



# SAN FRANCISCO PLANNING DEPARTMENT

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## MEMORANDUM

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**TO:** SAN FRANCISCO PLANNING COMMISSION  
**FROM:** PAUL A. LORD, JR., SENIOR PLANNER  
**THROUGH:** JOHN RAHAIM, DIRECTOR OF PLANNING  
**SUBJECT:** INFORMATION PRESENTATION #2 FOR THE **WESTERN SOMA COMMUNITY PLAN ON OCTOBER 13, 2011**  
**DATE:** SEPTEMBER 29, 2011

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### INTRODUCTION

Since publication of the Western SoMa Community Plan – Draft for Citizens Review on August 14, 2008, a lot of work has been carried out by members of the Western SoMa Citizens Planning Task Force (WSCPTF), City family and the Planning Department staff. The purpose of this second in a series of two informational presentations is to provide the Planning Commission with updates on this planning process well in advance of adoption hearings in 2012.

This second informational presentation is an opportunity to share four component pieces of the **Western SoMa Community Plan** recommendations with the Planning Commission and members of the public. These four components are as follows:

- ✓ Proposed Western SoMa Social Heritage Districts
- ✓ Proposed Western SoMa Design Standards
- ✓ Proposed Planning Code Amendments
- ✓ Proposed Western SoMa Community Stabilization Policy

The Western SoMa Citizens Planning Task Force (WSCPTF) and the associated planning process were formally initiated by Board of Supervisors Resolution 731-04. This second informational presentation is a time for City staff and citizen members of the WSCPTF to share and discuss their recommendations prior to adoption hearings in 2012. Of course, it is also a time for the Commission to ask questions and seek clarification about the Western SoMa proposals.

### BACKGROUND

On September 18, 2008, the Planning Commission unanimously (Commissioner Miguel absent) passed Resolution 17702 authorizing the Planning Department to begin the environmental review process for the **Western SoMa Community Plan**. Since that time,

[www.sfplanning.org](http://www.sfplanning.org)

consultants have been hired for the necessary CEQA analysis and EIR preparation. This EIR is currently being prepared and may be available for publication and public comment as early as October of this year.

*Please understand that these two scheduled informational **Community Plan** presentations are not part of the associated EIR process and any comments about the EIR or potential significant impacts of the **Western SoMa Community Plan** should be made during the hearings scheduled as part of the EIR process.*

Since publication of the **Western SoMa Community Plan – Draft for Citizens Review**, 2008, the TF has continued a regular meeting schedule. Both the WSCPTF, as a whole, and the active WSCPTF Committees have met and conducted business that has included the following:

1. Based on public comments on the **Draft for Citizens Review**, the WSCPTF has compiled comments and systematically considered appropriate Plan modifications. These modifications along with comments from the City Attorney have been reviewed and edits authorized by votes of the full WSCPTF. The public comments and responses to comments have been posted on the W SoMa Planning web site at: <http://www.sfplanning.org/Modules/ShowDocument.aspx?documentid=7054>
2. Updating the **Draft for Citizens Review** with WSCPTF actions since 2008 being integrated into the **Proposal for Adoption**.
3. Continued coordination efforts with the San Francisco County Transportation Authority (holding a seat on the WSCPTF) funding to prepare design proposals for streetscape improvements on Minna and Natoma Streets (between 7<sup>th</sup> and 9<sup>th</sup> Streets) and Ringold (between 8<sup>th</sup> and 9<sup>th</sup> Streets).
4. Continued coordination efforts with the designation of projects and designs for ENTrips priority projects.
5. Development and beta testing of proposed **Western SoMa Design Standards** with real project proposals. New chapter content has been added for the two chapters that address identified potential historic resources and new development in the context of potential historic resources.
6. Refinements of two Social Heritage Special Use District proposals.

## **THE PROPOSED SOUTH OF MARKET SOCIAL HERITAGE DISTRICTS**

The **Western SoMa Community Plan – Proposal for Adoption**, (Fall 2011) includes policies encouraging the preservation of social heritage.

- Policy 6.1.1: Survey, identify and evaluate historic and cultural resources in a manner that is consistent with the context statement prepared for the Western SoMa area.
- Policy 6.2.9: Support the retention of “social heritage” values, properties and historic preservation districts within Western SoMa.

The proposed designation of a Special Use District (SUD) is intended to promote the health, safety, prosperity and welfare of the people of the City and the maintenance of the scale and character of the area. The proposed Social Heritage Special Use Districts propose the following:

- (a) Protection and preservation of the basic cultural values of assets insofar as these values are compatible with the greater Western SoMa Special Use District:
- (b) Providing scope for the continuing vitality of the new social heritage district through private renewal and sensitive creativity, within appropriate controls and standards. It is intended to foster a climate in which the Filipino Social Heritage SUD may thrive as a prime Bay Area ethnic social heritage district.
- (c) Maintaining an identity separate from other districts.

The Social Heritage Special Use Districts propose the use of specific social heritage resource tools and programs in the cases when an identified social heritage asset could be subject to change or loss through a building restoration, remodeling or demolition. The community wishes to add a set of strict policies to follow in the cases of remodeling including change of use as follows. The recommendations, which include urban design, economic, and zoning programs, are:

- a. To establish a Social Heritage Citizens Advisory Committee that will provide guidance and advice to the Planning Department regarding the preservation, protecting and memorialization of identified social heritage resources.
- b. To perpetuate social heritage businesses with consideration of opportunities to replace a business in-kind through findings, review and issuance of a Certificate of Heritage Compliance.
- c. To work with the Department of Public Works and support the perpetuation of the Festivals with permanent urban design elements in the form of street lights and pavement.
- d. To establish Floor Area Ratio (**FAR and/or Height**) exemptions for the replacement of identified social heritage SUD assets.
- e. Whenever replacement in-kind is impossible, dedicate a portion of the new development to community arts projects or dedicate a portion of the new development for community public events and the arts, following specific criteria for Certificate of Heritage Compliance.
- f. To place commemorative inscription in the sidewalks corresponding to some of the most significant social heritage assets in the District, similar to that of the Barbary Coast, for educational walking tours.

### **Recognizing, Protecting and Memorializing South of Market Filipino Social Heritage Neighborhood Resources**

The proposed Filipino Social-Heritage Special Use District (SUD) is a portion of the greater South of Market neighborhood that possesses concentrations of local Filipino social heritage

assets. For the Filipino community within SoMa, social heritage is valuable and an important part of local, regional and world history. Filipino assets have therefore been identified and mapped according to grassroots methodologies for identification and analysis. The community has also provided recommendations for celebrating these past and present neighborhood resources.

The proposed **Filipino Social Heritage Special Use District (SUD)** aims to perpetuate the Filipino heritage in Western SoMa. The proposed SUD highlights the long-standing cultural institutions in the neighborhood as they have served as places of worship, for community services, for arts expression, and as sites for cultural activities and events in the same manner “*a plaza*” would function for towns in the Philippines. The proposed SUD includes several sites that host folkloric events, and streets named after Philippine national heroes. The local Filipino community working with the San Francisco Planning Department and Western SoMa Citizens Planning Task Force has proposed the following:

1. To establish boundaries for a Filipino Social Heritage Special Use District (SUD) that demarcates core social heritage assets;
2. To identify and classify individual assets;
3. To sustain on-going research and policies that encourages the preservation of local social heritage and local culture through the Western SoMa Plan and other means;
4. To utilize the urban landscape;
5. To celebrate a social history by using public features as a way to educate and accept diversity, leaving an important legacy at the heart of the neighborhood:
  - a) Honor a handful of Filipino sites which have embodied the essence of the neighborhood legacy with individual commemorative inscription and symbols;
  - b) Create a social-heritage path or tourist trail which celebrates collective important and valuable events and traditions such as festivals and street fairs still growing into local, regional and even worldwide history;
  - c) Propose renaming streets and alleyways after some of the major figures of local Filipino history.

### **Recognizing, Protecting and Memorializing South of Market LGBTQ Social Heritage Neighborhood Resources**

After many small meetings with members of the Lesbian Gay Bisexual Transgender Queer (LGBTQ) community, the Western SoMa Task Citizens Planning Task Force is proposing to celebrate the LGBTQ neighborhood legacy. Using creative means to educate, acknowledge diversity and the value of LGBTQ neighborhood resources, the community proposes to memorialize and recognize the living LGBTQ social heritage and fabric of this San Francisco neighborhood.

*The places of everyday urban life are, by their nature, mundane, ordinary, and constantly reused, and their social and political meanings are often not obvious. It takes a great deal of research, community involvement and inventive signing and mapping to bring these meanings out, but this process can lead from urban landscape history into community-based urban preservation, as*

*understanding the past encourages residents to frame their ideas about the present and future”*  
*(The Power of Place”, Dolores Hayden)<sup>1</sup>*

For the LGBTQ community within SoMa, social heritage is valuable and an important part of local, regional and world history. Therefore, LGBTQ assets have been identified and mapped according to grassroots methodologies for identification and analysis. The community has also provided recommendations for celebrating these past and present neighborhood resources.

## **WESTERN SOMA COMMUNITY PLAN DESIGN STANDARDS**

The Western SoMa Special Use District (SUD) possesses a number of unique design and neighborhood characteristics. Design Standards for this SUD provide direction for developers, architects and Planning Department staff in future neighborhood development proposals. These Standards supplement and support the policy direction set forth in the **Western SoMa Community Plan**. Additionally, these Standards are to be used along side and in conjunction with the *Residential Design Standards* in the RED and RED Mixed Zones. Another companion and supplementing document applicable to the Folsom NCT, MUG, RCD, RED, and RED Mixed zones are the “*Ground Floor Residential Design Standards*.”

Users of this document can answer many of their questions about proposed new development design considerations through a review of the standards applicable in each Zoning District in the SUD. The document is organized to facilitate easy use by prospective developments in each and every Zoning District in the SUD. It is further detailed with standards layered on each Zoning District based on the considerations for sustainable development, lot size of the development proposal, the potential historic integrity of any structures on the development site and legally prescribed accessibility design considerations.

For example, once a development site is identified, the user of this document should determine the Zoning, if the current building is historically significant, and if the subject Assessor’s lot size exceeds one half of an acre. The applicable design standards are all of those that fall within the applicable Zoning district and then layered with historic and lot size design standards as applicable. All lots in the Western SoMa Special Use District are subject to the accessibility and sustainability design standards.

Based on its historic character, these Design Standards support the vision of a vibrant community with a mix of land use activities and buildings. Western SoMa is characterized by different zones that vary in scale and use due to regional/citywide element such as freeway arterials, the Hall of Justice and big box retail stores. The Western SoMa Community Plan set a goal of celebrating neighborhood physical and social diversity and maintaining its unique neighborhood character.

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<sup>1</sup> Dolores Hayden, *The Power of Place*, Cambridge, Mass: MIT Press, 1995.

## **WESTERN SOMA PROPOSED PLANNING CODE AMENDMENTS**

The WSCPTF has recommended detailed land use controls and development standards that implement the policies contained in the **Western SoMa Community Plan**. Proposed Planning Code amendments also propose that all development proposal on parcels of one-half (0.5) acre or larger be offered an opportunity to seek height increases above an as-of-right height limit through a Conditional Use process. To the greatest extent possible and in keeping with of the WSCPTF Planning Principles, careful consideration has been paid to the Planning Code controls adopted for the surrounding Eastern Neighborhood Plan Areas.

## **PROPOSED WESTERN SOMA COMMUNITY STABILIZATION POLICY**

Upon adoption of the Western SoMa Community Plan, the Board of Supervisors is requested to create legislation that establishes the Western SoMa Community Stabilization Policy. This Policy evaluates historic standards and sets forth metrics for desired perpetuation of proportional mixes for housing, affordability and neighborhood land uses. These proposed proportional mix metrics are suggested to serve as triggers for Planning Commission project approvals and potential Conditional Use requirements.

These metrics trigger procedures needed when neighborhood land use developments and permit activity have been determined to have potential negative impacts on the local economic viability or community livability. In addition, this policy incorporates requirements to ensure that infrastructure improvements keep pace with growth and development, that new projects pay impact fees and provide public amenities.

It is the policy of the Western SoMa Citizens Planning Task Force that the Community Stabilization Policy legislation should also establish a Citizens Advisory Committee (CAC). Following the adoption of the Western SoMa Community Plan, this resolution further requests that the Board of Supervisors enabling legislation shall direct the Planning Department to provide the newly established Western SoMa CAC with periodic and timely reports on the legislated housing affordability and land use mix metrics that will facilitate the monitoring and the implementation of this Western SoMa Community Stabilization Policy. The Western SoMa CAC will report to the Board of Supervisors and request appropriate responses for adherence to this policy.

**Recognizing, Protecting and Memorializing  
South of Market Filipino Social Heritage  
Neighborhood Resources**

September 13, 2011



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## **FINDINGS and PURPOSE**

The proposed Filipino Social-Heritage Special Use District (SUD) is a portion of the greater South of Market neighborhood that possesses concentrations of local Filipino social heritage assets. For the Filipino community within SoMa, social heritage is valuable and an important part of local, regional and world history. Filipino assets have therefore been identified and mapped according to grassroots methodologies for identification and analysis. The community has also provided recommendations for celebrating these past and present neighborhood resources.

### ***USING THE URBAN LANDSCAPE TO CELEBRATE HISTORY***

The **DRAFT Western SoMa Community Plan**, (August 14, 2008) includes policies encouraging the preservation of social heritage.

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- (c) Maintaining an identity separate from other districts.

**Philippine Cultural Preservation District**  
**Philippine District**

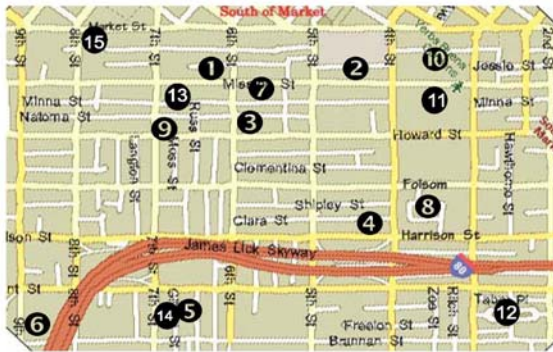
There is an on-going proposal to designate and dedere a Philippine Cultural Preservation District, **Philippine District** for short, in San Francisco. It is an eight by six blocked area on the western region of South of Market; bounded by 9<sup>th</sup> Street to 2nd Street and from Market Street to Brannan Street.

The **Philippine District** is the heart and nerve center of Filipino community San Francisco; it highlights the vibrant Filipino community and long-standing cultural institutions in the South of Market neighborhood.

As in the Philippines, Filipino community in San Francisco revolves around a central plaza that functions as a community space of inter-villages and multi-generational activities such as cultural events, trade and commerce, political, social and religious activities. It is also where people come for basic health, social, educational and government services. It is a pivotal place for personal, family and community replenishment and enrichment.



The **Philippine District** is in the midst of major urban renewal and development in South of Market, Mid-Market, Transbay, Rincon Hill in downtown San Francisco. It has many important historical and cultural assets that need to be preserved, developed, reclaimed and enhanced for today and future generations.



The **Philippine District Walking Tour** seeks to highlight and promote the significance of the historical and cultural spaces to the Filipino and San Francisco community.

**1 Bayanihan Community Center** at the Bayanihan House at 1010 Mission Street. It is one of the soon-to-open cornerstones of the Philippine District. The Center includes a multi-use community room, a community technology center, a veterans and senior center, a craft and book store and a restaurant. The Bayanihan

Community Center is a project of the Filipino American Development Foundation.

**2 San Francisco Cultural Center.** Located on the fifth floor of the soon-to-open world class Westfield Bloomingdale Shopping Center on Market and Mission, SFFCC will showcase and exhibit the best of Filipino American and Philippine arts,

Carmichael School in 2001, the Harrison site has housed the Galing-Bata After-School Program.

**3 Victoria Manalo Draves Park.** An open space recreational park in the old site of the Bessie Carmichael School. The one-block location on Folsom and Harrison Street was originally the Columbia Square Park before the school was built. The SoMa and Filipino community are spearheading the naming of the Park after the 1948 Two time gold medalist Victoria Manalo, a SoMa native.

**6 SoMa Cultural Center-** a 30,000-square-foot warehouse arts facility that SomArts operates under contract to The San Francisco Art Commission.

**7 Mint Mall and Hall** - a Filipino owned property comprised of 135 residential units and 25 commercial sites, including the popular Arkipelago Book Store, offices of the three Filipino Centers Collaborative and Parol Lantern Festival

**8 San Lorenzo Ruiz Center**—a senior housing facility located on the square where streets are named after Philippine national heroes.

**9 West Bay Filipino Multi-service Center,** (also SoMa Teen Center and Ed dela Cruz Apartment, on 7th and Natoma St.) is one of oldest community service agencies in the City that caters to Filipino children, youth and their families.

trade and culture.

**9 Bindlestiff Theater,** renowned as the epicenter of Filipino American performing arts in the Bay Area, will have a bigger and better theater space at the Plaza Hotel Housing on the corner of Sixth and Howard. The Bindlestiff is temporarily housed at 505 Natoma Street for their continuous programming.

**4 Filipino Education Center** at 824 Harrison Street has been an educational institution for newcomers and bilingual students since the 1970s. Since the merging of FEC K-5 to Bessie

**Other Important places in the Philippine District**

- 10 St. Patrick's Church (756 Mission St)
- 11 Yerba Buena Gardens (bet. 3rd & 4th)
- 12 Gran Oriente Filipino ( South Park)
- 13 SoMa Health Center (551 Minna St.)
- 14 Bessie Carmichael School (7th St.)
- 15 Trinity Plaza

- Also include**
- 16 Historic Manilatown (Kearny St)
  - 17 Dewey tower at union Square
  - 18 The Presidio

**The proposed Filipino Social Heritage Special Use District (SUD)** aims to perpetuate the Filipino heritage in Western SoMa. The proposed SUD highlights the long-standing cultural institutions in the neighborhood as they have served as places of worship, for community services, for arts expression, and as sites for cultural activities and events in the same manner “a plaza” would function for towns in the Philippines. The proposed SUD includes several sites that host folkloric events, and streets named after Philippine national heroes. The local Filipino community working with the San Francisco Planning Department and Western SoMa Citizens Planning Task Force has proposed the following:

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4. To utilize the urban landscape;

**Recognizing, Protecting and Memorializing South of Market Filipino Social Heritage Neighborhood Resources**

5. To celebrate a social history by using public features as a way to educate and accept diversity, leaving an important legacy at the heart of the neighborhood:
  - a) Honor a handful of Filipino sites which have embodied the essence of the neighborhood legacy with individual commemorative inscription and symbols;
  - b) Create a social-heritage path or tourist trail which celebrates collective important and valuable events and traditions such as festivals and street fairs still growing into local, regional and even worldwide history;
  - c) Propose renaming streets and alleyways after some of the major figures of local Filipino history.

The Filipino Social Heritage Special Use District, referenced by the community as *SoMa Philippines*, has evolved as a territorial-based ethnic identity in America. *SoMa Philippines* has emerged as a framework of uniting the Filipinos in the Bay area into one community system or an ideation of whole community, which in Filipino is called *sambayanan*, particularly linking the Filipinos to the center or plaza, or *kabayanan* (i.e. the heart of the community), which is strategically located in South of Market.

The Filipino Social Heritage SUD (*SoMa Philippines*), as a reference to a Filipino community in a neighborhood that is strong, visible and consolidated, with a compact and critical mass of community members and leaders, is becoming a living cultural landmark worth sharing. It is connected to the Filipino community's rich heritage from their homeland (Philippines) as well in their new homeland (USA).

## JUSTIFICATION

Filipino people arrived in San Francisco and made South of Market their home, as well as their place of work, recreation and worship around the 1940s. In the early 1970's, the Filipino population in South of Market had grown to 5,000. Many of the families lived in the alleys of Natoma and Minna. In 1975, author Lemuel Ignacio describes in his book, Asian Americans and Pacific Islanders, 1976 a neighborhood festival, the Barrio Fiesta. Minna Street was blocked off from Eighth Street to Ninth Street and a large parking lot at the corner of 8th and Minna was the central gathering place for the fiesta. The Filipino American Friendship mural at the Howard Langton Community Garden depicts the grand neighborhood festival that brought the Filipino community together with Filipino food, dancing, and music. Community organizing in the Filipino community was at it's height during this time, so community pressure brought about the removal of no parking signs on Minna Street, a primarily Filipino residential neighborhood.

Today the Filipino community maintains important traditions such as the Parol Lantern Festival, which provides and upholds a strong sense of identity in the neighborhood, and in their places of worship. Churches were important to Irish, Filipino and other Catholic immigrants as a bedrock institution of traditional culture and identity. St. Joseph's Parish (pictured in the center below) for example is not only the oldest Catholic Church in South of Market and a city landmark, but it also served for decades as a place of worship for the Filipino community. The parishioners moved to St. Patrick's Church when St. Joseph's Church was permanently closed after the 1989 earthquake.



### The Plaza and the typical Filipino Town

It was the church with *convento* (building where priests, religious brothers, sisters or nuns live); that endowed *the plaza*. The *plazas* were Spain's urban legacy that came with many other architectural elements, such as patios and fountains, from the Islamic World and spread throughout many countries ruled by the Spanish Empire.

The traditional grid pattern of the colonial Latin American city (and the Philippines), placed the main *plaza* at the center of the political, religious, and social life of its inhabitants. The Spanish colonial elite enjoyed the newly constructed plazas and gardens as spaces for

socializing, gossiping, and ostentatiously demonstrating their wealth and power.<sup>1</sup> The different uses of these *plazas* by many cities' residents set significantly different cultural meanings associated with dramatic changes that took place in urban Latin America.

Plazas served as the symbolic manifestation of Spanish power, as each plaza had buildings representing the two main colonizing institutions: the church and the crown. Therefore, plazas were typically a central square surrounded by a church, government buildings, and bordered by arched walkways.



Unlike Chinatowns where you can find an array of Chinese commercial establishments, institutions and restaurants, a *Filipino Town* (shown above) has this distinct set-up - a central area, usually square or plaza, with an imposing Roman Catholic church, a friar's *convento*, a municipal hall, residences of rich and powerful leaders, a school, social service centers, a transportation terminal and a market place or commercial center.

Although the *plaza* was modeled after those of Spain and the New World, in accordance with Philipp II's ordinance of July 3, 1573 regulating the foundation of colonial settlements, it was not anything new to Filipinos.

In the 13<sup>th</sup> century, Chao Ju-kua found that certain port towns of the archipelago contained a public square in front of the ruler's residence. Ferdinand Magellan's chronicler Antonio Pigafetta reported the presence of a large square in Cebu, apparently parallel to the waterfront, where Magellan planted the cross and baptized several hundreds of *Visayans*

<sup>1</sup> *On the Plaza: The Politics of Public Space and Culture*. by Setha M. Low. Austin: University of Texas Press (2000), xv, 274 pp

(ethnolinguistic groups in the Philippines, living in the region of Visayas). Among the *Bontocs*, (a mountain tribe in the North), the square was and still is an essential feature of the village, for on it the community rituals for the *anitos* (Pre-Hispanic in the Philippines) were held. It is also recorded that two missionaries who traveled to Ituy in Upper Cagayan “went about through the villages...setting up in the public squares large crosses.”

The colonial *plaza* was therefore, in a sense, a continuation of the old community square; with an important difference. The church complex took place of the *datu's house* (*datu* is the title for tribal chiefs, and monarchs in the Philippines) as the focus of community activity. Henceforth it would become increasingly common practice to recite prayers at the foot of the tall wooden cross that priests specified as a feature of the plaza.

A Spanish historian and missionary to the Philippine Islands in 1632, *Diego Aduarte*, noted in *Pangasinan* (one province in the Philippines) that the men gathered together every evening and recited prayers before a cross, “usually set-up in the plaza of the village, the women doing the same by themselves in another place.” After the mass, parishioners from the *cabecera* (primary mission) and the *visititas* (visiting stations of the '*cabecera*' or primary mission) lingered at the plaza to meet friends and relatives. During processions, fiestas and other religious festivities, the people quite naturally congregated on the plaza. (Source: Tadhana: The History of Filipino People, Ferdinand Marcos 1976, pp 154-155).

The institutions in the plaza were designed to pacify and resettle the subjects of colonial masters. The Spanish friars' policy of *reduccion*, (which is defined as gathering of converts into one big settlement), is actually a systematic colonial strategy of pacification and deterring native resistance. "Without doubt, the epic of the *reduccion* gave the friars a great measure of that influence, for their constant presence in the rural community assured them the role of effective intermediary between the Spanish colonial authority and its native base.”

During the Philippine-American War (1899-1913), a new version of *reduccion* was implemented by US military strategists in their pacification campaign. During the pacification campaign, the *cabeceras* or town centers became "protected zones" and forcibly transformed into real centers of power. Replacing the priests and civil officials, the real power of the town centers were now in the hands of the US Army and troops of Volunteers who administered the affairs of the town and supervised the fight against cholera. Hence, public health, health centers, and public schools became emerging institutions in most Filipino municipalities during the American Occupation (1899-1946).

Before the inception of a Filipino Social Heritage Special Use District (*SoMa Philippines*), a number of Filipinos, generation after generation, came to live and work in South of Market.

# FEATURES and INDIVIDUAL ASSETS

*(For more details specific Survey and tabulation of these community assets, see Appendix 3)*

The local Filipino community has identified the following independent individual assets.

## INSTITUTIONS

- ✓ The Bessie Carmichael Elementary School/Filipino Education Center (55 Sherman Street) (375 Seventh Street at Harrison) is the first school with a curriculum in the Filipino language in the United States. It is a pre-K to 8<sup>th</sup> grade school.
- ✓ Bessie Carmichael School Filipino Education Center Campus (824 Harrison Street) the second school campus for grade 6 to 8 students. The Filipino Education Center was one of the three language schools for newcomers (the others are Mission Education Center and Chinatown Education Center) established by the San Francisco Unified School District in the early 1970s.
- ✓ The St. Joseph's church was the 2<sup>nd</sup> Catholic parish created in San Francisco, and became a predominantly Filipino parish in the 1960s and 1970s. It is San Francisco **Landmark #120**, and along with the Rectory at 1415 Howard, it is listed in the National Register. (After the earthquake of 1989, the St. Joseph's parish was transferred to St. Patrick's Church)
- ✓ St. Patrick's Church (756 Mission Street and 4<sup>th</sup> Street)
- ✓ Various Service Agencies such as
  - South of Market Health Center (551 Minna Street) including Children & Women clinic
- ✓ South of Market Health Center (previously located at 551 Minna Street) including the Children & Women clinic has a significant number of Filipino patients and staff, was located on 551 Minna Street and moved to a new facility on 7<sup>th</sup> Street by the Fall of 2010. It also has a branch at the South of Market Senior Clinic at 317 Clementina Street.
  - West Bay Pilipino Multi-Service Center is the oldest non-profit and community-based service agency that primarily serve Filipinos and residents of South of Market .(175 7<sup>th</sup> Street)
  - Bayanihan Community Center (1010 Mission Street) is a multiuse space that houses non-profit organizations – the San Francisco Veterans Equity Center and the Filipino American Development Foundation - and a commercial space – SF Print and Arkipelago Books.
  - The SoMa Employment Center (288 Seventh Street), is a project of Mission Hiring Hall that offers employment services to low-and moderate-income San Francisco residents. The Center was established as part of the agreement with developers and businesses to hire locals in their work force.
  - Canon Kip Senior Center – (705 Natoma Street)
  - SoMa Filipino Senior Nutrition Program c/o Centro Latino at Eugene Friend Recreation Center (270 Sixth Street)
  - United Playaz at Eugene Friend Recreation Center (270 Sixth Street)
  - South of Market Action Network (SoMCan) ( 1070 Howard Street)
  - Galing-Bata @Filipino Education Center (824 Harrison Street)
  - Filipino Senior Resource Center (953 Mission Street, Suite 60)
  - Filipino American Counseling and Treatment Team @ South of Market Mental Health Services (760 Harrison Street).

- Filipino Senior Citizens Club (83 Sixth Street)
- Filipino American Arts Exposition (965 Mission Street, Suite 518 )
- South of Market Child Care Center (1) Yerba Buena Child Development Center (790 Folsom Street) and (2) Judith Baker Child Development Program (685 Natoma Street).
- Veterans Equity Center @ Bayanihan Community Center (1010 Mission Street)

## **BUSINESSES**

- ✓ A long list of Filipino businesses such as:
  - The Arkipelago bookstore @ Bayanihan Community Center (1010 Mission Street)
  - Celia's In and Out Cleaners (150 Seventh Street )
  - The Filipinas Restaurant ( 953 Mission Street)
  - Manila Market and Produce (987-989 Mission Street)
  - Philippine Grocery (156 8<sup>th</sup> Street)
  - Unimart ( 1201 Howard Street corner Eight Street)
  - Seventh Street Hair Cutter (8 Seventh Street)
  - Jollibee (200 Fourth Street corner Howard Street)
  - Mint Hall businesses-
    - Everlasting Shop
    - Manila Market
    - Pal Fashion and Beauty Shop
    - New Filipinas Restaurant
    - 777Worldwide maker of Aeroskin Diving Suits
    - Super Reproduction,
    - FAMAS
    - Bindlestiff Theater
    - Manilatown Heritage Foundation
  - Lucky Money (1026 Mission Street)
  - Launderland Coin-Op Wash & Dry ( 118 Sixth Street)
  - Mercury Lounge (1582 Folsom Street@ 12<sup>th</sup> Street)
  - Zebulon Café and Bar (83 Natoma Street)
  - Papa Beard ( @Yerba Buena Lane and Food Court of West Field)
  - Brother's Hair Cuts 2 (109 6<sup>th</sup> Street)
  - Intra-Manila (991 Mission Street)
  - OTB Builders, Inc (1010 Mission Street)

## **HOTELS AND AFFORDABLE HOUSING**

- ✓ Various Residential Hotels Filipino owned properties and Affordable Housing such as:
  - San Lorenzo Ruiz Center formerly Dimasalang House on 50 Rizal Street
  - The Gran Oriente Filipino Hotel (2 residential properties at South Park) (106 South Park)
  - Gran Oriente Masonic Temple ( 95 Place Center, South Park)
  - Bayanihan House (88 Sixth Street)
  - Mint Hall (957 Mission Street)
  - Ed dela Cruz Apartment (587 Natoma Street)
  - Alexis Apartments
  - De Vera Apartment



- Rene Medina Building (1026 Mission Street)

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## **ARTS**

- ✓ Various public art activities and spaces such as:
  - Fil-Am Friendship Mural (at Langton Alley Garden on Langton Street and Howard)
  - Lipi ni lapulapu Mural (at Lapu-Lapu Street, Northwall of San Lorenzo Ruiz Apartment )
  - The annual Parol Lantern Festival and Parade (at Jessie Square)
  - The annual Pistahan Festival (at Yerba Buena Gardens) a Filipino American Arts Exposition (FAAE) – a –two- day outdoor arts and culture festival at the Yerba Buena Gardens, usually held on the second weekends of August, an annual event since 1994.
  - The annual SoMa Fest (at Victoria Manalo Draves Park)
  - The annual San Francisco Filipino American Jazz Festival (at Yerba Buena Center for the Arts Forum, 701 Mission Street)
  - San Francisco Filipino Cultural Center (at Westfield Metreon, 3<sup>rd</sup> floor)
  - Bindlestiff Theater (165 Sixth Street, Hotel Plaza Housing)
  - Dr. Mario Borja Barangay Hall at the Bayanihan Community Center, Kul-arts Inc. and Bayanihan Krew
  - Flores de Mayo / Multi-Cultural Celebration – a Bessie Carmichael School led annual celebration with a parade around the School and the Victoria Manalo Draves Park.
  - Tutubi Park Mural and Fence Designs (Russ Street corner Minna Street)

## **RECREATION**

- ✓ Various green areas for public recreation such as:
  - Tutubi Children’s Park (535 Minna St corner Russ Street)
  - Yerba Buena Gardens (Mission St, Third, Howard and 4<sup>th</sup> Street)
  - Alice Street Community Gardens (At the intersection of Bonifacio and Lapu Lapu (in the blocks bordered by Fourth and Third, Folsom and Harrison)
  - Dimasalang House /San Lorenzo Ruiz Community Garden ( Bonifacio cor Tandang Sora)

## **STREET AND STREET NAMES**

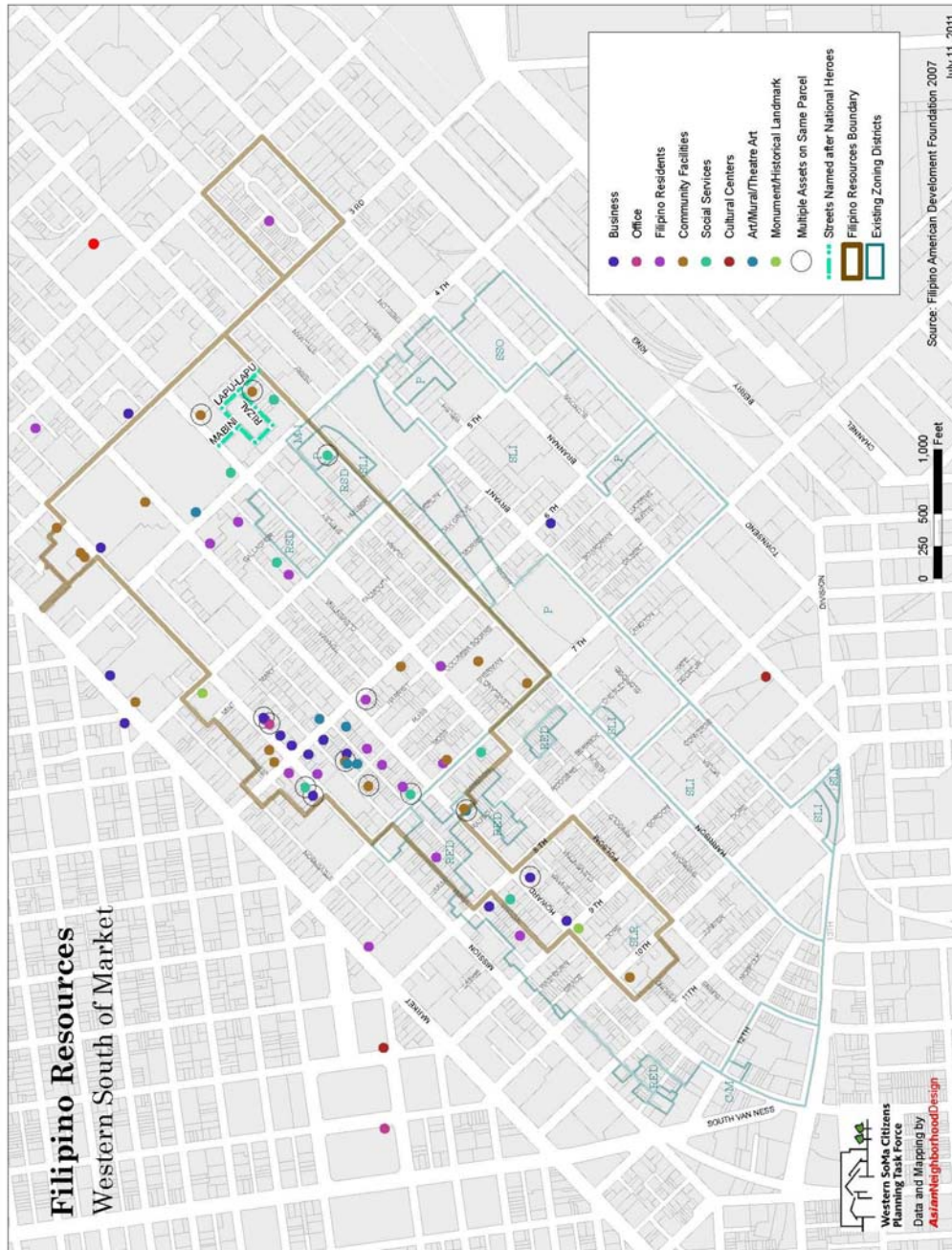
- ✓ Streets named after Philippine National Heroes include:
  - Mabini Street (after Apolinario Mabini, known as the “Brain of the Philippine Revolution)
  - Bonifacio Street (after Andres Bonifacio founder and Supremo of the Katipunan, a revolutionary secret society against Spain)
  - Lapu-Lapu Street (After warrior Lapu-lapu who killed Ferdinand Magellan in Mactan Island who was expected to be the first European to circumnavigate the world.)
  - Rizal Street (After Dr. Jose P. Rizal, the Philippine National Hero and martyr.)
  - Tandang Sora Street (After Melchora Aquino, the mother of the 1896 Philippine Revolution)

## IMPORTANT PLACES

- ✓ Places with historical connection with Filipinos include:
  - Victoria Manalo Draves Park (Folsom, Columbia, Harrison and Sherman Street) – Two Gold medalist of the 1948 Olympics in Diving. She was born and raised in South of Market. Her father was a musician who lived on 10<sup>th</sup> Street in the 1920s. Before Bessie Carmichael School was built at this location, it was also already a park, the Columbia Park, where there stood at the north end of the square an historical marker, a Spanish-American War cannon taken from the Philippines in 1899. The Cannon was moved to Presidio, its current location.
  - Palace Hotel and Jose P. Rizal’s marker (2 New Montgomery) – The Philippine national hero stayed at this Hotel in 1888, he wrote his impressions of San Francisco and the United States in his diary and letters to his parents and friends.
  - Dimasalang House/San Lorenzo Ruiz – (#50 Rizal Street, between Folsom and Harrison Street, Fourth and Third Street) - In 1970s the Caballeros de Dimasalang, a Filipino Masonic lodge, joint ventured with TODCO to obtain funds from the U.S. Housing and Urban Development to build the Dimasalang House, a 149 apartment unit housing for seniors in the area.
  - Martin Luther King Water Fall (San Francisco-Manila-Sister City) at Yerba Buena Gardens – one of the famous quotes of Dr. King was translated in Tagalog and mounted underneath the Waterfall.
  - Dewey Monument at Union Square – commemorating the Battle of Manila Bay in 1898.
  - Maiden Lane formerly named Manila Avenue – as recognition of the war that brought prosperity to San Francisco at the turn of the 20<sup>th</sup> century -
  - St. Patrick’s Church – archdiocese’s Filipino Ministry and the devotion to Black Nazarene (similar to the Black Nazarene of Quiapo Church), Sto. Nino De Cebu and San Lorenzo Ruiz (a Filipino Saint).
  - Gran Oriente Filipino Hotel (106 South Park, 2 more properties on South Park) – when the Filipinos were forbidden to purchase property in the U.S. in the 1920, the Gran Oriente Filipino as a Masonic entity was able to purchase this property.
  - Masonic Temple (95 Place Center) – The sacred place of the Gran Oriente Filipino. The Filipino Masonic lodges traced their roots in the Philippines’ secret societies during the revolution.

# BOUNDARIES AND PROPOSED TREATMENT

The attached map shows identified Filipino social heritage resources and proposed SUD boundary.



## LOCATION AND BOUNDARIES

The ongoing proposal to designate and declare a Filipino Social Heritage Special Use District is a Western SoMa Community Plan recommendation.

Although some of the Filipino assets will fall outside the Western SoMa SUD boundary, the Western SoMa Draft Community Plan supports the creation of SoMa Philippines, the Filipino Social Heritage Special Use District as part of a broader recognition of social heritage resources embedded in the history and urban landscape of Western SoMa.

The identified resources also extend to key sections in South of Market and downtown San Francisco, particularly South Park (for Gran Oriente Filipino Hotel and Masonic Temple), Union Square (Dewey Tower and Maiden Lane formerly named Manila Avenue) and Market and New Montgomery (Palace Hotel and Dr. Jose Rizal's Marker).

Citywide Filipino assets have historical significance and cultural contexts. The North of Market (Dewey Tower at Union Square) commemorates the entry of the U.S. in the Pacific War (Spanish-American 1898 and Philippine American War 1899-1913) that brought enormous prosperity to the City of San Francisco while the South of Market significantly establishes the coming and continuous settlement of Filipinos in San Francisco.

The Filipino Social Heritage SUD proposes to be differentiated from other districts with urban design elements such as:

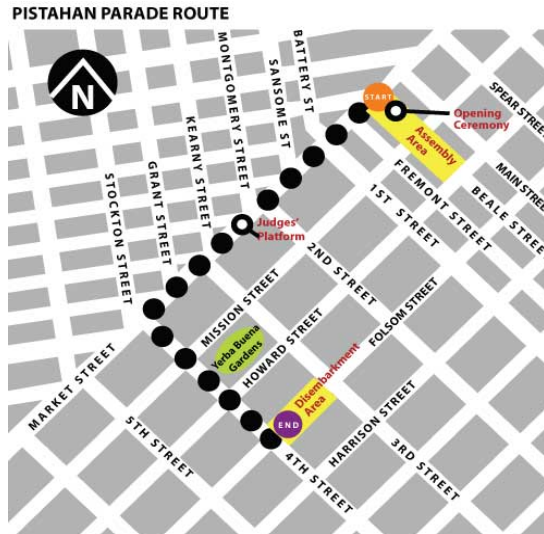
- gateway treatment defining portions of the social heritage district;
- street lighting standards, delineating a path of the Parol Lantern Festival and highlighting various streets that carry names from Filipino heroes;
- pavement treatments and other similar urban elements to identify specific location of events.



**The Path: Lantern Festival:** The Philippines take great pride in celebrating Christmas. The Parol Lantern is the quintessential Filipino symbol of hope, blessings, peace and light during the holiday season. In the Philippines, parol adorns the houses, commercial establishments, churches, public places and street lamp posts. The San Francisco Lantern

Parade began in 2003 in South of Market. It is the Filipino community’s gift and contribution to the multicultural fabric of San Francisco. The parade of lights stretches from the Bayanihan Community Center at 6th and Mission, and culminates in a celebration with performances at Yerba Buena Gardens. The Festival is a special point of pride not only to the Bay Area’s Filipino community but also to the South of Market neighborhood

The Filipino community is proposing to perpetuate the Parol Lantern Festival as a tourist-ritualistic path with permanent lanterns in the public lighting features along the path.



- ASSEMBLY AREA:**  
 Beale Street, between Market and Howard St.  
 Saturday, August 9  
 » Street closed from 6:00 am - 1:00 pm  
 » No parking during same date and hours
- JUDGES' PLATFORM:**  
 Market Street, between 3rd St and New Montgomery  
 » 10:30 am - 3:00 pm  
 » No parking during same date and hours
- PARADE ROUTE:**  
 Start on Beale heading north  
 Left on Market  
 Left on 4th Street  
 Left on Folsom Street  
 End on 2nd Street  
 Parade begins at 11:00 am, Saturday, August 9
- DISSEMBARKMENT AREA:**  
 Folsom Street, between 4th St. and 3rd St.  
 » 2 north lanes of Folsom Street closed from 11:00 am - 3:00 pm  
 » No parking on both sides of the street during same date and hours



# STANDARDS and GUIDELINES for REVIEW NEW CONSTRUCTION

The Filipino community is proposing the use of specific social heritage resource tools and programs in the cases an identified Filipino asset could be subject to change or loss through a building restoration, remodeling or demolition. However, the community wishes to add a set of strict policies to follow in the cases of remodeling including change of use as follows. The recommendations, which include urban design, economic, and zoning programs, are:

- a. To establish a Social Heritage Citizens Advisory Committee that will provide guidance and advice to the Planning Department regarding the preservation, protecting and memorialization of identified social heritage resources.
- b. To perpetuate Filipino business by requiring to replace business in-kind with special Certificate of Heritage Compliance.
- c. To work with the Department of Public Works and support the perpetuation of the Parol Lantern Festival with permanent urban design elements in the form of street lights and pavement.
- d. To establish Floor Area Ratio (**FAR and/or Height**) exemptions for the replacement of Filipino Social Heritage SUD assets.
- e. Whenever replacement in-kind is impossible, dedicate a portion of the new development to community arts projects or dedicate a portion of the new development for community public events and the arts, following specific criteria for Certificate of Heritage Compliance.
- f. To place commemorative inscription in the sidewalks corresponding to some of the most significant social heritage assets in the District, similar to that of the Barbary Coast<sup>2</sup>, for educational walking tours.

The community is recommending celebrating public history, using public features as a way to educate and recognize diversity accepting this Social Heritage SUD as leaving an important legacy at the heart of the neighborhood. When new construction proposals are made for sites containing identified neighborhood social heritage resources, the following table summarizes the proposed treatments.

For additional details and explanations of the programs summarized below, please refer to Appendix 2 of this report.

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<sup>2</sup> Barbary Coast was a pleasure quarter in old San Francisco CA. The neighborhood quickly took on its seedy character during the California Gold Rush (1848 - 1858). It was known for gambling, prostitution, and crime. It is now overlapped by Chinatown, North Beach, Jackson Square, and the Financial District

**Tools for Recognizing, Protecting and Memorializing Identified Social Heritage Resources in Proposed Western SoMa Social Heritage SUDs**

	Resource Status	Programs	Historic Resource Only	Heritage Resource Only	Historic and Heritage
			plenty of tools apply to historic resources	social heritage resources	if cultural resource is located in a historical structure
<b>Urban Design Tools</b> streetscape, street lighting, special pavements, commemorative plates, etc	Retention	Administrative Certificate of Heritage Compliance (TBD) <small>(given to development who voluntarily include new urban design elements that commemorate social heritage)</small>	NO	YES	YES
	Retention	Streetscape improvement & public/cultural art elements (lighting, pavement, murals, etc)	NO	YES	YES
	Retention or Loss	Commemorative Plate	NO	YES	YES
<b>Zoning Tools</b> these tools consist of changes in the zoning code	Retention	FAR Exemption (TBD)	NO	YES	YES
	Retention	Height Bonus (TBD)	NO	YES	NO
	Retention	TDRs - either as private transaction to pay for TIs or mediated to go to a fund for business TA in the district	YES	YES	YES
	Retention	Community Benefit Exemption	YES	YES	YES
	Loss	Elimination of Height Bonus	YES	YES	YES
<b>Economic Incentives/ Fees Tools</b> local economic incentives, fees,	Retention	Historic/Cultural & Local Tax Credits (negotiated w/OEWD)	YES	YES	YES
	Retention	Tenant & Façade Improvements and other technical assistance (TA) to help existing business expand or improve - marketing, lease negotiation, etc	YES	YES	YES
	Loss	Community Benefit/Business Relocation Fee - to pay for relocation assistance such as brokers, lease negotiation, tenant improvements in new space, moving assistance, etc.	NO	YES	YES
	Loss	Enrollment in business incubator program (Mission only perhaps) - to create matches between developers and incubating businesses early in the development process	NO	YES	YES
	Loss	Must provide a first right of refusal to a displaced business; or select a non-formula retail principally permitted local business; or a master lease; or provide a community-use based on need (childcare, nonprofit), etc..	NO	YES	YES



## Appendix 1-Types of Designation

The National Park Service has a set of standards for preservation, rehabilitation, restoration and reconstruction of historic assets. These standards are neither technical nor prescriptive, but are intended to promote responsible preservation practices that help protect US irreplaceable cultural resources. They cannot, in and of themselves, be used to make essential decisions about which features of the historic building should be saved and which can be changed. But once a treatment is selected, the Standards provide philosophical consistency to the work. They are conceptual, and therefore, they need to be reinforced with specific Design Standards, Economic Development Incentives and Review Processes that provide tangibility.

### Types of Treatment addressed in National Register

**Preservation**, is the first treatment and it places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made.

**Rehabilitation**, the second treatment, emphasizes the retention and repair of historic materials, but more latitude is provided for replacement because it is assumed the property is more deteriorated prior to work.

**Restoration**, the third treatment, focuses on the retention of materials from the most significant time in a property's history, while permitting the removal of materials from other periods.

**Reconstruction**, the fourth treatment, establishes limited opportunities to re-create a non-surviving site, landscape, building, structure, or object in all new materials.

## **Appendix 2-Philippines, Filipino Heritage SUD Mitigation Measures**

### **FAR EXEMPTION**

Floor Area Ratio is the ratio obtained by dividing the floor area of a building by the total area of the parcel upon which the building is erected. Floor Area Ratio is the minimum to maximum proportional development that could occur in a parcel. Different FAR is required in all different zoning districts. Example: in an NC, NC-T or NC-S zoning, the FAR is 1.8 to 1, meaning that in a parcel or lot of 4,500 square feet, a maximum development of 8,100 square feet could occur.

In Chinatown, the FAR requirement for total development is waived in the form of moving the use to another location. Code Section and Interpretation 124.1 (d) explains that the floor area ratio normally applying to the Chinatown Mixed use district shall not apply to uses which must relocate as a result of acquisition by the City.

Typically, if a community wants population and economic growth to continue, then land must be used more intensively. Using land more intensively will result in changes to height and density within the existing parts of the city. Some cities propose to direct growth in certain parts of the city, such as in major nodes and public transit oriented intersections, where heights increase should occur only, under specific design guidelines, limitations of density, specific community needs and urban principles hierarchies.

The Filipino Social Heritage SUD is proposing to grant FAR exemption for “replacement in-kind” of a traditional retail business

- In order to maintain and keep the business local as it was originally intended.
- Whenever replacement in-kind is not possible, a second mitigation is allowed, dedicating a portion of the new development to community arts projects, public events and arts, following specific criteria for Certificate of Heritage Compliance.

## **CERTIFICATE OF HERITAGE COMPLIANCE**

A proposed Certificate of Heritage Compliance (COHC) is a document approving work on local properties in social heritage districts based on consistency with applicable design guidelines or standards. The procedures for COHC will need to be codified.

The Filipino Social Heritage SUD is proposing to establish an Administrative Certificate of Heritage Compliance to be granted by the Zoning Administrator for replacement in-kind of an identified at-risk Filipino business. Administrative Certificate of Heritage Compliance can be granted if certain conditions are established and followed.

- Certificate of Heritage Compliance would be given to new development that allows at least 2,500 square feet to replace traditional Filipino business that contributed to the local Filipino history in South of Market.
- Certificate of Heritage Compliance would be given whenever replacement in-kind is not possible, and a portion of not less than 2,000 square feet is dedicated to community arts projects, public events and local artists.

## **ECONOMIC DEVELOPMENT, TAX EXEMPTIONS and TAX INCENTIVES**

In the case of Colonial Heights, Virginia, partial exemption from real estate taxes (tax relief) is allowed for qualifying rehabilitated or renovated structures. For those properties that qualify, the initial increases in real estate taxes resulting from rehabilitation or renovation is excused for ten (10) years. As an economic incentive, a partial tax exemption for restoration and retention of identified resources and other local economic incentives should be analyzed and considered.

In San Francisco, existing financial incentives that can be applied for preservation include:

**Property Tax Reduction:** The Mills Act is perhaps the best preservation initiative available to private property owners in San Francisco.

**Loans:** The city has several loan programs administered the Mayor's office of Housing (MOH) and the Mayor's office of Economic Development (MOED) to assist in the rehabilitation of residential resources.

- Code Enforcement Rehabilitation Fund (CERF) The CERF program offers a hardship loan for a minimum of \$4,250 and maximum of \$15,000 to correct any conditions, which the City has determined in violation of the existing building code.
- Unreinforced Masonry Building (UMB) Loans: In 1992, San Francisco voters authorized the issuance of \$4,350 million in bonds to make loans available to owners of UMB buildings.

## **URBAN DESIGN and HEIGHTS EXEMPTIONS**

Regarding heights, a proposed height exemption could be considered under the following circumstances:

1. Restoration or replacement in the neighborhood of an in-kind of a Filipino identified resource.

## **VISION, MISSION AND PUBLIC PARTICIPATION**

It may prove very helpful in guiding mitigation determinations that a local advisory Committee be established to review new proposals for restoration or the application of mitigation measures in the cases of demolition.

**VISION:** The vision should support a comprehensive program of social heritage preservation at all levels of community and government to promote the use and conservation identified social resources for the education, inspiration, pleasure and enrichment of the public in a spirit of stewardship and trusteeship for future generations.

**MISSION:** The statement should provide leadership in preserving, restoring and maintaining social heritage resources through activities, plans and programs that support the preservation and protecting of these resources.

**PUBLIC PARTICIPATION:** If Western SoMa social heritage resources are to be preserved, the neighborhood representatives of Western SoMa must actively promote their preservation.

## **WORKING WITH OTHER AGENCIES**

Interagency work is vital in the process of social heritage preservation, protecting and memorialization. Many times, a social heritage landscape being saved from development is a success story because of grassroots activism, and common ground between land conservation and historic preservation efforts.

The Filipino Social Heritage SUD Proposal for Western SoMa proposes to work with the Department of Public Works and support the perpetuation of the Parol Lantern Festival with permanent urban design elements in the form of street lights and pavement.

Also, working with both the Department of Public Works and the Chamber of Commerce would be ideal to place commemorative inscriptions in the sidewalks corresponding to some

of the most significant social heritage assets in the District, similar to that of the Barbary Coast<sup>3</sup>, for educational walking tours.

## **INTERPRETIVE PROGRAM**

Many times the wish to preserve a place offers unique opportunities to develop educational and interpretive programs that integrate environmental and social heritage history together.

The Filipino Social Heritage SUD Proposal for Western SoMa proposes development of a Certificate of Heritage Compliance for development proposals that cannot replace Filipino traditional business in-kind, and a portion of not less than 2,000 square feet is dedicated to community arts projects, public events and local artists. This space would serve for education of local history by a socially appropriate artist.

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<sup>3</sup> Barbary Coast was a pleasure quarter in old San Francisco CA. The neighborhood quickly took on its seedy character during the California Gold Rush (1848 - 1858). It was known for gambling, prostitution, and crime. It is now overlapped by Chinatown, North Beach, Jackson Square, and the Financial District

## Appendix 3- Filipino Social Heritage SUD Survey

The Filipino cultural pattern in Western SoMa can be better understood in the context of local and national Filipino history, legacy, tradition, and social heritage. The social heritage assets listed below represent beliefs, values, and practices learned from family, friends, and schools, generation after generation. The time frames used in this Appendix reflect standard locally recognized historic preservation epochs.

### **1906 to 1920s and the San Francisco earthquake in South of Market**

The South of Market Area (SOMA) has always been a mixed-use commercial, industrial and residential neighborhood. In 1847, early Gold Rush settlers and Chinese immigrants inhabited the area. These settlers pitched their tents and opened shops to serve the city's growing residential and business community.

Significant immigration to the United States began with the need for agriculture laborers in the 1900s, with Filipinos settling primarily in Alaska, and what was then, the territory of Hawaii and California. This immigration would stop to a trickle during the 1930s due to multiple factors, including the United States' recognition of independence of the Philippines in 1946.<sup>4</sup>

Filipino American communities developed around United States Navy bases, whose impact can still be seen today. In areas with sparse Filipino populations, Filipino Americans often form loosely-knit social organizations aimed at maintaining a "sense of family", which is a key feature of Filipino culture. Such organizations generally arrange social events, especially of a charitable nature, and keep members up-to-date with local events.<sup>5</sup>

During the immediate San Francisco post-quake period, insurance settlements led to the South of Market construction of many new and reconstructed light-industrial-buildings such as stables and warehouses. These buildings were often constructed in brick masonry. The properties identified in the Filipino Social Heritage SUD Draft Survey that best relate to local Filipino history and best represent the events within this time period are presented below.

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<sup>4</sup> [http://en.wikipedia.org/wiki/Filipino\\_Americans](http://en.wikipedia.org/wiki/Filipino_Americans)

<sup>5</sup> <http://en.wikipedia.org/wiki/Filipino-American>

<b>BLOCK/ LOT</b>	<b>CURRENT ADDRESS</b>	<b>YEAR BUILT</b>	<b>ASSET USE/TYPE</b>	<b>TYPE</b>	<b>ACTIVE /NON (A/N)</b>	<b>CURRENT RATING</b>
3704/011	88 5 <sup>th</sup> St	1900	Monument in Old Mint Bldg.	MONUMENT	A	Landmark No. 236; Downtown Plan; Cat. I Building; CA Register; AS: 5; Heritage: A
3725/086	965 Mission	1900	Festival office	INSTITUTION/ C. FACILITY	A	
3706/068	756 Mission	1900	St. Patrick Church, Residence, Playground, etc	INSTITUTION RESIDENCE and C. FACILITIES	A	CAT Build: V; Landmark No.4; CA Reg: Y;UMB: Y; AS:3 ; Heritage: A
3726/095	535 Minna	1900	Tutubi Children Park & Playground	C. FACILITY	A	
3706/068	748 Mission	1900	Yerba Buena Explanade Park	C FACILITY	A	CAT Build: V; Landmark No.4; CA Reg: Y;UMB: Y; AS:3 ; Heritage: A
3754/062	375 7 <sup>th</sup> St	1906	B. Carmicheal School	C.FACILITY /INSTITUTION	A	
3704/025	83 8 <sup>th</sup> St.	1906	Filioino Senior Club	C.FACILITY	A	SOMA Area Plan.Rating: NS; CA Reg.UMB: Y

BLOCK/ LOT	CURRENT ADDRESS	YEAR BUILT	ASSET USE/TYPE	TYPE	ACTIVE /NON (A/N)	CURRENT RATING
3775058	106 South Park	1907	Gran Oriente Apartment ONE, Senior Housing	RESIDENCE	A	
3775058	106 South Park	1907	Gran Oriente Apartment TWO, Senior Housing	RESIDENCE	A	
3775058	106 South Park	1907	Gran Oriente Apartment THREE, Senior Housing	RESIDENCE	A	
3705042	865 Market St.	1908	SF Filipino Cultural Center	C.FACILITY	A	Hist. Surv. 3S. Cons. Dist. KEARNY- MARKET- MASON- SUTTER
x	200 4th St	1907	Jollibee	REATIL BUSS		
3703029	88 8 <sup>th</sup> St.	1912	Bayanihan HUD Housing	RESIDENCE	A	Hist. Survey Rating 511. SOMA Area Plan
3726010	505 Natoma St.	1913	Bindlestiff Theater	ART/THEATER	A	SOMA Area Plan; CA Reg. UMB:Y; Heritage B
3721029	83 Natoma St.	1914	Zebulon Café	REATIL BUSS	A	CAT Build: V; CA Reg. UMB: Y; Heritage: C
3725081	109 6 <sup>th</sup> Street	1915	Lulu's Barbershop	REATIL BUSS	A	SOMA Area Plan; CA Reg. UMB: Y; Heritage: C



BLOCK/ LOT	CURRENT ADDRESS	YEAR BUILT	ASSET USE/TYPE	TYPE	ACTIV E /NON (A/N)	CURRENT RATING
3518001	1301 Howard St	1915	Old St. Joseph Church	LANDMARK	A	SOMA Area Plan; CA Reg. UMB: Y; Heritage: C
3725088	953 Mission St	1916	Filipino Senior Resource Center	C. FACILITY	A	CA Reg. AS:Y ; Heritage: C
3725088	957 Mission St	1916	Mint Hall Residence	RESIDENCE	A	CA Reg. AS:Y ; Heritage: C
	953 Mission St/ 957 Mission St.	1916	Mint Mall	REATIL BUSS	A	CA Reg. AS:Y ; Heritage: C
	953 Mission St/ 957 Mission St.	1916	Mint Mall- Super reproduction	REATIL BUSS	A	CA Reg. AS:Y ; Heritage: C
3729001	1201 Howard St	1917	Unimart Supermarket	REATIL BUSS	A	

### **1920s to 1936 in South of Market**

During this period, industrialists and developers constructed hundreds of concrete two-story and three-story industrial loft structures on the plentiful empty lots, largely building South of Market neighborhood by 1929. Most large warehouses in SOMA were constructed during the 1920s and into the 1930s. According to Page & Turnbull preliminary report, there were about 15 large warehouses occupying quarter of city blocks on the west side of SOMA.

On the other hand, in the early 20th century, Filipino Americans were in many states barred by anti-miscegenation laws from marrying many White Americans (including Hispanic Americans) Racial strife was prevalent, culminating in the Watsonville riot of 1930, where Fermin Tobera<sup>6</sup> was murdered in one of the first recorded hate crimes against Filipino Americans. Despite, many Filipino men secretly married or cohabitated with White American women in California and the South during the 1920s and 1930s.

Locally, in the 1920's and 1930's the Filipino immigrants who settled in San Francisco were mostly single men who formed a bachelor community called Manilatown, in a three block radius

<sup>6</sup> Labor Organizer lynched in Watsonville 1930.

around Kearny and Jackson Streets, next to Chinatown. A migrant labor community, they lived in several low-cost residential hotels such as International Hotel, the Palm Hotel the Temple Hotel, the San Joaquin, the Stanford, and the Columbia Hotel.<sup>7</sup>

The properties identified in the Filipino Social Heritage SUD Draft Survey that best relate to local Filipino history and best represent the events within this time period are:

BLOCK/ LOT	CURRENT ADDRESS	YEAR BUILT	ASSET USE/CATEGORY	TYPE	ACTIVE /NON (A/N)	CURRENT RATING
3752014	824 Harrison St	1923	Filipino Ed Center	SOCIAL SERVICES	A	NONE
3754041	1065 FOLSOM St	1923	Victoria Manalo Drakes Park	PARK / C. FACILITY	A	
3704022	990 Mission St	1924	IntraManila Entertainment Hall	C. FACILITY	A	
3728005	156 8th St	1925	Philippines Grocery	RETAIL BUSS	A	
3730008	288 07th St	1925	SOMA Employment Center	SOCIAL SERVICES	A	
3725060	165 06th St	1926	Bindlestiff Art Studio/Plaza	ART/THEATER	A	
3726046	543 Natoma St	1927	DeVera Apartment 1	RESIDENCE	A	
3726067	25 Russ St	1927	DeVera Apartment 2	RESIDENCE	A	Hist. Survey Rating 3S
3726003	118 06th St	1928	Laundroland	RETAIL BUSS	A	

The identified potential Western SoMa Light Industrial and Residential Historic District developed primarily between the years of 1906 and 1936, and consist of a group of resources that are cohesive in regards to scale, building typology, materials, architectural style, and relationship to the street

### **Late 1930s to 1945 and post war migration in South of Market**

During WWII over 200,000 Filipinos served with the United States Military. However, in 1946, the United States Congress passed the Rescission Act of 1946, which stripped Filipino veterans who served during WWII of the benefits as promised. Of the sixty-six countries allied with the

<sup>7</sup> ([http://www.bayanihance.org/pilipinos\\_southofmarket1.html](http://www.bayanihance.org/pilipinos_southofmarket1.html))

United States during the war, the Philippines was the only country that did not receive military benefits from the United States. Since the passage of the Rescission Act, many Filipino veterans have traveled to the United States to lobby Congress for the benefits promised to them for their service and sacrifice.<sup>8</sup>

After World War II, San Francisco made plans to expand its downtown business sector, particularly the area around the Financial District from 1940 to 1950, workers in World War II-related industries increased the population of SOMA by 37%.<sup>9</sup>

Filipino people arrived in San Francisco and made South of Market their home, as well as their place of work, recreation and worship around the 1940s. Churches were important to Irish, Filipino and other Catholic immigrants as a bedrock institution of traditional culture and identity. St. Joseph's Parish for example is not only the oldest Catholic Church in South of Market and a city landmark, but it also served for decades as a place of worship for the Filipino community.

The social heritage assets that best represent local Filipino history in this period are:

<b>BLOCK/ LOT</b>	<b>CURRENT ADDRESS</b>	<b>YEAR BUILT</b>	<b>ASSET USE/TYPE</b>	<b>TYPE</b>	<b>ACTIV E /NON (A/N)</b>	<b>CURRENT RATING</b>
3775058	106 South Park St	1940	Gran Oriente Masonic Temple	FILIPINO RESIDENTAIL HOTEL /TEMPLE		
0314001	233 Geary St	1946	Dewey Tower	MONUMENT	A	Downtown Plan; Article 11: Cat :V building; Cons. Dist
3726093	551 Minna St	1946	SOMA Health Center	C FACILITY	A	
3733106	366 Clementina	1949	SOMA Child Care Center	SOCIAL SERVICES	A	CA Reg. AS. Y
3751150	760 Harrison	1958	SOMA Fil-Am Counseling	SOCIAL SERVICES	A	

In the 1940s and 1950s, South of Market was home not only to warehousing and light industry, but also to a sizable population of transients, seamen, other working men living in hotels, and a working-class residential population.

<sup>8</sup> [http://en.wikipedia.org/wiki/Filipino\\_American](http://en.wikipedia.org/wiki/Filipino_American)

<sup>9</sup> <http://www.smhcsf.org/soma.html>

## **The 1960s, 1970s and 1980s in South of Market**

During the turbulent 1960s when American blacks were championing their civil rights on the streets and in the courts, Filipino Americans began benefiting from anti-discrimination laws and an increased sense of national tolerance to racial diversity.

Often mistaken for Vietnamese during the 1970s, racial epithets invoking Vietnamese were popularly used against Filipino Americans. Filipino Americans living in the states in the latter half of the 20th century, racial discrimination was a daily existence. With the infamous deposing of President Ferdinand Marcos in 1986, the Philippines and Filipino Americans in general came to the forefront of the American consciousness through popular media.

While the 1960s and 1970s brought diversity to the South of Market, Filipinos in the US, had an imperative need to culturally assimilate, this effectively exacerbated cohesion efforts among different generations of Filipino Americans.

The social heritage assets that best represent local Filipino history in this period are:

<b>BLOCK/ LOT</b>	<b>CURRENT ADDRESS</b>	<b>YEAR BUILT</b>	<b>ASSET USE/TYPE</b>	<b>TYPE</b>	<b>ACTIVE /NON (A/N)</b>	<b>CURRENT RATING</b>
3730091	11133 Howard St	1970	Filip-American Friendship Mural	ART	A	NONE
3733107	380-390 Clementina	1970	Alexis Apartments (HUD)	RESIDENCE	A	NONE
	LAPU-LAPU St /Between 3 <sup>rd</sup> & 4th	1972	Alice Community Garden	C FACILITY	A	NONE
3726037	587 Natoma St	1977	Ed Dela Cruz Apartments (HUD)	RESIDENCE	A	NONE
N/A	Lapu Lapu Street	1979	LIPINILAPUL APU Mural	ART	A	NONE
3751169	50 Rizal St	1979	San Lorenzo Center (HUD)	RESIDENCE	A	NONE

BLOCK/ LOT	CURRENT ADDRESS	YEAR BUILT	ASSET USE/TYPE	TYPE	ACTIVE /NON (A/N)	CURRENT RATING
	50 Rizal St	1979	San Lorenzo Center (Community Room)	C.FACILITY	A	NONE
N/A	YB Gardens	1980	MLKing Waterfall	ART	A	NONE
3731010	270 6 <sup>th</sup> St	1980	Eugene Friend Park & Rec Facility	C.FACILITY	A	SOMA Area Plan
		1980	Bonifacio Street	STREET NAME	A	
		1980	Lapu Lapu Street	STREET NAME	A	
		1980	Maiden Lane	STREET NAME	A	
		1980	Rizal Street	STREET NAME	A	
		1980	Tandang Sora Stret	STREET NAME	A	
3725082	987 Mission St	1982	Manila Meat Market	RETAIL BUSS	A	NONE
3723113	763 Mission	1983	Papa Bear Cafe	RETAIL BUSS	A	NONE
3705049	845 Market	1983	Papa Bear Cafe	RETAIL BUSS	A	NONE
3723115	760 Howard	1983	Yerba Buena Gardens Facility	C.FACILITY		
3734091	790 Folsom		Yerba Buena Child Dev. Center	C.FACILITY	A	NONE
3703026	1010 Mission	1985	Arkipelago Books	RETAIL BUSS	A	NONE
3516018	1582 Folsom	1985	Mercury lounge	RETAIL BUSS		
3703026	1010 Mission	1985	Bayanihan Multipurpose Center	C.FACILITY	A	NONE

BLOCK/ LOT	CURRENT ADDRESS	YEAR BUILT	ASSET USE/TYPE	TYPE	ACTIVE /NON (A/N)	CURRENT RATING
	1010 Mission	1985	Bayanihan computer center	C.FACILITY	A	NONE
3728007	705 Natoma	1994	Canon Kip Senior Center	SOCIAL SERVICES	A	NONE
	539 Minna St.	2000	Tutubi Mural	MURAL		
	BC School	2000	Flores de Mayo	STREET FEST		
	YB Gardens	2000	Fil-Am Jazz Festival	STREET FEST		
	Jesse Square	2003	Parol Lantern	STREET FEST		
	VMD Park	2003	SOMA Fest	STREET FEST		

Finally, the San Francisco Lantern Parade began in 2003 in South of Market. It is the Filipino community's gift and contribution to the multicultural fabrics of San Francisco. The parade of lights stretches from the Bayanihan Community Center at 6th and Mission, and culminates in a celebration with performances at Yerba Buena Gardens. The Festival is a special point of pride, not only to the Bay Area's Filipino community, but also to the South of Market neighborhood.

# Recognizing, Protecting and Memorializing South of Market LGBTQ Social Heritage Neighborhood Resources

September 18, 2011



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DRAFT





## FINDINGS and PURPOSE

After many small meetings with members of the Lesbian Gay Bisexual Transgender Queer (LGBTQ) community, the Western SoMa Task Citizens Planning Task Force is proposing to celebrate the LGBTQ neighborhood legacy. Using creative means to educate, acknowledge diversity and the value of LGBTQ neighborhood resources, the community proposes to memorialize and recognize the living LGBTQ social heritage and fabric of this San Francisco neighborhood.

*The places of everyday urban life are, by their nature, mundane, ordinary, and constantly reused, and their social and political meanings are often not obvious. It takes a great deal of research, community involvement and inventive signing and mapping to bring these meanings out, but this process can lead from urban landscape history into community-based urban preservation, as understanding the past encourages residents to frame their ideas about the present and future” (The Power of Place”, Dolores Hayden)<sup>1</sup>*

For the LGBTQ community within SoMa, social heritage is valuable and an important part of local, regional and world history. Therefore, LGBTQ assets have been identified and mapped according to grassroots methodologies for identification and analysis. The community has also provided recommendations for celebrating these past and present neighborhood resources.

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<sup>1</sup> Dolores Hayden, *The Power of Place*, Cambridge, Mass: MIT Press, 1995.

## Using the Urban Landscape to Celebrate Social Heritage

The **DRAFT Western SoMa Community Plan**, (August 14, 2008) includes policies encouraging the preservation of social heritage.

Policy 6.1.1: **Survey, identify and evaluate historic and cultural resources in a manner that is consistent with the context statement prepared for the Western SoMa area.**

Policy 6.2.9: **Support the retention of “social heritage” values, properties and historic preservation districts within Western SoMa.**

The LGBTQ community in SoMa is proposing the following:

1. To establish boundaries for a LGBTQ Social Heritage Special Use District (SUD) that demarcates core social heritage assets.
2. To identify and classify individual assets.
3. To sustain on-going research and policies that encourages the preservation of local social heritage and local culture through the Western SoMa Plan and other means.
4. To use the urban landscape to celebrate public history, using public features as a way to educate and accept diversity, leaving an important legacy at the heart of the neighborhood.
  - a) Honor a handful of LGBTQ sites which have embodied the essence of the neighborhood legacy with individual commemorative inscription and symbols.
  - b) Create a social-heritage path or tourist trail which celebrates collective important and valuable events and traditions such as festivals and street fairs still growing into local, regional and even world-wide history.
  - c) Seek funding to produce a booklet on important LGBTQ sites South of Market. Published by Labor Archives, *The San Francisco Labor Landmarks Guide Book: A Register of Sites and Walking Tours* (edited by Susan Sherwood and Catherine Powell) could serve as a model.
  - d) Propose renaming streets and alleyways after some of the major figures of local leather history.

## JUSTIFICATION



South of Market has long been one of the major neighborhoods for San Francisco's LGBTQ populations. Before the 1960s, much of this LGBTQ activity was concentrated along the old waterfront. Historian, Allan Berube, has noted the extent to which local gay life overlapped and intermixed with the San Francisco world of sailors, merchant seamen, longshoremen, and others who worked the wharves and shipyards and lived nearby. The Embarcadero was known as a gay male cruising area at least as far back as the 1920s. Berube writes, "Along the waterfronts in port cities were complex sexual cultures that incorporated... erotic arrangements between men.... On the Embarcadero in San Francisco, for example, before the 1960s, were hundreds of cheap hotels, taverns, lunch rooms, cafeterias, union halls, and the YMCA where maritime and waterfront workers and servicemen hung out and interacted with others outside their worlds." Berube explains that by the 1950s, "what might have been described as the early gay bars and nightlife in San Francisco might more appropriately be called the homosexual aspects of waterfront culture. These often attracted gay men from other parts of the city."

<sup>2</sup>

Police crackdowns along the Embarcadero in the mid-1950s and early 1960s pushed gay bars and their patrons west. The Polk Street and Folsom Street neighborhoods became densely and visibly gay during the 1960s. Before the emergence of the Castro in the 1970s, Polk Street was the major gay residential and commercial center, while Folsom and South of Market drew the "leather" crowd.

The Tool Box, a bar that opened at 399 Fourth Street at Harrison in 1962, was the first gay leather bar South of Market. The leather scene moved to what would become its "main street" in 1966, when Febe's and the Stud opened on Folsom Street between 11<sup>th</sup> and 12<sup>th</sup> Streets. The Ramrod followed in 1968, and soon several other bars opened along

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<sup>2</sup> Berube, Allan. 1993. "Dignity for All": The Role of Homosexuality in the Marine Cooks and Stewards Union (1930s-1950s)." Paper presented at the conference Reworking American Labor History: Race, Gender, and Class. Madison.

a three-block strip of Folsom Street, establishing a core area economy which continued to expand in the 1970s that anchored a burgeoning “leather” district.<sup>3</sup>

By the end of the 1960s, San Francisco leather bars had become heavily concentrated along Folsom Street, and leather bars and businesses sprouted in the surrounding blocks. By the late 1970s, South of Market had become one of the most extensive gay leather neighborhoods in the world. As a result, gay South of Market acquired a number of nicknames, including the “Folsom”, the “Miracle Mile”, and the “Valley of the Kings.” While the Castro was unquestionably the center of local gay politics, the Folsom had become the sexual center. The same features that made the area attractive to leather bars made it hospitable to other forms of gay sexual commerce. Most of the local gay bathhouses and sex clubs also nestled among the warehouses South of Market. <sup>4</sup>

The gay and leather occupation South of Market reached its zenith by 1982 then shrank dramatically in the mid 1980s before stabilizing by the early 1990s.<sup>5</sup> Today, the gay and leather presence is still significant, most visibly in the small concentration of gay leather bars, shops, and sex clubs bounded by Folsom, Harrison, Fifth and Twelfth Streets, and in the annual *Folsom Street Fair* and the *Up Your Alley* fair.

### **Folsom Street Fair**



As Dolores Hayden has observed, “Festivals and parades also help to define cultural identity in spatial terms by staking out routes in the urban cultural landscape. Although their presence is temporary they can be highly effective in claiming the symbolic importance of places. They inter-mix vernacular arts traditions (in their costumes, floats, music, dance, and performances) with spatial history.”<sup>6</sup>

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<sup>3</sup> Rubin, Gayle, 2000: “Sites, Settlements, and Urban Sex: Archaeology And The Study of Gay Leathermen in San Francisco 1955-1995,” in Robert Schmidt and Barbara Voss, eds., *Archaeologies of Sexuality*, London, Routledge. 62-88.

<sup>4</sup> Rubin, Gayle, 1998 “The Miracle Mile: South of Market and Gay Male Leather in San Francisco 1962–1996,” in James Brook, Chris Carlsson, and Nancy Peters, eds., *Reclaiming San Francisco: History, Politics, Culture*, San Francisco, City Lights Books. 247-272.

<sup>5</sup> Rubin, Gayle. 1997. “Elegy for the Valley of the Kings: AIDS and the Leather Community in San Francisco, 1981-1996,” in Martin P. Levine, Peter M. Nardi, and John H. Gagnon, eds., *In Changing Times: Gay Men and Lesbians Encounter HIV/AIDS*, Chicago, University of Chicago Press. 101-143

<sup>6</sup> Hayden, *The Power of Place*, 38.

As LGBTQ presence South of Market began to shrink in the 1980s, two street fairs that would continue to define the neighborhood were founded. These Fairs have become important in claiming the gay and leather past South of Market, and in maintaining a gay and leather presence in the neighborhood.

The *Folsom Street Fair* began in 1984. It has become California's third largest spectator event. It is the world's largest leather event and showcase for BDSM products and culture.<sup>7</sup> It has grown as a non-profit charity, and local and national non-profits benefit with all donations at the gates going to charity groups as well as numerous fundraising schemes within the festival including games, beverage booths and even spankings for donations to capitalize on the adult-themed exhibitionism.

According to the organizers, over its 17 year history, a conservative calculation is that the *Folsom Street Fair* has returned over four million dollars in earned revenue to local and national charities.

The *Up Your Alley Fair* was started in 1985. Originally held on Ringold Alley, it later moved to Dore Alley. *Up Your Alley* is a smaller and more local event, but it too is an important annual festival. The *Up Your Alley* and *Folsom Street* fairs are now run by the same organization, and both raise funds for many community charities and organizations.

### **Special Challenges of Moral Regions - Identification and Preservation**

Throughout the 20<sup>th</sup> century, large industrial cities such as San Francisco were major locations where gay, lesbian, and transgender communities were able to form and occupy territory. This process of sexual concentration and territorialization was recognized by the early urban sociologists, such as Robert E. Park, who famously coined the terminology of "moral regions." In a city, said Park, "the population tends to segregate itself, not merely in accordance with its interests, but in accordance with its tastes or its temperaments... Every neighborhood, under the influences which tend to distribute or segregate city populations, may assume the character of a moral region."

Such, for example, are the vice districts, which are found in most cities. A moral region is not necessarily a place of abode. "It may be a mere rendezvous, a place of resort.... We must then accept these 'moral regions' and the more or less eccentric and exceptional people who inhabit them, in a sense, at least, as part of the natural, if not the normal, life of a city. It is not necessary to understand by the expression 'moral region' a place or a

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<sup>7</sup> [http://en.wikipedia.org/wiki/Folsom\\_Street\\_Fair](http://en.wikipedia.org/wiki/Folsom_Street_Fair)

society that is either necessarily criminal or abnormal. It is intended rather to apply to regions in which a divergent moral code prevails, because it is a region in which the people who inhabit it are dominated, as people are ordinarily not dominated, by a taste or a passion or by some interest.... It may be an art, like music, or a sport, like horse-racing...Because of the opportunity it offers, particularly to the exceptional and abnormal types of man, a great city tends to spread out and lay bare to the public view in a massive manner all the human characters and traits which are ordinarily obscured and suppressed in smaller communities." Clearly, gay neighborhoods are such "moral regions."<sup>8</sup>

Clearly, gay neighborhoods are such "moral regions." Such neighborhoods, however, do not tend to inhabit or produce a built environment of particular architectural significance. They tend to be located in relatively undercapitalized neighborhoods with small scale investment in the built environment. Their importance lies in the uses to which those buildings are put rather than the buildings themselves, and this creates special problems for the social preservation of sexual landscapes. These difficulties are similar to those that have been identified for other populations with limited resources.

*"A socially inclusive urban landscape history can become the basis for new approaches to public history and urban preservation. This will be different from, but complimentary to, the art-historical approach to architecture that has provided a basis for architectural preservation. A more inclusive urban landscape history can also stimulate new approaches to urban design, encouraging designers, artists, and writers, as well as citizens, to contribute to an urban art of creating a heightened sense of place in the city." (The Power of Place", Dolores Hayden)<sup>9</sup>*

In The Power of Place, architectural historian Dolores Hayden notes the challenges of social heritage preservation that is focused on uses, meanings, and memories rather than on the architectural significance of individual structures, and she observes that these issues are particularly salient with respect to ethnic minorities, working class populations, and women. Hayden comments that "urban landscapes are storehouses for these social memories, because natural features such as hills or harbors, as well as streets, buildings, and patterns of settlement, frame the lives of many people and often outlast many lifetimes. Decades of 'urban renewal' and 'redevelopment' of a savage kind have taught many communities that when the urban landscape is battered, important collective memories are obliterated." She observes that "The power of place–

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<sup>8</sup> Park, Robert E and Ernest W. Burgess. 1925. The City. Chicago: University of Chicago Press.

<sup>9</sup> Hayden, Dolores. 1995. The Power of Place: Urban Landscapes as Cultural History. Cambridge, MA: MIT Press.

the power of ordinary urban landscapes to nurture citizens' public memory, to encompass shared time in the form of shared territory— remains untapped for most working people's neighborhoods in most American cities, and for most ethnic and most women's history."<sup>10</sup>

Hayden suggests that for preservation efforts to be inclusive of gender, race and class, they must claim "the entire urban cultural landscape as an important part of American history, not just its architectural monuments. This means emphasizing the building types— such as tenement, factory, union hall, or church— that have housed working people's everyday lives." While Hayden briefly mentioned gay and lesbian territories, her discussion did not symmetrically address the histories of minority sexual communities.<sup>11</sup> in her discussion, but her framework can and should be extended to articulate the specific challenges of preserving the sense of sexual place. In the case of LGBTQ populations, this means recognizing the ways in which quite ordinary buildings have been utilized as important social locations. This in turn requires understanding the inventory of institutions of LGBTQ social life, which for most of the 20<sup>th</sup> century, consisted of the following: bars, bath houses and sex clubs, retail shops, small scale production facilities, publications and press, cruising areas, residential concentrations, locations of special events, and organizational headquarters. South of Market is dense with such sites.<sup>12</sup>

Finally, many, if not most, of the gay sites South of Market are also part of the history of San Francisco's working class. In a 1982 article on gay South of Market, Mark Thompson called the neighborhood "the city's backyard." He commented that "An early morning walk will take a visitor past dozens of small business manufacturing necessities; metal benders, plastic molders, even casket makers can all be seen plying their trades. At five they set down their tools and return to the suburbs.... A few hours later, men in black leather...will step out on these same streets to fill the nearly 30 gay bars, restaurants and sex clubs in the immediate vicinity. Separate realities that seldom touch and, on the surface at least, have few qualms about each other."<sup>13</sup>

What Thompson did not realize at the time is that most of the places patronized by those men in black leather had once been part of the neighborhood's industrial past. As the city increasingly lost industry after World War II and as the port declined, much of the built environment of small scale production was vacated and available to be recycled

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<sup>10</sup> Hayden, Dolores. 1995. The Power of Place: Urban Landscapes as Cultural History. Cambridge, MA: MIT Press.

<sup>11</sup> *Ibid.*, 23.

<sup>12</sup> Thompson, Mark. 1982. "Folsom Street." The Advocate, 8 July, 28-31, 57.

<sup>13</sup> Thompson, Mark. 1982. "Folsom Street." The Advocate, 8 July, 28-31, 57.

into new uses. Timothy Stewart-Winter has noted that the emergence of the Castro as a gay neighborhood was made possible by the exodus of the working class population to the suburbs, which made working class housing, bars, and retail venues similarly available.<sup>14</sup>



*Photos from the left: The Eagle (bar), Hide (nightclub), Mr. S Leather Co. (retail) provided by Derek Abrego*

A similar process created the LGBTQ South of Market. Because of its industrial character, the industrial dispersion after World War II was especially pronounced South of Market, and gay re-utilization of its vacated landscape was especially dramatic. Thus, memorializing the gay history of South of Market will also highlight some aspects of its working class history. It will also demonstrate the extent to which urban history is a richly layered with consequence of the residues of meaning and memory that many populations and diverse activities leave along streets that look ordinary and in buildings that appear to be nondescript. Much of this underutilized industrial built environment was recycled as gay social space: factories and tenement buildings became sex clubs and bathhouses, machine shops became leather shops, and lunchrooms and taverns that had fed and watered the local working class population became gay bars.

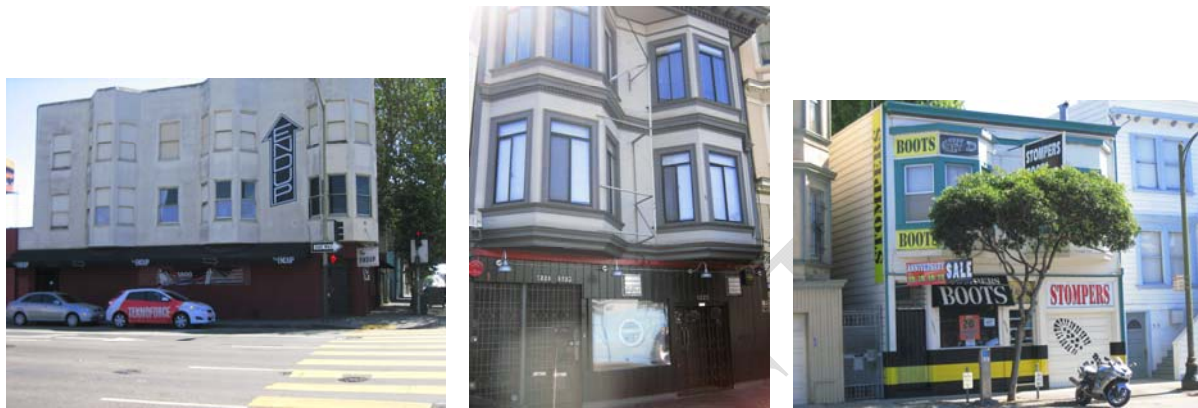
While South of Market has had a particularly strong association with gay male leather, it was also a significant neighborhood for other elements of the local LGBTQ population. Although LGBTQ individuals have been well represented among the residential population, the LGBTQ presence in the neighborhood has been expressed more through commercial and social institutions than by residential concentration. The same features that made the area attractive to leather bars made it hospitable to other forms of gay sexual commerce. Most of the local gay bathhouses and sex clubs also nestled among the warehouses South of Market. Similarly, the availability of relatively low cost office space drew a substantial portion of the gay press as well as organizational headquarters. In addition, there have been numerous gay owned businesses that served a broad clientele,

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<sup>14</sup> Timothy Stewart-Winter, "The Castro: Origins to the Age of Milk," *The Gay and Lesbian Review*, January-February 2009, 12-15.



ranging from printers to shops that cleaned commercial cooking equipment. While lesbian businesses, organizations, and residents have clustered more densely in other areas, such as the Mission and Bernal Heights, there have been a number of significant lesbian sites South of Market. And despite the centrality of the Tenderloin as the focal neighborhood for San Francisco's transgender population, South of Market has also had a transgender presence. For example, Alexis Muir, a transsexual, owned the buildings that housed several major leather bars.



*Photos from the left: The End-Up (bar), Chaps II (nightclub), Stompers Boots (retail) provided by Derek Abrego*

## FEATURES and INDIVIDUAL ASSETS

Honoring and acknowledging the presence of LGBTQ businesses is acknowledging gathering places, such as bars and public baths with educational plaques, noting them as important to gay/leather SoMa history. Recognizing individual assets in context is recognizing a collection of resources of collective memory, despite some of them being located outside the boundaries of Western SoMa Plan area and the associated Western SoMa Special Use District (SUD).

### Bars

- The Tool Box--399 4<sup>th</sup> at Harrison
- Febe's--1501 Folsom
- The Ramrod--1225 Folsom (also My Place, now Chaps II )
- The Brig-- 1347 Folsom (also the Inbetween, the No Name, the Bolt, the Powerhouse )
- The Arena – 399 Ninth Street (also the Stud)

- The Ambush – 1351 Harrison Street
- The Lone Star – 1098 Howard; 1354 Harrison Street
- The Black and Blue -- 198 Eighth Street
- The BayBrick Inn – 1188-1190 Folsom (lesbian bar; also Clementina's, Headquarters)
- The Bootcamp – 1010 Bryant Street
- The Red Star Saloon – 1145 Folsom Street
- The Cave – 280 Seventh Street (also the Rawhide II)
- Chaps – 375 Eleventh Street
- Cocktails and The Pit – 201 Ninth Street
- The Leatherneck – 280 Eleventh Street (also the Covered Wagon, Dirty Sally's, The Plunge, the Gold Coast, Drummmaster, the Compound).
- The End Up – 401 Sixth Street
- The Watering Hole – 298 Sixth Street (also the Gas Station, the Round Up)
- San Francisco Eagle/Eagle Tavern – 398 Twelfth St
- The Stables – 1123 Folsom Street
- The Stud – 1535 Folsom (aka Holy Cow)
- Hole in the Wall – 289 Eighth Street (now 1369 Folsom Street)

#### **Bathhouses/Sex Clubs**

- The Folsom Street Barracks-- 1147 Folsom
- The Slot-- 979 Folsom also the Hula Shack, Rama, The Lumberyard
- The Cauldron--953 Natoma
- The Sutro Baths -- 1015 Folsom (also Big Town, Folsom Street Baths, Colossus, Product, 1015)
- Mr. B's Ballroom – 224 Sixth St
- Blowbuddies -- 933 Harrison
- The Hothouse – 374 Fifth Street
- The Handball Express—973 Harrison Street
- Animals – 161 Sixth Street
- The Club Baths aka Eighth and Howard – 201 Eighth Street
- The Club Baths aka The Ritch Street Baths – 330 Ritch Street
- The Folsom Street Club – 1389 Folsom Street (also Cornholes)
- 890 Folsom -- 890 Folsom Street
- Mack – 317 Tenth Street? (now at 1285 Folsom Street)
- South of Market Club/Gloryholes – 225 Sixth Street

## **Retail and Small Production Facilities**

### **Leather Shops**

- Mr. S. 4 locations: 227 Seventh Street, 1779 Folsom Street, 308-310 Seventh Street, 385 Eighth Street Madame S. 321 Seventh Street, not at 385 Eighth Street.
- A Taste of Leather -- 1501 Folsom, 960 Folsom, 336 Sixth Street, 317 Tenth Street, 1285 Folsom Street (also Mack)
- 768 Clementina – Taylor of San Francisco

### **Clothing and Apparel**

- Stompers Boots -- 323 10<sup>th</sup> Street
- Worn Out West -- 1158 Howard (also Stormy Leather)

### **Art Galleries**

- Fey–Way -- 1287 Howard Street
- 544 Natoma – 544 Natoma

### **Restaurants**

- Hamburger Mary's – 1582-1590 Folsom Street
- Canary Island Diner – 1270 Harrison Street
- Off the Levee/527 – 527 Bryant Street

### **Publications and Press**

- Drummer Magazine (aka Alternate Publications, Desmondus, Inc) -- (At 3 locations: 15 Harriet, then 285 Shipley, then 24 Shotwell.
- Bay Area Reporter – 395 Ninth Street
- Brush Creek Media – 367 Ninth Street
- Bay Times – 288 Seventh Street
- The Sentinel – 285 Shipley
- Pan-Graphic Press - 689 Mission Street

### **Hotels**

- Folsom Street Hotel – 1082 Folsom Street

### **Alleys**

- **Ringold Alley** was a major site of gay male cruising, especially after the bars closed. The original “Up Your Alley” Fair was held on Ringold in honor of that history. After the leather bars closed, men would congregate on the alley, which was right behind the Ramrod. Cars, bikes, and vans would circle the block to go

up the one way street. Before the empty lots were fenced in, other people would use them to park vans, some of which were fitted out with entire playrooms complete with slings and other sex equipment as well as sound systems and refrigerators and other amenities.

### **Organizational Headquarters**

- Templar Hall – 1127 Folsom Street
- The Fifteen -- 254 Ritch Street, then 249 Capp Street, also 191 Post Street.

### **National Political Organization Headquarters**

- National Leather Association – 1250 Folsom Street
- The Mattachine Society--689 Mission Street
- Frameline-- 145 Ninth Street

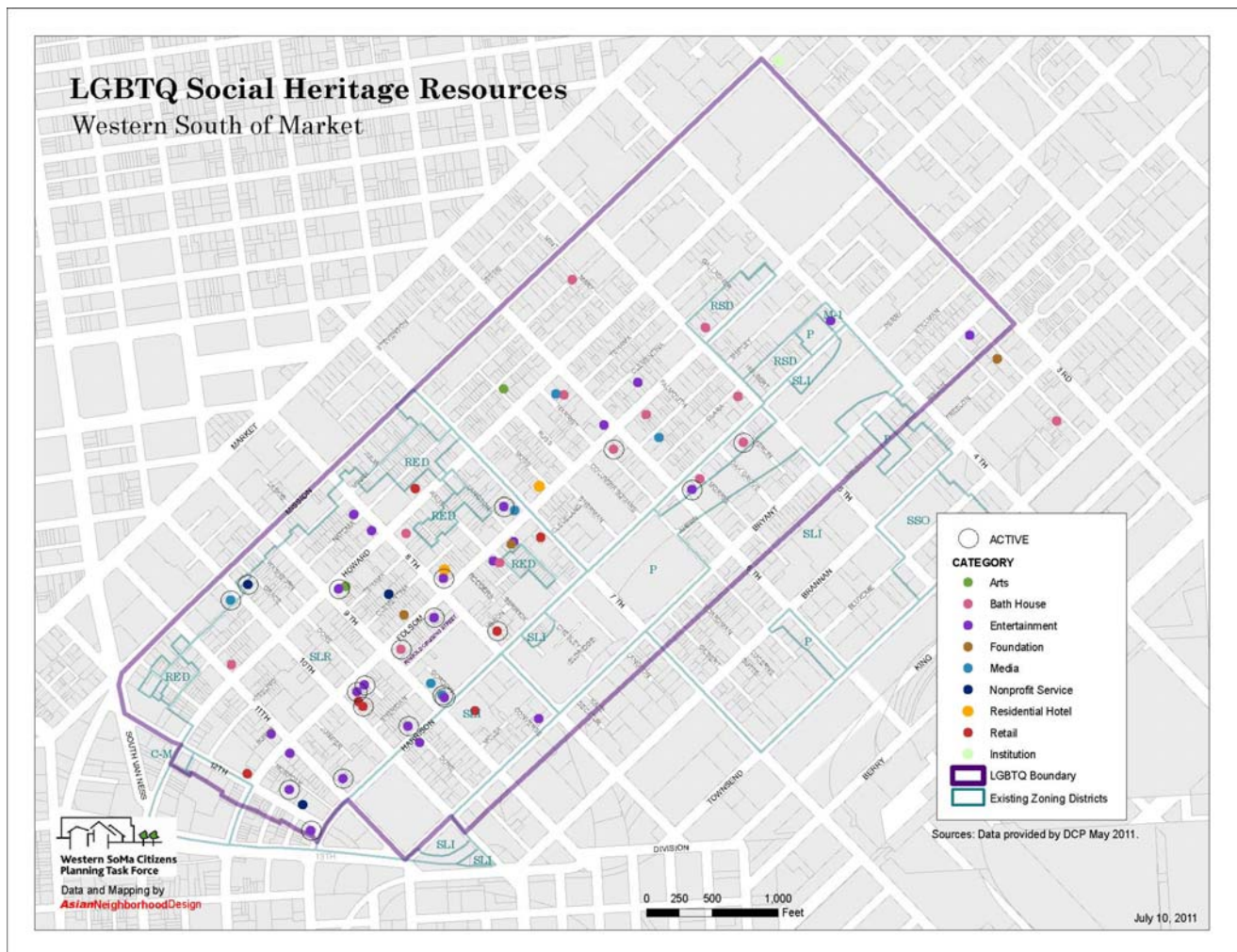
### **Religious Organizations**

- Service of Mankind Church 367 Twelfth (heterosexual)
- Church of the Secret Gospel – 744-746 Clementina (also 735 Tehama, 340 Sixth Street)



*Photos from the left: The Stud (bar), Power House (bar), A Taste of Leather (retail) provided by Derek Abrego*

# BOUNDARIES and PROPOSED TREATMENTS



The Western SoMa Citizens Planning Task Force and City sponsored surveys have already recognized a potential historic district largely inside the Western SoMa SUD. The community also recognizes that many of the individual LGBTQ cultural assets are located throughout SoMa.

## HERITAGE PATH

The LGBTQ community is proposing a “heritage path.” This path traces places and events that took place at these streets and alleys during the latter half of the 20<sup>th</sup> Century through today, as fairs, festivals, social services and continued business operations. Exact path location and designation is to be determined through further discussion with the community.

## RENAMING OF THE STREETS

Renaming of some streets has been suggested by the community and a partial list of suggestions follows. A process nomination and careful evaluation of potential honorees will have to be developed.



A comprehensive list of suggestions will be determined through further discussion with the community.

Marcus Hernandez, whose decades of writing a weekly leather column helped define and publicize South of Market as a gay neighborhood.

All of these individuals are deceased.

- ✓ Chuck Arnett, the artist who painted the mural in the Tool Box that was featured in Life Magazine in 1964. This image more than any other came to represent leather South of Market
- ✓ Alan Selby, who owned Mr. S. Leather, became one of the most active fundraisers during the AIDS crisis
- ✓ Anthony DeBlase, who as publisher of Drummer designed the Leather Pride Flag and established Leather Pride Week in San Francisco

- ✓ And Michael Valerio, who along with Kathleen Connell founded the Folsom Street Fair, primarily as a way to protest against rampant and uncontrolled redevelopment of South of Market and to show that South of Market was indeed a vital and viable neighborhood that deserved to be preserved rather than demolished.

## THE MUSEUM AND BOOKLET

The greater LGBTQ community is also proposing a museum or series of smaller permanent exhibition sites. Designation and location of the proposed museum is to be determined through further discussion with the community.

## STANDARDS and GUIDELINES for REVIEW of NEW CONSTRUCTION

The LGBTQ community is proposing the use of specific social heritage resource tools and programs in the cases an identified Filipino asset could be subject to change or loss through a building restoration, remodeling or demolition. However, the community wishes to add a set of strict policies to follow in the cases of remodeling including change of use as follows. The recommendations, which include urban design, economic, and zoning programs, are:

- a. To establish a Social Heritage Citizens Advisory Committee that will provide guidance and advice to the Planning Department regarding the preservation, protecting and memorialization of identified social heritage resources.
- b. To perpetuate LGBTQ business by requiring to replace business in-kind with special Certificate of Heritage Compliance.
- c. To work with the Department of Public Works and support the perpetuation of the Parol Lantern Festival with permanent urban design elements in the form of street lights and pavement.
- d. To establish Floor Area Ratio (**FAR and/or Height**) exemptions for the replacement of LGBTQ Social Heritage SUD assets.
- e. Whenever replacement in-kind is impossible, dedicate a portion of the new development to community arts projects or dedicate a portion of the new development for community public events and the arts, following specific criteria for Certificate of Heritage Compliance.

- f. To place commemorative inscription in the sidewalks corresponding to some of the most significant social heritage assets in the District, similar to that of the Barbary Coast<sup>15</sup>, for educational walking tours.

The community is recommending celebrating public history, using public features as a way to educate and recognize diversity accepting this Social Heritage SUD as leaving an important legacy at the heart of the neighborhood. When new construction proposals are made for sites containing identified neighborhood social heritage resources, the following table summarizes the proposed treatments.

For additional details and explanations of the programs summarized below, please refer to Appendix 2 of this report.

DRAFT

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<sup>15</sup> Barbary Coast was a pleasure quarter in old San Francisco CA. The neighborhood quickly took on its seedy character during the California Gold Rush (1848 - 1858). It was known for gambling, prostitution, and crime. It is now overlapped by Chinatown, North Beach, Jackson Square, and the Financial District



## Tools for Recognizing, Protecting and Memorializing Identified Social Heritage Resources in Proposed Western SoMa Social Heritage SUDs

	Resource Status	Programs	Historic Resource Only	Heritage Resource Only	Historic and Heritage
			plenty of tools apply to historic resources	social heritage resources	if social resource is located in a historical structure
<b>Urban Design Tools</b> streetscape, street lighting, special pavements, commemorative plates, etc	Retention	Administrative Certificate of Heritage Compliance (TBD) <small>(given to development who voluntarily include new urban design elements that commemorate social heritage)</small>	NO	<b>YES</b>	YES
	Retention	Streetscape improvement & public/cultural art elements (lighting, pavement, murals, etc)	NO	<b>YES</b>	YES
	Retention or Loss	Commemorative Plate	NO	<b>YES</b>	YES
<b>Zoning Tools</b> these tools consist of changes in the zoning code	Retention	FAR Exemption (TBD)	NO	<b>YES</b>	YES
	Retention	Height Bonus (TBD)	NO	<b>YES</b>	NO
	Retention	TDRs - either as private transaction to pay for TIs or mediated to go to a fund for business TA in the district	YES	<b>YES</b>	YES
	Retention	Community Benefit Exemption	YES	<b>YES</b>	YES
	Loss	Elimination of Height Bonus	YES	<b>YES</b>	YES
<b>Economic Incentives/ Fees Tools</b> local economic incentives, fees,	Retention	Historic/Cultural & Local Tax Credits (negotiated w/OEWD)	YES	<b>YES</b>	YES
	Retention	Tenant & Façade Improvements and other technical assistance (TA) to help existing business expand or improve - marketing, lease negotiation, etc	YES	<b>YES</b>	YES
	Loss	Community Benefit/Business Relocation Fee - to pay for relocation assistance such as brokers, lease negotiation, tenant improvements in new space, moving assistance, etc.	NO	<b>YES</b>	YES
	Loss	Enrollment in business incubator program (Mission only perhaps) - to create matches between developers and incubating businesses early in the development process	NO	<b>YES</b>	YES
	Loss	Must provide a first right of refusal to a displaced business; or select a non-formula retail principally permitted local business; or a master lease; or provide a community-use based on need (childcare, nonprofit), etc..	NO	<b>YES</b>	YES

## Appendix 1-Types of Designation

The National Park Service has a set of standards for preservation, rehabilitation, restoration and reconstruction of historic assets. These standards are neither technical nor prescriptive, but are intended to promote responsible preservation practices that help protect US irreplaceable cultural resources. They cannot, in and of themselves, be used to make essential decisions about which features of the historic building should be saved and which can be changed. But once a treatment is selected, the Standards provide philosophical consistency to the work. They are conceptual, and therefore, they need to be reinforced with specific Design Standards, Economic Development Incentives and Review Processes that provide tangibility.

### Types of Treatment addressed in National Register

**Preservation** is the first treatment and it places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made.

**Rehabilitation** is the second treatment, emphasizes the retention and repair of historic materials, but more latitude is provided for replacement because it is assumed the property is more deteriorated prior to work.

**Restoration** is the third treatment, focuses on the retention of materials from the most significant time in a property's history, while permitting the removal of materials from other periods.

**Reconstruction** is the fourth treatment, establishes limited opportunities to re-create a non-surviving site, landscape, building, structure, or object in all new materials.

## Appendix 2- LGBTQ Heritage SUD Mitigation Measures

### FAR EXEMPTION

Floor Area Ratio is the ratio obtained by dividing the floor area of a building by the total area of the parcel upon which the building is erected. Floor Area Ratio is the minimum to maximum proportional development that could occur in a parcel. Different FAR is required in all different zoning districts. Example: in an NC, NC-T or NC-S zoning, the FAR is 1.8 to 1, meaning that in a parcel or lot of 4,500 square feet, a maximum development of 8,100 square feet could occur.

In Chinatown, the FAR requirement for total development is waived in the form of moving the use to another location. Code Section and Interpretation 124.1 (d) explains that the floor area ratio normally applying to the Chinatown Mixed use district shall not apply to uses which must relocate as a result of acquisition by the City.

Typically, if a community wants population and economic growth to continue, then land must be used more intensively. Using land more intensively will result in changes to height and density within the existing parts of the city. Some cities propose to direct growth in certain parts of the city, such as in major nodes and public transit oriented intersections, where heights increase should occur only, under specific design guidelines, limitations of density, specific community needs and urban principles hierarchies.

The LGBTQ Social Heritage SUD is proposing to grant FAR exemption for “replacement in-kind” of a traditional retail business

- In order to maintain and keep the business local as it was originally intended.
- Whenever replacement in-kind is not possible, a second mitigation is allowed, dedicating a portion of the new development to community arts projects, public events and arts, following specific criteria for Certificate of Heritage Compliance.

## CERTIFICATE OF HERITAGE COMPLIANCE

A proposed Certificate of Heritage Compliance (COHC) is a document approving work on local properties in social heritage districts based on consistency with applicable design guidelines or standards. The procedures for COHC will need to be codified.

The LGBTQ Social Heritage SUD is proposing to establish an Administrative Certificate of Heritage Compliance to be granted by the Zoning Administrator for replacement in-kind of an identified at-risk LGBTQ business. Administrative Certificate of Heritage Compliance can be granted if certain conditions are established and followed.

- Certificate of Heritage Compliance would be given to new development that allows at least 2,500 square feet to replace traditional LGBTQ business that contributed to the local LGBTQ history in South of Market.
- Certificate of Heritage Compliance would be given whenever replacement in-kind is not possible, and a portion of not less than 2,000 square feet is dedicated to community arts projects, public events and local artists.

## ECONOMIC DEVELOPMENT, TAX EXEMPTIONS and TAX INCENTIVES

In the case of Colonial Heights, Virginia, partial exemption from real estate taxes (tax relief) is allowed for qualifying rehabilitated or renovated structures. For those properties that qualify, the initial increases in real estate taxes resulting from rehabilitation or renovation is excused for ten (10) years. As an economic incentive, a partial tax exemption for restoration and retention of identified resources and other local economic incentives should be analyzed and considered.

In San Francisco, existing financial incentives that can be applied for preservation include:

**Property Tax Reduction:** The Mills Act is perhaps the best preservation initiative available to private property owners in San Francisco.

**Loans:** The city has several loan programs administered the Mayor's office of Housing (MOH) and the Mayor's office of Economic Development (MOED) to assist in the rehabilitation of residential resources.

- Code Enforcement Rehabilitation Fund (CERF) The CERF program offers a hardship loan for a minimum of \$4,250 and maximum of \$15,000 to correct any

conditions, which the City has determined in violation of the existing building code.

- Unreinforced Masonry Building (UMB) Loans: In 1992, San Francisco voters authorized the issuance of \$4,350 million in bonds to make loans available to owners of UMB buildings.

## **URBAN DESIGN and HEIGHTS EXEMPTIONS**

Regarding heights, a proposed height exemption could be considered under the following circumstances:

- a. Restoration or replacement in the neighborhood of an in-kind of a LGBTQ identified resource.

## **VISION, MISSION AND PUBLIC PARTICIPATION**

It may prove very helpful in guiding mitigation determinations that a local advisory Committee be established to review new proposals for restoration or the application of mitigation measures in the cases of demolition.

**VISION:** The vision should support a comprehensive program of social heritage preservation at all levels of community and government to promote the use and conservation identified social resources for the education, inspiration, pleasure and enrichment of the public in a spirit of stewardship and trusteeship for future generations.

**MISSION:** The statement should provide leadership in preserving, restoring and maintaining social heritage resources through activities, plans and programs that support the preservation and protecting of these resources.

**PUBLIC PARTICIPATION:** If Western SoMa social heritage resources are to be preserved, the neighborhood representatives of Western SoMa must actively promote their preservation.

## WORKING WITH OTHER AGENCIES

Interagency work is vital in the process of social heritage preservation, protecting and memorialization. Many times, a social heritage landscape being saved from development is a success story because of grassroots activism, and common ground between land conservation and historic preservation efforts.

The LGBTQ Social Heritage SUD Proposal for Western SoMa proposes to work with the Department of Public Works and support the perpetuation of the Parol Lantern Festival with permanent urban design elements in the form of street lights and pavement.

Also, working with both the Department of Public Works and the Chamber of Commerce would be ideal to place commemorative inscriptions in the sidewalks corresponding to some of the most significant social heritage assets in the District, similar to that of the Barbary Coast<sup>16</sup>, for educational walking tours.

## INTERPRETIVE PROGRAM

Many times the wish to preserve a place offers unique opportunities to develop educational and interpretive programs that integrate environmental and social heritage history together.

The LGBTQ Social Heritage SUD Proposal for Western SoMa proposes development of a Certificate of Heritage Compliance for development proposals that cannot replace LGBTQ traditional business in-kind, and a portion of not less than 2,000 square feet is dedicated to community arts projects, public events and local artists. This space would serve for education of local history by a socially appropriate artist.

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<sup>16</sup> Barbary Coast was a pleasure quarter in old San Francisco CA. The neighborhood quickly took on its seedy character during the California Gold Rush (1848 - 1858). It was known for gambling, prostitution, and crime. It is now overlapped by Chinatown, North Beach, Jackson Square, and the Financial District

## Appendix 3—LGBTQ Social Heritage Special Use District Survey

From 1941 to 1945, more than 9,000 gay servicemen and women were discharged, and many were processed out in San Francisco.<sup>17</sup> From 1940 to 1950, workers in World War II-related industries increased the population of SOMA by 37%.<sup>18</sup> World War II saw a jump in the gay population.

Physically in the 1950s San Francisco planning trend was to tear down huge areas of the city and replace them with modern construction. Many buildings located in South of Market disappeared and people were displaced. Culturally, during the 1950s, City Lights Bookstore in the North Beach neighborhood was an important publisher of Beat Generation literature. During the latter half of the following decade, and the 1960s, San Francisco was the center of hippie and other alternative culture.

Since the 1960s, South of Market has been a center for the leather subculture of the gay community. At the end of each September the Folsom Street Fair is held on Folsom Street between 7th and 12th Streets. The smaller and less-commercialized but also leather subculture-oriented Up Your Alley Fair (commonly referred to as the Dore Alley Fair) is also held in the neighborhood, in late July on Folsom between 9th and 10th Streets and in Dore Alley between Folsom and Howard.<sup>19</sup>

The late 1960s brought in a new wave of lesbians and gays who were more radical and less mainstream and who had flocked to San Francisco not only for its gay-friendly reputation, but for its reputation as a radical, left-wing center.

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<sup>17</sup> (Wikipedia, History of San Francisco)

<sup>18</sup> (<http://www.smhcsf.org/soma.html>)

<sup>19</sup> ([http://en.wikipedia.org/wiki/South\\_of\\_Market\\_\(San\\_Francisco\)](http://en.wikipedia.org/wiki/South_of_Market_(San_Francisco)))

The properties identified as part of the LGBTQ Social Heritage Special Use District proposal, are:

BLOCK LOT	STREET NUMBER	STREET NAME	OTHER ADDRESS	LGBT	CATEGORY	NAME	HISTORIC AND OTHER NAMES	YEAR BUILT	ACTIVE OR INACTIVE
3510003	128	10th			Media	Damron Company			ACTIVE
3509015C	131	10th			Nonprofit Service	Folsom Street Events			ACTIVE
3519043	323	10th		Fetish	Retail	Stompers Boots		1906	ACTIVE
3520021	375	11th		G	Entertainment	DNA Lounge	Chaps Bar	1900	ACTIVE
3522014	398	12th		Leather	Entertainment	Eagle Tavern	The Eagle	1906	ACTIVE
3760125	401	6th		LGBTQ	Entertainment	The End Up		1970	ACTIVE
3730009	280	7th			Entertainment	Rawhide II	The Cave	1906	ACTIVE
3730028	239	8th		G	Entertainment	Wicked Grounds	The Hole in the Wall	1907	ACTIVE
3755136	385	8th			Retail	Mr. S			ACTIVE
3729082	201	9th		T	Entertainment	Asia SF		1907	ACTIVE
3756005	395	9th		LGBT	Media	Bay Area Reporter		1908	ACTIVE
3756004	399	9th		G	Entertainment	The Stud Bar	Arena	1906	ACTIVE
3754057	1015	Folsom		G	Bath House	Sutro Baths	Big Town, Folsom Street Baths, Colossus, Product	1932	ACTIVE
3756045	1225	Folsom			Entertainment	KOK	Shaft, Chaps II, Ramrod	1909	ACTIVE
3756034	1287	Folsom			Bath House	Mack Club & Baths		1923	ACTIVE
3519053	1347	Folsom		G	Entertainment	The Powerhouse	In Between, Bolt, Brig, No Name	1907	ACTIVE
3519050	1369	Folsom			Entertainment	Hole in the Wall	Night Gallery, Folsom Street Club, Cornholes		ACTIVE
3521021	1585	Folsom			Entertainment	Holy Cow	The Stud		ACTIVE
3760135	933	Harrison		G	Bath House	Blow Buddies		1953	ACTIVE
3519013	1354	Harrison		G	Entertainment	The Lone Star Saloon		1907	ACTIVE
N/A					Street Fest	Up your Alley	Ringold Alley		ACTIVE
N/A					Street Fest	Folsom Street Fair			ACTIVE



BLOCK LOT	STREET NUMBER	STREET NAME	OTHER ADDRESS	LGBT	CATEGORY	NAME	HISTORIC AND OTHER NAMES	YEAR BUILT	ACTIVE OR INACTIVE
3519045	317	10th			Retail	Taste of Leather			INACTIVE
3516010	280	11th		G	Entertainment	Caliente	Covered Wagon, Dirty Sally, The Plunge, The Gold Coast, Drummaster, The Compound, The Leatherneck, Hot Rocks, Drummer Key Club	1929	INACTIVE
3722257	593	Mission		G	Nonprofit Service	St. Regis	Williams Building, housed the national headquarters of the two major homophile organizations—The Mattachine Society and Daughters of Bilitis—as well as Pan Graphic Press (one of the first gay printers/small presses in the US).	1950-1965	INACTIVE
3521019	367	12th		Het	Nonprofit Service	Service of Mankind Church		1907	INACTIVE
3752011 A	399	4th		G	Entertainment	The Tool Box		1924	INACTIVE
3753008	374	5th		G	Bath House	The Hothouse		1906	INACTIVE
3725001	161	6th		G	Bath House	Animals		1907	INACTIVE
3731002	224	6th			Bath House	Mr. B's Ballroom		1914	INACTIVE
3731002	225	6th		G	Bath House	Gloryholes		1914	INACTIVE
3731011	298	6th		G	Entertainment	The Watering Hole	Ges Station, Round Up	1913	INACTIVE
3754120	336	6th			Retail		Taste of Leather		INACTIVE
3730011	288	7th		LGBT Q	Media	Bay Times		1926	INACTIVE
3755004	310	7th		LGBT SF	Retail	Mr. S	Also at 227 7th St; currently 385 8th	1913	INACTIVE
3728006	164	8th			Entertainment	The Trench			INACTIVE
3730038	201	8th		G	Bath House	Club Baths		1900	INACTIVE
3728008	198	8th St.			Entertainment	The Black & Blue		1920	INACTIVE
3756009	367	9th		G	Media	Brush Creek Media		1930	INACTIVE
3776098	527	Bryant		G	Entertainment	Off the Levee Bar	also a restaurant, also known as the 527 Club and Chez Mollet	1907	INACTIVE
3757008	1010	Bryant		G	Entertainment	The Boot Camp		1915	INACTIVE
3729048	744	Clementina			Nonprofit Service	Church of the Secret Gospel		1909	INACTIVE
3733028	890	Folsom			Bath House	890 Folsom			INACTIVE
3732025	960	Folsom			Entertainment	Taste of Leather			INACTIVE
3753130	979	Folsom		G	Bath House	The Slot		1906	INACTIVE
3731125	1082	Folsom			Residential Hotel	Folsom St. Hotel		1906	INACTIVE
3755101	1123	Folsom		G	Entertainment	The Stables		1910	INACTIVE
3755100	1127	Folsom			Foundation	Templar Hall		1906	INACTIVE

BLOCK LOT	STREET NUMBER	STREET NAME	OTHER ADDRESS	LGBT	CATEGORY	NAME	HISTORIC AND OTHER NAMES	YEAR BUILT	ACTIVE OR INACTIVE
3755078	1145	Folsom			Entertainment	The Red Star			INACTIVE
3755079	1147	Folsom	10 Hallam	G	Bath House	Folsom Street Barracks	Bar entrance on Folsom and bath house entrance at 10 Hallam	1983	INACTIVE
3729015	1250	Folsom			Foundation	National Leather Association		1923	INACTIVE
3756034	1285	Folsom		LGBT S	Retail	A Taste of Leather		1923	INACTIVE
3521058	1501	Folsom		G	Entertainment	Febes Bar	Taste of Leather (upstairs)	1926	INACTIVE
3516018	1582	Folsom		G	Retail	Hamburger Mary's		1916	INACTIVE
3730027	1188-1190	Folsom			Residential Hotel	Baybrick Inn		1914	INACTIVE
3731116	15	Harriet		L	Media	Drummer Magazine		1921	INACTIVE
3760122	973	Harrison		G	Bath House	Handball Express Baths			INACTIVE
3757067	1279	Harrison			Retail	Canary island Diner			INACTIVE
3525074	1351	Harrison		G	Entertainment	The Ambush		1907	INACTIVE
3727022	1158	Howard		LGBT	Retail	Stormy Leather	Worn Out West	1924	INACTIVE
3729803	1287	Howard		G	Arts	Fey-Way		1908	INACTIVE
3726046	544	Natoma			Arts	544 Natoma		1908	INACTIVE
3510020	953	Natoma		G	Bath House	The Cauldron		1939	INACTIVE
3776106	254	Ritch			Fondation	The Fifteen		1915	INACTIVE
3787040	330	Ritch		G	Bath House	Ritch Street Baths		1919	INACTIVE
3753082	285	Shipley			Media	Drummer	The Sentinel	1907	INACTIVE

DESIGN STANDARDS FOR WESTERN SOMA SPECIAL USE DISTRICT  
Western SoMa Citizens Planning Task Force  
2011

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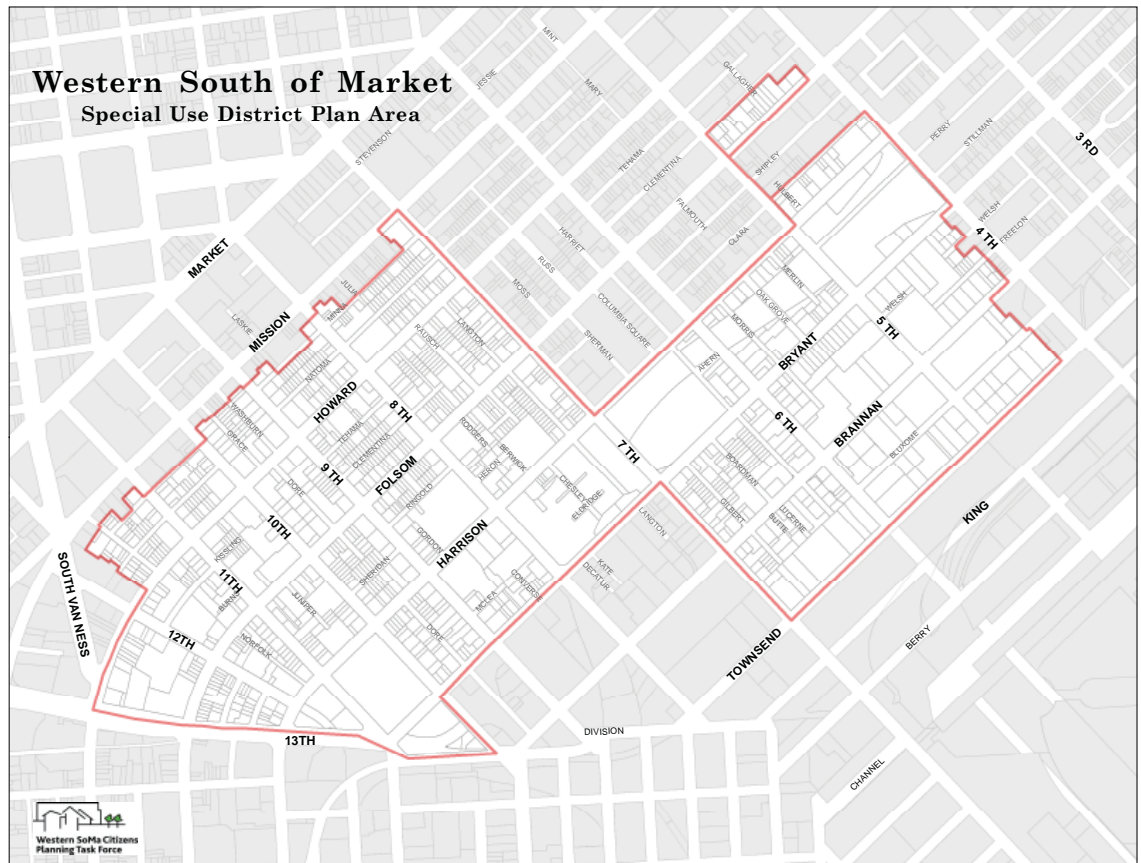
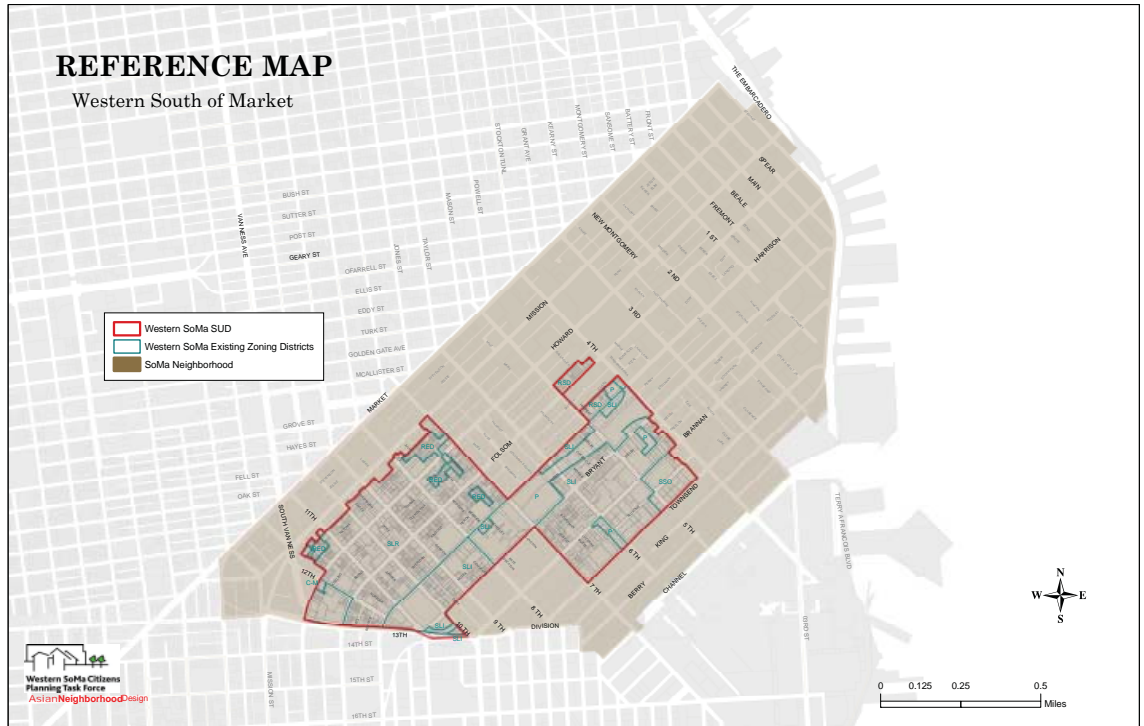
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# Introduction

## Why Design Standards in Western SoMa?

The Western SoMa Special Use District (SUD) possesses a number of unique design, populations and neighborhood characteristics. Design standards for this SUD provide direction for developers, architects and Planning Department staff in the neighborhood development proposals. These Standards supplement and support the policy direction set forth in the Western SoMa Community Plan. Additionally, these Standards are to be used along side and in conjunction with the Residential Design Standards in the RED and RED - Mixed Zones. Another companion and supplementing document applicable to the Folsom NCT, MUG, RCD, RED, and RED - Mixed zones are the “Ground Floor Residential Design Standards.”

The Western SoMa Task Force identified a street system hierarchy that distinguishes between regional, neighborhood serving and alley streets. Some of the principal traffic corridors such as 9th, and 10th Streets, as well as Harrison and Bryant Streets are one-way streets leading to and from the elevated highways. Other neighborhood serving streets have a greater potential for a “mix of uses” that enhance the complete neighborhood fabric.

## Use of the Western SoMa Design Standards

Users of this document can answer many of their questions about proposed new development design considerations through a review of the standards applicable in each Zoning District in the SUD. The document is organized to facilitate easy use by prescriptive standards for each and every Zoning District in the SUD. It is further detailed with standards layered on each Zoning District based on the considerations for sustainable development, lot size of the development proposal, the potential historic integrity of any structures on the development site and legally prescribed accessibility design considerations. These Design Standards supplement and are additive to and all existing Planning Code requirements.

For example, once a development site is identified, the user of this document should determine the Zoning and associated Planning Code

requirements, if the current building is historically significant, and if the subject Assessor's lot size exceeds one half of an acre. The applicable design standards are all of those that fall within the applicable Design Standards for that Zoning district and then layered with additional historic and lot size Design Standards chapters of this document. All lots in the Western SoMa Special Use District are subject to the accessibility and sustainability design standards contained in the applicable chapters of this document.

Throughout this document the organization follows a hierarchy of a design Goal, Principle and Standard. The intent is to express a spectrum of desired outcomes from a general Goal and working towards an increasingly specific Standard. Proposed building proposals should try to reflect the greatest possible acknowledgement and respect throughout this spectrum of desired design outcomes.

Based on its historic character, these neighborhood design standards support the vision of a vibrant community containing a mix of uses, built up over time around warehouse, commercial and light industrial uses. Western SoMa is characterized by different zones that vary in scale and use due to regional/citywide elements such as freeway arterials, the Hall of Justice and big box retail stores. The Western SoMa Community Plan sets forth goals of celebrating neighborhood physical and social diversity and maintaining its unique neighborhood character.



## Design Standards for Residential Enclave Districts

Residential Enclave Districts (RED) refer to the residential alleys that strip through the larger, more heavily circulated streets in Western SoMa. This zoning was originally established to protect the scale of the alleys and ensure that their uses remained residential.

These residential alleys are characterized by small lots, mostly 25 feet in width, with lot depths of less than the standard 100 feet found typically in San Francisco. They were carved out of the large VARA blocks, sometimes providing access to the wider South of Market Streets, like Harrison and Folsom. The small scale residential pattern, mostly built after the 1906 earthquake, ranges from one-story cottages and houses to multi-unit buildings (often referred to as “Romeo Flats” with three to seven units). Although the units are not large, many house families. There is often a pattern of rear yards at grade, creating mid-block open spaces. Many of the parcels do not contain off-street parking and associated curb cuts.

The preservation of the alleys was one of the major goals of the legislation that established of the Western SoMa Citizens Planning Task Force, . The alleys are valued as the “life” of Western SoMa, embodying the older, affordable housing stock that was often home to the elderly, Filipino and LGBTQ communities as well as families.



GOAL: Preserve and protect the residential alleys in their scale, uses, and green open spaces.

GOAL: Preserve and enhance pedestrian environments.

GOAL: Maintain sunlight at rear yards.

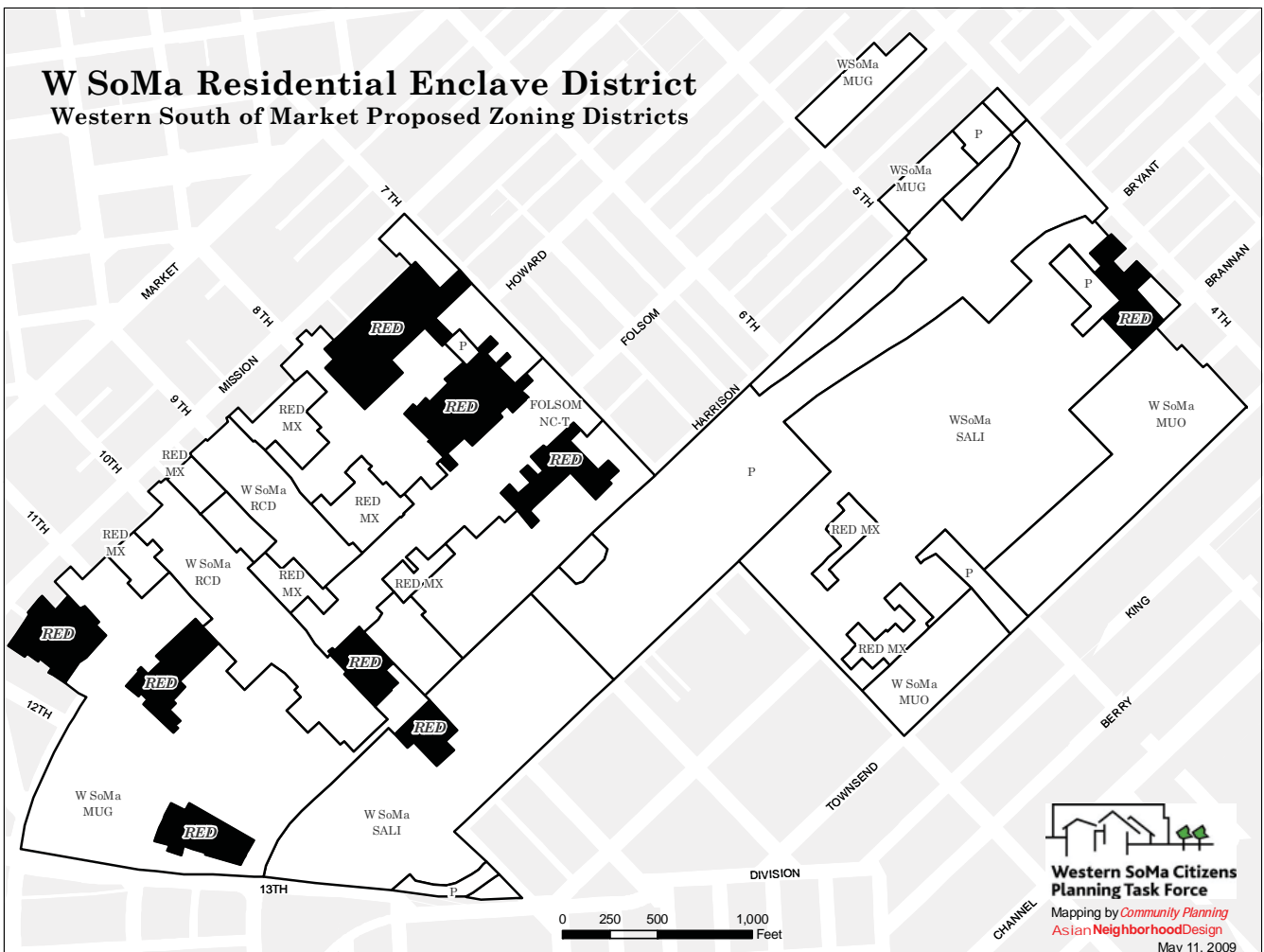
GOAL: Create green edges of the pedestrian realm.

DESIGN PRINCIPLE: For alleys that back onto lots facing the “main streets” discourage design proposals that utilize alleys as the back doors and parking access for lots facing the “main streets.”

DESIGN PRINCIPLE: Integrate creative design features that recognize the neighborhood architectural, cultural and historic significance.

DESIGN PRINCIPLE: Reinforce exiting patterns and encourage designs that create future opportunities for at grade mid-block landscaped open space by strict adherence to rear yard requirements.

DESIGN PRINCIPLE: Promote opportunities for transitional front yards, front stoops and green setbacks as part of the open space needs for residential uses, to soften the street edge and to improve pedestrian quality.



## Site

### *Neighborhood Character*

The predominant 25 feet of lot width is the basis for the neighborhood pattern. The structures, mostly built before the 1950s, are wood framed with two to four stories. They are often entered directly from the street with steps or stoops that sometimes protrude into the public right of way. Small setbacks provide planting areas at the street edge. Many of the first floors are fixed several feet above the ground floor, behind these setbacks, providing some privacy to the residents. Enclosed parking is often not provided resulting in a pattern with few curb cuts and garage doors in the RED. Residents with cars rely on on-street parking. However, there are residential buildings scattered throughout the REDs that have been built or retrofitted with off-street parking and curb cuts.

DESIGN PRINCIPLE: Buildings and building frontages should provide variety along a block, but remain consistent with the overall urban design.

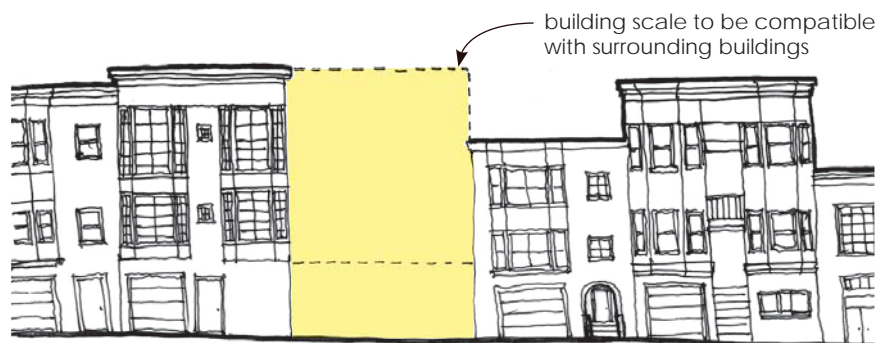
### *Site Treatment*

DESIGN PRINCIPLE: Encourage new at-grade planting areas for greenery and hardscape permeability.

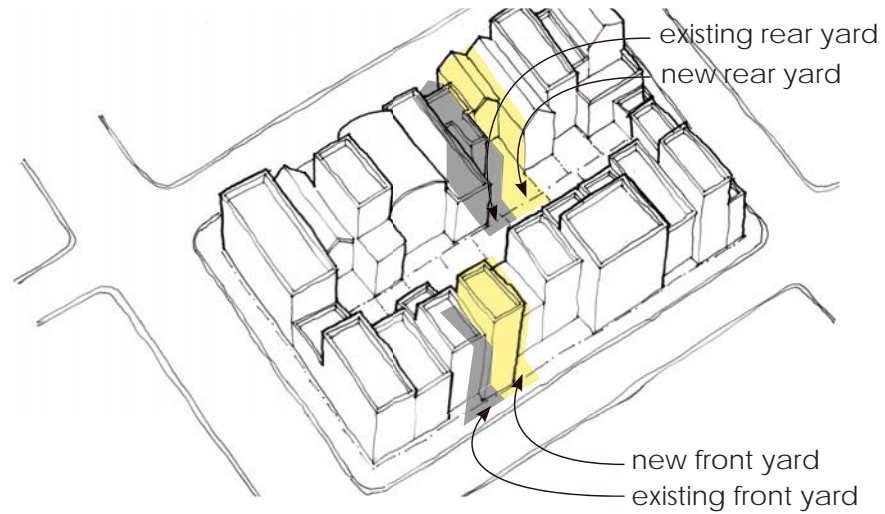
STANDARD: Promote building designs that include landscaping plans for at-grade plantings and greenery at both the front and rear of new buildings.

### *Scale & Massing*

DESIGN PRINCIPLE: Provide new building scale and form that is compatible with surrounding buildings as a means of enhancing neighborhood character.



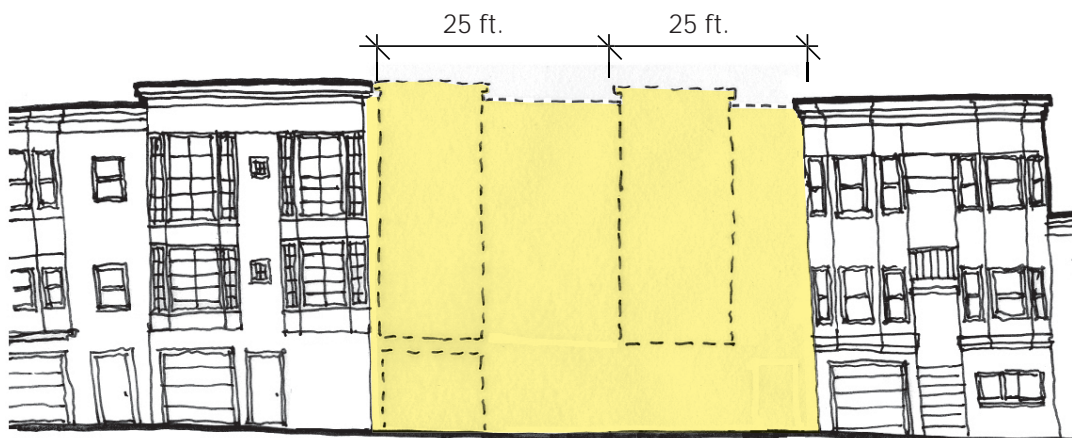
STANDARD: Provide new building heights that respect existing building heights in the district with appropriate setbacks and treatments that create coherent height transitions in adjacent building groups.



STANDARD: Promote a rear yard and front setback patterns found in the lot depth of surrounding buildings and enhance building future yard and setback patterns in anticipated future infill opportunities.

STANDARD: Provide strong, repeating vertical articulation on new buildings to achieve visual harmony and sustain pedestrian interest and activity.

STANDARD: Avoid undifferentiated massing longer than 25 feet.





## *Façade Treatment*

STANDARD: Integrate a consistent range of materials, colors and design elements, including, but not limited to, construction materials, roof lines, traditional & contemporary bays, entrances, windows & doors and pathways for each building.

STANDARD: New development should epitomize the best in contemporary architecture, but should do so with full awareness of, and respect for, the height, mass, articulation, historic context and materials contributory historic buildings in the immediate vicinity.

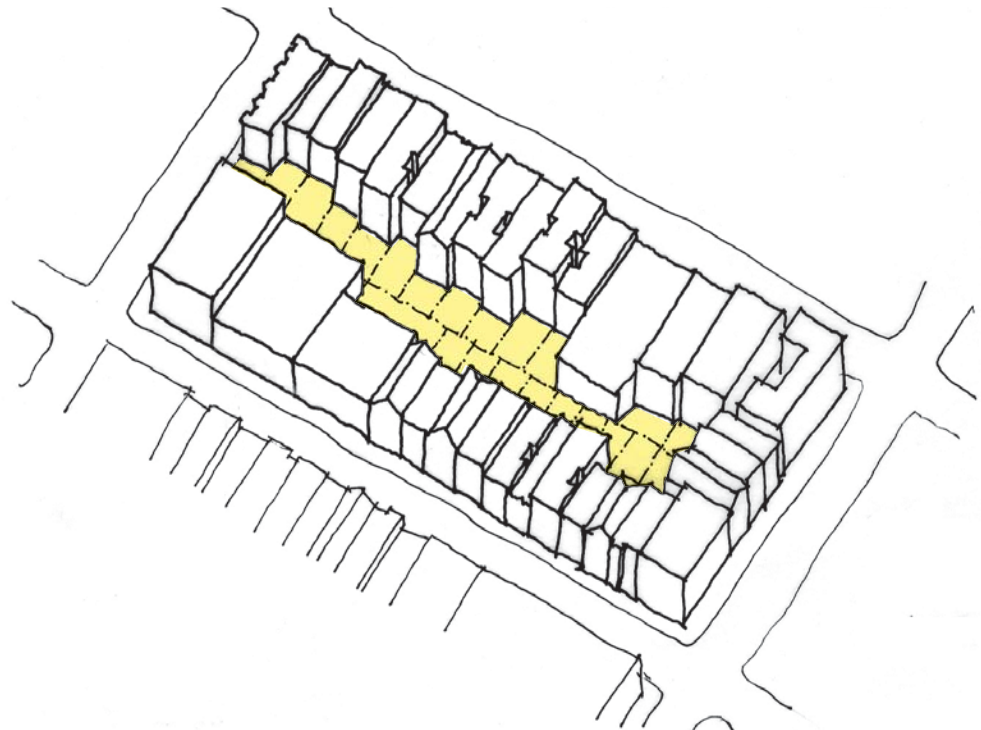
## *Lot Development Patterns*

DESIGN PRINCIPLE: Promote lot development patterns that maximize at grade rear yard and front setback opportunities.

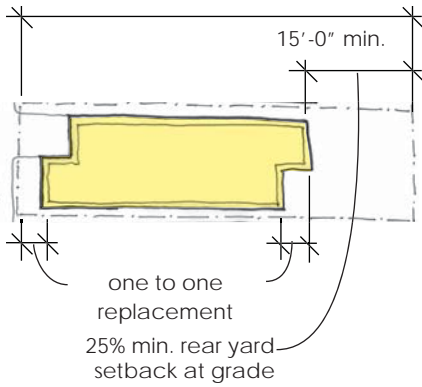
## *Rear Yards*

STANDARD: Articulate the building to minimize impacts on light and privacy to adjacent properties.

STANDARD: Rear yards should be integrated are grade with no below grade development beneath.



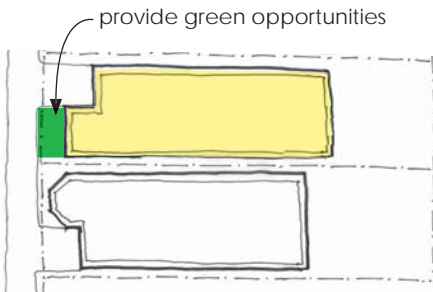




## Front Setback

STANDARD: Front setbacks may be used as one-to-one linear feet replacements for the provision of rear yards up to the minimum 15 feet rear yard requirement.

STANDARD: Treat a front setback so that it provides a pedestrian scale, green opportunities, privacy to inhabitants and enhances the pedestrian street experience

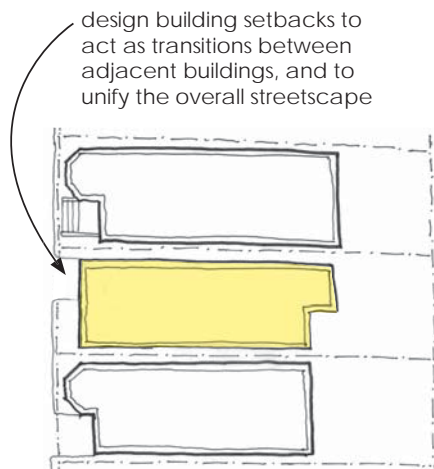


## Varied Front Setbacks

STANDARD: In areas with varied front setbacks, design building setbacks to act as a transition between adjacent buildings and to unify the overall streetscape.

### Definition: Key Lot

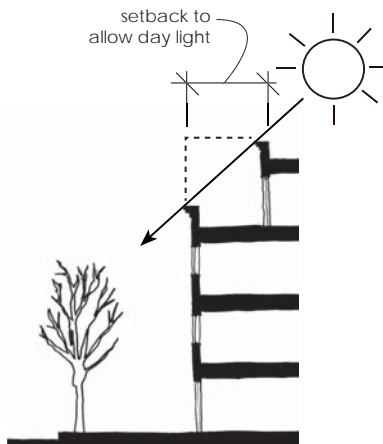
*A key lot is fairly uncommon and exists when a lot has several other homes backing onto the side of the home. If you were to walk along the side of a key lot you'd be able to see two or three of the neighbors' backyards. In addition, another home may sit directly behind the backyard of a key lot as well, giving it a landlocked feel.*



STANDARD: On key lots, locate rear yard decks to respect existing neighboring windows and open space.

## Sunlight

STANDARD: Design buildings to maximize solar access in existing and future mid-block rear yard patterns.



## Privacy

STANDARD: Provide building designs that promote accessibility and public realm improvements and assure necessary privacy for residential units away from the public realm.



## Architectural Details

**DESIGN PRINCIPLE:** Provide architectural features that enhance the visual and architectural character of the neighborhood.

**STANDARD:** Design the placement and scale of architectural details to be compatible with the building, reinforcing the 25 feet lot width residential module and the surrounding scale of the area.



**STANDARD:** Architectural details for proposed in-fill buildings should respect proximity to a recognized historic building context, the surrounding uses and nearby design characteristics.

### Window and Fenestration

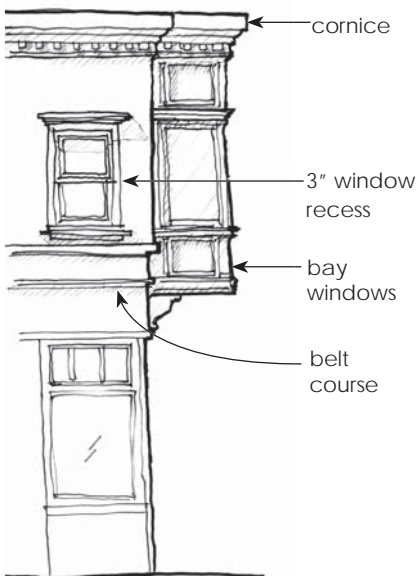
**STANDARD:** Promote windows and fenestration patterns that compliment the architectural character of the building and the context of adjacent buildings.

### Window Size

**STANDARD:** Relate the proportion and size of windows or window related design features to that of existing residential style buildings in the neighborhood.

### Window Features

**STANDARD:** Include three-dimensional window detailing, such as bay windows, cornices, belt courses, window moldings and reveals to create shadows and add interest. A minimum window reveal of six inches is required and horizontal sliding windows or applied mullions on windows facing the street are not permitted.



## *Window Material*

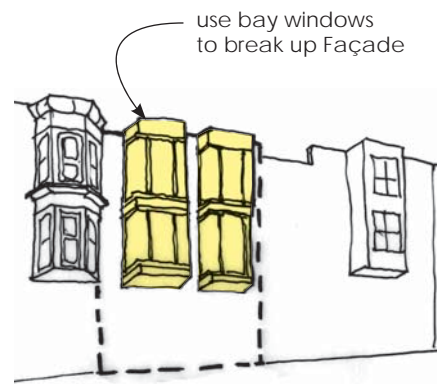
STANDARD: Use quality window materials on façades visible from the street that are compatible with surrounding residential buildings (late 20th Century Live-Work buildings should not be included in the consideration of proposed window material).



## *Bay Windows*

STANDARD: Design the length, height and type of bay windows to break up the scale of the building and add interest to the façade.

STANDARD: Bay windows may be traditional angled bays or reinterpreted to add living space and visual interest.



## *Finish Materials*

DESIGN PRINCIPLE: The type, finish and quality of a building's materials must be compatible with those used in the surrounding area. Finishes need only be compatible, but not replications.

STANDARD: High-quality materials that promote permanence and express skilled craftsmanship, including wood, masonry, ceramic tile, pre-cast concrete and integrated, hard-coat stucco, should be used on all visible façades. Avoid using unauthentic materials, in particular those that have the appearance of a thin veneer or attachment.

## *Exposed Building Walls*

STANDARD: All exposed walls must be covered and finished with quality materials that are compatible with the front façade and adjacent buildings.

## *Material Detailing*

STANDARD: Ensure that materials are properly detailed and appropriately applied.

## *Entrances*



STANDARD: Building entrances should enhance connections between the street, sidewalk and the building.

STANDARD: New buildings should reflect the existing location and scale of building entrances.

## *Garages*

DESIGN PRINCIPLE: Detail garage structures to create a visually interesting street frontage.



## *Garage Door Design and Placement*

STANDARD: Design and place garage entrances to minimize impacts on the public realm and loss of existing on-street parking.

STANDARD: Doors should be compatible with the building and the surrounding area and add visual interest to the street.

STANDARD: Interior garage lighting should not be visible on the exterior.



one garage door;  
10 ft. max. width  
7 ft. max height

## *Garage Door Widths*

STANDARD: To the greatest extent possible, minimize the width of garage entrances for residential buildings.

## *Curb Cuts*

STANDARD: Coordinate the placement of curb cuts to minimize pedestrian and bicycle conflicts while maximizing on-street parking resources.

## *Parking*

STANDARD: Where a property fronts both a main street and an alley, access to off-street loading and parking spaces shall be designed to be appropriate for both streets and when possible should discourage alley façades that do not respond to the design details of proximate alley building frontage details. Parking access, when possible shall be from the main streets in preference to pedestrian and bicycle use of alleys.

## **Other Details**

DESIGN PRINCIPLE: Use architectural details to establish and define a building character, and to visually unify a neighborhood.



## *Utility Panels*

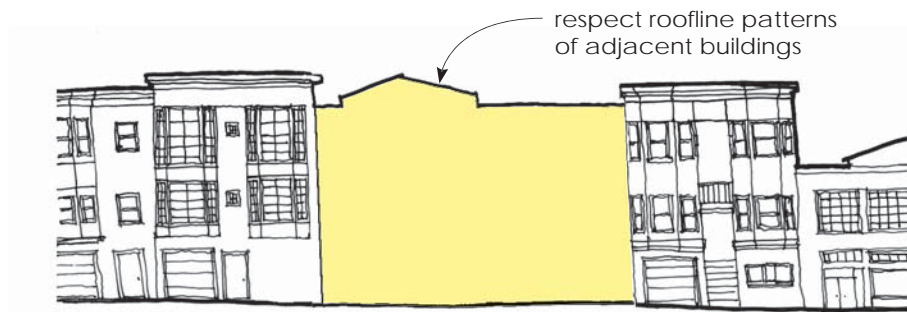
STANDARD: Locate utility panels so they are not visible on the front building wall or on the sidewalk.

## *Decks*

STANDARD: Decks with solid railings and massing can be integrated as design and open space features.

## *Rooflines*

STANDARD: Design rooflines to be compatible with those found on surrounding buildings.

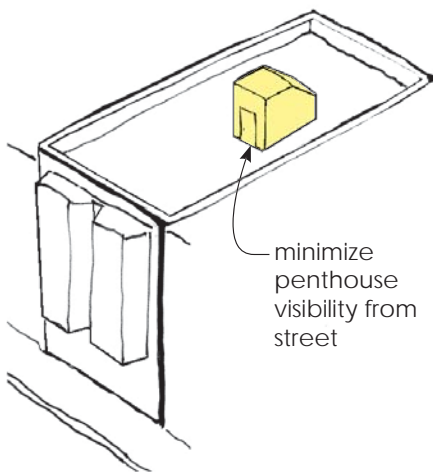


## *Rooftop Features*

STANDARD: Sensitive locate and screen rooftop features so they do not dominate the appearance of a building.

### *Stair Penthouses*

STANDARD: Minimize stair and elevator penthouses visibility from the street.



## *Parapets*

DESIGN PRINCIPLE: Use architectural details to establish and help define a building character, and to visually unify a neighborhood.

STANDARD: Design parapets to be compatible with overall building proportions and other building elements.

## *Windscreens*





## Design Standards for Residential Enclave District - Mixed

STANDARD: Minimize windscreen impacts in the building design.

RED - Mixed is a proposed new Residential Enclave District, that acknowledges and seeks to preserve the mixed-use character of many of the alleys in Western SoMa SUD. Unlike the REDs, which are predominantly residential in use, these alleys have historically been home to both small scale residential structures and small scale commercial/warehouse buildings and uses. This new designation would recognize numerous alleys throughout the district for being a mix of residential, commercial, office and industrial. As evidenced by their number, these residential enclave areas characterize much of the Western SoMa scale and development pattern that has evolved since the turn of the 20th century.

These residential alleys are characterized by small lots, mostly 25 feet in width, with lot depths of less than the standard 100 feet found typically in San Francisco. They were carved out of the large VARA blocks, sometimes providing access to the wider South of Market streets, like Harrison and Folsom. The small scale residential pattern, mostly built after the 1906 earthquake, ranges from one-story cottages and houses to multi-unit buildings (often referred to as “Romeo Flats” with three to seven units). Although the units are not large, many house families. The commercial fabric is also a relatively small scale composed of 50 feet wide or double-lot warehouse buildings, built of wood with double height spaces and partial mezzanines.

These commercial spaces have been the home to many auto repair and construction trades that have direct access from the alleys, sky lit truss

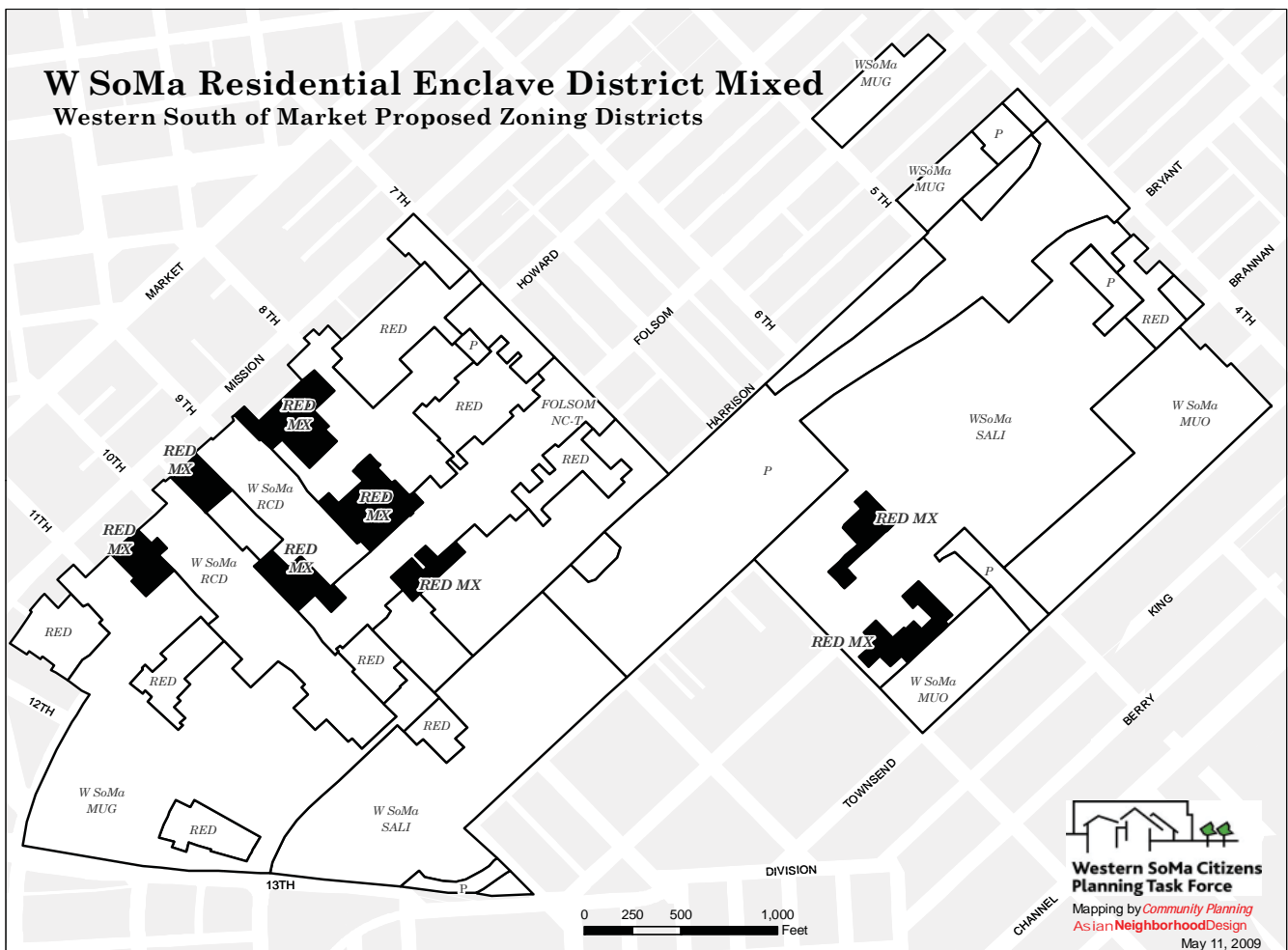


roofs and small offices on the mezzanines. A strong well established pattern of rear yards at grade does not exist in these areas. The few rear yards that are found in this district are often surrounded by the commercial buildings that typically cover the entire lot. The commercial parcels have garage doors for most of their street frontage, but sometimes are set back to provide entries or a planting strip at the street.

Preservation of the alleys was a major goal of the legislation that established and directed the activities of the Western SoMa citizens Planning Task Force. Like the residential RED, these mixed- use alleys are regarded as the “life” of Western SoMa due to the bustling activity of the blue collar businesses.

GOAL: Preserve and protect the residential/commercial alleys in their scale, uses and open spaces.

GOAL: Preserve and improve pedestrian qualities by adding at grade landscaping and design features where possible.





GOAL: Maintain sunlight to the streets and interior spaces.

GOAL: For alleys that back onto lots facing the “main streets”, maintain and preserve pedestrian safety and amenities. Do not let the alleys only become the back doors and parking access for lots facing the “main streets.”

DESIGN PRINCIPLE: Design and integrate creative features that recognize the neighborhood cultural and historic significance.

DESIGN PRINCIPLE: Reinforce patterns of mid-block open space by adhering to rear yard requirements, while promoting opportunities for front yards, front stoops and green setbacks as part of the open space needs for residential uses.

## Site

### *Neighborhood Character*

The predominant 25 feet lot width is the basis for the neighborhood pattern. In these alleys, often two or more lots have been combined to allow for slightly larger footprints, yielding a mixture of smaller lot sizes to accommodate commercial uses. The commercial structures are one and two stories tall, often no taller than 25 to 30 feet tall. They are usually built of wood framed roofs resting on brick or wood perimeter walls. A mezzanine within the building often provides office and support spaces for the warehouse structure. Careful consideration should be given to the design for development proposals to insure the future compatibility of neighboring non-residential that promote business and provide employment with residential uses.

The commercial buildings’ street façades are predominantly garage doors, which are sometimes set back to provide some planting. These buildings often cover the full lot depth and width. The residential structures, similar to those in the REDs, were mostly built before the 1950s and are wood framed with two to four stories. They often are entered directly from the street with steps or stoops, sometimes even protruding into the public right of way. They often have small setbacks, allowing bay windows at their first floor, which also provide small planting areas at the street face. Many of the first floors have several steps above the ground floor, providing some privacy to the residents. Enclosed parking is not usually provided for the residential buildings. Therefore, there are few curb cuts and garage doors in the RED - Mixed. Residents with cars generally use on-street parking. However, the one-

story cottages scattered throughout the district, are an exception, as they have been built or retrofitted with parking.

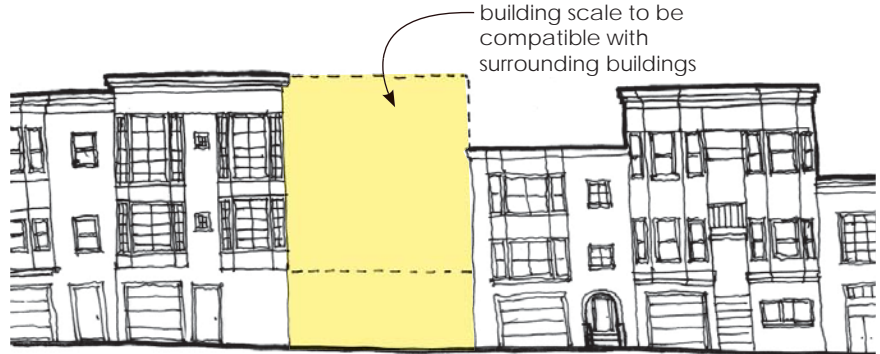
DESIGN PRINCIPLE: Preserve neighborhood character by maintaining a mix of uses.

## *Scale and Massing*

DESIGN PRINCIPLE: Buildings and their frontages should provide variety along a block, but remain consistent with the overall urban design.

DESIGN PRINCIPLE: Provide new building scale and form that is compatible with surrounding buildings and mix of uses as a means of enhancing neighborhood character.

STANDARD: Provide new building heights that respect existing building



heights in the district with appropriate setbacks and treatments that create coherent height transitions in adjacent building groups.

STANDARD: Promote a rear yard and front setback patterns found in the lot depth of surrounding buildings and anticipated infill opportunities. Setbacks should always be provided at grade to allow at-grade landscaping opportunities and pervious surfaces.

STANDARD: Provide strong, repeating vertical articulation on new buildings to achieve visual harmony and sustain pedestrian interest and activity.

STANDARD: Avoid undifferentiated massing longer than 50 feet for non-



residential uses and 25 feet for residential uses.

## *Façade Treatment*

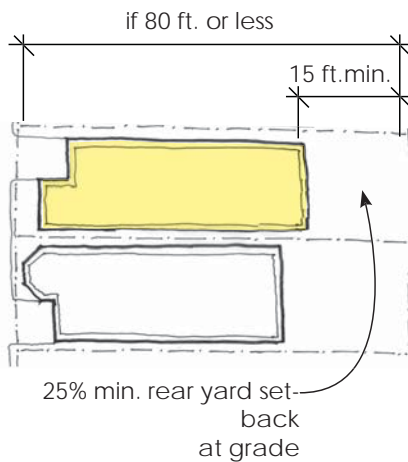
STANDARD: Integrate a range of materials, colors and design elements consistent with buildings on the subject alley, addressing, but not limited to, construction materials, roofs lines, entrances, windows, doors and patterns for each building.

STANDARD: New development should epitomize the best in contemporary architecture, but should do so with full awareness of, and respect for, the height, mass, articulation, historic context and materials of the best of the older buildings that surrounds them.

## *Lot Development Patterns*

DESIGN PRINCIPLE: Promote lot development patterns that maximize at grade rear yard and front setback opportunities.

STANDARD: Prohibit lot aggregations greater than 50 feet or two lots, whichever is smaller.

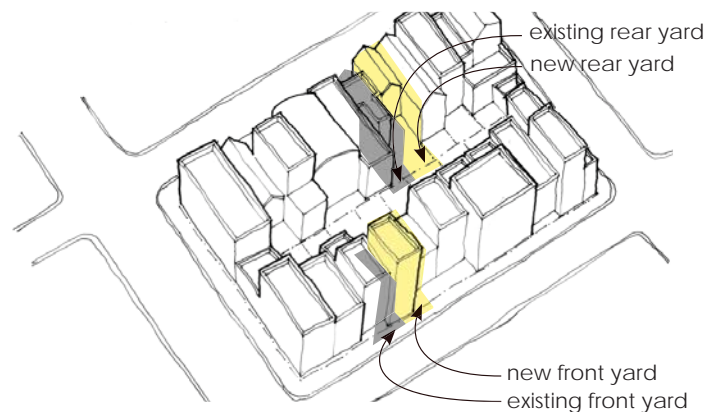


## *Rear Yards*

STANDARD: Maintain, at grade, a minimum of 25 percent of the lot depth as a rear yard and no less than 15 feet of at grade rear yard on when lot depth is 80 feet or less.

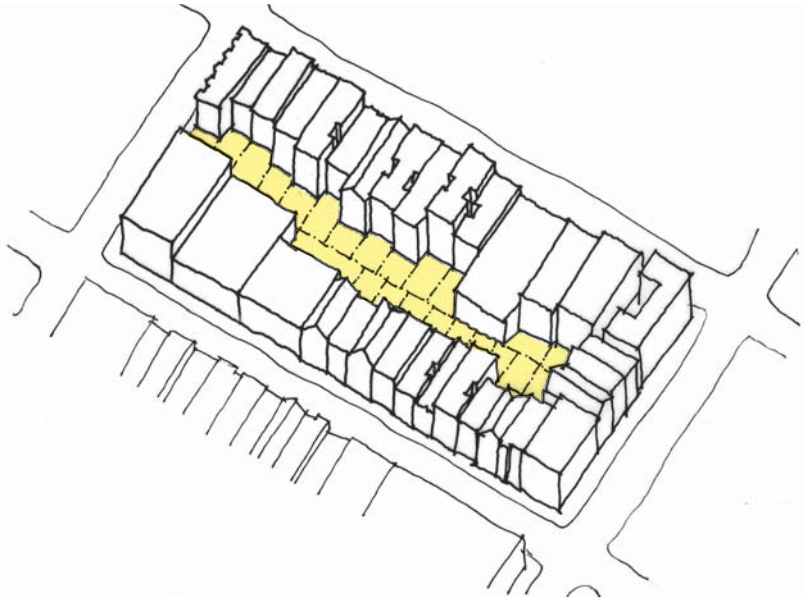
STANDARD: Articulate the building to minimize impacts on light and privacy to adjacent properties.

STANDARD: Rear yards should be integrated are grade with no below



grade development beneath.

STANDARD: Where there is not a strong existing pattern of at grade rear yards and rear yard open space on adjacent parcels has been provided in



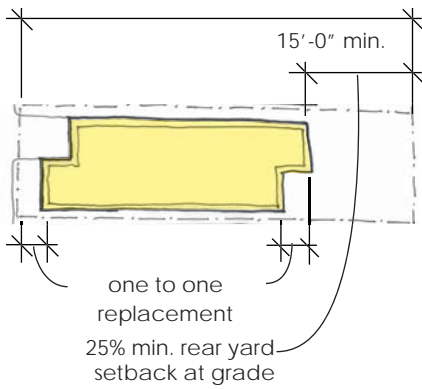
alternatives ways, rear yards may be located to be compatible with pre-existing and adjacent patterns of development.

### Front Setback

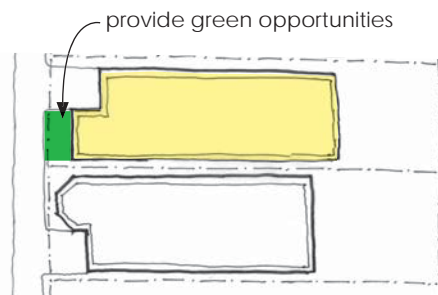
STANDARD: Treat the front setback so that it provides a pedestrian scale and enhances the street.

STANDARD: Design front yard setbacks so there is opportunity to provide at-grade landscaping at the street edge.

STANDARD: Front setbacks can be used as one-to-one linear foot replacements for the provision of rear yards up to the minimum 15 feet rear yard requirement.



### Varied Front Setbacks



STANDARD: In areas with varied front setbacks, design building setbacks to act as a transition between adjacent buildings and to unify the overall streetscape.

STANDARD: On key lots, locate rear yard decks to respect existing neighboring windows and open space.

*Definition: Key Lot*

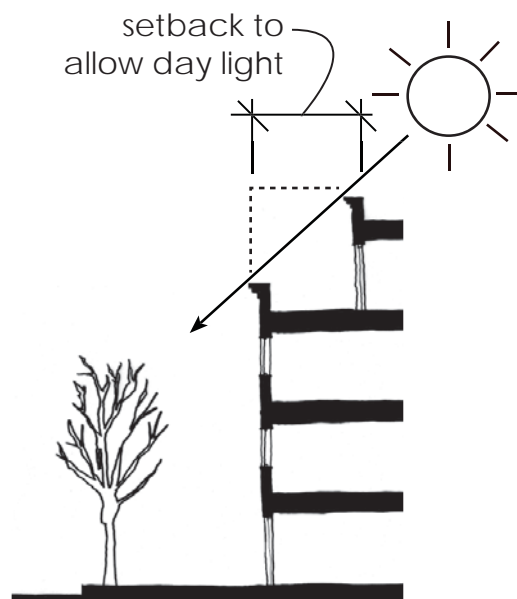
*A key lot is fairly uncommon and exists when a lot has several other homes backing onto the side of the home. If you were to walk along the side of a key lot you'd be able to see two or three of the neighbors' backyards. In addition, another home may sit directly behind the backyard of a key lot as well, giving it a landlocked feel.*

### **Sunlight**

STANDARD: Design buildings to maximize solar access in existing and future mid-block rear yard patterns.

### **Privacy**

STANDARD: Provide building designs that promote accessibility and



public realm improvements while assuring privacy away from the public realm.



## Architectural Details

**DESIGN PRINCIPLE:** Provide architectural features that enhance the visual and architectural character of the neighborhood.

**STANDARD:** Design the placement and scale of architectural details to be

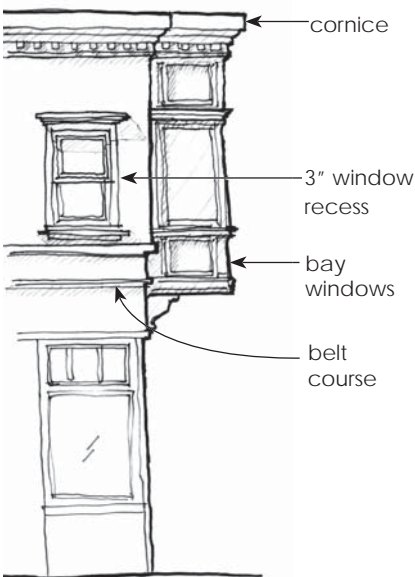


compatible with the building, reinforcing the 25 foot lot width residential module and the surrounding scale of the area.

**STANDARD:** Architectural detail should reflect the building's location, proximity to recognized historic context, surrounding uses and design integrity.

### *Window and Fenestration*

**STANDARD:** Use windows and fenestration patterns that compliment the architectural character of the building and the context of buildings in the block face.



### *Window Size*

**STANDARD:** Relate the proportion and size of windows or window related design features to that of existing building styles in the neighborhood.

### *Window Features*

**STANDARD:** Include three-dimensional window detailing, such as bay windows, cornices, belt courses, window moldings, and reveals to create shadows and add interest. In residential structures a minimum window reveal of six inches is preferred above the ground floor and horizontal sliding windows or applied mullions on windows facing the street are not appropriate.



### *Window Material*

STANDARD: Use quality window materials on façades visible from the street that are compatible with surrounding residential or non-residential buildings (late 20th Century Live-Work buildings should not be included in the consideration of proposed window material).

### *Bay Windows*

STANDARD: Design the length, height and type of bay windows to break up the scale of the faced and add interest to the façade.

STANDARD: Bay windows may be traditional angled bays or reinterpreted to add living space and visual interest and are consistent with the Planning Department's definition of bay windows.

### *Finish Materials*

DESIGN PRINCIPLE: The type, finish and quality of a building's materials must be compatible with those used in the surrounding area. Finishes need only be compatible, but not replications.

STANDARD: High-quality materials that promote permanence and express skilled craftsmanship, including wood, masonry, ceramic tile, pre-cast concrete and integrated, hard-coat stucco, should be used on all visible façades. Avoid using inauthentic materials, in particular those that have the appearance of a thin veneer or attachment, such as EIFS or tilt-up panels.



### *Exposed Building Walls*

STANDARD: All exposed walls must be covered and finished with quality materials that are compatible with the front façade and adjacent buildings.

### *Material Detailing*

STANDARD: Ensure that materials are properly detailed and appropriately applied.





one garage door;  
10 ft. max. width  
7 ft. max height

## *Entrances*

STANDARD: Design building entrances to enhance the connection between the public realm of the street and sidewalk with the private realm of the building.

## *Garages*

DESIGN PRINCIPLE: Detail garage structures to create a visually interesting street frontage.

### *Garage Door Design and Placement*

STANDARD: Design and place garage entrances to minimize impacts on the public realm and loss of existing on-street parking.

STANDARD: Doors should be compatible with the building and the surrounding area and add visual interest to the street.

STANDARD: Interior garage lighting should not be visible to the outside.

### *Garage Door Widths*

STANDARD: A maximum on one garage door of no more than 10 feet in width and 7 feet in high is allowed on each lot for residential structures.

STANDARD: For commercial buildings, garage door(s) should be integrated into the façade to create pedestrians interest.

STANDARD: Minimize the width of garage entrances.

## *Curb Cuts*

STANDARD: Coordinate the placement of curb cuts to minimize pedestrian and bicycle conflicts.

STANDARD: Curb cuts should minimize on-street parking loss.

## *Parking*

STANDARD: Access to off-street loading and parking spaces shall be from the main streets in preference to pedestrian and bicycle use of alleys.



## **Other Details**

DESIGN PRINCIPLE: Use architectural details to establish and define a building character and to visually unify a neighborhood.

## *Utility Panels*

STANDARD: Locate utility panels so they are not visible on the front building wall or on the sidewalk.

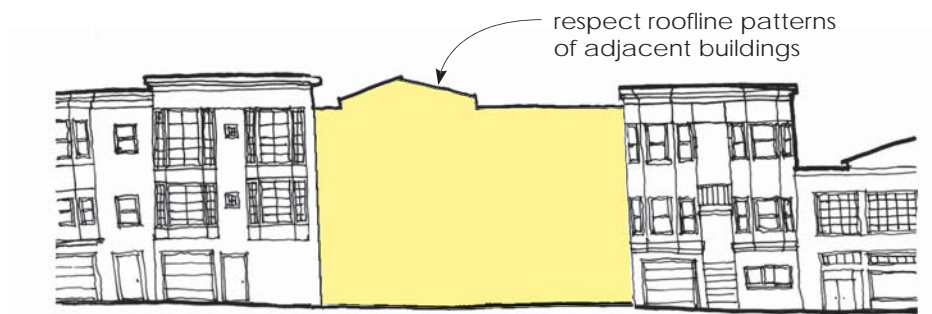
## *Decks*

STANDARD: Although there is no existing pattern of alley façades, incorporation of decks and balconies with solid railings and massing can be integrated as design and open space features.

STANDARD: Balcony decks should not be located on the first two floors of residential occupancy.

## *Rooflines*

STANDARD: Design rooflines to be compatible with those found on surrounding buildings.

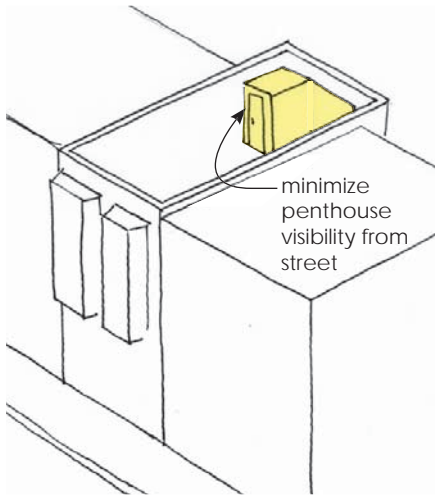


## *Roottop Reatures*

STANDARD: Sensitively locate and screen rooftop features so they do not dominate the appearance of a building.

## *Stair Penthouses*

STANDARD: Minimize stair and elevator penthouses visibility from the street.



## *Parapets*

STANDARD: Design parapets to be compatible with overall building proportions and other building elements.

## *Windscreens*

DESIGN PRINCIPLE: Use architectural details to establish and define a building character and to visually unify a neighborhood.

STANDARD: Minimize windscreens impacts on the building design and maximize light to adjacent buildings.

## *Signage*

STANDARD: New signs and their associated components should be integrated with the building overall design concept and should not overwhelm the building façade with either color or size.



## Design Standards for Neighborhood Commercial Transit Corridors - Folsom NCT

and ceremonial corridor. Plans are in place to convert the busy street into a two-way boulevard with additional transit service, and more traffic-calming and pedestrian improvements. Folsom Street embodies the Western SoMa's historic character and lively, dynamic neighborhood cultural scene.

The community Plan promotes local small-scale, pedestrian-oriented streets dominated by storefront buildings that provide an eclectic mix of shops, restaurants and services for residents, commerce, tenants and visitors. Attractive and safe pedestrian and bike connections need reinforcement to link the local theaters, arts and community facilities. To thrive, businesses require attractive streetscapes and access to good local and regional transportation. Public spaces such as sidewalk cafes and street performance areas provide respite and stimulate pedestrian activity but also require increased measures to ensure public safety and comfort.

The Folsom Neighborhood Commercial Transit (Folsom NCT) corridor zoning is proposed to run along Folsom Street from 10th Street to 7th Street and connect to the SoMa NCT in the East SoMa Plan. Area

GOAL: Promote designs that add vitality, visual interest and features responsive to a significant neighborhood commercial street.

GOAL: Design and integrate creative design features that recognize the neighborhood cultural, ceremonial and historic significance.

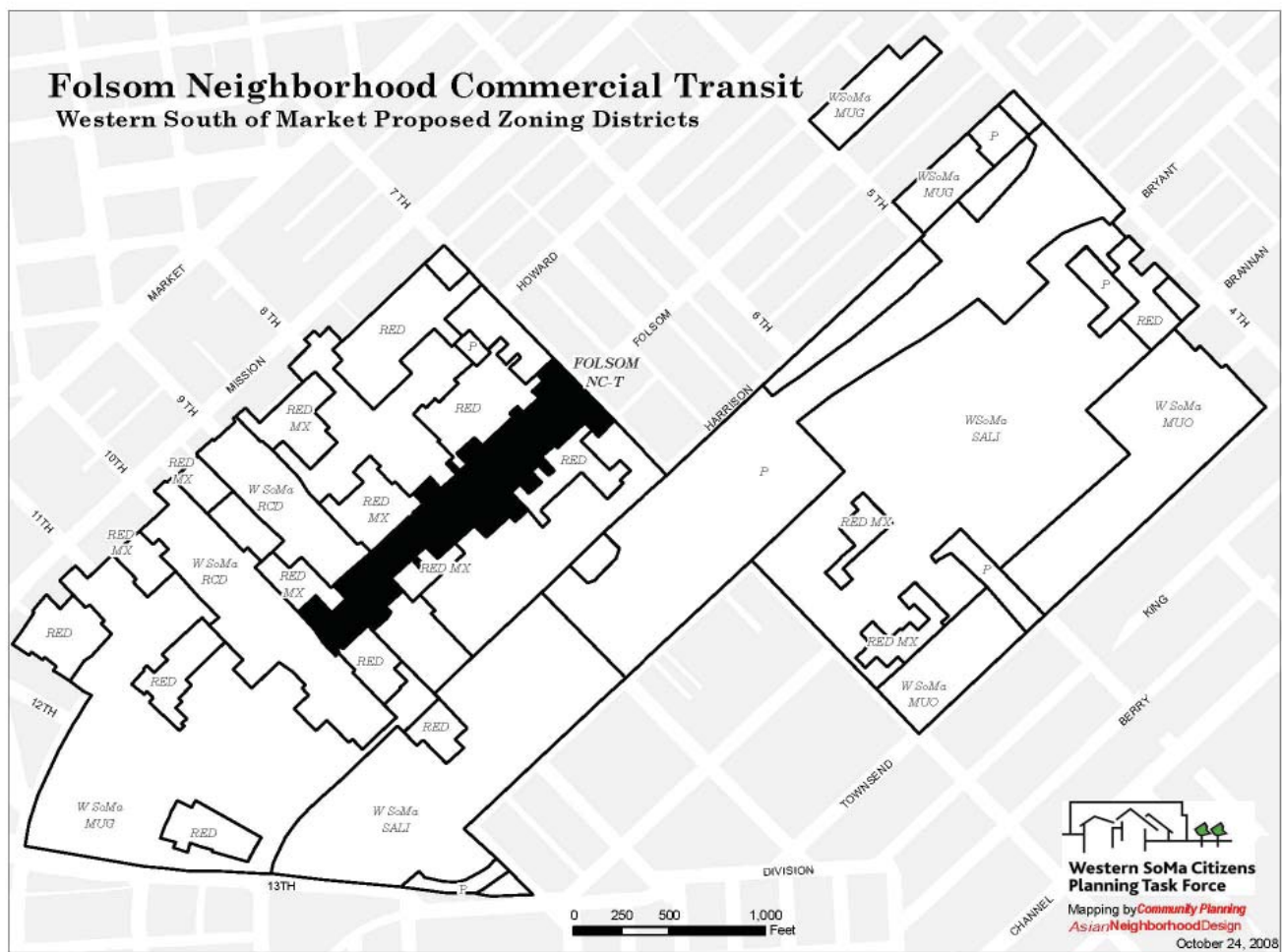
GOAL: Enhance pedestrian qualities and provide pedestrian amenities. Folsom street is considered to be a central neighborhood serving

GOAL: When addressing required commercial parking needs, priority should be given to respecting the pedestrian and residential character of the alley enclave districts that back on to the commercial corridor.

DESIGN PRINCIPLE: Develop an architectural concept and compose the building massing in response to environmental conditions and patterns in consideration of the new height limit proposed for this corridor.

STANDARD: Encourage design compatibility with the neighborhood context.

STANDARD: The proposed massing of a building should create a harmonious transition to the existing height, bulk, and scale of development in adjacent MUG, RED and RED - Mixed districts.



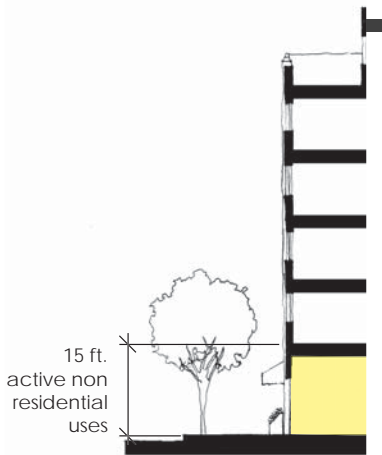
# Site

## *Neighborhood Character*

Folsom Street has a diverse architectural character including small to mid-rise residential flats interspersed with low-rise commercial warehouse buildings. Current buildings range in scale from one to four stories. The commercial buildings have façades with simple patterns of fenestration. The street also serves as an important community gathering location for the annual and internationally recognized Folsom Street Fair.

DESIGN PRINCIPLE: Buildings and building frontages should provide variety along a block, but remain consistent with the overall Design Goals for the area by not mixing radically different materials, construction methods, bulk, massing and articulation.

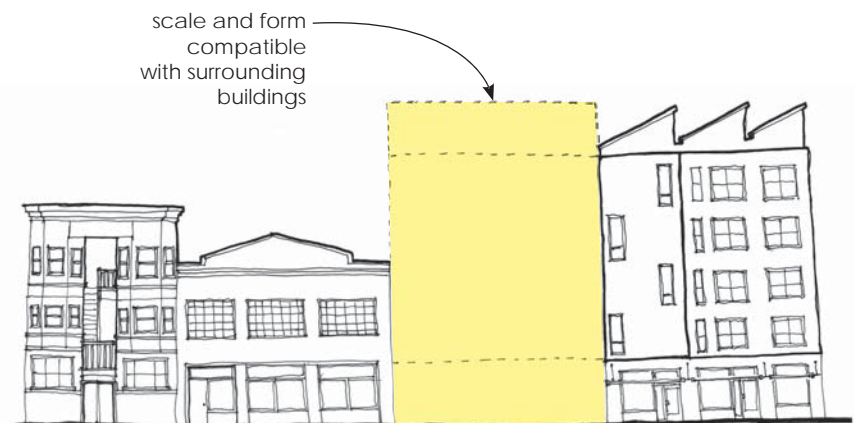
STANDARD: Promote active non-residential uses in the first 15 vertical feet of the adaptive reuse of existing buildings and new infill construction.



## *Scale*

DESIGN PRINCIPLE: Provide new building scale and form that is compatible with surrounding buildings and a diverse mix of uses as a means of enhancing neighborhood character.

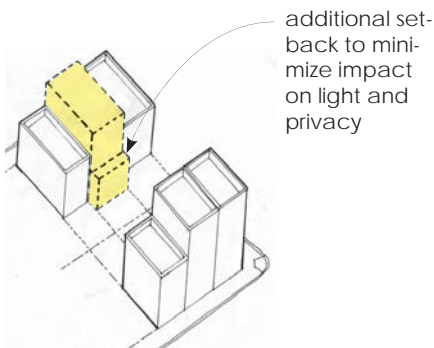
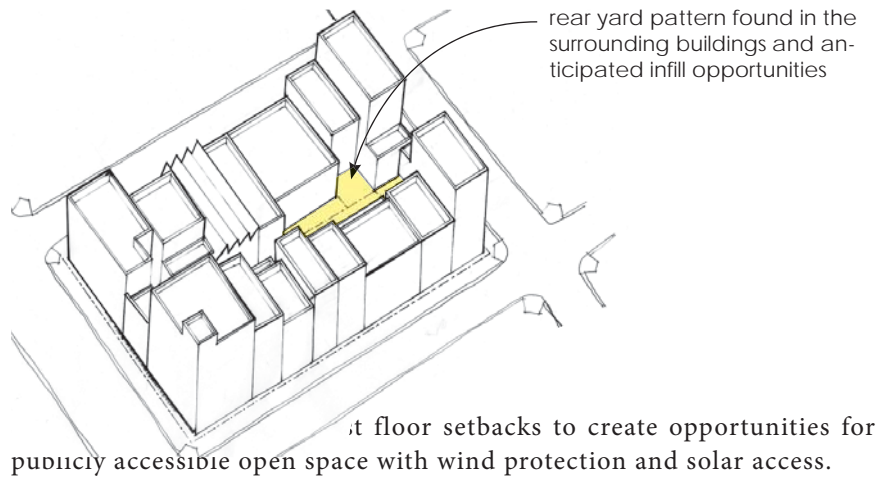
## *Massing*



STANDARD: Provide new building heights that respect existing building heights in the district with appropriate setbacks and treatments that create coherent height transitions in adjacent historic building groups.

STANDARD: Design building forms to be compatible with that of surrounding historic buildings.

STANDARD: Promote a rear yard pattern found in the lot depth of existing surrounding buildings and anticipated infill opportunities.



STANDARD: Encourage a continued pattern of existing building side setbacks and design respect in new developments for non-conforming legal property line windows.

### *Façade Treatment*

STANDARD: Design façade widths to be compatible with those found on surrounding buildings. Maintain the neighborhood “warehouse/commercial” character while introducing “Mixed Use Buildings”.

### *Lot Development Patterns*



DESIGN PRINCIPLE: Promote lot development patterns that encourage opportunities for at-grade front yard and front setback opportunities in efforts to create permeable landscaping design features.

## *Rear Yards*

STANDARD: Promote an at-grade rear yard pattern found in the lot depth of surrounding buildings and anticipated infill opportunities when the subject property backs onto a designated Residential Enclave District or a Residential Enclave District - Mixed.

STANDARD: Discourage below grade construction that does not provide at least 4 feet of soil depth and landscaping in the required yard area.

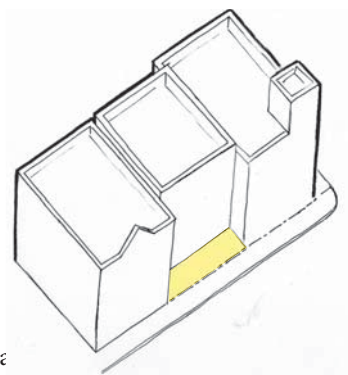
STANDARD: Articulate the building to minimize impacts on light and privacy to adjacent properties.

STANDARD: Design the height and depth of the building to promote the existing or potential opportunities for the creation of mid-block open space.

STANDARD: Where there is not a strong existing pattern of at grade rear yards and rear yard open space on adjacent parcels has been provided in alternatives ways, rear yards may be located to be compatible with pre-existing and adjacent patterns of development.

## *Front Setback*

STANDARD: Promote opportunities for front yards, front stoops and green setbacks as part of the open space needs for small mixed use environments.



STANDARD: Trees

a pedestrian scale and



enhancements to the street.

## Varied Front Setbacks

STANDARD: In areas with varied existing front setbacks, encourage building design setbacks to act as a transition between adjacent buildings and to unify the overall streetscape.

## Sunlight

STANDARD: Design buildings to maximize solar access in existing and future mid-block rear yard patterns.

## Privacy

DESIGN PRINCIPLE: Encourage building designs that promote visual accessibility and public realm improvements while assuring necessary privacy from the public realm.



## Architectural Details

DESIGN PRINCIPLE: Provide architectural features that enhance the visual and architectural character of the neighborhood.

STANDARD: Design the placement and scale of architectural details to be compatible with adjacent buildings and reinforcing a 50 foot lot width module.





not obscure the clear view for more than 40 percent of the fenestration.

STANDARD: Architectural detail should reflect the property location, proximity to recognized historic context and surrounding uses.

STANDARD: Architectural detail should reflect the “warehouse” character of the neighborhood regardless of the proposed uses, but use typical residential architectural vocabulary at residential levels is allowed.

### *Window and Fenestration*

STANDARD: Use windows and fenestration patterns that compliment the architectural character of the building and the context of adjacent buildings.

### *Window Size*

STANDARD: Relate the proportion and size of windows or window related design features to that of existing warehouse style buildings in the neighborhood.

### *Window Features*

STANDARD: Design window features to be compatible with building context and mix of uses on the existing block faces (both sides of the street).



STANDARD: Include three-dimensional window detailing, such as bay windows, cornices, belt courses, window moldings, and reveals to create shadows and add interest. A minimum window reveal of six inches is required above the ground floor and horizontal sliding windows or applied mullions on windows facing the street are discouraged.

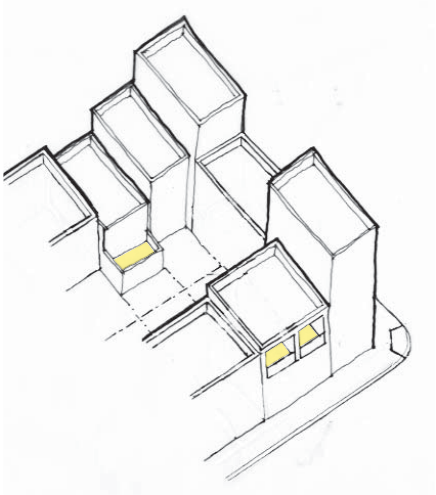
### *Window Material*

STANDARD: Use quality window materials on façades visible from the street that are compatible with surrounding residential buildings

(late 20th Century Live-Work buildings should not be included in the consideration of proposed window material)

### *Bay Windows*

STANDARD: Design the length, height and type of bay windows to break up the scale of the facade and add interest to the facade.



### *Decks*

STANDARD: Although there is no existing pattern of open decks in the NCT, incorporation of decks with solid railings and massing can be integrated as design and open space features.

STANDARD: Balconies are discouraged on the first two floors of a building street frontage.

### *Finish Materials*

DESIGN PRINCIPLE: The type, finish and quality of a building's materials must be compatible with those used in the surrounding area. Finishes need only be compatible, but not replications.



STANDARD: High-quality materials that promote permanence and express skilled craftsmanship, including wood, masonry, ceramic tile, pre-cast concrete and integrated, hard-coat stucco, should be used on all visible facades. Avoid using inauthentic materials, in particular those that have the appearance of a thin veneer or attachment, such as EIFS or tilt-up panels.

### *Exposed Building Walls*

STANDARD: All exposed walls must be covered and finished with quality materials that are compatible with the front facade and adjacent buildings.

### *Material Detailing*

STANDARD: Ensure that materials are properly detailed and appropriately applied.

## *Entrances*

DESIGN PRINCIPLE: Design building entrances to enhance the connection between the public realm of the street and sidewalk with the private realm of the building.

STANDARD: Design and clearly distinguish residential from non-residential entrances and where appropriate integrate entrance way finding signage programs.

STANDARD: Reduce potential conflicts and confusion of new entrances that respect the existing pattern of building entrances.

## *Garages*

DESIGN PRINCIPLE: Detail garage structures to create a visually interesting street frontage.

STANDARD: Discourage on-street visibility of the parking area.

## *Garage Door Design and Placement*

STANDARD: Design and place garage entrances to minimize impacts on the public realm.

STANDARD: Doors should be compatible with the building and the surrounding area and add visual interest to the street.

STANDARD: Interior garage lighting should not be visible to the exterior

## *Garage Door Widths*

STANDARD: Minimize the width of garage entrances for residential buildings.

## *Curb Cuts*

STANDARD: Coordinate the placement of curb cuts to minimize pedestrian and bicycle conflicts and maximize on street parking.

## *Parking*

STANDARD: Access to off-street loading and parking spaces shall be from the main streets in preference to pedestrian and bicycle use of alleys.

## **Other Details**

DESIGN PRINCIPLE: Use architectural details to establish and define a building character and to visually unify a neighborhood.

## *Utility Panels*

STANDARD: Locate utility panels so they are not visible on the front building wall or on the sidewalk.

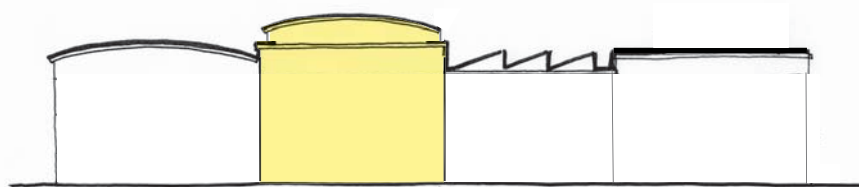
## *Decks*

STANDARD: Permit decks on any side of a building so long as the deck design is compatible with and integrated into the building form.

## *Rooflines*

DESIGN PRINCIPLE: Use architectural details to establish and define a building character, and to visually unify a neighborhood.

*The example below shows compatibility with surrounding buildings.*

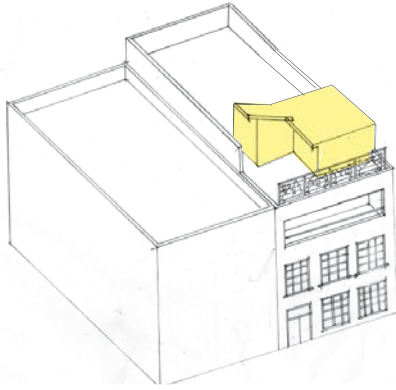


STANDARD: Design rooflines to be compatible with those found on surrounding buildings.

STANDARD: Sensitively locate and screen rooftop features so they do not dominate the appearance of a building.

## *Stair Penthouses*

STANDARD: Minimize stair and elevator penthouse visibility from the street.



## *Parapets*

STANDARD: Design parapets to be compatible with overall building proportions and other building elements.

## *Windscreens*

STANDARD: Minimize windscreen visual impacts on the building design.

STANDARD: Encourage windscreen designs that maximize light to adjacent buildings.





## Design Standards for Regional Commercial Districts - 9th and 10th Street RCD Corridors

The regional-serving 9th and 10th streets carry a substantial amount of through-traffic to and from the freeway. Along with 9th and 10th streets (running north-south), Harrison and Bryant streets (running in the east-west), are part of the Western SoMa street system hierarchy. This Regional Commercial District (RCD) contains uses that serve the larger region beyond the local neighborhood. The RCD zoning controls proposed on 9th and 10th streets, like the NCT-Folsom controls regulate uses on a floor by floor basis.

This designation to areas that were formally zoned Service Light Industrial Residential (SLR) applies to those wide streets in Western SoMa that service as feeders to and from the regional serving freeways. These streets carry four lanes of one-way traffic in addition to their parking lanes, moving at fast speeds towards the highway on ramps. Both sides of 9th and 10th Streets are characterized by multi-story warehouse historical buildings containing a variety of light manufacturing, distribution centers, design offices and other commercial tenants, such as furniture stores. This area also houses smaller residential buildings scattered throughout the district. The challenge of this area is to accommodate these regional traffic demands while encouraging uses that would not be as affected by the pollution and noise of the large traffic volumes that routinely use these thoroughfares. The RCD also contains several large potential development sites, greater than a one-half acre, that provide special development opportunities for Western SoMa.

The district proposes to restrict Single Room Occupancy buildings while encouraging mixed unit type dwellings, allowing office and light industrial uses.



GOAL: Acknowledge the demands of these major thoroughfares as vital contributors to Western SoMa, San Francisco and the region.

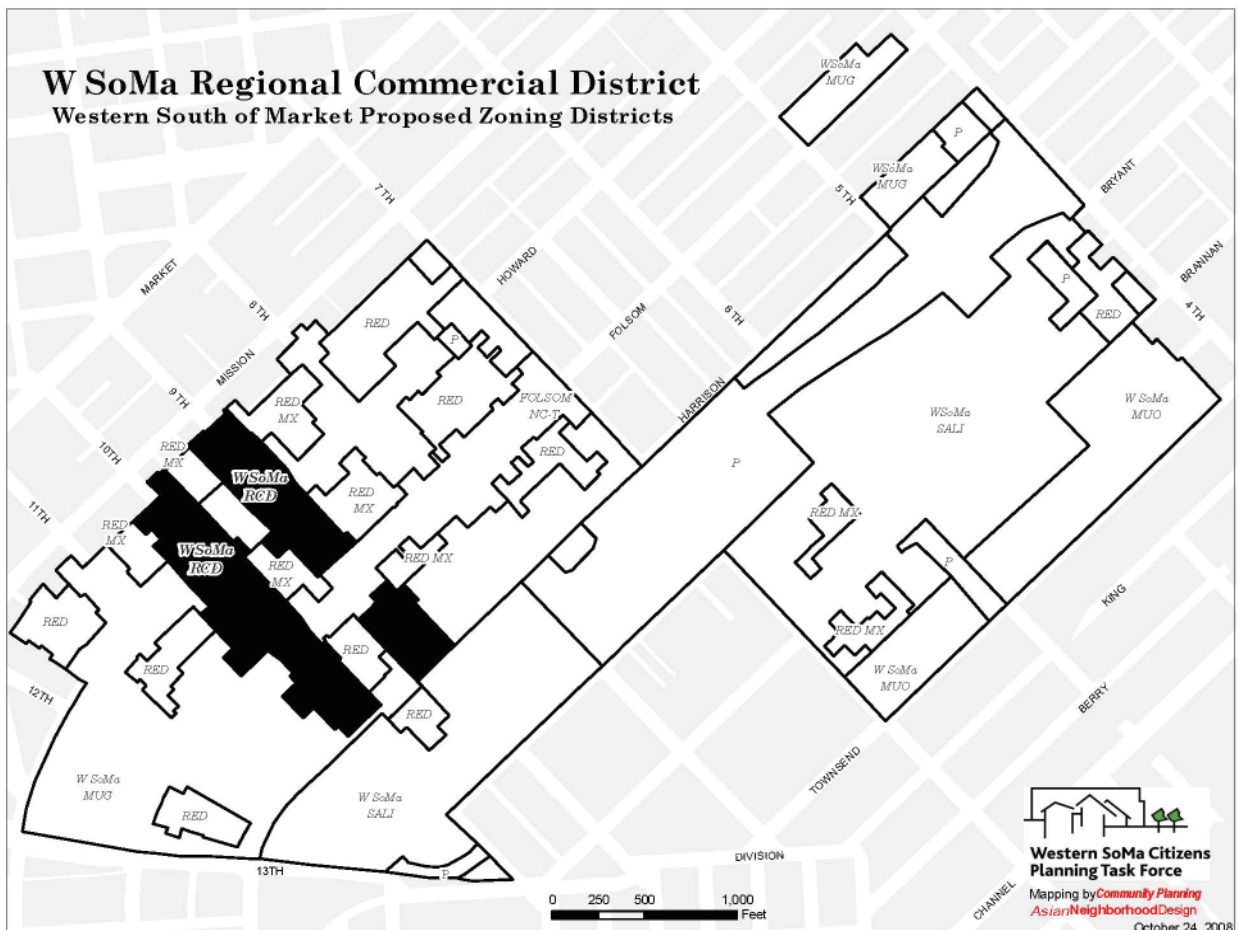
DESIGN PRINCIPLE: Minimize traffic flow conflicts by limiting curb cuts and sensitive location of loading docks.

DESIGN PRINCIPLE: Enhance pedestrian friendly environments and provide commercial uses and more public accessible green space for both workers and residents.

DESIGN PRINCIPLE: Develop an architectural concept and compose the building massing in response to historic fabric and cultural significance, geographic conditions and patterns of nearby urban form.

STANDARD: Encourage design compatibility with the neighborhood context and historic buildings.

STANDARD: Respect the massing of the building to create a transition to the height, bulk, and scale of allowable development in nearby MUG, RED, RED - Mixed and NCT zones.



# Site

## *Neighborhood Character*

Most lots in the RCD districts are larger and have more street frontage than the traditional 25 feet San Francisco lot width. Many existing buildings cover most of the lot area and vary in height from two to four stories. Alleys intersect these large streets providing access to larger commercial warehouse style buildings from alleys. Non-residential buildings are characterized by simple forms and industrial sash windows that provide light deep into the building interior spaces. Some buildings contain showrooms on the first floor and others have loading bays off the main streets. The architectural vocabulary of these commercial buildings is reminiscent of deco style and classic forms (bases, cornices and pilasters that subdivide vertical bays). These buildings are most often built out to the front property line with little to no protrusions beyond the front façade (i.e., no bay window or decks).

The limited existing residential character is from the smaller scale wood buildings scattered throughout these districts. Residential uses are found in both older buildings containing flats and more recently developed live/work lofts. The sidewalks are not particularly wide and carry limited day time pedestrian traffic. Very few street trees or other greenery exist to soften the street edges.

**DESIGN PRINCIPLE:** Buildings and building frontages should provide variety along a block, but remain consistent with the overall urban design concept for the area by not mixing radically different materials, construction methods, bulk, massing and articulation.

**STANDARD:** Discourage new residential uses in the first two stories of a four story building and one-story of a two or three-story structure of the adaptive reuse of existing buildings and new infill construction, except for lots of 25 feet or less.

**STANDARD:** Discourage blank façades. Prohibit blank walls facing the street, especially near sidewalks and encourage visibility into building.



**STANDARD:** Encourage new infill buildings and uses that promote regional serving commercial activities.

### *Scale*

**DESIGN PRINCIPLE:** Provide new building scale and form that is compatible with surrounding buildings and mix of uses as a means of enhancing neighborhood character.

### *Massing*

**STANDARD:** Provide new building heights that respect existing building heights in the district with appropriate setbacks and treatments that create coherent height transitions in adjacent historic building groups.

**STANDARD:** Design new buildings and their proposed to be compatible with that of the surrounding buildings and minimize potential use conflicts.

### *Façade Treatment*

**STANDARD:** Integrate a consistent range of materials, colors and design elements, including, but not limited to, construction materials, roofs, entrances, window, door and patterns for each building. Acknowledge and reinforce the warehouse quality of the existing architecture.

**STANDARD:** New development should epitomize the best in contemporary architecture, but should do so with full awareness of, and respect for, the height, mass, articulation, historic context and materials of the best of the older buildings that surrounds them.

if outdoor space is provided integrate decks with building design



## Lot Development Patterns

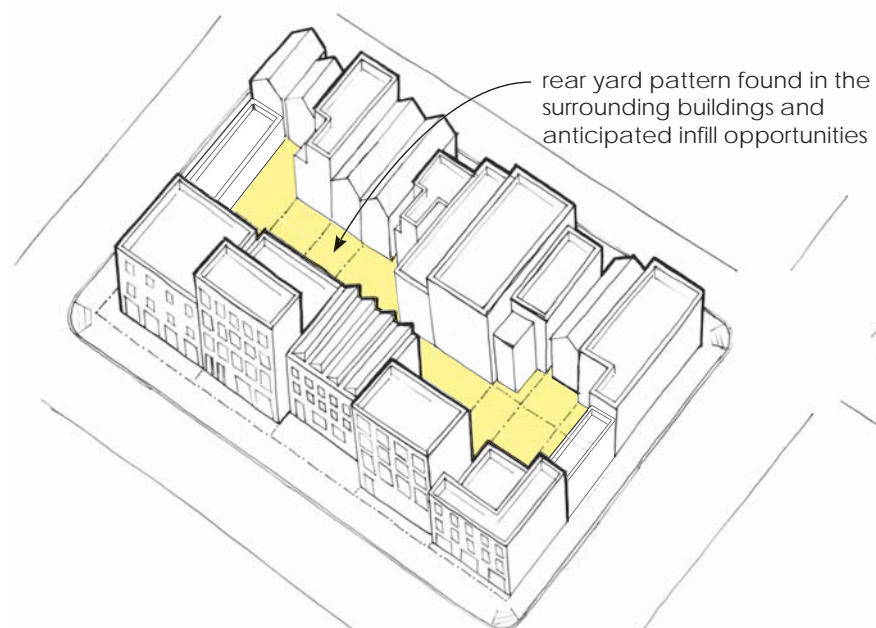
**DESIGN PRINCIPLE:** Promote a strong street-wall pattern that provides a noise and sound buffer for nearby residential uses.

### Rear Yards

**STANDARD:** Promote an at-grade rear yard pattern found in the lot depth of surrounding buildings and anticipated infill opportunities when the subject property backs onto a designated Residential Enclave District or a Residential Enclave District - Mixed.

**STANDARD:** Articulate the building to minimize impacts on light and privacy to adjacent properties.

**STANDARD:** Design the height and depth of the building to be compatible with the existing building scale and the existing or potential for creation of mid-block open space.



**STANDARD:** Where there is not a strong existing pattern of at grade rear yards and rear yard open space on adjacent parcels has been provided in alternatives ways, rear yards may be located to be compatible with pre-existing and adjacent patterns of development.

## Front Setback

STANDARD: Promote opportunities for front stoops and green setbacks as part of the open space needs for transitions to the public realm.

## Sunlight

STANDARD: Design buildings to maximize solar access in existing and future mid-block rear yard patterns through the use of set backs, rooflines and placements of rooftop features.



## Privacy

STANDARD: Provide building designs that promote accessibility and public realm improvements and assure necessary privacy away from the public realm.

## Architectural Details

DESIGN PRINCIPLE: Provide architectural features that enhance the visual and architectural character of the neighborhood warehouse quality.

DESIGN PRINCIPLE: Design using simple forms and discourage the introduction of a residential architectural vocabulary into commercially dominant clusters of buildings.

STANDARD: Design the placement and scale of architectural details to be compatible with the building, reinforcing the 50 feet lot width module and the surrounding scale of the area.



STANDARD: Architectural detail should reflect the location, proximity to a recognized historic context and surrounding uses.

## *Window and Fenestration*

STANDARD: Use windows and fenestration patterns that compliment the architectural character of the building and the context of adjacent buildings.

## *Window Size*

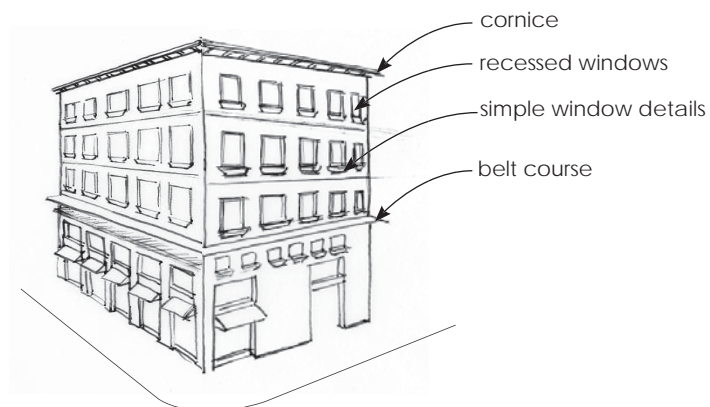
STANDARD: Relate the proportion and size of windows to that of existing buildings in the neighborhood.



## *Window Features*

STANDARD: Design window features to be compatible with building context and mix of uses on the existing block face.

STANDARD: Include three-dimensional window detailing, such as cornices, belt courses, window moldings, or reveals to create shadows and add interest. A minimum window reveal of six inches is encouraged above the ground floor and horizontal sliding windows or applied mullions on windows facing the street are discouraged.



## *Window Material*

STANDARD: Use quality window materials on façades visible from the street that are compatible with surrounding residential or non-residential buildings (late 20th Century Live-Work buildings should not be included in the consideration of proposed window material).

## *Bay Windows*

STANDARD: Due to the existing dominant 20th Century warehouse architectural vocabulary, traditional bay windows should be discouraged for new street frontages. Additional living area may be provided if simple industrial building typology forms are integrated at street façades into the larger elevation above the third floor of occupancy.

## *Finish Materials*

STANDARD: The type, finish, and quality of a building's materials must be compatible with those used in the surrounding area. Finishes need only be compatible, not replications.

STANDARD: High-quality materials that promote permanence and express skilled craftsmanship, including wood, masonry, ceramic tile, pre-cast concrete and integrated, hard-coat stucco, should be used on all visible façades. Avoid using inauthentic materials, in particular those that have the appearance of a thin veneer or attachment, such as EIFs or tilt-up panels.



exposed finished building wall

## *Exposed Building Walls*

STANDARD: All exposed walls must be covered and finished with quality materials that are compatible with the front façade and adjacent buildings.

## *Material Detailing*

STANDARD: Ensure that materials are properly detailed and appropriately applied.

## *Entrances*

DESIGN PRINCIPLE: Design building entrances to enhance the connection between the public realm of the street and sidewalk with the private realm of the building.

STANDARD: Design and clearly distinguish residential from non-residential entrances and where appropriate integrate entrance way finding signage programs.

STANDARD: Reduce potential conflicts and confusion of new entrances that respect the existing pattern of building entrances.

## *Garages*

DESIGN PRINCIPLE: Detail garage structures to create a visually interesting street frontage.

### *Garage Door Design and Placement*

STANDARD: Design and place garage entrances to minimize impacts on the public realm.

STANDARD: Doors should be compatible with the building and the surrounding area and add visual interest to the street.

### *Garage Door Widths*

STANDARD: Minimize the width of garage entrances for residential buildings.

STANDARD: Prohibit light visible on the street from parking areas through garage doors.

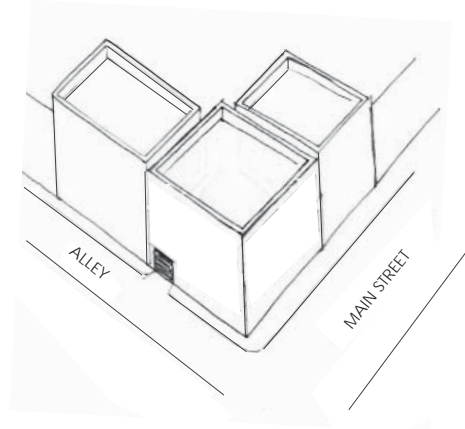
### *Curb Cuts*

STANDARD: Coordinate the placement of curb cuts to minimize pedestrian and bicycle conflicts.



## *Parking*

STANDARD: Access to off-street loading and parking spaces shall be from the main streets in preference to pedestrian and bicycle use of alleys.



*Discourage parking entrances from designated residential alleys.*

STANDARD: Designs should provide no visibility to parking areas from street.

## **Other Details**

DESIGN PRINCIPLE: Use architectural details to establish and define a building character and to visually unify a neighborhood.



### *Utility Panels*

STANDARD: Locate utility panels so they are not visible on the front building wall or on the sidewalk.

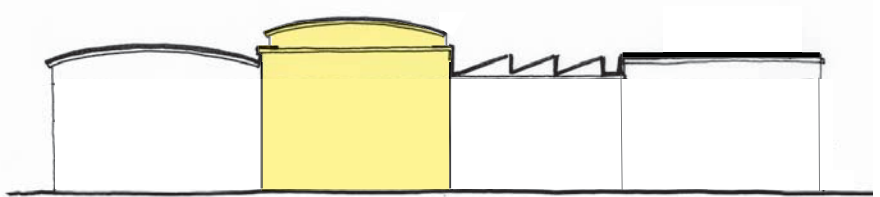
### *Decks*

STANDARD: Permit decks on the sides and rear of a building so long as the deck design is compatible with and integrated into the building form. Due to volume and noise from traffic, decks should be located away from street façade and/or buffered from street impacts.

## Rooflines

DESIGN PRINCIPLE: Use architectural details to establish and define a building character and to visually unify a neighborhood.

STANDARD: Design rooflines to be compatible with those found on surrounding buildings.



*The example above shows compatibility with surrounding buildings.*

STANDARD: Sensitive locate and screen rooftop features so they do not dominate the appearance of a building.

## Stair Penthouses

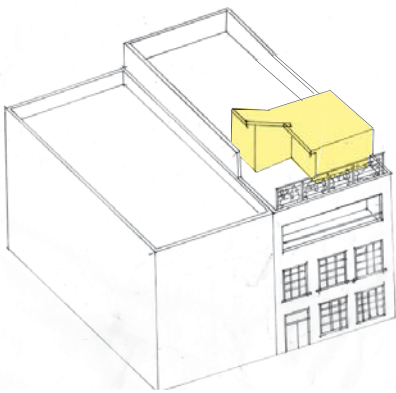
STANDARD: Minimize stair and elevator penthouses visibility from the street.

## Parapets

STANDARD: Design parapets to be compatible with overall building proportions and other building elements.

## Windscreens

STANDARD: Encourage windscreen designs that maximize light to adjacent buildings.







## Design Standards for Mixed Use General Areas

In 1990, many areas zoned as Service Light Industrial Residential (SLR), were characterized by wide streets that have both residential and commercial uses (often in adjacent but separate structures). Currently these streets also have relatively low traffic volumes, but are not yet designed or improved to carry a proportional and simultaneous interaction between pedestrians, bicycles and cars. Howard, 7th, 8th, 11th and 12th streets have the potential to become more green and pedestrian friendly. This can be achieved by widening sidewalks, planting more trees, and creating more permeable grounds that can mitigate pollution, noise and catch run-off water.

### Site

#### *Neighborhood Character*

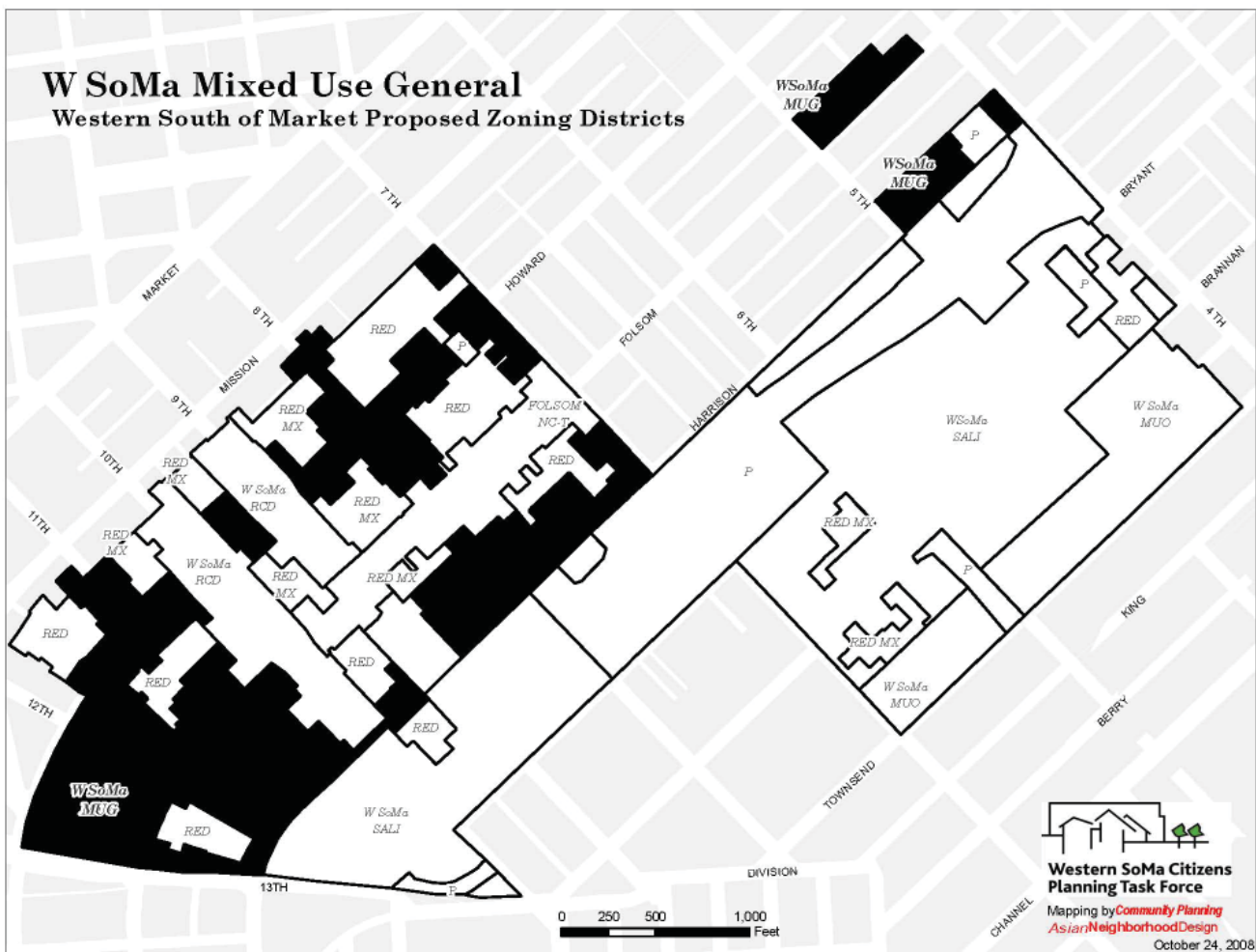
This area is characterized by its wide streets, varied scaled lots with many varied uses. The history of a “mix of uses” throughout the district contributes to the vitality and variety of the neighborhood. “Mix of Uses” refers to a collection of individual buildings each accommodating a single use, coexisting with each other. So there are many different uses within a block, which are not stacked one on top of the other, but rather contrasting side by side. The variety of lot sizes, further accentuates the mix of scale and uses. In fact there are 25 foot wide residential “flat” buildings, interspersed with two and three-story, 100 foot long or more warehouse and commercial structures.

The warehouse structures were developed through the 1940’s and have several architectural styles, from deco to classical to modern. The larger, two-story warehouses are often simpler classical expressions, with pilasters

marking the bays and subtle bases and cornices. The first floors have large showroom windows and celebrated entrances. The upper stories have wide multi-paned windows allowing for day-lighting into the interior. Some of the three storey warehouses differentiate between the second and third stories, with smaller fenestration on the second story, differing in scale to the first and third stories. All have relatively flat façades and simple patterns of fenestration.

GOAL: The historic mix of uses throughout the South of Market adds vitality and a pattern of smart transit oriented development that should be enhanced and built upon throughout the Mixed Use General (MUG) Zoning District.

DESIGN PRINCIPLE: Buildings and building frontages should provide variety along a block, but remain consistent with the overall urban design concept for the area by not mixing radically different materials, construction methods, bulk, massing and articulation.





DESIGN PRINCIPLE: Maintain the “simple” architectural expressions found throughout the South of Market.

### *Scale*

DESIGN PRINCIPLE: Provide new building scale and form that is compatible with surrounding buildings and mix of uses as a means of enhancing the neighborhood’s historic warehouse character.

STANDARD: Encourage the preservation of small scale residential buildings and lots.

### *Massing*

STANDARD: Provide new building heights that respect existing building heights in the district with appropriate setbacks and treatments that create coherent height transitions in adjacent building groups.

STANDARD: Design building forms to be compatible with that of surrounding historical buildings.

### *Façade Treatment*

STANDARD: Integrate a consistent range of materials, colors and design elements, including, but not limited to, construction materials, roofs, entrances, windows, door and pattern for each building.

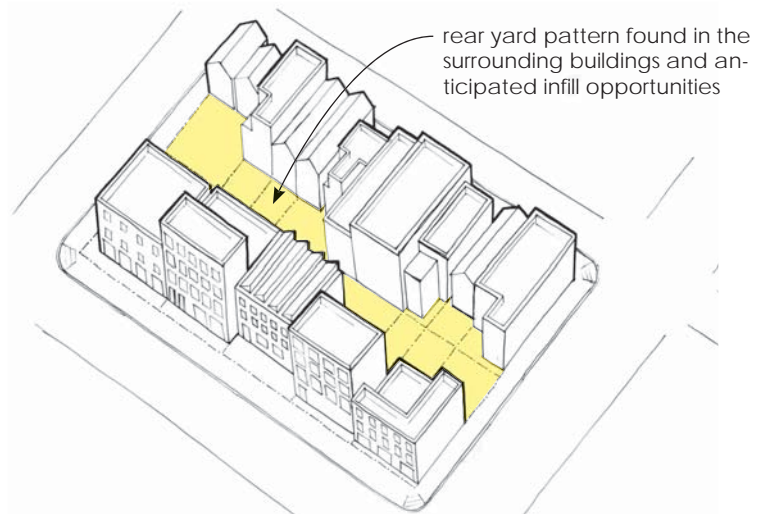
STANDARD: New development should epitomize the best in contemporary architecture, but should do so with full awareness of, and respect for, the height, mass, articulation, historic context and materials of the best of the older buildings that surrounds them.

### *Lot Development Patterns*

DESIGN PRINCIPLE: Promote a site plan that provides a noise and sound buffer for nearby residential uses whose location within the larger site plan reflect and complements its surrounding uses.

DESIGN PRINCIPLE: Projects should have a mix of uses.

## Rear Yards



**STANDARD:** Promote an at-grade rear yard pattern found in the lot depth of surrounding buildings and anticipated infill opportunities when the subject property backs onto a designated Residential Enclave District or a Residential Enclave District - Mixed.

**STANDARD:** Discourage below grade construction that does not provide at least 4 feet of soil depth and landscaping in the required yard area.



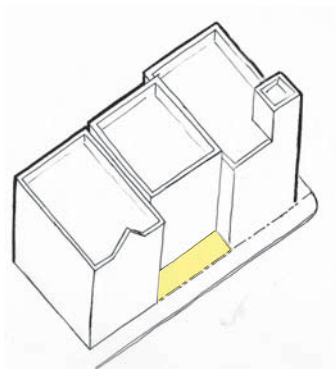
**STANDARD:** Articulate the building to minimize impacts on light and privacy to adjacent properties.

**STANDARD:** Design the height and depth of the building to be compatible with the existing building scale at the existing or potential for creation of mid-block open space.

## Front Setback

**STANDARD:** Promote opportunities for front yards, front stoops, and green set backs as part of the open space needs for transitions to the public realm.

**STANDARD:** Treat the front setback so that it provides a pedestrian scale and enhances the street.



## Varied Front Setbacks

**STANDARD:** In areas with varied front setbacks, design building setbacks to act as a transition between adjacent buildings and to unify the overall streetscape.

## Sunlight

STANDARD: Design buildings to maximize solar access in existing and future mid-block rear yard patterns.

## Privacy

STANDARD: Provide building designs that promote accessibility and public realm improvements and assure necessary privacy away from the public realm.



## Architectural Details

DESIGN PRINCIPLE: Provide architectural features that enhance the visual and historic architectural warehouse character of the neighborhood.

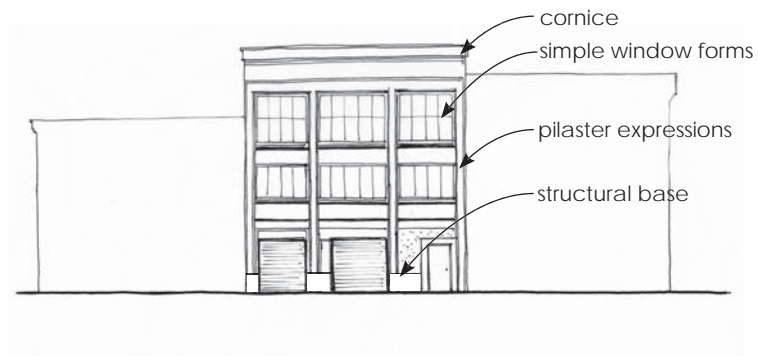
DESIGN PRINCIPLE: Design using simple forms and patterns. Discourage the introduction of a residential architectural vocabulary into commercially dominant clusters of buildings.

STANDARD: Design the placement and scale of architectural details to be compatible with the building, reinforcing the 50 feet lot width module or the surrounding scale of the block.

STANDARD: Architectural detail should reflect the location, proximity to recognized historic context, surrounding uses and design integrity.

## Window and Fenestration

STANDARD: Use windows and fenestration patterns that compliment the architectural character of the building and the context of adjacent buildings.





## Window Size

STANDARD: Relate the proportion and size of windows or window related design features to that of existing warehouse style buildings in the neighborhood.



## Window Features

STANDARD: Design window features to be compatible with building context and its own uses. Expose the mix of uses on the existing block face, if it exists.

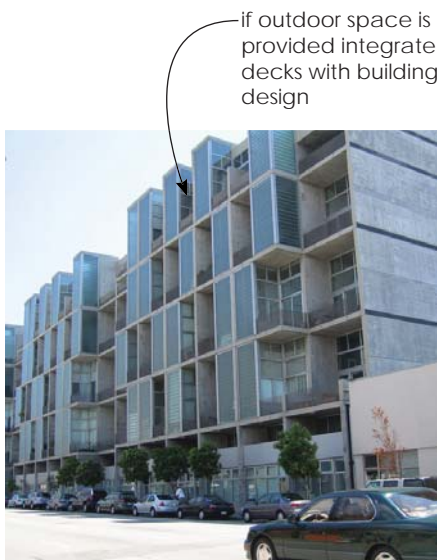
STANDARD: If appropriate to surrounding architecture, include three-dimensional window detailing, such as window moldings, or reveals to create shadows and add interest. A minimum window reveal of six inches is required above the ground floor, sliding windows or applied mullions on windows facing the street are discouraged.

## Window Material

STANDARD: Use quality window materials on façades visible from the street that are compatible with surrounding residential or non-residential buildings (late 20th Century Live-Work buildings should not be included in the consideration of proposed window material).

## Bay Windows

STANDARD: Due to the existing dominant 20th Century warehouse architectural vocabulary, new bay windows should be discouraged on large street frontages other than alleys. Additional living area may be provided if simple forms are integrated into the larger elevation.





## *Finish Materials*

**STANDARD:** The type, finish, and quality of a building's materials must be compatible with those used in the surrounding area. Finishes need only be compatible and suitable for the historic architectural warehouse character, not replications.

**STANDARD:** High-quality materials that promote permanence and express skilled craftsmanship, including wood, masonry, ceramic tile, pre-cast concrete and integrated, hard-coat stucco, should be used on all visible façades. Avoid using inauthentic materials, in particular those that have the appearance of a thin veneer or attachment, such as EIFs or tilt-up panels.

## *Exposed Building Walls*

**STANDARD:** All exposed walls must be covered and finished with quality materials that are compatible with the front façade and adjacent buildings.

## *Material Detailing*

**STANDARD:** Ensure that materials are properly detailed and appropriately applied.

## *Entrances*

**DESIGN PRINCIPLE:** Design building entrances to enhance the connection between the public realm of the street and sidewalk with the private realm of the building.

**STANDARD:** Design and clearly distinguish residential from non-residential entrances and where appropriate integrate entrance way finding signage programs.

**STANDARD:** Reduce potential conflicts and confusion of new entrances that respect the existing pattern of building entrances.



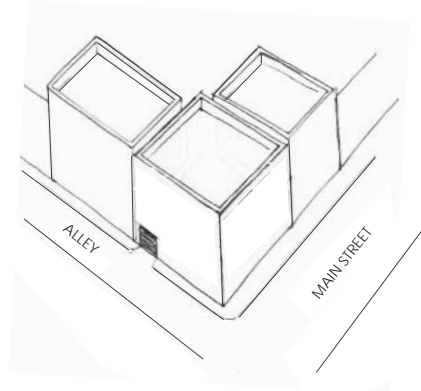


## Garages

DESIGN PRINCIPLE: Detail garage structures to create a visually interesting street frontage and not detract from the pedestrian experience.

### *Garage Door Design and Placement*

STANDARD: Design and place garage entrances to minimize impacts on the public realm.



*Discourage parking entrances from designated residential alleys.*

STANDARD: Doors should be compatible with the building and the surrounding area and add visual interest to the street.

### *Garage Door Widths*

STANDARD: Minimize the width of garage entrances for residential buildings.

### *Curb Cuts*

STANDARD: Coordinate the placement of curb cuts to minimize pedestrian and bicycle conflicts and on street parking.

### *Parking*

STANDARD: Access to off-street loading and parking spaces shall be from the main streets in preference to pedestrian and bicycle use of alleys.

STANDARD: Prohibit light visible on the street from parking areas through garage doors.

STANDARD: Design so there is no visibility into parking areas from public realms

## Other Details

DESIGN PRINCIPLE: Use architectural details to establish and define a building character and to visually unify a neighborhood.

### *Utility Panels*

STANDARD: Locate utility panels so they are not visible on the front building wall or on the sidewalk.

### *Decks*

STANDARD: Decks are permitted on any side of a building so long as the deck design is compatible with and integrated into the building form. Decks should respect the “flat” façades of warehouse building and should not project beyond the building face at property line.

STANDARD: On large scale buildings over three stories, decks are not permitted on street façades below the fourth floor of occupancy. Decks on and above the fourth floor of occupancy area may be provided if simple forms are integrated as recesses into the larger elevations.

### *Rooflines*

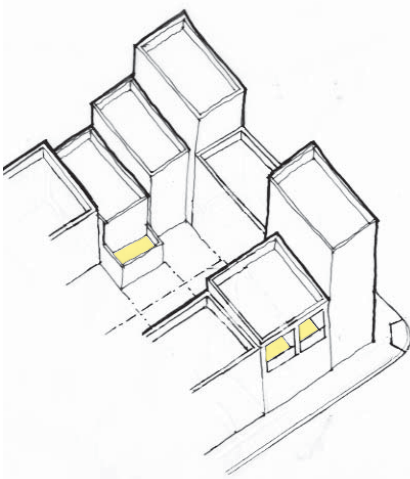
DESIGN PRINCIPLE: Use architectural details to establish and define a building character and to visually unify a neighborhood.

STANDARD: Design rooflines to be compatible with those found on surrounding buildings.

STANDARD: Sensitive locate and screen rooftop features so they do not dominate the appearance of a building.

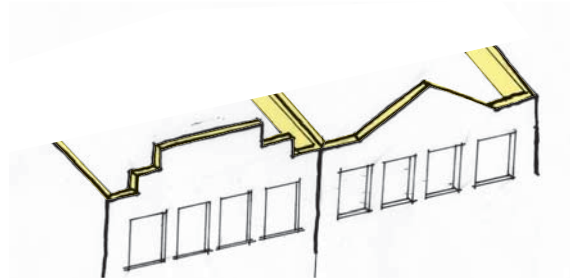
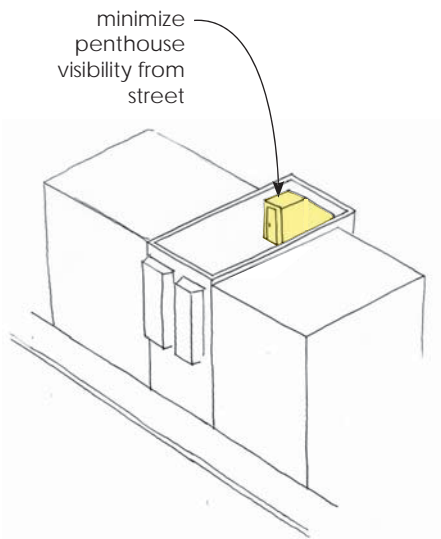
### *Stair Penthouses*

STANDARD: Minimize stair and elevator penthouses visibility from the street.



## *Parapets*

STANDARD: Design parapets to be compatible with overall building proportions and other building elements.



## *Windscreens*

STANDARD: Minimize windscreens impacts on the building design and maximize light to adjacent buildings.



## Design Standards for Service Arts Light Industrial Areas

The current Service/Light Industrial (SLI) District is one of the zoning districts developed in the 1990 South of Market Plan Area. It was designed to protect and facilitate the expansion of existing general commercial, manufacturing, home and business service, live/work use, arts uses, light industrial activities and small design professional office firms. Existing group housing and dwelling units are protected from demolition or conversion to nonresidential use, and development of group housing and low-income affordable dwelling units are permitted as a Conditional Use. General offices, hotels, movie theaters, nighttime entertainment and adult entertainment uses are not permitted in this district.

The proposed SALI (Service Arts Light Industrial) district is still designed to protect and facilitate the expansion of existing manufacturing, home and business service, light industrial and arts activities, but emphasizes the protection and opportunities of the latter. This new district continues to discourage office of any type, self storage, parking garages, new housing, and restricts large retail to 25,000 square feet per parcel while allowing research labs. However, the proposed district seeks to relax the current restrictions on religious institutions and entertainment uses.

The SALI (Service Arts Light Industrial) district is proposed in two areas, one along Bryant and Brannan between 7th and 4th Streets, and the other one along Bryant Street between Division and 8th Street, both south of Harrison Street. General heights are set at 40 feet with flexibility to increase to 55 feet when the proposed building dedicates one full floor, with 15 feet floor to ceiling heights, to arts related uses as defined by Planning Code Section 102.2.

GOAL: Create building forms that support arts related activities, service

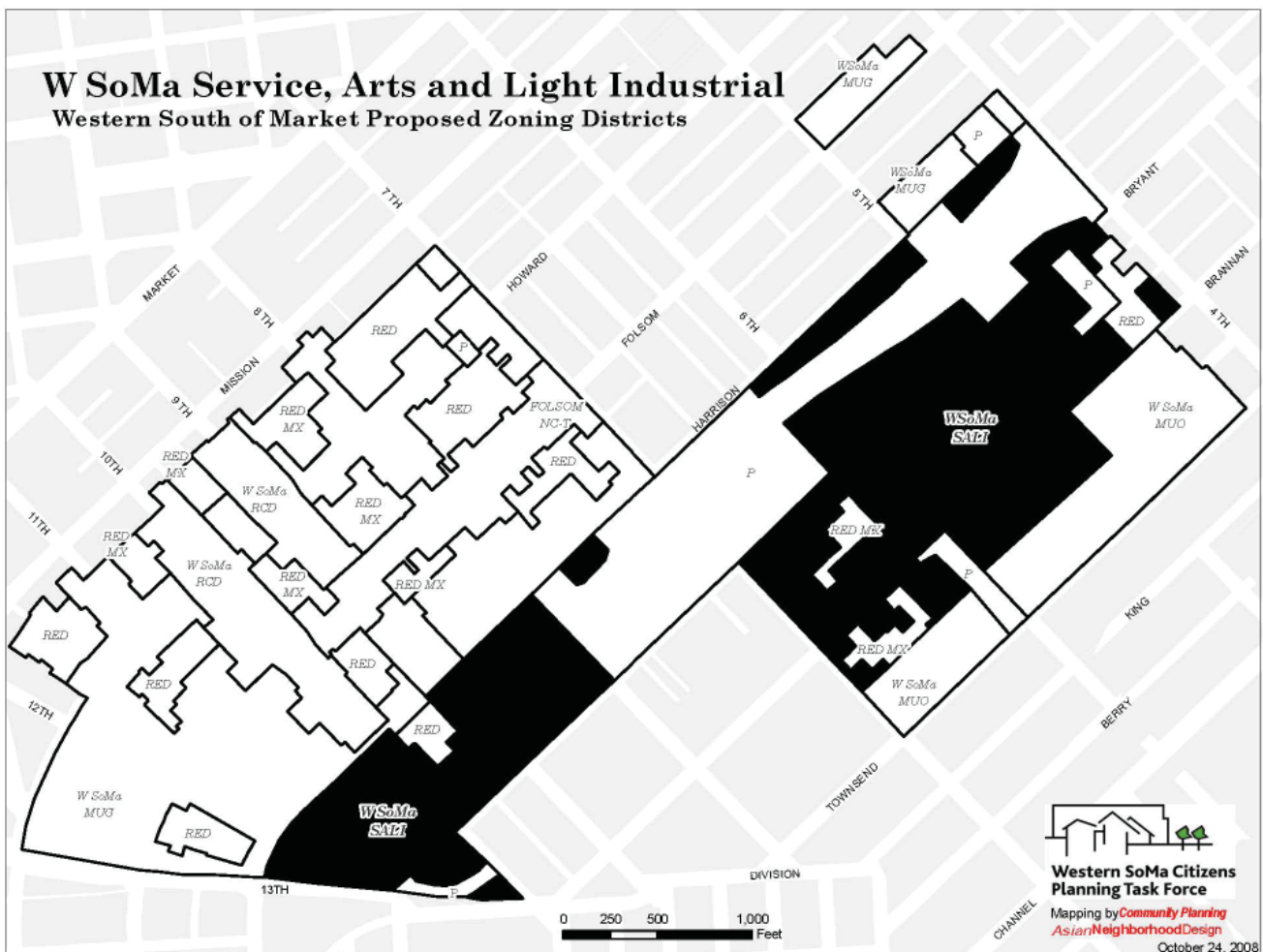
businesses and light industrial opportunities.

DESIGN PRINCIPLE: Develop proposed building massing in response to historic fabric, environmental conditions and patterns of nearby urban form.

DESIGN PRINCIPLE: Create and preserve buildings and their interior spaces that are flexible and support art service businesses and light industrial activities.

STANDARD: Encourage design compatibility with the neighborhood context.

STANDARD: Discourage blank walls facing the street, especially near sidewalks.



# Site

## *Neighborhood Character*

The designated SALI zoning district is generally characterized by larger lots sizes than elsewhere in the Western SoMa. In general, there are larger historic industrial and warehouse type buildings and fewer residential uses. Services and open spaces for daytime residents and workers are very limited. Noise levels associated with the industrial character of the SALI are greater throughout the entire 24 hour day in this area south of Harrison Street. Truck traffic and loading on and off the wide streets is a common need and occurrence in this part of the neighborhood. There are few alleys, many vacant lots and low scaled structures. The wide streets and one and two-story buildings create an open sunlit feeling. With many freeway access points, curb cuts and garage entries and few amenities, this area is not pedestrian friendly.

As a relatively vibrant warehouse and industrial neighborhood, it has uses like the Flower Mart and a newspaper and meat distribution sites. The ease of freeway access as well as the wide unencumbered streets accommodates delivery and distribution of goods. There is no open space and limited greening of sidewalks. The area around the Hall of Justice and its support uses, includes retail (bail bonds and cafés) as well as required short term parking.

DESIGN PRINCIPLE: Buildings and building frontages should provide variety along a block, but remain consistent with the overall urban design concept for the area by not mixing radically different materials, construction methods, bulk, massing and articulation.

## *Scale*

DESIGN PRINCIPLE: Provide new building scale and form that is compatible with surrounding buildings and mix of uses as a means of enhancing neighborhood light industrial and warehouse character.

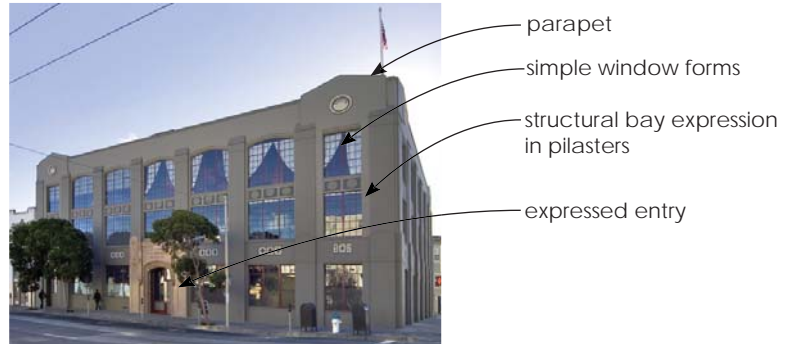
## *Massing*

STANDARD: Provide new building heights that respect existing building heights in the district with appropriate setbacks and treatments that create coherent height transitions in adjacent building groups.



## *Façade Treatment*

STANDARD: Integrate a consistent range of materials, colors and design elements, including, but not limited to, construction materials, roofs, entrances, and window, door, and lighting systems for each building.



STANDARD: New development should epitomize the best in contemporary architecture, but should do so with full awareness of, and respect for, the height, mass, articulation, historic context and materials of the best of the older buildings that surrounds them.

## *Lot Development Patterns*

DESIGN PRINCIPLE: Promote a strong street-wall pattern and discourage any street façade setbacks unless it results in a pedestrian amenity.

STANDARD: Discourage surface parking, work and storage yards at street property lines.

STANDARD: Provide building designs that promote visual accessibility from the public realm and assures necessary privacy of building users from the public realm.



## **Architectural Details**

DESIGN PRINCIPLE: Provide architectural features that enhance the visual and architectural character of the neighborhood.

STANDARD: Design the placement and scale of architectural details to be compatible with the building and the surrounding area and its uses.

## *Window and Fenestration*

STANDARD: Use windows and fenestration patterns that compliment the architectural character of the building and the context of adjacent buildings and overall warehouse quality.



### *Window Size*

STANDARD: Relate the proportion and size of windows or window related design features to that of existing building styles in the neighborhood.

### *Window Features*

STANDARD: Design window features to be compatible with building context and mix of uses on the existing block face.

STANDARD: Include three-dimensional window detailing, such window moldings, or reveals to create shadows and add interest. A minimum window reveal of six inches is required above the ground floor, sliding windows or applied mullions on windows facing the street are discouraged.

### *Window Material*

STANDARD: Use window materials on façades visible from the street that are compatible surrounding commercial buildings.



### *Finish Materials*

STANDARD: The type, finish, and quality of a building's materials must be compatible with those used in the surrounding area. Finishes need only be compatible, but not replications.

STANDARD: High-quality materials that promote permanence and express skilled craftsmanship, including wood, masonry, ceramic tile, pre-cast concrete and integrated, hard-coat stucco, should be used on all visible façades. Avoid using inauthentic materials, in particular those that have the appearance of a thin veneer or attachment, such as EIFs or tilt-up panels.

### *Exposed Building Walls*

STANDARD: All exposed walls must be covered and finished with quality materials that are compatible with the front façade and adjacent buildings.

## *Material Detailing*

STANDARD: Ensure that materials are properly detailed and appropriately applied.

## *Entrances*

DESIGN PRINCIPLE: Design entrances utilizing utilitarian and appropriate signage programs.

STANDARD: Design building entrances to enhance the connection between the public realm of the street and sidewalk.

## *Garages*

DESIGN PRINCIPLE: Detail garage structures to create a visually interesting street frontage.

DESIGN PRINCIPLE: Exterior façade should not permit visibility into parking area from street.

## *Garage Door Design and Placement*

STANDARD: Design and place garage entrances to minimize impacts on the public realm.

STANDARD: Doors should be compatible with the building and the surrounding area and add visual interest to the street.

STANDARD: Prohibit light visible on the street from parking areas through garage doors or other opening.

## *Garage Door Widths*

STANDARD: Minimize the width of garage entrances.

STANDARD: Design to fully meet the loading dock needs of commercial and light industrial uses.



## *Curb Cuts*

STANDARD: Coordinate the placement of curb cuts to minimize pedestrian and bicycle conflicts.

## **Other Details**

DESIGN PRINCIPLE: Use architectural details to establish and define a building character and to visually unify a neighborhood.

### *Utility Panels*

STANDARD: Locate utility panels so they are not visible on the front building wall or on the sidewalk.

### *Decks*

STANDARD: Prohibit projecting deck and balconies on all frontages visible from public streets.

### *Rooflines*

STANDARD: Design rooflines to be compatible with those found on surrounding buildings.

### *Rooftop Features*

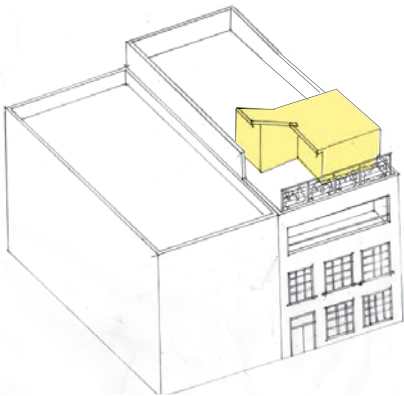
STANDARD: Sensitive locate and screen roof and collect features so they do not dominate the appearance of a building. Coordinate flues, chimneys and other mechanical equipment into limited area and provide screening.

### *Stair Penthouses*

STANDARD: Minimize stair and elevator penthouses visibility from the street.

### *Parapets*

STANDARD: Design parapets to be compatible with overall building proportions and other building elements.







## Design Standards for Mixed Use Office

The Service/Secondary Office District (SSO) was designed in 1990 to accommodate small-scale light industrial, home and business services, arts activities, live/work units, and small-scale, professional office space and large-floor-plate “back office” space for sales and clerical work forces. Currently, nighttime entertainment is not permitted while dwelling units, group housing, and demolition or conversion of existing group housing or dwelling units requires Conditional Use authorization.

Office, general commercial, most retail, service and light industrial uses are principal permitted uses. Large hotels, adult entertainment, self storage and manufacturing uses are not permitted. A limited number of small hotels are permitted in this district as Conditional Uses. Any such Conditional Use authorization requires a Conditional Use finding that disallows project proposals, which displace existing Production, Distribution and Repair (PDR) uses.

The new Western SoMa MUO (Mixed Use Office) prohibits new housing of any type, and restricts large theaters and educational institutions. General and office uses of up to 49,999 gross square feet per parcel are permitted. Retail uses are also permitted as long as they do not exceed 25,000 gross square feet.

The Western SoMa MUO district runs the length of Townsend Street frontages between 7th and 4th Streets and features increased height limits to promote new non-residential development.

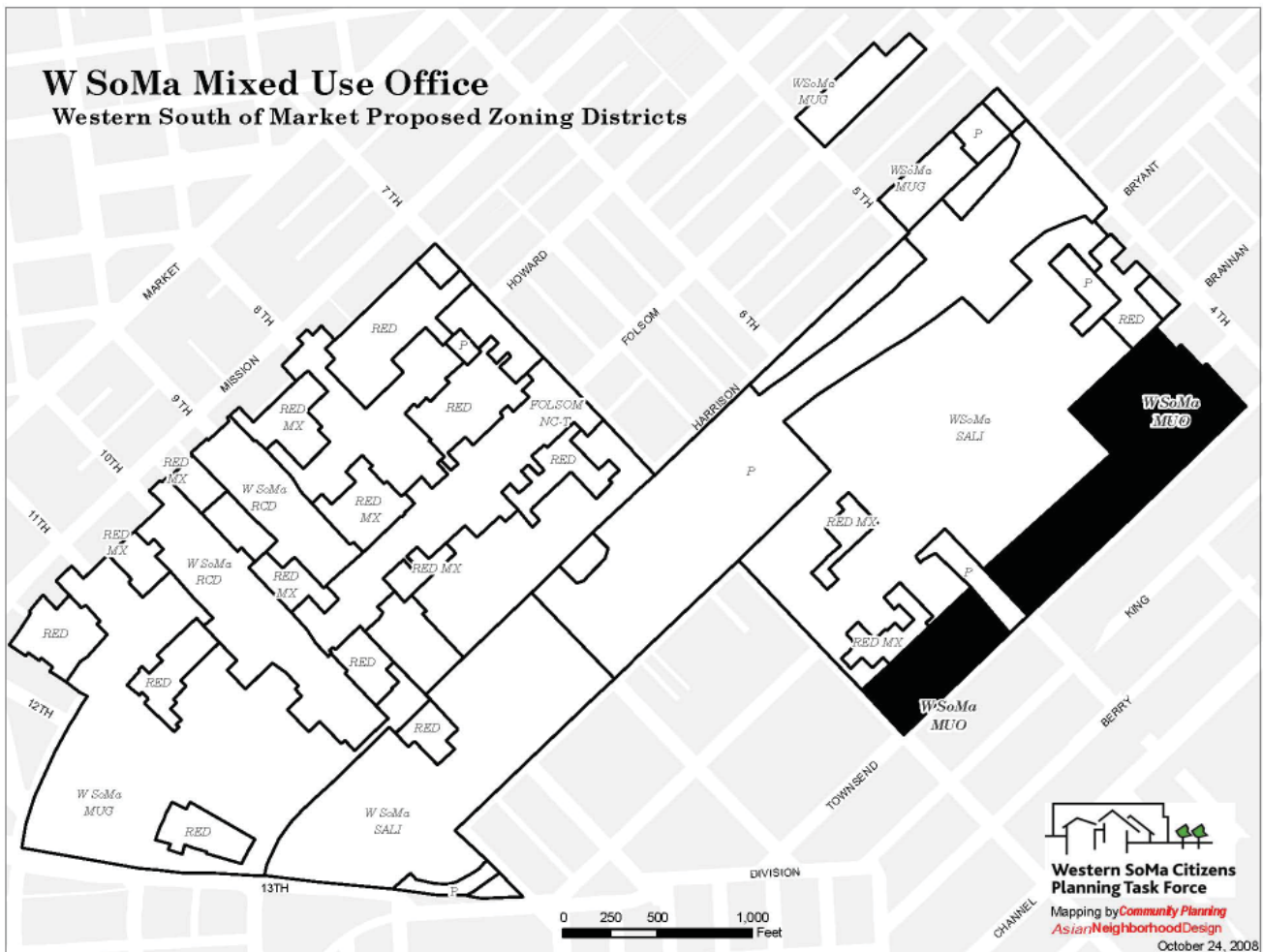
GOAL: Promote a design that reflects its use as an office corridor with special emphasis on creative high tech office users and buildings along Townsend Street.

DESIGN PRINCIPLE: Encourage adaptive reuse and preservation of the existing warehouse and building stock.

DESIGN PRINCIPLE: Develop the building massing in response to historic fabric, environmental conditions and patterns of nearby urban form.

STANDARD: Encourage design compatibility with the neighborhood context.

STANDARD: Discourage blank walls facing the street, especially near sidewalks.





## Site

### *Neighborhood Character*

This neighborhood is characterized by its larger and wider warehouse-type buildings, many of which are constructed out of brick. Built mainly as storage facilities along Townsend Street to serve the docks and trains, these buildings have loading docks at their first floor set at loading dock heights. Their façades are flat, with simple fenestration patterns, sometimes with pilasters expressing their bays. There are few projections of any kind, including limited expression of the cornice. The windows are recessed from the face of their thick walls and are mostly in vertical proportions. The first floor often has larger openings that were once the loading docks. At pedestrian level the street wall is continuous, with few setbacks. There is subtle and small expression of the building's entry, since they expected few visitors.

Townsend Street, between 4th and 7th Streets is currently an “undeveloped” street across from CalTrain tracks. It lacks street infrastructure including sewer, sidewalks, street-lights and parking controls. It currently has perpendicular parking with little pedestrian use and questionable bicycle safety.

DESIGN PRINCIPLE: Buildings and their frontages should provide variety along a block, but remain consistent with the overall urban design concept for the area by not mixing radically different materials, construction methods, bulk, massing and articulation.

### *Scale*

DESIGN PRINCIPLE: Provide new building scale and form that is compatible with surrounding buildings as a means of enhancing neighborhood character.

### *Massing*

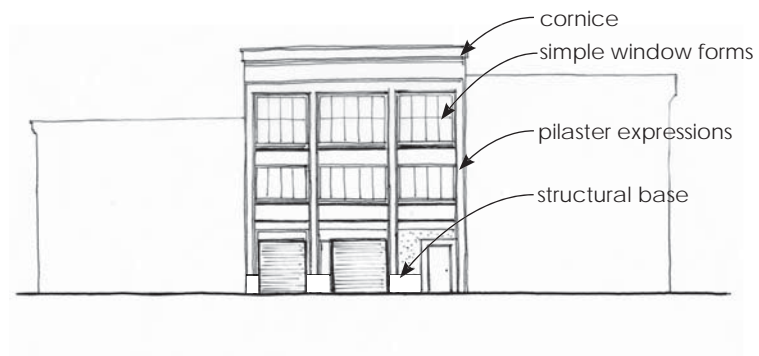
STANDARD: Provide new building heights that respect existing building heights in the district with appropriate setbacks and treatments that create coherent height transitions in adjacent building groups.

STANDARD: Provide strong, repeating vertical articulation on new buildings to achieve visual harmony and sustain pedestrian interest and activity.



## *Façade Treatment*

STANDARD: Design façade widths to be compatible with those found on surrounding buildings.



## *Lot Development Patterns*

DESIGN PRINCIPLE: Promote a strong street-wall pattern that integrates pockets of wind protected street level publicly accessible open spaces.

STANDARD: Articulate the building to minimize impacts on light to adjacent properties.

STANDARD: Provide building designs that promote visual accessibility for pedestrians from public realm and also assure necessary privacy for building users from the public realm.

STANDARD: On large lots provide public accessible pedestrian and vehicle alleys to connect other streets or alleys.



## **Architectural Details**

DESIGN PRINCIPLE: Provide architectural features that enhance the visual and architectural industrial and warehouse character of the neighborhood.

STANDARD: Design the placement and scale of architectural details to be compatible with the building and the surrounding area and its uses.

## *Window and Fenestration*

STANDARD: Use windows and fenestration patterns that compliment the architectural character of the building and the context of adjacent buildings.



## *Window Size*

STANDARD: Relate the proportion and size of windows to that of existing buildings in the neighborhood.

## *Window Features*

STANDARD: Design window features to be compatible with building context of the existing block face.

STANDARD: Include three-dimensional window detailing, such as belt courses, window moldings, or reveals to create shadows and add interest. A minimum window reveal of six inches is required above the ground floor, sliding windows or applied mullions on windows facing the street are discouraged.

## *Window Material*

STANDARD: Use window materials on façades visible from the street that are compatible surrounding commercial buildings.

## *Finish Materials*

STANDARD: The type, finish, and quality of a building's materials must be compatible with those used in the surrounding area. Finishes need only be compatible, but not replications.

STANDARD: Exterior materials should have integrity, be sustainable and be applied with integrity.

## *Exposed Building Walls*

STANDARD: All exposed walls must be covered and finished with quality materials that are compatible with the front façade and adjacent buildings.

## *Material Detailing*

STANDARD: Ensure that materials are properly detailed and appropriately applied.



## *Entrances*

DESIGN PRINCIPLE: Design entrances utilizing utilitarian and innovative design integrity and appropriate sensitive signage programs.

STANDARD: Design building entrances to enhance the connection between the public realm of the street and sidewalk and the private realm of the building.

STANDARD: Respect the existing pattern of building entrances.

## *Garages*

DESIGN PRINCIPLE: Detail garage structures to create a visually interesting street frontage.

DESIGN PRINCIPLE: Design so that no parking areas are visible from public realm.

## *Garage Door Design and Placement*

STANDARD: Design and place garage entrances to minimize impacts on the public realm.

STANDARD: Doors should be compatible with the building and the surrounding area and add visual interest to the street.

STANDARD: Prohibit light visible on the street from parking areas through garage doors or other openings.

## *Garage Door Widths*

STANDARD: Minimize the width of garage entrances.

STANDARD: Design to fully meet the loading dock needs of commercial and light industrial uses while minimizing potential transit, bicycle and pedestrian conflicts.

## *Curb Cuts*

STANDARD: Coordinate the placement of curb cuts to minimize transit, pedestrian and bicycle conflicts.



## Other Details



DESIGN PRINCIPLE: Use architectural details to establish and define a building character and to visually unify a neighborhood.

### *Utility Panels*

STANDARD: Locate utility panels so they are not visible on the front building wall or on the sidewalk.

### *Rooflines*

STANDARD: Design rooflines to be compatible with those found on surrounding buildings

### *Rooftop Features*

STANDARD: Sensitive locate and screen rooftop features so they do not dominate the appearance of a building. Collect and coordinate vents, flues and other mechanical equipment to screen from public view.

### *Stair Penthouses*

STANDARD: Minimize stair and elevator penthouses visibility from the street.

### *Windscreens*

STANDARD: Minimize windscreens impacts on the building design and maximize light to adjacent buildings.





## Design Standards for Large Site Development

Special Design Standard considerations are applicable to sites of one half acre or larger where there is also additional height allowed above the base height. The variable height increases above the base height are established to provide increased design flexibility on these development sites. A large site will abut many different uses and styles. By granting building height in excess of the base height, the expectation is that the project design can better respond to both mixing uses and variations in building massing within the site responding to specific surrounding context. In exchange for the height increases the projects is subject to requests to sensitively respond in design features to the surrounding neighborhood conditions. Additionally, projects proposed on these larger Western SoMa development sites are expected to extend the neighborhood fabric onto the site through the provision of publicly accessible open space features and the further development of the surrounding neighborhood system of alleys.

### Neighborhood Character

**GOAL:** Achieve an overall design on large sites that adequately reflects the design character and various uses found throughout Western SoMa and is sensitive to its immediately surrounding uses and architecture.

**GOAL:** Achieve an urban form and architectural character that supports walking and sustains a diverse, active and safe public environment.

**DESIGN PRINCIPLE:** Adaptive reuse of existing buildings is encouraged whenever possible.

DESIGN PRINCIPLE: Architectural styles and building materials should be representative of the existing commercial and residential architectural qualities found in the Western SoMa.

DESIGN PRINCIPLE: Projects should provide places and features that respond to, preserve and enhance the historical and cultural setting.

DESIGN PRINCIPLE: To the greatest extent possible, projects should provide neighborhood amenities such as commercial space and publicly accessible open space.

DESIGN PRINCIPLE: On sites of an acre or more, the project design should promote opportunities for public access to walk through the site.

DESIGN PRINCIPLE: Project design should create a mix of uses found in the surrounding neighborhood and create on site use buffers for potential incompatible uses found in adjacent structures.

DESIGN PRINCIPLE: Provide rear yards on the ground level to provide green opportunities and ground water retention, unless exceptional circumstances dictate otherwise.

## *Scale*

DESIGN PRINCIPLE: The potential height increases, over the base heights, on these larger development sites are provided to promote design flexibility and results in an overall site plan that relates the height and scale of new buildings to the surrounding streets and alleys.

## *Massing*

STANDARD: Provide vertical and horizontal articulation with strong, simplified massing.

STANDARD: Articulate a clear base, middle and top for larger buildings.

STANDARD: Limit massing in the rear if it will significantly impact the light and air of existing rear yards on the same block.

## *Façade Treatment*

DESIGN PRINCIPLE: Adequate modulation along façades is required to ensure enough rhythm and variety to produce an engaging pedestrian experience along the street.

STANDARD: Residential buildings that include ground floor units should be modulated at regular intervals that relate to the surrounding context but should be no greater than 100 feet on large streets and 25 feet on alleys.

## *Lot Development Patterns*

One of the metaphors used by the architects, urban designers and planners who contributed to these design standards for the larger neighborhood development lots was the following. A developer should consider a new development pattern that takes use and design elements of the surrounding neighborhood, put them in a blender and pour them out into the design of site plan.

DESIGN PRINCIPLE: Building form should compliment and blend the significance of surrounding lot patterns and configurations.

STANDARD: Orient buildings, both in use and design, towards street corners.

STANDARD: Locate commercial entrances on larger streets and primary residential entrances away from street corners.

STANDARD: Large lots should provide public accessible alley to respond to and connect to surrounding streets and alleys.

STANDARD: New alleys should be readily identifiable so the public feels welcomed. Alley traffic should be controlled and remain slow and not be used as a shortcut to larger streets.

STANDARD: Where vehicular alleys won't work due to street traffic, provide a publicly accessible pedestrian alley.

## *Rear Yards*

DESIGN PRINCIPLE: Rear yards, when provided at the rear of the site, should respect the pattern of existing rear yards on the same block.



STANDARD: Provide rear yards on the ground level unless exceptional circumstances dictate otherwise.

STANDARD: Provide as little impervious surface as possible to increase ground water recharge and limit the impact on potential flooding in the area.

### *Front Set Back*

Limiting front setbacks for non-residential buildings helps ensure ground floors are activated and provide an enjoyable pedestrian experience, unless designed as publically accessible open space.

DESIGN PRINCIPLE: Where a project faces an alley apply RED or RED-MIX standards.

DESIGN PRINCIPLE: Front setbacks for residential buildings can provide much needed transition space between the public and private realms.

DESIGN PRINCIPLE: Scale setbacks appropriately based on site conditions.

STANDARD: Commercial developments should have front setback and provide active uses on the ground floor to ensure a vibrant pedestrian environment with wind protected sunlit open space to encourage public gathering space.

### *Varied Front Setbacks*

STANDARD: Developments containing ground floor residential uses should provide small setbacks to allow for stoops, additional landscaping, and other features for transitions between the public and private realms.

### *Parking*

DESIGN PRINCIPLE: Off-street parking areas should not be visible from the street or dominate ground floor streetscapes.

DESIGN PRINCIPLE: Ingress and egress to off-street parking should be limited and be appropriately placed to limit impacts on façade design, pedestrian facilities, bicycle lanes, and vehicular traffic.

STANDARD: Off-street parking located on the ground floor should be adequately set back from the façade wall to allow active uses to provide a buffer.

STANDARD: Locate curb cuts as far away from street corners as possible to reduce congestion and safety conflicts.

STANDARD: Locate curb cuts to ensure the preservation or creation of the maximum number of on-street parking spaces as possible.

## *Height Bonuses*

DESIGN PRINCIPLE: New buildings on large sites with height bonuses should reflect an extension of the surrounding neighborhood and be held to a higher design standard.

STANDARD: Areas of increased heights on large sites should focus on the larger surrounding streets, while respecting the surrounding lower scale streets and development.

STANDARD: Public view corridors should be respected, particularly east-west views to the bay or hills, and significant views toward downtown.

STANDARD: Setbacks of upper floors of taller buildings using a height bonus should be considered where a building would exceed a height equal to the width of the facing street, or differ by one or more stories, from the prevailing height of adjacent buildings.

## *Publicly Accessible Open Space*

DESIGN PRINCIPLE: Development of large sites should capitalize on the unique opportunity to provide high quality usable open space that is accessible to the general public.

STANDARD: Provide publicly accessible open space on the ground level unless exceptional circumstances dictate otherwise.

STANDARD: Locate publicly accessible open spaces in areas that receive enough light and air to ensure maximum public benefit.

STANDARD: Provide as little impervious surface as possible to permit more active use, increase ground water recharge, and limit the impact on potential flooding in the area.

## *Provision of New Alleys*

DESIGN PRINCIPLE: Extending existing alleys to adjacent streets, and creating new mid-block alleys, strengthens pedestrian and vehicular transportation networks.

STANDARD: Existing alleys should be extended to the adjacent cross street unless exceptional circumstances dictate otherwise.

## *Other Amenities*

DESIGN PRINCIPLE: Large sites should provide community spaces meeting needs of youth and families that are also unique to the specific location, social history and culture of the vicinity.

STANDARD: Design to include design features, spaces and acknowledgements to the LGBTQ, Filipino and other potentially appropriate and formally recognized social heritage communities.

STANDARD: Design should to the greatest extent possible incorporate spaces that serve the arts community, childcare needs and public education of the neighborhood history.



# Design Standards for Alterations to (and Near) Buildings of Historic Merit

## Purpose

There are a significant number of historic buildings in the Western SoMa Special Use District (SUD) and just outside the SUD boundaries there is a need for Design Standards to facilitate the design of both adaptive reuse and expansion of existing historic buildings. These needs are addressed in the following Design Standards for Adaptive Reuse of Historic Structures. Additionally, the design of new buildings, in the context of a historic building stock, needs Design Standards. These needs are provided in the Design Standards for Infill Development in Historic Districts and Contiguous to Historic Buildings. Together these two sections integrate the Secretary of the Interior’s “Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings” (SOIS) into the Western SoMa Design Standards. In the cases of development proposals to alter historic buildings or add building to a historic contexts the Planning Department uses the SOIS to evaluate proposed projects. On a technical level, impacts o historical resources within the scope of a proposed project are mitigated to below the level of significance by using the SOIS pursuant to CEQA Guidelines §15064.5(b). A user-friendly step-by-step guide for design and evaluation of your proposed project is provided in the pages that follow.



# Background

The Planning Department and the consultant team of Page & Turnbull conducted a historic and cultural resource survey in the greater South of Market neighborhood during the development of the Western SoMa Community Plan. This historic survey work began with a “Context Statement”, followed by detailed individual building documentation. In February of 2011, the Historic Preservation Commission adopted two historic district records determining them to be eligible for a future formal designation. The first, “Western SoMa Light Industrial and Residential Historic District” is eligible for listing in the National Register; the second, “Bluxome-Townsend Warehouse Historic District” is locally significant. Similarly, there are a great number of the individually significant buildings in the SUD. In each case, the documentation in the form of State of California DPR 523 forms are on file with the Planning Department, and are valuable resources to identify the character-defining features of the district or building.

## *Historic Preservation and How It Works*

Additions to existing buildings and new infill construction proposed within a historic district should reflect an understanding of the relationship of the proposal with the contributing buildings within the district. The Planning Department reviews building additions for compatibility with the historic building. When applicable, infill construction is reviewed for compatibility with a historic district. New construction to a historic building or in the context of historic buildings should not make exact copies of existing features, as one might do for a restoration project. The best practice for additions is to minimize the visibility of the new structure. Infill construction should reflect the character of the district, including the prevailing heights of contributing buildings without creating a false sense of history. Property owners should consult with a Planning Department Historic Preservation Technical Specialist early in the process when developing a proposal.

The first step in preserving a building or designing new construction within a context of historic buildings is to identify the character-defining features that should be either preserved, or maintained. Project design should ensure the protection of those character-defining features.

Two key concepts for preservation are authenticity and integrity. Authenticity is achieved when the identified historic building retains its authenticity after the alteration is built. New construction should not be a new building addition with token elements the historic structure. Integrity is the ability of a property to convey its significance. The seven aspects of integrity are location, design, setting, materials, workmanship, feeling, and association. For a more in-depth discussion on how the aspects are defined, refer to National Register Bulletin 15: [http://www.nps.gov/history/nr/publications/bulletins/nrb15/nrb15\\_8.htm](http://www.nps.gov/history/nr/publications/bulletins/nrb15/nrb15_8.htm). To retain historic integrity, a property should possess several, and usually most, of these seven aspects. Essential physical features should be present. Integrity is examined against essential physical features that were present during the historic period, estimates of the percentage of the historic material that remains intact and estimates then document any intrusions or missing elements.

“The Secretary of the Interior’s Standards for the Treatment of Historic Properties With Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings” contain four separate sets of standards. Of these four standards, the Planning Department uses The Standards for Rehabilitation. “Rehabilitation” is defined as “the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.” The National Park Service has a website devoted to an illustrated guide to these Standards-<http://www.nps.gov/hps/tps/tax/rhb/index.htm>

### *The Secretary of the Interior’s Standards for Rehabilitation*

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy. These Standards encompass the exterior and the interior, related landscape features, the building site and environment, as well as, attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

**Standard 1** A property should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

**Standard 3** Each property should be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, should not be undertaken.

**Standard 4** Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved.

**Standard 5** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

**Standard 6** Deteriorated historic features should be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature should match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

**Standard 7** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials should not be used. The surface cleaning of structures, if appropriate, should be undertaken using the gentlest means possible.

**Standard 8** Significant archeological resources affected by a project should be protected and preserved. If such resources should be disturbed, mitigation measures should be undertaken.

**Standard 9** New additions, exterior alterations, or related new construction should not destroy historic materials that characterize the property. The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**Standard 10** New additions and adjacent or related new construction should be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The nature of the proposed project determines which of the above standards applies. For example a rehabilitation to convert a small light industrial building to an office within the existing shell will not invoke Standard 10, because there is no addition proposed.

## ***A HANDY GUIDE TO A SUCCESSFUL PRESERVATION PROJECT***

*Step 1* Identify the character-defining features of the building and the district, if there is one. Make a list of all the features based on all seven aspects of integrity. For the building, rank the features, and pay more attention to the features of its design, materials and workmanship. If working within a district, look at the setting and feeling for design clues. Keep this list. It will be useful later.

*Step 2* Design your project to preserve and protect the features you identified on your list. The Secretary of the Interior's Standards for Rehabilitation is your tool to assist in the design and execution of a variety of changes to historic properties.

*Step 3* Imagine your project built. Evaluate your own project using the list(s) you made in Step 1. Will there still be an authentic historic building? Has it retained its character-defining features? Does it have integrity? Is the design and scale compatible with the setting and feeling of the district? If the answer is no, try to find another solution for that aspect to avoid radical changes to the defining characteristics. Come to the Planning Department or a preservation architect for advice. Don't forget to bring your list from Step 1.

*Step 4* Look for preservation incentives that may apply to your project. How can you benefit from using the California Historical Building Code (Title 24, part 8)? You may also qualify for Federal Historic Preservation Tax Incentives. When applying for tax credits, the application of the Standards is very conservative. The National Park Service has technical bulletins that can assist with designing a successful project: <http://www.nps.gov/history/hps/tps/tax/ITS/itshome.htm>

*Step 5* Submit a project application with applicable environmental analysis and other required application materials.



# Design Standards for Adaptive Reuse of Historic Structures

“Adaptive reuse” is the process of adapting old structures for uses other than those of the initial build purpose. Adaptive reuse of historic buildings prolongs the useful life of a building by retaining its character-defining features, all or most of the structural system and many other elements (e.g., cladding, glass, and interior partitions). The efforts to preserve historical buildings and neighborhoods emerged in many Western countries out of various romanticist, nationalistic, and historicist streams. Today, the imperative to extend the life cycle of a structure is related to various sustainability goals.

The Planning Department reviews additions on a case-by-case basis. For historic buildings, the general rule of thumb for any proposed addition is that it should be located in an inconspicuous location and not result in a radical change to the form or character of the historic building. A vertical addition may be approved, depending on how the addition impacts the building and its relative visibility from the surrounding public rights-of-way. The Planning Department evaluates all proposals for historic properties for compliance with the Secretary of the Interior’s Standards. Based on these Standards, Department staff uses the following criteria when reviewing proposals for vertical additions:

The structure respects the general size, shape, and scale of the features associated with the property and the district and the structure is connected to the property in a manner that does not alter, change, obscure, damage, or destroy any of the character-defining features of the property and the district.

The design respects the general historic and architectural characteristics associated with the property and the district without replicating historic styles or elements that will result in creating a false sense of history.

The materials are compatible with the property or district in general character, color and texture.

As part of the Planning Department review process, the project sponsor should conduct and submit an analysis that illustrates the relative visibility of a proposed vertical addition. As part of this analysis, sightline cross-sections and perspective drawings illustrating the proportionality and scale, as well as the visible extent of the addition from prescribed locations should be submitted.

One significant characteristic of SoMa architecture is in its mixture of building types and styles, which is highly indicative of historical patterns that shaped the neighborhood. SoMa architecture reflects a rich neighborhood history. Much of the SoMa was constructed within the two decades following the “1906 Earthquake and Fire.” The Historic Preservation Commission determined an area within SoMa, bounded roughly by Mission, 7th, Harrison, and 10th Streets to be an eligible historic district. This area contains a heavy concentration of light industrial and residential buildings constructed between 1906 and 1929. The Commission also evaluated a much smaller potential warehouse district on the half-block between Bluxome and Townsend Streets, 5th and 6th Streets.

The intact concentrations of post-1906 building types and architectural styles found in SoMa are remarkably consistent in spite of differences in scale and detailing. The historic integrity of many SoMa buildings, particularly in the western part of the neighborhood, retains high levels of a post-earthquake historic context.

A neighborhood such as the Western SoMa SUD offers an opportunity to design building additions that can have a minimal impact on historic buildings. Treating additions as a separate or infill building may help reduce impacts on historic buildings. The proposed additions should still respect the scale of the historic building and those around it. Height and setback from the street should generally be consistent with those of the historic building and other surrounding buildings. There may be an opportunity for a larger addition when the façade of the addition can be broken up into elements that are consistent with the scale of the historic building and the adjacent building.

When historic status derives from a building being included in a historic district, it is also necessary to look beyond the building itself in evaluating an addition. The Planning Department will review all aspects of rehabilitation, including a new addition. Initially, rehabilitation proposals will be evaluated to consider how they affect the historic building. A second layer of evaluation concerns how a proposal may affect a district or potential district.

The Secretary of the Interior’s Standards for Rehabilitation are used to determine if a rehabilitation project complies with the aspects of the California Environmental Quality Act (CEQA) that address historic resources. The Standards comprise the sole regulatory basis for determining whether or not rehabilitation is consistent with the historic character of the structure and, where applicable, the district in which it is located.

GOAL: Utilize “Secretary of the Interior’s Standards for the Treatment of Historic Properties” for preserving the historic character and fabric of the Western SoMa SUD.



# Design Standards for In-fill Development in Historic Districts and Contiguous to Historic Buildings

## Site

(Photo of 448 Brannan)

### *Scale and Massing of Additions*

Applicable SOIS and how they might be applied in practice.

**Standard 1** A property should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*In Practice:* This Standard applies to the scale and massing of additions in the case where the proposed new use of a building is fundamentally incompatible with the existing structure. For example, a historic light industrial building with a two-story office in the front, and an open workroom at the rear would be difficult to adapt for use as group housing, but could be easily be adapted for a restaurant. When possible, match the proposed use of a historic building to the existing structure.

(Photo 1235 Howard – to avoid this)

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

*In Practice:* This Standard applies to the scale and massing of additions when planning additions to a building, that the historic materials be preserved. When only the front building wall of a building is kept the result is called facadism. Facadism is not consistent with the Standards, and is not historic preservation, because the resulting building is not an authentic historic building.

**Standard 3** Each property should be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, should not be undertaken.

*In Practice:* This Standard applies to the scale and massing of additions as it encourages the recognition of the building historic period. It is important to remember that the historic character of a building is determined by its appearance and configuration as it has existed throughout the greater part of its history. Therefore, in most cases, constructing never-built portions or features of a historic building (or another building) may significantly alter the building historic character that the project will not meet the Standards.

**Standard 9** New additions, exterior alterations, or related new construction should not destroy historic materials that characterize the property. The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

(Photo of 465 10th St)

*In Practice:* This Standard applies to the scale and massing of additions because there can be a temptation to create an addition that looks as if it were part of the original historic building. Additions are therefore generally set back from the front building wall, which also reduces visibility. Such an addition is not authentic feature, and is not encouraged. An addition can be of the same or similar material, but have different characteristics for an addition than is found on the historic building. For example, the bricks used for an addition can be of a different size or color or laid in a different pattern than the original construction. Similarly, an alteration to introduce new window openings can be made in secondary elevations, but the window sash should be slightly different so that it can be differentiated from the historic sash.

Differentiating the new from the old, yet still respecting the architectural qualities and vocabulary of the old, can be accomplished through a variety of design techniques, including:

Consider using of building materials in the same color range or value as those of the historic building. The materials used on the new addition need not be the same as those on the historic building, however, new materials that highly contrast the historic ones should be avoided.

Base the size, rhythm and alignment of new addition windows and door openings on those of the historic building.

A new addition should also respect the architectural expression of the historic building type. For example, an addition to an industrial building should maintain the architectural character associated with this building type rather than using details and elements typical of residential or other building types.

**Standard 10** New additions and adjacent or related new construction should be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would remain intact.

(Photo 1500 Howard)

*In Practice:* This Standard applies to the scale and massing of additions because alterations to historic buildings should be reversible, even if it is unlikely that they would be in the future.

DESIGN PRINCIPLE: Enhance the existing patterns of scale, massing and building form, promoting design visions for the Western SoMa zoning districts.

DESIGN PRINCIPLE: Promote building scale that is compatible with surrounding buildings.

STANDARD: Discourage new buildings that imply an inappropriate imitation of a historic context.

## *Façade Treatment*

Applicable SOIS and how they might be applied In Practice.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

*In Practice:* This Standard applies to façade treatment because the façade is the most recognizable feature of a historic building. When rehabilitating a historic building, protect and preserve the character-defining features of the façade, and when necessary, restrict alterations to areas of the façade that are least important to the significance of the building.

**Standard 3** Each property should be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, should not be undertaken.

*In Practice:* This Standard applies to façade treatment because by adding architectural features that mimics historic ones, but was never part of a building, is not authentic. Replacement of missing features based on documentary evidence is encouraged.

**Standard 4** Most properties change over time; those changes that have acquired historic significance in their own right should be retained and preserved.

*In Practice:* This Standard applies to façade treatment because its original material does not always define a historic building. It is important to identify and protect all of the significant features of a building in rehabilitation. Preservation Planners at the Planning Information Counter (PIC) can help identify them.

**Standard 5** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

*In Practice:* This Standard applies to façade treatment because sometimes a building may be significant not for the ornament, but for the craftsmanship of how it was built. Pay attention to the way the building is constructed to identify if there are non-standard building techniques such as special forms used in poured concrete or a cast iron storefront assembly.

**Standard 6** Deteriorated historic features should be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature should match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

*In Practice:* This Standard applies to façade treatment because repair of historic features rather than replacement maintains the authenticity of a historic building. For example, repair a chipped or broken terra cotta panel rather than remove or replace it.

**Standard 7** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials should not be used. The surface cleaning of structures, if appropriate, should be undertaken using the gentlest techniques possible.

*In Practice:* This Standard applies to façade treatment because sandblasting alters the surface of bricks and wood, and changes the character of the building. Alternatives such as dry-ice blasting do not harm the material and are just as effective. Another example is the method of attachment for business signs, awnings and other applied design elements on brick or terra cotta buildings: avoid placing mounting points in the brick or terra cotta – instead mount within the mortar joints so as to not damage the material. Later when removed, the mortar can be easily repaired, while the brick or terra cotta cannot be as easily fixed.

DESIGN PRINCIPLE: Changes in vertical massing, architectural projections and recesses may be used to achieve this modulation in all in-fill projects to be compatible with historic pattern.

STANDARD: Individual ground floor residential units should be vertically modulated at regular intervals of no greater than 40 feet.

STANDARD: Modulation should be strong and consistent with the vocabulary and coherent design of surrounding historic buildings.

### *Lot Development Patterns*

Applicable SOIS and how they might be applied in practice.

(Photo of James Lick Baths)

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

*In Practice:* This Standard applies to lot development patterns because lot development patterns define the character of historic districts. In western Soma – one such pattern is for smaller lots located on alleys and larger ones on major streets. Recognition of this is built into the Plan Policies such that meeting this Standard should be assumed.

**Standard 8** Significant archeological resources affected by a project should be protected and preserved. If such resources should be disturbed, mitigation measures should be undertaken.



*In Practice:* This Standard applies to lot development patterns because deep foundations can affect historic and prehistoric archeological finds. Consult the Planning Department when proposing excavation greater than five feet in depth.

## *Front Set Back*

Applicable SOIS and how they might be applied in practice.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

*In Practice:* This Standard applies front setbacks in limited ways. In most of Western SoMa, buildings are built out to both the front and side lot lines. If a front setback is present, identify why. Was there a rail spur that served the warehouse? Is it on an alley with a small cottage with a small front yard? In each case, the setback itself can be a character-defining feature.

**Standard 1** A property should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*In Practice:* This Standard applies to windows and doors because windows (fenestration) are a significant character-defining feature of many buildings. If the existing and proposed uses require more or fewer windows, more attention needs to be placed on design alternatives that retain to the greatest extent possible the patterns.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

*In Practice:* This Standard applies to windows and doors because windows play a key role in defining the character of a building. Beyond the window opening, the materials such as wood and steel play a role in the appearance of the building. Further, the pattern made by the division of glass is often significant.

**Standard 5** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property

should be preserved.

***In Practice:*** This Standard applies to windows and doors because when present, historic windows and doors can have distinctive features and finishes. For example, some early side-hinged garage doors still exist from the 1910s and 1920s. They can be retrofitted to work with modern garage door openers, and need not be replaced to add that function.

**Standard 6** Deteriorated historic features should be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature should match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.

***In Practice:*** This Standard applies to windows and doors because repair of historic features rather than replacement maintains the authenticity of a historic building. For example, the common steel sash window that was not maintained properly can be repaired with less effort than replacement of the window. Repair also conserves natural resources, and is a feature of Green Building.

**DESIGN PRINCIPLE:** Windows and doors in new construction projects should be compatible with authentic window shape and materials. Windows should be used as contextual architectural language.

**STANDARD:** Encourage windows and doors that emphasize the character of the historic buildings.

Factors used when evaluating the match of a necessary window replacement.

A window unit proposed placement in relation to the wall plane

The proposed window recess into the wall

The location of the window affects the three-dimensional appearance of the wall

## *Window Frame Size and Shape*

A wood window, frame size and shape might include the brick mold, blind stop, and sill. The specific profile of the brick mold is usually less critical than its overall complexity and general shape, such as stepped or curved.

Typical sight lines reduce the importance of the size and profile of the sill on windows high above ground level, especially when the windows are deeply set in the wall. Though a blind stop is a small element of the overall window assembly, it is a noticeable part of the frame profile and it is an important part of the transition between wall and glass.

Steel windows that were installed as a building wall were constructed to have so little of their outer frame exposed that any replacement window may necessitate some addition to this dimension.

## *Glass Size and Divisions*

Muntins reproduced as simulated divided lights – consisting of a three-dimensional exterior grid, between-the-glass spacers, and an interior grid – may provide an adequate match when the dimensions and profile of the exterior grid are equivalent to the historic muntin and the grid is permanently affixed tightly to the glass.

## *Sash Elements Width and Depth*

For example with a wood window, this would include the rails, stiles and muntins; with a steel window, this would include the operator frame and muntins.

The depth of the sash in a double-hung window, or its thickness, affects the depth of the offset at the meeting rail of a hung window. This depth is perceived through the shadow that it creates.

The stiles of double-hung historic windows align vertically and are the same width at the upper and lower sashes. In particular, when the distinction between the frame and the sash is blurred, details such as lugs may be impossible to accurately reproduce. The operating sash of a steel window is usually wider than the overall muntin grid

of the window. In addition, the frame of the operating sash often has slight projections that create shadow lines, another important layer to the three-dimensional appearance of the window.

## *Materials and Finish*

While it may be theoretically possible to match all the significant characteristics of a historic window in a substitute material, in actuality, finish, profiles, dimensions and details are all affected by a change in material. In addition to the surface characteristics, vinyl-clad or enameled aluminum-clad windows may have joints in the cladding that can make them look very different from a painted wood window.

## *Glass Characteristics*

The clarity and reflectivity of standard clear window glass are significant characteristics of most windows. Color should only be a noticeable characteristic of the new glass where it was historically, and any coating added should not perceptibly increase the reflectivity of the glass.

## *Building Form and Materials*

Applicable SOIS and how they might be applied in practice.

**Standard 5** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

*In Practice:* This Standard applies to building form and materials because sometimes a building may be significant not for the ornament, but for the craftsmanship of how it was built. Pay attention to the way the building is constructed to identify if there are non-standard building techniques such as special forms used in poured concrete or a cast iron storefront assembly.

**Standard 9** New additions, exterior alterations, or related new construction should not destroy historic materials that characterize the property. The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

***In Practice:*** This Standard applies to building form and materials because compatible but differentiated can be difficult to achieve. In general, look at the form and materials found in the building type and use them in rehabilitation. For example, unpainted wood is not historically found on industrial buildings, but steel panels embossed with a brick pattern could be compatible.

GOAL: Use building materials and forms that are compatible with historic surroundings.

DESIGN PRINCIPLE: Ensure that the character-defining features and building components of an historic period on street façades are acknowledged even with in-fill development.

STANDARD: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

STANDARD: Choose building materials and architectural forms that are compatible with and provide visual interest and texture to a building and the street.

STANDARD: Ensure that the character-defining features of an historic period on street façades are acknowledged with in-fill development.

## ***Parking, Loading and Garages-Insertion and Abandoning Existing***

Applicable SOIS and how they might be applied in practice.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

***In Practice:*** This Standard applies to the insertion or removal of parking, loading and garages because the prominence of historic openings at street level of buildings is a character-defining feature. Commercial or industrial buildings may have loading docks that are no longer needed. If there is no historic door, perhaps a garage door-styled storefront assembly can be used. If a new security gate is necessary, place it on the interior rather than the exterior to reduce its impact on the form of the building.

**Standard 5** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

*In Practice:* This Standard applies to the insertion or removal of parking, loading and garages if a loading dock is no longer needed, consider retaining the historic door, but keeping it in a fixed position.

**Standard 9** New additions, exterior alterations, or related new construction should not destroy historic materials that characterize the property. The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*In Practice:* This Standard applies to the insertion of parking, loading and garages should be placed in a place that would have the least impact on the character-defining features of a building. Avoid removing a bay window or portions of the interior living spaces within a building. Similarly, avoid lifting a building too much such that its relationship to the street is altered.

GOAL: Infill projects are subject to the adopted Western SoMa parking requirements.

DESIGN PRINCIPLE: All new construction projects should provide parking amenities that help minimize automobile use, establish pedestrian environments and calm street traffic flow.

DESIGN PRINCIPLE: Create places with a limited, well-managed parking and vehicle storage.

DESIGN PRINCIPLE: Allow for pedestrian amenities, active ground floor uses, and screening primary façade.

STANDARD: New construction projects should when feasible provide car share spaces and programs

STANDARD: All new development should provide parking for bikes.

STANDARD: Avoid breaking street frontage with garage doors and parking.

STANDARD: Avoid breaking sidewalks are undisrupted by driveways and curb cuts.

STANDARD: New garage doors should be compatible with the surrounding neighborhood context.

STANDARD: Retain existing significant street trees.

STANDARD: When possible parking structures, should use a portion of the top parking level as an outdoor deck, patio or garden with a rail, bench or other guard device around the perimeter.

## *Open Space*

Applicable SOIS and how they might be applied in practice.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

*In Practice:* This Standard applies to open space only insofar as a front setback is a character-defining feature, as in the case of a small residential front yard, or the loading area from a rail spur to a warehouse building.

GOAL: Promote through creative design the Western SoMa Plan emphasis on public realm improvements that can serve as public open space.

DESIGN PRINCIPLE: Design safe common and private open spaces.

DESIGN PRINCIPLE: To the greatest extent possible, integrate historically relevant art in all new construction and infill projects.

STANDARD: Encourage publicly accessible open space in new construction, while providing for security and maintenance.

STANDARD: Retain existing significant street trees.

STANDARD: Respect and promote the mid-block open space patterns.

STANDARD: Provide appropriate levels of lighting to create safety and visibility at night.

STANDARD: Provide art (mosaic, mural, decorative masonry pattern, sculpture, relief, etc.) over a substantial portion of the blank wall surfaces.

STANDARD: Involve local artist concepts and artistic historical references in all new infill and new construction projects.

STANDARD: Provide references and icons that represent cultural significant values to the history of the site in all new construction, in-fill or restoration projects.

## Other Details

### *Utility Panels*

Applicable SOIS and how they might be applied in practice.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

*In Practice:* This Standard applies to the placement of utility panels because of the potential for a mass of utilities applied to the front of a building can radically alter the character of the building.

**Standard 5** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

*In Practice:* This Standard applies to the placement of utility panels because careless placement can obscure or damage distinctive materials.

**Standard 10** New additions and adjacent or related new construction should be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*In Practice:* This Standard applies to the placement of utility panels because of the methods of attachment should be reversible and not harm brick or terra cotta.

DESIGN PRINCIPLE: Locate utility panels so that they are not visible on the front building wall or on the sidewalk.

STANDARD: Provide screens for utility panels, including trellis, landscaping, or location.



## Rooflines

Applicable SOIS and how they might be applied in practice.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

*In Practice:* This Standard applies to rooflines because the form plays a crucial role in the character of a building. Most of the West SoMa SUD has flat roofed buildings. Some residential buildings have gables and some industrial buildings have saw-tooth roof forms. Additions that are set back can be minimized by reducing height, and eliminating parapets by using a fire-proof roof.

STANDARD: In the prevailing context of surrounding historic flat rooflines, flat rooflines or flat or shaped parapets are encouraged, especially those elaborated with decorative features like cornices and pent roofs.

## Rooftop Features

Applicable SOIS and how they might be applied in practice.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

**Standard 9** New additions, exterior alterations, or related new construction should not destroy historic materials that characterize the property. The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**Standard 10** New additions and adjacent or related new construction should be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*In Practice:* Standards 2, 9 and 10 apply to rooftop features including stair penthouses insofar as it is desirable to reduce the visibility of non-historic features. When planning a rehabilitation that would cause the need for an elevator penthouse or stair tower, organize the plans to set these features back from the front of the building.

DESIGN PRINCIPLE: Allow roof decks and roof gardens that are set back and not visible from front façades.

STANDARD: When open space at grade is impossible to meet, provide a roof garden and roof decks that are adequately screened from wind and from the front façades of historically significant buildings.

## *Stair Penthouses*

Applicable SOIS and how they might be applied in practice. (See Rooftop Features)

STANDARD: Stair Penthouse should not be visible from primary façades.

## *Parapets*

Applicable SOIS and how they might be applied in practice.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

*In Practice:* This Standard applies to parapets when a rehabilitation places a roof deck behind a parapet, and the Building code requires a taller wall, a cable-rail system with minimal visibility should be used. Alternatively, set the edge of the deck back from the parapet so that the railing is not visible from the street level.

DESIGN PRINCIPLE: Preserve ornamental elements such as parapets in all Adaptive reuse projects.

STANDARD: Preserve ornamental elements such as parapets in all Adaptive reuse projects.

## *Windscreens*

STANDARD: Any windscreens should not be visible from primary façades.

Successful infill builds upon the mixed uses, density, walkable streets, and transit. In-fill development and new construction also should include sustainability and health considerations for residents, workers and visitors, utility and maintenance costs, concerns about environmental issues such as global warming, energy and water conservation, and a desire to create buildings and spaces that are better for all. Applying a sustainable perspective to the remodeling process, green building brings the benefits of resource conservation, durability, energy savings and healthy living.

When a district provides an opportunity for new construction through existing vacant parcels or by replacing non-contributing buildings, a sensitive design is of critical importance. Historic buildings within the district should be utilized and referenced for design context. Contemporary design that respects the District's existing character-defining features without replicating historic designs is encouraged. The Department uses the following criteria when reviewing proposals for infill construction:

The structure respects the general size, shape, and scale of the character-defining features associated with the district and its relationship to the character-defining features of the immediate neighbors and the district.

The site plan respects the general site characteristics associated with the district.

The design respects the general character-defining features associated with the district

The materials are compatible with the district in general character, color, and texture.

According to the Secretary of the Interior's Standards for Rehabilitation – Standard 9 in particular – new construction needs to be built in a manner that protects the integrity of the historic building(s) and the

property setting. In addition, the following should be considered:

Related new construction – including buildings, curb cuts, landscape improvements and other new features – should not alter the historic character of the district. A district’s historic functions should be evident even if there is a change of use.

The location of new construction should be considered carefully in order to follow the setbacks of historic buildings and to avoid blocking their primary elevations. If possible, place taller or bulkier elements of new construction away from the side adjacent to historic buildings and avoid obscuring, damaging, or destroying character-defining features of these buildings or the site.

Protecting the historic setting and context of a property, including the degree of open space and building density, should always be considered when planning new construction on an historic site. This entails identifying the development pattern on the block, and evaluation of the new building against the distinctive urban character of SoMa.

In historic districts, the historic relationship between buildings should also be protected. Contributing buildings should not be isolated from one another by the insertion of out of scale new construction.

As with new additions, the massing, size, scale, and architectural features of new construction within a historic district should be compatible with those of the historic buildings. When visible and in close proximity to historic buildings, the new construction should be subordinate to these buildings. New construction should also be distinct from the old and should not attempt to replicate historic buildings elsewhere in the district and to avoid creating a false sense of historic development. The limitations on the size, scale, and design of new construction may be less critical the farther it is located from historic buildings.

As with additions, maximizing the advantage of existing site conditions, such as building form, that reduce visibility is highly recommended.

## *Archeological Resources*

Significant archeological resources should be taken into account when evaluating the placement of new construction and, as appropriate, mitigation measures should be implemented if the archeological resources will be disturbed. Applicable SOIS and how they might be applied in practice.

**Standard 2** The historic character of a property should be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property should be avoided.

*In Practice:* This Standard applies because the district or the adjacent building is the resource. In assessing the seven aspects of integrity, “Setting” is relevant as new buildings affect the setting of the existing ones.

**Standard 3** Each property should be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, should not be undertaken.

*In Practice:* This Standard applies to the district or adjacent historic building. The new construction should not be identical to a historic one such that an ordinary person would not think the new construction is a historic building.

**Standard 8** Significant archeological resources affected by a project should be protected and preserved. If such resources should be disturbed, mitigation measures should be undertaken.

*In Practice:* This Standard applies where new construction would involve excavation greater than five feet. Consult with the Planning Department to see if the property is in a sensitive area.

**Standard 9** New additions, exterior alterations, or related new construction should not destroy historic materials that characterize the property. The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*In Practice:* This Standard applies alongside Standard 3, because new buildings attempting to look like historic ones create a false sense of development. A new building should reflect the time and style that it is built, but be compatible with the historic building or district.



## Design Standards for Sustainability

Successful infill builds upon the mixed uses, density, walkable streets, and transit. In-fill development and new construction also should include sustainability and health considerations for residents, workers and visitors, utility and maintenance costs, concerns about environmental issues such as global warming, energy and water conservation, and a desire to create buildings and spaces that are better for all. Applying a sustainable perspective to the remodeling process, green building brings the benefits of resource conservation, durability, energy savings and healthy living.

**GOAL:** Improve the sustainability of construction and of building performance

**DESIGN PRINCIPLE:** All projects shall adhere to Leadership in Energy and Environmental Design (LEED) green building standards as established by the United States Green Building Council (USGBC), or to Green Point Rated (GPR) system for non-high rise residential uses, based on the adopted schedule established by the Mayor's Task Force on Green Building.

**STANDARD:** A minimum of 80 percent of the 'clean' demolition material and/or construction debris at all restoration and new construction projects must be recycled and reused on site.

**STANDARD:** Approval from the California Department of Toxic Substances will be required to ensure site clean-up to levels that protect public health prior to approval for any commercial and residential development or rehabilitation.

STANDARD: In indoor building areas non-toxic materials (Low-VOC adhesives, sealants, paints, coatings, and carpets, and wood with no added urea-formaldehyde resins), natural daylight and ventilation and operable windows must be used.

STANDARD: Restorations, remodeling and new development must include a waste management plan illustrating appropriate sizing and location of waste and recycling equipment or facilities. Multi-family buildings must provide direct and convenient access to recycling facilities from each unit or group of units.

STANDARD: Building areas provided for the collection and separate storage of trash to landfill, materials for commingled recycling and for composting shall be designed to accommodate sufficient quantity of recycling and composting containers compatible with current methods and frequency of local collection. Standard trash and recycling receptacles must be located at key public locations such as street intersections, parks, transit stops, etc.

STANDARD: Energy Star or equivalent efficiency appliances and equipment, including low water-use washing machines and dishwashers, must be installed in new residential units to reduce electric energy use.

DESIGN PRINCIPLE: Roof designs should accommodate devices for the collection and storage of storm water runoff.

STANDARD: Water retention on each development site, or cooperatively across several sites undergoing development at once, must reach the following requirements:

No storm water discharge on site

Capacity to retain and hold water on site for the 5 year storm

Include a separate storm water system that discharges filtered rainwater into the Brisbane Baylands watershed, if an agreement is reached to do so, or alternatively, to the City's Sewer System (CSS).

STANDARD: Roof designs should accommodate devices for the collection and storage of storm water runoff. They may include:

Green roofs

Flat roof decks, and terraces that provide private or common open space and include equipment and systems to harvest and store rainfall

Gable and other roof forms that allow for harvest and storage of rainfall.

STANDARD: Promote development of green roofs.

STANDARD: Provide rainwater collection on flat roof decks, and terraces that provide private or common open space and include equipment and systems to harvest and store rainfall.

GOAL: Maximize utilization of active and passive solar energy systems.

DESIGN PRINCIPLE: Maintain sun light to adjacent properties by providing adequate setbacks.

DESIGN PRINCIPLE: Require all new construction to improve sidewalks, plant trees, and if possible, provide new solar street lighting systems.

STANDARD: Residential, commercial and institutional buildings should be oriented and designed to maximize the potential use of solar energy through passive or active solar energy collection and utilization.

STANDARD: Buildings should be designed to permit maximum use of natural lighting in order to reduce electrical energy use – include living spaces on south side, shading devices, shallow units, greater perimeter to units, south-facing orientation, clerestory windows.

STANDARD: Buildings should be designed to incorporate use of renewable energy sources wherever possible, including active solar energy technology, solar hot water systems, and photo voltaic systems that generate electricity.

STANDARD: Natural ventilation and landscaping should be used to reduce cooling loads.



STANDARD: In indoor building areas non-toxic materials (Low-VOC adhesives, sealants, paints, coatings, and carpets, and wood with no added urea-formaldehyde resins), natural daylight and ventilation and operable windows must be used.

STANDARD: Buildings should use renewable resource materials (bamboo, straw, wool, etc, or materials with recycled content.), locally and regionally produced resources, and Forest Stewardship Council (FSC)-certified wood.



## Design Standards for Accessibility and Safety

**STANDARD:** All new garage doors should be energy efficient. Most existing disability language relates to “accessibility” and it is part of many Federal and State regulations as well as local Codes, including the Planning Code, the Building Code, and the Fire Code. Specific accessibility design standards are here provided to make Western SoMa Plan universally compatible with Planning Code provisions standards that are enforced by State or Federal accessibility laws.

**GOAL:** Maximize accessibility standards for all persons.

**GOAL:** Build “Crime Prevention through Environmental Design (CPTED) standards.

**GOAL:** Create opportunities for new development to invest in street and pedestrian improvements that make alternative modes more attractive and accessible.

**DESIGN PRINCIPLE:** Enhance, coordinate and enforce Federal, State and Local design standards to make spaces accessible for all people.

**DESIGN PRINCIPLE:** Build safe and accessible places through design concepts that acknowledge people with disabilities or impairments.

**DESIGN PRINCIPLE:** Encourage a mix of uses that promote public participation, safety and active streets.

**DESIGN PRINCIPLE:** Encourage activities for the general public that are community-building and support safety.

DESIGN PRINCIPLE: Encourage provisions for a more sustainable neighborhood with pedestrian oriented new developments.

DESIGN PRINCIPLE: Minimize automobile conflicts with transit, bikes and pedestrians.

DESIGN PRINCIPLE: Coordinate the various code requirements by codes regarding “parking” in an interagency manner, so codes are consistent.

STANDARD: Provide street signs and general public information in ways that enhance accessibility for the visually and/or hearing impaired and people with learning difficulties.

STANDARD: Discourage obstructions to internal circulation paths and garbage collection areas.

STANDARD: Providing lighting, trees, and other amenities to a clear path for walking, biking, wheelchairs and strollers.

STANDARD: Promote objectives, goals and provisions of The San Francisco Bicycle Plan to provide the safe and attractive environment for bicycling.

STANDARD: Use universally accepted design concepts and specific measurements and recommendations by the San Francisco Mayor’s Office of Disability. These include:

Location and size of parking spaces within structures, and how these change when more than one (1) type of accessible to all parking spaces, valet parking or parking for vans transporting people with disabilities.

Location and specific of street signs, including traffic signals.

Location of streetscape in the public realm.

Location and type of special stripe of pavement dedicated exclusively for bicycles, wheelchairs and strollers when ever it fits in the streetscape.

STANDARD: Encourage organic surveillance system by creating a better sense of community, such as active ground floors and spaces for public displays.

STANDARD: Require adequately placed and adequate levels of illumination at exterior lighting on all new developments.

STANDARD: Ensure that trees and shrubbery do not obscure sight lines and the provision of adequate public realm lighting.

STANDARD: Create meeting rooms or other sheltered public space with the facilities appropriate for use as an election voting stations, community meetings, after school programming, tutoring/mentoring, senior centers or other social programs.

STANDARD: Place self-cleaning public toilets along key commercial streets and near entertainment venues.

STANDARD: Integrate local artist into design teams for signs in public places, public toilets, community centers, and other publicly accessible facilities.

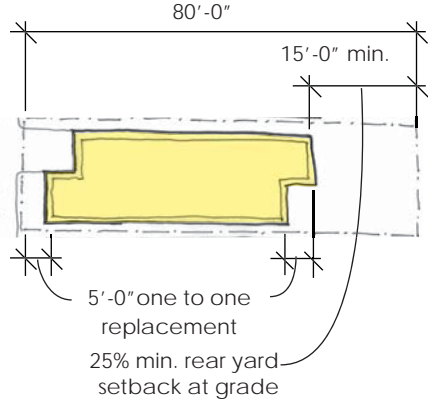
STANDARD: Encourage “car share” spaces and bicycle facilities in any new developments.

STANDARD: Encourage provision of public realm areas for dog walks.

STANDARD: Encourage portions of sidewalks for use as ecological urban planting areas where water saving and drainage promote biodiversity.

STANDARD: Minimize new automobile use through minimization of new parking facilities and enforcement of adopted parking standards for the Western SoMa Special Use District.





WSoMa and EN Land Use Control Comparison  
DRAFT - September 2011

P=Permitted, C=Conditional, NP=Not Permitted, NA=Not Applicable	WMUG	MUG	WMUO	MUO	SALI	UMU	F-NCT	S-NCT	RCD	RED	RED-M
<b>PERMITTED LAND USES</b>											
<b>RESIDENTIAL USE</b>											
Dwelling Units	P	P	NP	P	NP	P	P except on ground floor of lots greater than 2,500 sf	P	P on lots 25 ft or less in width	P	P
Single Resident Occupancy (SRO) units <sup>(2)</sup>	P	P	NP	P	NP	P	P above ground floor	P	P above ground floor	NP	NP
Market Rate Housing in Historic Buildings <sup>(3)</sup>	P	P	NP	P	NP	P	C on ground floor; P above	P	C on ground floor; P above	P	P
Unit Mix <sup>(4)</sup>	40% 2 BR required; 10% 3 bdr encouraged	40% 2 BR required; 10% 3 bdr encouraged	N/A	40% 2 bdr required; 10% 3 bdr encouraged	N/A	40% 2 bdr required; 10% 3 bdr encouraged	40% 2 bdr required; 10% 3 bdr encouraged	40% 2 bdr required; 10% 3 bdr encouraged	40% 2 bdr required; 10% 3 bdr encouraged	40% 2 bdr required; 10% 3 bdr encouraged	40% 2 bdr required; 10% 3 bdr encouraged
<b>INSTITUTIONS</b>											
Educational	C	C for post-secondary; P for others	C	P	NP		NP	C	NP	NP	C
Hospital, Medical Centers	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Religious Facility	C	P	P	P	C	P	NP	P	NP	NP	C
Child Care	P	P	P	P	C	P	P	P	P for 12 or less children; C for above	NP	P
<b>COMMERCIAL / RETAIL</b>											
		<i>If permitted, limited to 25,000 sf per parcel; more requires 3 sf of any other permitted use for 1 sf of retail</i>		<i>If permitted, limited to 25,000 sf per parcel; more requires 3 sf of any other permitted use for 1 sf of retail</i>		<i>If permitted, limited to 25,000 sf per parcel; more requires 3 sf of another permitted use for 1 sf of retail. Each use permitted up to 3,999 sf; higher with a conditional use authorization.</i>		<i>If permitted, limited to 2,999 to 5,999 sf per use; higher with a conditional use authorization</i>			
General Retail	P	P	P up to 10,000 sf per parcel; C up to 25,000 sf per parcel; NP above	P	P up to 10,000 sf per parcel; C up to 25,000 sf per parcel; NP above	P	P	P	P	NP	P up to 1,250 sf per parcel; Max of 1 FAR
Hotel	NP	C	P up to 75 rooms	P up to 75 rooms	NP		P up to 25 rooms	C	NP	NP	NP
Formula Retail	C	C	C up to 25,000 sf per parcel	P	C subject to WSoMa Findings		P up to 10,000 sf per parcel; C up to 25,000 sf per parcel; NP above	C	P up to 10,000 sf per parcel; C up to 25,000 sf per parcel; NP above	NP	NP
Full Service Restaurant	P	P	P up to 10,000 sf per parcel; C up to 25,000 sf per parcel	P	P up to 10,000 sf per parcel; C up to 25,000 sf per parcel; NP above		P up to 10,000 sf	P	P up to 10,000 sf per parcel; NP above.	NP	P up to 1,250 sf per parcel; C above; Max of 1 FAR
Accessory Entertainment	NP	N/A	P	N/A	P		P on ground floor only	N/A	NP	NP	NP
Bars	P	P	P	P	P	P	P on ground floor only	P	NP	NP	NP
Liquor Store	C	P	C	P	C	P	C	NP	C	NP	NP
Large Fast Food	P	P	P up to 10,000 sf per parcel; C up to 25,000 sf per parcel	P	P up to 10,000 sf per parcel; C up to 25,000 sf per parcel; NP above	P	P up to 10,000 sf	C	P up to 10,000 sf per parcel; NP above.	NP	P up to 1,250 sf per parcel; C above; Max of 1 FAR
Nighttime Entertainment	NP	NP	P subject to Residential Buffers	C	P subject to Residential Buffers	P	NP	NP	NP	NP	NP
Adult Entertainment	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Amusement Arcade	C	NP	C	NP	C	P	C	NP	NP	NP	NP
Massage Establishment	C	NP	C	NP	C	NP	C	NP	C	NP	NP
Auto Sales	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Billiard Hall	C	P	C	P	C		C	NP	NP	NP	NP
Theater	P	P	P	P	P	P	P on ground floor; C on second floor	P	P	NP	P up to 1,250 sf per parcel; C above; Max of 1 FAR
Movie Theater (up to 3 screens)	NP	P	P	P	P	P	NP	P	NP	NP	NP
<b>HOME AND BUSINESS SERVICE<sup>(5)</sup></b>											
Arts Activities other than Theaters	P	P	P	P	P	P	P	P	P	C	P up to 1 FAR sf per parcel; C above; Max of 1.5 FAR
Other Home and Business Service	NP	P	P	P		P		P			
<b>OFFICE<sup>(6)</sup></b>											
Office	NP	P up to 5,000 sf per parcel; C up to 10,000 sf per parcel	P up to 50,000 sf per parcel; C if greater than 50,000 sf	P	NP	P up to 5,000 sf per parcel	P on either first or second floor, but not both	NP	P on either first or second floor, but not both	NP	NP
Digital Media	NP	P up to 5,000 sf per parcel; C up to 10,000 sf per parcel	P up to 50,000 sf per parcel; C if greater than 50,000 sf	P	NP	P up to 5,000 sf per parcel	P on either first or second floor, but not both	NP	P on either first or second floor, but not both	NP	NP
Medical Office	P up to 50,000 sf per parcel; C above	P up to 5,000 sf per parcel; C up to 10,000 sf per parcel	P up to 50,000 sf per parcel; C if greater than 50,000 sf	P	NP	P up to 5,000 sf per parcel (except P in Life Science/Medical overlay)	P when primarily open to the general public; subject to size limitations	NP	P when primarily open to the general public; subject to size limitations	NP	NP
Office in Historic Bldg	P	P	P	P	NP	NP	P	NP	P	C	C
Live/Work Units	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
<b>RESEARCH AND DEVELOPMENT<sup>(7)</sup></b>											
Life science research and development	NP	NP	NP	P	NP	NP (except, P in Life Science/Medical overlay)	NP	NP	NP	NP	NP
Other research and development	NP	P up to 5,000 sf per parcel; C up to 10,000 sf per parcel	P	P	P	P up to 10,000 sf per use if office space; C up to 25,000 sf per use	NP	NP	NP	NP	NP

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P=Permitted, C=Conditional, NP=Not Permitted, NA=Not Applicable	WMUG	MUG	WMUO	MUO	SALI	UMU	F-NCT	S-NCT	RCD	RED	RED-M
<b>PERMITTED LAND USES</b>											
<b>INDUSTRIAL / PDR <sup>(6)</sup></b>											
Wholesale Sales	P	P	P	P	P	P	P	NP	P	NP	P up to 1,250 sf per parcel; C above; Max of 1 FAR
Light Manufacturing	P	P	P	P	P	P	P	NP	P	NP	P up to 1,250 sf per parcel; C above; Max of 1 FAR
Motor Vehicle Repair	P, no ingress/egress from alleys	P	P per access controls	P	P	P	C	C	C	NP	P up to 1,250 sf per parcel; C above;
Self-storage	NP	NP	NP	P, subject to siting standards	NP	NP	NP	C	NP	NP	NP
Storage and distribution	C	P	C	P	P	P	P	NP	P	NP	P up to 1,250 sf per parcel; C above; Max of 1 FAR
Parking lots	C with Public Art Requirement	NP	C with Public Art Requirement	NP	C with Public Art Requirement	NP	NP	NP	C with Public Art Requirement	NP	C with Public Art Requirement
Parking Garages	C; must meet siting guidelines and shared vehicle facilities	C; must meet siting guidelines and shared vehicle facilities	C; must meet siting guidelines and shared vehicle facilities	C; must meet siting guidelines and shared vehicle facilities	C; must meet siting guidelines and shared vehicle facilities	C; must meet siting guidelines and shared vehicle facilities	NP	NP	C; must meet siting guidelines and shared vehicle facilities	NP	C; must meet siting guidelines and shared vehicle facilities
<b>Standards for Development</b>											
Development on Lots over a Certain Size	No restrictions	No restrictions	No restrictions.	No restrictions, except C on 2nd Street over 10,000 sf. Doesn't apply to additions	No restrictions	No restrictions	C on lots over 4,000 sf	C on lots over 10,000 sf		No restrictions	No restrictions
Dwelling Unit Density Limit	None, see unit mix above	None, see unit mix above	N/A	None, see unit mix above	N/A	None, see unit mix above	None, see unit mix above	None, see unit mix above	None, see unit mix above	None, see unit mix above	None, see unit mix above
Residential to Nonresidential Ratio	None	None	None	None	None	None	None	None	None	None	None
Floor Area Ratio	3.0-7.5 to 1 : Depending on Height District	3.0-7.5 to 1 : Depending on Height District	3.0-7.5 to 1 : Depending on Height District	3.0-7.5 to 1 : Depending on Height District	3.0-7.5 to 1 : Depending on Height District	Bulk controls and lot coverage limits will apply	2.5 to 1	2.5 to 1	2.5 to 1	1.0 to 1	1.0 to 1
Useable Open Space per Dwelling Unit	80 sf; up to 50% can be offsite but must be publicly accessible	80 sf; up to 50% can be offsite but must be publicly accessible	80 sf; up to 50% can be offsite but must be publicly accessible	80 sf; up to 50% can be offsite but must be publicly accessible	80 sf; up to 50% can be offsite but must be publicly accessible	80 sf; up to 50% can be offsite but must be publicly accessible	80 sf if private or 100 sf if common	80 sf if private or 100 sf if common	80 sf if private or 100 sf if common	80 sf; up to 50% can be offsite but must be publicly accessible	80 sf; up to 50% can be offsite but must be publicly accessible
Open space for Nonresidential Uses	Required; amount varies based on use; may also pay in-lieu fee	Required; amount varies based on use; may also pay in-lieu fee	Required; amount varies based on use; may also pay in-lieu fee	Required; amount varies based on use; may also pay in-lieu fee	Required; amount varies based on use; may also pay in-lieu fee	Required; amount varies based on use; may also pay in-lieu fee	Required; amount varies based on use; may also pay in-lieu fee	Required; amount varies based on use; may also pay in-lieu fee	Required; amount varies based on use; may also pay in-lieu fee	Required; amount varies based on use; may also pay in-lieu fee	Required; amount varies based on use; may also pay in-lieu fee
Residential Off-street parking	None required, P up to .75 space for each 1BR unit, and 1 space for each 2BR or larger	None required, P up to .75 space for each 1BR unit, and 1 space for each 2BR or larger	None required, P up to .25 spaces per unit, up to .75 space for each 1BR unit, and 1 space for each 2BR or larger with Commission review	None required, P up to .25 spaces per unit, up to .75 space for each 1BR unit, and 1 space for each 2BR or larger with Commission review	N/A	None required, P up to .75 space for each 1BR unit, and 1 space for each 2BR or larger	None required, P up to .25 spaces per unit, up to .75 space for each 1BR unit, and 1 space for each 2BR or larger with Commission review	None required, P up to .25 spaces per unit, up to .75 space for each 1BR unit, and 1 space for each 2BR or larger with Commission review	None required, P up to .25 spaces per unit, up to .75 space for each 1BR unit, and 1 space for each 2BR or larger with Commission review	None required, P up to three cars for each four dwelling units; C up to one car for each dwelling unit, subject to the criteria and procedures of Section 151.1(g); NP above one car for each dwelling unit.	None required, P up to three cars for each four dwelling units; C up to one car for each dwelling unit, subject to the criteria and procedures of Section 151.1(g); NP above one car for each dwelling unit.
Non Residential Off-street accessory parking	For office, none required, up to 7% gross floor area permitted, NP above 7%. For other uses, none required, and the existing minimum established in section 151 of the Planning Code is now the maximum allowed.	For office, none required, up to 7% gross floor area permitted, NP above 7%. For other uses, none required, and the existing minimum established in section 151 of the Planning Code is now the maximum allowed.	For office, none required, up to 7% gross floor area permitted, NP above 7%. For other uses, none required, and the existing minimum established in section 151 of the Planning Code is now the maximum allowed.	For office, none required, up to 7% gross floor area permitted, NP above 7%. For other uses, none required, and the existing minimum established in section 151 of the Planning Code is now the maximum allowed.	For office, none required, up to 7% gross floor area permitted, NP above 7%. For other uses, none required, and the existing minimum established in section 151 of the Planning Code is now the maximum allowed.	For office, none required, up to 7% gross floor area permitted, NP above 7%. For other uses, none required, and the existing minimum established in section 151 of the Planning Code is now the maximum allowed.	P up to 1 space per 1,500 square feet of occupied floor area or the quantity specified in Section 151	P up to 1 space per 1,500 square feet of occupied floor area or the quantity specified in Section 151	P up to 1 space per 1,500 square feet of occupied floor area or the quantity specified in Section 151	None required, P up to various amounts depending on the use	None required, P up to various amounts depending on the use
Demolition/Subdivision of Units	C	C	C	C	C	C	C	C	C	C	C
Residential Conversion	Subject to Section 317	Subject to Section 317	Subject to Section 317	Subject to Section 317	C	C	C	C	C	P	C
Drive-Up/Drive Through	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP



WSoMa Code Changes by Section

Section	Section Topic	Issue	Change Made and Rationale	Status	Code Status	Sec. Version
102.5	RED and New Districts	<ul style="list-style-type: none"> <li>o RED will be an EN district</li> <li>o New districts being added</li> </ul>	<ul style="list-style-type: none"> <li>o Update as EN district.</li> <li>o Add new districts</li> </ul>	Final	Done	Online 8/1/11
121.1	Lot Size Limit	<ul style="list-style-type: none"> <li>o Determine for new NCT districts</li> </ul>	<ul style="list-style-type: none"> <li>o FNCT = SoMa NCT</li> <li>o RCD = 10k sf</li> </ul>	Final	Done	Online 8/1/11
121.2	Use size limits	<ul style="list-style-type: none"> <li>o General use size limits in FNCT and RCD conflict with uses permitted up to 10 to 25k sf.</li> <li>o How to reconcile?</li> </ul>	<ul style="list-style-type: none"> <li>o FNCT: Use 4k sf across the board. C above without a cap</li> <li>o RCD: P up to 10k sf across the board. NP above 25k sf</li> </ul>	Final	Done	Online 8/1/11
121.7	Merger and Lot Frontage Limits	<ul style="list-style-type: none"> <li>o Do we want this?</li> </ul>	<ul style="list-style-type: none"> <li>o Yes. See Design Guidelines for specific lot widths.</li> <li>o RED and REDM max = 50'</li> <li>o All others max = 100'</li> </ul>	Final	Done	Online 8/1/11
124	FAR	<ul style="list-style-type: none"> <li>o New districts</li> </ul>	<ul style="list-style-type: none"> <li>o Add FARs for new districts</li> </ul>	Final	Done	Online 8/1/11
134	Rear yards	<ul style="list-style-type: none"> <li>o Add new districts</li> <li>o Requirements?</li> </ul>	<ul style="list-style-type: none"> <li>o Add new districts</li> <li>o RED, REDM, RCD, FNCT, and MUG: Maintain, at grade, a minimum of 25 percent of the lot depth as a rear yard and no less than 15 feet of at grade rear yard.</li> </ul>	Final	Done	Online 8/1/11
134(a) & (e)	Rear yard modification	<ul style="list-style-type: none"> <li>o Want to eliminate rear yard modification by ZA because we want to ensure more ground level rear yard space to create new midblock open space and reduce potential flooding impacts.</li> </ul>	<ul style="list-style-type: none"> <li>o ZA modification not permitted in WSoMa SUD</li> <li>o Only recourse is a variance or 329.</li> </ul>	Final	Done	Online 8/1/11
135	Residential Open Space	<ul style="list-style-type: none"> <li>o Ok to do public open space, and just not get reduction? Or no public open space at all should count towards residential open space?</li> <li>o Roof decks ok?</li> </ul>	<ul style="list-style-type: none"> <li>o New EN districts to match existing EN controls, except for reduction for publicly accessible space and roof decks. Those controls are in SUD.</li> <li>o FNCT and RCD should match SoMa NCT</li> </ul>	Final	Done	Online 8/3/11

UPDATED 9/28/11

Section	Section Topic	Issue	Change Made and Rationale	Status	Code Status	Sec. Version
		<ul style="list-style-type: none"> <li>How to define a roof deck?</li> </ul>	<ul style="list-style-type: none"> <li></li> </ul>			
136.1	Awnings	<ul style="list-style-type: none"> <li>Update per Chiu's legislation for REDs</li> </ul>	<ul style="list-style-type: none"> <li></li> </ul>	Ongoing	Incomplete	
145.1	Ground floor ceiling heights and street frontage reqs	<ul style="list-style-type: none"> <li>Should art related use heights be in a district section?</li> <li>Active use requirements to match EN?</li> <li>GFC heights only for non-res uses?</li> </ul>	<ul style="list-style-type: none"> <li>Min 14' gfc heights for non-res uses in all districts except RED and SLI</li> <li>Match EN street frontage reqs.</li> <li>RED: Max of one, 10' garage door per lot</li> </ul>	Final	Done	Online 8/5/11
151.1	Parking	<ul style="list-style-type: none"> <li>Match EN and NCT Districts?</li> </ul>	<ul style="list-style-type: none"> <li>Match similar EN and NCT Districts</li> </ul>	Final	Done	Online 8/5/11
155(d)(g)(r)	Loading spaces, parking fee rate structure, and prohibited curb cuts	<ul style="list-style-type: none"> <li>Any WSoMa streets where we don't want new curb cuts?</li> <li>Amend so no SALI curb cuts on REDs and REDMs?</li> </ul>	<ul style="list-style-type: none"> <li>No limits on specific streets</li> <li>Prohibit curb cuts on corner SALI lots that access an RED or REDM alley</li> </ul>	Final	Done	Online 8/5/11
186	RED	<ul style="list-style-type: none"> <li>See Chiu's Legislation</li> </ul>	<ul style="list-style-type: none"> <li></li> </ul>	Ongoing	Incomplete	
201	Use Districts	<ul style="list-style-type: none"> <li>Move RED from "R" to EN</li> <li>Add new EN Districts</li> <li>Add new NCT Districts</li> </ul>	<ul style="list-style-type: none"> <li>Update RED and add new districts.</li> </ul>	Final	Done	Online 8/5/11
201	Use Districts – Chiu Legislation	<ul style="list-style-type: none"> <li>See Chiu's Legislation</li> </ul>	<ul style="list-style-type: none"> <li></li> </ul>	Ongoing	Incomplete	Online 8/5/11
204.4	Accessory DUs	<ul style="list-style-type: none"> <li>Permit? If so, how?</li> </ul>	<ul style="list-style-type: none"> <li>Add WMUG</li> <li>Exclude SALI, WMUO, RED and RED-M</li> </ul>	Final	Done	Online 8/5/11
207.5	RED Density	<ul style="list-style-type: none"> <li>No density limit for RED</li> </ul>	<ul style="list-style-type: none"> <li>Remove RED from this section.</li> </ul>	Final	Done	Online 8/5/11
208	Group housing density	<ul style="list-style-type: none"> <li>Require? How?</li> </ul>	<ul style="list-style-type: none"> <li>Update to match EN districts and NCT districts.</li> </ul>	Final	Done	Online 8/5/11
261.2	Folsom NCT Setback	<ul style="list-style-type: none"> <li>Want to maximize light and air onto Folsom NCT and protect view corridors</li> </ul>	<ul style="list-style-type: none"> <li>15-foot setback required for any building portion above 55 feet.</li> </ul>	Final	Done	Online 8/5/11
263.28	Increased heights in SALI	<ul style="list-style-type: none"> <li>Want to encourage space for arts activities by offering height bump with 1 floor dedicated to arts activities.</li> </ul>	<ul style="list-style-type: none"> <li>Limited height in SALI to 40 feet in a 40-55 height district.</li> <li>Permit extra floor (15-foot height bonus up to 55 feet) for creating/preserving arts activities</li> </ul>	Final	Done	N/A

UPDATED 9/28/11

Section	Section Topic	Issue	Change Made and Rationale	Status	Code Status	Sec. Version
270.2	Mid-Block Alleys	<ul style="list-style-type: none"> <li>Where to require?</li> </ul>	<ul style="list-style-type: none"> <li>Match EN in all of WSoMa SUD, except min width is 30 feet</li> </ul>	Final	Done	Online 8/5/11
702.1	NC Districts	<ul style="list-style-type: none"> <li>Creating new NC districts</li> </ul>	<ul style="list-style-type: none"> <li>Add FNCT and RCD</li> </ul>	Final	Done	Online 8/5/11
423 et seq	Impact Fees	<ul style="list-style-type: none"> <li>Include WSoMa Area</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>	Ongoing	Incomplete	Online 9/19/11
703.2	Use of Historic Buildings	<ul style="list-style-type: none"> <li>Need to accommodate FNCT and RCD</li> </ul>	<ul style="list-style-type: none"> <li>Use same provisions set forth in 803.9(b)</li> </ul>	Ongoing	Incomplete	Online 8/30/11
738.1	Folsom NCT	<ul style="list-style-type: none"> <li>Create the district</li> </ul>	<ul style="list-style-type: none"> <li>Add new section</li> <li>Need district description</li> </ul>	Final	Incomplete	N/A
739.1	RCD	<ul style="list-style-type: none"> <li>Create the district</li> </ul>	<ul style="list-style-type: none"> <li>Add new section</li> <li>Need district description</li> </ul>	Final	Incomplete	N/A
802.1	MU Districts	<ul style="list-style-type: none"> <li>New districts being added</li> </ul>	<ul style="list-style-type: none"> <li>Add new districts</li> </ul>	Final	Done	Online 8/8/11
802.4	EN Districts	<ul style="list-style-type: none"> <li>New districts being added</li> </ul>	<ul style="list-style-type: none"> <li>Add new districts</li> </ul>	Final	Done	Online 8/8/11
802.5	SoMa Districts	<ul style="list-style-type: none"> <li>RED moving to EN</li> </ul>	<ul style="list-style-type: none"> <li>Remove RED</li> </ul>	Final	Done	Online 8/8/11
803.3(b)(1)(c)(ii)	Accessory Uses	<ul style="list-style-type: none"> <li>New districts being added</li> </ul>	<ul style="list-style-type: none"> <li>Add new districts</li> </ul>	Final	Done	Online 8/8/11
803.7	WSoMa permit review	<ul style="list-style-type: none"> <li>Are SUD noticing requirements necessary once districts are all EN or NC (except leftover SLI)?</li> </ul>	<ul style="list-style-type: none"> <li>No. Remove this section</li> </ul>	Final	Done	Online 8/8/11
813	RED land use table	<ul style="list-style-type: none"> <li>Changes needed to description and permitted uses</li> </ul>	<ul style="list-style-type: none"> <li>Description and table updated</li> </ul>	Final	Done	Online 8/12/11
803.9(b)	Use of Historic Buildings	<ul style="list-style-type: none"> <li>Do we want to keep any of the special SoMa Mixed Use Districts provisions for uses in historic buildings?</li> <li>Ok with EN controls?</li> <li>What about in NCTs?</li> </ul>	<ul style="list-style-type: none"> <li>Do not change. Uses in historic bldgs will use EN controls and use tables</li> <li>All uses permitted, though. Would we rather just use land use tables?</li> <li>For now, add new EN districts to this section.</li> <li>Update affordable housing reference to Article 4 sections.</li> </ul>	Ongoing	Incomplete	Online 8/30/11
823	WSoMa SUD, Buffers and Large Sites	<ul style="list-style-type: none"> <li>How to use it? A catch-all? Only for geographic controls?</li> <li>Remove educational services CU requirement?</li> </ul>	<ul style="list-style-type: none"> <li>Remove "Planning Area" from SUD name</li> <li>Update descriptive language about SUD</li> </ul>	Final	Done	Online 8/9/11

UPDATED 9/28/11

Section	Section Topic	Issue	Change Made and Rationale	Status	Code Status	Sec. Version
		<ul style="list-style-type: none"> <li>o How to handle large sites</li> <li>o Buffers?</li> </ul>	<ul style="list-style-type: none"> <li>o Add reference to Design Standards</li> <li>o Keep CU for educational services</li> <li>o Provide controls for rear yard, open space, exposure, noncomplying entertainment uses, good neighbor policies, SROs, recreation facilities, buffers for nighttime entertainment and animal services, formula retail, and large project provisions.</li> <li>o All issues of on-site provisions of benefits will be handled outside of Code</li> </ul>			
844	WMUG	<ul style="list-style-type: none"> <li>o New district</li> </ul>	<ul style="list-style-type: none"> <li>o Add new district</li> </ul>	Final	Done	N/A
845	WMUO	<ul style="list-style-type: none"> <li>o New district</li> </ul>	<ul style="list-style-type: none"> <li>o Add new district</li> </ul>	Final	Done	N/A
846	SALI	<ul style="list-style-type: none"> <li>o New district</li> </ul>	<ul style="list-style-type: none"> <li>o Add new district</li> </ul>	Final	Done	N/A
847	RED-MX	<ul style="list-style-type: none"> <li>o New district</li> </ul>	<ul style="list-style-type: none"> <li>o Add new district</li> </ul>	Final	Done	N/A
890.88(c)	SRO def	<ul style="list-style-type: none"> <li>o Current definition seems to require the entire bldg be SRO units to be an "SRO Building"</li> <li>o Create a minimum size in WSoMa?</li> </ul>	<ul style="list-style-type: none"> <li>o Update SRO definition to make it clear that ground floor may be non-residential, but all residential units must be SROs to be an SRO building</li> <li>o Minimum size in WSoMa = 275sf. Put in SUD.</li> </ul>	Final	Done	8/9/11
890.81	Recreation Facility and replacement policy	<ul style="list-style-type: none"> <li>o This is a new use</li> </ul>	<ul style="list-style-type: none"> <li>o Create new definition</li> <li>o Demo and replacement controls are in the SUD.</li> </ul>	Final	Done	8/9/11
8XX	Accessory Entertainment	<ul style="list-style-type: none"> <li>o New definition</li> </ul>	<ul style="list-style-type: none"> <li>o Wait on new legislation</li> </ul>	Ongoing	Incomplete	

1 [Zoning – WSoMa Community Plan Code Amendments]

2

3 **Ordinance amending various sections of the San Francisco Planning Code sections to**  
4 **implement the goals, objectives, and policies of the Western SoMa Community Plan**  
5 **and make environmental findings, Planning Code Section 302 findings, and findings of**  
6 **consistency with the General Plan and the Priority Policies of Planning Code Section**  
7 **101.1.**

8

NOTE: Additions are *single-underline italics Times New Roman*;  
9 deletions are *strike-through italics Times New Roman*.  
10 Board amendment additions are double-underlined;  
Board amendment deletions are ~~strikethrough normal~~.

11

12 Be it ordained by the People of the City and County of San Francisco:

13 Section 1. Findings. The Board of Supervisors of the City and County of San  
14 Francisco hereby finds and determines that:

15 (a) General Plan and Planning Code Findings.

16 (1) On \_\_\_\_\_ at a duly noticed public hearing, the Planning Commission in  
17 Resolution No. \_\_\_\_\_ found that the proposed Planning Code amendments  
18 contained in this ordinance were consistent with the City’s General Plan and with Planning  
19 Code Section 101.1(b). In addition, the Planning Commission recommended that the Board  
20 of Supervisors adopt the proposed Planning Code and Zoning Map amendments. A copy of  
21 said Resolution is on file with the Clerk of the Board of Supervisors in File No. \_\_\_\_\_  
22 and is incorporated herein by reference. The Board finds that the proposed Planning Code  
23 and Zoning Map amendments contained in this ordinance are consistent with the City’s  
24 General Plan and with Planning Code Section 101.1(b) for the reasons set forth in said  
25 Resolution.

1 (2) Pursuant to Planning Code Section 302, the Board finds that the proposed  
2 ordinance will serve the public necessity, convenience and welfare for the reasons set forth in  
3 Planning Commission Resolution No. \_\_\_\_\_, which reasons are incorporated herein  
4 by reference as though fully set forth. A copy of Planning Commission Resolution No.  
5 \_\_\_\_\_ is on file with the Board of Supervisors in File No. \_\_\_\_\_.

6 (b) Environmental Findings. The Planning Department has determined that the  
7 actions contemplated in this Ordinance are in compliance with the California Environmental  
8 Quality Act (California Public Resources Code section 21000 et seq.). Said determination is  
9 on file with the Clerk of the Board of Supervisors in File No. 070671 and is incorporated herein  
10 by reference. (NEED EIR LANGUAGE)

11 (c) Pursuant to Planning Code Section 302, this Board of Supervisors finds that this  
12 legislation will serve the public necessity, convenience, and welfare for the reasons set forth in  
13 Planning Commission Resolution No. \_\_\_\_\_, and incorporates such reasons herein  
14 by reference.

15 Section 2. The San Francisco Planning Code is hereby amended by amending  
16 Sections XXX, and adding Sections XXX, to read as follows:

17  
18 SEC. 102.5. DISTRICT.

19 A portion of the territory of the City, as shown on the Zoning Map, within which certain  
20 regulations and requirements or various combinations thereof apply under the provisions of  
21 this Code. The term "district" shall include any use, special use, height and bulk, or special  
22 sign district. The term "R District" shall mean any RH-1(D), RH-1, RH-1(S), RH-2, RH-3, RM-  
23 1, RM-2, RM-3, RM-4, RTO, RTO-M, RC-1, RC-2, RC-3, or RC-4 ~~or RED~~ District. The term "C  
24 District" shall mean any C-1, C-2, C-3, or C-M District. The term "RTO District" shall be that  
25 subset of R Districts which are the RTO and RTO-M District. The term "M District" shall mean

1 any M-1 or M-2 District. The term "PDR District" shall mean any PDR-1-B, PDR-1-D, PDR-1-  
2 G, or PDR-2 District. The term "RH District" shall mean any RH-1(D), RH-1, RH-1(S), RH-2, or  
3 RH-3 District. The term "RM District" shall mean any RM-1, RM-2, RM-3, or RM-4 District. The  
4 term "RC District" shall mean any RC-1, RC-2, RC-3, or RC-4 District. The term "C-3 District"  
5 shall mean any C-3-O, C-3-R, C-3-G, or C-3-S District. For the purposes of Section 128 and  
6 Article 11 of this Code, the term "C-3 District" shall also include the Extended Preservation  
7 District designated on Section Map 3SU of the Zoning Map. The term "NC District" shall mean  
8 any NC-1, NC-2, NC-3, NC-T, NC-S, and any Neighborhood Commercial District and  
9 Neighborhood Commercial Transit District identified by street or area name in Section 702.1.  
10 The term "NCT" shall mean any district listed in Section 702.1(b), including any NCT-1, NCT-  
11 2, NCT-3 and any Neighborhood Commercial Transit District identified by street or area name.  
12 The term "Mixed Use" District shall mean all Chinatown Mixed Use, South of Market Mixed  
13 Use, Eastern Neighborhoods Mixed Use, and Downtown Residential Districts. The term  
14 "Chinatown Mixed Use District" shall mean any Chinatown CB, Chinatown VR, or Chinatown  
15 R/NC District named in Section 802.1. The term "South of Market Mixed Use Districts" shall  
16 refer to all ~~RED~~, RSD, SLR, SLI, or SSO Districts named in Section 802.1. The term "Eastern  
17 Neighborhoods Mixed Use Districts" shall refer to all SPD, MUG, MUO, MUR, ~~and~~ UMU, RED,  
18 RED-MX, WMUG, WMUO and SALI named in Section 802.1. The term "DTR District" or  
19 "Downtown Residential District" shall refer to any Downtown Residential District identified by  
20 street or area name in Section 825, 827, 828, and 829. The terms "TI District" and "YBI  
21 District" shall refer to any TI-R, TI-MU, TI-OS, TI-PCI, YBI-R, YBI-MU, YBI-OS, YBI-PCI, as  
22 set forth in Section 249.52.

23

24 SEC. 121.1. DEVELOPMENT OF LARGE LOTS, NEIGHBORHOOD COMMERCIAL  
25 DISTRICTS.

1 In order to promote, protect, and maintain a scale of development which is appropriate  
 2 to each district and compatible with adjacent buildings, new construction or significant  
 3 enlargement of existing buildings on lots of the same size or larger than the square footage  
 4 stated in the table below shall be permitted only as conditional uses subject to the provisions  
 5 set forth in Sections 316 through 316.8 of this Code.

District	Lot Size Limits
North Beach	
Castro Street	2,000 sq. ft.
Polk Street	
Inner Clement Street	
Inner Sunset	
Outer Clement Street	
Upper Fillmore Street	
Haight Street	2,500 sq. ft.
Sacramento Street	
Union Street	
24th Street-Mission	
24th Street-Noe Valley	
West Portal Avenue	
NC-1, NCT-1	
Broadway	
Hayes-Gough	3,000 sq. ft.
Upper Market Street	
Valencia Street	
NC-2, NCT-2, SoMa, <i>Folsom Street</i> , Ocean Avenue	4,000 sq. ft.
NC-3, NCT-3, Mission Street	6,000 sq. ft.



1	NC-S	
2	<u>RCD</u>	<u>10,000 sq. ft.</u>

3 In addition to the criteria of Section 303(c) of this Code, the City Planning Commission shall  
 4 consider the extent to which the following criteria are met:

5 (1) The mass and facade of the proposed structure are compatible with the existing  
 6 scale of the district.

7 (2) The facade of the proposed structure is compatible with design features of  
 8 adjacent facades that contribute to the positive visual quality of the district.

9  
 10 SEC. 121.2. USE SIZE LIMITS (NON-RESIDENTIAL), NEIGHBORHOOD  
 11 COMMERCIAL DISTRICTS.

12 (a) In order to protect and maintain a scale of development appropriate to each district,  
 13 nonresidential uses of the same size or larger than the square footage stated in the table  
 14 below may be permitted only as conditional uses subject to the provisions set forth in Sections  
 15 316 through 316.8 of this Code. The use area shall be measured as the gross floor area for  
 16 each individual nonresidential use.

District	Lot Size Limits
18 North Beach	2,000 sq. ft.
19 Castro Street	
20 Polk Street	
21 Inner Clement Street	
22 Inner Sunset	2,500 sq. ft.
23 Outer Clement Street	
24 Upper Fillmore Street	
25 Haight Street	
Sacramento Street	

1	Union Street	
2	24th Street-Mission	
3	24th Street-Noe Valley	
4	West Portal Avenue	
5	NC-1, NCT-1	
6	Broadway	
7	Hayes-Gough	3,000 sq. ft.
8	Upper Market Street	
9	Valencia Street	
10	NC-2, NCT-2, SoMa, <i>Folsom Street</i> , Ocean Avenue	4,000 sq. ft.
11	NC-3, NCT-3, Mission Street	6,000 sq. ft.
12	NC-S	
	<u>RCD</u>	<u>10,000 sq. ft.</u>

In addition to the criteria of Section 303(c) of this Code, the Commission shall consider the extent to which the following criteria are met:

(1) The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.

(2) The proposed use will serve the neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function.

(3) The building in which the use is to be located is designed in discrete elements which respect the scale of development in the district.

(b) In order to protect and maintain a scale of development appropriate to each district, nonresidential uses which exceed the square footage stated in the table below shall not be permitted, except that in the North Beach Neighborhood Commercial District this Subsection 121.2(b) shall not apply to a Movie Theater use as defined in Section 790.64. The use area shall be measured as the gross floor area for each individual nonresidential use.

District	Lot Size Limits
West Portal Avenue	4,000 sq. ft.
North Beach	
Castro Street	

SEC. 121.7. RESTRICTION OF LOT MERGERS IN RESIDENTIAL DISTRICTS AND ON PEDESTRIAN-ORIENTED STREETS.

In order to promote, protect, and maintain a fine-grain scale of development in residential districts and on important pedestrian-oriented commercial streets which is appropriate to each district, compatible with adjacent buildings; provide for a diverse streetscape; ensure the maintenance and creation of multiple unique buildings and building frontages rather than large single structures superficially treated; promote diversity and multiplicity of land ownership and discourage consolidation of property under single ownership, merger of lots in RTO, ~~and~~ NCT, and certain Mixed Use Districts are regulated as follows:

(a) In RTO Districts, merger of lots creating a lot greater than 5,000 square feet shall not be permitted except according to the procedures and criteria in subsections (d) and (e) below.

(b) In NCT and certain Mixed Use Districts, merger of lots resulting in a lot with street frontage greater than that stated in the table below on the specified streets is prohibited except according to the procedures and criteria in subsections (c) and (d) below.

<i>Street or District</i>	<b>Lot Frontage Limit</b>
Hayes, from Franklin to Laguna	50 feet
<u>RED and RED-MX</u>	<u>50 feet</u>
Church Street, from Duboce to 16th Street	<u>100 feet</u>
<u>Folsom Street NCT, RCD, WMUG, WMUO, and SALI</u>	<u>100 feet</u>

1	Market, from Octavia to Noe	150 <i>feet</i>
2	Ocean Avenue in the Ocean Avenue NCT	See Subsection (e)

3 (c) The Zoning Administrator may administratively waive certain lot mergers from the  
4 restrictions of Subsections (b) and (c) only when one or more of the following conditions is  
5 present:

6 (1) One of the lots to be merged has total street frontage on the restricted street of  
7 less than 20 feet; or

8 (2) Project sponsor is a government agency or institution subject to Section 304.5 of  
9 this Code, and the purpose of the project is for a public facility, public building, or institutional  
10 building; or

11 (3) The project involves normalizing of irregular parcels that are publicly owned or are  
12 being transferred from public to private ownership, including lots of the former Central  
13 Freeway; or

14 (4) The lots to be merged contain a pre-existing single building spanning multiple  
15 lots; or

16 The lot merger will enable a specific residential project in which a majority of the units  
17 on-site will be affordable as defined by Section 326.3(h)(2)

18 (d) The Planning Commission may approve, as a conditional use according to the  
19 procedures of Section 303, permit mergers exceeding the restrictions of subsections (b) and  
20 (c) only when one or more of the following findings can affirmatively be made and the project  
21 meets the intent of this Section as expressed in subsection (a):

22 (1) The lot merger will enable a specific residential project that provides housing on-  
23 site at affordability levels significantly exceeding the requirements of Section 315.

24 (2) The lot merger will facilitate development of an underutilized site historically used  
25 as a single use and the new project is comprised of multiple individual buildings

1 (3) The lot merger serves a unique public interest that cannot be met by building a  
 2 project on a smaller lot.

3 (e) In the Ocean Avenue NCT, no lot merger which increases the frontage width of any  
 4 lot on Ocean Avenue may be permitted except as permitted administratively by Subsection (c)  
 5 above or with a Conditional Use according to the procedures of Section 303 where such a  
 6 merger creates a corner parcel for the purpose of accommodating access to off-street from a  
 7 cross street to Ocean Avenue.

8  
 9 SEC. 124. BASIC FLOOR AREA RATIO.

10 (a) Except as provided in Subsections (b), (c) and (e) of this Section, the basic floor area  
 11 ratio limits specified in the following table shall apply to each building or development in the  
 12 districts indicated.

13 TABLE 124

14 BASIC FLOOR AREA RATIO LIMITS

District	Basic Floor Area Ratio Limit
RH-1(D), RH-1, RH-1(S), RH-2, RH-3, RM-1, RM-2, RTO, RTO-M	1.8 to 1
RM-3	3.6 to 1
RM-4	4.8 to 1
RC-1, RC-2	1.8 to 1
RC-3	3.6 to 1
RC-4	4.8 to 1
RED, <i>RED-MX</i>	1.0 to 1
RSD, SPD	1.8 to 1
NC-1, NCT-1	1.8 to 1
NC-S	
Inner Clement	

1	Inner Sunset	
2	Outer Clement	
3	Haight	
4	North Beach	
5	Sacramento	
6	24th Street - Noe Valley	
7	West Portal	
8	NC-2, NCT-2, SoMa, Ocean Avenue	
9	Broadway	
10	Upper Fillmore	
11	<u>Folsom</u>	2.5 to 1
12	<u>RCD</u>	
13	Polk	
14	Valencia	
15	24th Street-Mission	
16	Castro	
17	Hayes-Gough	3.0 to 1
18	Upper Market	
19	Union	
20	District	<b>Basic Floor Area Ratio Limit</b>
21	NC-3, NCT-3, Mission Street	3.6 to 1
22	Chinatown R/NC	1.0 to 1
23	Chinatown VR	2.0 to 1
24	Chinatown CB	2.8 to 1
25	C-1, C-2	3.6 to 1
	C-2-C	4.8 to 1
	C-3-C	6.0 to 1

1	C-3-O	9.0 to 1
2	C-3-R	6.0 to 1
3	C-3-G	6.0 to 1
4	C-3-S	5.0 to 1
5	C-3-O (SD)	6.0 to 1
6	C-3-S (SU)	7.5 to 1
7	C-M	9.0 to 1
8	M-1, M-2	5.0 to 1
9	SLR, SLI	2.5 to 1
10	SSO and in a 40 or 50 foot height district	3.0 to 1
11	SSO and in a 65 or 80 foot height district	4.0 to 1
12	SSO and in a 130 foot height district	4.5 to 1
13	MUG, MUO, MUR, UMU, <u>WMUG, WMUO, SALI</u> , PDR-1-B, PDR-1-D, PDR-1-G, and PDR-2 in a 40, 45, or 48 foot height district	3.0 to 1
14	MUG, MUO, MUR, UMU, <u>WMUG, WMUO, SALI</u> , PDR-1-B, PDR-1-D, PDR-1-G, and PDR-2 in a 50, 55, or 58 foot height district	4.0 to 1
15	MUG, MUO, MUR, UMU, <u>WMUG, WMUO, SALI</u> , PDR-1-B, PDR-1-D, PDR-1-G, and PDR-2 in a 65 or 68 foot height district	5.0 to 1
16	MUG, MUO, MUR, UMU, <u>WMUG, WMUO, SALI</u> , PDR-1-B, PDR-1-D, PDR-1-G, and PDR-2 in a 85 foot height district	6.0 to 1
17	MUG, MUO, MUR, UMU, <u>WMUG, WMUO, SALI</u> , PDR-1-B, PDR-1-D, PDR-1-G, and PDR-2 in a height district over 85 feet	7.5 to 1

(b) In R, NC, and Mixed Use Districts, the above floor area ratio limits shall not apply to dwellings or to other residential uses. In Chinatown Mixed Use Districts, the above floor area ratio limits shall not apply to institutions, and mezzanine commercial space shall not be calculated as part of the floor area ratio.

1 (c) In a C-2 District the basic floor area ratio limit shall be 4.8 to 1 for a lot which is  
2 nearer to an RM-4 or RC-4 District than to any other R District, and 10.0 to 1 for a lot which is  
3 nearer to a C-3 District than to any R District. The distance to the nearest R District or C-3  
4 District shall be measured from the midpoint of the front line, or from a point directly across  
5 the street therefrom, whichever gives the greatest ratio.

6 (d) In the Van Ness Special Use District, as described in Section 243 of this Code, the  
7 basic floor area ratio limit shall be 7.0 to 1 where the height limit is 130 feet and 4.8 to 1 where  
8 the height limit is 80 feet.

9 (e) In the Waterfront Special Use Districts, as described in Sections 240 through 240.3  
10 of this Code, the basic floor area ratio limit in any C District shall be 5.0 to 1.

11 (f) For buildings in C-3-G and C-3-S Districts other than those designated as Significant  
12 or Contributory pursuant to Article 11 of this Code, additional square footage above that  
13 permitted by the base floor area ratio limits set forth above may be approved for construction  
14 of dwellings on the site of the building affordable for 20 years to households whose incomes  
15 are within 150 percent of the median income as defined herein, in accordance with the  
16 conditional use procedures and criteria as provided in Section 303 of this Code. For buildings  
17 in the C-3-G District designated as Significant or Contributory pursuant to Article 11 of this  
18 Code, additional square footage above that permitted by the base floor area ratio limits set  
19 forth above up to the gross floor area of the existing building may be approved, in accordance  
20 with the conditional use procedures and criteria as provided in Section 303 of this Code,  
21 where: (i) TDRs (as defined by Section 128(a)(5)) were transferred from the lot containing the  
22 Significant or Contributory building prior to the effective date of the amendment to Section  
23 124(f) adding this paragraph when the floor area transferred was occupied by a non-profit  
24 corporation or institution meeting the requirements for exclusion from gross floor area  
25 calculation under Section 102.9(b)(15) of this Code; (ii) the additional square footage includes



1 only the amount necessary to accommodate dwelling units and/or group housing units that  
2 are affordable for not less than 50 years to households whose incomes are within 60 percent  
3 of the median income as defined herein together with any social, educational, and health  
4 service space accessory to such units; and (iii) the proposed change in use to dwelling units  
5 and accessory space and any construction associated therewith, if it requires any alternation  
6 to the exterior or other character defining features of the Significant or Contributory Building, is  
7 undertaken pursuant to the duly approved Permit to Alter, pursuant to Section 1110; provided,  
8 however, that the procedures otherwise required for a Major Alteration as set forth in sections  
9 1111.2 - 1111.6 shall be deemed applicable to any such Permit to Alter.

10 (1) Any dwelling approved for construction under this provision shall be deemed a  
11 "designated unit" as defined below. Prior to the issuance by the Director of the Department of  
12 Building Inspection ("Director of Building Inspection") of a site or building permit to construct  
13 any designated unit subject to this Section, the permit applicant shall notify the Director of  
14 Planning and the Director of Property in writing whether the unit will be an owned or rental unit  
15 as defined in Section 401 of this Code.

16 (2) Within 60 days after the issuance by the Director of Building Inspection of a site or  
17 building permit for construction of any unit intended to be an owned unit, the Director of  
18 Planning shall notify the City Engineer in writing identifying the intended owned unit, and the  
19 Director of Property shall appraise the fair market value of such unit as of the date of the  
20 appraisal, applying accepted valuation methods, and deliver a written appraisal of the unit to  
21 the Director of Planning and the permit applicant. The permit applicant shall supply all  
22 information to the Director of Property necessary to appraise the unit, including all plans and  
23 specifications.

24 (3) Each designated unit shall be subject to the provisions of Section 413 of this  
25 Code. For purposes of this Subsection and the application of Section 413 of this Code to

1 designated units constructed pursuant to this Subsection, the definitions set forth in Section  
2 401 of this Code shall apply, with the exception of the following definitions, which shall  
3 supersede the definitions of the terms set forth in Section 401:

4 (A) "Base price" shall mean 3.25 times the median income for a family of four  
5 persons for the County of San Francisco as set forth in California Administrative Code Section  
6 6932 on the date on which a housing unit is sold.

7 (B) "Base rent" shall mean .45 times the median income for the County of San  
8 Francisco as set forth in California Administrative Code Section 6932 for a family of a size  
9 equivalent to the number of persons residing in a household renting a designated unit.

10 (C) "Designated unit" shall mean a housing unit identified and reported to the  
11 Director by the sponsor of an office development project subject to this Subsection as a unit  
12 that shall be affordable to households of low or moderate income for 20 years.

13 (D) "Household of low or moderate income" shall mean a household composed of  
14 one or more persons with a combined annual net income for all adult members which does  
15 not exceed 150 percent of the qualifying limit for a median income family of a size equivalent  
16 to the number of persons residing in such household, as set forth for the County of San  
17 Francisco in California Administrative Code Section 6932.

18 (E) "Sponsor" shall mean an applicant seeking approval for construction of a  
19 project subject to this Subsection and such applicants' successors and assigns.

20 (g) The allowable gross floor area on a lot which is the site of an unlawfully demolished  
21 building that is governed by the provisions of Article 11 shall be the gross floor area of the  
22 demolished building for the period of time set forth in, and in accordance with the provisions  
23 of, Section 1114 of this Code, but not to exceed the basic floor area permitted by this Section.

24 (h) In calculating the permitted floor area of a new structure in a C-3 District, the lot on  
25 which an existing structure is located may not be included unless the existing structure and

1 the new structure are made part of a single development complex, the existing structure is or  
2 is made architecturally compatible with the new structure, and, if the existing structure is in a  
3 Conservation District, the existing structure meets or is made to meet the standards of Section  
4 1109(c), and the existing structure meets or is reinforced to meet the standards for seismic  
5 loads and forces of the 1975 Building Code. Determinations under this Paragraph shall be  
6 made in accordance with the provisions of Section 309.

7 (i) In calculating allowable gross floor area on a preservation lot from which any TDRs  
8 have been transferred pursuant to Section 128, the amount allowed herein shall be decreased  
9 by the amount of gross floor area transferred.

10 (j) Within any RSD, SPD, SLR, SLI or SSO District, live/work units constructed above  
11 the floor area ratio limit pursuant to Section 102.9(b)(19) of this Code shall be subject to the  
12 following conditions and standards:

13 (1) Considering all dwelling units and all live/work units on the lot, existing and to be  
14 constructed, there shall be no more than one live/work unit and/or dwelling unit per 200  
15 square feet of lot area, except that, for projects in the RSD District which will exceed 40 feet in  
16 height, and therefore are required to obtain conditional use approval, the allowable density for  
17 dwelling units and live/work units shall be established as part of the conditional use  
18 determination; and

19 (2) The parking requirement for live/work units subject to this subsection shall be  
20 equal to that required for dwelling units within the subject district.

21  
22 SEC. 134. REAR YARDS, R, NC, C, SPD, M, MUG, MUO, MUR, UMU, RED, RED-MX,  
23 WMUG, RSD, SLR, SLI AND SSO DISTRICTS.

24 The rear yard requirements established by this Section 134 shall apply to every building in an  
25 R, NC-1, NC-2 District or Individual Neighborhood Commercial District as noted in Subsection

1 (a), except those buildings which contain only single room occupancy (SRO) or live/work units  
2 and except in the Bernal Heights Special Use District, Western SoMa Special Use District, and  
3 Residential Character Districts to the extent these provisions are inconsistent with the  
4 requirements set forth in Sections 242 and 823 of this Code. With the exception of dwellings in  
5 the South of Market Mixed Use and Eastern Neighborhoods Mixed Use Districts containing  
6 only SRO units, the rear yard requirements of this Section 134 shall also apply to every  
7 dwelling in a(n) MUG, MUO, MUR, UMU, SPD, RED, RED-MX, WMUG, RSD, SLR, SLI, SSO,  
8 NC-2, NCT-1, NCT-2, NC-3, NCT-3, Individual Area Neighborhood Commercial Transit  
9 District, Individual Neighborhood Commercial District as noted in Subsection (a), C or M  
10 District. Rear yards shall not be required in NC-S Districts. These requirements are intended  
11 to assure the protection and continuation of established midblock, landscaped open spaces,  
12 and maintenance of a scale of development appropriate to each district, consistent with the  
13 location of adjacent buildings.

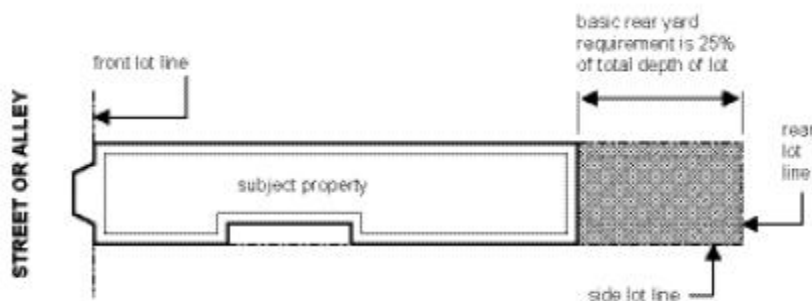
14 (a) Basic Requirements. The basic rear yard requirements shall be as follows for the  
15 districts indicated:

16 (1) RH-1(D), RH-1, RH-1(S), RM-3, RM-4, RC-1, RC-2, RC-3, RC-4, NC, C, M, MUG,  
17 MUO, MUR, UMU, RED, RED-MX, WMUG, SPD, RSD, SLR, SLI and SSO Districts. The  
18 minimum rear yard depth shall be equal to 25 percent of the total depth of the lot on which the  
19 building is situated, but in no case less than 15 feet. For buildings containing only SRO units  
20 in the South of Market Mixed Use and Eastern Neighborhoods Mixed Use Districts, the  
21 minimum rear yard depth shall be equal to 25 percent of the total depth of the lot on which the  
22 building is situated, but the required rear yard of SRO buildings not exceeding a height of 65  
23 feet shall be reduced in specific situations as described in Subsection (c) below.

24 (A) RH-1(D), RH-1, RH-1(S), RM-3, RM-4, RC-1, NC-1, NCT-1, Inner Sunset,  
25 Outer Clement Street, Haight Street, Sacramento Street, 24th Street-Noe Valley, and West

1 Portal Avenue Districts. Rear yards shall be provided at grade level and at each succeeding  
2 level or story of the building.

3 (B) NC-2, NCT-2, Ocean Avenue, Castro Street, Inner Clement Street, Upper  
4 Fillmore Street, North Beach, Union Street, Valencia Street, 24th Street-Mission Districts.  
5 Rear yards shall be provided at the second story, and at each succeeding story of the  
6 building, and at the first story if it contains a dwelling unit.

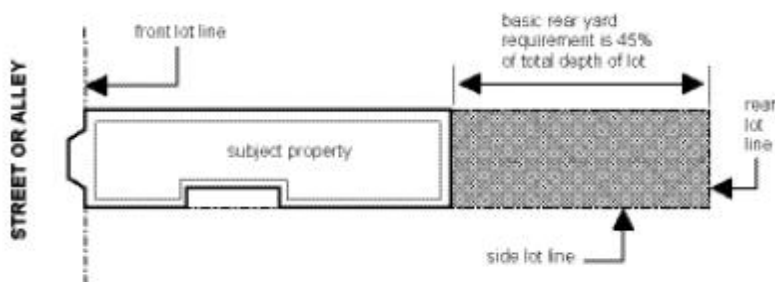


(C) RC-2, RC-3, RC-4, NC-3, NCT-3, Broadway, Hayes-Gough, Upper Market  
Street, SoMa, Mission Street, Polk Street, C, M, ~~RED~~, SPD, RSD, SLR, SLI, SSO, MUR,  
MUG, MUO, and UMU Districts. Rear yards shall be provided at the lowest story containing a  
dwelling unit, and at each succeeding level or story of the building.

(D) Upper Market NCT and Upper Market NCD. Rear yards shall be provided at  
the grade level, and at each succeeding story of the building. For buildings in the Upper  
Market NCT that do not contain residential uses and that do not abut adjacent lots with an  
existing pattern of rear yards or mid-block open space, the Zoning Administrator may waive or  
reduce this rear yard requirement pursuant to the procedures of subsection (e).

(E) RED, RED-MX, and WMUG Districts. Rear yards shall be provided at the ground level  
for any building containing a dwelling unit, and at each succeeding level or story of the building.

1 (2) RH-2, RH-3, RTO, RTO-M, RM-1 and RM-2 Districts. The minimum rear yard  
2 depth shall be equal to 45 percent of the total depth of the lot on which the building is situated,  
3 except to the extent that a reduction in this requirement is permitted by Subsection (c) below.  
4 Rear yards shall be provided at grade level and at each succeeding level or story of the  
5 building.



13 (b) Permitted Obstructions. Only those obstructions specified in Section 136 of this Code  
14 shall be permitted in a required rear yard, and no other obstruction shall be constructed,  
15 placed or maintained within any such yard. No motor vehicle, trailer, boat or other vehicle  
16 shall be parked or stored within any such yard, except as specified in Section 136.

17 (c) Reduction of Requirements in RH-2, RH-3, RTO, RTO-M, RM-1 and RM-2 Districts.  
18 The rear yard requirement stated in Paragraph (a)(2) above, for RH-2, RH-3, RTO, RTO-M,  
19 RM-1 and RM-2 Districts, and as stated in Paragraph (a)(1) above, for single room occupancy  
20 buildings located in either the South of Market Mixed Use or Eastern Neighborhoods Mixed  
21 Use Districts not exceeding a height of 65 feet, shall be reduced in specific situations as  
22 described in this Subsection (c), based upon conditions on adjacent lots. Except for those  
23 SRO buildings referenced above in this paragraph whose rear yard can be reduced in the  
24 circumstances described in Subsection (c) to a 15-foot minimum, under no circumstances,  
25 shall the minimum rear yard be thus reduced to less than a depth equal to 25 percent of the

1 total depth of the lot on which the building is situated, or to less than 15 feet, whichever is  
2 greater.

3 (1) General Rule. In such districts, the forward edge of the required rear yard shall be  
4 reduced to a line on the subject lot, parallel to the rear lot line of such lot, which is an average  
5 between the depths of the rear building walls of the two adjacent buildings. Except for single  
6 room occupancy buildings in the South of Market Mixed Use Districts, in any case in which a  
7 rear yard requirement is thus reduced, the last 10 feet of building depth thus permitted on the  
8 subject lot shall be limited to a height of 30 feet, measured as prescribed by Section 260 of  
9 this Code, or to such lesser height as may be established by Section 261 of this Code.

10 (2) Alternative Method of Averaging. If, under the rule stated in Paragraph (c)(1)  
11 above, a reduction in the required rear yard is permitted, the reduction may alternatively be  
12 averaged in an irregular manner; provided that the area of the resulting reduction shall be no  
13 more than the product of the width of the subject lot along the line established by Paragraph  
14 (c)(1) above times the reduction in depth of rear yard permitted by Paragraph (c)(1); and  
15 provided further that all portions of the open area on the part of the lot to which the rear yard  
16 reduction applies shall be directly exposed laterally to the open area behind the adjacent  
17 building having the lesser depth of its rear building wall.

18 (3) Method of Measurement. For purposes of this Subsection (c), an "adjacent  
19 building" shall mean a building on a lot adjoining the subject lot along a side lot line. In all  
20 cases the location of the rear building wall of an adjacent building shall be taken as the line of  
21 greatest depth of any portion of the adjacent building which occupies at least ½ the width  
22 between the side lot lines of the lot on which such adjacent building is located, and which has  
23 a height of at least 20 feet above grade, or two stories, whichever is less, excluding all  
24 permitted obstructions listed for rear yards in Section 136 of this Code. Where a lot adjoining  
25 the subject lot is vacant, or contains no dwelling or group housing structure, or is located in an

1 RH-1(D), RH-1, RH-1(S), RM-3, RM-4, RC, RED, RED-MX, MUG, MUR, UMU, WMUG, SPD,  
2 RSD, SLR, SLI, SSO, NC, C, M or P District, such adjoining lot shall, for purposes of the  
3 calculations in this Subsection (c), be considered to have an adjacent building upon it whose  
4 rear building wall is at a depth equal to 75 percent of the total depth of the subject lot.

5 (4) Applicability to Special Lot Situations. In the following special lot situations, the  
6 general rule stated in Paragraph (c)(1) above shall be applied as provided in this Paragraph  
7 (c)(4), and the required rear yard shall be reduced if conditions on the adjacent lot or lots so  
8 indicate and if all other requirements of this Section 134 are met.

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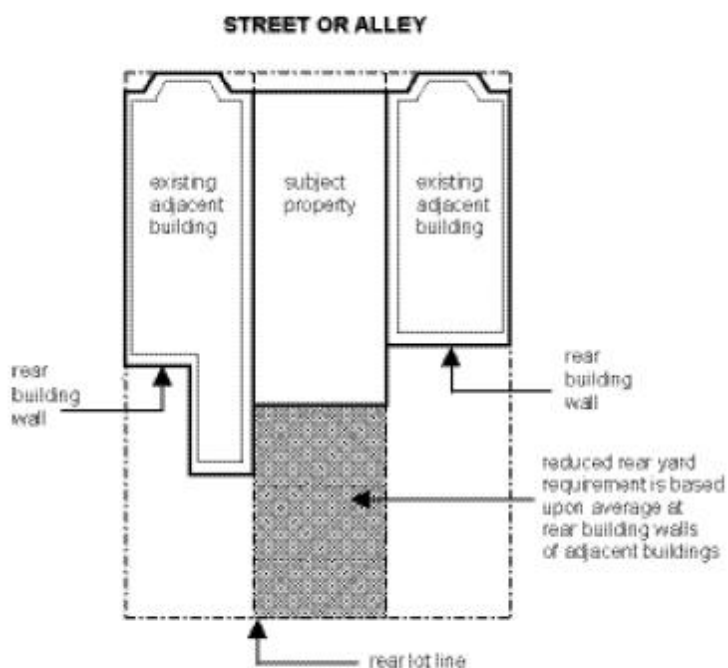
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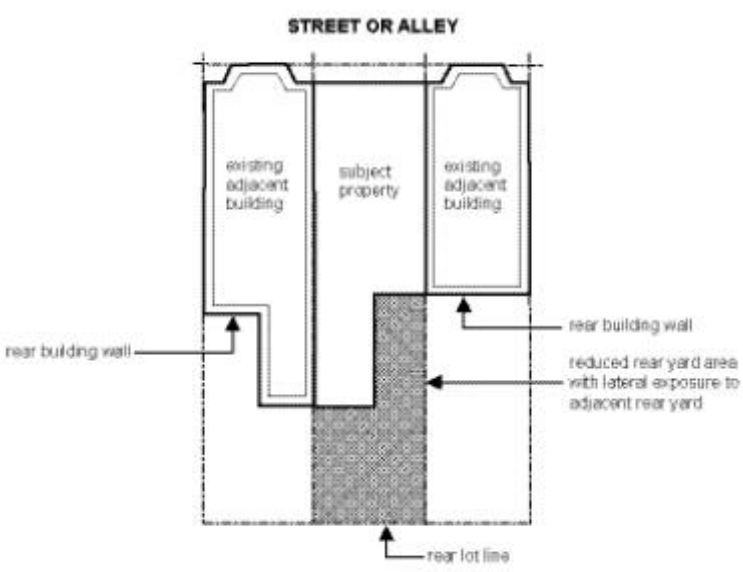
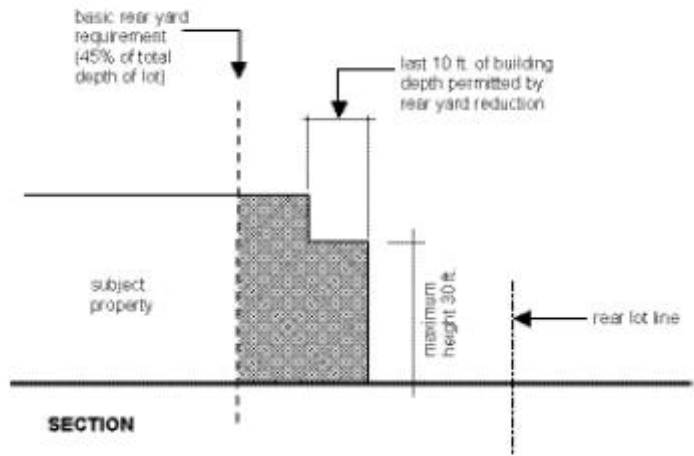
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(A) Corner Lots and Lots at Alley Intersections. On a corner lot as defined by this Code, or a lot at the intersection of a street and an alley or two alleys, the forward edge of the required rear yard shall be reduced to a line on the subject lot which is at the depth of the rear building wall of the one adjacent building.

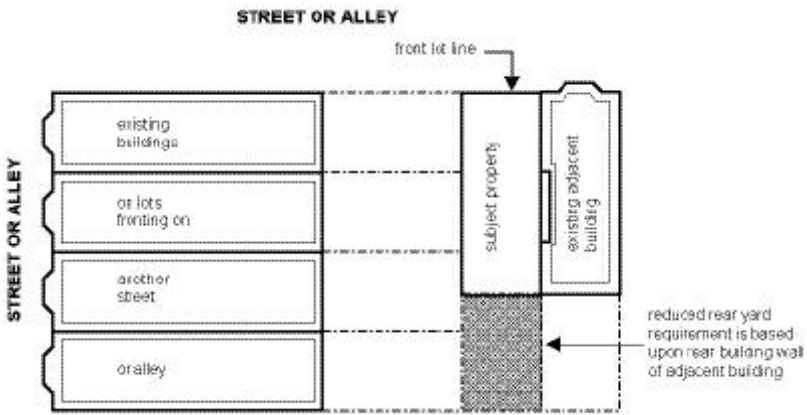
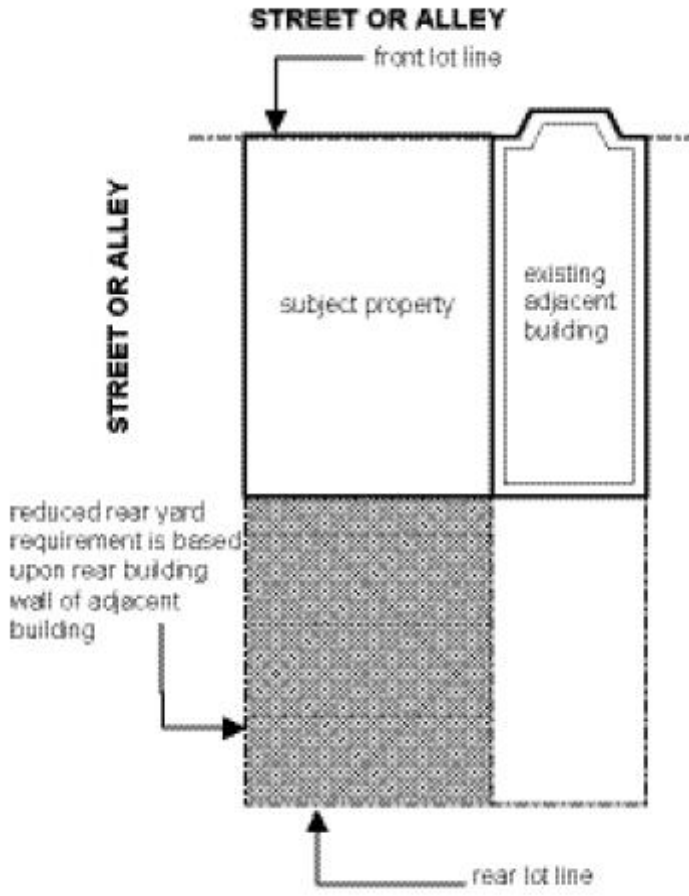
(B) Lots Abutting Properties with Buildings that Front on Another Street or Alley. In the case of any lot that abuts along one of its side lot lines upon a lot with a building that fronts

1 on another street or alley, the lot on which it so abuts shall be disregarded, and the forward  
2 edge of the required rear yard shall be reduced to a line on the subject lot which is at the  
3 depth of the rear building wall of the one adjacent building fronting on the same street or alley.  
4 In the case of any lot that abuts along both its side lot lines upon lots with buildings that front  
5 on another street or alley, both lots on which it so abuts shall be disregarded, and the  
6 minimum rear yard depth for the subject lot shall be equal to 25 percent of the total depth of  
7 the subject lot, or 15 feet, whichever is greater.

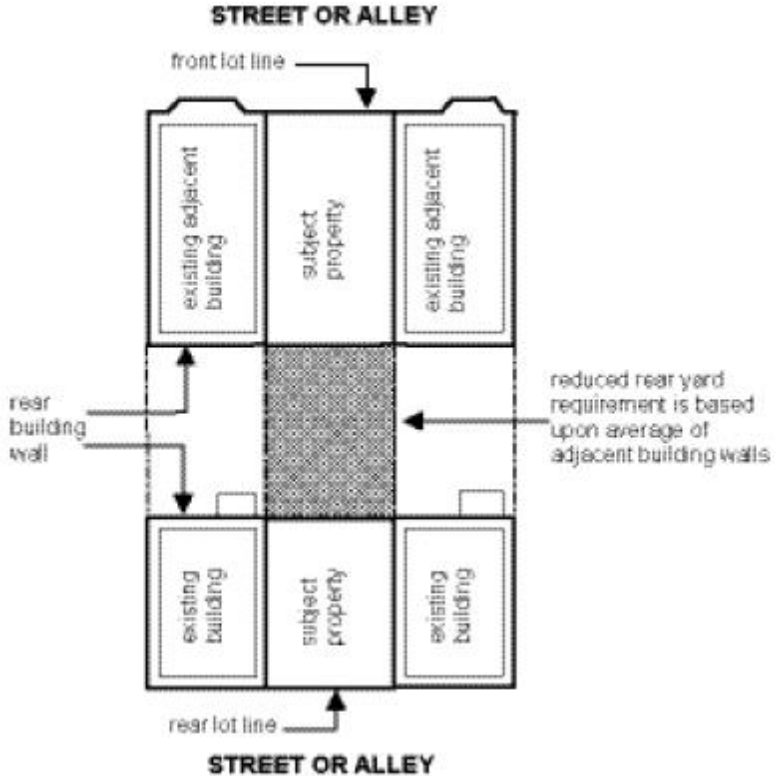
8 (C) Through Lots Abutting Properties that Contain Two Buildings. Where a lot is a  
9 through lot having both its front and its rear lot line along streets, alleys, or a street and an  
10 alley, and both adjoining lots are also through lots, each containing two dwellings or group  
11 housing structures that front at opposite ends of the lot, the subject through lot may also have  
12 two buildings according to such established pattern, each fronting at one end of the lot,  
13 provided all the other requirements of this Code are met. In such cases the rear yard required  
14 by this Section 134 for the subject lot shall be located in the central portion of the lot, between  
15 the two buildings on such lot, and the depth of the rear wall of each building from the street or  
16 alley on which it fronts shall be established by the average of the depths of the rear building  
17 walls of the adjacent buildings fronting on that street or alley. In no case, however, shall the  
18 total minimum rear yard for the subject lot be thus reduced to less than a depth equal to 25  
19 percent of the total depth of the subject lot, or to less than 15 feet, whichever is greater.  
20 Furthermore, in all cases in which this Subparagraph (c)(4)(C) is applied, the requirements of  
21 Section 132 of this Code for front setback areas shall be applicable along both street or alley  
22 frontages of the subject through lot.

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1 (d) Reduction of Requirements in C-3 Districts. In C-3 Districts, an exception to the rear  
 2 yard requirements of this Section may be allowed, in accordance with the provisions of  
 3 Section 309, provided that the building location and configuration assure adequate light and  
 4 air to windows within the residential units and to the usable open space provided.



19 (e) Modification of Requirements in NC and South of Market Mixed Use Districts. The  
 20 rear yard requirements in NC and South of Market Mixed Use Districts may be modified or  
 21 waived in specific situations as described in this Subsection (e).

22 (1) General. The rear yard requirement in NC Districts may be modified or waived by  
 23 the Zoning Administrator pursuant to the procedures which are applicable to variances, as set  
 24 forth in Sections 306.1 through 306.5 and 308.2, in the case of NC Districts, and in  
 25

1 accordance with Section 307(g), in the case of South of Market Mixed Use Districts if all of the  
2 following criteria are met for both NC and South of Market Mixed Use Districts:

3 (A) Residential uses are included in the new or expanding development and a  
4 comparable amount of usable open space is provided elsewhere on the lot or within the  
5 development where it is more accessible to the residents of the development; and

6 (B) The proposed new or expanding structure will not significantly impede the  
7 access of light and air to and views from adjacent properties; and

8 (C) The proposed new or expanding structure will not adversely affect the interior  
9 block open space formed by the rear yards of adjacent properties.

10 (2) Corner Lots and Lots at Alley Intersections. On a corner lot as defined by this  
11 Code, or on a lot at the intersection of a street and an alley of at least 25 feet in width, the  
12 required rear yard may be substituted with an open area equal to 25 percent of the lot area  
13 which is located at the same levels as the required rear yard in an interior corner of the lot, an  
14 open area between two or more buildings on the lot, or an inner court, as defined by this  
15 Code, provided that the Zoning Administrator determines that all of the criteria described  
16 below in this Paragraph are met.

17 (A) Each horizontal dimension of the open area shall be a minimum of 15 feet.

18 (B) The open area shall be wholly or partially contiguous to the existing midblock  
19 open space formed by the rear yards of adjacent properties.

20 (C) The open area will provide for the access to light and air to and views from  
21 adjacent properties.

22 (D) The proposed new or expanding structure will provide for access to light and  
23 air from any existing or new residential uses on the subject property.

1 The provisions of this Paragraph 2 of Subsection (e) shall not preclude such additional  
2 conditions as are deemed necessary by the Zoning Administrator to further the purposes of  
3 this Section.

4 (f) Modification of Requirements in the Eastern Neighborhoods Mixed Use Districts. The  
5 rear yard requirement in Eastern Neighborhoods Mixed Use Districts may be modified or  
6 waived by the Planning Commission pursuant to Section 329, and by the Zoning Administrator  
7 pursuant to the procedures and criteria set forth in Section 307(h) for other projects, provided  
8 that:

9 (1) Residential uses are included in the new or expanding development and a  
10 comparable amount of readily accessible usable open space is provided elsewhere on the lot  
11 or within the development;

12 (2) The proposed new or expanding structure will not significantly impede the access  
13 to light and air from adjacent properties; and

14 (3) The proposed new or expanding structure will not adversely affect the interior  
15 block open space formed by the rear yards of adjacent properties.

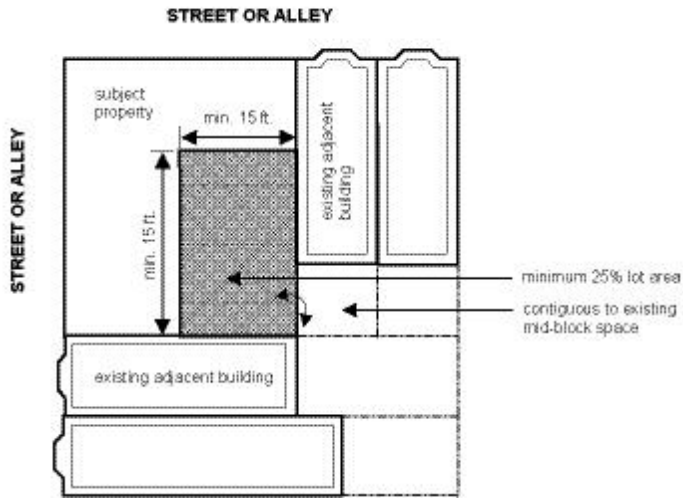
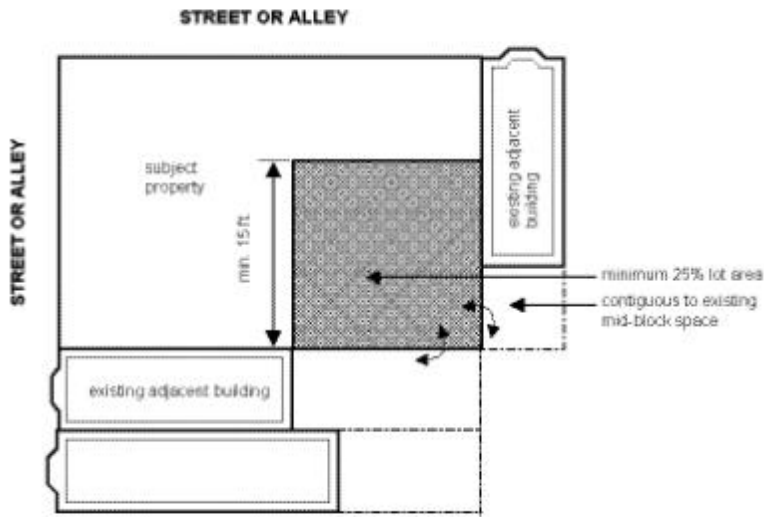
16 (g) Reduction of Requirements in the North of Market Residential Special Use District.  
17 The rear yard requirement may be substituted with an equivalent amount of open space  
18 situated anywhere on the site, provided that the Zoning Administrator determines that all of  
19 the following criteria are met:

20 (1) The substituted open space in the proposed new or expanding structure will  
21 improve the access of light and air to and views from existing abutting properties; and

22 (2) The proposed new or expanding structure will not adversely affect the interior  
23 block open space formed by the rear yards of existing abutting properties.

24 This provision shall be administered pursuant to the notice and hearing procedures which  
25 are applicable to variances as set forth in Sections 306.1 through 306.5 and 308.2.

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SEC. 135. USABLE OPEN SPACE FOR DWELLING UNITS AND GROUP HOUSING, R, NC, MIXED USE, C, AND M DISTRICTS.

Except as provided in Sections 134.1, 172 and 188 of this Code, usable open space shall be provided for each dwelling and each group housing structure in R, NC, C, Mixed Use, and M

1 Districts according to the standards set forth in this Section unless otherwise specified in  
2 specific district controls elsewhere in this Code.

3 (a) Character of Space Provided. Usable open space shall be composed of an outdoor  
4 area or areas designed for outdoor living, recreation or landscaping, including such areas on  
5 the ground and on decks, balconies, porches and roofs, which are safe and suitably surfaced  
6 and screened, and which conform to the other requirements of this Section. Such area or  
7 areas shall be on the same lot as the dwelling units (or bedrooms in group housing) they  
8 serve, and shall be designed and oriented in a manner that will make the best practical use of  
9 available sun and other climatic advantages. "Private usable open space" shall mean an area  
10 or areas private to and designed for use by only one dwelling unit (or bedroom in group  
11 housing). "Common usable open space" shall mean an area or areas designed for use jointly  
12 by two or more dwelling units (or bedrooms in group housing).

13 (b) Access. Usable open space shall be as close as is practical to the dwelling unit (or  
14 bedroom in group housing) for which it is required, and shall be accessible from such dwelling  
15 unit or bedroom as follows:

16 (1) Private usable open space shall be directly and immediately accessible from such  
17 dwelling unit or bedroom; and shall be either on the same floor level as such dwelling unit or  
18 bedroom, with no more than one story above or below such floor level with convenient private  
19 access.

20 (2) Common usable open space shall be easily and independently accessible from  
21 such dwelling unit or bedroom, or from another common area of the building or lot.

22 (c) Permitted Obstructions. In the calculation of either private or common usable open  
23 space, those obstructions listed in Sections 136 and 136.1 of this Code for usable open space  
24 shall be permitted.



1 (d) Amount Required. Usable open space shall be provided for each building in the  
2 amounts specified herein and in Table 135 for the district in which the building is located;  
3 provided, however, that in the Downtown Residential (DTR) Districts, open space shall be  
4 provided in the amounts specified in Section 825.

5 In Neighborhood Commercial Districts, the amount of usable open space to be provided  
6 shall be the amount required in the nearest Residential District, but the minimum amount of  
7 open space required shall be in no case greater than the amount set forth in Table 135A for  
8 the district in which the building is located. The distance to each Residential District shall be  
9 measured from the midpoint of the front lot line or from a point directly across the street there  
10 from, whichever requires less open space.

11 (1) For dwellings other than SRO dwellings, except as provided in Paragraph (d)(3)  
12 below, the minimum amount of usable open space to be provided for use by each dwelling  
13 unit shall be as specified in the second column of Table 135A if such usable open space is all  
14 private. Where common usable open space is used to satisfy all or part of the requirement for  
15 a dwelling unit, such common usable open space shall be provided in an amount equal to  
16 1.33 square feet for each one square foot of private usable open space specified in the  
17 second column of Table 135A. In such cases, the balance of the required usable open space  
18 may be provided as private usable open space, with full credit for each square foot of private  
19 usable open space so provided.

20 (2) For group housing structures and SRO units, the minimum amount of usable  
21 open space provided for use by each bedroom shall be 1/3 the amount required for a dwelling  
22 unit as specified in Paragraph (d)(1) above. For purposes of these calculations, the number of  
23 bedrooms on a lot shall in no case be considered to be less than one bedroom for each two  
24 beds. Where the actual number of beds exceeds an average of two beds for each bedroom,  
25 each two beds shall be considered equivalent to one bedroom.

(3) For dwellings specifically designed for and occupied by senior citizens or physically handicapped persons, as defined and regulated by Section 209.1(m) of this Code, the minimum amount of usable open space to be provided for use by each dwelling unit shall be ½ the amount required for each dwelling unit as specified in Paragraph (d)(1) above.

(4) DTR Districts. For all residential uses, 75 square feet of open space is required per dwelling unit. All residential open space must meet the provisions described in this Section unless otherwise established in this subsection or in Section 825 or a Section governing an individual DTR District. Open space requirements may be met with the following types of open space: "private usable open space" as defined in Section 135(a) of this Code, "common usable open space" as defined in Section 135(a) of this Code, and "publicly accessible open space" as defined in subsection (h) below. At least 40 percent of the residential open space is required to be common to all residential units. Common usable open space is not required to be publicly-accessible. Publicly-accessible open space, including off-site open space permitted by subsection (i) below and by Section 827(a)(9), meeting the standards of subsection (h) may be considered as common usable open space. For residential units with direct access from the street, building setback areas that meet the standards of Section 145.1 and the Ground Floor Residential Design Guidelines may be counted toward the open space requirement as private non-common open space.

<p>TABLE 135A          MINIMUM USABLE OPEN SPACE FOR DWELLING UNITS AND GROUP HOUSING          OUTSIDE THE EASTERN NEIGHBORHOODS MIXED USE DISTRICT</p>		
District	Square Feet Of Usable Open Space Required For Each Dwelling Unit If All Private	Ratio of Common Usable Open Space That May Be Substituted for Private

1	RH-1(D), RH-1	300	1.33
2	RH-1(S)	300 for first unit; 100 for minor	1.33
3		second unit	
4			
5			
6	RH-2	125	1.33
7	RH-3	100	1.33
8	RM-1, RC-1, RTO, RTO-M	100	1.33
9			
10	RM-2, RC-2, SPD	80	1.33
11	RM-3, RC-3, RED	60	1.33
12	RM-4, RC-4, RSD	36	1.33
13			
14	C-3, C-M, SLR, SLI, SSO, M-	36	1.33
15	1, M-2		
16	C-1, C-2	Same as for the R District	
17		establishing the dwelling unit	
18		density ratio for the C-1 or C-	
19		2 District property	
20	NC-1, NC-2, NCT-1, NCT-2,	100	1.33
21	NC-S, Inner Sunset,		
22	Sacramento Street, West		
23	Portal Avenue, Ocean Avenue		
24			
25	NC-3, Castro Street, Inner	80	1.33

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Clement Street, Outer Clement Street, Upper Fillmore Street, Haight Street, Union Street, Valencia Street, 24th Street-Mission, 24th Street-Noe Valley, NCT-3, SoMa, Mission Street, <i>Folsom</i> <i>Street, RCD</i>		
Broadway, Hayes-Gough, Upper Market Street, North Beach, Polk Street	60	1.33
Chinatown Community Business, Chinatown Residential Neighborhood Commercial, Chinatown Visitor Retail	48	1.00
DTR	This table not applicable. 75 square feet per dwelling. See Sec. 135(d)(4).	
<p>TABLE 135B MINIMUM USABLE OPEN SPACE FOR DWELLING UNITS AND GROUP HOUSING IN THE EASTERN NEIGHBORHOODS MIXED USE DISTRICTS</p>		
Square feet of usable open	Square feet of usable open	Percent of open space that

1 2 3 4	space per dwelling unit, if not publicly accessible	space per dwelling unit, if publicly accessible	may be provided off site
5 6 7 8	80 square feet	54 square feet	50%

9 (e) Slope. The slope of any area credited as either private or common usable open  
10 space shall not exceed five percent.

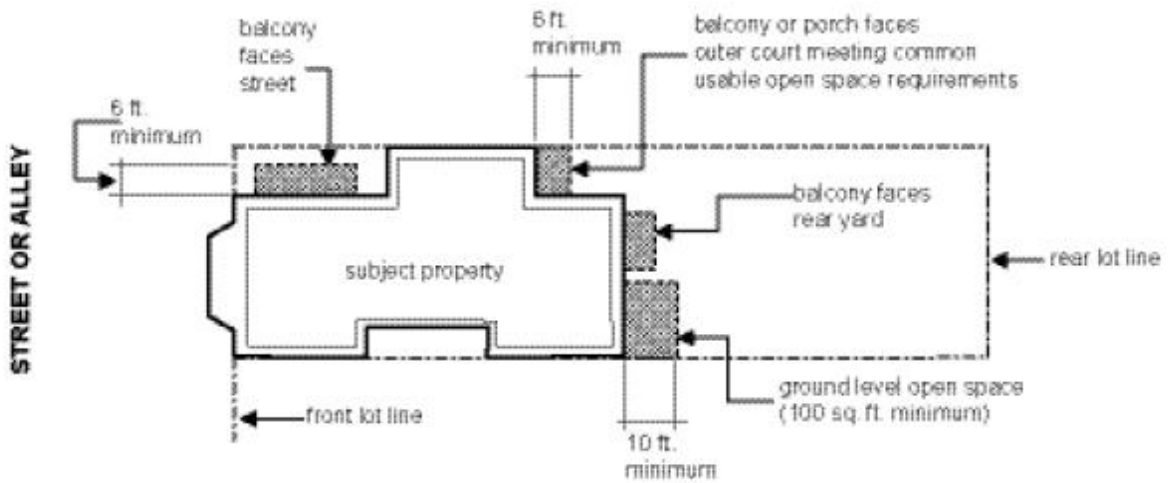
11 (f) Private Usable Open Space: Additional Standards.

12 (1) Minimum Dimensions and Minimum Area. Any space credited as private usable  
13 open space shall have a minimum horizontal dimension of six feet and a minimum area of 36  
14 square feet if located on a deck, balcony, porch or roof, and shall have a mini-mum horizontal  
15 dimension of 10 feet and a minimum area of 100 square feet if located on open ground, a  
16 terrace or the surface of an inner or outer court.

17 (2) Exposure. In order to be credited as private usable open space, an area must be  
18 kept open in the following manner:

19 (A) For decks, balconies, porches and roofs, at least 30 percent of the perimeter  
20 must be unobstructed except for necessary railings.

21 (B) In addition, the area credited on a deck, balcony, porch or roof must either  
22 face a street, face or be within a rear yard, or face or be within some other space which at the  
23 level of the private usable open space meets the minimum dimension and area requirements  
24 for common usable open space as specified in Paragraph 135(g)(1) below.  
25



(C) Areas within inner and outer courts, as defined by this Code, must either conform to the standards of Subparagraph (f)(2)(B) above or be so arranged that the height of the walls and projections above the court on at least three sides (or 75 percent of the perimeter, whichever is greater) is such that no point on any such wall or projection is higher than one foot for each foot that such point is horizontally distant from the opposite side of the clear space in the court, regardless of the permitted obstruction referred to in Subsection 135(c) above.

(3) Fire Escapes as Usable Open Space. Normal fire escape grating shall not be considered suitable surfacing for usable open space. The steps of a fire escape stairway or ladder, and any space less than six feet deep between such steps and a wall of the building, shall not be credited as usable open space. But the mere potential use of a balcony area for an emergency fire exit by occupants of other dwelling units (or bedrooms in group housing) shall not prevent it from being credited as usable open space on grounds of lack of privacy or usability.

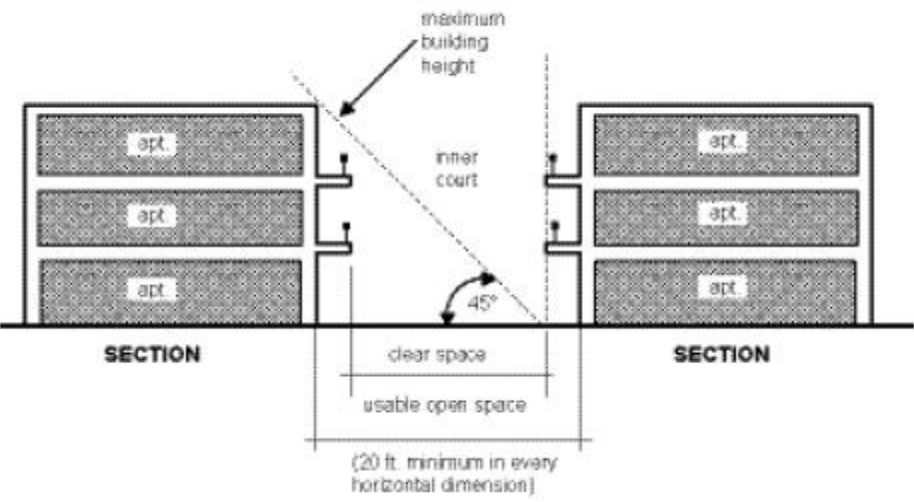
(4) Use of Solariums. In C-3 Districts, the area of a totally or partially enclosed solarium shall be credited as private usable open space if (i) such area is open to the

1 outdoors through openings or clear glazing on not less than 50 percent of its perimeter and (ii)  
2 not less than 30 percent of its overhead area and 25 percent of its perimeter are open or can  
3 be opened to the air.

4 (g) Common Usable Open Space: Additional Standards.

5 (1) Minimum Dimensions and Minimum Area. Any space credited as common usable  
6 open space shall be at least 15 feet in every horizontal dimension and shall have a minimum  
7 area of 300 square feet.

8 (2) Use of Inner Courts. The area of an inner court, as defined by this Code, may be  
9 credited as common usable open space, if the enclosed space is not less than 20 feet in  
10 every horizontal dimension and 400 square feet in area; and if (regardless of the permitted  
11 obstructions referred to in Subsection 135(c) above) the height of the walls and projections  
12 above the court on at least three sides (or 75 percent of the perimeter, whichever is greater) is  
13 such that no point on any such wall or projection is higher than one foot for each foot that  
14 such point is horizontally distant from the opposite side of the clear space in the court.



1           (3) Use of Solariums. The area of a totally or partially enclosed solarium may be  
2 credited as common usable open space if the space is not less than 15 feet in every  
3 horizontal dimension and 300 square feet in area; and if such area is exposed to the sun  
4 through openings or clear glazing on not less than 30 percent of its perimeter and 30 percent  
5 of its overhead area.

6           (h) Publicly-Accessible Usable Open Space Standards: In DTR Districts and the Eastern  
7 Neighborhoods Mixed Use Districts, any space credited as publicly-accessible usable open  
8 space, where permitted or required by this Code, shall meet the following standards:

9           (1) Open space shall be of one or more of the following types:

10           (A) An unenclosed park or garden at street grade or following the natural  
11 topography, including improvements to hillsides or other unimproved public areas;

12           (B) An unenclosed plaza at street grade, with seating areas and landscaping and  
13 no more than 10 percent of the total floor area devoted to facilities for food or beverage  
14 service, exclusive of seating areas as regulated in Subsection (2)(d), below;

15           (C) An unenclosed pedestrian pathway which complies with the standards of  
16 Section 270.2 and which is consistent with applicable design guidelines.

17           (D) Streetscape improvements with landscaping and pedestrian amenities that  
18 result in additional pedestrian space beyond the pre-existing sidewalk width and conform to  
19 the Better Streets Plan and any other applicable neighborhood streetscape plans per Section  
20 138.1 or other related policies such as those associated with sidewalk widenings or building  
21 setbacks, other than those intended by design for the use of individual ground floor residential  
22 units; and

23           (2) Open space shall meet the following standards:

24           (A) Be in such locations and provide such ingress and egress as will make the  
25 area convenient, safe, secure and easily accessible to the general public;



- 1 (B) Be appropriately landscaped;
- 2 (C) Be protected from uncomfortable winds;
- 3 (D) Incorporate ample seating. Any seating which is provided shall be available for  
4 public use and may not be exclusively reserved or dedicated for any food or beverage  
5 services located within the open space;
- 6 (E) Be well signed and accessible to the public during daylight hours;
- 7 (F) Be well lit if the area is of the type requiring artificial illumination;
- 8 (G) Be designed to enhance user safety and security;
- 9 (H) Be of sufficient size to be attractive and practical for its intended use; and
- 10 (I) Have access to drinking water and toilets if feasible and appropriate.

11 (3) Maintenance: Open spaces shall be maintained at no public expense. The owner  
12 of the property on which the open space is located shall maintain it by keeping the area clean  
13 and free of litter and keeping in a healthy state any plant material that is provided. Conditions  
14 intended to assure continued maintenance of the open space for the actual lifetime of the  
15 building giving rise to the open space requirement may be imposed by the Commission or  
16 Department pursuant to applicable procedures in this Code.

17 (4) Informational Plaque: Prior to issuance of a permit of occupancy, a plaque shall  
18 be placed in a publicly conspicuous location outside the building at street level, or at the site  
19 of any publicly-accessible open space. The plaque shall identify said open space feature and  
20 its location, stating the right of the public to use the space and the hours of use, describing its  
21 principal required features (e.g., number of seats or other defining features) and stating the  
22 name, telephone number, and address of the owner or owner's agent responsible for  
23 maintenance. The plaque shall be of no less than 24 inches by 36 inches in size unless  
24 specifically reduced by the Zoning Administrator in cases where the nature, size, or other  
25 constraints of the open space would make the proscribed dimensions inappropriate.

1 (5) Property owners providing open space under this section will hold harmless the  
2 City and County of San Francisco, its officers, agents and employees, from any damage or  
3 injury caused by the design, construction, use, or maintenance of open space. Property  
4 owners are solely liable for any damage or loss occasioned by any act or negligence in  
5 respect to the design, construction, use, or maintenance of the open space.

6 (i) Off-Site Provision of Required Usable Open Space.

7 (1) Eastern Neighborhoods Mixed Use Districts. In the Eastern Neighborhoods Mixed  
8 Use Districts, the provision of off-site publicly accessible open space may be credited toward  
9 the residential usable open space requirement, subject to Section 329 for projects to which  
10 that Section applies and Section 307(h) for other projects. Any such space shall meet the  
11 publicly accessible open space standards set forth in Section 135(h) and be provided within  
12 800 feet of the project. No more than 50 percent of a project's required usable open space  
13 shall be off-site. The publicly accessible off-site usable open space shall be constructed,  
14 completed, and ready for use no later than the project itself, and shall receive its Certificate of  
15 Final Completion from the Department of Building Inspection prior to the issuance of any  
16 Certificate of Final Completion or Temporary Certificate of Occupancy for the project itself.

17 (2) DTR Districts. In DTR Districts the provision of off-site publicly accessible open  
18 space may be counted toward the requirements of residential open space per the procedures  
19 of Section 309.1 provided it is within the individual DTR district of the project or within 500 feet  
20 of any boundary of the individual DTR district of the project, and meets the standards of  
21 subsection (h).

22 (A) At least 36 square feet per residential unit of required open space must be  
23 provided on-site. Pursuant to the procedures of Section 309.1, the Planning Commission may  
24 reduce the minimum on-site provision of required residential open space to not less than 18  
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1 square feet per unit in order to both create additional publicly-accessible open space serving  
2 the district and to foster superior architectural design on constrained sites.

3 (B) Open Space Provider. The open space required by this Section may be  
4 provided individually by the project sponsor or jointly by the project sponsor and other project  
5 sponsors, provided that each square foot of jointly developed open space may count toward  
6 only one sponsor's requirement. With the approval of the Planning Commission, a public or  
7 private agency may develop and maintain the open space, provided that (i) the project  
8 sponsor or sponsors pay for the cost of development of the number of square feet the project  
9 sponsor is required to provide, (ii) provision satisfactory to the Commission is made for the  
10 continued maintenance of the open space for the actual lifetime of the building giving rise to  
11 the open space requirement, and (iii) the Commission finds that there is reasonable  
12 assurance that the open space to be developed by such agency will be developed and open  
13 for use by the time the building, the open space requirement of which is being met by the  
14 payment, is ready for occupancy.

15 (3) Ocean Avenue NCT. In the Ocean Avenue NCT District, the provision of off-site  
16 publicly accessible open space may be credited toward the residential usable open space  
17 requirement subject to the procedures of Section 303. Any such open space shall meet the  
18 publicly accessible open space standards set forth in Section 135(h) and be provided within  
19 800 feet of the project. No more than 50 percent of a project's usable open space requirement  
20 may be satisfied off-site. The publicly accessible off-site usable open space shall be  
21 constructed, completed, and ready for use no later than the project itself, and shall receive its  
22 certificate of final completion from the Department of Building Inspection prior to the issuance  
23 of any certificate of final completion or temporary certificate of occupancy for the project itself.

1 SEC. 145.1. STREET FRONTAGES IN NEIGHBORHOOD COMMERCIAL, RESIDENTIAL-  
2 COMMERCIAL, COMMERCIAL, AND MIXED USE DISTRICTS.

3 (a) Purpose. The purpose of this Section is to preserve, enhance and promote attractive,  
4 clearly defined street frontages that are pedestrian-oriented, fine-grained, and which are  
5 appropriate and compatible with the buildings and uses in Neighborhood Commercial  
6 Districts, Commercial Districts, Residential-Commercial Districts, and Mixed Use Districts.

7 (b) Definitions.

8 (1) Development lot. A "development lot" shall mean:

9 (A) Any lot containing a proposal for new construction, or

10 (B) Building alterations which would increase the gross square footage of a  
11 structure by 20 percent or more, or

12 (C) In a building containing parking, a change of more than 50 percent of the  
13 building's gross floor area to or from residential uses, excluding residential accessory off-  
14 street parking.

15 (2) Active use. An "active use", shall mean any principal, conditional, or accessory  
16 use which by its nature does not require non-transparent walls facing a public street or  
17 involves the storage of goods or vehicles.

18 (A) Residential uses are considered active uses above the ground floor; on the  
19 ground floor, residential uses are considered active uses only if more than 50 percent of the  
20 linear residential street frontage at the ground level features walk-up dwelling units which  
21 provide direct, individual pedestrian access to a public sidewalk, and are consistent with the  
22 Ground Floor Residential Design Guidelines, as adopted and periodically amended by the  
23 Planning Commission.

1 (B) Spaces accessory to residential uses, such as fitness or community rooms,  
2 are considered active uses only if they meet the intent of this section and have access directly  
3 to the public sidewalk or street.

4 (C) Building lobbies are considered active uses, so long as they do not exceed 40  
5 feet or 25% of building frontage, whichever is larger.

6 (D) Public Uses described in 790.80 and 890.80 are considered active uses  
7 except utility installations.

8 (c) Controls. The following requirements shall generally apply, except for those controls  
9 listed in subsections (1) Above Grade Parking Setback and (4) Ground Floor Ceiling Height,  
10 which only apply to a "development lot" as defined above.

11 In NC-S Districts, the applicable frontage shall be the primary facade(s) which contain  
12 customer entrances to commercial spaces.

13 (1) Above-Grade Parking Setback. Off-street parking at street grade on a  
14 development lot must be set back at least 25 feet on the ground floor and at least 15 feet on  
15 floors above, from any facade facing a street at least 30 feet in width. Parking above the  
16 ground level shall be entirely screened from all public rights-of-way in a manner that  
17 accentuates ground floor uses, minimizes mechanical features and is in keeping with the  
18 overall massing and architectural vocabulary of the building. In C-3 Districts, parking above  
19 the ground level, where permitted, shall also be designed to facilitate conversion to other uses  
20 by maintaining level floors and a clear ceiling height of nine feet or equal to that of the  
21 adjacent street-fronting active uses, whichever is greater. Removable parking ramps are  
22 excluded from this requirement.

23 The following shall apply to projects subject to this section:

24 (A) when only one parking space is permitted. if a space is proposed it must be  
25 within the first 25 feet of the building;

1 (B) when two or more parking spaces are proposed, one space may be within the  
2 first 25 feet of the building;

3 (C) when three or more parking spaces are proposed, all parking spaces must be  
4 set back at least 25 feet from the front of the development.

5 (2) Parking and Loading Entrances. No more than one-third of the width or 20 feet,  
6 whichever is less, of any given street frontage of a new or altered structure parallel to and  
7 facing a street shall be devoted to parking and loading ingress or egress. In NC-S Districts, no  
8 more than one-third or 50 feet, whichever is less, of each lot frontage shall be devoted to  
9 ingress/egress of parking. In RED Districts, no more than one garage door shall be permitted per  
10 lot, and the garage door shall be limited to no more than 10 feet in width. Street-facing garage  
11 structures and garage doors may not extend closer to the street than a primary building  
12 facade unless the garage structure and garage door are consistent with the features listed in  
13 Section 136 of this Code. The total street frontage dedicated to parking and loading access  
14 should be minimized, and combining entrances for off-street parking with those for off-street  
15 loading is encouraged. The placement of parking and loading entrances should minimize  
16 interference with street-fronting active uses and with the movement of pedestrians, cyclists,  
17 public transit, and autos. Entrances to off-street parking shall be located at least six feet from  
18 a lot corner located at the intersection of two public rights-of-way. Off-street parking and  
19 loading entrances should minimize the loss of on-street parking and loading spaces. Off-street  
20 parking and loading are also subject to the provisions of Section 155 of this Code. In C-3  
21 Districts, so as not to preclude the conversion of parking space to other uses in the future,  
22 parking at the ground-level shall not be sloped, and the floor shall be aligned as closely as  
23 possible to sidewalk level along the principal pedestrian frontage and/or to those of the street-  
24 fronting commercial spaces and shall have a minimum clear ceiling height of 14 feet or equal  
25

1 to that of street-fronting commercial spaces, whichever is greater. Removable parking ramps  
2 are excluded from this requirement.

3 (3) Active Uses Required. With the exception of space allowed for parking and  
4 loading access, building egress, and access to mechanical systems, space for active uses as  
5 defined in Subsection (b)(2) and permitted by the specific district in which it is located shall be  
6 provided within the first 25 feet of building depth on the ground floor and 15 feet on floors  
7 above from any facade facing a street at least 30 feet in width. Building systems including  
8 mechanical, electrical, and plumbing features may be exempted from this requirement by the  
9 Zoning Administrator only in instances where those features are provided in such a fashion as  
10 to not negatively impact the quality of the ground floor space.

11 (4) Ground Floor Ceiling Height. Unless otherwise established elsewhere in this  
12 Code:

13 (A) Ground floor non-residential uses in UMU Districts shall have a minimum floor-  
14 to-floor height of 17 feet, as measured from grade.

15 (B) Ground floor non-residential uses in all C-3, C-M, NCT, DTR, Chinatown  
16 Mixed Use, RSD, SLR, SLI, SSO, RED-MX, WMUG, MUG, MUR, WMUO, and MUO Districts  
17 shall have a minimum floor-to-floor height of 14 feet, as measured from grade.

18 (C) Ground floor non-residential uses in all RC districts, C-2 districts, RED  
19 districts, and NC districts other than NCT, shall have a minimum floor-to-floor height of 14  
20 feet, as measured from grade except in 40-foot and 50-foot height districts, where buildings  
21 shall have a minimum floor-to-floor height of 10 feet.

22 (5) Street-Facing Ground-Level Spaces. The floors of street-fronting interior spaces  
23 housing non-residential active uses and lobbies shall be as close as possible to the level of  
24 the adjacent sidewalk at the principal entrance to these spaces. Street-facing ground-level  
25 spaces housing non-residential active uses in hotels, office buildings, shopping centers, and

1 other large buildings shall open directly onto the street, rather than solely into lobbies and  
2 interior spaces of the buildings. Such required street-facing entrances shall remain open to  
3 the public during business hours.

4 (6) Transparency and Fenestration. Frontages with active uses that are not  
5 residential or PDR must be fenestrated with transparent windows and doorways for no less  
6 than 60 percent of the street frontage at the ground level and allow visibility to the inside of the  
7 building. The use of dark or mirrored glass shall not count towards the required transparent  
8 area.

9 (7) Gates, Railings, and Grillwork. Any decorative railings or grillwork, other than wire  
10 mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent  
11 open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork  
12 rather than solid material, so as to provide visual interest to pedestrians when the gates are  
13 closed, and to permit light to pass through mostly unobstructed. Gates, when both open and  
14 folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the  
15 building facade.

16 (d) Exceptions for Historic Buildings. Specific street frontage requirements in this  
17 Section may be modified or waived by the Planning Commission for structures designated as  
18 landmarks, significant or contributory buildings within a historic district, or buildings of merit  
19 when the Historic Preservation Commission advises that complying with specific street  
20 frontage requirements would adversely affect the landmark, significant, contributory, or  
21 meritorious character of the structure, or that modification or waiver would enhance the  
22 economic feasibility of preservation of the landmark or structure.

23  
24 151.1. SCHEDULE OF PERMITTED OFF-STREET PARKING SPACES IN SPECIFIED  
25 DISTRICTS.



1 (a) Applicability. This subsection shall apply only to DTR, NCT, Upper Market Street NCD,  
2 RTO, Eastern Neighborhood Mixed Use, South of Market Mixed Use, M-I, PDR-1-D, and  
3 PDR-1-G, C-M, or C-3 Districts.

4 (b) Controls. Off-street accessory parking shall not be required for any use, and the  
5 quantities of off-street parking specified in Table 151.1 shall serve as the maximum amount of  
6 off-street parking that may be provided as accessory to the uses specified. For non-residential  
7 and non-office uses in the UMU, PDR-1-D, and PDR-1-G Districts, the maximum amount of  
8 off-street parking that may be provided as accessory shall be no more than 50% greater than  
9 that indicated in Table 151.1. Variances from accessory off-street parking limits, as described  
10 in this Section, may not be granted. Where off-street parking is provided that exceeds the  
11 quantities specified in Table 151.1 or as explicitly permitted by this Section, such parking shall  
12 be classified not as accessory parking but as either a principally permitted or conditional use,  
13 depending upon the use provisions applicable to the district in which the parking is located. In  
14 considering an application for a conditional use for any such parking due to the amount being  
15 provided, the Planning Commission shall consider the criteria set forth in Section 157 and  
16 157.1 of this Code.

17 (c) Definition. Where a number or ratio of spaces are described in Table 151.1, such  
18 number or ratio shall refer to the total number of parked cars accommodated in the project  
19 proposal, regardless of the arrangement of parking, and shall include all spaces accessed by  
20 mechanical means, valet, or non-independently accessible means. For the purposes of  
21 determining the total number of cars parked, the area of an individual parking space, except  
22 for those spaces specifically designated for persons with physical disabilities, may not exceed  
23 185 square feet, including spaces in tandem, or in parking lifts, elevators or other means of  
24 vertical stacking. Any off-street surface area accessible to motor vehicles with a width of 7.5  
25 feet and a length of 17 feet (127.5 square feet) not otherwise designated on plans as a

1 parking space may be considered and counted as an off-street parking space at the discretion  
 2 of the Zoning Administrator if the Zoning Administrator, in considering the possibility for  
 3 tandem and valet arrangements, determines that such area is likely to be used for parking a  
 4 vehicle on a regular basis and that such area is not necessary for the exclusive purpose of  
 5 vehicular circulation to the parking or loading facilities otherwise permitted.

6 (d) Car-Share Parking. Any off-street parking space dedicated for use as a car-share  
 7 parking space, as defined in Section 166, shall not be credited toward the total parking  
 8 permitted as accessory in this Section.

9 Table 151.1

10 OFF-STREET PARKING PERMITTED AS ACCESSORY

Use or Activity	Number of Off-Street Car Parking Spaces or Space Devoted to Off-Street Car Parking Permitted
Dwelling units in RH-DTR Districts	P up to one car for each two dwelling units; up to one car for each dwelling unit, subject to the criteria and procedures of Section 151.1(e); NP above one space per unit.
Dwelling units in C-3 and SB-DTR, Districts, except as specified below	P up to one car for each four dwelling units; up to 0.75 cars for each dwelling unit, subject to the criteria and procedures of Section 151.1(f); NP above 0.75 cars for each dwelling unit.
Dwelling units in C-3 and SB-DTR, Districts with at least 2 bedrooms and at least 1,000	P up to one car for each four dwelling units; up to one car for each dwelling unit, subject to

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square feet of occupied floor area	the criteria and procedures of Section 151.1(f); NP above one car for each dwelling unit.
Dwelling units in C-3 Districts and in the Van Ness and Market Downtown Residential Special Use District	P up to one car for each four dwelling units; C up to .5 cars for each dwelling unit, subject to the criteria and procedures of Section 151.1(f); NP above two cars for each four dwelling units.
Dwelling units and SRO units in SLI, SSO, MUG, MUR, MUO, SPD Districts, except as specified below	P up to one car for each four dwelling units; up to 0.75 cars for each dwelling unit, subject to the criteria and conditions and procedures of Section 151.1(g); NP above 0.75 cars for each dwelling unit.
Dwelling units in SLI, <u>SALI</u> , SSO, MUG, <u>WMUG</u> , MUR, MUO, <u>WMUO</u> , SPD Districts with at least 2 bedrooms and at least 1,000 square feet of occupied floor area	P up to one car for each four dwelling units; up to one car for each dwelling unit, subject to the criteria and conditions and procedures of Section 151.1(g); NP above one car for each dwelling unit.
Dwelling units and SRO units in NCT, C-M, RSD, and SLR Districts and the Upper Market Street NCD, except as specified below	P up to one car for each two dwelling units; C up to 0.75 cars for each dwelling unit, subject to the criteria and procedures of Section 151.1(g); NP above 0.75 cars for each dwelling unit.

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Dwelling units in the Ocean Avenue NCT Districts	P up to one car for each unit; NP above.
Dwelling units and SRO units in RTO and RED <i>and RED-MX</i> Districts, except as specified below	P up to three cars for each four dwelling units; C up to one car for each dwelling unit, subject to the criteria and procedures of Section 151.1(g); NP above one car for each dwelling unit.
Dwelling units and SRO units in UMU Districts, except as specified below	P up to 0.75 cars for each dwelling unit and subject to the conditions of 151.1(g); NP above.
Dwelling units in UMU District with at least 2 bedrooms and at least 1,000 square feet of occupied floor area	P up to 1 car for each dwelling unit and subject to the conditions of 151.1(g); NP above.
Group housing of any kind	P up to one car for each three bedrooms or for each six beds, whichever results in the greater requirement, plus one for the manager's dwelling unit if any. NP above.
All non-residential uses in C-3 and C-M Districts	Not to exceed 7% of gross floor area of such uses. See requirements in Section 204.5.
Hotel, inn, or hostel	P up to one for each 16 guest bedrooms, plus one for the manager's dwelling unit, if any.
Motel	P up to one for each guest unit, plus one for

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	the manager's dwelling unit, if any.
Hospital or other inpatient medical institution	P up to one for each 8 guest beds excluding bassinets or for each 2,400 square feet of gross floor area devoted to sleeping rooms, whichever results in the lesser requirement.
Residential care facility	P up to one for each 10 residents.
Child care facility	P up to one for each 25 children to be accommodated at any one time.
Elementary school	P up to one for each six classrooms.
Secondary school	P up to one for each two classrooms.
Post-secondary educational institution	P up to one for each two classrooms.
Church or other religious institutions	P up to one for each 20 seats.
Theater or auditorium	P up to one for each eight seats up to 1,000 seats, plus one for each 10 seats in excess of 1,000.
Stadium or sports arena	P up to one for each 15 seats.
Medical or dental office or outpatient clinic	P up to one for each 300 square feet of occupied floor area.
All office uses in C-3, DTR, C-M, SSO, SPD, MUG, <u>WMUG</u> , MUR, <u>WMUO</u> , and MUO Districts	P up to seven percent of the gross floor area of such uses and subject to the pricing conditions of Section 155(g); NP above.

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Office uses in M-1, UMU, <u>SALI</u> , PDR-1-D, and PDR-1-G Districts, except as specified below	P up to one car per 1,000 square feet of gross floor area and subject to the pricing conditions of Section 155(g); NP above.
Office uses in M-1, UMU, <u>SALI</u> , PDR-1-D, and PDR-1-G Districts where the entire parcel is greater than ¼-mile from Market, Mission, 3rd and 4th Streets	P up to one car per 500 square feet of gross floor area; NP above.
Non-residential uses in RTO and RM districts permitted under Section 231.	None permitted.
All non-residential uses in NCT, RSD, and SLR districts and the Upper Market NCD, except for retail grocery stores with over 20,000 gross square feet as specified below	For uses in Table 151 that are described as a ratio of occupied floor area, P up to 1 space per 1,500 square feet of occupied floor area or the quantity specified in Table 151, whichever is less, and subject to the conditions and criteria of Section 151.1(g) NP above.
Retail grocery store uses in NCT, RSD, and SLR districts and the Upper Market Street NCD with over 20,000 square feet of occupied floor area	P up 1 space per 500 square feet of occupied floor area, and subject to the conditions and criteria of Section 151.1(g) C up to 1 space per 250 square feet of occupied floor area for that area in excess of 20,000 square feet, subject to the conditions and criteria of Section 151.1(g). NP above.

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<p>All retail in the Eastern Neighborhoods Mixed Use Districts where any portion of the parcel is less than 1/4 mile from Market, Mission, 3rd and 4th Streets, except grocery stores of over 20,000 gross square feet.</p>	<p>P up to one for each 1,500 square feet of gross floor area.</p>
<p>With the exception of Eastern Neighborhoods Mixed Use Districts as set forth above, all other restaurant, bar, nightclub, pool hall, dance hall, bowling alley or other similar enterprise</p>	<p>P up to one for each 200 square feet of occupied floor area. In South of Market Mixed Use Districts, participation in transportation programs may be required per Section 151.1(i).</p>
<p>With the exception of Eastern Neighborhoods Mixed Use Districts as set forth above, all other retail space devoted to the handling of bulky merchandise such as motor vehicles, machinery or furniture</p>	<p>P up to one for each 1,000 square feet of occupied floor area.</p>
<p>With the exception of Eastern Neighborhoods Mixed Use Districts as set forth above, all other greenhouse or plant nursery</p>	<p>P up to one for each 4,000 square feet of occupied floor area.</p>
<p>With the exception of Eastern Neighborhoods Mixed Use Districts as set forth above, all other retail space</p>	<p>P up to one for each 500 square feet of gross floor area up to 20,000 square feet, plus one for each 250 square feet of gross floor area in excess of 20,000.</p>
<p>Service, repair or wholesale sales space,</p>	<p>P up to one for each 1,000 square feet of</p>

1 including personal, home or business service 2 space in South of Market Districts	occupied floor area.
3 Mortuary	P up to five.
4 Storage or warehouse space, and space 5 devoted to any use first permitted in an M-2 6 District	P up to one for each 2,000 square feet of 7 occupied floor area.
8 Arts activities and spaces except theater or 9 auditorium spaces	P up to one for each 2,000 square feet of 10 occupied floor area. In South of Market Mixed 11 Use Districts, participation in transportation 12 programs may be required per Section 13 151.1(i).
14 Laboratory	P up to one for each 1,500 square feet of 15 occupied floor area.
16 Small Enterprise Workspace Building	P up to one for each 1,500 square feet of 17 occupied floor area.
18 Integrated PDR	P up to one for each 1,500 square feet of 19 occupied floor area.
20 Other manufacturing and industrial uses	P up to one for each 1,500 square feet of 21 occupied floor area.

22  
23 (e) In DTR districts, any request for accessory parking in excess of what is permitted by  
24 right shall be reviewed on a case-by-case basis by the Planning Commission, subject to the  
25 procedures set forth in Section 309.1 of this Code.



1 (1) In granting approval for parking accessory to residential uses above that  
2 permitted by right in Table 151.1, the Commission shall make the following affirmative  
3 findings:

4 (A) All parking in excess of that allowed by right is stored and accessed by  
5 mechanical means, valet, or non-independently accessible method that maximizes space  
6 efficiency and discourages use of vehicles for commuting or daily errands;

7 (B) Vehicle movement on or around the project site associated with the excess  
8 accessory parking does not unduly impact pedestrian spaces or movement, transit service,  
9 bicycle movement, or the overall traffic movement in the district;

10 (C) Accommodating excess accessory parking does not degrade the overall urban  
11 design quality of the project proposal;

12 (D) All parking in the project is set back from facades facing streets and alleys and  
13 lined with active uses, and that the project sponsor is not requesting any exceptions or  
14 variances requiring such treatments elsewhere in this Code; and

15 (E) Excess accessory parking does not diminish the quality and viability of existing  
16 or planned streetscape enhancements.

17 (2) Additionally, in granting approval for such accessory parking above that permitted  
18 by right, the Commission may require the property owner to pay the annual membership fee  
19 to a certified car-share organization, as defined in Section 166(b)(2), for any resident of the  
20 project who so requests and who otherwise qualifies for such membership, provided that such  
21 requirement shall be limited to one membership per dwelling unit, when the following findings  
22 are made by the Commission:

23 (A) that the project encourages additional private-automobile use, thereby  
24 creating localized transportation impacts for the neighborhood; and  
25

1 (B) that these localized transportation impacts may be lessened for the  
2 neighborhood by the provision of car-share memberships to residents.

3 (f) In C-3 Districts, any request for accessory parking in excess of what is permitted by  
4 right in Table 151.1, shall be reviewed on a case-by-case basis by the Planning Commission,  
5 subject to the procedures set forth in Section 309 of this Code.

6 (1) In granting approval for parking accessory to residential uses above that  
7 permitted by right in Table 151.1, the Planning Commission shall make the following  
8 affirmative findings:

9 (A) For projects with 50 units or more, all residential accessory parking in excess  
10 of 0.5 parking spaces for each dwelling unit shall be stored and accessed by mechanical  
11 stackers or lifts, valet, or other space-efficient means that allows more space above-ground  
12 for housing, maximizes space efficiency and discourages use of vehicles for commuting or  
13 daily errands. The Planning Commission may authorize the request for additional parking  
14 notwithstanding that the project sponsor cannot fully satisfy this requirement provided that the  
15 project sponsor demonstrates hardship or practical infeasibility (such as for retrofit of existing  
16 buildings) in the use of space-efficient parking given the configuration of the parking floors  
17 within the building and the number of independently accessible spaces above 0.5 spaces per  
18 unit is de minimus and subsequent valet operation or other form of parking space  
19 management could not significantly increase the capacity of the parking space above the  
20 maximums in Table 151.1;

21 (B) For any project with residential accessory parking in excess of 0.375 parking  
22 spaces for each dwelling unit, the project complies with the housing requirements of Sections  
23 415 through 415.9 of this Code except as follows: the inclusionary housing requirements that  
24 apply to projects seeking conditional use authorization as designated in Section 415.3(a)(2)  
25 shall apply to the project;

1 (C) The findings of Section 151.1(e)(1)(B), (e)(1)(C) and (e)(1)(E) 1 are satisfied;

2 (D) All parking meets the active use and architectural screening requirements in  
3 Sections 155(s)(1)(B) and 155(s)(1)(C) and the project sponsor is not requesting any  
4 exceptions or variances requiring such treatments elsewhere in this Code.

5 (2) Additionally, in granting approval for such accessory parking above that permitted  
6 by right, the Commission may require the property owner to pay the annual membership fee  
7 to a certified car-share organization, as defined in Section 166(b)(2), for any resident of the  
8 project who so requests and who otherwise qualifies for such membership, provided that such  
9 requirement shall be limited to one membership per dwelling unit, when the findings set forth  
10 in Section 151.1(e)(2) are made.

11 (g) In RTO, NCT, C-M, ~~and~~ South of Market Mixed Use Districts, ~~and the~~ Upper Market  
12 Street NCD, RED, RED-MX, and WMUG, any request for accessory parking in excess of what  
13 is principally permitted in Table 151.1, but which does not exceed the maximum amount  
14 stated in Table 151.1, shall be reviewed by the Planning Commission as a Conditional Use. In  
15 MUG, MUR, MUO and SPD Districts, any project subject to Section 329 and that requests  
16 residential accessory parking in excess of that which is principally permitted in Table 151.1,  
17 but which does not exceed the maximum amount stated in Table 151.1, shall be reviewed by  
18 the Planning Commission according to the procedures of Section 329. Projects that are not  
19 subject to Section 329 shall be reviewed under the procedures detailed in subsection (h)  
20 below.

21 (1) In granting such Conditional Use or exception per 329 for parking in excess of  
22 that principally permitted in Table 151.1, the Planning Commission shall make the following  
23 affirmative findings according to the uses to which the proposed parking is accessory:

24 (A) Parking for All Uses.

1 (i) Vehicle movement on or around the project does not unduly impact  
2 pedestrian spaces or movement, transit service, bicycle movement, or the overall traffic  
3 movement in the district;

4 (ii) Accommodating excess accessory parking does not degrade the overall  
5 urban design quality of the project proposal;

6 (iii) All above-grade parking is architecturally screened and lined with active  
7 uses according to the standards of Section 145.1, and the project sponsor is not requesting  
8 any exceptions or variances requiring such treatments elsewhere in this Code; and

9 (iv) Excess accessory parking does not diminish the quality and viability of  
10 existing or planned streetscape enhancements.

11 (B) Parking for Residential Uses.

12 (i) For projects with 50 dwelling units or more, all residential accessory parking  
13 in excess of 0.5 spaces per unit shall be stored and accessed by mechanical stackers or lifts,  
14 valet, or other space-efficient means that reduces space used for parking and maneuvering,  
15 and maximizes other uses.

16 (C) Parking for Non-Residential Uses.

17 (i) Projects that provide more than 10 spaces for non-residential uses must  
18 dedicate 5% of these spaces, rounded down to the nearest whole number, to short-term,  
19 transient use by vehicles from certified car sharing organizations per Section 166, vanpool,  
20 rideshare, taxis, or other co-operative auto programs. These spaces shall not be used for  
21 long-term storage nor satisfy the requirement of Section 166, but rather to park them during  
22 trips to commercial uses. These spaces may be used by shuttle or delivery vehicles used to  
23 satisfy subsection (B).

24 (ii) Retail uses larger than 20,000 square feet, including but not limited to  
25 grocery, hardware, furniture, consumer electronics, greenhouse or nursery, and appliance

1 stores, which sell merchandise that is bulky or difficult to carry by hand or by public transit,  
2 shall offer, at minimal or no charge to its customers, door-to-door delivery service and/or  
3 shuttle service. This is encouraged, but not required, for retail uses less than 20,000 square  
4 feet.

5 (iii) Parking shall be limited to short-term use only.

6 (iv) Parking shall be available to the general public at times when such parking  
7 is not needed to serve the use or uses to which it is accessory.

8 (2) Additionally, in granting approval for such accessory parking above that permitted  
9 by right, the Commission may require the property owner to pay the annual membership fee  
10 to a certified car-share organization, as defined in Section 166(b)(2), for any resident of the  
11 project who so requests and who otherwise qualifies for such membership, provided that such  
12 requirement shall be limited to one membership per dwelling unit, when the findings set forth  
13 in Section 151.1(e)(2) are made.

14 (h) Small residential projects in MUG, WMUG, MUR, MUO, WMUO, RED, RED-MX and  
15 SPD Districts. Any project that is not subject to the requirements of Section 329 and that  
16 requests residential accessory parking in excess of what is principally permitted in Table  
17 151.1 shall be reviewed by the Zoning Administrator subject to Section 307(h). The Zoning  
18 Administrator may grant parking in excess of what is principally permitted in Table 151.1, not  
19 to exceed the maximum amount stated in Table 151.1, only if the Zoning Administrator  
20 determines that all of the following conditions are met:

21 (A) all the conditions of subsection (g)(1)(A) above have been met.

22 (B) parking is not accessed from any protected Transit or Pedestrian Street  
23 described in Section 155(r), and

24 (C) where more than ten spaces are proposed at least half of them, rounded down to  
25 the nearest whole number, are stored and accessed by mechanical stackers or lifts, valet, or

1 other space-efficient means that reduces space used for parking and maneuvering, and  
2 maximizes other uses.

3 (i) Transportation programs in South of Market Mixed Use Districts. Within the South of  
4 Market Mixed Use Districts, upon approval by the Zoning Administrator pursuant to Section  
5 307(g), bars, restaurants, arts, nighttime entertainment and pool halls with an area greater  
6 than 10,000 gross square feet may be required to participate in a Transportation Management  
7 Program approved by the Zoning Administrator which may include, but need not be limited to,  
8 participation in a coordinated off-site satellite parking facilities program, shuttle service,  
9 bicycle parking, projects and programs to improve parking management, specified signage,  
10 and designated advertising procedures.

11  
12 SEC. 155. GENERAL STANDARDS AS TO LOCATION AND ARRANGEMENT OF OFF-  
13 STREET PARKING, FREIGHT LOADING AND SERVICE VEHICLE FACILITIES.

14 Required off-street parking and freight loading facilities shall meet the following standards as  
15 to location and arrangement. In addition, facilities which are not required but are actually  
16 provided shall meet the following standards unless such standards are stated to be applicable  
17 solely to required facilities. In application of the standards of this Code for off-street parking  
18 and loading, reference may be made to provisions of other portions of the Municipal Code  
19 concerning off-street parking and loading facilities, and to standards of the Bureau of  
20 Engineering of the Department of Public Works. Final authority for the application of such  
21 standards under this Code, and for adoption of regulations and interpretations in furtherance  
22 of the stated provisions of this Code shall, however, rest with the Planning Department.

23 (a) Every required off-street parking or loading space shall be located on the same lot as  
24 the use served by it, except as provided in Sections 159, 160 and 161 of this Code.

1 (b) Every required off-street parking or loading space shall be located in its entirety  
2 within the lot lines of private property.

3 (c) Every off-street parking or loading space shall have adequate means of ingress from  
4 and egress to a street or alley. Access to off-street loading spaces shall be from alleys in  
5 preference to streets, except where otherwise specified in this code.

6 Adequate reservoir space shall be provided on private property for entrance of vehicles  
7 to off-street parking and loading spaces, except with respect to spaces independently  
8 accessible directly from the street.

9 (1) For residential uses, independently accessible off-street parking spaces shall  
10 include spaces accessed by automated garages, or car elevators, lifts or other space-efficient  
11 parking as defined in Section 154(a)(4) and Section 154(a)(5) provided that no more than one  
12 car needs to be moved under its own power to access any one space.

13 (d) All off-street freight loading and service vehicle spaces in the C-3, DTR,  
14 MUO, WMUO, MUG, WMUG, MUR, and South of Market Mixed Use Districts shall be  
15 completely enclosed and access from a public street or alley shall be provided by means of a  
16 private service driveway, which is totally contained within the structure. Such a private service  
17 driveway shall include adequate space to maneuver trucks and service vehicles into and out  
18 of all provided spaces, and shall be designed so as to facilitate access to the subject property  
19 while minimizing interference with street and sidewalk circulation. Any such private service  
20 driveway shall be of adequate width to accommodate drive-in movement from the adjacent  
21 curb or inside traffic lane but shall in no case exceed 30 feet. Notwithstanding the foregoing, if  
22 an adjacent street or alley is determined by the Zoning Administrator to be primarily used for  
23 building service, up to four off-street freight or loading spaces may be allowed to be  
24 individually accessible directly from such a street or alley, pursuant to the provisions of  
25 Section 309 in a C-3 District, the provisions of Section 307(g) in a South of Market Mixed Use

1 District, the provisions of Section 309.1 in a DTR District, the provisions of Section 329 for  
2 projects subject to Section 329 in a MUO, WMUO, MUG, WMUG or MUR District, or by  
3 administrative decision of the Zoning Administrator for projects that are not subject to Section  
4 329 in a MUO, WMUO, MUG, WMUG, or MUR District.

5 (e) In a C-3 or South of Market District, where site constraints would make a  
6 consolidated freight loading and service vehicle facility impractical, service vehicle spaces  
7 required by Sections 153(a)(6) and 154(b)(3) of this Code may be located in a parking garage  
8 for the structure or other location separate from freight loading spaces.

9 (f) In a C-3, Eastern Neighborhood Mixed Use District or South of Market Mixed Use  
10 District, whenever off-street freight loading spaces are provided, freight elevators immediately  
11 accessible from the loading dock shall be provided to all floors which contain uses that are  
12 included in the calculation of required number of freight loading spaces. If freight loading  
13 facilities are subterranean, the location and operation of freight elevators shall be designed,  
14 where feasible, to discourage use of freight elevators for deliveries from the ground floor.  
15 Directories of building tenants shall be provided at all freight elevators. A raised loading dock  
16 or receiving area shall be provided with sufficient dimensions to provide for short-term storage  
17 of goods. All required freight loading and service vehicle spaces shall be made available only  
18 to those vehicles at all times, and provision shall be made to minimize interference between  
19 freight loading and service operations, and garbage dumpster operations and storage.

20 (g) In order to discourage long-term commuter parking, any off-street parking spaces  
21 provided for a structure or use other than residential or hotel in a C-3, C-M, DTR, SLR, SSO,  
22 SPD, MUG, WMUG, MUR, WMUO, or MUO District, whether classified as an accessory or  
23 conditional use, which are otherwise available for use for long-term parking by downtown  
24 workers shall maintain a rate or fee structure for their use such that the rate charge for four  
25 hours of parking duration is no more than four times the rate charge for the first hour, and the



1 rate charge for eight or more hours of parking duration is no less than 10 times the rate  
2 charge for the first hour. Additionally, no discounted parking rate shall be permitted for weekly,  
3 monthly or similar time-specific periods.

4 (h) The internal layout of off-street parking and loading spaces, driveways, aisles and  
5 maneuvering areas shall be according to acceptable standards, and all spaces shall be clearly  
6 marked.

7 (i) For each 25 off-street parking spaces provided, one such space shall be designed  
8 and designated for persons with disabilities.

9 (j) Except as provided by Section 155.1 and Section 155.2 below, for each 20 off-street  
10 parking spaces provided, one space shall be provided for parking of a bicycle. The most  
11 restrictive provisions of 155(j) or 155.4 shall prevail.

12 (k) Off-street parking and loading facilities shall be arranged, designed and operated so  
13 as to prevent encroachments upon sidewalk areas, bicycle lanes, transit-only lanes and  
14 adjacent properties, in the maneuvering, standing, queuing and storage of vehicles, by means  
15 of the layout and operation of facilities and by use of bumper or wheel guards or such other  
16 devices as are necessary.

17 (l) Driveways crossing sidewalks shall be no wider than necessary for ingress and  
18 egress, and shall be arranged, to the extent practical, so as to minimize the width and  
19 frequency of curb cuts, to maximize the number and size of on-street parking spaces available  
20 to the public, and to minimize conflicts with pedestrian and transit movements.

21 (m) Every off-street parking or loading facility shall be suitably graded, surfaced, drained  
22 and maintained.

23 (n) Off-street parking and loading spaces shall not occupy any required open space,  
24 except as specified in Section 136 of this Code.

25

1 (o) No area credited as all or part of a required off-street parking space shall also be  
2 credited as all or part of a required off-street loading space, or used as all or part of an  
3 unrequired off-street loading space. No area credited as all or part of a required off-street  
4 loading space shall also be credited as all or part of a required off-street parking space, or  
5 used as all or part of an unrequired off-street parking space.

6 (p) Any off-street freight loading area located within 50 feet of any R District shall be  
7 completely enclosed within a building if such freight loading area is used in regular night  
8 operation.

9 (q) Rooftop parking shall be screened as provided in Section 141(d) of this Code.

10 (r) Protected Pedestrian-, Cycling-, and Transit-Oriented Street Frontages. In order to  
11 preserve the pedestrian character of certain downtown and neighborhood commercial districts  
12 and to minimize delays to transit service, garage entries, driveways or other vehicular access  
13 to off-street parking or loading (except for the creation of new publicly-accessible streets and  
14 alleys) shall be regulated on development lots as follows on the following street frontages:

15 (1) Folsom Street, from Essex Street to the Embarcadero, not permitted except as  
16 set forth in Section 827.

17 (2) Not permitted:

18 (A) The entire portion of Market Street from The Embarcadero to Castro Street,

19 (B) Hayes Street from Franklin Street to Laguna Street, Church Street in the NCT-  
20 3 and Upper Market NCT Districts,

21 (C) Van Ness Avenue from Hayes Street to Mission Street,

22 (D) Mission Street from 10th Street to Division Street,

23 (E) Octavia Street from Hayes Street to Fell Street,

24 (F) Embarcadero in the DTR Districts,  
25

- 1 (G) 22nd Street between 3rd Street and Minnesota Streets within the NCT-2  
2 District,
- 3 (H) Valencia Street between 15th and 23rd Streets in the Valencia Street NCT  
4 District,
- 5 (I) Mission Street for the entirety of the Mission Street NCT District,  
6 (J) 24th Street for the entirety of the 24th Street-Mission NCT,  
7 (K) 16th Street between Guerrero and Capp Streets within the Valencia Street  
8 NCT and Mission Street NCT Districts,
- 9 (L) 16th Street between Kansas and Mississippi Streets in the UMU and PDR-1-D  
10 Districts,
- 11 (M) 6th Street for its entirety within the SoMa NCT District,  
12 (N) 3rd Street, in the UMU districts for 100 feet north and south of Mariposa and  
13 100 feet north and south of 20th Streets, and 4th Street between Bryant and Townsend in the  
14 SLI and MUO District,
- 15 (O) Ocean Avenue within the Ocean Avenue NCT District,  
16 (P) Geneva Avenue from I-280 to San Jose Avenue within the NCT-2 District,  
17 (Q) Columbus Avenue between Washington and North Point Streets.,  
18 (R) Broadway from the Embarcadero on the east to Polk Street on the west, and  
19 (S) All alleyways in the Chinatown Mixed Use Districts.
- 20 (3) Not permitted except with a Conditional Use authorization:
- 21 (A) The entire portion of California Street, The Embarcadero, Folsom Street,  
22 Geary Street, Mission Street, Powell Street and Stockton Street in the C-3 Districts,  
23 (B) Grant Avenue from Market Street to Bush Street,  
24 (C) Montgomery Street from Market Street to Columbus Avenue,  
25 (D) Haight Street from Market Street to Webster Street,

- 1 (E) Church Street and 16th Street in the RTO District,
- 2 (F) Duboce Street from Noe Street to Market Street,
- 3 (G) Duboce Street from Noe Street to Market Street, and
- 4 (H) Octavia Street from Fell Street to Market Street.

5 (4) In C-3, NCT and RTO Districts, no curb cuts accessing off-street parking or  
6 loading shall be created or utilized on street frontages identified along any Transit Preferential,  
7 Citywide Pedestrian Network or Neighborhood Commercial Streets as designated in the  
8 Transportation Element of the General Plan or official City bicycle routes or bicycle lanes,  
9 where an alternative frontage is available. For bicycle lanes, the prohibition on curb cuts  
10 applies to the side or sides of the street where bicycle lanes are located; for one-way bicycle  
11 routes or lanes, the prohibition on curb cuts shall apply to the right side of the street only,  
12 unless the officially adopted alignment is along the left side of the street. Where an alternative  
13 frontage is not available, parking or loading access along any Transit Preferential, Citywide  
14 Pedestrian Network or Neighborhood Commercial Streets as designated in the Transportation  
15 Element of the General Plan or official City bicycle lane or bicycle route, may be allowed on  
16 streets not listed in subsection (2) above as an exception in the manner provided in Section  
17 309 for C-3 Districts and in Section 303 for NCT and RTO Districts in cases where it can be  
18 clearly demonstrated that the final design of the parking access minimizes negative impacts to  
19 transit movement and to the safety of pedestrians and bicyclists to the fullest extent feasible.

20 (5) For corner lots in the SALI District, no new curb cut shall be permitted on an alley, as  
21 defined in the Western SoMa Community Plan, that contains an RED or RED-MX District.

22 (~~5-6~~) A "development lot" shall mean any lot containing a proposal for new construction,  
23 building alterations which would increase the gross square footage of a structure by 20  
24 percent or more, or change of use of more than 50 percent of the gross floor area of a  
25

1 structure containing parking. Pre-existing access to off-street parking and loading on  
2 development lots that violates the restrictions of this Section 155(r) may not be maintained.

3 (s) Off-Street Parking and Loading in C-3 Districts. In C-3 Districts, restrictions on the  
4 design and location of off-street parking and loading and access to off-street parking and  
5 loading are necessary to reduce their negative impacts on neighborhood quality and the  
6 pedestrian environment.

7 (1) Ground floor or below-grade parking and street frontages with active uses.

8 (A) All off-street parking in C-3 Districts (both as accessory and principal uses)  
9 shall be built no higher than the ground-level (up to a maximum ceiling height of 20 feet from  
10 grade) unless an exception to this requirement is granted in accordance with Section 309 and  
11 subsection 155(s)(2) or a conditional use is authorized in accordance with Section 303 and  
12 subsections 155(s)(2) or 155(s)(3) below.

13 (B) Parking located at or above ground level shall conform to the street frontage  
14 requirements of Section 145.1(c), and shall be lined with active uses, as defined by Section  
15 145.4 (e), to a depth of at least 25 feet along all ground-level street frontages, except for  
16 space allowed for parking and loading access, building egress, and access to mechanical  
17 systems.

18 (i) Where a non-accessory off-street parking garage permitted under Section  
19 223(m) - (p) is located in the Mid-Market area described below in subsection 155(s)(3)(B) and  
20 fronts more than one street of less than 45 feet in width, a conditional use may be granted in  
21 accordance with Section 303 that allows an exception to this requirement for one of the street  
22 frontages. The above provision authorizing such conditional use shall sunset eight years from  
23 the effective date of the ordinance enacting this subsection 155(s)(1)(A)(i).

24 (C) Parking allowed above the ground-level in accordance with an exception  
25 under Section 309 or a conditional use in accordance with Section 303 as authorized by

1 subsections 155(s)(2) or 155(s)(3) shall be entirely screened from public rights-of-way in a  
2 manner that accentuates ground floor retail and other uses, minimizes louvers and other  
3 mechanical features and is in keeping with the overall massing and architectural vocabulary of  
4 the building's lower floors. So as not to preclude conversion of parking space to other uses in  
5 the future, parking allowed above the ground-level shall not be sloped and shall have a  
6 minimum clear ceiling height of nine feet.

7 (2) Residential accessory parking. For residential accessory off-street parking in C-3  
8 Districts, two additional floors of above-grade parking beyond the at-grade parking allowed by  
9 Section 155(s)(1), to a maximum ceiling height of 35 feet from grade, may be permitted  
10 subject to the provisions of subsections 155(s)(2)(A) or 155(s)(2)(B) below:

11 (A) In a manner provided in Section 309 of this Code provided it can be clearly  
12 demonstrated that transportation easements or contaminated soil conditions make it  
13 practically infeasible to build parking below-ground. The determination of practical infeasibility  
14 shall be made based on an independent, third-party geotechnical assessment conducted by a  
15 licensed professional and funded by the project sponsor. The Planning Director shall make a  
16 determination as to the objectivity of the study prior to the Planning Commission's  
17 consideration of the exception application under Section 309.

18 (B) As a conditional use in accordance with the criteria set forth in Section 303 of  
19 this Code, provided it can be clearly demonstrated that constructing the parking above-grade  
20 instead of underground would allow the proposed housing to meet affordability levels for  
21 which actual production has not met ABAG production targets as identified in the Housing  
22 Element of the General Plan.

23 (3) Non-accessory off-street parking garages. For non-accessory off-street parking  
24 garages in C-3 Districts permitted under Section 223(m) - (p), two additional floors of above-  
25 grade parking beyond the at-grade parking allowed by Section 155(s)(1), to a maximum

1 ceiling height of 35 feet from grade, may be permitted subject to the provisions of subsections  
2 155(s)(3)(A) or 155(s)(3)(B) below:

3 (A) As a conditional use in accordance with the criteria set forth in Section 303,  
4 provided it can be clearly demonstrated that transportation easements or contaminated soil  
5 conditions make it practically infeasible to build parking below-ground. The determination of  
6 practical infeasibility shall be made based on an independent, third-party geotechnical  
7 assessment conducted by a licensed professional and funded by the project sponsor. The  
8 Planning Director shall make a determination as to the objectivity of the study prior to the  
9 Planning Commission's consideration of the conditional use permit application.

10 (B) As a conditional use in accordance with the criteria set forth in Section 303,  
11 provided the site contains an existing non-accessory off-street surface parking lot with valid  
12 permits for such parking as of the effective date of the ordinance enacting this subsection and  
13 the site is located in the following Mid-Market area: Assessor's Block 0341, Lots 4 through 9  
14 and 13; Block 0342, Lots 1, 2, 4, 7, 11, 12 and 13; Block 0350, Lots 1 through 4; Block 0355,  
15 Lots 3 through 12 and 15; Block 3507, Lot 39; Block 3508, Lots 1, 13, 18, 19, 22, 24 through  
16 27, 39 and 40; Block 3509, Lots 18, 19, 36, 37 and 40 through 43; Block 3510, Lot 1; Block  
17 3701, Lots 5, 8, 10, 11, 12, 20 through 24, 53, 59, 60, 63 and 64; Block 3702, Lots 1, 2, 37,  
18 38, 39, 44, 44A, 45, 46, 47, 48, 48A, 51, 52, 53, 54, 56; Block 3703, Lots 1, 2, 3, 7, 10, 11, 12,  
19 25, 26, 33, 40, 41, 50, 53, 56 through 68, 70, 74, 75, 76, 78 through 81, 84, 85 and 86; Block  
20 3704, Lots 1, 3, 6, 9 through 13, 15, 17 through 22, 24, 35, 38, 39, 42, 43, 45, 62 and 67  
21 through 79, Block 3725, Lot 78, 82, 86 through 91 and 93; Block 3727, Lot 1, 91, 94, 96, 97,  
22 109, 117, 118, 120, 134, 168 and 173; Block 3728, Lot 1, 72, 75, 76, 81, 82, 83, 89, 103 and  
23 105; and Block 0351, Lots 1, 22, 32, 33, 37, 39, 41, 43, 46, 47, 49, 50 and 51 This subsection  
24 155(s)(3)(B) shall sunset on July 22, 2014.

1 (4) Parking lots permitted in C-3 Districts as temporary uses according to Section  
2 156(h) and expansions of existing above-grade publicly accessible parking facilities are not  
3 subject to the requirements of subsections 155(s)(1) - (3).

4 (5) Parking and Loading Access.

5 (A) Width of openings. Any single development is limited to a total of two facade  
6 openings of no more than 11 feet wide each or one opening of no more than 22 feet wide for  
7 access to off-street parking and one facade opening of no more than 15 feet wide for access  
8 to off-street loading. Shared openings for parking and loading are encouraged. The maximum  
9 permitted width of a shared parking and loading garage opening is 27 feet.

10 (B) Porte cocheres to accommodate passenger loading and unloading are not  
11 permitted except as part of a hotel, inn or hostel use. For the purpose of this Section, a "porte  
12 cochere" is defined as an off-street driveway, either covered or uncovered, for the purpose of  
13 passenger loading or unloading, situated between the ground floor facade of the building and  
14 the sidewalk.

15  
16 SEC. 201. CLASSES OF USE DISTRICTS.

17 In order to carry out the purposes and provisions of this Code, the City is hereby divided into  
18 the following classes of use districts:

Public Use Districts (P)	
Residential Districts	
RH-1(D)	Residential, House Districts, One-Family (Detached Dwellings)



1	RH-1	Residential, House Districts, One-Family
2	RH-1(S)	Residential, House Districts, One-Family with
3		Minor Second Unit
4	RH-2	Residential, House Districts, Two-Family
5	RH-3	Residential, House Districts, Three-Family
6	RM-1	Residential, Mixed Districts, Low Density
7	RM-2	Residential, Mixed Districts, Moderate Density
8	RM-3	Residential, Mixed Districts, Medium Density
9	RM-4	Residential, Mixed Districts, High Density
10	Residential-Commercial Districts	
11	RC-1	Residential-Commercial Combined Districts, Low
12		Density
13	RC-2	Residential-Commercial Combined Districts,
14		Moderate Density
15	RC-3	Residential-Commercial Combined Districts,
16		Medium Density
17	RC-4	Residential-Commercial Combined Districts, High
18		Density
19	Residential Transit-Oriented Neighborhood Districts	

1	RTO	Residential, Transit-Oriented Neighborhood
2		Districts
3	RTO-M	Residential Transit-Oriented - Mission
4		Neighborhood Districts
5		

6	Neighborhood Commercial Districts	
7	(Also see <a href="#">Article 7</a> )	
8	General Area Districts	
9		
10		
11	NC-1	Neighborhood Commercial Cluster District
12	NC-2	Small-Scale Neighborhood Commercial District
13	NC-3	Moderate-Scale Neighborhood Commercial
14		District
15		
16	NC-S	Neighborhood Commercial Shopping Center
17		District
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19	Individual Area Districts	
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21	Broadway Neighborhood Commercial District	
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23	Castro Street Neighborhood Commercial District	
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25	Inner Clement Street Neighborhood Commercial District	

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Outer Clement Street Neighborhood Commercial District
Upper Fillmore Street Neighborhood Commercial District
Haight Street Neighborhood Commercial District
Inner Sunset Neighborhood Commercial District
Upper Market Street Neighborhood Commercial District
North Beach Neighborhood Commercial District
Polk Street Neighborhood Commercial District
Sacramento Street Neighborhood Commercial District
Union Street Neighborhood Commercial District
24th Street-Noe Valley Neighborhood Commercial District
West Portal Avenue Neighborhood Commercial District

Neighborhood Commercial Transit Districts (NCT)	
NCT-1	Neighborhood Commercial Transit Cluster District
NCT-2	Small-Scale Neighborhood Commercial Transit District
NCT-3	Moderate Scale Neighborhood Commercial Transit District

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Individual Area Neighborhood Commercial Transit (NCT) Districts	
Hayes-Gough NCT	
Upper Market Street NCT	
Valencia Street NCT	
24th Street - Mission NCT	
Mission Street NCT	
SoMa NCT	
Ocean Avenue NCT	
<i>Folsom Street NCT</i>	
<i>Regional Commercial District</i>	

Commercial Districts	
C-1	Neighborhood Shopping Districts
C-2	Community Business Districts
C-M	Heavy Commercial Districts
C-3-O	Downtown Office District
C-3-R	Downtown Retail District

1	C-3-G	Downtown General Commercial District
2	C-3-S	Downtown Support District

5	Industrial Districts	
7	M-1	Light Industrial Districts
8	M-2	Heavy Industrial Districts
10	PDR-1-B	Production Distribution and Repair - Light Industrial Buffer
12	PDR-1-D	Production Distribution and Repair - Design
13	PDR-1-G	Production Distribution and Repair - General
15	PDR-2	Core Production Distribution and Repair - Bayview

18	Chinatown Mixed Use Districts	
19	(Also see <a href="#">Article 8</a> )	
20	CCB	Chinatown Community Business District
22	CR/NC	Chinatown Residential/Neighborhood Commercial District
24	CVR	Chinatown Visitor Retail District

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South of Market Use Mixed Use Districts (Also see <a href="#">Article 8</a> )	
<i>RED</i>	<i>Residential Enclave Districts</i>
RSD	Residential Service District
SLR	Service/Light Industrial/Residential District
SLI	Service/Light Industrial District
SSO	Service/Secondary Office District

Eastern Neighborhoods Mixed Use Districts (Also see <a href="#">Article 8</a> )	
SPD	South Park District
MUG	Mixed Use - General
MUO	Mixed Use - Office
MUR	Mixed Use - Residential
UMU	Urban Mixed Use
<u><i>RED</i></u>	<u><i>Residential Enclave District</i></u>
<u><i>RED-MX</i></u>	<u><i>Residential Enclave District – Mixed</i></u>
<u><i>WMUG</i></u>	<u><i>Western SoMa Mixed Use – General</i></u>

1	<u>WMU0</u>	<u>Western SoMa Mixed Use – Office</u>
2	<u>SALI</u>	<u>Service/Arts/Light Industrial</u>

3		
4	Downtown Residential Districts	
5	(Also see <a href="#">Article 8</a> )	
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7	RH-DTR	Rincon Hill Downtown Residential
8		
9	SB-DTR	South Beach Downtown Residential

10		
11	Mission Bay Districts	
12	(Also see <a href="#">Article 9</a> )	
13		
14	MB-R-1	Mission Bay Lower Density Residential District
15		
16	MB-R-2	Mission Bay Moderate Density Residential District
17		
18	MB-R-3	Mission Bay High Density Residential District
19		
20	MB-NC-2	Mission Bay Small Scale Neighborhood Commercial District
21		
22	MB-NC-3	Mission Bay Moderate Scale Neighborhood Commercial District
23		
24	MB-NC-S	Mission Bay Neighborhood Commercial Shopping Center District
25		

1	MB-O	Mission Bay Office District
2	MB-CI	Mission Bay Commercial-Industrial District
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4	MB-H	Mission Bay Hotel District
5	MB-CF	Mission Bay Community Facilities District
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7	MB-OS	Mission Bay Open Space District

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9		
10	Parkmerced Districts	
11	(Also see Section <a href="#">249.64</a> )	
12	PM-R	Parkmerced Residential District
13	PM-MU1	Parkmerced Mixed Use - Social Heart District
14		
15	PM-MU2	Parkmerced Mixed Use - Neighborhood Commons
16	PM-S	Parkmerced School District
17		
18	PM-CF	Parkmerced Community/Fitness District
19		
20	PM-OS	Parkmerced Open Space District

21		
22	Treasure Island and Yerba Buena Island Districts	
23	(Also see Section <a href="#">249.52</a> )	
24		
25	TI-R	Treasure Island-Residential



1	TI-MU	Treasure Island-Mixed Use
2	TI-OS	Treasure Island-Open Space
3		
4	TI-PCI	Treasure Island-Public/Civic/Institutional
5	YBI-R	Yerba Buena Island-Residential
6		
7	YBI-MU	Yerba Buena Island-Mixed Use
8	YBI-OS	Yerba Buena Island-Open Space
9		
10	YBI-PCI	Yerba Buena Island-Public/Civic/Institutional

11

12 SEC. 204.4. DWELLING UNITS ACCESSORY TO OTHER USES.

13 (a) In any R, NC, or C District, one dwelling unit to serve as the residence of a manager  
 14 and the manager's family shall be permitted as an accessory use for any permitted hotel,  
 15 motel or group housing structure, without any such structure being classified as a dwelling for  
 16 purposes of this Code due to the presence of such dwelling unit.

17 (b) In any NC, C, M, PDR, or Eastern Neighborhood Mixed Use District, except RED,  
 18 RED-MX, WMUO, and SALI, dwelling units which are integrated with the working space of  
 19 artists, artisans and other craftspersons shall be permitted as an accessory use to such  
 20 working space, when such dwelling units are occupied by a group of persons including no  
 21 more than four adults, and where the occupancy meets all applicable provisions of the  
 22 Building Code and Housing Code.

23 (1) In PDR and WMUG Districts, dwelling units permitted by Section 204.4(b) may not  
 24 represent more than one-fourth (¼) of the total floor area occupied by such use and the  
 25 principal use to which it is accessory.

(c) In any M or PDR District, one dwelling unit or other form of habitation to serve as the residence of a caretaker and the caretaker's family shall be permitted as an accessory use for any permitted principal or conditional use in such district, where the operation of such use necessitates location of such residence in such district.

SEC. 207.5. DENSITY OF DWELLING UNITS IN MIXED USE DISTRICTS.

(a) The dwelling unit density in the Chinatown Mixed Use District shall be at a density ratio not exceeding the amount set forth in the following Table 207.5(a):

Table 207.5(a)

Density of Dwelling Units in

**Chinatown Mixed Use Districts**

General Area District	Residential Density Limits
Chinatown Community Business	One dwelling unit for each 200 sq. ft. of lot area
Chinatown Residential Neighborhood Commercial	One dwelling unit for each 200 sq. ft. of lot area
Chinatown Visitor Retail	One dwelling unit for each 200 sq. ft. of lot area

(b) Except as indicated in Paragraph (c) below, the dwelling unit density in the South of Market Mixed Use Districts shall not exceed the amount set forth in the following table:

1 Table 207.5(b)

2 Density of Dwelling Units in

3 **South of Market Mixed Use Districts**

General Area District	Residential Density Limits
<i>Residential Enclave</i> (RED)	<i>One dwelling unit for each 400 sq. ft. of lot area</i>
Residential Service (RSD) Service/Light Industrial/Residential (SLR), Service/Secondary Office (SSO)	One dwelling unit for each 200 sq. ft. of lot area except that which project above 40 feet in height, a higher density may be allowed as a conditional use in accordance with the provisions of 303(c) of this Code.

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(c) There shall be no density limit for single room occupancy (SRO) units in any South of Market Mixed Use District.

(d) There shall be no density limit for any residential use, as defined by Section 890.88 in any DTR district.

1 (e) There shall be no density limits for any residential use, as defined by Section 890.88,  
 2 in the Eastern Neighborhoods Mixed Use Districts.

3  
 4 SEC. 208. DENSITY LIMITATIONS FOR GROUP HOUSING.

5 Except for single room occupancy units in the South of Market Mixed Use Districts, the  
 6 density limitations for group housing, as described in Sections 209.2(a), (b), and (c), 790.88(b)  
 7 and 890.88(b) of this Code, shall be as follows:

8 (a) The maximum number of bedrooms on each lot shall be as specified in the following  
 9 table for the district in which the lot is located, except that in RTO, RTO-M, UMU,  
 10 MUG, WMUG, MUR, MUO, WMUO, RED, RED-MX, SPD, DTR and all NCT districts the density  
 11 of group housing shall not be limited by lot area, and except that for lots in NC Districts, the  
 12 group housing density shall not exceed the number of bedrooms permitted in the nearest  
 13 Residential District provided that the maximum density not be less than the amount permitted  
 14 by the ratio specified for the NC District in which the lot is located.

15 Table 208  
 16 MAXIMUM DENSITY FOR  
 17 GROUP HOUSING

District	Minimum Number of Square Feet of Lot Area for Each Bedroom
RH-2	415
RH-3, RM-1, RC-1	275
RM-2, RC-2	210

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RM-3, RC-3	140
RM-4, RC-4	70
NC-1	275
NC-2	
NC-S	
Inner Sunset	
Sacramento Street	
West Portal Avenue	
NC-3	210
NC-S	
Castro Street	
Inner Clement Street	
Outer Clement Street	
Upper Fillmore Street	
Haight Street	
Union Street	
24th Street-Noe Valley	

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Broadway	140
Upper Market Street	
North Beach	
Polk Street	
Chinatown Community Business	70
Chinatown Residential Neighborhood Commercial	
Chinatown Visitor Retail	
<i>RSD</i>	<i>140</i>
RSD, SLR, SLI and SSO	70

(b) For purposes of calculating the maximum density for group housing as set forth herein, the number of bedrooms on a lot shall in no case be considered to be less than one bedroom for each two beds. Where the actual number of beds exceeds an average of two beds for each bedroom, each two beds shall be considered equivalent to one bedroom.

1 (c) The rules for calculation of dwelling unit densities set forth in Section 207.1 shall also  
2 apply in calculation of the density limitations for group housing, except that in NC Districts,  
3 any remaining fraction of ½ or more of the maximum amount of lot area per bedroom shall be  
4 adjusted upward to the next higher whole number of bedrooms.

5 (d) The group housing density in all RTO Districts and all NCT Districts, as listed in  
6 Section 702.1(b), shall not be limited by lot area, but by the applicable requirements and  
7 limitations elsewhere in this Code, including but not limited to height, bulk, setbacks, open  
8 space, and exposure, as well as by the Residential Design Guidelines in RTO districts, other  
9 applicable design guidelines, applicable elements and area plans of the General Plan, and  
10 design review by the Planning Department.

11  
12 SEC. 261.2. ADDITIONAL HEIGHT LIMITS FOR THE FOLSOM NCT DISTRICT.

13 (a) Purpose. The Folsom Street NCT is designed to be the Main Street of the Western SoMa  
14 neighborhood, with neighborhood-serving uses and a high-quality pedestrian environment. As such, it  
15 is important to allow for appropriate development heights while also maximizing light and air into the  
16 corridor and protecting views of .....

17 (b) Controls. In the Folsom NCT District, any portion of a building above 55 feet in height shall be  
18 set back at least 15 feet from the front property line, except for those features listed in Section 260(b) of  
19 this Code.

20  
21 SEC. 263.28. SPECIAL EXCEPTIONS. SALI DISTRICTS IN THE 40-65-X HEIGHT AND BULK  
22 DISTRICT.

23 (a) Purpose. Arts activities are encouraged in the Western SoMa Planning Area Special Use  
24 District, and especially in the SALI District. Therefore, additional development potential is provided in  
25 the SALI District when constructed for the exclusive use of arts activities.

1 (b) Controls. In SALI Districts in the 40-55-X Height and Bulk District, buildings are limited to a  
2 maximum height of 40 feet. Buildings may have a height up to 55 feet only if the following criteria are  
3 met:

4 (1) The top floor of the building has a floor to ceiling height of 15 feet; and

5 (2) The top floor may only be used for arts activities, as defined in Article X.

6  
7 SEC. 270.2. SPECIAL BULK AND OPEN SPACE REQUIREMENT: MID-BLOCK ALLEYS IN  
8 LARGE LOT DEVELOPMENT IN THE EASTERN NEIGHBORHOODS MIXED USE, SOUTH  
9 OF MARKET MIXED USE, C-3, C-M, AND DTR DISTRICTS.

10 (a) Findings. The historically industrial parts of the City, including the South of Market,  
11 Showplace Square, Central Waterfront, and Mission, typically have very large blocks. In the  
12 South of Market, a typical block is 825 feet in length and 550 feet in width; in Showplace  
13 Square and the Central Waterfront blocks extend up to 800 feet in length and greater; and in  
14 the Mission many blocks are over 500 feet in length. In areas of the City historically developed  
15 as moderate and high-density residential and commercial environments, the block pattern is  
16 much smaller, with many alternate and redundant paths of travels, service alleys, and public  
17 mid-block pedestrian walkways and stairways: the typical North of Market block is 275 feet in  
18 width and not more than 412.5 feet in length, often with minor alleys bisecting these blocks  
19 further into smaller increments.

20 Large blocks inhibit pedestrian movement and convenience by significantly lengthening  
21 walking distances between points, thereby reducing the ability and likelihood of people to walk  
22 between destinations, including reducing access to and likelihood of using transit. Academic  
23 studies have shown that the likelihood of people to walk for trips of all purposes, including  
24 walking to transit stops, declines substantially above distances as low as 1/5th of a mile, and  
25 that the propensity to walk is very elastic for distances of one mile or less and heavily



1 dependent on distance and route barriers (Berman, Journal of American Planning Literature,  
2 May 1996). People are generally willing to walk not more than 1/3-mile to access rail transit,  
3 and less to access bus transit. In the Eastern Neighborhoods Mixed Use, South of Market  
4 Mixed Use, C-M, and DTR Districts, and South-of-Market portion of the C-3 Districts, longer  
5 walking distances due to large blocks generally lengthen walking distances by up to 1,000 feet  
6 or more for even the shortest trips, a major factor in reduced use of transit in these areas. In  
7 areas with large blocks, walking distances between destinations can be between 50% and  
8 300% longer than for areas with smaller blocks and more route choices (Hess, Places,  
9 Summer 1997). In the South of Market area, for example, the distance between destinations  
10 for walking trips can be as much as 2.5 times longer than a trip between destinations similarly  
11 situated apart north of Market Street. Given equivalent densities and distributions of  
12 development, where walking distances are greater due to longer and larger blocks, residents  
13 have access to up to 50% fewer destinations (e.g. shops, services, transit) for equal walking  
14 distances (Id.). Greater walking distances and fewer route choices also severely degrade  
15 accessibility to transit, services, and shops for people with disabilities and the elderly (Kulash,  
16 Development, July/August 1990). Because there are fewer pedestrian route choices and  
17 people must walk on fewer, more-highly trafficked and busier streets for longer distances, the  
18 quality of the pedestrian experience is severely diminished and there are more conflicts with  
19 motor vehicles, with corresponding heightened concerns for pedestrian safety on major  
20 streets.

21 Large blocks also increase vehicular and service demand on streets. Where there are  
22 no secondary streets or service alleys, all vehicular functions (including service loading as  
23 well as private vehicular access to off-street parking) are concentrated onto fewer streets,  
24 increasing traffic volumes on these streets and creating significant and frequent conflicts with  
25 automobile traffic, transit, bicycles, and pedestrian activity.

1           Where industrial uses with low densities of workers and residents remain in place, the  
2 condition of large blocks is not a problem. However, where land use changes occur with new  
3 development and the intensity and density of residential and employment population are  
4 increased by new development, there is thus a significant new need created to improve  
5 pedestrian and vehicular circulation by mitigating the size the blocks, providing alternate and  
6 redundant paths of travel, and creating a more pedestrian-accessible environment.

7           (b) Purpose. The mid-block alley requirements of this Section are intended to ameliorate  
8 the conditions and impacts described in the Findings of subsection (a) above and make the  
9 subject areas appropriate for a higher density of activity and population in areas being  
10 targeted for more intense development.

11           (c) Applicability. This Section applies to all new construction on parcels that have one or  
12 more street frontages of over 200 linear feet on a block face longer than 400 feet between  
13 intersections, and are in the C-3 Districts, C-M Districts, in South of Market Mixed Use  
14 Districts, Eastern Neighborhoods Mixed Use Districts, or DTR Districts, except for parcels in  
15 the RH DTR District, which are subject to Section 827.

16           (d) Requirements.

17           (1) New construction on lots with greater than 300 linear feet of street frontage shall  
18 provide a publicly-accessible mid-block alley for the entire depth of the property, generally  
19 located toward the middle of the subject block face, perpendicular to the subject frontage and  
20 connecting to any existing streets and alleys. For development lots with frontage on more than  
21 one street that exceeds the above dimensions, one such mid-block alley will be required per  
22 frontage.

23           (2) For new construction on lots with frontage greater than 200 linear feet but less  
24 than 300 feet the project shall provide a publicly-accessible mid-block alley for the entire  
25 depth of the property where any of the following criteria are met:

1 (A) There is an opportunity to establish a through-block connection between two  
2 existing alleys or streets, or

3 (B) A portion of the subject frontage extends over the central half of the block  
4 face, or

5 (C) Where it is deemed necessary by the Planning Department and Commission  
6 to introduce alleys to reduce the scale of large development, particularly in areas with a  
7 surrounding pattern of alleys.

8 (e) Design and Performance Standards. The alleys provided per subsections (a) and (b)  
9 above shall meet the following standards:

10 (1) Generally be located as close to the middle portion of the subject block face as  
11 possible, perpendicular to the subject frontage and connect to existing adjacent streets and  
12 alleys;

13 (2) Provide pedestrian access;

14 (3) Provide no, limited or full vehicular access, as specific conditions warrant;

15 (4) Have a minimum width of 20 feet from building face to building face, exclusive of  
16 those obstructions allowed pursuant to Section 136, and a minimum clearance height from  
17 grade of 15 feet at all points. In RED, RED-MX, WMUG, WMUO, and SALI Districts, the minimum  
18 width shall be 30 feet;

19 (5) Have a minimum clear walking width of 10 feet free of any obstructions in the  
20 case of a pedestrian-only right-of-way, and dual sidewalks each of not less than 6 feet in width  
21 with not less than 4 feet minimum clear walking width in the case of an alley with vehicular  
22 access;

23 (6) In the Eastern Neighborhoods Mixed Use Districts, be at least 60% open to the  
24 sky, including those encroachments permitted in front setbacks by Section 136 of this Code;

1 (7) Provide such ingress and egress as will make the area easily accessible to the  
2 general public;

3 (8) Be protected from uncomfortable wind, as called for elsewhere in this Code;

4 (9) Be ungated and publicly accessible 24 hours per day, as defined elsewhere in  
5 this Section;

6 (10) Be provided with appropriate paving, furniture, and other amenities that  
7 encourage pedestrian use, and be landscaped to greatest extent feasible;

8 (11) Be provided with ample pedestrian lighting to ensure pedestrian comfort and  
9 safety;

10 (12) Be free of any changes in grade or steps not required by the underlying natural  
11 topography and average grade; and

12 (13) Be fronted by active ground floor uses, as defined in Section 145.1, to the extent  
13 feasible.

14 (14) New buildings abutting mid-block alleys provided pursuant to this Section 270.2  
15 shall feature upper story setbacks according to the provisions of Section 261.1.

16 (f) Maintenance. Mid-block paths and alleys required under this Section shall be  
17 maintained at no public expense. The owner of the property on which the alley is located shall  
18 maintain it by keeping the area clean and free of litter and by keeping it in an acceptable state  
19 of repair. Conditions intended to assure continued maintenance of the right-of-way for the  
20 actual lifetime of the building giving rise to the open space requirement may be imposed in  
21 accordance with the provisions of Section 309.1 for DTR or 329 for Eastern Neighborhoods  
22 Mixed Use Districts.

23 (g) Informational Plaque. Prior to issuance of a permit of occupancy, a plaque shall be  
24 placed in a publicly conspicuous location for pedestrian viewing. The plaque shall state the  
25 right of the public to pass through the alley and stating the name and address of the owner or

1 owner's agent responsible for maintenance. The plaque shall be of no less than 24 inches by  
2 36 inches in size.

3 (h) Property owners providing a pathway or alley under this section will hold harmless  
4 the City and County of San Francisco, its officers, agents and employees, from any damage  
5 or injury caused by the design, construction or maintenance of the right-of-way, and are solely  
6 liable for any damage or loss occasioned by any act or neglect in respect to the design,  
7 construction or maintenance of the right-of-way.

8 (i) Any non-vehicular portions of such a pathway or alley, including sidewalks or other  
9 walking areas, seating areas, or landscaping, may count toward any open space requirements  
10 of this Code which permit publicly-accessible open space, provided that such space meets the  
11 standards of Section 135. In C-3 Districts, the non-vehicular portions of such a pathway or  
12 alley may count towards the open space requirements of Section 138 of this Code, so long as  
13 the pathway or alley is located at street grade and meets the requirements of Section 138 and  
14 of this Section.

15  
16 **SEC. 423. EASTERN NEIGHBORHOODS IMPACT FEES AND PUBLIC BENEFITS FUND.**

17 Sections 423.1 through 423.5 set forth the requirements and procedures for the Eastern  
18 Neighborhoods Impact Fee and Public Benefits Fund. The effective date of these  
19 requirements shall be either December 19, 2008, which is the date that these requirements  
20 originally became effective, or the date a subsequent modification, if any, became effective.

21  
22 **SEC. 423.1. FINDINGS.**

23 A. New Housing and Other Land Uses. San Francisco is experiencing a severe shortage of  
24 housing available to people at all income levels. In addition, San Francisco has an ongoing  
25 affordable housing crisis. Many future San Francisco workers will be earning below 80% of

1 the area's median income, and even those earning moderate or middle incomes, above the  
2 City's median, are likely to need assistance to continue to live in San Francisco. In 2007, the  
3 median income for a family of four in the city was about \$86,000. Yet median home prices  
4 suggest that nearly twice that income is needed to be able to a dwelling suitable for a family  
5 that size. Only an estimated 10% of households in the City can afford a median-priced home.

6 The Association of Bay Area Governments' (ABAG) Regional Housing Needs  
7 Determination (RHND) forecasts that San Francisco must produce over 31,000 new units in  
8 the next five years, or over 6,000 new units of housing annually, to meet projected needs. At  
9 least 60%, or over 18,000, of these new units should be available to households of very low,  
10 low, and moderate incomes. With land in short supply in the City, it is increasingly clear that  
11 the City's formerly industrial areas offer a critical source of land where this great need for  
12 housing, particularly affordable housing, can be partially addressed.

13 San Francisco's Housing Element establishes the Eastern Neighborhoods as a target  
14 area for development of new housing to meet San Francisco's identified housing targets. The  
15 release of some of the area's formerly industrial lands, no longer needed to meet current  
16 industrial or PDR needs, offer an opportunity to achieve higher affordability, and meet a  
17 greater range of need. The Mission, Showplace Square - Potrero Hill, East SoMa, Western  
18 SoMa, and Central Waterfront Area Plans of the General Plan (Eastern Neighborhoods Plans)  
19 thereby call for creation of new zoning intended specifically to meet San Francisco's housing  
20 needs, through higher affordability requirements and through greater flexibility in the way  
21 those requirements can be met, as described in Section 419. To support this new housing,  
22 other land uses, including PDR businesses, retail, office and other workplace uses will also  
23 grow in the Eastern Neighborhoods.

24 B. Need for Public Improvements to Accompany New Uses. The amendments to the  
25 General Plan, Planning Code, and Zoning Maps that correspond to Section 423.1 et seq. will

1 permit an increased amount of new housing and other uses, as noted above. The Planning  
2 Department anticipates an increase of at least 7,365 new housing units within the next 20  
3 years, and over 13,000 new jobs, as estimated under Option B of the Eastern Neighborhoods  
4 Draft Environmental Impact Report. This new development will have an extraordinary impact  
5 on the Plan Area's already deficient neighborhood infrastructure. New development will  
6 generate needs for a significant amount of public open space and recreational facilities; transit  
7 and transportation, including streetscape and public realm improvements; community facilities  
8 and services, including library materials and child care; and other amenities, as described in  
9 the Eastern Neighborhoods Public Benefits Program, on file with the Clerk of the Board in File  
10 No. 081155.

11 The Eastern Neighborhoods Area Plans addresses existing deficiencies and new  
12 impacts, through a comprehensive package of public benefits described in the Eastern  
13 Neighborhoods Public Benefits Program. This Program will enable the City and County of San  
14 Francisco to provide necessary public infrastructure to new residents while increasing  
15 neighborhood livability and investment in the district.

16 C. Requirements for New Development To Contribute Towards Plan Objectives. A key  
17 policy goal of the Eastern Neighborhoods Plans is to provide a significant amount of new  
18 housing affordable to low, moderate and middle income families and individuals, along with  
19 "complete neighborhoods" that provide appropriate amenities for these new residents. The  
20 Plans obligate all new development within the Eastern Neighborhoods to contribute towards  
21 these goals, by providing a contribution towards affordable housing needs and by paying an  
22 Eastern Neighborhoods Impact Fee.

23 However, due to the high cost of land within the City, it has been determined that the  
24 imposition of requirements and fees based on the full impact of new development would be  
25 overly burdensome to new development, and hinder the City's policy goal of providing a

1 significant amount of new housing. Therefore, fee rates have been set at a level that will not  
2 hinder this policy goal overall. The Plans structure requirements and fees by tiers to ensure  
3 feasibility.

4 D. Programmed Improvements. General public improvements and amenities needed to  
5 meet the needs of both existing residents, as well as those needs generated by new  
6 development, have been identified through the community planning processes of the Area  
7 Plans; In the Mission, Showplace Square, Potrero Hill, East SoMa and Central Waterfront Areas,  
8 these general public improvements and amenities were based on the standards-based analysis  
9 contained in the Eastern Neighborhoods Needs Assessment, San Francisco Planning  
10 Department, Case No. 2004.0160UU on file with the Clerk of the Board in File No. 081155,  
11 and on community input during the Plan adoption process. The Planning Department  
12 developed generalized cost estimates, based on similar project types implemented by the City  
13 in the relevant time period, to provide reasonable approximates for the eventual cost of  
14 providing necessary Public Benefits in the Plan Areas (information on these cost estimates is  
15 located in the Eastern Neighborhoods Public Benefits Program Document). However specific  
16 public improvements are still under development and will be further clarified through  
17 interdepartmental efforts with input from the Interagency Plan Implementation Committee, the  
18 Citizens Advisory Committee, and other stakeholders. Specific project identification, design  
19 work, engineering, and environmental review will still be required and may alter the nature of  
20 the improvements, as well as the sum total of the cost for these improvements.

21 In the Western SoMa Area, general public improvements and amenities were based on the needs  
22 identified in the Western SoMa Community Plan.....

23 E. Eastern Neighborhoods Impact Fee. Development impact fees are an effective  
24 approach to mitigate impacts associated with growth in population. The proposed Eastern  
25 Neighborhoods Impact Fee would be dedicated to infrastructure improvements in the Plan



1 Area, directing benefits of the fund clearly to those who pay into the fund, by providing  
2 necessary infrastructure improvements and housing needed to serve new development. The  
3 net increases in individual property values in these areas due to the enhanced neighborhood  
4 amenities financed with the proceeds of the fee are expected to exceed the payments of fees  
5 by project sponsors.

6 The fee rate has been calculated by the Planning Department based on accepted  
7 professional methods for the calculation of such fees, and described fully in the Eastern  
8 Neighborhoods Nexus Studies, San Francisco Planning Department, Case No. 2004.0160UU  
9 on file with the Clerk of the Board in File No. 081155 for the Mission, Showplace Square, Potrero  
10 Hill, East SoMa and Central Waterfront Areas. The Eastern Neighborhoods Public Benefits  
11 Program Document contains a full discussion of impact fee rationale. In the Western SoMa,....

12 The proposed fee would cover less than the full nexus as calculated by the Eastern  
13 Neighborhoods Nexus Studies. The proposed fees only cover impacts caused by new  
14 development and are not intended to remedy existing deficiencies. Those costs will be paid  
15 for by public, community, and other private sources as described in the Eastern  
16 Neighborhoods Public Benefits Program. Residential and non-residential impact fees are only  
17 one of many revenue sources necessary to create the "complete neighborhoods" that will  
18 provide appropriate amenities for residents of the Eastern Neighborhoods.

19  
20 SEC. 423.3. APPLICATION OF EASTERN NEIGHBORHOODS INFRASTRUCTURE  
21 IMPACT FEE.

22 (a) Application. Section 423.1 et seq. shall apply to any development project located in the  
23 Eastern Neighborhoods Program Area. (Does this include Western SoMa?)

24  
25

1 (b) Projects subject to the Eastern Neighborhoods Infrastructure Impact Fee. The  
2 Eastern Neighborhoods Infrastructure Impact Fee is applicable to any development project in  
3 the Eastern Neighborhoods Program Area which results in:

- 4 (1) At least one net new residential unit,
- 5 (2) Additional space in an existing residential unit of more than 800 gross square  
6 feet,
- 7 (3) At least one net new group housing facility or residential care facility,
- 8 (4) Additional space in an existing group housing or residential care facility of more  
9 than 800 gross square feet,
- 10 (5) New construction of a non-residential use, or
- 11 (6) Additional non-residential space in excess of 800 gross square feet in an existing  
12 structure.

13 (c) Fee Calculation for the Eastern Neighborhoods Infrastructure Impact Fee. For  
14 development projects for which the Eastern Neighborhoods Infrastructure Impact Fee is  
15 applicable:

- 16 (1) Any net addition of gross square feet shall pay per the Fee Schedule in Table  
17 423.3A. and
- 18 (2) Any replacement of gross square feet or change of use shall pay per the Fee  
19 Schedule in Table 423.3B.

20 TABLE 423.3A  
21 FEE SCHEDULE FOR NET ADDITIONS OF GROSS SQUARE FEET IN THE EASTERN  
22 NEIGHBORHOODS PROGRAM PLAN AREAS

Tier (per Sec. 423.3(a))	Residential	Non-residential
-----------------------------	-------------	-----------------

1	\$8/gsf	\$6/gsf
2	\$12/gsf	\$10/gsf
3	\$16/gsf	\$14/gsf

TABLE 423.3B  
 FEE SCHEDULE FOR REPLACEMENT OF USE OR CHANGE OF USE IN THE EASTERN  
 NEIGHBORHOODS PROGRAM AREA

Tier (per Sec. 422.3(a))	Residential to Residential or Non-residential; or Non-residential to Non-residential	Non-Residential to Residential	PDR to Residential	PDR to Non- residential
1	\$0	\$2/gsf	\$5/gsf	\$3/gsf
2	\$0	\$2/gsf	\$9/gsf	\$7/gsf
3	\$0	\$2/gsf	\$13/gsf	\$11/gsf

(d) Option for In-Kind Provision of Community Improvements and Fee Credits. Project sponsors may propose to directly provide community improvements to the City. In such a case, the City may enter into an In-Kind Improvements Agreement with the sponsor and issue a fee waiver for the Eastern Neighborhoods Infrastructure Impact Fee from the Planning Commission, subject to the following rules and requirements:

(1) Approval criteria. The City shall not enter into an In-Kind Agreement unless the proposed in-kind improvements meet an identified community need as analyzed in the Eastern Neighborhoods Community Improvements Program and where they substitute for improvements that could be provided by the Eastern Neighborhoods Community

1 Improvements Fund (as described in Section 423.5). The City may reject in-kind  
2 improvements if they are not consistent with the priorities identified in the Eastern  
3 Neighborhoods Area Plans (Central Waterfront, East SoMa, Mission, and Showplace  
4 Square/Potrero Hill), by the Interagency Plan Implementation Committee (see Section 36 of  
5 the Administrative Code), the Eastern Neighborhoods Citizens Advisory Committee, or other  
6 prioritization processes related to Eastern Neighborhoods Citizens community improvements  
7 programming. No physical improvement or provision of space otherwise required by the  
8 Planning Code or any other City Code shall be eligible for consideration as part of this In-Kind  
9 Improvements Agreement. *(Not sure where/how to add WSoMa language)*

10 (2) Valuation. The Director of Planning shall determine the appropriate value of the  
11 proposed in-kind improvements. For the purposes of calculating the total value, the project  
12 sponsor shall provide the Planning Department with a cost estimate for the proposed in-kind  
13 improvement(s) from two independent sources or, if relevant, real estate appraisers. If the City  
14 has completed a detailed site-specific cost estimate for a planned improvement this may  
15 serve as one of the cost estimates provided it is indexed to current cost of construction.

16 (3) Content of the In-Kind Improvements Agreement. The In-Kind Improvements  
17 Agreement shall include at least the following items:

18 (i) A description of the type and timeline of the proposed in-kind improvements.

19 (ii) The appropriate value of the proposed in-kind improvement, as determined in  
20 subsection (2) above.

21 (iii) The legal remedies in the case of failure by the project sponsor to provide the  
22 in-kind improvements according to the specified timeline and terms in the agreement. Such  
23 remedies shall include the method by which the City will calculate accrued interest.

24 (4) Approval Process. The Planning Commission must approve the material terms of  
25 an In-Kind Agreement. Prior to the parties executing the Agreement, the City Attorney must

1 approve the agreement as to form and to substance. The Director of Planning is authorized to  
2 execute the Agreement on behalf of the City. If the Planning Commission approves the In-  
3 Kind Agreement, it shall waive the amount of the Eastern Neighborhoods Infrastructure  
4 Impact Fee by the value of the proposed In-Kind Improvements Agreement as determined by  
5 the Director of Planning. No credit shall be made for land value unless ownership of the land  
6 is transferred to the City or a permanent public easement is granted, the acceptance of which  
7 is at the sole discretion of the City. The maximum value of the In-Kind Improvements  
8 Agreement shall not exceed the required Eastern Neighborhoods Infrastructure Impact Fee.

9 (5) Administrative Costs. Project sponsors that pursue an In-Kind Improvements  
10 Agreement will be billed time and materials for any administrative costs that the Planning  
11 Department or any other City entity incurs in negotiating, drafting, and monitoring compliance  
12 with the In-Kind Improvements Agreement.

13 (e) Timing of Fee Payments. The Eastern Neighborhoods Infrastructure Impact Fee is  
14 due and payable to the Development Fee Collection Unit at DBI prior to issuance of the first  
15 construction document, with an option for the project sponsor to defer payment to prior to  
16 issuance of the first certificate of occupancy upon agreeing to pay a deferral surcharge that  
17 would be paid into the appropriate fund in accordance with Section 107A.13.3 of the San  
18 Francisco Building Code.

19 (f) Waiver or Reduction of Fees. Development projects may be eligible for a waiver or  
20 reduction of impact fees, per Section 406 of this Article. Additionally, project sponsors with a  
21 development project located within an applicable San Francisco Redevelopment Project Area  
22 may reduce their required contribution to the Eastern Neighborhoods Public Benefits Fund by  
23 half of any total sum that they would otherwise be required to pay under this Section, if the  
24 sponsor

1 (1) has filed its first application, including an environmental evaluation application or  
2 any other Planning Department or Building Department application before the effective date of  
3 Section 423.1 et seq. and

4 (2) provides the Zoning Administrator with written evidence, supported in writing by  
5 the San Francisco Redevelopment Agency, that demonstrates the annual tax increment which  
6 could be generated by the proposed project would support a minimum future bonding capacity  
7 equal to \$10,000,000 or greater.

8  
9 SEC. 423.5. THE EASTERN NEIGHBORHOODS PUBLIC BENEFITS FUND.

10 (a) There is hereby established a separate fund set aside for a special purpose entitled the  
11 Eastern Neighborhoods Public Benefits Fund ("Fund"). All monies collected by the  
12 Development Fee Collection Unit at DBI pursuant to Section 423.3(b) shall be deposited in a  
13 special fund maintained by the Controller. All monies collected from the Western SoMa Community  
14 Plan Area shall be used for projects in the Western SoMa Community Plan Area. The receipts in the  
15 Fund to be used solely to fund Public Benefits subject to the conditions of this Section.

16 (b) Expenditures from the Fund shall be recommended by the Planning Commission,  
17 and administered by the Board of Supervisors.

18 (1) All monies deposited in the Fund or credited against Fund obligations shall be used  
19 to design, engineer, acquire, and develop and improve public or publically accessible open  
20 space and recreational facilities; transit, streetscape and public realm improvements; and  
21 community facilities including child care and library materials, as defined in the Eastern  
22 Neighborhoods Nexus Studies; or housing preservation and development within the Eastern  
23 Neighborhoods Plan Area or the Western SoMa Community Plan Area. Funds may be used for  
24 childcare facilities that are not publicly owned or "publicly-accessible." Funds generated for  
25 'library resources' should be used for materials in branches that directly service Eastern

1 Neighborhoods residents. Monies from the Fund may be used by the Planning Commission to  
2 commission economic analyses for the purpose of revising the fee, and/or to complete an  
3 updated nexus study to demonstrate the relationship between development and the need for  
4 public facilities if this is deemed necessary.

5 (2) Funds may be used for administration and accounting of fund assets, for  
6 additional studies as detailed in the Eastern Neighborhoods Public Benefits Program  
7 Document, and to defend the Community Stabilization fee against legal challenge, including  
8 the legal costs and attorney's fees incurred in the defense. Administration of this fund includes  
9 time and materials associated with reporting requirements, facilitating the Eastern  
10 Neighborhoods Citizens Advisory Committee meetings, and maintenance of the fund. All  
11 interest earned on this account shall be credited to the Eastern Neighborhoods Public  
12 Benefits Fund.

13 (c) Funds shall be deposited into specific accounts according to the improvement type  
14 for which they were collected. Funds from a specific account may be used towards a different  
15 improvement type, provided said account or fund is reimbursed over a five-year period of fee  
16 collection. Funds shall be allocated to accounts by improvement type as described below:

17 (1) Funds collected from all zoning districts in the Eastern Neighborhoods Program  
18 Area, excluding Designated Affordable Housing Zones shall be allocated to accounts by  
19 improvement type according to Table 423.6.

20 (2) Funds collected in designated affordable housing zones (Mission NCT and MUR  
21 (as defined in 423.2 (3)), shall be allocated to accounts by improvement type as described in  
22 Table 423.6A. The revenue devoted to affordable housing preservation and development shall  
23 be deposited into a specific amount to be held by the Mayor's Office of Housing.

1           A. All funds collected from projects in the Mission NCT that are earmarked for  
2 affordable housing preservation and development shall be expended on housing programs  
3 and projects within the Mission Area Plan boundaries.

4           B. All funds collected from projects in the MUR that are earmarked for affordable  
5 housing preservation and development shall be expended on housing programs and projects  
6 shall be expended within the boundaries of 5th to 10th Streets/Howard to Harrison Streets.

7           C. Collectively, the first \$10 million in housing fees collected between the two  
8 Designated Affordable Housing Zones shall be utilized for the acquisition and rehabilitation of  
9 existing housing.

10          (3) All funds are supported by the Eastern Neighborhoods Nexus Studies, San  
11 Francisco Planning Department, Case No. 2004.0160, and monitored according to the  
12 Eastern Neighborhoods Area Plans Monitoring Program required by the Administrative Code  
13 Section 10E and detailed by separate resolution.

14 TABLE 423.6

15 BREAKDOWN OF EASTERN NEIGHBORHOODS PUBLIC BENEFIT FEE/FUND

16 BY IMPROVEMENT TYPE\*

17 Improvement Type	Residential	Non-residential
18 Open space and recreational facilities	50%	7%
19 20 Transit, streetscape and public realm 21 improvements	42%	90%
22 Community facilities (child care and library 23 materials)	8%	3%

24          \*Does not apply to Designated Affordable Housing Zones, which are addressed in Table  
25 423.6A.



1 TABLE 423.6A  
 2 BREAKDOWN OF EASTERN NEIGHBORHOODS PUBLIC BENEFIT FEE/FUND  
 3 BY IMPROVEMENT TYPE FOR DESIGNATED AFFORDABLE HOUSING ZONES

Improvement Type	Residential	Non-residential
Affordable housing preservation and development	75%	n/a
Open space and recreational facilities	13%	7%
Transit, streetscape and public realm improvements	10%	90%
Community facilities (child care and library materials)	2%	3%

14 (d) With full participation by the Planning Department and related implementing  
 15 agencies, the Controller's Office shall file a report with the Board of Supervisors beginning  
 16 180 days after the last day of the fiscal year of the effective date of Section 423.1 et seq. that  
 17 shall include the following elements: (1) a description of the type of fee in each account or  
 18 fund; (2) amount of fee collected; (3) beginning and ending balance of the accounts or funds  
 19 including any bond funds held by an outside trustee; (4) amount of fees collected and interest  
 20 earned; (5) identification of each public improvement on which fees or bond funds were  
 21 expended and amount of each expenditure; (6) an identification of the approximate date by  
 22 which the construction of public improvements will commence; (7) a description of any  
 23 interfund transfer or loan and the public improvement on which the transferred funds will be  
 24 expended; and (8) amount of refunds made and any allocations of unexpended fees that are  
 25 not refunded.

1 (e) A public hearing shall be held by the Recreation and Parks Commissions to elicit  
2 public comment on proposals for the acquisition of property using monies in the Fund that will  
3 ultimately be maintained by the Department of Recreation and Parks. Notice of public  
4 hearings shall be published in an official newspaper at least 20 days prior to the date of the  
5 hearing, which notice shall set forth the time, place, and purpose of the hearing. The Parks  
6 Commissions may vote to recommend to the Board of Supervisors that it appropriate money  
7 from the Fund for acquisition and development of property acquired for park use.

8 (f) The Planning Commission shall work with other City agencies and commissions,  
9 specifically the Department of Recreation and Parks, DPW, and the MTA, to develop  
10 agreements related to the administration of the improvements to existing public facilities and  
11 development of new public facilities within public rights-of-way or on any acquired public  
12 property, using such monies as have been allocated for that purpose at a hearing of the Board  
13 of Supervisors.

14 (g) The Planning Commission, based on findings from the Interagency Planning &  
15 Implementation Committee (IPIC), shall make recommendations to the Board regarding  
16 allocation of funds.

17 (h) Within 60 days of receiving the Eastern Neighborhoods Capital Expenditure  
18 Evaluation Report as specified in Administrative Code Section 10E.7, the Office of the  
19 Controller shall assess whether funds collected from the Eastern Neighborhoods Impact Fee  
20 are being effectively utilized for capital projects serving the Eastern Neighborhoods, and  
21 whether such projects are successfully advancing towards implementation, as set forth in the  
22 abovementioned Section. Based on this assessment, the following shall occur:

23 (A) If the Controller determines that the funds have been effectively utilized as set  
24 forth in Section 10E.7 of the Administrative Code, the Controller shall issue an affirmative  
25 finding to the Board of Supervisors and the Planning Commission certifying that the intent of

1 this aforementioned Section is being met. No further Controller action is necessary for  
2 purposes of this Subsection.

3 (B) If the Controller fails to issue the certification described in Subsection (h) (A)  
4 above or if the Controller determines that the fees are not being effectively utilized as set forth  
5 in Administrative Code Section 10E.7 and notifies the Board of Supervisors and Planning  
6 Commission of this determination, then the following shall occur:

7 (i) Any project specified below within the Eastern Neighborhoods Area Plan that  
8 has not already received final and effective approvals from the Planning Department, Zoning  
9 Administrator, and/or the Planning Commission, shall require a conditional use authorization,  
10 in addition to any other approvals necessary under the Planning Code:

11 (aa) Residential projects containing more than 10 new units that have not  
12 received issuance of their first site or building permit; or

13 (bb) Non-residential projects containing a net new addition or new construction  
14 of 10,000 square feet or more that have not received issuance of their first site or building  
15 permit.

16 (C) Elimination of interim conditional use requirement.

17 (i) At any time after the Controller has determined that Eastern Neighborhood  
18 impact fees are not being effectively utilized as set forth in Section 423.6(h)(B) above, or fails  
19 to certify that they are being effectively utilized as set forth in Section 423.6(h)(A), the  
20 Planning Department may provide the Controller with a newly updated or revised Eastern  
21 Neighborhoods Capital Expenditure Evaluation Report.

22 (ii) Within 60 days of receiving an updated or revised Report, the Office of the  
23 Controller shall determine whether funds collected from the Eastern Neighborhoods Public  
24 Benefit Fee are being effectively utilized for capital projects serving the Eastern  
25 Neighborhoods consistent with the intent of the Section 10E.7 of the Administrative Code.

(iii) If, on the basis of a new, updated or revised Eastern Neighborhoods Capital Expenditure Evaluation Report, the Controller determines that the development impact fees collected to date are being effectively utilized as set forth in Section 423.6 (h)(A) above, any projects within the Eastern Neighborhoods Plan Area that required a conditional use authorization on an interim basis as set forth in Section 423.6(h)(B) shall no longer require such conditional use authorization unless the underlying use requires conditional use authorization independent of the requirements set forth in Section 423.6(i)(B).

SEC. 702.1. NEIGHBORHOOD COMMERCIAL USE DISTRICTS.

(a) The following districts are established for the purpose of implementing the Commerce and Industry element and other elements of the General Plan, according to the objective and policies stated therein. Description and Purpose Statements outline the main functions of each Neighborhood Commercial (NC) District in the Zoning Plan for San Francisco, supplementing the statements of purpose contained in Section 101 of this Code.

The description and purpose statements and land use controls applicable to each of the general and individual area districts are set forth in Sections 710.1 through 784 of this Code for each district class. The boundaries of the various Neighborhood Commercial Districts are shown on the Zoning Map referred to in Sections 105 and 106 of this Code, subject to the provisions of that Section.

Neighborhood Commercial General Area Districts	Section Number
NC-1 - Neighborhood Commercial Cluster District	§ 710
NC-2 - Small-Scale Neighborhood Commercial District	§ 711
NC-3 - Moderate-Scale Neighborhood Commercial District	§ 712
NC-S - Neighborhood Commercial Shopping Center District	§ 713
NCT-1 Neighborhood Commercial Transit Cluster District	§ 733A
NCT-2 Small Scale Neighborhood Commercial Transit District	§ 734

1	NCT-3 - Moderate-Scale Neighborhood Commercial Transit District	§ 731
2	Neighborhood Commercial Individual Area Districts	Section Number
3	Broadway Neighborhood Commercial District	§ 714
4	Castro Street Neighborhood Commercial District	§ 715
5	Inner Clement Street Neighborhood Commercial District	§ 716
6	Outer Clement Street Neighborhood Commercial District	§ 717
7	Upper Fillmore Street Neighborhood Commercial District	§ 718
8	Haight Street Neighborhood Commercial District	§ 719
9	Hayes-Gough Neighborhood Commercial Transit District	§ 720
10	Upper Market Street Neighborhood Commercial District	§ 721
11	North Beach Neighborhood Commercial District	§ 722
12	Polk Street Neighborhood Commercial District	§ 723
13	Sacramento Street Neighborhood Commercial District	§ 724
14	Union Street Neighborhood Commercial District	§ 725
15	Valencia Street Neighborhood Commercial District	§ 726
16	24th Street-Mission Neighborhood Commercial District	§ 727
17	24th Street-Noe Valley Neighborhood Commercial District	§ 728
18	West Portal Avenue Neighborhood Commercial District	§ 729
19	Inner Sunset Neighborhood Commercial District	§ 730
20	Upper Market Street Neighborhood Commercial Transit District	§ 732
21	SoMa Neighborhood Commercial Transit District	§ 735
22	Mission Street Neighborhood Commercial Transit District	§ 736
23	Ocean Avenue Neighborhood Commercial Transit District	§ 737

(b) The following districts are Neighborhood Commercial Transit (NCT) Districts, including both general area districts and individual area districts identified by street or area name. These districts are a subset of the Neighborhood Commercial (NC) Districts.

24	Neighborhood Commercial Transit Districts	Section Number
25		

1	Hayes-Gough Neighborhood Commercial Transit District	§ 720
2	Valencia Street Neighborhood Commercial Transit District	§ 726
3	24th Street - Mission Neighborhood Commercial Transit District	§ 727
4	NCT-3 - Moderate-Scale Neighborhood Commercial Transit District	§ 731
5	Upper Market Street Neighborhood Commercial Transit District	§ 732
6	NCT-1 Neighborhood Commercial Transit Cluster District	§ 733A
7	NCT-2 Small Scale Neighborhood Commercial Transit District	§ 734
8	SoMa Neighborhood Commercial Transit District	§ 735
9	Mission Street Neighborhood Commercial Transit District	§ 736
10	Ocean Avenue Neighborhood Commercial Transit District	§ 737
11	<i><u>Folsom Street Neighborhood Commercial Transit District</u></i>	<i><u>§ 738</u></i>
12	<i><u>Regional Commercial District</u></i>	<i><u>§ 739</u></i>

13 NCT Districts are transit-oriented moderate- to high-density mixed-use neighborhoods  
14 of varying scale concentrated near transit services. The NCT Districts are mixed use districts  
15 that support neighborhood-serving commercial uses on lower floors and housing above.  
16 These districts are well-served by public transit and aim to maximize residential and  
17 commercial opportunities on or near major transit services. The district's form can be either  
18 linear along transit-priority corridors, concentric around transit stations, or broader areas  
19 where transit services criss-cross the neighborhood. Housing density is limited not by lot area,  
20 but by the regulations on the built envelope of buildings, including height, bulk, setbacks, and  
21 lot coverage, and standards for residential uses, including open space and exposure, and  
22 urban design guidelines. Residential parking is not required and generally limited. Commercial  
23 establishments are discouraged or prohibited from building accessory off-street parking in  
24 order to preserve the pedestrian-oriented character of the district and prevent attracting auto  
25 traffic. There are prohibitions on access (i.e. driveways, garage entries) to off-street parking

1 and loading on critical stretches of commercial and transit streets to preserve and enhance  
2 the pedestrian-oriented character and transit function.

3  
4 **SEC. 703.2. USES PERMITTED IN NEIGHBORHOOD COMMERCIAL DISTRICTS.**

5 A use is the specific purpose for which a property or building is used, occupied, maintained, or  
6 leased. Whether or not a use is permitted in a specific district is set forth or summarized and  
7 cross-referenced in Sections 710.1 through 730.95 of this Code for each district class.

8 (a) Use Categories. The uses, functions, or activities, which are permitted in each  
9 Neighborhood Commercial District class include those listed below by zoning control category  
10 and number and cross-referenced to the Code Section containing the definition.

			Section Number of Use
No.	Zoning Control Categories for Uses		Definition
.24	Outdoor Activity Area		§ 790.70
.25	Drive-Up Facility		§ 790.30
.26	Walk-Up Facility		§ 790.140
.27	Hours of Operation		§ 790.48
.38	Residential Conversion		§ 790.84
.39	Residential Demolition		§ 790.86
.40	Other Retail Sales and Services		§ 790.102
.41	Bar		§ 790.22
.42	Full-Service Restaurant		§ 790.92
.43	Large Fast-Food Restaurant		§ 790.90

1	.44	Small Self-Service Restaurant	§ 790.91
2	.45	Liquor Store	§ 790.55
3	.46	Movie Theater	§ 790.64
4	.47	Adult Entertainment	§ 790.36
5	.48	Other Entertainment	§ 790.38
6	.49	Financial Service	§ 790.110
7	.50	Limited Financial Service	§ 790.112
8	.51	Medical Service	§ 790.114
9	.52	Personal Service	§ 790.116
10	.53	Business or Professional Service	§ 790.108
11	.54	Massage Establishment	§ 790.60
12	.55	Tourist Hotel	§ 790.46
13	.56	Automobile Parking	§ 790.8
14	.57	Automotive Gas Station	§ 790.14
15	.58	Automotive Service Station	§ 790.17
16	.59	Automotive Repair	§ 790.15
17	.60	Automotive Wash	§ 790.18
18	.61	Automobile Sale or Rental	§ 790.12
19	.62	Animal Hospital	§ 790.6
20	.63	Ambulance Service	§ 790.2



1	.64	Mortuary	§ 790.62
2	.65	Trade Shop	§ 790.124
3	.66	Storage	§ 790.117
4	.67	Video Store	§ 790.135
5	.68	Fringe Financial Service	§ 790.111
6	.69	Tobacco Paraphernalia Establishment	§ 790.123
7	.69A	Self-Service Specialty Food	§ 790.93
8	.69B	Amusement Game Arcade (Mechanical	§ 790.04 <sup>1</sup>
9		Amusement Devices)	
10	.69C	Neighborhood Agriculture	§ 102.35(a)
11	.69D	Large-Scale Urban Agriculture	§ 102.35(b)
12	.70	Administrative Service	§ 790.106
13	.80	Hospital or Medical Center	§ 790.44
14	.81	Other Institutions, Large	§ 790.50
15	.82	Other Institutions, Small	§ 790.51
16	.83	Public Use	§ 790.80
17	.84	Medical Cannabis Dispensary	§ 790.141
18	.85	Service, Philanthropic Administrative	§ 790.107
19	.90	Residential Use	§ 790.88
20	.95	Community Residential Parking	§ 790.10
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(b) Use Limitations. The uses permitted in Neighborhood Commercial Districts are either principal, conditional, accessory, or temporary uses as stated in this Section, and include those uses set forth or summarized and cross-referenced in the zoning control categories as listed in Paragraph (a) in Sections 710.1 through 729.95 of this Code for each district class.

(1) Permitted Uses. All permitted uses shall be conducted within an enclosed building in Neighborhood Commercial Districts, unless otherwise specifically allowed in this Code. Exceptions from this requirement are: uses which, when located outside of a building, qualify as an outdoor activity area, as defined in Section 790.70 of this Code; accessory off-street parking and loading and other uses listed below which function primarily as open-air uses, or which may be appropriate if located on an open lot, outside a building, or within a partially enclosed building, subject to other limitations of this Article 7 and other sections of this Code.

No.	Zoning Control Category
.56	Automobile Parking
.57	Automotive Gas Station
.58	Automotive Service Station
.60	Automotive Wash
.61	Automobile Sale or Rental
.81	Other Institutions, Large (selected)
.83	Public Use (selected)
.95	Community Residential Parking

1 If there are two or more uses in a structure and none is classified below under  
2 Section 703.2(b)(1)(C) of this Code as accessory, then each of these uses will be considered  
3 separately as independent principal, conditional or temporary uses.

4 (A) Principal Uses. Principal uses are permitted as of right in a Neighborhood  
5 Commercial District, when so indicated in Sections 710.1 through 729.95 of this Code for  
6 each district class.

7 (B) Conditional Uses. Conditional uses are permitted in a Neighborhood  
8 Commercial District when authorized by the Planning Commission; whether a use is  
9 conditional in a given district is indicated in Sections 710.10 through 729.95. Conditional uses  
10 are subject to the provisions set forth in Sections 178, 179, 303, and 316 through 316.8 of this  
11 Code.

12 (i) An establishment which sells beer or wine with motor vehicle fuel is a  
13 conditional use, and shall be governed by Section 229.

14 (ii) Notwithstanding any other provision of this Article, a change in use or  
15 demolition of a movie theater use, as set forth in Section 790.64, shall require conditional use  
16 authorization. This Subsection shall not authorize a change in use if the new use or uses are  
17 otherwise prohibited.

18 (iii) Notwithstanding any other provision of this Article, a change in use or  
19 demolition of a general grocery store use, as defined in Section 790.102(a), which use  
20 exceeds 5,000 gross square feet shall require conditional use authorization. This Subsection  
21 shall not authorize a change in use if the new use or uses are otherwise prohibited.

22 (iv) Large-Scale Urban Agriculture, as defined in Section 102.35(b), shall  
23 require conditional use authorization.

24 (C) Accessory Uses. Except as prohibited in Section 728 and subject to the  
25 limitations set forth below and in Sections 204.1 (Accessory Uses for Dwelling Units in R and

1 NC Districts), 204.4 (Dwelling Units Accessory to Other Uses), and 204.5 (Parking and  
2 Loading as Accessory Uses) of this Code, a related minor use which is either necessary to the  
3 operation or enjoyment of a lawful principal use or conditional use, or is appropriate, incidental  
4 and subordinate to any such use, shall be permitted as an accessory use when located on the  
5 same lot. Any use which does not qualify as an accessory use shall be classified as a  
6 principal or conditional use, unless it qualifies as a temporary use under Sections 205 through  
7 205.2 of this Code.

8 No use will be considered accessory to a permitted principal or conditional use  
9 which involves or requires any of the following:

10 (i) The use of more than 1/3 of the total floor area occupied by such use and  
11 the principal or conditional use to which it is accessory, except in the case of accessory off-  
12 street parking and loading;

13 (ii) Any bar, restaurant, other entertainment, or any retail establishment which  
14 serves liquor for consumption on-site;

15 (iii) Any take-out food use, as defined in Section 790.122, except for a take-out  
16 food use which occupies 1/3 of the total floor area or up to 500 s/f whichever is more  
17 restrictive in a general grocery or specialty grocery store, 2 This take-out food use includes  
18 the area devoted to food preparation and service and excludes storage and waiting areas;

19 (iv) Any take-out food use, as defined in Section 790.122, except for a take-out  
20 food use operating as a minor and incidental use within a full-service restaurant;

21 (v) The wholesaling, manufacturing or processing of foods, goods, or  
22 commodities on the premises of an establishment which does not also use or provide for  
23 primarily retail sale of such foods, goods or commodities at the same location where such  
24 wholesaling, manufacturing or processing takes place.

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1 (vi) Any retail liquor sales, as defined in Section 790.55, except for beer, wine,  
2 and/or liquor sales for the consumption off the premises with a State of California Alcoholic  
3 Beverage Control ("ABC") Board License type (off-sale beer and wine) or type 21 (off-sale  
4 general) which occupy less than 15% of the gross square footage of the establishment  
5 (including all areas devoted to the display and sale of alcoholic beverages) in a general  
6 grocery store, specialty grocery store, or self-service specialty food use.

7 (vii) Medical Cannabis Dispensaries as defined in 790.141.

8 The foregoing rules shall not prohibit take-out food activity which operates in  
9 conjunction with a fast-food restaurant or a self-service restaurant. A fast-food restaurant or a  
10 self-service restaurant, by definition, includes take-out food as an accessory and necessary  
11 part of its operation.

12 (D) Temporary Uses. Temporary uses are permitted uses, subject to the  
13 provisions set forth in Section 205 of this Code.

14 (2) Not Permitted Uses.

15 (A) Uses which are not specifically listed in this Article are not permitted unless  
16 they qualify as a nonconforming use pursuant to Sections 180 through 186.1 of this Code or  
17 are determined by the Zoning Administrator to be permitted uses in accordance with Section  
18 307(a) of this Code.

19 (B) No use, even though listed as a permitted use, shall be permitted in a  
20 Neighborhood Commercial District which, by reason of its nature or manner of operation,  
21 creates conditions that are hazardous, noxious, or offensive through the emission of odor,  
22 fumes, smoke, cinders, dust, gas, vibration, glare, refuse, water-carried waste, or excessive  
23 noise.

1 (C) The establishment of a use that sells alcoholic beverages, other than beer and  
2 wine, concurrent with motor vehicle fuel is prohibited, and shall be governed by Section 229.  
3 Except in the SoMa NCT, where these uses are permitted accessory uses.

4 (3) Preservation of Historic Buildings within the Folsom NCT and RCD Districts. The  
5 following controls are intended to support the economic viability of buildings of historic importance  
6 within the Folsom NCT and RCD Districts.

7 (A) This subsection applies only to buildings that are a designated landmark building or a  
8 contributory building within a designated historic district per Article 10 of the Planning Code, or a  
9 building listed on or determined eligible for the California Register of Historical Resources by the State  
10 Office of Historic Preservation.

11 (B) All uses are permitted as of right, provided that:

12 (i) The project does not contain office uses of 25,000 square foot or more per lot, or  
13 nighttime entertainment.

14 (ii) Prior to the issuance of any necessary permits, the Zoning Administrator, with  
15 the advice of the Landmarks Preservation Advisory Board, determines that allowing the use will  
16 enhance the feasibility of preserving the building.

17 (iii) Residential uses meet the affordability requirements of the Residential  
18 Inclusionary Affordable Housing Program set forth in Section 415.1 through 415.9.

19 (C) Projects containing office use of 25,000 square foot or more per lot may be permitted  
20 as a conditional use. In addition to the conditional use criteria set forth in Section 303, and with the  
21 advice of the Landmarks Preservation Advisory Board, the Planning Commission must find that  
22 allowing the use will enhance the feasibility of preserving the building.

23 (D) The Landmarks Preservation Advisory Board shall review the proposed project for  
24 compliance with the Secretary of the Interior's Standards, (36 C.F.R. § 67.7 (2001)) and any applicable  
25 provisions of the Planning Code.

SEC. 738.1. FOLSOM STREET NEIGHBORHOOD COMMERCIAL TRANSIT DISTRICT

The Folsom Street Neighborhood Commercial Transit District (Folsom Street NCT) is located along.....

Table 738

FOLSOM STREET NEIGHBORHOOD COMMERCIAL TRANSIT DISTRICT ZONING CONTROL

TABLE

			<u>Folsom Street</u>
<u>No.</u>	<u>Zoning Category</u>	<u>§ References</u>	<u>Controls</u>
<u>BUILDING STANDARDS</u>			
	<u>Height and Bulk Limit</u>	<u>§§ 102.12, 105, 106, 250--252, 260, 270, 271</u>	<u>65-X to 75-X. See Sectional Zoning Maps 1 and 7. Height sculpting required on narrow streets, §261.1</u>
	<u>Lot Size [Per Development]</u>	<u>§§ 790.56, 121.1</u>	<u>P up to 9,999 sq. ft. C 10,000 sq. ft. &amp; above § 121.1</u>
	<u>Rear Yard</u>	<u>§§ 130, 134, 136</u>	<u>Required at all levels § 134(a) (e)</u>
	<u>Street Frontage, Above-Grade</u>	<u>§ 145.1</u>	<u>Minimum 25 feet on</u>

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	<u>Parking Setback and Active Uses</u>		<u>ground floor, 15 feet on floors above § 145.1</u>
	<u>Street Frontage, Required Ground Floor Commercial</u>	<u>§ 145.4</u>	<u>Requirements apply. See § 145.4</u>
	<u>Street Frontage, Parking and Loading access restrictions</u>	<u>§ 155(r)</u>	<u>Requirements apply. See § 155(r)</u>
	<u>Awning</u>	<u>§ 790.20</u>	<u>P§ 136.1(a)</u>
	<u>Canopy</u>	<u>§ 790.26</u>	<u>P § 136.1(b)</u>
	<u>Marquee</u>	<u>§ 790.58</u>	<u>P § 136.1(c)</u>
	<u>Street Trees</u>	<u>§ 138.1</u>	<u>Required</u>
<u>COMMERCIAL AND INSTITUTIONAL STANDARDS AND USES</u>			
	<u>Floor Area Ratio</u>	<u>§§ 102.9, 102.11, 123, 124</u>	<u>2.5 to 1 § 124(a) (b)</u>
	<u>Use Size [Non-Residential]</u>	<u>§ 790.130</u>	<u>P up to 3,999 sq. ft.; C 4,000 sq. ft. &amp; above § 121.2</u>
	<u>Off-Street Parking, Commercial/Institutional</u>	<u>§§ 150, 151.1, 153--157, 159--160, 166, 204.5</u>	<u>None required. Limits set forth in Section 151.1</u> <u>§§</u>
	<u>Off-Street Freight Loading</u>	<u>§§ 150, 153--155, 204.5</u>	<u>Generally, none required if gross floor area is less than 10,000 sq. ft. §§ 152.</u>



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			<u>161(b)</u>
	<u>Outdoor Activity Area</u>	<u>§§ 790.70, 145.2(a)</u>	<u>P at 1<sup>st</sup> and 2<sup>nd</sup> Floors if located in front; C if located elsewhere § 145.2(a)</u>
	<u>Drive-Up Facility</u>	<u>§ 790.30</u>	
	<u>Walk-Up Facility</u>	<u>§ 790.140</u>	<u>P if recessed 3 ft.; C if not recessed § 145.2(b)</u>
	<u>Hours of Operation</u>	<u>§ 790.48</u>	<u>P 6 a.m.--2 a.m. C 2 a.m.--6 a.m.</u>
	<u>General Advertising Sign</u>	<u>§§ 262, 602--604, 608, 609</u>	—
	<u>Business Sign</u>	<u>§§ 262, 602--604, 608, 609</u>	<u>P § 607.1(f) 2</u>
	<u>Other Signs</u>	<u>§§ 262, 602--604, 608, 609</u>	<u>P § 607.1(c) (d) (g)</u>

<u>No.</u>	<u>Zoning Category</u>	<u>§ References</u>	<u>Folsom Street</u>		
			<u>Controls by Story</u>		
—		<u>§ 790.118</u>	<u>1st</u>	<u>2nd</u>	<u>3rd+</u>
	<u>Residential Conversion</u>	<u>§§ 790.84, 207.7, 317</u>	<u>C</u>	<u>C</u>	—

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	<u>Residential Demolition</u>	§§ <u>790.86, 207.7</u> <u>, 317</u>	<u>C</u>	<u>C</u>	<u>C</u>
	<u>Residential Division</u>	§§ <u>207.8, 317</u>	<u>C</u>	<u>C</u>	<u>C</u>
<u>Retail Sales and Services</u>					
	<u>Other Retail Sales and Services [Not Listed Below]</u>	§ <u>790.102</u>	<u>P</u>	<u>P</u>	<u>—</u>
	<u>Bar</u>	§ <u>790.22</u>	<u>P</u>	<u>—</u>	<u>—</u>
	<u>Full-Service Restaurant</u>	§ <u>790.92</u>	<u>P up to 10,000</u> <u>gsf per lot; NP</u> <u>above</u>	<u>—</u>	<u>—</u>
	<u>Large Fast Food Restaurant</u>	§ <u>790.90</u>	<u>P up to 10,000</u> <u>gsf per lot; NP</u> <u>above</u>	<u>—</u>	<u>—</u>
	<u>Small Self-Service Restaurant</u>	§ <u>790.91</u>	<u>P</u>	<u>—</u>	<u>—</u>
	<u>Liquor Store</u>	§ <u>790.55</u>	<u>C</u>	<u>—</u>	<u>—</u>
	<u>Movie Theater</u>	§ <u>790.64</u>		<u>—</u>	<u>—</u>
	<u>Adult</u>	§ <u>790.36</u>	<u>—</u>	<u>—</u>	<u>—</u>

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	<u>Entertainment</u>				
	<u>Other Entertainment</u>	<u>§ 790.38</u>		—	—
	<u>Services, Professional; Services, Financial; Services, Medical</u>	<u>§§ 790.110, 790.114, 790.116</u>	<u>P when primarily open to the general public on a client-oriented basis; subject to the use size limits in Section 738.21.</u>	—	—
	<u>Limited Financial Service</u>	<u>§ 790.112</u>		—	—
	<u>Business or Professional Service</u>	<u>§ 790.108</u>			—
	<u>Massage Establishment</u>	<u>§ 790.60, § 1900 Health Code</u>	<u>C</u>	<u>C</u>	—
	<u>Tourist Hotel</u>	<u>§ 790.46</u>	<u>P up to 25 rooms per hotel; NP above.</u>	<u>P up to 25 rooms per hotel; NP above.</u>	—

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	<u>Automobile Parking</u>	<u>§§ 790.8, 790.10, 158.1, 160, 166,</u>			
	<u>Automotive Gas Station</u>	<u>§ 790.14</u>	—	—	—
	<u>Automotive Service Station</u>	<u>§ 790.17</u>	—	—	—
	<u>Automotive Repair</u>	<u>§ 790.15</u>	<u>C with no ingress/egress onto alleys, as defined in the Western SoMa Community Plan, containing RED or RED-MX Districts</u>	—	—
	<u>Automotive Wash</u>	<u>§ 790.18</u>	—	—	—
	<u>Automobile Sale or Rental</u>	<u>§ 790.12</u>	—	—	—
	<u>Animal Hospital</u>	<u>§ 790.6</u>		—	—
	<u>Animal Services</u>	<u>§ 224(c)</u>	<u>P for grooming and daycare</u>		

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			<u>only. No 24 hour care.</u>		
	<u>Ambulance Service</u>	<u>§ 790.2</u>		—	—
	<u>Mortuary</u>	<u>§ 790.62</u>			—
	<u>Trade Shop</u>	<u>§ 790.124</u>	<u>P</u>	<u>C</u>	—
	<u>Storage</u>	<u>§ 790.117</u>	—	—	—
	<u>Fringe Financial</u>	<u>§ 790.111</u>			
	<u>Neighborhood Agriculture</u>	<u>§ 102.35(a)</u>	<u>P</u>	<u>P</u>	<u>P</u>
	<u>Large-Scale Urban Agriculture</u>	<u>§ 102.35(b)</u>	<u>C</u>	<u>C</u>	<u>C</u>
<u>Institutions and Non-Retail Sales and Services</u>					
	<u>Administrative Service</u>	<u>§ 790.106</u>	<u>P on first or second floor, but not both</u>	<u>P on first or second floor, but not both</u>	—
	<u>Assembly and Social Service</u>	<u>§ 790.50(a)</u>	<u>C</u>	<u>C</u>	
	<u>Child Care</u>	<u>§§ 790.50(b), 790.51(a)</u>	<u>P</u>	<u>P</u>	
	<u>Hospital or</u>	<u>§ 790.44</u>	—	—	—

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	<u>Medical Center</u>				
	<u>Public Use</u>	<u>§ 790.80</u>	<u>C</u>	<u>C</u>	<u>C</u>
	<u>Medical Cannabis Dispensary</u>	<u>§ 790.141</u>	-	-	-
	<u>Religious Facility</u>	<u>§ 790.50(d)</u>			
	<u>Residential Care, Small</u>	<u>§ 790.51(b)</u>		<u>C</u>	<u>C</u>
<u>RESIDENTIAL STANDARDS AND USES</u>					
	<u>Residential Use</u>	<u>§§ 145.4, 790.88</u>	<u>P, except NP for frontages listed in 145.4 and on lots less than 2,500 sf</u>	<u>P</u>	<u>P</u>
	<u>Group Housing</u>	<u>§§ 145.4, 790.88</u>	<u>C, except NP for frontages listed in 145.4 and on lots less than 2,500 sf</u>	<u>C</u>	<u>C</u>
	<u>SRO Housing</u>	<u>§§ 145.4, 823, 890.88(c)</u>	<u>P</u>	<u>P</u>	<u>P</u>

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	<u>Student Housing</u>	<u>§§ 145.4, 401</u>	<u>C in new construction only</u>	<u>C in new construction only</u>	<u>C in new construction only</u>
	<u>Residential Density, Dwelling Units</u>	<u>§§ 207, 207.1, 207.4, 207.6, 790.88(a)</u>	<u>No density limit.</u>		
	<u>Residential Density, Group Housing</u>	<u>§§ 207.1, 790.88(b)</u>	<u>No density limit.</u>		
	<u>Usable Open Space [Per Residential Unit]</u>	<u>§§ 135, 136</u>	<u>Generally, either 80 sq. ft if private, or 100 sq. ft. if common § 135(d)</u>		
	<u>Off-Street Parking, Residential</u>	<u>§§ 145.1, 150, 151.1, 153--157, 159--160, 166, 167, 204.5</u>	<u>None required. P up to 0.5 parking spaces per unit; C up to 0.75 parking spaces per unit. §§ 151.1, 166, 167, 145.1</u>		
	<u>Community Residential Parking</u>	<u>§§ 145.1, 151.1(f), 155(r), 166, 790.10</u>	<u>NP</u>		

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SEC. 739.1. REGIONAL COMMERCIAL DISTRICT

The Regional Commercial District (RCD) is located along.....

Table 739

REGIONAL COMMERCIAL DISTRICT

ZONING CONTROL TABLE

			<u>Regional Commercial</u>
<u>No.</u>	<u>Zoning Category</u>	<u>§ References</u>	<u>Controls</u>
<u>BUILDING STANDARDS</u>			
	<u>Height and Bulk Limit</u>	<u>§§ 102.12, 105, 106, 250--252, 260, 263.18, 270, 271</u>	<u>55-X, 65-X. See Sectional Zoning Maps 1 and 7. Height sculpting required on narrow streets, §261.1</u>
	<u>Lot Size [Per Development]</u>	<u>§§ 790.56, 121.1</u>	<u>P up to 10,000 sq. ft. C above 10,000 sq. ft. § 121.1</u>
	<u>Rear Yard</u>	<u>§§ 130, 134, 136</u>	<u>Required at all levels § 134(a) (e)</u>
	<u>Street Frontage, Above-Grade</u> <u>Parking Setback and Active Uses</u>	<u>§ 145.1</u>	<u>Minimum 25 feet on ground floor, 15 feet on floors above</u>



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<u>Street Frontage, Required</u>	<u>§ 145.4</u>	<u>Requirements apply.</u>
<u>Ground Floor Commercial</u>		
<u>Street Frontage, Parking and</u>	<u>§ 155(r)</u>	<u>Requirements apply.</u>
<u>Loading access restrictions</u>		
<u>Awning</u>	<u>§ 790.20</u>	<u>P§ 136.1(a)</u>
<u>Canopy</u>	<u>§ 790.26</u>	<u>P § 136.1(b)</u>
<u>Marquee</u>	<u>§ 790.58</u>	<u>P § 136.1(c)</u>
<u>Street Trees</u>	<u>§ 138.1</u>	<u>Required</u>
<u>COMMERCIAL AND INSTITUTIONAL STANDARDS AND USES</u>		
<u>Floor Area Ratio</u>	<u>§§ 102.9, 102.11,</u> <u>123</u>	<u>2.5 to 1 § 124(a) (b)</u>
<u>Use Size [Non-Residential]</u>	<u>§ 790.130</u>	<u>P up to 10,000 sq. ft.; C</u> <u>above; NP above 25,000</u> <u>sq. ft § 121.2</u>
<u>Off-Street</u> <u>Parking, Commercial/Institution</u> <u>al</u>	<u>§§ 150, 151.1, 153-</u> <u>-157, 159--160,</u> <u>166, 204.5</u>	<u>None required. Limits set</u> <u>forth in Section 151.1</u>
<u>Off-Street Freight Loading</u>	<u>§§ 150, 152--155,</u> <u>161(b), 204.5</u>	<u>Generally, none required</u> <u>if gross floor area is less</u> <u>than 10,000 sq. ft.</u>
<u>Outdoor Activity Area</u>	<u>§ 790.70</u>	<u>P at 1<sup>st</sup> and 2<sup>nd</sup> Floors if</u> <u>located in front; C if</u> <u>located elsewhere §</u>

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			<u>145.2(a)</u>
	<u>Drive-Up Facility</u>	<u>§ 790.30</u>	<u>NP</u>
	<u>Walk-Up Facility</u>	<u>§ 790.140</u>	<u>P if recessed 3 ft.; C if not recessed § 145.2(b)</u>
	<u>Hours of Operation</u>	<u>§ 790.48</u>	<u>P 6 a.m.--2 a.m. C 2 a.m.-6 a.m.</u>
	<u>General Advertising Sign</u>	<u>§§ 262, 602--604, 608, 609</u>	<u>NP</u>
	<u>Business Sign</u>	<u>§§ 262, 602--604, 608, 609</u>	<u>P § 607.1(f)(2)</u>
	<u>Other Signs</u>	<u>§§ 262, 602--604, 608, 609</u>	<u>P § 607.1(c) (d) (g)</u>

<u>No.</u>	<u>Zoning Category</u>	<u>§ References</u>	<u>Regional Commercial</u>		
			<u>Controls by Story</u>		
			<u>1st</u>	<u>2nd</u>	<u>3rd+</u>
		<u>§ 790.118</u>			
	<u>Residential Conversion</u>	<u>§§ 790.84, 207.7, 317</u>	<u>C</u>	<u>C</u>	<u>—</u>
	<u>Residential Demolition</u>	<u>§§ 790.86, 207.7, 317</u>	<u>C</u>	<u>C</u>	<u>C</u>
	<u>Residential</u>	<u>§ 207.8, 317</u>	<u>C</u>	<u>C</u>	<u>C</u>

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	<u>Division</u>				
<u>Retail Sales and Services</u>					
	<u>Other Retail Sales and Services [Not Listed Below]</u>	<u>§ 790.102</u>	<u>P</u>	<u>P</u>	<u>—</u>
	<u>Bar</u>	<u>§ 790.22</u>	<u>P</u>	<u>—</u>	<u>—</u>
	<u>Full-Service Restaurant</u>	<u>§ 790.92</u>	<u>P up to 10,000 gsf per lot; NP above</u>	<u>—</u>	<u>—</u>
	<u>Large Fast Food Restaurant</u>	<u>§ 790.90</u>	<u>P up to 10,000 gsf per lot; NP above</u>	<u>—</u>	<u>—</u>
	<u>Small Self-Service Restaurant</u>	<u>§ 790.91</u>	<u>P</u>	<u>—</u>	<u>—</u>
	<u>Liquor Store</u>	<u>§ 790.55</u>	<u>C</u>	<u>—</u>	<u>—</u>
	<u>Movie Theater</u>	<u>§ 790.64</u>		<u>—</u>	<u>—</u>
	<u>Adult Entertainment</u>	<u>§ 790.36</u>	<u>—</u>	<u>—</u>	<u>—</u>
	<u>Other Entertainment</u>	<u>§ 790.38</u>		<u>—</u>	<u>—</u>
	<u>Services, Professional; Services, Financial;</u>	<u>§§ 790.110, 790.114, 790.116</u>	<u>P when primarily open to the general public on a client- oriented basis;</u>	<u>—</u>	<u>—</u>

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	<u>Services, Medical</u>		<u>subject to the use size limits in Section 738.21.</u>		
	<u>Limited Financial Service</u>	<u>§ 790.112</u>		—	—
	<u>Business or Professional Service</u>	<u>§ 790.108</u>			—
	<u>Massage Establishment</u>	<u>§ 790.60, § 1900 Health Code</u>	<u>C</u>	<u>C</u>	—
	<u>Tourist Hotel</u>	<u>§ 790.46</u>			—
	<u>Automobile Parking</u>	<u>§§ 790.8, 790.10, 158.1, 160, 166,</u>	<u>C; subject to criteria of Sec. 158.1.</u>		
	<u>Automotive Gas Station</u>	<u>§ 790.14</u>	—	—	—
	<u>Automotive Service Station</u>	<u>§ 790.17</u>	—	—	—
	<u>Automotive Repair</u>	<u>§ 790.15</u>	<u>C with no ingress/egress onto alleys, as defined in the Western SoMa</u>	—	—

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			<u>Community Plan, containing RED or RED-MX Districts</u>		
	<u>Automotive Wash</u>	<u>§ 790.18</u>	—	—	—
	<u>Automobile Sale or Rental</u>	<u>§ 790.12</u>	—	—	—
	<u>Animal Hospital</u>	<u>§ 790.6</u>		—	—
	<u>Animal Services</u>	<u>§ 224(c)</u>	<u>P for grooming and daycare only. No 24 hour care.</u>		
	<u>Ambulance Service</u>	<u>§ 790.2</u>	—	—	—
	<u>Mortuary</u>	<u>§ 790.62</u>			—
	<u>Trade Shop</u>	<u>§ 790.124</u>	<u>P</u>	<u>C</u>	—
	<u>Storage</u>	<u>§ 790.117</u>	—	—	—
	<u>Fringe Financial</u>	<u>§ 790.111</u>			
	<u>Neighborhood Agriculture</u>	<u>§ 102.35(a)</u>	<u>P</u>	<u>P</u>	<u>P</u>
	<u>Large-Scale Urban Agriculture</u>	<u>§ 102.35(b)</u>	<u>C</u>	<u>C</u>	<u>C</u>
<u>Institutions and Non-Retail Sales and Services</u>					
<u>739.</u>	<u>Administrative</u>	<u>§ 790.106</u>	<u>P on first or second</u>	<u>P on first</u>	—

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<u>61</u>	<u>Service</u>		<u>floor, but not both</u>	<u>or second floor, but not both</u>	
<u>739.62</u>	<u>Assembly and Social Service</u>	<u>§ 790.50(a)</u>	<u>C</u>	<u>C</u>	<u>C</u>
<u>739.63</u>	<u>Child Care</u>	<u>§§ 790.50(b), 790.51(a)</u>	<u>P for 12 or fewer. C for 13 or more.</u>	<u>P for 12 or fewer. C for 13 or more.</u>	
<u>739.64</u>	<u>Hospital or Medical Center</u>	<u>§ 790.44</u>	—	—	—
<u>739.65</u>	<u>Public Use</u>	<u>§ 790.80</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>739.66</u>	<u>Medical Cannabis Dispensary</u>	<u>§ 790.141</u>	—	—	—
<u>739.67</u>	<u>Religious Facility</u>	<u>§ 790.50(d)</u>			
<u>739.68</u>	<u>Residential Care, Small</u>	<u>§ 790.51(b)</u>		<u>C</u>	<u>C</u>
<u>RESIDENTIAL STANDARDS AND USES</u>					
<u>739.69</u>	<u>Residential Use</u>	<u>§§ 145.4, 790.88</u>	<u>P, except NP for frontages listed in</u>	<u>P</u>	<u>P</u>

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			<u>145.4 and on lots with more than 25ft of street frontage</u>		
<u>739.70</u>	<u>Group Housing</u>	<u>§§ 145.4, 790.88</u>	<u>C, except NP for frontages listed in 145.4 and on lots with more than 25ft of street frontage</u>	<u>C</u>	<u>C</u>
<u>739.71</u>	<u>SRO Housing</u>	<u>§§ 145.4, 823, 890.88(c)</u>		<u>P</u>	<u>P</u>
<u>739.72</u>	<u>Student Housing</u>	<u>§§ 145.4, 401</u>			
<u>739.73</u>	<u>Residential Density, Dwelling Units</u>	<u>§§ 207, 207.1, 207.4, 207.6, 790.88(a)</u>	<u>No density limit.</u>		
<u>739.74</u>	<u>Residential Density, Group Housing</u>	<u>§§ 207.1, 790.88(b)</u>	<u>No density limit.</u>		
<u>739.75</u>	<u>Usable Open Space [Per Residential Unit]</u>	<u>§§ 135, 136</u>	<u>Generally, either 80 sq. ft if private, or 100 sq. ft. if common § 135(d)</u>		
<u>739.76</u>	<u>Off-Street Parking, Residential</u>	<u>§§ 145.1, 150, 151.1, 153--157, 159--160,</u>	<u>None required. P up to 0.5 parking spaces per unit; C up to 0.75 parking spaces per unit. §§ 151.1, 166, 167, 145.1</u>		

		<u>166, 167</u>			
		<u>204.5</u>			
		§§			
	<u>Community</u>	<u>145.1, 151.1(f</u>	<u>C; subject to</u>		
	<u>Residential</u>	<u>), 155(r).</u>	<u>criteria of Sec.</u>		
<u>739.</u>	<u>Parking</u>	<u>158.1, 166.</u>	<u>158.1.</u>		
<u>77</u>		<u>790.10</u>			

SEC. 802.1. MIXED USE DISTRICTS.

The following districts are established for the purpose of implementing the Residence Element, the Commerce and Industry Element, the Downtown Plan, the Chinatown Plan, the Rincon Hill Plan, the South of Market Plan, the East SoMa Plan, the Mission Plan, the Showplace Square/Potrero Hill Plan, and the Central Waterfront Plan, all of which are parts of the General Plan. Description and Purpose Statements outline the main functions of each Mixed Use District in this Article, supplementing the statements of purpose contained in Section 101 of this Code.

Description and purpose statements applicable to each district are set forth in Sections 810 through 843 of this Code. The boundaries of the various Mixed Use Districts are shown on the Zoning Map referred to in Section 105 of this Code, subject to the provisions of that Section. The following Districts are hereby established as Mixed Use Districts.

Districts	Section Number
Chinatown - Community Business District	§ 810
Chinatown - Visitor Retail District	§ 811



1	Chinatown - Residential Neighborhood Commercial District	§ 812
2	RED - Residential Enclave District	§ 813
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4	SPD - South Park District	§ 814
5	RSD - Residential/Service District	§ 815
6	SLR - Service/Light Industrial/Residential District	§ 816
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8	SLI - Service/Light Industrial District	§ 817
9	SSO - Service/Secondary Office District	§ 818
10	RH - DTR - Rincon Hill Downtown Residential District	§ 827
11		
12	SB-DTR - South Beach Downtown Residential District	§ 829
13	MUG - Mixed Use-General District	§ 840
14	MUR - Mixed Use-Residential District	§ 841
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16	MUO - Mixed Use-Office District	§ 842
17	UMU - Urban Mixed Use District	§ 843
18	<i><u>WMUG – WSoMa Mixed Use-General District</u></i>	<i><u>§ 844</u></i>
19		
20	<i><u>WMUO – WSoMa Mixed Use-Office District</u></i>	<i><u>§ 845</u></i>
21	<i><u>SALI – Service/Arts/Light Industrial District</u></i>	<i><u>§ 846</u></i>
22	<i><u>RED-MX – Residential Enclave-Mixed District</u></i>	<i><u>§ 847</u></i>

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SEC. 802.4. EASTERN NEIGHBORHOODS MIXED USE DISTRICTS.

1 Throughout the Planning Code, the term "Eastern Neighborhoods Mixed Use Districts"  
2 refers to the following districts: Residential Enclave District (RED), Residential Enclave – Mixed  
3 District (RED-MX), Mixed Use - General (MUG), WSoMa Mixed Use – General (WMUG), Mixed  
4 Use - Office (MUO), WSoMa Mixed Use – Office (WMUO), Mixed Use - Residential (MUR),  
5 South Park District (SPD), Service/Arts/Light Industrial District (SALI), and Urban Mixed Use  
6 (UMU).

7  
8 SEC. 802.5. SOUTH OF MARKET MIXED USE DISTRICTS.

9 Throughout the Planning Code, the term "South of Market Mixed Use Districts" refers  
10 to the following districts: ~~Residential Enclave District (RED)~~, Residential/Service District (RSD),  
11 Service/Light Industrial (SLI), Service/Light Industrial/Residential (SLR), and  
12 Service/Secondary Office (SSO).

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14 SEC. 803.3. USES PERMITTED IN EASTERN NEIGHBORHOODS MIXED USE DISTRICTS  
15 AND SOUTH OF MARKET USE MIXED USE DISTRICTS.

16 (a) Use Categories. A use is the specified purpose for which a property or building is used,  
17 occupied, maintained, or leased. Whether or not a use is permitted in a specific Eastern  
18 Neighborhood Mixed Use District and South of Market Mixed Use District is generally set  
19 forth, summarized or cross-referenced in Sections 813.3 through 818 and 840 through ~~843~~ 847  
20 of this Code for each district class.

21 (b) Use Limitations. Uses in Eastern Neighborhood Mixed Use Districts and South of  
22 Market Mixed Use Districts are either permitted, conditional, accessory, temporary or are not  
23 permitted.

1 (1) Permitted Uses. If there are two or more uses in a structure, any use not  
2 classified below under Section 803.3(b)(1)(C) of this Code as accessory will be considered  
3 separately as an independent permitted, conditional, temporary or not permitted use.

4 (A) Principal Uses. Principal uses are permitted as of right in an Eastern  
5 Neighborhood Mixed Use District and South of Market Mixed Use District, when so indicated  
6 in Sections 813 through 818 and 840 through ~~843~~ 847 of this Code for the district. Additional  
7 requirements and conditions may be placed on particular uses as provided pursuant to  
8 Section 803.5 through 803.9 and other applicable provisions of this Code.

9 (B) Conditional Uses. Conditional uses are permitted in an Eastern Neighborhood  
10 Mixed Use District and South of Market Mixed Use District, when authorized by the Planning  
11 Commission; whether a use is conditional in a given district is generally indicated in Sections  
12 813 through 818 and 840 through ~~843~~ 847 of this Code. Conditional uses are subject to the  
13 applicable provisions set forth in Sections 178, 179, 263.11, 303, 316.8, and 803.5 through  
14 803.9 of this Code.

15 (i) An establishment which sells beer or wine with motor vehicle fuel is a  
16 conditional use, and shall be governed by Section 229.

17 (ii) Notwithstanding any other provision of this Article, a change in use or  
18 demolition of a movie theater use, as set forth in Section 890.64, shall require conditional use  
19 authorization. This Section shall not authorize a change in use if the new use or uses are  
20 otherwise prohibited.

21 (iii) Notwithstanding any other provision of this Article, a change in use or  
22 demolition of a general grocery store use, as set forth in Section 890.102(a) and as further  
23 defined in Section 790.102(a), shall require conditional use authorization. This Subsection  
24 shall not authorize a change in use if the new use or uses are otherwise prohibited.

1 (iv) Large-Scale Urban Agriculture, as defined in Section 102.35(b), shall  
2 require conditional use authorization.

3 (C) Accessory Uses. Subject to the limitations set forth below and in Sections  
4 204.1 (Accessory Uses for Dwelling Units in R and NC Districts), 204.2 (Accessory Uses for  
5 Uses Other Than Dwellings in R Districts); 204.4 (Dwelling Units Accessory to Other Uses),  
6 and 204.5 (Parking and Loading as Accessory Uses) of this Code, an accessory use is a  
7 related minor use which is either necessary to the operation or enjoyment of a lawful principal  
8 use or conditional use, or is appropriate, incidental and subordinate to any such use, and shall  
9 be permitted as an accessory use in an Eastern Neighborhoods Mixed Use District and South  
10 of Market Mixed Use District. In order to accommodate a principal use which is carried out by  
11 one business in multiple locations within the same general area, such accessory use need not  
12 be located in the same structure or lot as its principal use provided that (1) the accessory use  
13 is located within 1,000 feet of the principal use; and (2) the multiple locations existed on April  
14 6, 1990 (the effective date of this amendment). Accessory uses to non-office uses (as defined  
15 in Section 890.70) may occupy space which is non-contiguous or on a different story as the  
16 principal use so long as the accessory use is located in the same building as the principal use  
17 and complies with all other restrictions applicable to such accessory uses. Any use which  
18 does not qualify as an accessory use shall be classified as a principal use.

19 No use will be considered accessory to a principal use which involves or requires  
20 any of the following:

21 (i) The use of more than one-third of the total occupied floor area which is  
22 occupied by both the accessory use and principal use to which it is accessory, combined,  
23 except in the case of accessory off-street parking or loading which shall be subject to the  
24 provisions of Sections 151, 156 and 157 of this Code;

1 (ii) A hotel, motel, inn, hostel, nighttime entertainment, adult entertainment,  
2 massage establishment, large fast food restaurant, or movie theater use in a RED, RED-MX,  
3 SPD, RSD, SLR, SLI, SSO, DTR, MUG, WMUG, MUR, MUO, WMUO, SALI or UMU District;

4 (iii) Any take-out food use, except for a take-out food use which occupies 100  
5 square feet or less (including the area devoted to food preparation and service and excluding  
6 storage and waiting areas) in a restaurant, bar, catering establishment, bakery, retail grocery  
7 or specialty food store.

8 (iv) Any sign not conforming to the limitations of Section 607.2(f)(3).

9 (v) Medical Cannabis Dispensaries as defined in 890.133.

10 (D) Temporary Uses. Temporary uses not otherwise permitted are permitted in  
11 Eastern Neighborhoods Mixed Use Districts and South of Market Mixed Use Districts to the  
12 extent authorized by Sections 205 through 205.3 of this Code.

13  
14 ~~803.7. PERMIT REVIEW PROCEDURES IN THE WESTERN SOMA PLANNING AREA~~  
15 ~~SPECIAL USE DISTRICT ESTABLISHED PURSUANT TO SECTION 823 OF THIS CODE.~~

16 ~~—All building permit applications for demolition, new construction, alterations which expand~~  
17 ~~the exterior dimensions of a building, or changes in use to a formula retail use as defined in Section~~  
18 ~~803.6 of this Code, a bar as defined in Section 890.22, a walk-up facility as defined in Section 890.140,~~  
19 ~~other institution as defined in Section 890.50, a full-service restaurant as defined in Section 890.92, a~~  
20 ~~large fast food restaurant as defined in Section 890.91, a small fast food restaurant as defined in~~  
21 ~~Section 890.90, a massage establishment as defined in Section 890.60, an outdoor activity area as~~  
22 ~~defined in Section 890.71, or an adult or other entertainment use as defined in Sections 890.36 and~~  
23 ~~890.37, respectively, shall be subject to the notification and review procedures required by Section 312~~  
24 ~~of this Code.~~

1 SEC. 803.9. COMMERCIAL USES IN MIXED USE DISTRICTS.

2 (a) Preservation of Landmark Buildings, Significant or Contributory Buildings Within the  
3 Extended Preservation District and/or Contributory Buildings Within Designated Historic  
4 Districts within the South of Market Mixed Use Districts. Within the South of Market Mixed Use  
5 District, any use which is permitted as a principal or conditional use within the SSO District,  
6 excluding nighttime entertainment use, may be permitted as a conditional use in (a) a  
7 landmark building located outside a designated historic district, (b) a contributory building  
8 which is proposed for conversion to office use of an aggregate gross square footage of 25,000  
9 or more per building and which is located outside the SSO District yet within a designated  
10 historic district, or (c) a building designated as significant or contributory pursuant to Article 11  
11 of this Code and located within the Extended Preservation District. For all such buildings the  
12 following conditions shall apply: (1) the provisions of Sections 316 through 318 of this Code  
13 must be met; (2) in addition to the conditional use criteria set out in Sections 303(c)(6) and  
14 316 through 316.8, it must be determined that allowing the use will enhance the feasibility of  
15 preserving the landmark, significant or contributory building; and (3) the landmark, significant  
16 or contributory building will be made to conform with the San Francisco Building Code  
17 standards for seismic loads and forces which are in effect at the time of the application for  
18 conversion of use.

19 A contributory building which is in a designated historic district outside the SSO District  
20 may be converted to any use which is a principal use within the SSO District provided that: (1)  
21 such use does not exceed an aggregate square footage of 25,000 per building; and (2) prior  
22 to the issuance of any necessary permits the Zoning Administrator (a) determines that  
23 allowing the use will enhance the feasibility of preserving the contributory building; and (b) the  
24 contributory building will be made to conform with the San Francisco Building Code standards  
25

1 for seismic loads and forces which are in effect at the time of the application for conversion of  
2 use.

3 (b) Preservation of Historic Buildings within the WMUG, WMUO, SALI, MUG, MUO, and  
4 MUR Districts. The following controls are intended to support the economic viability of  
5 buildings of historic importance within the WMUG, WMUO, SALI, MUG, MUO, and MUR  
6 Districts.

7 (1) This subsection applies only to buildings that are a designated landmark building  
8 or a contributory building within a designated historic district per Article 10 of the Planning  
9 Code, or a building listed on or determined eligible for the California Register of Historical  
10 Resources by the State Office of Historic Preservation.

11 (2) All uses are permitted as of right, provided that:

12 (A) The project does not contain office uses of 25,000 square foot or more per lot,  
13 or nighttime entertainment.

14 (B) Prior to the issuance of any necessary permits, the Zoning Administrator, with  
15 the advice of the Landmarks Preservation Advisory Board, determines that allowing the use  
16 will enhance the feasibility of preserving the building.

17 (C) Residential uses meet the affordability requirements of the Residential  
18 Inclusionary Affordable Housing Program set forth in Section ~~34~~15.1 through ~~34~~15.9.

19 (3) Projects containing office use of 25,000 square foot or more per lot may be  
20 permitted as a conditional use. In addition to the conditional use criteria set forth in Section  
21 303, and with the advice of the Landmarks Preservation Advisory Board, the Planning  
22 Commission must find that allowing the use will enhance the feasibility of preserving the  
23 building.

1 (4) The Landmarks Preservation Advisory Board shall review the proposed project for  
2 compliance with the Secretary of the Interior's Standards, (36 C.F.R. § 67.7 (2001)) and any  
3 applicable provisions of the Planning Code.

4 (c) Preservation of Historic Buildings within and UMU Districts. The following rules are  
5 intended to support the economic viability of buildings of historic importance within the UMU  
6 District.

7 (1) This subsection applies only to buildings that are a designated landmark building,  
8 or a building listed on or determined eligible for the California Register of Historical Resources  
9 by the State Office of Historic Preservation.

10 (2) All uses are permitted as of right, provided that:

11 (A) The project does not contain office uses of 25,000 square foot or more per lot,  
12 or nighttime entertainment.

13 (B) Prior to the issuance of any necessary permits, the Zoning Administrator, with  
14 the advice of the Landmarks Preservation Advisory Board, determines that allowing the use  
15 will enhance the feasibility of preserving the building.

16 (C) Residential uses meet the affordability requirements of the Residential  
17 Inclusionary Affordable Housing Program set forth in Section 315.1 through 315.9.

18 (3) Projects containing office use of 25,000 square foot or more per lot may be  
19 permitted as a conditional use. In addition to the conditional use criteria set forth in Section  
20 303, with the advice of the Landmarks Preservation Advisory Board, the Planning  
21 Commission must find that allowing the use will enhance the feasibility of preserving the  
22 building.

23 (4) The Landmarks Preservation Advisory Board shall review the proposed project for  
24 compliance with the Secretary of the Interior's Standards, (36 C.F.R. § 67.7 (2001)) and any  
25 applicable provisions of the Planning Code.



1 (d) Automated Bank Teller Machines Within South of Market Districts. All automated  
2 bank teller machines (ATMs), whether freestanding structures or walk-up facilities associated  
3 with retail banking operations, shall have adequate lighting, waste collection facilities and  
4 parking resources and shall be set back three feet from the front property line.

5 (e) Open Air Sales. Flea markets, farmers markets, crafts fairs and all other open air  
6 sales of new or used merchandise except vehicles, within South of Market Mixed Use and  
7 Eastern Neighborhoods Mixed Use Districts, where permitted, shall be subject to the following  
8 requirements: (1) the sale of goods and the presence of booths or other accessory  
9 appurtenances shall be limited to weekend and/or holiday daytime hours; (2) sufficient  
10 numbers of publicly-accessible toilets and trash receptacles shall be provided on-site and  
11 adequately maintained; and (3) the site and vicinity shall be maintained free of trash and  
12 debris.

13 (f) Legal and Government Office Uses in the Vicinity of the Hall of Justice. Within an  
14 approximately 300-foot radius of the 800 Bryant Street entrance to the Hall of Justice, and  
15 Assessor's Block 3780, Lots 1 and 2, as shown on Sectional Map 8SU of the Zoning Map, the  
16 offices of attorneys, bail and services, government agencies, union halls, and other criminal  
17 justice activities and services directly related to the criminal justice functions of the Hall of  
18 Justice shall be permitted as a principal use. There shall be a Notice of Special Restriction  
19 placed on the property limiting office activities to uses permitted by this Subsection.

20 (g) Work Space of Design Professionals. The work space of design professionals, as  
21 defined in Section 890.28 of this Code, shall be permitted as a principal use within the SLR,  
22 RSD and SLI Districts provided that, as a condition of issuance of any necessary permits, the  
23 owner(s) of the building shall agree to comply with the following provisions: (1) The occupied  
24 floor area devoted to this use per building is limited to the third story or above; (2) The gross  
25 floor area devoted to this use per building does not exceed 3,000 square feet per design

1 professional establishment; (3) The space within the building subject to this provision has not  
2 been in residential use within a legal dwelling unit at any time within a five-year period prior to  
3 application for conversion under this Subsection; and (4) The owner(s) of the building comply  
4 with the following enforcement and monitoring procedures; (i) The owner(s) of any building  
5 with work space devoted to design professional use as authorized pursuant to this Subsection  
6 shall submit an annual enforcement report to the Department of City Planning with a fee in an  
7 amount to be determined periodically by the City Planning Commission to pay for the cost of  
8 enforcement of this Subsection. The fee shall not exceed the amount of such costs. The  
9 report shall provide information regarding occupants of such space, the amount of square  
10 footage of the space used by each design professional establishment, amount of vacant  
11 space, compliance with all relevant City codes, and any other information the Zoning  
12 Administrator may require to fulfill the intent of this Subsection; (ii) The owner(s) of any  
13 building containing work space of design professionals authorized pursuant to this Subsection  
14 shall permit inspection of the premises by an authorized City official to determine compliance  
15 with the limitations of this Subsection. The City shall provide reasonable notice to owners prior  
16 to inspecting the premises; (iii) The owner(s) of any building containing work space of design  
17 professionals authorized pursuant to this Subsection shall record a Notice of Special  
18 Restriction, approved by the City Planning Department prior to recordation, on the property  
19 setting forth the limitations required by this Subsection. The Department of City Planning shall  
20 keep a record available for public review of all space for design professionals authorized by  
21 this Subsection.

22 (h) Vertical Controls for Office Uses.

23 (1) Purpose. In order to preserve ground floor space for production, distribution, and  
24 repair uses and to allow the preservation and enhancement of a diverse mix of land uses,  
25

1 including limited amounts of office space on upper stories, additional vertical zoning controls  
2 shall govern office uses as set forth in this Section.

3 (2) Applicability. This Section shall apply to all office uses in the MUG and UMU  
4 Districts, where permitted.

5 (3) Definitions. Office use shall be as defined in Section 890.70 of this Code.

6 (4) Controls.

7 (A) Designated Office Story or Stories. Office uses are not permitted on the  
8 ground floor. Office uses may be permitted on stories above the ground floor if they are  
9 designated as office stories. On any designated office story, office uses are permitted, subject  
10 to any applicable use size limitations. On any story not designated as an office story, office  
11 uses are not permitted.

12 (B) Timing of designation. In the case of new construction, any designated office  
13 story or stories shall be established prior to the issuance of a first building permit or along with  
14 any associated Planning Commission action, whichever occurs first. In the case of buildings  
15 that were constructed prior to the effective date of this Section, any such story or stories shall  
16 be designated prior to the issuance of any building permit for new or expanded office uses or  
17 along with any associated Planning Commission action, whichever occurs first.

18 (C) Recordation of designation. Notice of the designation of office stories shall be  
19 recorded as a restriction on the deed of the property along with plans clearly depicting the  
20 designated story or stories in relation to the balance of the building. A designated office story  
21 may only be re-allocated when the designated office story is first returned to a permitted non-  
22 office use and associated building modifications to the designated office story are verified by  
23 the Zoning Administrator.

24 (D) Maximum Number of Designated Stories. The maximum number of  
25 designated office stories shall correspond to the total number of stories in a given building, as

set forth in the table below. The designation of a particular story shall apply to the total floor area of that story and no partial designation, split designation, or other such subdivision of designated floors shall be permitted. For the purposes of the following table, the total number of stories in a given building shall be counted from grade level at curb and shall exclude any basements or below-grade stories.

Table 803.9(h)

Total Number of Stories	Maximum Number of Designated Office Stories
1-story	0 stories (office use NP)
2 - 4 stories	1-story
5 - 7 stories	2-stories
8 or more stories	3-stories

(E) For projects with multiple buildings, consolidation of permitted office stories may be permitted, pursuant to the controls set forth in 329(d)(8).

(i) Retail Controls in the MUG, MUO, and UMU Districts. In the MUG, MUO, and UMU District, up to 25,000 gross square feet of retail use (as defined in Section 890.114 of this Code) is permitted per lot. Above 25,000 gross square feet, three gross square feet of other uses permitted in that District are required for every one gross square foot of retail. In the UMU District, gyms, as defined in Sec. 218(d), are exempt from this requirement.

SEC. 813. – RED—RESIDENTIAL ENCLAVE DISTRICT.

Residential Enclave Districts (RED), along with Residential Enclave-Mixed Districts (RED-MX), encompass the clusters of low-scale, medium density, predominantly residential

1 neighborhoods located along the narrow side streets of *the SLR and MUR Districts Eastern and*  
 2 *Western SoMa*. Within these predominantly residential enclaves lie a number of vacant parcels,  
 3 parking lots and other properties in open storage use. These properties are undeveloped or  
 4 underdeveloped and are viewed as opportunity sites for new, moderate-income, in-fill  
 5 housing.

6 The zoning controls for this district are tailored to the design needs and neighborhood  
 7 characteristics of these enclaves and are intended to encourage and facilitate the  
 8 development of attractive, compatible and economically feasible in-fill housing while providing  
 9 adequate residential amenities to the site and neighborhood.

10 Dwelling units are permitted as a principal use. ~~*Social services and institutional uses are permitted*~~  
 11 ~~*as conditional uses. Group housing, retail, entertainment, general commercial and services light*~~  
 12 ~~*industrial uses*~~ *Nonresidential uses, except art related activities* are not permitted, *except for certain*  
 13 *uses in historic buildings*. Existing commercial activities in nonresidential structures may  
 14 continue as nonconforming uses subject to the termination requirements of Sections 185 and  
 15 186. ~~*Live/work units limited to arts activities are permitted within the district as a principal use.*~~  
 16 ~~*Existing live/work units with other nonresidential uses may continue as nonconforming uses.*~~

17  
 18 Table 813  
 19 RED—RESIDENTIAL ENCLAVE DISTRICT  
 20 ZONING CONTROL TABLE

			Residential Enclave
No.	Zoning Category	§ References	Controls

1 BUILDING STANDARDS

2	813.01	Height	See Zoning Map	Generally 40 <u>to 45</u> feet See Sectional Zoning Maps 1 and 7
3	813.02	Bulk	§ 270	See Sectional Zoning Maps 1 and 7

9 USE STANDARDS

10	813.03	Residential Density	§§ 124(b), <del>207.5</del> , 208	<i>No density limit <del>1:400</del> for dwelling units; <del>1</del> bedroom for each <del>140 sq. ft. of lot</del> area for group housing</i>
11	813.04	Non-Residential Density	§§ 102.9, 123, 124, 127	Generally, 1.0 to 1 floor area ratio
12	813.05	Usable Open Space for Dwelling Units and Group Housing	§§ 135, <u>823</u>	<i><u>80 sq. ft. per</u> <u>unit</u> <del>60 sq. ft. per</del> <del>unit, if private, 80</del> <del>sq. ft. if common</del></i>

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813.06	Usable Open Space for Live/Work Units in Newly Constructed Buildings or Additions	§ 135.2	36 sq. ft. per unit
813.07	Usable Open Space for Other Uses	§ 135.3	Varies by use
813.09	Outdoor Activity Area	§ 890.71	<u>NP P</u>
813.10	Walk-up Facility, <del>except Automated Bank Teller Machine</del>	§ 890.140	<u>NP P</u>
<del>13.11</del> &	<del>Automated Bank Teller Machine</del>	<del>§ 803.9(d)</del>	<del>NP</del>
813.12	Residential Conversion	§ <del>803.8(a)</del> <u>317</u>	<u>C, NP in Landmark Buildings or Contributory Buildings in Historic Districts</u>
813.13	Residential Demolition	§ <del>803.8(a)</del> <u>317</u>	C
USES			
Residential Use			
813.14	Dwelling Units	§ 102.7	P
813.15	Group Housing	§ 890.88(b)	NP
813.16	SRO Units	§§ 890.88(c), <u>823</u>	<u>NP P</u>
Institutions			

1	813.17	Hospital, Medical Centers	§ 890.44	NP
2	813.18	Residential Care	§ 890.50(e)	<u>NP</u> €
3	813.19	Educational Services	§ 890.50(c)	<u>NP</u> €
4	813.20	Religious Facility	§ 890.50(d)	<u>NP</u> €
5		Assembly and Social Service,		
6	813.21	except Open Recreation or	§ 890.50(a)	<u>NP</u> €
7		Horticulture		
8				
9	813.22	Child Care	§ 890.50(b)	<u>NP</u> P
10		Medical Cannabis		
11	813.23	Dispensary	§ 890.133	<u>NP</u> P#
12	Vehicle Parking			
13		Automobile Parking		
14	813.25	Lot, Community Residential	§ 890.7	<u>NP</u> P
15		Automobile Parking		
16	813.26	Garage, Community	§ 890.8	<u>NP</u> €
17		Residential		
18		Automobile Parking		
19	813.27	Lot, Community	§ 890.9	<u>NP</u> P
20		Commercial		
21		Automobile Parking		
22	813.28	Garage, Community	§ 890.10	<u>NP</u> €
23		Commercial		
24		Automobile Parking Lot,		
25	813.29		§ 890.11	<u>NP</u> P



1		Public		
2	813.30	Automobile Parking Garage, Public	§ 890.12	<u>NP</u> €
3				
4	Retail Sales and Service			
5	813.31	All Retail Sales and Service except per § 813.32	§ 890.104	NP
6				
7	813.32	Retail Sales and Service Use in a Landmark Building or a Contributory Building in an Historic District	§ 803.9( <u>eb</u> )	C
8				
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11				
12	Assembly, Recreation, Arts and Entertainment			
13	813.37	Nighttime Entertainment	§§ 102.17, 803.5(b), <u>823</u>	NP
14				
15	813.38	Meeting Hall, not within § 813.21	§ 221(c)	NP
16				
17	813.39	Recreation Building, not within § 813.21	§ 221(e)	NP
18				
19	813.40	Pool Hall, Card Club, not within § 813.21	§§ 221(f), 803.4	NP
20				
21	813.41	Theater, falling within § 221(d), except Movie Theater	§§ 221(d), 890.64	NP
22				
23				
24				
25	Home and Business Service			

1	813.42	Trade Shop	§ 890.124	NP
2	813.43	Catering Services	§ 890.25	NP
3	813.45	Business Goods and	§ 890.23	NP
4		Equipment Repair Service		
5	813.46	Arts Activities	§ 102.2	<u>C</u> <del>NP</del>
6	813.47	Business Services	§ 890.111	NP
7	Office			
8	813.48	Office Uses in Landmark	§ 803.9( <del>a</del> <u>b</u> )	C
9		Buildings or Contributory		
10		Buildings in Historic Districts		
11	813.53	All Other Office Uses	§ 890.70	NP
12	Live/Work Units			
13	813.54	Live/Work Unit where the	§§ 102.2, 102.13, 209.9(f), (g), 233	<u>NP</u> <del>P</del>
14		Work Activity is an Arts		
15		Activity		
16	813.55	Live/Work Units in Landmark	§ 803.9( <del>a</del> <u>b</u> )	<u>NP</u> <del>C</del>
17		Buildings or Contributory		
18		Buildings in Historic Districts		
19	813.56	All Other Live/Work Units	§§ 102.13, 233	NP
20	Automotive Services			
21	813.57	Vehicle Storage--Open Lot	§ 890.131	NP
22	813.58	Vehicle Storage--	§ 890.132	<u>NP</u> <del>P</del>
23				
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	Enclosed Lot or Structure		
813.59	Motor Vehicle Service Station, Automotive Wash	§§ 890.18, 890.20	NP
813.60	Motor Vehicle Repair	§ 890.15	NP
813.61	Motor Vehicle Tow Service	§ 890.19	NP
813.62	Non-Auto Vehicle Sales or Rental	§ 890.69	NP
813.63	Public Transportation Facility	§ 890.80	NP
Industrial			
813.64	Wholesaling, Storage, Distribution and Open Air Handling of Materials and Equipment, Manufacturing and Processing	§§ 225, 890.54	NP
Other Uses			
813.65	Animal Service	§ 224	NP
813.66	Open Air Sales	§§ 890.38, 803.9(e) e)	NP
813.67	Ambulance Service	§ 890.2	NP
813.68	Open Recreation	§§ 209.5(a), 209.5(b)	P

1		Public Use, except		
2	813.69	Public Transportation	§ 890.80	C
3		Facility		
4		Commercial		
5	813.70	Wireless Transmitting,	§ 227(h)	<u>NP</u> €
6		Receiving or Relay Facility		
7		Greenhouse or Plant		
8	813.71	Nursery	§ 227(a)	NP
9				
10	813.72	Mortuary Establishment	§ 227(c)	NP
11	813.73	General Advertising Sign	§ 607.2(b) & (e)	NP
12	813.74A	Neighborhood Agriculture	§ 102.35(a)	P
13	813.74B	Large-Scale Urban Agriculture	§ 102.35(b)	C

14

15 *~~SPECIFIC PROVISIONS FOR RED DISTRICTS~~*

16

17	<i><del>Article</del></i>	<i><del>Other</del></i>	<i><del>Zoning Controls</del></i>
18	<i><del>Code Section</del></i>	<i><del>Code Section</del></i>	
19			
20			<i><del>Only those medical cannabis dispensaries</del></i>
21	§ 813.23	—	<i><del>that can demonstrate to the Planning Department they</del></i>
22	§ 890.133		<i><del>were in operation as of April 1, 2005 and have</del></i>
23			<i><del>remained in continuous operation or that were not in</del></i>
24			<i><del>continuous operation since April 1, 2005, but can</del></i>
25			<i><del>demonstrate to the Planning Department that the</del></i>

		<p><i>reason for their lack of continuous operation was not closure due to an actual violation of federal, State or local law, may apply for a medical cannabis dispensary permit in an RED District.</i></p>
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SEC. 823. WESTERN SOMA ~~PLANNING AREA~~ SPECIAL USE DISTRICT.

(a) The Western SoMa ~~Planning Area~~ Special Use District, as shown on Section Maps 1SU, 7SU, and 8SU of the Zoning Map, is governed by this Section, Sections 803.6 and 803.7 of this Code, and Board of Supervisors Resolution No. 731-04.

(b) The area of the City known as Western South of Market ("Western SoMa") ~~is currently undergoing~~ underwent a comprehensive community-based planning process pursuant to Resolution No. 731-04, which was adopted by the Board of Supervisors on November 23, 2004. Resolution 731-04 established a 22-member Western SoMa Citizens Planning Task Force charged with advising the Board of Supervisors and Planning Commission on future planning for the area. The Western SoMa ~~Planning Area~~ Special Use District ~~will further recognition of the Western SoMa as a special planning area of the City provides additional controls for properties within its boundaries, as provided below.~~

~~(c) Educational Service uses as defined by Section 890.50(c) in the Western SoMa Planning Area Special Use District are subject to conditional use authorization in accordance with Section 303.~~

(c) Design Standards. The construction of new buildings and alteration of existing buildings in the Western SoMa Special Use District shall be consistent with the design policies and guidelines of the "WSoMa Design Standards" as adopted and periodically amended for specific areas or conditions by the Planning Commission.

1 (d) Controls. All provisions of the Planning Code applicable to the RCD, Folsom Street NCT,  
2 RED, RED-M, WMUG, WMUO, and SALI shall apply except as otherwise provided in this Section.

3 (1) Rear Yard. The requirements applicable to rear yards are as follows:

4 (A) Front setback adjustment in RED-MX. The required rear yard in the RED-MX District  
5 may be reduced to account for the provision of a front setback at a ratio of 1 to 1. However, in no case  
6 shall the rear yard be reduced to less than 15 feet.

7 (B) Modification. Eastern Neighborhood Mixed Use and NC Districts within the Western  
8 SoMa Special Use District are not eligible for rear yard modifications from the Zoning Administrator  
9 pursuant to Sections 134(f), 134(e,) and 307(h) of this Code.

10 (C) Corner Lots. Rear yard modifications for corner lots, pursuant to Section 134(e)(2),  
11 shall be permitted for any corner lot within the Western SoMa Special Use District, regardless of  
12 underlying zoning district.

13 (2) Open Space. The requirements applicable to open space are as follows:

14 (A) Publicly Accessible Open Space. Dwelling units within Eastern Neighborhood Mixed  
15 Use Districts in the Western SoMa Special Use District shall provide 80 square feet of useable open  
16 space regardless of whether the open space is privately or publicly accessible. Off-site, publicly  
17 accessible open space shall not qualify as required common open space pursuant to Section 135 of this  
18 Code.

19 (B) Roof decks. Roof decks shall not qualify as required private or common useable open  
20 space pursuant to Section 135 of this Code. For the purpose of this section, a roof deck shall be defined  
21 as a deck located on the roof of the highest story of a building, or a deck at the highest story of a  
22 building if the enclosed gross floor area of that story is less than 50 percent of the gross square footage  
23 of the footprint of the subject building.

1 (3) Exposure. The dwelling unit exposure requirements of Section 140 of this Code shall apply to  
2 all bedrooms of group housing developments in newly constructed buildings within the Western SoMa  
3 Special Use District.

4 (4) Noncomplying Uses. Legal nonconforming entertainment uses located in a building that is  
5 demolished may be permitted to locate within the newly constructed replacement building on the same  
6 lot, and may expand the gross floor area of the nonconforming use by no more than 25 percent, with a  
7 conditional use authorization pursuant to Section 303 of this Code, and pursuant to the discontinuance  
8 and abandonment controls of Section 183 of this Code.

9 (5) Horizontal Mass Reduction. Horizontal mass reductions, pursuant to Section 270.1 of this  
10 Code, shall only apply in the Western SoMa Special Use District to those projects subject to Large  
11 Project Authorization pursuant to Section 329, regardless of the underlying zoning district.

12 (6) Vertical Architectural Elements. Vertical architectural elements, pursuant to Section 263.21 of  
13 this Code, shall not be permitted in the Western SoMa Special Use District.

14 (7) Good Neighbor Policies. Good Neighbor Policies, pursuant to Section 803.5(b) of this Code,  
15 shall apply throughout the Western SoMa Special Use District regardless of the underlying zoning  
16 district.

17 (8) Single Room Occupancy (SRO) Units. SRO units, as defined in Section 890.88(c) of this Code,  
18 shall have a minimum size of 275 gross square feet within the Western SoMa Special Use District.

19 (9) Recreation Facilities. The requirements applicable to the demolition and replacement of  
20 recreation facilities, as defined in Section 890.81 of this Code, are as follows:

21 (A) Demolition of an existing, publicly accessible recreation facility shall require  
22 conditional use authorization from the Planning Commission, pursuant to Section 303 of this Code.  
23 Publicly accessible, for the purpose of this section, shall mean any recreation facility that offers free or  
24 unrestricted fee-based membership. In granting such conditional use authorization, the Planning  
25 Commission must also find the following:

1 (1) The project sponsor demonstrates that the loss of the publicly accessible  
2 recreational facility and the associated services to the neighborhood or to the population of existing  
3 users can be met by other recreational facilities that:

- 4 (i) are either existing or proposed as part of the associated project;
- 5 (ii) are or will be within the boundaries of the Western SoMa Special Use District; and
- 6 (iii) will provide similar facilities, services, and affordability as the recreational facility  
7 proposed to be removed.

8 (10) Buffers from nighttime entertainment and animal services. The requirements applicable to  
9 nighttime entertainment and 24 hour animal care are as follows:

10 (A) Nighttime entertainment. No portion of a nighttime entertainment use, as defined in  
11 Section 102.17 of this Code, is permitted within 200 linear feet of an existing building containing a  
12 residential use within an RED or RED-MX District.

13 (B) Animal Services. No portion of an animal service use, as defined in Section 224 of this  
14 Code, that operates as a 24-hour facility is permitted within 200 linear feet of an existing building  
15 containing a residential use within an RED or RED-MX District.

16 (11) Educational Services. Educational Services, as defined by Section 890.50(c) of this Code,  
17 shall require conditional use authorization pursuant to Section 303 of this Code.

18 (12) Formula Retail Uses. In addition to existing findings required in the Planning Code for  
19 formula retail uses requiring conditional use authorization in the Western SoMa Special Use District,  
20 the Planning Commission shall consider the following additional criteria.

21 (A) Size. New formula retail uses should maintain the use size characteristics of nearby  
22 retail uses. By nearby the Planning Commission means to evaluate retail uses on the proposed and  
23 opposing block face.

24 (B) Clustering. The Planning Commission will seek to ensure sufficient separation of  
25 formula retail uses and thereby avoid clustering of any formula retail uses in the Western SoMa SUD.



1 By sufficient separation the Planning Commission means to avoid to the greatest extent possible more  
2 than two formula retail uses on either the proposed block face and/or the opposing block face.

3 (C) Use Type. Discourage single, stand-alone formula retail uses, and encourage formula  
4 retail uses to be integrated with non-formula uses in the Western SoMa SUD; Discourage drive-  
5 throughs for formula retail uses; Encourage the integration of pedestrian friendly and publicly  
6 accessible open space in new formula retail use proposals.

7 (D) Location. Discourage auto oriented formula retail uses north of Interstate 80;  
8 Discourage auto oriented formula retail uses in heavily used pedestrian areas (e.g., schools and parks)  
9 or in proximity to existing clusters of residential uses; Encourage pedestrian oriented formula retail  
10 uses in proximity to existing clusters of residential uses.

11 (E) Other. Discourage formula retail uses requiring multiple curb cuts; Discourage  
12 formula retail uses that could increase demand for double parking (legal or illegal); Discourage  
13 exclusive pedestrian entrances to formula retail uses from parking lots and encourage primary retail  
14 entrances from street frontages; Encourage a mix of uses and discourage the sole use of a development  
15 site by formula retail uses and their parking (especially when parking is provided in a surface parking  
16 area); Preferences should be given to new formula retail uses that willingly participate in formalized  
17 local resident job hiring programs.

18 (13) Large Projects. Large projects within the Western SoMa Special Use District shall be subject  
19 to Large Project Authorization pursuant to Section 329 of this Code, regardless of the underlying  
20 zoning district of the subject property.

21 (A) Large Projects that exceed base heights. Projects on development sites greater than .5  
22 acre that are located in split height districts and exceed the base height of the applicable height district  
23 shall require conditional use authorization from the Planning Commission pursuant to Section 303 of  
24 this Code, and shall be subject to the following criteria:

1                   (1) The space-efficient parking criteria of Section 151.1(g)(1)(B)(i) shall only apply to  
2 parking on the ground floor and above, and shall not apply to parking located below grade in basement  
3 levels;

4                   (2) The project shall minimize the impacts of proposed non-residential uses on any  
5 adjacent properties in the RED and RED-MX Districts. Specifically, the following potential conflict  
6 shall be addressed;

7                   (i) Social interaction. Given the diversity of uses and users in Western SoMa, large  
8 developments should appropriately buffer conflicting uses, such as housing and late night uses, and  
9 commercial uses and playgrounds.

10                   (ii) Hours of operation.

11                   (iii) Site access. Avoid loading and vehicular entries near pedestrian entries, open  
12 space, and high traffic areas. Exiting from the variety of spaces should consider where the exits are and  
13 if that would disturb other users on the site.

14                   (iv) Environmental conflicts. Commercial uses that create noise, fumes, and light  
15 shall be designed to minimize any impacts on sensitive users of the site. Buildings shall be designed to  
16 minimize the impact of wind and shadows on open spaces on the subject properties and adjacent  
17 properties.

18                   (v) Architectural design. Locate fenestration, decks, doors, and open spaces to  
19 minimize potential on-site conflicts between uses and users.

20                   (3) Projects on development sites greater than .5 acre, but less than 3 acres, shall be  
21 subject to the Tier B affordable housing requirements of Section 419.3(b)(2) of this Code. The  
22 residential portions of such projects shall also be subject to the Tier 1 Eastern Neighborhood  
23 infrastructure impact fees, regardless of the Tier level of the subject property.

24                   (4) Projects on development sites of 3 acres or greater are permitted to contain up to  
25 24,999 gross square feet of office use, regardless of the controls of the underlying zoning district.

SEC. 844. WMUG— WSOMA MIXED USE – GENERAL DISTRICT

The WSoMa Mixed Use — General (WMUG) District is largely comprised.....

Table 844

WMUG— WSOMA MIXED USE – GENERAL DISTRICT

ZONING CONTROL TABLE

		<u>WSoMa Mixed Use-General District</u>	
<u>No.</u>	<u>Zoning Category</u>	<u>§ References</u>	<u>Controls</u>
<u>Building and Siting Standards</u>			
	<u>Height Limit</u>	<u>See Zoning Map, §§ 260-261.1, 263.20</u>	<u>As shown on Sectional Maps 1 and 7 of the Zoning Map  Height sculpting required on narrow streets, §261.1</u>
	<u>Bulk Limit</u>	<u>See Zoning Map, §§ 270, 270.1, 270.2</u>	<u>As shown on Sectional Maps 1 and 7 of the Zoning Map  Mid-block alleys required, §270.2</u>
	<u>Non-residential density limit</u>	<u>§§ 102.9, 123, 124, 127</u>	<u>Generally contingent upon permitted height, per</u>

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			<u>Section 124</u>
	<u>Setbacks</u>	<u>§§ 136, 136.2, 145.1</u>	<u>Generally not required</u>
	<u>Awnings and Canopies</u>	<u>§§ 136, 136.1, 136.2</u>	<u>P</u>
	<u>Parking and Loading</u> <u>Access: Prohibition</u>	<u>§ 155</u>	<u>None</u>
	<u>Parking and Loading</u> <u>Access: Siting and</u> <u>Dimensions</u>	<u>§§ 145.1, 151.1,</u> <u>152.1, 155</u>	<u>Requirements apply</u>
	<u>Off-Street Parking,</u> <u>Residential</u>	<u>§ 151.1</u>	<u>None required. Limits set</u> <u>forth in Section 151.1</u>
	<u>Off-Street Parking, Non-</u> <u>Residential</u>	<u>§§ 150, 151, 151.1,</u> <u>153-157, 204.5</u>	<u>None required. Limits set</u> <u>forth in Section 151.1</u>
	<u>Usable Open Space for</u> <u>Dwelling Units and Group</u> <u>Housing</u>	<u>§ 135, 823</u>	<u>80 sq.ft. per unit</u>
	<u>Usable Open Space for</u> <u>Non-Residential</u>	<u>§ 135.3</u>	<u>Required; amount varies</u> <u>based on use; may also pay</u> <u>in-lieu fee</u>
	<u>Outdoor Activity Area</u>	<u>§ 890.71</u>	<u>P if located in front; C if</u> <u>located elsewhere §</u> <u>145.2(a)</u>
	<u>General Advertising Sign</u>	<u>§§ 607.2(b) &amp; (e) and</u> <u>611</u>	<u>NP</u>

1	<u>Residential Uses</u>		
2	<u>Dwelling Units</u>	<u>§ 102.7</u>	<u>P</u>
3	<u>Group Housing</u>	<u>§ 890.88(b)</u>	<u>P</u>
4	<u>SRO Units</u>	<u>§§ 823, 890.88(c)</u>	<u>P with minimum SRO unit size of 275 sf</u>
5	<u>Student Housing</u>	<u>§ 315.1(38)</u>	<u>C in new construction only</u>
6	<u>Dwelling Unit Density Limit</u>	<u>§§ 124, 207.5, 208</u>	<u>No density limit</u>
7	<u>Dwelling Unit Mix</u>	<u>§ 207.6</u>	<u>At least 40% of all dwelling units must contain two or more bedrooms or 30% of all dwelling units must contain three or more bedrooms.</u>
8	<u>Affordability Requirements</u>	<u>§ 415</u>	<u>In lieu fee, 15% onsite or 20% off-site</u>
9	<u>Residential Demolition or Conversion</u>	<u>§ 317</u>	<u>C</u>
10	<u>Institutions</u>		
11	<u>Hospital, Medical Centers</u>	<u>§ 890.44</u>	<u>NP</u>
12	<u>Residential Care</u>	<u>§ 890.50(e)</u>	<u>C up to 6 beds. NP above</u>
13	<u>Educational Services</u>	<u>§§ 823, 890.50(c)</u>	<u>C</u>
14	<u>Religious Facility</u>	<u>§ 890.50(d)</u>	<u>C</u>

1	<u>Assembly and Social</u>	<u>§ 890.50(a)</u>	<u>C</u>
2	<u>Service</u>		
3	<u>Child Care</u>	<u>§ 890.50(b)</u>	<u>P</u>
4	<u>Medical Cannabis</u>		
5	<u>Dispensary</u>	<u>§ 890.133</u>	<u>NP</u>
6	<u>Vehicle Parking</u>		
7			
8	<u>Automobile Parking Lot</u>	<u>§§ 890.7, 890.9,</u> <u>890.11, 157.1</u>	<u>C</u>
9			
10	<u>Automobile Parking</u>	<u>§§ 145.1, 145.4,</u> <u>155(r), 157.1, 890.8,</u>	<u>C</u>
11	<u>Garage</u>	<u>890.10, 890.12, 157.1</u>	
12			
13	<u>Retail Sales and Services</u>		
14	<u>All Retail Sales and</u>		
15	<u>Services which are not</u>	<u>§§ 890.104, 121.6</u>	<u>P up to 10,000 gsf per lot.</u>
16	<u>listed below</u>		<u>NP above</u>
17	<u>Formula Retail</u>	<u>§ 803.6</u>	<u>C</u>
18			<u>C up to 10,000 gsf per lot.</u>
19			<u>NP above. No</u>
20			<u>ingress/egress onto alleys,</u>
21	<u>Ambulance Service</u>	<u>§ 890.2</u>	<u>as defined in the Western</u>
22			<u>SoMa Community Plan,</u>
23			<u>containing RED or RED-</u>
24			<u>MX Districts</u>
25			

1	<u>Self-Storage</u>	<u>§ 890.54(d)</u>	<u>NP</u>
2	<u>Tourist Hotel</u>	<u>§ 890.46</u>	<u>NP</u>
3	<u>Assembly, Recreation, Arts and Entertainment</u>		
4	<u>Arts Activity</u>	<u>§ 102.2</u>	<u>P</u>
5			
6	<u>Nighttime Entertainment</u>	<u>§§ 102.17, 181(f), 803.5(b), 823</u>	<u>NP</u>
7			
8	<u>Adult Entertainment</u>	<u>§ 890.36</u>	<u>NP</u>
9	<u>Amusement Arcade</u>	<u>§ 890.4</u>	<u>C</u>
10	<u>Massage Establishment</u>	<u>§ 890.60</u>	<u>C</u>
11	<u>Movie Theater</u>	<u>§ 890.64</u>	<u>NP</u>
12	<u>Pool Hall not falling within</u>		
13	<u>Category 890.50(a)</u>	<u>§221 (f)</u>	<u>C</u>
14	<u>Recreation Facility</u>	<u>§ 890.81</u>	<u>NP</u>
15	<u>Office</u>		
16			
17	<u>Office Uses in Landmark</u>		
18	<u>Buildings or Contributory</u>		
19	<u>Buildings in Historic</u>	<u>§§ 890.70, 803.9(b)</u>	<u>P</u>
20	<u>Districts</u>		
21	<u>All Other Office Uses</u>	<u>§§ 890.70, 890.118</u>	<u>NP</u>
22	<u>Services, Professional;</u>	<u>§§ 790.110, 790.114,</u>	<u>P on the ground floor only if</u>
23	<u>Services, Financial;</u>	<u>790.116</u>	<u>primarily open to the</u>
24	<u>Services, Medical</u>		<u>general public on a client-</u>
25			<u>oriented basis; C above</u>

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			<u>50,000 sq. ft.</u>
	<u>Live/Work Units</u>	<u>§ 233</u>	<u>NP</u>
<u>Motor Vehicle Services</u>			
	<u>Vehicle Storage--Open Lot</u>	<u>§ 890.131</u>	<u>NP</u>
	<u>Vehicle Storage--Enclosed Lot or Structure</u>	<u>§ 890.132, 157.1</u>	<u>C subject to 157.1</u>
	<u>Motor Vehicle Service Station, Automotive Wash</u>	<u>§§ 890.18, 890.20</u>	<u>P with no ingress/egress onto alleys, as defined in the Western SoMa Community Plan, containing RED or RED-MX Districts</u>
	<u>Motor Vehicle Repair</u>	<u>§ 890.15</u>	<u>P with no ingress/egress onto alleys, as defined in the Western SoMa Community Plan, containing RED or RED-MX Districts</u>
	<u>Automobile Tow Service</u>	<u>§ 890.19</u>	<u>C with no ingress/egress onto alleys, as defined in the Western SoMa Community Plan, containing RED or RED-MX Districts</u>
	<u>Non-Auto Vehicle Sales or Rental</u>	<u>§ 890.69</u>	<u>C</u>



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<u>Industrial, Home, and Business Service</u>			
	<u>Wholesale Sales</u>	<u>§ 890.54(b)</u>	<u>P</u>
	<u>Light Manufacturing</u>	<u>§ 890.54(a)</u>	<u>P</u>
	<u>Trade Shop</u>	<u>§ 890.124</u>	<u>P</u>
	<u>Catering Service</u>	<u>§ 890.25</u>	<u>P</u>
	<u>Business Goods and Equipment Repair Service</u>	<u>§ 890.23</u>	<u>P</u>
	<u>Business Service</u>	<u>§ 890.111</u>	<u>P</u>
	<u>Commercial Storage</u>	<u>§ 890.54(c)</u>	<u>C</u>
	<u>Laboratory, life science</u>	<u>§ 890.53(a)</u>	<u>NP</u>
	<u>Laboratory, not including life science laboratory</u>	<u>§§ 890.52, 890.53(a)</u>	<u>NP</u>
	<u>Non-Retail Greenhouse or Plant Nursery</u>	<u>§ 227(a)</u>	<u>P</u>
	<u>Integrated PDR</u>	<u>§ 890.49</u>	<u>NP</u>
<u>Other Uses</u>			
	<u>Mortuary Establishment</u>	<u>§ 227(c)</u>	<u>NP</u>
	<u>Animal Services</u>	<u>§ 224, 823</u>	<u>P for grooming only. No 24 hour care.</u>
	<u>Public Use, except Public Transportation Facility, Internet Service Exchange, and Commercial</u>	<u>§§ 890.80, 209.6(c), 227(h)</u>	<u>P</u>

1	<u>Wireless Transmitting,</u>		
2	<u>Receiving or Relay</u>		
3	<u>Facility</u>		
4	<u>Commercial</u>		
5	<u>Wireless Transmitting,</u>	<u>§ 227(h)</u>	<u>C</u>
6	<u>Receiving or Relay</u>		
7	<u>Facility</u>		
8	<u>Internet Services Exchange</u>	<u>§ 209.6(c)</u>	<u>NP</u>
9	<u>Public Transportation</u>		
10	<u>Facilities</u>	<u>§ 890.80</u>	<u>P</u>
11			
12	<u>Open Air Sales</u>	<u>§§ 803.9(e), 890.38</u>	<u>P up to 10,000 gsf per lot.</u> <u>NP above.</u>
13			
14	<u>Walk-up Facility, including</u>		
15	<u>Automated Bank Teller</u>	<u>§§ 890.140, 803.9(b)</u>	<u>P</u>
16	<u>Machine</u>		
17	<u>Open Recreation</u>	<u>§§ 209.5(a), 209.5(b)</u>	<u>P</u>
18	<u>Neighborhood Agriculture</u>	<u>§ 102.35(a)</u>	<u>P</u>
19	<u>Large-Scale Urban</u>	<u>§ 102.35(b)</u>	<u>C</u>
20	<u>Agriculture</u>		

21

22 SEC. 845. WMUO – MIXED USE – OFFICE DISTRICT

23

24 The WSoMa Mixed Use — Office (WMUO) District is largely comprised.....

25

1 Table 845  
 2 WMUO— WSOMA MIXED USE – OFFICE DISTRICT  
 3 ZONING CONTROL TABLE

		<u>Mixed Use – Office District</u>	
<u>No.</u>	<u>Zoning Category</u>	<u>§ References</u>	<u>Controls</u>
<u>Building and Siting Standards</u>			
	<u>Height Limit</u>	<u>See Zoning Map, §§ 260-261.1</u>	<u>As shown on Sectional Maps 1 and 7 of the Zoning Map</u>  <u>Height sculpting required on narrow streets, §261.1</u>
	<u>Bulk Limit</u>	<u>See Zoning Map, §§ 270, 270.1, 270.2</u>	<u>As shown on Sectional Maps 1 and 7 of the Zoning Map</u>  <u>Mid-block alleys required, §270.2</u>
	<u>Non-residential density limit</u>	<u>§§ 102.9, 123, 124, 127</u>	<u>Generally contingent upon permitted height, per Section 124</u>
	<u>Setbacks</u>	<u>§§ 136, 136.2, 145.1</u>	<u>Generally not required</u>

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	<u>Awnings and Canopies</u>	<u>§§ 136, 136.1, 136.2</u>	<u>P</u>
	<u>Parking and Loading Access: Siting and Dimensions</u>	<u>§§ 145.1, 151.1, 152.1, 155</u>	<u>Requirements apply</u>
	<u>Off-Street Parking, Residential</u>	<u>§ 151.1</u>	<u>None required. Limits set forth in Section 151.1</u>
	<u>Residential to non-residential ratio</u>	<u>§ 803.8(e)</u>	<u>None</u>
	<u>Off-Street Parking, Non-Residential</u>	<u>§§ 150, 151, 151.1, 153-157, 204.5</u>	<u>None required. Limits set forth in Section 151.1</u>
	<u>Usable Open Space for Dwelling Units and Group Housing</u>	<u>§ 135, 823</u>	<u>80 sq.ft. per unit</u>
	<u>Usable Open Space for Non-Residential</u>	<u>§ 135.3</u>	<u>Required; amount varies based on use; may also pay in-lieu fee</u>
	<u>Outdoor Activity Area</u>	<u>§ 890.71</u>	<u>P if located in front; C if located elsewhere § 145.2(a)</u>
	<u>General Advertising Sign</u>	<u>§§ 607.2(b) &amp; (e) and 611</u>	<u>NP</u>

1	<u>Residential Uses</u>		
2	<u>Dwelling Units</u>	<u>§ 102.7</u>	<u>NP</u>
3	<u>Group Housing</u>	<u>§ 890.88(b)</u>	<u>NP</u>
4	<u>SRO Units</u>	<u>§§ 8223, 890.88(c)</u>	<u>NP</u>
5	<u>Student Housing</u>	<u>§ 315.1(38)</u>	<u>NP</u>
6	<u>Dwelling Unit Density</u>		
7	<u>Limit</u>	<u>§§ 124, 207.5, 208</u>	<u>No density limit</u>
8			
9			<u>At least 40% of all</u>
10			<u>dwelling units must</u>
11			<u>contain two or more</u>
12	<u>Dwelling Unit Mix</u>	<u>§ 207.6</u>	<u>bedrooms or 30% of all</u>
13			<u>dwelling units must</u>
14			<u>contain three or more</u>
15			<u>bedrooms.</u>
16	<u>Affordability</u>		
17	<u>Requirements</u>	<u>§ 315</u>	<u>15% onsite /20% off-site</u>
18	<u>Residential Demolition,</u>		
19	<u>Division or Conversion</u>	<u>§ 317</u>	<u>C</u>
20	<u>Institutions</u>		
21			
22	<u>Hospital, Medical</u>		
23	<u>Centers</u>	<u>§ 890.44</u>	<u>NP</u>
24	<u>Residential Care</u>	<u>§ 890.50(e)</u>	<u>NP</u>
25	<u>Educational Services</u>	<u>§ 823, 890.50(c)</u>	<u>C</u>

1	<u>Religious Facility</u>	<u>§ 890.50(d)</u>	<u>P</u>
2	<u>Assembly and Social</u>		
3	<u>Service</u>	<u>§ 890.50(a)</u>	<u>C</u>
4	<u>Child Care</u>	<u>§ 890.50(b)</u>	<u>P</u>
5	<u>Medical Cannabis</u>		
6	<u>Dispensary</u>	<u>§ 890.133</u>	<u>NP</u>
7	<u>Vehicle Parking</u>		
8			
9	<u>Automobile Parking Lot</u>	<u>§§ 890.7, 890.9,</u>	<u>C</u>
10		<u>890.11 , 157.1</u>	
11	<u>Automobile Parking</u>	<u>§§ 890.8, 890.10,</u>	<u>C</u>
12	<u>Garage</u>	<u>890.12, 157.1</u>	
13	<u>Retail Sales and Services</u>		
14	<u>All Retail Sales and</u>		<u>P up to 10,000 gsf per lot;</u>
15	<u>Services which are not</u>	<u>§§ 890.104,</u>	<u>C up to 25,000 gsf; NP</u>
16	<u>listed below</u>	<u>803.9(i), 121.6</u>	<u>above.</u>
17	<u>Formula Retail</u>	<u>§ 803.6</u>	<u>C up to 25,000 gsf per lot;</u>
18			<u>NP above.</u>
19	<u>Ambulance Service</u>	<u>§ 890.2</u>	<u>C up to 25,000 gsf per lot;</u>
20			<u>NP above.</u>
21	<u>Self-Storage</u>	<u>§ 890.54(d)</u>	<u>NP</u>
22	<u>Tourist Hotel</u>	<u>§ 890.46</u>	<u>P up to 75 rooms</u>
23	<u>Assembly, Recreation, Arts and Entertainment</u>		
24			
25	<u>Arts Activity</u>	<u>§ 102.2</u>	<u>P</u>

1	<u>Nighttime</u>	<u>§§ 102.17, 181(f),</u>	<u>C</u>
2	<u>Entertainment</u>	<u>803.5(b), 823</u>	
3	<u>Adult Entertainment</u>	<u>§ 890.36</u>	<u>NP</u>
4	<u>Amusement Arcade</u>	<u>§ 890.4</u>	<u>NP</u>
5	<u>Massage Establishment</u>	<u>§ 890.60</u>	<u>NP</u>
6	<u>Movie Theater</u>	<u>§ 890.64</u>	<u>P, up to three screens</u>
7	<u>Pool Hall not falling</u>		
8	<u>within Category</u>	<u>§ 221(f)</u>	<u>P</u>
9	<u>890.50(a)</u>		
10	<u>Recreation Building or</u>	<u>§§ 221(e), 823,</u>	
11	<u>Facility</u>	<u>890.81</u>	<u>P</u>
12	<u>Office</u>		
13	<u>Office Uses in Landmark</u>		
14	<u>Buildings or</u>		
15	<u>Contributory Buildings</u>	<u>§§ 890.70, 803.9(b)</u>	<u>P</u>
16	<u>in Historic Districts</u>		
17	<u>All Other Office Uses</u>	<u>§ 890.70</u>	<u>P</u>
18	<u>Live/Work Units</u>	<u>§ 233</u>	<u>NP</u>
19	<u>Motor Vehicle Services</u>		
20	<u>Vehicle Storage--Open</u>		
21	<u>Lot</u>	<u>§ 890.131</u>	<u>NP</u>
22	<u>Vehicle Storage--</u>		
23	<u>Enclosed Lot or</u>	<u>§§ 890.132, 157.1</u>	<u>C</u>
24			
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1	<u>Structure</u>		
2	<u>Motor Vehicle Service</u>		
3	<u>Station, Automotive</u>	<u>§§ 890.18, 890.20</u>	<u>P</u>
4	<u>Wash</u>		
5	<u>Motor Vehicle Repair</u>	<u>§ 890.15</u>	<u>P</u>
6	<u>Automobile Tow Service</u>	<u>§ 890.19</u>	<u>C</u>
7	<u>Non-Auto Vehicle Sales</u>		
8	<u>or Rental</u>	<u>§ 890.69</u>	<u>P</u>
9			
10	<u>Industrial, Home, and Business Service</u>		
11	<u>Wholesale Sales</u>	<u>§ 890.54(b)</u>	<u>P</u>
12	<u>Light Manufacturing</u>	<u>§ 890.54(a)</u>	<u>P</u>
13	<u>Trade Shop</u>	<u>§ 890.124</u>	<u>P</u>
14	<u>Catering Service</u>	<u>§ 890.25</u>	<u>P</u>
15	<u>Business Goods and</u>		
16	<u>Equipment Repair</u>	<u>§ 890.23</u>	<u>P</u>
17	<u>Service</u>		
18	<u>Business Service</u>	<u>§ 890.111</u>	<u>P</u>
19	<u>Commercial Storage</u>	<u>§ 890.54(c)</u>	<u>P</u>
20	<u>Laboratory, life science</u>	<u>§ 890.53(a)</u>	<u>P</u>
21	<u>Laboratory, not</u>		
22	<u>including life science</u>	<u>§§ 890.52,</u>	<u>P</u>
23	<u>laboratory</u>	<u>890.53(a)</u>	
24	<u>Non-Retail Greenhouse</u>	<u>§ 227(a)</u>	<u>P</u>
25			



1	<u>or Plant Nursery</u>		
2	<u>Integrated PDR</u>	<u>§ 890.49</u>	<u>P in applicable buildings</u>
3	<u>Other Uses</u>		
4	<u>Mortuary Establishment</u>	<u>§ 227(c)</u>	<u>NP</u>
5	<u>Animal Services</u>	<u>§ 224, 823</u>	<u>P</u>
6	<u>Public Use, except</u>		
7	<u>Public Transportation</u>		
8	<u>Facility, Internet Service</u>		
9	<u>Exchange, and</u>	<u>§§ 890.80, 209.6(c),</u>	<u>P</u>
10	<u>Commercial</u>	<u>227(h)</u>	
11	<u>Wireless Transmitting,</u>		
12	<u>Receiving or Relay</u>		
13	<u>Facility</u>		
14	<u>Commercial</u>		
15	<u>Wireless Transmitting,</u>	<u>§ 227(h)</u>	<u>C</u>
16	<u>Receiving or Relay</u>		
17	<u>Facility</u>		
18	<u>Internet Services</u>	<u>§ 209.6(c)</u>	<u>C</u>
19	<u>Exchange</u>		
20	<u>Public Transportation</u>	<u>§ 890.80</u>	<u>P</u>
21	<u>Facilities</u>		
22	<u>Open Air Sales</u>	<u>§§ 803.9(e), 890.38</u>	<u>P</u>
23	<u>Walk-up Facility,</u>	<u>§§ 890.140,</u>	<u>P</u>
24			
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1	<u>including Automated</u>	<u>803.9(b)</u>	
2	<u>Bank Teller Machine</u>		
3	<u>Open Recreation</u>	<u>§§ 209.5(a),</u>	<u>P</u>
4		<u>209.5(b)</u>	
5	<u>Neighborhood</u>		
6	<u>Agriculture</u>	<u>§ 102.35(a)</u>	<u>P</u>
7	<u>Large-Scale Urban</u>		
8	<u>Agriculture</u>	<u>§ 102.35(b)</u>	<u>C</u>
9			

SEC. 846. SALI – SERVICE/ARTS/LIGHT INDUSTRIAL DISTRICT

The Service/Arts/Light Industrial (SALI) District is largely comprised.....

Table 846

SALI – SERVICE/ARTS/LIGHT INDUSTRIAL DISTRICT

ZONING CONTROL TABLE

—		<u>SALI District</u>	
<u>No.</u>	<u>Zoning Category</u>	<u>§ References</u>	<u>Controls</u>
<u>Building and Siting Standards</u>			
	<u>Height Limit</u>	<u>See Zoning</u> <u>Map, §§ 260-261.1</u>	<u>As shown on Sectional</u> <u>Maps 1 and 7 of the</u>

1			<u>Zoning Map</u>
2			
3			<u>Height sculpting required</u>
4			<u>on narrow streets, §261.1</u>
5			<u>As shown on Sectional</u>
6			<u>Maps 1 and 7 of the</u>
7		<u>See Zoning</u>	<u>Zoning Map</u>
8	<u>Bulk Limit</u>	<u>Map, §§ 270,</u>	
9		<u>270.1, 270.2</u>	<u>Mid-block alleys required,</u>
10			<u>§270.2</u>
11			<u>Generally contingent upon</u>
12	<u>Non-residential density</u>	<u>§§ 102.9, 123, 124,</u>	<u>permitted height, per</u>
13	<u>limit</u>	<u>127</u>	<u>Section 124</u>
14			
15	<u>Setbacks</u>	<u>§§ 136, 136.2,</u>	<u>Generally not required</u>
16		<u>145.1</u>	
17	<u>Awnings and Canopies</u>	<u>§§ 136, 136.1,</u>	<u>P</u>
18		<u>136.2</u>	
19			<u>No curb cuts permitted</u>
20			<u>onto alleys, as defined in</u>
21	<u>Parking and Loading</u>		<u>the Western SoMa</u>
22	<u>Access: Prohibition</u>	<u>§ 155(r)</u>	<u>Community Plan,</u>
23			<u>containing RED or RED-</u>
24			<u>MX Districts</u>
25	<u>Parking and Loading</u>	<u>§§ 145.1, 151.1,</u>	<u>Requirements apply</u>

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	<u>Access: Siting and Dimensions</u>	<u>152.1, 155</u>	
	<u>Off-Street Parking, Residential</u>	<u>§ 151.1</u>	<u>None required. Limits set forth in Section 151.1</u>
	<u>Residential to non-residential ratio</u>	<u>§ 803.8(e)</u>	<u>None</u>
	<u>Off-Street Parking, Non-Residential</u>	<u>§§ 150, 151, 151.1, 153-157, 204.5</u>	<u>None required. Limits set forth in Section 151.1</u>
	<u>Usable Open Space for Dwelling Units and Group Housing</u>	<u>§ 135, 823</u>	<u>80 sq.ft. per unit</u>
	<u>Usable Open Space for Non-Residential</u>	<u>§ 135.3</u>	<u>Required; amount varies based on use; may also pay in-lieu fee</u>
	<u>Outdoor Activity Area</u>	<u>§ 890.71</u>	<u>P if located in front; C if located elsewhere § 145.2(a)</u>
	<u>General Advertising Sign</u>	<u>§§ 607.2(b) &amp; (e) and 611</u>	<u>NP</u>
<u>Residential Uses</u>			
	<u>Dwelling Units</u>	<u>§ 102.7</u>	<u>NP</u>
	<u>Group Housing</u>	<u>§ 890.88(b)</u>	<u>NP</u>

1	<u>SRO Units</u>	<u>§§ 823, 890.88(c)</u>	<u>NP</u>
2	<u>Student Housing</u>	<u>§ 315.1(38)</u>	<u>NP</u>
3	<u>Dwelling Unit Density</u>		
4	<u>Limit</u>	<u>§§ 124, 207.5, 208</u>	<u>No density limit</u>
5	<u>Dwelling Unit Mix</u>	<u>§ 207.6</u>	<u>Not applicable</u>
6	<u>Affordability</u>		
7	<u>Requirements</u>	<u>§ 315</u>	<u>15% onsite /20% off-site</u>
8	<u>Residential Demolition,</u>		
9	<u>Division or Conversion</u>	<u>§ 317</u>	<u>C</u>
10	<u>Institutions</u>		
11			
12	<u>Hospital, Medical</u>		
13	<u>Centers</u>	<u>§ 890.44</u>	<u>NP</u>
14	<u>Residential Care</u>	<u>§ 890.50(e)</u>	<u>NP</u>
15	<u>Educational Services</u>	<u>§§ 823, 890.50(c)</u>	<u>C</u>
16	<u>Religious Facility</u>	<u>§ 890.50(d)</u>	<u>C</u>
17	<u>Assembly and Social</u>		
18	<u>Service</u>	<u>§ 890.50(a)</u>	<u>P</u>
19	<u>Child Care</u>	<u>§ 890.50(b)</u>	<u>C</u>
20	<u>Medical Cannabis</u>		
21	<u>Dispensary</u>	<u>§ 890.133</u>	<u>P#</u>
22	<u>Vehicle Parking</u>		
23			
24	<u>Automobile Parking Lot</u>	<u>§§ 890.7, 890.9,</u>	<u>C</u>
25			

1		<u>890.11, 157.1</u>	
2	<u>Automobile Parking</u>	<u>§§ 890.8, 890.10,</u>	<u>C</u>
3	<u>Garage</u>	<u>890.12, 157.1</u>	
4	<u>Retail Sales and Services</u>		
5	<u>All Retail Sales and</u>		<u>P up to 10,000 gsf per lot;</u>
6	<u>Services which are not</u>	<u>§§ 890.104,</u>	<u>C up to 25,000 gsf; NP</u>
7	<u>listed below</u>	<u>803.9(i), 121.6</u>	<u>above.</u>
8			
9	<u>Formula Retail</u>	<u>§ 803.6</u>	<u>C up to 25,000 gsf per lot;</u>
10			<u>NP above.</u>
11			<u>C up to 10,000 gsf per lot.</u>
12			<u>NP above. No</u>
13			<u>ingress/egress onto alleys,</u>
14	<u>Ambulance Service</u>	<u>§ 890.2</u>	<u>as defined in the Western</u>
15			<u>SoMa Community Plan,</u>
16			<u>containing RED or RED-</u>
17			<u>MX Districts</u>
18	<u>Self-Storage</u>	<u>§ 890.54(d)</u>	<u>NP</u>
19	<u>Tourist Hotel</u>	<u>§ 890.46</u>	<u>NP</u>
20	<u>Assembly, Recreation, Arts and Entertainment</u>		
21	<u>Arts Activity</u>	<u>§ 102.2</u>	<u>P</u>
22			
23	<u>Nighttime</u>	<u>§§ 102.17, 181(f),</u>	<u>P</u>
24	<u>Entertainment</u>	<u>803.5(b), 823</u>	
25	<u>Adult Entertainment</u>	<u>§ 890.36</u>	<u>NP</u>

1	<u>Amusement Arcade</u>	<u>§ 890.4</u>	<u>C</u>
2	<u>Massage Establishment</u>	<u>§ 890.60</u>	<u>C</u>
3	<u>Movie Theater</u>	<u>§ 890.64</u>	<u>P, up to three screens</u>
4	<u>Pool Hall not falling</u>		
5	<u>within Category</u>	<u>§221(f)</u>	<u>C</u>
6	<u>890.50(a)</u>		
7	<u>Recreation Building or</u>	<u>§ 221(e), 823,</u>	
8	<u>Facility</u>	<u>890.81</u>	<u>P</u>
9	<u>Office</u>		
10	<u>Office Uses in Landmark</u>		
11	<u>Buildings or</u>		
12	<u>Contributory Buildings</u>	<u>§§ 890.70, 803.9(b)</u>	<u>NP</u>
13	<u>in Historic Districts</u>		
14	<u>All Other Office Uses</u>	<u>§ 890.70</u>	<u>NP</u>
15	<u>842.67</u>	<u>Live/Work Units</u>	<u>§ 233</u>
16			<u>NP</u>
17	<u>Motor Vehicle Services</u>		
18	<u>Vehicle Storage--Open</u>		
19	<u>Lot</u>	<u>§ 890.131</u>	<u>NP</u>
20	<u>Vehicle Storage--</u>		
21	<u>Enclosed Lot or</u>	<u>§§ 890.132, 157.1</u>	<u>C</u>
22	<u>Structure</u>		
23	<u>Motor Vehicle Service</u>		
24	<u>Station, Automotive</u>	<u>§§ 890.18, 890.20</u>	<u>P with no ingress/egress</u>
25			<u>onto alleys, as defined in</u>

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	<u>Wash</u>		<u>the Western SoMa Community Plan, containing RED or RED-MX Districts</u>
	<u>Motor Vehicle Repair</u>	<u>§ 890.15</u>	<u>P with no ingress/egress onto alleys, as defined in the Western SoMa Community Plan, containing RED or RED-MX Districts</u>
	<u>Automobile Tow Service</u>	<u>§ 890.19</u>	<u>P with no ingress/egress onto alleys, as defined in the Western SoMa Community Plan, containing RED or RED-MX Districts</u>
	<u>Non-Auto Vehicle Sales or Rental</u>	<u>§ 890.69</u>	<u>P</u>
<u>Industrial, Home, and Business Service</u>			
	<u>Wholesale Sales</u>	<u>§ 890.54(b)</u>	<u>P</u>
	<u>Light Manufacturing</u>	<u>§ 890.54(a)</u>	<u>P</u>
	<u>Trade Shop</u>	<u>§ 890.124</u>	<u>P</u>
	<u>Catering Service</u>	<u>§ 890.25</u>	<u>P</u>



1	<u>Business Goods and</u>		
2	<u>Equipment Repair</u>	<u>§ 890.23</u>	<u>P</u>
3	<u>Service</u>		
4	<u>Business Service</u>	<u>§ 890.111</u>	<u>P</u>
5	<u>Commercial Storage</u>	<u>§ 890.54(c)</u>	<u>P</u>
6	<u>Laboratory, life science</u>	<u>§ 890.53(a)</u>	<u>NP</u>
7	<u>Laboratory, not</u>		
8	<u>including life science</u>	<u>§§ 890.52,</u>	<u>P except subsection (e) of</u>
9	<u>laboratory</u>	<u>890.53(a)</u>	<u>890.52</u>
10	<u>Non-Retail Greenhouse</u>		
11	<u>or Plant Nursery</u>	<u>§ 227(a)</u>	<u>P</u>
12	<u>Integrated PDR</u>	<u>§ 890.49</u>	<u>NP</u>
13	<u>Other Uses</u>		
14	<u>Mortuary Establishment</u>	<u>§ 227(c)</u>	<u>P</u>
15	<u>Animal Services</u>	<u>§§ 224, 823</u>	<u>P</u>
16	<u>Public Use, except</u>		
17	<u>Public Transportation</u>		
18	<u>Facility, Internet Service</u>		
19	<u>Exchange, and</u>	<u>§§ 890.80, 209.6(c),</u>	<u>P</u>
20	<u>Commercial</u>	<u>227(h)</u>	
21	<u>Wireless Transmitting,</u>		
22	<u>Receiving or Relay</u>		
23	<u>Facility</u>		
24			
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1	<u>Commercial</u>		
2	<u>Wireless Transmitting,</u>	<u>§ 227(h)</u>	<u>C</u>
3	<u>Receiving or Relay</u>		
4	<u>Facility</u>		
5	<u>Internet Services</u>	<u>§ 209.6(c)</u>	<u>P</u>
6	<u>Exchange</u>		
7	<u>Public Transportation</u>	<u>§ 890.80</u>	<u>P</u>
8	<u>Facilities</u>		
9			<u>P up to 10,000 gsf per lot;</u>
10	<u>Open Air Sales</u>	<u>§§ 803.9(e), 890.38</u>	<u>C up to 25,000 gsf; NP</u>
11			<u>above.</u>
12			
13	<u>Walk-up Facility,</u>	<u>§§ 890.140,</u>	<u>P</u>
14	<u>including Automated</u>	<u>803.9(b)</u>	
15	<u>Bank Teller Machine</u>		
16		<u>§§ 209.5(a),</u>	<u>P</u>
17	<u>Open Recreation</u>	<u>209.5(b)</u>	
18	<u>Neighborhood</u>	<u>§ 102.35(a)</u>	<u>P</u>
19	<u>Agriculture</u>		
20	<u>Large-Scale Urban</u>	<u>§ 102.35(b)</u>	<u>C</u>
21	<u>Agriculture</u>		

SPECIFIC PROVISIONS FOR SALI DISTRICTS

<u>Article Code</u>	<u>Other Code</u>	<u>Zoning Controls</u>
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<u>Section</u>	<u>Section</u>	
<p>1</p> <p>2</p> <p>3 <u>§ 846.XX</u></p> <p>4 <u>§ 890.133</u></p> <p>5</p> <p>6</p> <p>7</p> <p>8</p> <p>9</p> <p>10</p> <p>11</p> <p>12</p> <p>13</p> <p>14</p> <p>15</p>		<p><u>Only those medical cannabis dispensaries that can demonstrate to the Planning Department they were in operation as of April 1, 2005 and have remained in continuous operation or that were not in continuous operation since April 1, 2005, but can demonstrate to the Planning Department that the reason for their lack of continuous operation was not closure due to an actual violation of federal, state or local law, may apply for a medical cannabis dispensary permit in an SALI District.</u></p>
<p>16 <u>§ 846.XX</u></p> <p>17 <u>§ 890.133</u></p> <p>18</p> <p>19</p>		<p><u>Medical cannabis dispensaries in the SALI may only operate between the hours of 8:00am and 10:00pm.</u></p>

20 SEC. 847. – RED-MX—RESIDENTIAL ENCLAVE-MIXED DISTRICT.

21 Residential Enclave-Mixed Districts (RED-MX) encompass.....

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23 Table 847

24 RED-MX—RESIDENTIAL ENCLAVE-MIXED DISTRICT ZONING CONTROL TABLE

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			<u>Residential Enclave-Mixed</u>
<u>No.</u>	<u>Zoning Category</u>	<u>§ References</u>	<u>Controls</u>
<u>BUILDING STANDARDS</u>			
	<u>Height</u>	<u>See Zoning Map</u>	<u>Generally 45 feet See Sectional Zoning Maps 1 and 7</u>
	<u>Bulk</u>	<u>§ 270</u>	<u>See Sectional Zoning Maps 1 and 7</u>
<u>USE STANDARDS</u>			
	<u>Residential Density</u>	<u>§§ 124(b), 208</u>	<u>No density limit</u>
	<u>Non-Residential Density</u>	<u>§§ 102.9, 123, 124, 127</u>	<u>Generally, 1.0 to 1 floor area ratio</u>
	<u>Usable Open Space for Dwelling Units and Group Housing</u>	<u>§§ 135, 823</u>	<u>80 sq. ft. per unit</u>
	<u>Usable Open Space for Other Uses</u>	<u>§ 135.3</u>	<u>Varies by use</u>
	<u>Outdoor Activity Area</u>	<u>§ 890.71</u>	<u>P if located in front; C if located elsewhere § 145.2(a)</u>
	<u>Walk-up Facility</u>	<u>§ 890.140</u>	<u>NP</u>
	<u>Residential Conversion</u>	<u>§ 317</u>	<u>C. NP in Landmark</u>

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			<u>Buildings or Contributory Buildings in Historic Districts</u>
	<u>Residential Demolition</u>	<u>§ 317</u>	<u>C</u>
<u>USES</u>			
<u>Residential Use</u>			
	<u>Dwelling Units</u>	<u>§ 102.7</u>	<u>P</u>
	<u>Group Housing</u>	<u>§ 890.88(b)</u>	<u>C</u>
	<u>SRO Units</u>	<u>§§ 823, 890.88(c)</u>	<u>NP</u>
<u>Institutions</u>			
	<u>Hospital, Medical Centers</u>	<u>§ 890.44</u>	<u>NP</u>
	<u>Residential Care</u>	<u>§ 890.50(e)</u>	<u>NP</u>
	<u>Educational Services</u>	<u>§§ 823, 890.50(c)</u>	<u>C</u>
	<u>Religious Facility</u>	<u>§ 890.50(d)</u>	<u>C</u>
	<u>Assembly and Social Service</u>	<u>§ 890.50(a)</u>	<u>C</u>
	<u>Child Care</u>	<u>§ 890.50(b)</u>	<u>P</u>
	<u>Medical Cannabis Dispensary</u>	<u>§ 890.133</u>	<u>NP</u>
<u>Vehicle Parking</u>			
	<u>Automobile Parking Lot, Community Residential</u>	<u>§§ 890.7, 157.1</u>	<u>C</u>

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<u>Automobile Parking Garage, Community Residential</u>	<u>§§ 890.8, 157.1</u>	<u>C</u>
<u>Automobile Parking Lot, Community Commercial</u>	<u>§§ 890.9, 157.1</u>	<u>C</u>
<u>Automobile Parking Garage, Community Commercial</u>	<u>§§ 890.10, 157.1</u>	<u>C</u>
<u>Automobile Parking Lot, Public</u>	<u>§§ 890.11, 157.1</u>	<u>C</u>
<u>Automobile Parking Garage, Public</u>	<u>§§ 890.12, 157.1</u>	<u>C</u>
<u>Retail Sales and Service</u>		
<u>All Retail Sales and Services which are not listed below</u>	<u>§ 890.104</u>	<u>NP</u>
<u>Retail Sales and Service Use in a Landmark Building or a Contributory Building in an Historic District</u>	<u>§ 803.9(b)</u>	<u>C</u>
<u>Formula Retail</u>	<u>§ 803.6</u>	<u>NP</u>
<u>Full Service Restaurant</u>	<u>§ 890.92</u>	<u>P up to 1,250 gsf per lot. C above. NP above 1 FAR</u>
<u>Large Fast Food Restaurant</u>	<u>§ 890.91</u>	<u>P up to 1,250 gsf per lot. C above. NP above 1 FAR</u>

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<u>Small Self Service Restaurant</u>	<u>§ 890.90</u>	<u>P up to 1,250 gsf per lot. C above. NP above 1 FAR</u>
<u>Other Retail Sales and Services</u>	<u>§ 890.102</u>	<u>P up to 1,250 gsf per lot. C above. NP above 1 FAR</u>
<u>Personal Service</u>	<u>§ 890.116</u>	<u>P up to 1,250 gsf per lot. C above. NP above 1 FAR</u>
<u>Assembly, Recreation, Arts and Entertainment</u>		
<u>Nighttime Entertainment</u>	<u>§§ 102.17, 803.5(b), 823</u>	<u>NP</u>
<u>Meeting Hall, not within § 813.21</u>	<u>§ 221(c)</u>	<u>NP</u>
<u>Recreation Building or Facility</u>	<u>§§ 221(e), 823, 890.81</u>	<u>NP</u>
<u>Pool Hall, Card Club, not within § 813.21</u>	<u>§§ 221(f), 803.4</u>	<u>NP</u>
<u>Theater, falling within § 221(d), except Movie Theater</u>	<u>§§ 221(d), 890.64</u>	<u>P up to 1,250 gsf per lot. C above. NP above 1 FAR</u>
<u>Home and Business Service</u>		
<u>Trade Shop</u>	<u>§ 890.124</u>	<u>P up to 1,250 gsf per lot. C above. NP above 1 FAR</u>
<u>Catering Services</u>	<u>§ 890.25</u>	<u>P up to 1,250 gsf per lot. C above. NP above 1 FAR</u>
<u>Business Goods and Equipment</u> <u>Repair Service</u>	<u>§ 890.23</u>	<u>P up to 1,250 gsf per lot. C above. NP above 1 FAR</u>

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	<u>Arts Activities, except within a Live/Work Unit</u>	<u>§ 102.2</u>	<u>P up to 1 FAR. C above. NP above 1.5 FAR.</u>
	<u>Business Services</u>	<u>§ 890.111</u>	<u>P up to 1,250 gsf per lot. C above. NP above 1 FAR</u>
<u>Office</u>			
	<u>Office Uses in Landmark Buildings or Contributory Buildings in Historic Districts</u>	<u>§ 803.9(b)</u>	<u>C</u>
	<u>All Other Office Uses</u>	<u>§ 890.70</u>	<u>NP</u>
<u>Live/Work Units</u>			
	<u>Live/Work Unit where the Work Activity is an Arts Activity</u>	<u>§§ 102.2, 102.13, 209.9(f), (g), 233</u>	<u>NP</u>
	<u>Live/Work Units in Landmark Buildings or Contributory Buildings in Historic Districts</u>	<u>§ 803.9(b)</u>	<u>NP</u>
	<u>All Other Live/Work Units</u>	<u>§§ 102.13, 233</u>	<u>NP</u>
<u>Automotive Services</u>			
	<u>Vehicle Storage--Open Lot</u>	<u>§ 890.131</u>	<u>NP</u>
	<u>Vehicle Storage--Enclosed Lot or Structure</u>	<u>§§ 890.132, 157.1</u>	<u>C</u>



1	<u>Motor Vehicle Service Station,</u>	<u>§§ 890.18,</u>	<u>NP</u>
2	<u>Automotive Wash</u>	<u>890.20</u>	
3	<u>Motor Vehicle Repair</u>	<u>§ 890.15</u>	<u>P up to 1,250 gsf per lot. C</u>
4			<u>above. NP above 1 FAR</u>
5	<u>Motor Vehicle Tow Service</u>	<u>§ 890.19</u>	<u>NP</u>
6	<u>Non-Auto Vehicle Sales or Rental</u>	<u>§ 890.69</u>	<u>NP</u>
7	<u>Public Transportation Facility</u>	<u>§ 890.80</u>	<u>NP</u>
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9	<u>Industrial</u>		
10	<u>Wholesale Sales</u>	<u>§ 890.54(b)</u>	<u>P up to 1,250 gsf per lot. C</u>
11			<u>above. NP above 1 FAR</u>
12	<u>Light Manufacturing</u>	<u>§ 890.54(a)</u>	<u>P up to 1,250 gsf per lot. C</u>
13			<u>above. NP above 1 FAR</u>
14	<u>Commercial Storage</u>	<u>§ 890.54(c)</u>	<u>P up to 1,250 gsf per lot. C</u>
15			<u>above. NP above 1 FAR</u>
16	<u>Laboratory, life science</u>	<u>§ 890.53(a)</u>	<u>NP</u>
17	<u>Laboratory, not including life</u>	<u>§§ 890.52,</u>	
18	<u>science laboratory</u>	<u>890.53(a)</u>	<u>NP</u>
19	<u>Non-Retail Greenhouse or Plant</u>		<u>P up to 1,250 gsf per lot. C</u>
20	<u>Nursery</u>	<u>§ 227(a)</u>	<u>above. NP above 1 FAR</u>
21			
22	<u>Other Uses</u>		
23	<u>Open Air Sales</u>	<u>§§ 890.38, 803.</u>	<u>P up to 1,250 gsf per lot. C</u>
24		<u>9(e)</u>	<u>above. NP above 1 FAR</u>
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1	<u>Public Use, except</u>	<u>§ 890.80</u>	<u>C</u>
2	<u>Public Transportation Facility</u>		
3	<u>Open Recreation</u>	<u>§§ 209.5(a),</u>	<u>P</u>
4		<u>209.5(b)</u>	
5	<u>Neighborhood Agriculture</u>	<u>§ 102.35(a)</u>	<u>P</u>
6	<u>Large-Scale Urban Agriculture</u>	<u>§ 102.35(b)</u>	<u>C</u>
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SEC. 890.88. RESIDENTIAL USE.

A use which provides housing for San Francisco residents, rather than visitors, including a dwelling unit or group housing, as defined in Subsections (a) and (b) below, or a residential hotel, as defined in Section 890.47 of this Code and in Chapter 41 of the San Francisco Administrative Code.

(a) Dwelling Unit. A residential use which consists of a suite of two or more rooms and includes sleeping, bathing, cooking, and eating facilities, and has only one kitchen.

(b) Group Housing. A residential use which provides lodging or both meals and lodging without individual cooking facilities for a week or more at a time in a space not defined as a dwelling unit. Group housing includes, but is not limited to, a roominghouse, boarding house, guest house, lodging house, residence club, commune, fraternity and sorority house, monastery, nunnery, convent, and ashram. It also includes group housing operated by a medical or educational institution when not located on the same lot as such institution.

(c) Single Room Occupancy (SRO) Unit. A dwelling unit or group housing room consisting of no more than one occupied room with a maximum gross floor area of 350 square feet and meeting the Housing Code's minimum floor area standards. The unit may have a bathroom in addition to the occupied room. As a dwelling unit, it would have a cooking facility

1 and bathroom. As a group housing room, it would share a kitchen with one or more other  
2 single room occupancy unit/s in the same building and may also share a bathroom. A single  
3 room occupancy building (or "SRO" building) is one that contains no residential uses other  
4 than ~~only~~ SRO units and ~~non non~~ accessory living space.

5  
6 SEC. 890.81. RECREATION FACILITY.

7 Facilities built specifically to be utilized as ice skating, bowling, swimming, soccer, tennis, basketball,  
8 softball, baseball, playgrounds, and similar recreational uses of 10,000 gross square feet or greater.

9  
10 Section 3. This Section is uncodified.

11 In enacting this Ordinance, the Board intends to amend only those words, phrases,  
12 paragraphs, subsections, sections, articles, numbers, punctuation, charts, diagrams, or any  
13 other constituent part of the Planning Code that are explicitly shown in this legislation as  
14 additions, deletions, Board amendment additions, and Board amendment deletions in  
15 accordance with the "Note" that appears under the official title of the legislation. This  
16 Ordinance shall not be construed to effectuate any unintended amendments. Any additions or  
17 deletions not explicitly shown as described above, omissions, or other technical and non-  
18 substantive differences between this Ordinance and the Planning Code that are contained in  
19 this legislation are purely accidental and shall not effectuate an amendment to the Planning  
20 Code. The Board hereby authorizes the City Attorney, in consultation with the Clerk and other  
21 affected City departments, to make those necessary adjustments to the published Planning  
22 Code, including non-substantive changes such as renumbering or relettering, to ensure that  
23 the published version of the Planning Code is consistent with the laws that this Board enacts.

1 APPROVED AS TO FORM:  
2 DENNIS J. HERRERA, City Attorney

3 By: \_\_\_\_\_  
4 JUDITH A. BOYAJIAN  
5 Deputy City Attorney  
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# DRAFT



## DRAFT - WESTERN SOMA COMMUNITY STABILIZATION POLICY

A Resolution establishing a Western SoMa Community Stabilization Policy for the Western SoMa Community Plan, based upon the Planning Principles is hereby adopted by the Western SoMa Citizens Planning Task Force on April 22, 2009.

Upon adoption of the Western SoMa Community Plan, the Board of Supervisors is requested to create legislation that establishes the Western SoMa Community Stabilization Policy. This Policy evaluates historic standards and sets forth metrics for desired perpetuation of proportional mixes for housing affordability and neighborhood land uses. These proposed proportional mix metrics are suggested to serve as triggers for Planning Commission project approvals and potential Conditional Use requirements. These metrics trigger the basis for procedures needed when neighborhood land use developments and permit activity have been determined to have potential negative impacts on the local economic viability or community livability. In addition, this Resolution incorporates requirements to ensure that infrastructure improvements keep pace with growth and development, that new projects pay impact fees and provide public amenities. It is the policy of the Western SoMa Citizens Planning Task Force that the Community Stabilization Policy legislation should also establish a Citizens Advisory Committee (CAC). Following the adoption of the Western SoMa Community Plan, this resolution further requests that the Board of Supervisors enabling legislation shall direct the Planning Department to provide the newly established Western SoMa CAC with

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## DRAFT - WESTERN SOMA COMMUNITY STABILIZATION POLICY

semi-annual reports on the legislated housing affordability and land use mix metrics that will facilitate the monitoring and the implementation of this Western SoMa Community Stabilization Policy. The Western SoMa CAC will report to the Board of Supervisors and request appropriate responses for adherence to this policy.

### **Affordable Housing Linkage Option – Maintaining a Neighborhood Housing Affordability Mix**

#### Findings

1. The City now as a matter of policy requires that 30 percent of new units in master planned redevelopment areas in San Francisco be affordable housing (e.g., Mission Bay, Bayview/Shipyard, and Treasurer Island). This includes both inclusionary affordable housing units and nonprofit affordable units.

#### **OBJECTIVE 3.3**

**ENSURE THAT A SIGNIFICANT PERCENTAGE OF NEW HOUSING CREATED IS AFFORDABLE TO PEOPLE WITH A WIDE RANGE OF INCOMES**

2. A principal goal of the Western SoMa Community Plan is to ensure a mixed-income community for the long term.

#### **OBJECTIVE 1.1**

**BUILD ON AN EXISTING MIXED-USED CHARACTER THAT ENCOURAGES PRODUCTION OF RESIDENTIAL USES IN AREAS MOST APPROPRIATE FOR NEW HOUSING WITH A PROXIMATE MIX OF USES AND SERVICES SERVING LOCAL NEEDS AND THEREBY DEVELOPING A COMPLETE NEIGHBORHOOD**

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3. Historically, since the 1990 SOMA zoning was adopted, the number of BMR/affordable housing units built in Western SoMa (inclusionary units and nonprofit units combined) has actually been 38 percent of the total housing units built – 707 units of affordable housing, out of 1,862 total housing units (chart attached).
4. Therefore, the same 30 percent minimum standard for affordable housing development can reasonably be set as a community and civic goal for new residential development in Western SoMa.

### **Recommendations**

1. Effective for all applicable development applications received by the Planning Department after the adoption of the Western SoMa Community Plan by the City and County of San Francisco, the number of market rates housing units approved by the San Francisco Planning Commission in any single calendar year shall not be more than 2.33 times (i.e., 70 percent market rate/30 percent BMR) the number of affordable housing units (including both nonprofit units and inclusionary units) approved beginning by Planning Commission action that same year. City Planning Commission approvals for development of market rate housing in excess of 2.33 times (i.e., 70 percent market rate/30 percent BMR) will be delayed until future calendar years in sequential order

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of first “development application” submittal dates until sufficient BMR/affordable housing units are first approved.

**“Development Application” shall mean any application for a building permit, site permit, environmental review, Conditional Use or Variance.**

If, alternatively affordable housing approvals by the San Francisco Planning Commission are greater than 30 percent of total housing units approved in a year, the overage shall be carried forward and added to the subsequent years annual BMR/affordable housing approval totals for the purpose of this annual calculation.

Inventories of the Western SoMa Special Use District housing stock necessary to carry out this Community Stabilization Policy shall begin with annual Planning Department reports on January 1, 2012. The status of Western SoMa SUD housing affordability mix shall be the basis for determinations of residual approvable and overages carried forward into the next calendar year. In the event that no annual Planning Department report is produced by the end of January each year, Planning Commission housing approvals in the Western SoMa SUD will be permitted until 30 days after publication of a report that demonstrates allowances for new Planning Commission project approvals.



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2. Three general classes of projects are, however, exempt from the requirements of this Community Stabilization Policy. The exempt classes of projects are as follows:
  - a. Any market rate project that provides at least 30 percent affordable units itself shall be exempted from this market-rate housing approval limitation, and would be approvable at any time, or
  - b. Any project located on an Assessor's Parcel of one acre or greater that has been identified in the Western SoMa Community Plan as eligible for height bonuses shall be exempted from this market-rate housing approval limitation, and would be approvable at any time, or
  - c. Any project that has filed a "Development Applications" prior to January 1, 2012 shall be exempted from the market-rate and job loss linkage housing approval limitation, and would be approvable at any.
3. In addition, a market rate project with 15 percent inclusionary affordable units (BMR) would also be approvable at any time when Applicants dedicate a portion of the total developable area of the principal site to the City and County of San Francisco for the purpose of constructing units affordable to qualifying households. A minimum percentage of developable area, representing an equivalent percent of total potential units to be constructed, shall be dedicated to

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the City according to the schedule in Table 319.4. To meet the requirements of this alternative, the developer must convey title to land in fee simple absolute to the Mayor's Office of Housing according to the Procedures Manual, provided the dedicated site is deemed of equivalent or greater value to the principal site per those procedures and is in line with the following requirements:

(A) The dedicated site will result in a total amount of inclusionary units not less than forty (40) units. The Mayor's Office of Housing may conditionally approve and accept dedicated sites which result in no less than twenty five (25) units at its discretion.

(B) The dedicated site will result in a total amount of inclusionary units that is equivalent or greater than the minimum percentage of the units that will be provided on the principal site, as required by Table 319.4. The Mayor's Office of Housing may also accept dedicated sites that represent the equivalent of or greater than the required percentage of units for all units be provided on a collective of sites within a one-mile radius, provided the total amount of inclusionary units provided on the dedicated site is equivalent to or greater than the total requirements for all principal sites participating in the collective, according to the requirements of Table 319.4.

(C) The dedicated site is suitable from the perspective of size, configuration, physical characteristics, physical and environmental

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## DRAFT - WESTERN SOMA COMMUNITY STABILIZATION POLICY

constraints, access, location, adjacent use, and other relevant planning criteria. The site must allow development of affordable housing that is sound, safe and acceptable.

(D) The dedicated site includes infrastructure necessary to serve the inclusionary units, including sewer, utilities, water, light, street access and sidewalks.

(E) The developer must submit full environmental clearance for the dedicated site before the land can be considered for conveyance and before a first site or building permit may be

conferred upon the principal project.

(F) The City may accept dedicated sites that vary from the minimum threshold provided such a dedication is deemed generally equivalent to the original requirement by the Mayor's Office of Housing.

(G) The City may accept dedicated sites that meet the above requirements in accordance with the Procedures Manual, in combination with in-lieu fees or on-site units, provided such a combination is deemed generally equivalent by the Mayor's Office of Housing to the original requirement.

(H) The project applicant has a letter from the Mayor's Office of Housing verifying acceptance of site before it receives project approvals

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## DRAFT - WESTERN SOMA COMMUNITY STABILIZATION POLICY

from the Planning Commission or Planning Department, which shall be used to verify dedication as a condition of approval.

The outcomes of these provisions may restrict market rate housing approvals while providing a public policy and private sector incentive for development of new affordable housing in the Western SoMa Special Use District.

### **Job Loss Linkage Option – Maintaining a Mixed Use Neighborhood**

#### Findings

1. Based on historical information contained in the “Western SoMa Strategic Analysis Memos” on Housing and the Neighborhood Economy, the 2005 neighborhood mix of households and jobs is presented below. Also contained in the following table are the 2030 projected jobs/housing mix anticipating provisions in the Western SoMa Community Plan and in the absence of the Draft Plan.

W SoMa	w/o Plan				w/ Plan				Net Addition Plan over No Plan 2030
	2005	2030	2005-2030	% Chg.	2030	2005-2030	% Chg.		
Households	2,461	4,077	1,616	66%	5,169	2,708	110%	1,092	
Jobs	18,872	23,682	4,810	25%	31,861	12,989	69%	8,179	

*SOURCE: San Francisco Planning Department. 2008*

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2. Data used in the environmental analysis for the Western SoMa Community Plan shows a 2005 jobs/household mix of 7.67:1, with the number of jobs far exceeding the number of households. Without the Western SoMa Community Plan, by 2030, the jobs/household mix is anticipated to be 5.81:1 as household growth is projected to outpace job growth in the neighborhood. With the provisions in the Western SoMa Community Plan, the 2030 projections are the jobs/household mix is anticipated to be 6.61:1.

### **Recommendations**

1. With data from the Planning Department annual reports on Housing production and the Commerce and Industry, the Western SoMa CAC shall monitor the changes in the jobs/housing mix over time.
2. Should the annual neighborhood data for net new jobs/household mix additions fall below 6.60:1 for two consecutive years; the CAC will request the Planning Commission impose the following Conditional Use requirements and findings for a period of time necessary to return to the desired jobs/household mix specified by this Policy for the entire Western SoMa Special Use District. These interim Conditional Use controls shall be maintained for the maximum legally allowable time frame or until all options to restore the 6.60:1 net new

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jobs/housing mix have been exhausted by the CAC working in conjunction with all appropriate San Francisco city agencies.

The outcomes of these provisions will be (1) to monitor the neighborhood jobs to housing mix, (2) to restrict all housing approvals when households exceed the established 6.60:1 jobs per household metric trigger (3) providing a public policy that maintains an important mixed use quality in the neighborhood, thereby assuring a vibrant community where neighborhood opportunities to live and work in proximity to retail shopping and Bay Area transit services are maintained.

### **Conditional Use Modifications for Community**

#### **Findings**

Planning Code Section 303 sets forth the Conditional Use procedures and necessary general case findings. The Western SoMa Citizen Planning Task Force recommendation for a Community Stabilization Policy rely significantly on Conditional Use triggers to slow and offset adverse impacts associated with rapid housing growth and commercial changes in the neighborhood. In order for the Conditional Use process to achieve the desired outcomes, the Western SoMa

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Citizens Planning Task Force recommends adding Section 303(o) to the Planning Code as follows.

### Recommendations

Amend the San Francisco Planning Code to add Section 303 (o) as follows.

(o) *Western SoMa Special Use District Community Stabilization.*

*(1) With respect to an application for any new land development proposal in the in the Western SoMa Special Use District upon findings by the Western SoMa Citizens Advisory Committee and confirmed by the San Francisco Planning Commission that one of the housing or mixed use thresholds defined in Planning Code Section \_\_\_\_\_ have been crossed, a conditional use permit is required per Section 703.3(f), the Planning Commission shall consider, in addition to the criteria set forth in Subsection (c) above:*

*(A) The affordability mix of housing as defined in Planning Code Section \_\_\_\_\_ shall be maintained in the Western SoMa Special Use District. Any new development that does not demonstrate a contribution to maintaining the overall historic affordability mix of housing stock shall be put in a queue of housing project applications until the proposed project can be brought before the Planning Commission and demonstrate a*

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*contribution to maintaining the historic neighborhood affordability mix of housing.*

*(B) The balance of jobs and housing in the mixed use neighborhood as defined in Planning Code Section \_\_\_\_\_ shall be maintained in the Western SoMa Special Use District. A new development that does not further and maintain the historic mixed use neighborhood character shall be put in a queue of project applications until the proposed project can be brought before the Planning Commission and demonstrate the ability to contribute to maintaining the historic neighborhood mix of jobs and housing.*



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### APPENDIX

#### Illustrative Inventory Provided by the Western SoMa Citizens Planning Task Force for Projects and the Year of Completion and Subject to Planning Department Verification

NOTE: The Community Stabilization Policy call for monitoring of annual inventories of projects “approved” and not projects “completed” as provided in this inventory.

<b>Western Soma Housing Inventory (post 1990)</b>							
<b>Summary Sheet</b>							
Year Built	ST Num	ST Name	ST Type	Market Rate Units	Inclusionary/Affordable	% Affordable	Housing Type
1993	960	Natoma	St	4			live/work
<b>Total 1993</b>				4	0		
<b>Cumulative Total</b>				4	0	00.0%	
1994	201	8th	St		104		100% Affordable
1994	450	9th	St	1			live/work
1994	940	Natoma	St	8			live/work
<b>Total 1994</b>				9	104	92.0%	
<b>Cumulative Total</b>				<b>13</b>	<b>104</b>	<b>88.9%</b>	
1995	1101	Howard	St		34		100% Affordable
1995	75	Sheridan	St	4			live/work
1995	55	Grace	St	2			live/work
1995	55	Norfolk	St	6			
<b>Total 1995</b>				12	34	73.9%	
<b>Cumulative Total</b>				<b>25</b>	<b>138</b>	<b>84.7%</b>	
1996	125	Gilbert	St	16			live/work
1996	52	Washburn	St	2			live/work
<b>Total 1996</b>				18	0	0.0%	
<b>Cumulative Total</b>				<b>43</b>	<b>138</b>	<b>76.2%</b>	
1997	25	Lucerne	St	20			
1997	139	Welsh	St	12			live/work

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1997	1601	Howard	St	12			live/work
<b>Total 1997</b>				44	0	0.0%	
<b>Cumulative Total</b>				<b>87</b>	<b>138</b>	<b>61.3%</b>	
1998	896	Folsom	St	1			
1998	735	Tehama	St	1			live/work
1998	175	Bluxome	St	102			live/work
<b>Total 1998</b>				104	0	0.0%	
<b>Cumulative Total</b>				<b>191</b>	<b>138</b>	<b>41.9%</b>	
2000	655	5th	St	20			market
2000	1250	Folsom	St	1			live/work
<b>Total 2000</b>				21	0	0.0%	
<b>Cumulative Total</b>				<b>212</b>	<b>138</b>	<b>39.4%</b>	
2001	826	Folsom	St	10			live/work
2001	520	6 <sup>th</sup>	St	24			condo
2001	590	6 <sup>th</sup>	St	24			live/work
2001	745	Clementina	St	2			live/work
2001	128	Morris	St	16			live/work
2001	761	Tehama	St	14			live/work
<b>Total 2001</b>				90	0	0.0%	
<b>Cumulative Total</b>				<b>302</b>	<b>138</b>	<b>31.4%</b>	
2002	165	8 <sup>th</sup>	St		48		100% Affordable
2002	767	Bryant	St	20			live/work
2002	670	Natoma	St		48		100% Affordable
2002	60	Rausch	St	37			market
<b>Total 2002</b>				57	96	62.7%	
<b>Cumulative Total</b>				<b>359</b>	<b>234</b>	<b>39.5%</b>	
2003	239	8 <sup>th</sup>	St	14			?
2003	526	Brannan	St	108			live/work
2003	9	Lafayette	St	3			
2003	1025	Minna	St	12			?
2003	1166	Howard	St		162		100% Affordable
<b>Total 2003</b>				137	162	54.2%	
<b>Cumulative Total</b>				<b>496</b>	<b>396</b>	<b>44.4%</b>	
2004	1221-1247	Harrison	St	56			live/work
2004	108	Langton	St	4			condo
2004	45	Sheridan	St	1			

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<b>Total 2004</b>				61	0	0.0%	
<b>Cumulative Total</b>				<b>557</b>	<b>396</b>	<b>41.5%</b>	
2005	75	Dore	St	98			market
2005	1168	Folsom	St	19	1		market
2005	1346	Folsom	St		98		100% Affordable
2005	624	Natoma	St	5			
<b>Total 2005</b>				122	99	44.8%	
<b>Cumulative Total</b>				<b>679</b>	<b>495</b>	<b>42.2%</b>	
2006	785	Brannan	St		56		SRO
2006	639	Natoma	St	4			
2006	1028	Natoma	St	4			
2006	737	Tehama	St	3			
2006	773	Tehama	St	3			
2006	776	Tehama	St	12	2		condo
2006	1042	Minna	St	3			
<b>Total 2006</b>				29	58	66.7%	
<b>Cumulative Total</b>				<b>708</b>	<b>553</b>	<b>43.8%</b>	
2007	252	9 <sup>th</sup>	St	2			live/work
2007	77	Bluxome	St	92	10		market
2007	30	Dore	St	38	4		market
2007	1234	Howard	St	16	2		condo
2007	21	Lafayette	St	3			condo
2007	50	Langton	St	3			
2007	742	Natoma	St	2			live/work
2007	673	Brannan	St	48			live/work
2007	683	Brannan	St	39			live/work
2007	8	McLea	Ct	26	3		market
<b>Total 2007</b>				269	19	6.6%	
<b>Cumulative Total</b>				<b>977</b>	<b>572</b>	<b>36.9%</b>	
2009	275	10 <sup>th</sup>	St		135		SRO
<b>Total 2009</b>				0	135	100.0%	
<b>Cumulative Total</b>				<b>977</b>	<b>707</b>	<b>42.0%</b>	
1990s	394	Townsend	St	20			live/work
2000s	52	Rausch	St	6			market

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2000s	340	Townsend	St	20			live/work
2000s	370	Townsend	St	17			live/work
?	340	11TH	St	20			
?	121	9th	St	20			
?	21	Brush	St	4			live/work
?	149	Dore	St	8			
?	1178	Folsom	St	14			live/work
?	1178	Folsom	St	26			
?	870	Harrison	St	22			
?	660	Natoma	St	4			
?	1029	Natoma	St	4			
?	56	Ringold	St	2			
?	55	Sheridan	St	1			
<b>Total Unknown Year</b>				188	0	00.0%	
<b>Cumulative Total</b>				<b>1,165</b>	<b>707</b>	<b>37.8%</b>	