ssion Bay Lower Density Residential) district
- ssion Bay moderate Density Residential) district
- ssion Bay High Density Residential) district
- ssion Bay Small Scale Neighborhood Commercial) district
- ssion Bay Moderate Scale Neighborhood Commercial) district
- ssion Bay Neighborhood Commercial Shopping Center (district)
- ssion Bay Office) district
- ssion Bay Commercial-Industrial) district
- ssion Bay Hotel) district
- ssion Bay Community Facilities) district
- ssion Bay Open Space) district

subject to certain standards concerning dwelling unit density, lot et parking, building height and bulk, etc., which vary according Call the Planning Department at 558-6377 for additional

Classification: Present classification of building in accordance e reference.

Class I	Institutional
Class B	Business
Class R-1	Apartment House or Hotel
Class R-3	1 or 2 family dwellings, including housekeeping rooms

4. Non-conforming Use: When a use is located in a district preceding the one for which the use is first listed above, this may indicate illegal status or legal non-confirming status. Any date at which legal non-conforming status is scheduled to expire will be stated on the face of this report. You are advised to inquire in these cases and in any other questionable cases at the Zoning Division of the Planning Department at 558-6377.

5. Building Construction Date: The year the building was constructed.

6. Original Occupancy or Use: The number of residential unit(s) when the building was constructed.

7. Permit Application: This section shows all issued building permit applications for this property, the permit number, the date issued and the description of work. Status: It indicates that the record shows: C – the work was completed X – the permit expired (not started or not completed) R – the permit was revoked S the permit is suspended or N – no record was found.

8A. Redevelopment Project Area: An area of the city that has been officially designated for redevelopment by the Board of Supervisors. Buildings in this area may remain under owner participation agreements provided they can conform with the redevelopment plan and standards adopted by the Redevelopment Agency. For information, call the San Francisco Redevelopment Agency at 749-2400.

8B. Freeway Route: A State Highway route approved by the Board of Supervisors for freeway construction. The construction may require acquisition of property along the right-of-way or may cut off access of buildings along the right-of-way. For details, call State Division of Highways at (510) 286-4444.

8C. Street Widening: The widening of the pavement area of a street, after approval by the Board of Supervisors. In some instances, a part or all of some private property may be purchased by the city in order to accomplish the widening. For additional information please call the City Engineer's Office at 554-5827.

8D. Conservation Area: Designated by the Board of Supervisors, with oversight by the Planning Department.

9A. Franchise Tax Board Referral: The City will advise the State Franchise Tax Board to deny all deductions being claimed on income property by an owner, when that owner fails to comply in a timely manner with a notice(s) of violation issued by the Department of Building Inspection. For additional information please call Housing Inspection Services at 558-6220.

9B. Abatement Proceedings: The legal action taken to have a property brought into code compliance. This includes holding hearings, recording orders of abatement against the property, and City Attorney action.

The City may also perform the work and place a lien against the property. Call Housing Inspection Services at 558-6220 or Code Enforcement at 558-6454 for additional information.

10. Number of structures on property: The number of legal residential structures on one lot.

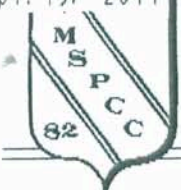
11. Fire Zone: No wood frame construction is permitted to be built or moved into the fire zone.

12. Energy Conservation Ordinance: Compliance with this ordinance is required before an owner sells a property. Questions should be directed to Housing Inspection Services at 558-6220.

Appendix E

TERMITE REPORT

<u>Description</u>	<u>Recommendation</u>	<u>Cost</u>
SURSTRUCTURE		
1) Powder past beetle infestation noted throughout		\$8,500
2) Damage and deterioration at the front entry porch		\$5,275
3) Fungus damage, deterioration, and extensive physical damage noted at both bathrooms.		\$30,000
<u>OTHER:</u>		
Note: Extensive deterioration and damage was noted to exterior window frame, sash, siding and trim.		
Note: The interior of this structure is severely deferred. The kitchen cabinetry, counter tops, and flooring are deteriorated and water damages, and are unserviceable.		
Note: Interior floors are currently covered with carpeting. The finished flooring below is severely damaged due to extensive water leakage and contamination from domestic		
Note: Gutters and/or downspouts are deteriorated and in need of repair on replacement.		
		\$43,775



MARKOFF

STRUCTURAL PEST CONTROL COMPANY
6018 Mission Street, Daly City, CA 94014
(650) 992-8900 Fax (650) 992-4404

PROPOSAL AND CONTRACT

MARKOFF STRUCTURAL PEST CONTROL proposes to perform the work described in item(s) 1-3 outlined in our Standard Inspection Report No. 06916, dated 8/24/06, with respect to the property located at 70 GOLDMINE DRIVE, SAN FRANCISCO. The contract price is \$ 43,775.00 (approx), payable immediately upon completion of the work proposed to be performed. Breakdown is as follows: 1-\$8,500.00, 2-\$5,275.00, 3-\$30,000.00 (approx)

The above quotation is made for immediate acceptance and is subject to change unless so accepted. It is understood and agreed that acceptance of this proposal shall constitute a contract, upon actual notice of such acceptance to Markoff Structural Pest Control, subject to the terms and conditions as hereinafter set forth.

TERMS AND CONDITIONS

- 1. Additional Work:** Additions, alterations, or deviations to work coverage hereunder shall be negotiated with present owner or owner's agent and an addendum contract issued prior to commencement of such additional repairs.
- 2. Unavoidable Interruptions:** It is hereby mutually agreed that Markoff Structural Pest Control shall not be held responsible or liable for any loss, damage or delay caused by fire, strikes, civil or military authority, acts of nature, or by any other cause beyond its control.
- 3. Risk of Loss:** Markoff Structural Pest Control will be liable for damage or disrepair to property only directly attributable to its negligence. Customer assumes all other risk of loss or damage to property or contractor's work in progress, and no such loss or damage relieves customer from any obligation under this contract.
- 4. Arbitration:** Any dispute arising out of the work agreed on herein must be raised and settled in an arbitration proceeding held in accordance with the construction industry rules of the American Arbitration Association then in effect.
- 5. Attorney's Fees:** In the event of any arbitration or litigation between the parties concerning the work hereunder or any event related thereto, the party prevailing in such dispute will be entitled to reasonable attorney's fees.
- 6. Notice as Required by Section 3097 of the Civil Code, State of California:** You are hereby notified, pursuant to Section 3097 of the California Civil Code, which requires that this notice be given, that Markoff Structural Pest Control, whose address is 6018 Mission Street, Daly City, California 94014, intends to furnish, commencing after acceptance of the foregoing proposal and contract, labor, services, equipment and materials as hereinabove set forth pursuant to the foregoing contract for the work of improvement on the jobsite located at the address hereinabove set forth. Pursuant to Section 3097 of the California Civil Code, this notice is given to the owner or reputed owner, to the original contractor, or reputed contractor, and to the construction lender, if any, or to the reputed construction lender, if any, this written preliminary notice as prescribed by this Section.

NOTICE TO PROPERTY OWNER

Under the California mechanics lien law any structural pest control operator who contracts to do work for you, any contractor, subcontractor, laborer, supplier or other person who helps to improve your property, but is not paid for his work or supplies, has a right to enforce a claim against your property. This means that after a court hearing, your property could be sold by a court officer and the proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your contractor in full if the subcontractor, laborers or suppliers remain unpaid.

To preserve their right to file a claim or lien against your property, certain claimants such as subcontractors or material suppliers are required to provide you with a document entitled "Preliminary Notice". General contractors and laborers for wages do not have to provide this notice. A preliminary notice is not a lien against your property. Its purpose is to notify you of persons who may have a right to file a lien against your property if they are not paid.

Respectfully submitted,
MARKOFF STRUCTURAL PEST CONTROL

By 

ACCEPTANCE

The above proposal is hereby accepted this _____ day of _____, 20____, subjected to the terms and conditions as hereinafter set forth. **A payment schedule will be determined upon authorization of work.**

Owner _____
Address _____
Phone _____

Address 70 GOLDMINE DRIVE SAN FRANCISCO 94131

DATE OF INSPECTION 8/24/06 CO. REPORT NO. 06916

NOTE:

Evidence of prior or possible current roof leakage was noted at several locations. We advise interested parties consult with a roofing contractor for further information and/or repair. No further representations are made by this company.

SUBSTRUCTURE:

- 1) Powder post beetle infestation noted throughout various components of the substructure area. Some evidence of beetle damage was noted at various locations. Infestation appears to extend into inaccessible areas.

RECOMMENDATION:

Install a protective covering over the structure and fumigate with a lethal gas for control of infestation. Remove visible damage and replace with new material.

NOTE: In the event that damage is found to extend into inaccessible areas, a Supplemental Report and cost estimate will be issued.

STEPS:

- 2) Damage and deterioration at the front entry porch and stair assembly.

RECOMMENDATION:

Remove all damage and reconstruct with new material.

OTHER-INTERIOR:

- 3) Fungus damage, deterioration, and extensive physical damage noted at both bathrooms.

RECOMMENDATION:

Remove existing tubs, toilets, and vanity sinks. Remove floor and wall finishes and remove all damage. Reconstruct with new material, install new fixtures and refinish walls and floors as directed by owner.

OTHER:

NOTE:

Extensive deterioration and damage was noted to exterior window frame, sash, siding and trim. Owners are advised to contact a building contractor for estimates for repair and/or renovation as required.

NOTE:

The interior of this structure is severely deferred. The kitchen cabinetry, counter tops, and flooring are deteriorated and water damaged, and are unserviceable. Owners to contact building contractor regarding estimates kitchen repair and renovation.

NOTE:

Interior floors are currently covered with carpeting. The finished flooring below is severely damaged due to extensive water leakage and contamination from domestic animals. Owners are advised to contact floor contractor for removal of all finished floors and replacement with new material in kind.

NOTE:

Gutters and/or downspouts are deteriorated and in need of repair or replacement. We advise interested parties to contact a specialty contractor for further information and/or repair. No further representations are made by this company.

Address 70 GOLDMINE DRIVE SAN FRANCISCO 94131
 BLDG NO. STREET CITY ZIP
8/24/06 06916
 DATE OF INSPECTION CO REPORT NO.

READ THIS DOCUMENT, IT EXPLAINS THE SCOPE AND LIMITATIONS OF A STRUCTURAL PEST CONTROL INSPECTION AND A WOOD DESTROYING PEST AND ORGANISM INSPECTION REPORT.

A Wood Destroying Pest and Organism Inspection Report contains findings as to the presence or absence of evidence of wood destroying pests and organisms in visible and accessible areas and contains recommendations for correcting any infestations or infections found. The contents of Wood Destroying Pest and Organism Inspection Reports are governed by the Structural Pest Control Act and regulations.

Some structures do not comply with building code requirements or may have structural, plumbing, electrical, heating, air conditioning or other defects that do not pertain to wood destroying organisms. A Wood Destroying Pest and Organism Inspection Report does not contain information on such defects, if any, as they are not within the scope of the licenses of either the inspector or the company issuing a Wood Destroying Pest and Organism Inspection Report.

The Structural Pest Control Act requires inspection of only those areas which are visible and accessible at the time of inspection. Some areas of the structure are not accessible to inspection, such as the interior of hollow walls, spaces between floors, areas concealed by carpeting, built-in appliances, or cabinet work. Infestations or infections may be active in these areas without visible and accessible evidence. If you desire information about these areas, a further inspection may be performed upon request and at additional cost.

The exterior surface of the roof was not inspected. If you want the water tightness of the roof determined, you should contact a roofing contractor who is licensed by the Contractor's State License Board.

Areas subject to moisture, such as, but not limited to roofs, gutters, windows, shower enclosures, and plumbing fixtures, are to be maintained by homeowners. This Company assumes no liability for these areas.

If work, as outlined in this report, is performed by others, we will reinspect the property upon authorization and payment of standard inspection fee, within a four month period.

Recommendations, as outlined in this report, are subject to the approval of the local building department officials. Additional alterations, drawings and/or calculations as may be required by said officials will be performed upon specific authorization and at additional expense to the ordering party.

NOTICE: Reports on this structure prepared by various registered companies should list the same findings (i.e. termite infestation, termite damage, fungus damage, etc.) However, recommendations to correct these findings may vary from company to company. Therefore, you may wish to seek a second opinion since there may be alternative methods of correcting the findings listed on this report that may be less costly.

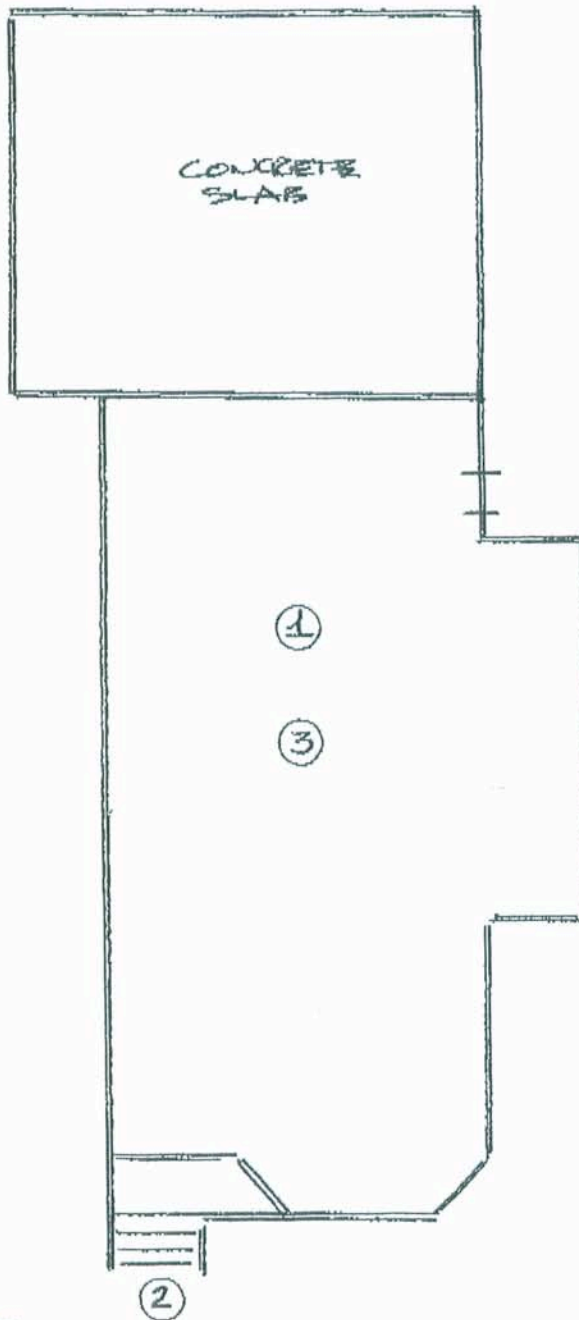
CHEMICAL MATERIAL TO BE USED:

- DRAGNET (Active ingredient - Permethrin)
- COPPER NAPHTHENATE (Active ingredient - Copper Salts of Naphthenic Acids)
- TIM-BOR (Active ingredient - Disodium Octaborate Tetrahydrate)
- OTHER _____
- NONE

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT (CONTINUED)


Address 70 GOLDMINE DRIVE SAN FRANCISCO 94131

DATE OF INSPECTION 8/24/06 CO. REPORT NO. 06916



FRONT
NOT TO SCALE

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No. 70	Street GOLDMINE DRIVE	City SAN FRANCISCO	Zip 94131	Date of Inspection 8/24/06	Number of Pages 5
 MARKOFF STRUCTURAL PEST CONTROL 6018 MISSION STREET DALY CITY, CALIFORNIA 94014 TEL: (650) 992-8900 FAX: (650) 992-4404 REGISTRATION NO. PR0347 COMPANY REPORT# 06916					
Ordered by: VALI BENSINGER 70 GOLDMINE DRIVE SAN FRANCISCO		Property Owner and/or Party of Interest: SAME		Report sent to: SAME	
COMPLETE REPORT <input checked="" type="checkbox"/> LIMITED REPORT <input type="checkbox"/> SUPPLEMENTAL REPORT <input type="checkbox"/> REINSPECTION REPORT <input type="checkbox"/>					
General Description: TWO STORY WOOD FRAME RESIDENCE, VACANT				Inspection Tag Posted: BASEMENT	
Other Tags Posted:					
An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.					
Subterranean Termites <input type="checkbox"/> Drywood Termites <input type="checkbox"/> Fungus / Dryrot <input checked="" type="checkbox"/> Other Findings <input checked="" type="checkbox"/> Further Inspection <input type="checkbox"/> If any of the above boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for details on checked items.					
SUBSTRUCTURE: SEE 1		OTHER INTERIOR: SEE 3			
FOUNDATION: CONCRETE		OTHER EXTERIOR: SEE NOTES			
STEPS/DECKS: SEE 2		OTHER: SEE NOTES			

PLEASE READ THIS DOCUMENT CAREFULLY.

**INQUIRIES REGARDING THE CONTENT, ACCURACY,
AND RECOMMENDATIONS SHOULD BE
IMMEDIATELY REFERRED TO THE INSPECTOR.**

Inspected by: Paul Markoff State License No: OPR4739 Signature *Paul Markoff*
 You are entitled to obtain copies of all reports and completion notices on this property reported to the Structural Pest Control Board during the preceding two years. To obtain copies contact: Structural Pest Control Board, 1418 Howe Avenue, Suite 18, Sacramento, California, 95825-3204.
 NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with services performed may be directed to the Structural Pest Control Board at (916) 561-8708, (800) 737-8188 or www.pestboard.ca.gov. 43M-41 (REV. 06/03)