



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis Residential Demolition/New Construction

HEARING DATE: JULY 7, 2011

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
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Information:
415.558.6377

Date: June 30, 2011
Case No.: **2006.0974D**
Project Address: **1710-38 Diamond Street**
Zoning: RM-1 (Residential Mixed, Low-Density)
 40-X Height and Bulk District
Block/Lot: 7535/102
Project Sponsor: Thomas Chan
 1360 9th Avenue
 Suite 210
 San Francisco, CA 94122
 (415) 682-8060
Staff Contact: Sophie Hayward – (415) 558-6372
sophie.hayward@sfgov.org
Recommendation: **Do Not Take DR and approve demolition; take DR and approve the new construction with modifications.**

DEMOLITION APPLICATION		NEW BUILDING APPLICATION	
Demolition Case Number	2006.0974D	New Building Case Number	2011.0632D
Recommendation	Do Not Take DR	Recommendation	Take DR
Demolition Application Number	2007.02.06.3541	New Building Application Number	2007.02.06.3543, 2007.02.06.3548, 2007.02.06.3550, 2007.02.06.3551
Number Of Existing Units	1	Number Of New Units	4
Existing Parking	1	New Parking	8
Number Of Existing Bedrooms	2	Number Of New Bedrooms	10 (12 total)
Existing Building Area	±2,026 Sq. Ft.	New Building Area	±15,346 Sq. Ft. (4 Buildings Combined)
Public DR Also Filed?	No	Public DR Also Filed?	No
311 Expiration Date	12/15/2010	Date Time & Materials Fees Paid	06/20/2011

PROJECT DESCRIPTION

The proposed project includes the demolition of the existing single-family home and the subdivision of the lot in order to accommodate four new, single-family residences on the subdivided lots. The proposed new residential structures would each measure three-stories above garages at grade level and would each provide two off-street parking spaces.

SITE DESCRIPTION AND PRESENT USE

The subject building is located on the west side of Diamond Street, within an RM-1 (Residential, Mixed, Low Density) Zoning District and a 40-X Height and Bulk District, just north of the intersection of 29th Street and Diamond Street. The subject block is unusual in that all but one lot is zoned RM-1, with a single, carved-out lot (the lot immediately north of the subject property) that is zoned RH-1. The subject block is a transition from the higher density Diamond Heights neighborhood and the lower density Noe Valley.

The Property is a large, single lot with approximately 121 feet of frontage along Diamond Street, with an average lot depth of 70'6". The subject lot slopes up from the street, and contains a detached one-story, single-family home and a detached one-car garage. The existing dwelling, constructed in 1948, measures approximately 2,026 square feet (according to information submitted by the Project Sponsor), and is set back approximately 23' from the front property line. The Property contains large side setbacks and a short rear yard that measures approximately 8' in length.

SURROUNDING PROPERTIES & NEIGHBORHOOD

The subject block consists of two single-family homes (the subject property and the lot immediately to the north of the subject property), and a block of eight, two-unit structures that are two-stories in height above garages. The eight, two-unit buildings were constructed as part of a Redevelopment Agency project in the area. The adjacent lot to the north is zoned RH-1 (Residential, House, Single-Family), as are the surrounding Assessor's Blocks to the north and east. The surrounding area to the south and west is zoned RM-1, and consists primarily of two-and three-story multi-family homes.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	June 27, 2011	June 27, 2011	10 days
Mailed Notice	10 days	June 27, 2011	June 27, 2011	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	2
Other neighbors on the block or directly across the street	0	0	17
Neighborhood groups	0	0	15

REPLACEMENT STRUCTURES

The replacement project, as proposed, would provide four single-family homes, each with two (non-tandem) off-street parking spaces. The proposed project would remove the existing curb cut on the south end of the subject lot, and would add four new curb cuts to the subject block.

The proposed project would subdivide the existing lot into four separate lots that front on Diamond Street, and would construct a new single-family home on each of the four lots. Each dwelling would be three stories over a garage. The new dwellings are labeled in the attached drawings as 1710, 1718, 1728, and 1738 Diamond Streets. Below is a summary of each of the proposed new structures:

- As proposed, **1710 Diamond Street**, which would be the northernmost of the four new dwellings, would measure approximately 3,709 square feet, and would include a garage at grade level, a great room at the first floor that accommodates kitchen, dining, family, and living rooms, with a small powder room and a deck facing Diamond Street. Two bedrooms, two full baths, and a sitting room would be provided on the second floor, and a master bedroom with a study, master bath, and front deck on the third story.
- The proposed new dwelling at **1718 Diamond Street** would also measure three stories above the garage at street level, and would provide approximately 3,773 square feet of living space with a similar configuration and distribution of bedrooms and living rooms as that proposed at 1710 Diamond Street, including a main living floor above the garage level, two bedrooms on the second floor, and a master suite on the third floor.
- The new dwelling unit at **1728 Diamond Street** would be three stories above grade with approximately 3,771 square feet of space including the garage. Like the other dwellings, it, too, would have a two-car garage at grade level, with a first floor with an open plan that accommodates a kitchen, dining room, living room, and family room, as well as a powder room and a front deck. The second floor includes two bedrooms, a sitting room, and two full bathrooms, while the third floor includes a master suite with a study and a front deck.
- As proposed, **1738 Diamond Street** would similarly be three stories over a garage, with approximately 4,093 square feet of living space, including a two-car garage. On the first level above the garage are the kitchen, family room, dining room, and living room, as well as a powder room. The second story provides two bedrooms, two bathrooms, and a sitting room, and the third floor includes the master bedroom with a master bath and a front deck.

The Project proposes a rear yard of approximately 15' for each of the proposed new structures, which is the requirement for the Subject Property.

With the proposed modifications recommended by the Department, including the recommended modification to the density as well as recommendations by the Residential Design Team (RDT), the overall scale, design, and materials of the proposed replacement structures are compatible with the block-face and are complementary with the residential neighborhood character. The materials for the front façades include wood siding and stucco, with garage doors that measure 10' in width. Windows are aluminum framed and include both casement windows and double hung windows. The proposed

project includes the addition of 5 new street trees, with one existing street tree to remain, for a total of six street trees along Diamond Street at this location.

PUBLIC COMMENTS

The Project has completed the Section 311 and Mandatory DR notification. Staff has received no public comment about the proposed demolition/new construction. No separate Discretionary Review was filed.

GENERAL PLAN COMPLIANCE

The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

TO PROVIDE NEW HOUSING, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING, IN APPROPRIATE LOCATIONS WHICH MEETS IDENTIFIES HOUSING NEEDS AND TAKES INTO ACCOUNT THE DEMAND FOR AFFORDABLE HOUSING CREATE BY EMPLOYMENT DEMAND.

Policy 1.4:

Locate in-fill housing on appropriate sites in established residential neighborhoods.

With the modifications recommended by the Department, the project would replace a one-story, single-family residence with six units, and the would provide two, three-story-over-garage single-family homes and two, three-story-over-garage two-family structures. With the proposed modifications, the project would add one Below Market Rate (BMR) unit to the site.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Project complies with these policies as follows:

1. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The project will not affect neighborhood-serving retail uses as the project includes a residential structure located within a residential zoning district, and proposes new residential structures.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The existing housing and neighborhood character will be protected as the proposed project, with the Department's recommended modifications, would maintain six units on the subject site in a manner that is compatible both in size and in scale with the surrounding neighborhood.

3. That the City's supply of affordable housing be preserved and enhanced.

The project, with the Department's proposed modifications, would add a BMR unit to the subject site, which is currently occupied by a single-family home that is not considered an affordable unit by the Mayor's Office of Housing.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The proposed unit density is typically **not** associated with creating significant traffic impacts.*

5. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project does not displace any industrial or service uses.

6. The City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project proposes new construction, which will be reviewed by the Department of Building Inspection for compliance with the current Building Code.

7. Landmarks and historic buildings are preserved.

The project proposes demolition of a building that is not considered an historic resource.

8. Parks and open space and their access to sunlight and vistas be protected from development.

The Project Site is located across the street from a large open space; however, the proposal will not limit access to sunlight, nor will vistas be blocked as a result of the proposed project.

ENVIRONMENTAL REVIEW

The Project was issued a Categorical Exemption, Class 32 State CEQA Guidelines Section 15332 on August 11, 2009.

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the proposal after the policy decision had been made to recommend that the unit count be increased from four to six units. In addition to the policy recommendation that the unit count be increased, the RDT recommends that there be greater articulation provided on the street-facing elevations, and that the cladding materials be simplified at the garage levels.

Under the Commission's pending DR Reform Legislation, this project would be referred to the Commission, as this project involves demolition and new construction.

BASIS FOR RECOMMENDATION

The Department recommends that the demolition of the existing single-family dwelling be approved. The Department recommends that the Commission take DR and approve the new construction provided that the unit count be increased from four units to six units.

The Department recommends that the proposed project be reconfigured to provide six dwelling units, including one Below Market Rate (BMR) unit, such that the two structures furthest south (1738 and 1728 Diamond Street as labeled on the attached plans) each provide two units, and the two units furthest north (1718 and 1710 Diamond Street as labeled on the attached plans) remain single-family homes as proposed. In addition, the Department recommends that the Project Sponsor continue to work with Staff to refine the design to incorporate modifications recommended by the Residential Design Team (RDT), including to better articulate the street facing elevations and to simplify the cladding material at the garage level. The RDT's comments are attached to this report.

The RM-1 Zoning District would allow for the construction of up to ten units on the subject property. The Department's recommendation of six units (rather than the proposed four) is based on an understanding that the block itself is a transition from a higher density area (Diamond Heights) to a lower density area (Noe Valley), and that the surrounding RH-1 zoning to the north and east allows for a maximum of one dwelling per lot. However, by increasing the unit count to six from four, a BMR unit will also be required, thus bringing the proposal more in line with the City's priority policies and General Plan Policies. The increased unit count would not take advantage of the full density allowed on the lot, but would achieve the Department's policy goals with minimal impact to the character of the surrounding neighborhood.

As proposed, the project provides two off-street parking spaces for each single family home, for a total of eight off-street parking spaces. The Department's recommendation is that the unit count be increased to six units, and that no additional parking be provided. As proposed, the project provides an excessive amount of (non-tandem) off-street parking. A review of the current locations of City CarShare spaces and of Zip Car spaces indicates that there are City CarShare locations at the Glenn Park BART station and at 26th and Noe Streets, while there is a Zip Car location nearer the subject property on Diamond Heights Boulevard. By increasing the unit count to six without adding more parking, the parking ratio may be reduced from 2:1 to 4:3.

The Project, **with the Department's recommended modifications**, is consistent with the Objectives and Policies of the General Plan and complies with the Residential Design Guidelines and Planning Code. The Project, **with the Department's recommended modifications**, meets the criteria set forth in Section 101.1 of the Planning Code in that:

- The Project (with the Department's recommended modifications) will result in a net gain of five dwelling-units.
- The Project (with the Department's recommended modifications) will result in the addition of one BMR unit.
- Given the scale of the Project, there will be no significant impact on the existing capacity of the local street system or MUNI.
- The RM-1 Zoning District allows a maximum of ten dwelling-units on this lot. This District is intended to accommodate a greater density than what currently exists on this underutilized lot,

and the properties to the south and west of the subject lot reflect this ability to accommodate the maximum density. However, the adjacent Assessor's Blocks to the north and the east of the subject lot are zoned RH-1. The proposed modification to increase the density to six dwelling units, including one BMR unit, represents an appropriate blend for the transitional block.

- As proposed, the project is "over parked," with two off-street parking spaces provided for each single-family home. By increasing the unit count to six units, the parking ratio may be reduced.
- Although the structure is more than 50-years old, a review of the Historic Resource Evaluation resulted in a determination that the existing building is not an historic resource or landmark.

RECOMMENDATION:

Case No. 2006.0974D – Do not take DR and approve the demolition.

Case No. 2011.0632D – Take DR and approve the new construction with modifications that include increasing the proposed unit count to six dwellings, and design modifications recommended by the RDT.

DEMOLITION CRITERIA - ADMINISTRATIVE REVIEW

Existing Value and Soundness

1. Whether the Project Sponsor has demonstrated that the value of the existing land and structure of a single-family dwelling is not affordable or financially accessible housing (above the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months);

Project Does Not Meets Criterion

The Project Sponsor does not claim that the property is valued at or above 80% of the median single-family home prices in San Francisco. As such, the property is considered relatively affordable and financially accessible housing for the purposes of this report and Planning Code Section 317.

2. Whether the housing has been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings);

Project Does Not Meets Criterion

The Project Sponsor does not claim that the building is unsound.

DEMOLITION CRITERIA

Existing Building

1. Whether the property is free of a history of serious, continuing code violations;

Project Meets Criterion

A review of the databases for the Department of Building Inspection and the Planning Department did not show any enforcement cases or notices of violation.

2. Whether the housing has been maintained in a decent, safe, and sanitary condition;

Project Meets Criterion

The housing is free of Housing Code violations and appears to have been maintained in a decent, safe, and sanitary condition.

3. Whether the property is an historical resource under CEQA;

Project Meets Criterion

Although the structure is more than 50-years old, a review of the Historic Resource Evaluation resulted in a determination that it is not an historic resource for the purposes of CEQA.

4. If the property is a historical resource, whether the removal of the resource will have a substantial adverse impact under CEQA;

Criterion Not Applicable to Project

The property is not a historical resource.

Rental Protection

5. Whether the Project converts rental housing to other forms of tenure or occupancy;

Project Does Not Meet Criterion

The existing single-family home is currently a rental unit, occupied by the former owner. The proposed project would demolish the existing rental house, and construct 6 units which would be offered as ownership opportunities.

6. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

Project Meets Criterion

According to the Project Sponsor, the building is not subject to rent control because it is a single-family dwelling that has had a tenancy change since 1996.

Priority Policies

7. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Project Does Not Meet Criterion

The Project does not meet this criterion because the existing dwelling will be demolished. Nonetheless, the Project would result in a net gain of housing and thus preserves the quantity of housing. The creation of these new units will preserve the cultural and economic diversity within the neighborhood.

8. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

Project Meets Criterion

The Project will conserve the neighborhood character by constructing replacement buildings that are compatible with regard to materials, massing, glazing pattern, and roofline with the dwellings in the surrounding neighborhood. By creating compatible new buildings that increase the density in a

neighborhood defined by one- and two- family units, the neighborhood's cultural and economic diversity will be preserved.

9. Whether the Project protects the relative affordability of existing housing;

Project Meets Criterion

Although the existing dwelling proposed for demolition is not above the 80% average price of a single-family home and thus considered "relatively affordable and financially accessible" housing, the dwelling is not defined as an "affordable dwelling-unit" by the Mayor's Office of Housing. By creating new dwelling units where one dwelling used to exist, the relative affordability of existing housing is being preserved because the land costs associated with the housing are spread out over multiple dwellings rather than one. The reduction in land costs per unit reduces the overall cost of housing. In addition, with the proposed modifications recommended by the Department, one BMR unit would be added to the site.

10. Whether the Project increases the number of permanently affordable units as governed by Section 415;

Project Meets Criterion

With the proposed modifications recommended by the Department, the Project would include one BMR unit where none currently exists, and would therefore increase the number of affordable units.

Replacement Structures

11. Whether the Project located in-fill housing on appropriate sites in established neighborhoods;

Project Meets Criterion

The Project is appropriate for in-fill development, as the subject lot measures approximately 8,593 square feet and is under utilized given the RM-1 zoning for the subject parcel.

12. Whether the Project creates quality, new family housing;

Project Meets Criterion

The Project as proposed will create four family-sized units. With the proposed modifications recommended by the Planning Department, the project would provide six new dwelling units.

13. Whether the Project creates new supportive housing;

Project Does Not Meet Criterion

The Project is not specifically designed to accommodate any particular Special Population Group as defined in the Housing Element.

14. Whether the Project promotes construction of well-designed housing to enhance existing neighborhood character;

Project Meets Criterion

The Project is in scale with the surrounding neighborhood and constructed of high-quality materials.

15. Whether the Project increases the number of on-site dwelling units;

Project Meets Criterion

As proposed, the Project increases the number of dwelling units on the site from one to four. With the modifications recommended by the Department, the project would increase the number of on-site units to six.

16. Whether the Project increases the number of on-site bedrooms.

Project Meets Criterion

The Project increases the number of bedrooms on the site from two to twelve.

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

Comments: The surrounding neighborhood consists of a mix of the higher density RM-1 district to the south and west, and the lower density RH-1 district to the north and east. Within the RM-1 district, blocks of two-story multi-family dwellings are predominant. Within the RH-1 district, single-family homes that are two- and three-stories above grade are prevalent.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?	X		
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?			X
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?	X		X

Comments: As proposed, the new buildings respect the topography, which is upsloping, and adjacent structures to the north and the south.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
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Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

Comments: As proposed, the new structures are compatible in form and scale with the surrounding area, which includes an unusual mix of single-family homes to the north and east, and multi-family dwellings developed by the Redevelopment Agency to the south and west. While the Department is recommending that the density of the proposed project be increased, the general form and massing of the proposed new structures is compatible with the mixed character of the surrounding neighborhood.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?	X		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?	X		
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?	X		
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?	X		
Are the dormers compatible with the architectural character of surrounding			X

buildings?			
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?	X		

Comments: The location of the entrance is consistent with the predominant pattern of entrances found on Diamond Street at this location. The rooftop parapets are standard in size and compatible with the parapets found on other flat-roofed buildings in the neighborhood.

BUILDING DETAILS (PAGES 43 - 48)

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

Comments: The placement and scale of the architectural details are compatible with the mixed residential character of this neighborhood. While the general palette of materials proposed is compatible, the Department recommends that the materials be simplified at the street level.

SPECIAL GUIDELINES FOR ALTERATIONS TO BUILDINGS OF POTENTIAL HISTORIC OR ARCHITECTURAL MERIT (PAGES 49 - 54)

QUESTION	YES	NO	N/A
Is the building subject to these Special Guidelines for Alterations to Buildings of Potential Historic or Architectural Merit?			X
Are the character-defining features of the historic building maintained?			X
Are the character-defining building form and materials of the historic building maintained?			X
Are the character-defining building components of the historic building maintained?			X

Are the character-defining windows of the historic building maintained?			X
Are the character-defining garages of the historic building maintained?			X

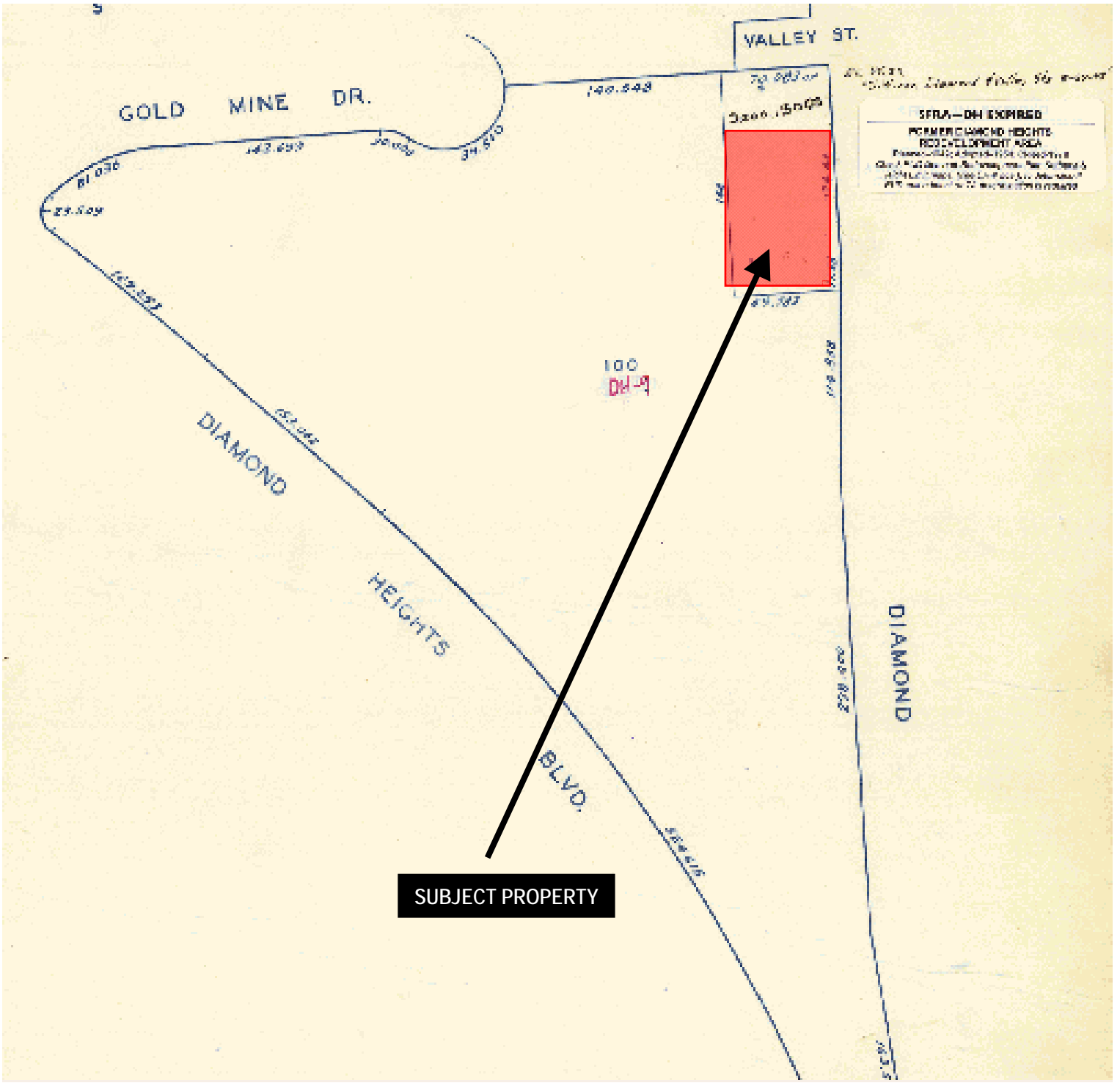
Comments: The Project is not an alteration, and the dwelling that will be demolished has been determined not to be an historical resource for the purposes of CEQA.

Attachments:

- Design Review Checklist for replacement building
- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- RDT Comments
- Section 311 Notice
- Residential Demolition Application
- Prop M findings
- Environmental Evaluation / Historic Resources Information
- Reduced Plans
- Context Photos
- Color Rendering

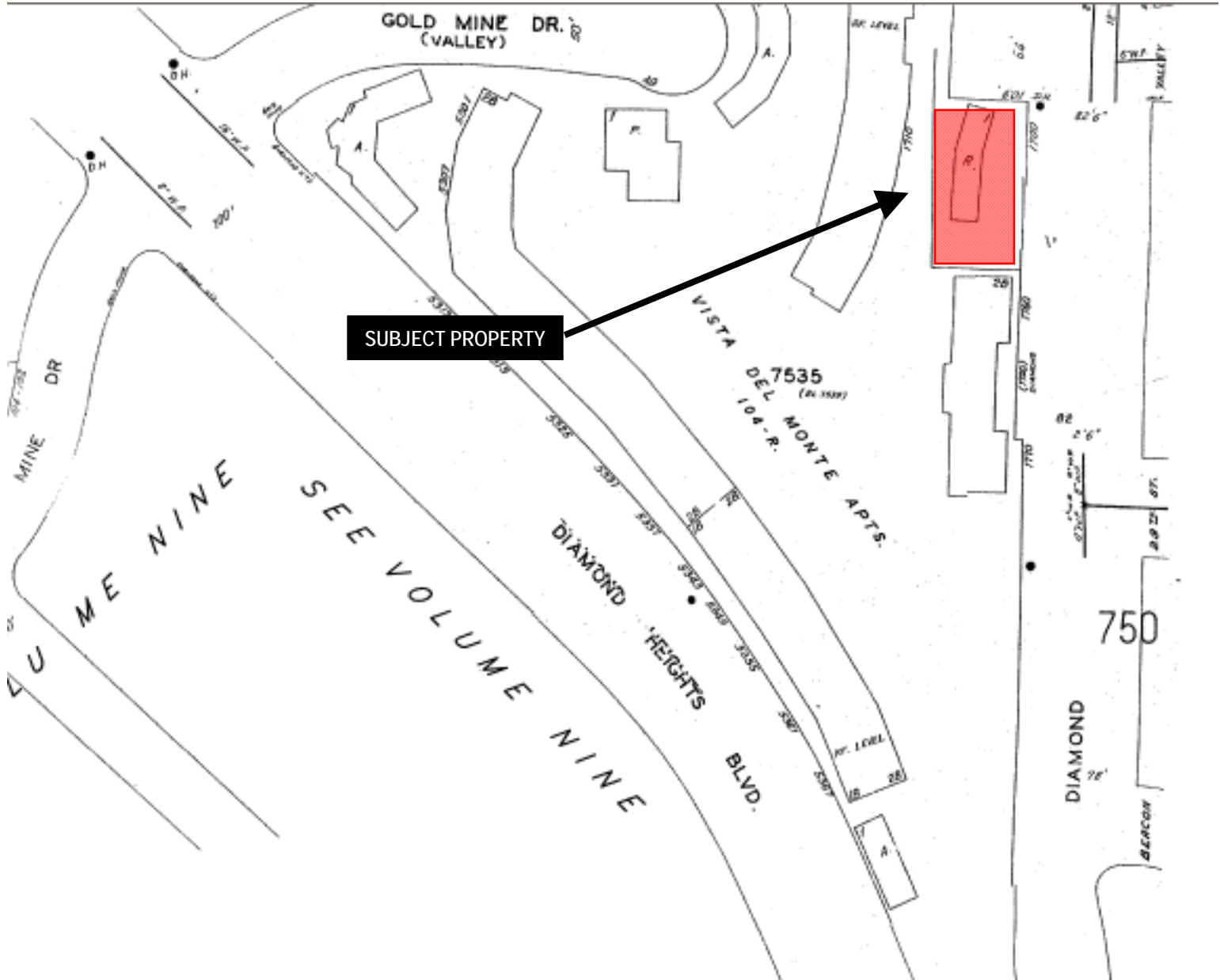
* All page numbers refer to the Residential Design Guidelines

Parcel Map



Discretionary Review Hearing
Case Numbers 2006.0974D and 2011.0632D
Mandatory Discretionary Review
1710 Diamond Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



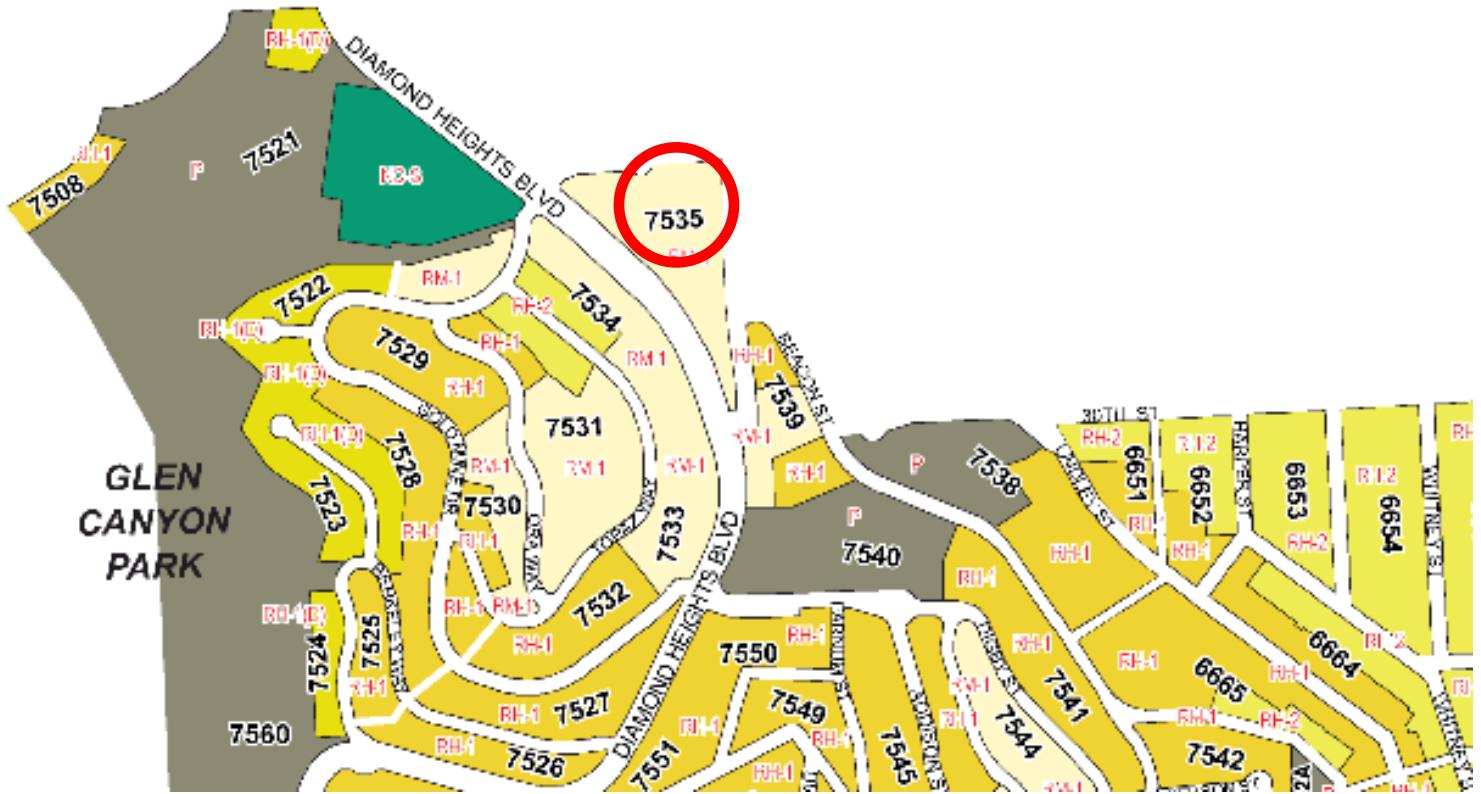
Aerial Photo



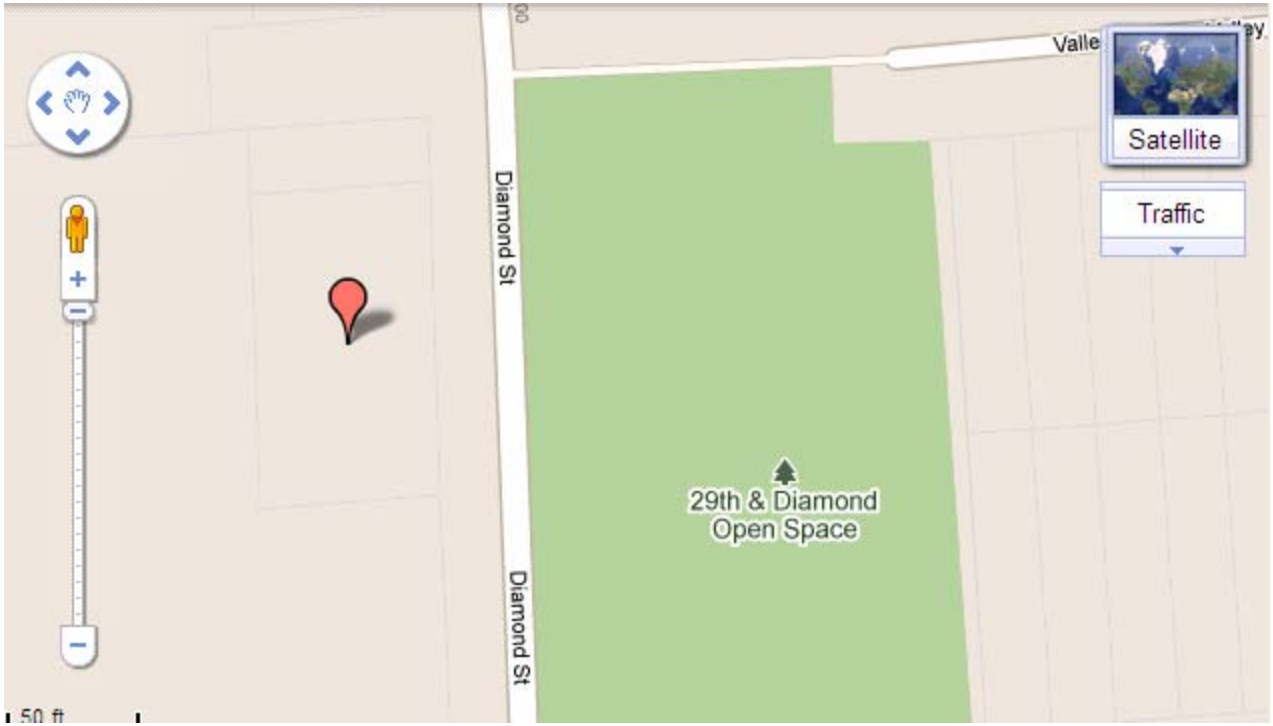
SUBJECT PROPERTY



Zoning Map



Discretionary Review Hearing
Case Numbers 2006.0974D and 2011.0632D
Mandatory Discretionary Review
1710 Diamond Street



Discretionary Review Hearing
Case Numbers 2006.0974D and 2011.0632D
Mandatory Discretionary Review
1710 Diamond Street



SAN FRANCISCO PLANNING DEPARTMENT

RESIDENTIAL DESIGN TEAM REVIEW

DATE: August 7, 2009 RDT MEETING DATE: August 13, 2009

PROJECT INFORMATION:

Planner: Sophie Middlebrook
 Address: 1710 Diamond Street
 Cross Streets: Diamond Heights Blvd and Valley Streets
 Block/Lot: 7535/102
 Zoning: RM-1
 Height/Bulk District: 40-x
 BPA/Case No. 2007.02.06.3543
 Project Status Initial Review Post NOPDR DR Filed

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PROJECT DESCRIPTION:

The proposal has been revised to reflect the comments on the original design generated by the RDT. The proposed project remains a proposal to demolish the existing single-family home and to construct 4 single-family homes.

PROJECT CONCERNS:

This is the second review of the proposed project by the RDT. The project was also presented to Senior Management for policy coordination regarding the total unit count. The project sponsor has agreed to revise the design of the proposed four new structures, but will not alter the unit count from four units to six units.

RDT COMMENTS:

*Following Policy Coordination's review of this project, where senior management required that the project be revised to provide six units instead of the proposed four, the project was brought back to RDT for additional design review comments.

- Provide an approximately one-foot recess for the narrower vertical element on the façade in order to gain greater articulation on the façade.
- Simplify the materials at and around the garage level.

Victor Quan

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(415) 567-2229

1710 Diamond Street
San Francisco, CA 94131

June 27, 2011

Christina Olague, President
Ron Miquel, Vice President
Michael J. Antonini, Commissioner
Gwyneth Borden, Commissioner
Kathrin Moore, Commissioner
Hisashi Sugaya, Commissioner
Rodney Fong, Commissioner

Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 1710 Diamond St

Dear President Olague and Commissioners:

My name is Victor Quan and I am the owner of 1710 Diamond St. I purchased the property January 2006 and am proposing to subdivide it into four lots and build four single-family homes.

Planning Approved Single-Family Homes for Immediate Neighbors to the North (See Illustration #1)

Attached is a map highlighting in yellow the single-family homes in my area. Three doors north from my property Planning approved a single-family home that finished construction this year. Two doors north Planning approved a single-family home in 2008. Literally right next door Planning approved another single-family home completed in 2004. All of my neighbors have been approved by Planning to build single-family homes, but I am told that I must increase density on my property to six units. Already I am increasing density from one house to four. I do not understand why this is not enough. It is unfair to ask me to do more, especially after years of investment, when my neighbors had no problem building their single-family houses.

Planning Department had Proposal for Over Two Years before Mentioning an Issue

The project team met with Planning Staff in 2006 to discuss my four-home proposal and no one expressed concern regarding density. Building permits were filed and the project was under review starting February 2007. It wasn't until July 2009, over two years later, that the Planning Department mentioned increasing density.

Single-Family Homes Contextually Match Neighbors and Provide Family-Size Homes with Elevators

Contextually, single-family homes are more suitable for the neighborhood than a denser multi-unit building. Ninety-nine percent of the homes on my street, Diamond Street, are single-family homes. My proposed homes correspond nicely with the width and look of the neighboring homes. I intend to occupy one of these buildings with my family. Increasing density reduces size and eliminates the option of elevators for elders. Changing to six units only compromises the senior and family friendliness of my buildings, in addition to disrupting the character of the neighborhood.

High-Density Complexes are Disconnected from my Property and Community (See Illustration #2)

The high-density complexes on top of the hill behind my proposed homes are not comparable with my property. Displayed in the second attachment is how disconnected the complexes are. They are located high up, 50 feet up, behind my property and face Diamond Heights Boulevard. None of the tenants from the complexes came to any of the neighborhood meetings. The neighbors that did come were those living on my street in single-family houses and they are already concerned that four-units is too much!

Time, Money, and Jobs will be Lost if Proposal is Not Approved

Lots of time and money on professional fees, permit fees, interest, and property tax has been spent, none of which I will get back. I am more than ready to start work now and create local jobs for contractors and subcontractors. Too much financially has gone into this project to be delayed further, let alone start over.

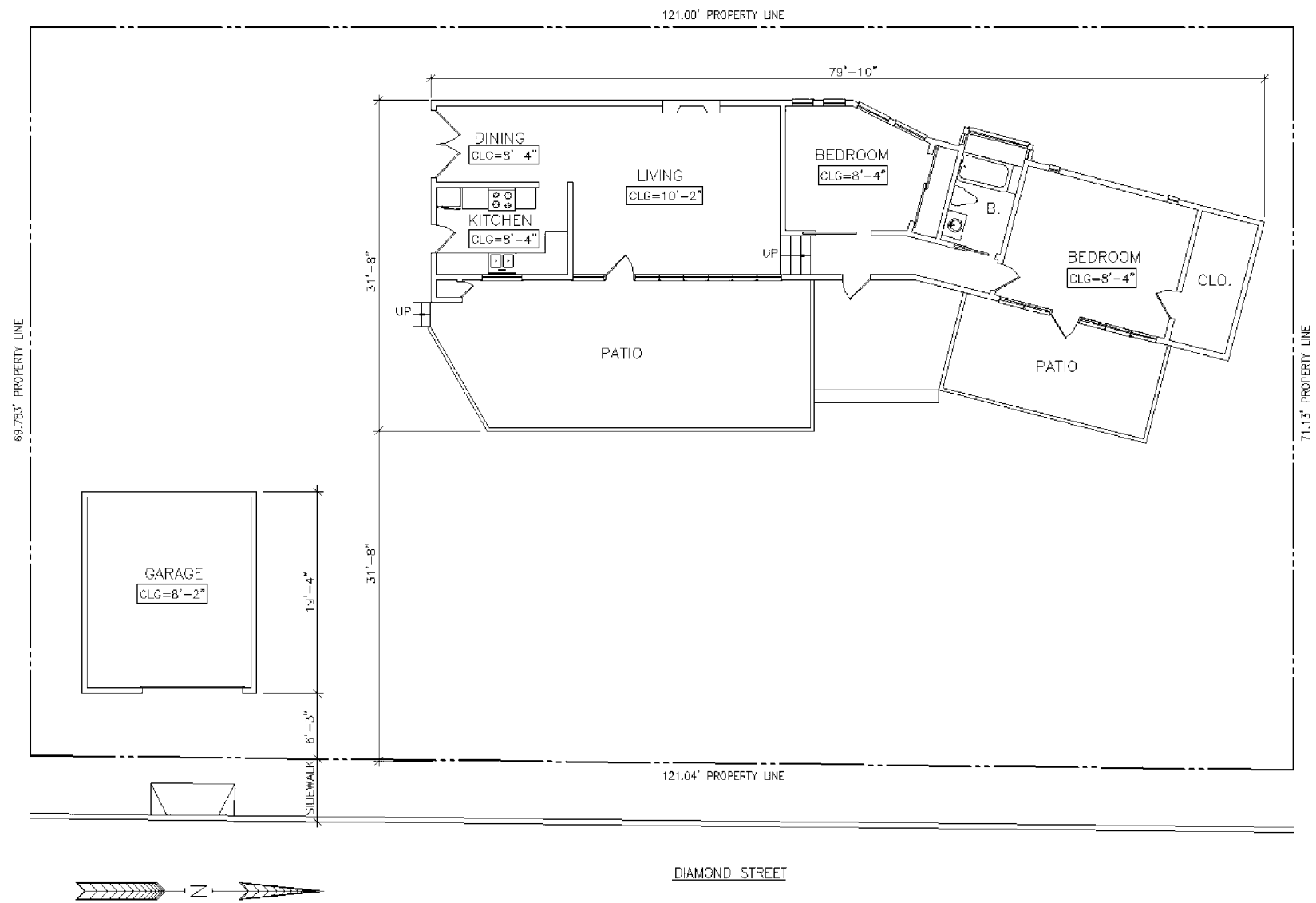
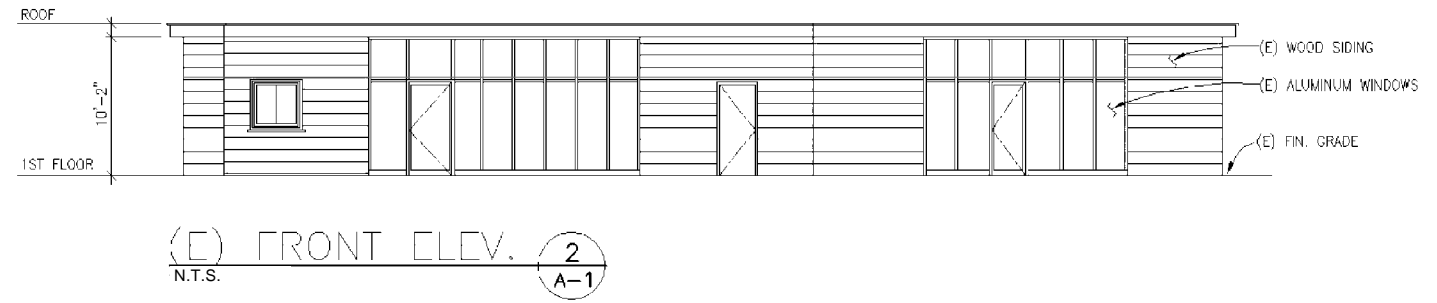
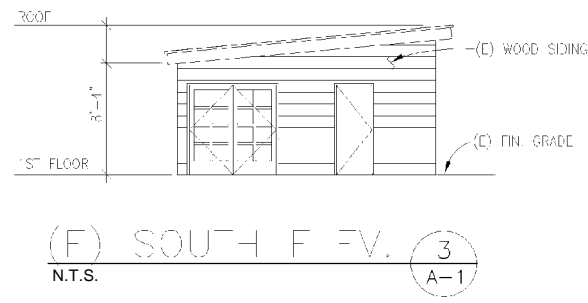
I feel that forcing me to redesign my entire project, after years under review, is unwarranted. My proposal of four single-family homes complies with code and corresponds with the character of the neighborhood. I ask that you seriously consider my proposal and approve it.

Thank you for your time and consideration. Please contact me if you have any further questions.

Sincerely,

Victor Quan

REVISIONS	BY



SITE/(E) 1ST FLOOR PLAN 1
N.T.S. A-1

EXISTING PLAN
1710 DIAMOND STREET
BLOCK 7535, LOT 102
SAN FRANCISCO, CALIFORNIA

EXISTING PLAN & ELEVATIONS

Date 4/27/10
Scale AS NOTED
Drawn
Job

Sheet
A-1
Of 1 Sheets



1760 DIAMOND STREET



1700 DIAMOND STREET

1656 DIAMOND STREET

1626 DIAMOND STREET



SUBJECT SITE AND ADJACENT BUILDINGS

1710-18-28-38 DIAMOND STREET, BLOCK 7535, LOT 102, SAN FRANCISCO, CALIFORNIA



PERSPECTIVE RENDERING - FRONT ELEVATIONS

REVISIONS	BY
12/10/08	MML
8/10/09	EC
PER RDT CMT.#1	
1/19/11	MML
PER NEIGHBOR	
6/23/11	MML
DR HEARING	



GABRIEL Y. NG & ASSOCIATES
ARCHITECTURE + PLANNING + INTERIORS
1360 PAVENUE SUITE 210 415.462.8900
SAN FRANCISCO CA 94122 FAX 415.462.8720
www.gyni.com

DRAWING INDEX

A-0	2D FRONT VIEW
A-0.1	DBI DETERMINATION LETTER
A-1	SITE / ROOF PLAN
A-2	FLOOR PLANS
A-3	FLOOR PLANS
A-4	ELEVATIONS
A-5	SECTIONS & WINDOW DETAIL

PROJECT DATA

BUILDING PERMIT APPLICATION #: 2007-02-06-3543

BLOCK/LOT: 7535 / 102 OCCUPANCY: R-3

ZONING: RM-1 NUMBER OF UNITS: 1

NUMBER OF STORIES: 3 STORY o/ BASEMENT

TYPE OF CONSTRUCTION: V - N HOUR

GENERAL NOTES

PLEASE TAKE NOTICE THAT THE DRAWINGS AS PREPARED BY GABRIEL Y. NG AND ASSOCIATES FOR THE PROJECT ARE LIMITED TO THE EXTENT AS REQUIRED FOR PLAN CHECK PURPOSES BY CITY AGENCIES HAVING JURISDICTION OVER THE PROJECT.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN-BUILD (DESIGN AND INSTALL) ALL SYSTEMS AND ELEMENTS AS SHOWN ON THESE DRAWINGS IN THE LIGHT OF SITE CONDITIONS AND APPLICABLE CODE REQUIREMENTS, AND THAT ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR SHALL UNDERTAKE FULL RESPONSIBILITIES TO DESIGN-BUILD ALL ELEMENTS AND MAKE NECESSARY ADJUSTMENTS AS REQUIRED FOR THE COMPLETION OF THE PROJECT IN ITS ENTIRETY PURSUANT TO ALL APPLICABLE CODE REQUIREMENTS, TRADE AND WORKMANSHIP STANDARDS.

ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY BUILDING CODE AND UNIFORM BUILDING CODE, AS WELL AS ALL APPLICABLE FEDERAL, STATE, OSHA, BAY AREA AIR QUALITY MANAGEMENT DISTRICT, COUNTY AND CITY ORDINANCES, AMENDMENTS AND RULINGS. THE CITY CODE SHALL GOVERN WHEN IT AND THE USC OR ANY OTHER REFERENCE CODES AND STANDARDS ARE IN CONFLICT.

THE CONTRACTOR SHALL GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE LAWFUL EXECUTION OF THE WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE LOT, EASEMENT, SOIL CONDITIONS, ALL PROPOSED DIMENSIONS, INCLUDING EXCAVATION, UNDERPINNING, DRAINAGE AND UTILITY LINES AT SUBJECT PROPERTY, AS WELL AS, AT ADJACENT PROPERTIES. IF THE CONTRACTOR ENCOUNTERS DISCREPANCIES IN THE DRAWINGS, HE SHALL CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF CORRECTIONS TO THE WORK IF HE NEGLECTS TO ADHERE TO THIS PROCEDURE.

THE DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR A FINISHED PIECE OF WORK. THE CONTRACTOR SHALL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE COMPLETED IN A GOOD AND WORKMANLIKE MANNER AND IN EVERY DETAIL, ALTHOUGH EVERY NECESSARY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. EXCEPT AS OTHERWISE SPECIFICALLY STATED, THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, FEES, MATERIALS, LABOR, TOOLS, AND EQUIPMENT FOR THE ENTIRE COMPLETION OF THE WORK INTENDED TO BE DESCRIBED.

AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE, SUBJECT PROPERTY, AND ADJACENT PROPERTIES. THE ARCHITECT SHALL NOT REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR THE OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTORS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

ALL DRAWINGS, SPECIFICATIONS, AND INFORMATION FURNISHED HERewith ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE HELD CONFIDENTIAL AND SHALL NOT BE USED FOR ANY PURPOSE OR PURPOSES OTHER THAN THOSE FOR WHICH THEY HAVE BEEN SUPPLIED AND PREPARED. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING, AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

ANY DRAWINGS ISSUED WITHOUT THE APPROVAL STAMP, SIGNED AND DATED BY THE BUILDING DEPARTMENT SHALL BE CONSIDERED IN THE PRELIMINARY STAGE AND SHALL NOT BE USED FOR CONSTRUCTION.

DO NOT SCALE DRAWINGS.



DIAMOND STREET

NEW SINGLE-FAMILY DWELLING
1710 DIAMOND STREET
BLOCK 7535, LOT 102
SAN FRANCISCO, CALIFORNIA

2D FRONT VIEW



Date 2/2/07
Scale AS NOTED
Drawn ML/EC
Job 060503
Sheet

A-0
Of 7 Sheets

SYMBOLS

	COLUMN GRID LINE
	INTERIOR ELEVATION NUMBER WITH DIRECTION INDICATION SHEET NUMBER
	SECTION/DETAIL IDENTIFICATION SHEET NUMBER
	ENLARGED PLAN SECTION OR DETAIL REFERENCE
	ROOM/SPACE NUMBER
	DOOR NUMBER HARDWARE GROUP
	WINDOW NUMBER
	NEW STUD WALL - SEE DETAIL
	NEW STUD WALL WITH INSULATION SEE DETAIL
	NEW DOOR
	EXISTING CONDITION TO BE REMOVED
	EXISTING WALL/DOOR TO REMAIN
	MASONRY WALL
	FLOOR DRAIN
	ROOF DRAIN
	HOSE BIBB
	SPRINKLER HEAD
	SMOKE DETECTOR
	THERMOSTAT
	COLD AIR RETURN
	HEATING DUCT REGISTER
	EXHAUST FAN
	EXHAUST FAN WITH HEAT FAN
	EXHAUST FAN WITH HEAT LAMP
	TELEPHONE OUTLET +12' UO/N
	TELEVISION OUTLET + 12' UO/N
	DUPLEX RECEPTACLE (110V) +12' UO/N
	APPLIANCE CIRCUIT (220V) +12' UO/N
	DUPLEX RECEPTACLE WITH ONE SWITCHED OUTLET +12' UO/N
	GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE +12' UO/N
	SWITCH +48' UO/N
	3 WAY
	4 WAY
	DIMMER
	LIGHTING FIXTURE IDENTIFICATION TAG
	H.I.D. OR INCANDESCENT LIGHT FIXTURE RECESSED
	H.I.D. OR INCANDESCENT LIGHT FIXTURE CEILING MOUNTED
	CHANDELIER
	H.I.D. OR INCANDESCENT LIGHT FIXTURE WALL MOUNTED
	H.I.D. OR INCANDESCENT WALL SCONCE W/ HEIGHT INDICATION
	FLUORESCENT FIXTURE RECESSED OR SURFACE MOUNTED
	FLUORESCENT FIXTURE WALL MOUNTED
	TRACK LIGHT FIXTURE CEILING MOUNTED W/ LENGTH INDICATION
	NATURAL GAS OUTLET
	HOT WATER HEATER

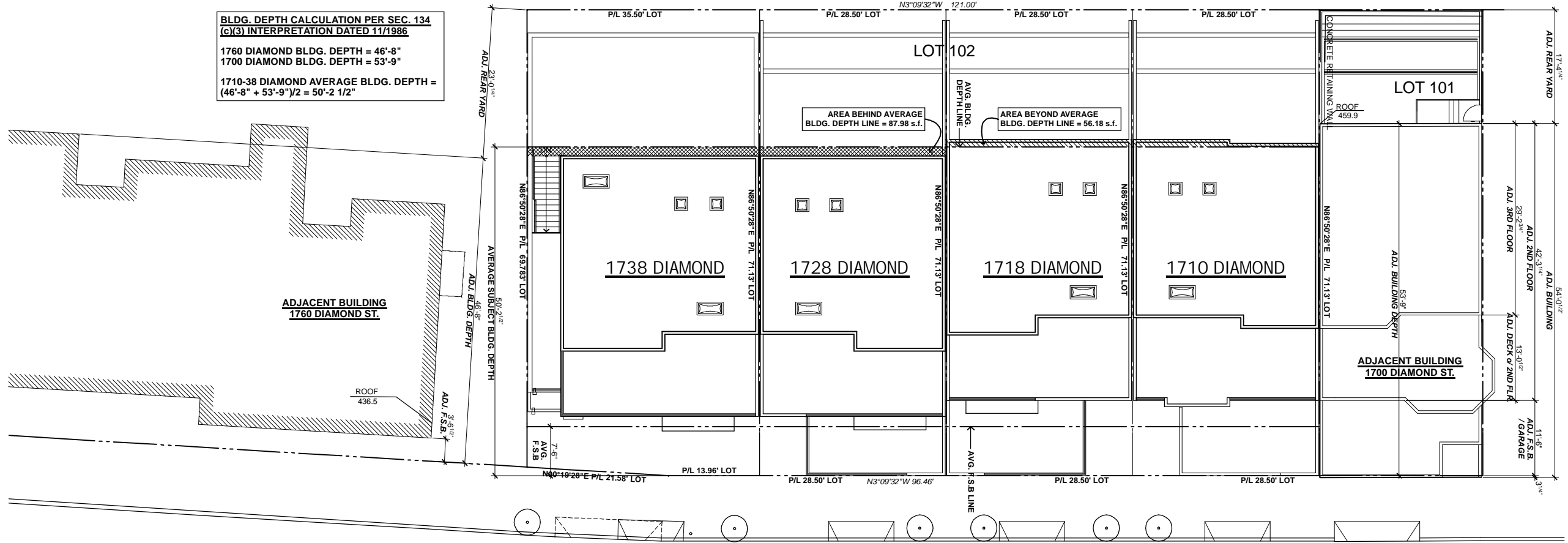
ABBREVIATIONS

A	AREA	B	BATH	C	CATCH BASIN	D	DIAPHRAGM	E	EAST	F	FOUNDATION	G	GLASS	H	HOLE	I	INTERIOR	J	JANITOR	K	KITCHEN	L	LABORATORY	M	MEDICINE CABINET	N	NORTH	O	OVERALL	P	PAPER TOWEL DISPENSER	Q	QUARRY TILE	R	RISER	S	SCHEDULE	T	TONGUE & GROOVE	U	UNFINISHED	V	VERTICAL	W	WEST	X	EXTERIOR	Y	YARD	Z	ZONING								
AD	ADJUSTABLE	AGG	AGGREGATE	ALUM	ALUMINUM	APPR	APPROXIMATE	ARCH	ARCHITECTURAL	ASB	ASBESTOS	ASPH	ASPHALT	B	BEDROOM	BD	BOARD	BITUM	BITUMINOUS	BLDG	BUILDING	BLK	BLOCKING	BLK	BLOCK	BM	BEAM	BO.S	BOTH SIDES	BDT	BOTTOM	D.O.	DOOR OPENING	D.S.P.	DRY STANDPIPE	DBL	DOUBLE	DEPT	DEPTH	DET	DETAIL	DIA	DIAMETER	DISP	DISPENSE R	DN	DOWN	DR	DOOR	DS	DOWNSPOUT	DW	DISHWASHER						
C.B.	CATCH BASIN	C.C.G.	CORNER GUARD	C.I.	CAST IRON	C.O.	CLEANOUT	C.T.	CERAMIC TILE	CAB.	CABINET	CEM.	CEMENT	CLG.	CILING	CLG.	CULKING	CLR.	CLEAR	CLM.	COLUMN	CONC.	CONCRETE	CONN.	CONNECTION	CONST	CONSTRUCTION	CONT.	CONTINUOUS	CORR.	CORRIDOR	CNTR.	COUNTER	EXT.	EXPOSED	EXT.	EXTERIOR	FA	FIRE ALARM	F.D.	FLOOR DRAIN	F.E.	FIRE EXTINGUISHER	F.C.	FACE OF CONCRETE	F.G.	FIXED GLASS	F.H.C.	FIRE HOSE CABINET	F.O.C.	FACE OF FINISH	F.O.F.	FACE OF FINISH	F.O.S.	FACE OF STUDS	F.P.	FIREPLACE	F.S.	FULL SIZE
FIN.	FINISH	FLASH.	FLASHING	FLR.	FLOOR	FLUOR.	FLUORESCENT	FRF.	FIREPROOF	FT.	FOOT OR FEET	FTG.	FOOTING	FUR.	FURRING	FUT.	FUTURE	G.B.	GRAB BAR	G.D.	GARAGE DISPOSAL	G.F.I.	GROUND FAULT INSULATED	G.S.M.	GALVANIZED SHEET METAL	GA.	GUAGE	GAL.	GALLON	GL.	GLASS	GRD.	GROUND	GR.	GRADE	GYP.	GYPSUM	H.B.	HOSE BIBB	H.C.	HOLLOW CORE	H.M.	HOLLOW METAL	H.W.D.	HARDWOOD	H.W.	HORIZONTAL	HR.	HOUR	HT.	HEIGHT	HR.	HORIZONTAL	HT.	HEIGHT	ID.	INSIDE DIAMETER (DIM.)		
INSUL.	INSULATION	INSUL.	INSULATION	JAN.	JANITOR	JT.	JOINT	KIT.	KITCHEN	LAB.	LABORATORY	LAM.	LAMINATE	LAV.	LAVATORY	LOOK.	LOOKER	LT.	LIGHT	M.C.	MEDICINE CABINET	MAX.	MAXIMUM	MECH.	MECHANICAL	MEMB.	MEMBRANE	MET.	METAL	MFR.	MANUFACTURER	MH.	MANHOLE	MIN.	MINIMUM	MIR.	MIRROR	MISC.	MISCELLANEOUS	MTO.	MOUNTED	MUL.	MULLION	N	NORTH	(N)	NEW	N.I.C.	NOT IN CONTRACT	N.T.S.	NOT TO SCALE	NO. OR #	NUMBER						
O.A.	OVERALL	O.C.	ON CENTER	O.D.	OUTSIDE DIAMETER (DIM.)	O.F.D.	OVERFLOW DRAIN	O.H.	OVERHEAD	OSB.	OBSOLETE	OFF.	OFFICE	OPNG.	OPENING	OPP.	OPPOSITE	P.C.	PHOTO CELL	P.LAM.	PLASTIC LAMINATE	P.T.D.	PAPER TOWEL DISPENSER	PTR.	PAPER TOWEL RECEPTACLE	PL.	PLATE	PLAS.	PLASTER	PLYWD.	PLYWOOD	PAIR	PAIR	PRCST.	PRECAST	PT.	POINT	PTN.	PARTITION	Q.T.	QUARRY TILE	R	RISER	R.D.	ROUGH DRAIN	R.O.	ROUGH OPENING	R.W.	REDWOOD	R.W.L.	RAIN WATER LEADER	REF.	RADIUS	REF.	REFERENCE	REFR.	REFRIGERATOR		
REIN.	REINFORCED	REQ.	REQUIRED	RESIL.	RESILIENT	RET.	RETAINING	RGTR.	REGISTER	RM.	ROOM	S.	SOUTH	S.A.D.	SEE ARCHITECTURAL DRAWINGS	S.C.	SOLID CORE	S.C.D.	SEAT COVER DISPENSER	S.D.	SOAP DISPENSER	S.N.D.	SANITARY NAPKIN DISPENSER	S.N.R.	SANITARY NAPKIN RECEPTACLE	S.S.K.	SERVICE SINK	S.S.T.	STAINLESS STEEL	SCHED.	SCHEDULE	SECT.	SECTION	SH.	SHELF	SHR.	SHOWER	SHT.	SHEET	SHMLAR	SIMILAR	SPEC.	SPECIFICATION	SO.	SQUARE	STA.	STATION	STD.	STANDARD	STL.	STEEL	STOR.	STORAGE	STR.	STRUCTURAL	SUSP.	SUSPENDED	SYM.	SYMMETRICAL
T.B.	TOWEL BAR	TC.	TOP OF CURB	TP.	TOP OF PAVEMENT	T.P.D.	TOILET PAPER DISPENSER	TV.	TELEVISION	T.W.	TOP OF WALL	TEL.	TELEPHONE	TER.	TERAZZO	TK.	THICK	TRD.	TREAD	TY.	TYPICAL	U.O.N.	UNLESS OTHERWISE NOTED	UNF.	UNFINISHED	UR.	URINAL	VERT.	VERTICAL	VEST.	VESTIBLE	W.	WEST	W.	WITH	W.C.	WATER CLOSET	W.	WOOD	W.D.	WITHOUT	W.P.	WATERPROOF	W.S.C.	WAINSCOT	WT.	WEIGHT												

BLDG. DEPTH CALCULATION PER SEC. 134 (c)(3) INTERPRETATION DATED 11/1986

1760 DIAMOND BLDG. DEPTH = 46'-8"
 1700 DIAMOND BLDG. DEPTH = 53'-9"

1710-38 DIAMOND AVERAGE BLDG. DEPTH = $(46'-8" + 53'-9")/2 = 50'-2 \frac{1}{2}"$



BUILDING DEPTH CALCULATION
 ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



September 21st, 2007

Jeff Ma, Major Plan Check
 Department of Building Inspection
 1660 Mission Street, 2nd Floor
 San Francisco, CA 94103

Re: Address: 1710, 1718, 1728, & 1738 Diamond Street
 Block/Lot: Block 7535, Lot 102
 Project: Four New Single Family Dwelling Buildings

Dear Mr. Ma:

Pursuant to our meetings, I would like to confirm the discussions of the above reference projects per drawings dated February 2nd, 2007.

The proposed four new single-family dwellings (R-3) are 3-story-over-basement buildings of type 5 - no hour construction situated on one (to be subdivided) lot facing Diamond Street. Each house contains 3 stories of living space over garage at the basement level, equipped with a residential elevator to all floors. Three of the four buildings will be sitting on a 28.5 foot wide lot, the fourth at 35.5 feet.

The following items were discussed:

- Exiting:**
 - The second exit is required on 3rd floor per *SFBC Sec. 1004.2.3.2*. A fire escape may be used as the required 2nd exit, conform to the prescriptive requirement of *AB-19*. Local equivalency with *AB-19* needs to be filed.
 - The 2nd exit corridor may go through the garage area, with fire sprinkler installed, and exit path separated from parking area by a guardrail on 12" ht. curb, conform to the prescriptive requirement of *AB-20*. Local equivalency with *AB-20* needs to be filed.
- Since excavation will take place all at the same time and all buildings will be built without side setbacks. Some buildings will not have *Grade (Adjacent Ground Elevation)* along the side property line, the *Grade (Adjacent Ground Elevation)* will be determined by drawing a straight line connecting the finish grade elevation at the center of front building wall and the exterior finish grade elevation at the center of rearmost building retaining wall. We would like to confirm that this line will be the *Grade* to determine *Basement* definition per *SFBC Sec. 203* and *Story* definition per *SFBC Sec. 220*.

- It is our understanding that:**
- The scope of this pre-application plan review is limited to the questions submitted by the applicant. Code issues not addressed at the pre-application process will be addressed at the time of permit application plan review.
 - A copy of these notes shall be reproduced on not less than 11"x17" paper size and must be attached to the documents submitted for permit application. These understandings shall not be presumed to give authority to violate or cancel the provisions of the San Francisco Building Code, the San Francisco Fire Code or any other applicable laws and regulations.
 - The decision is not to be used as a precedent since it is intended to apply only to this particular situation. Please be advised that this response is based upon the accuracy and completeness of information supplied by Gabriel Ng, architect to the San Francisco Department of Building Inspection.

Very truly yours,

Gabriel Y. Ng, AIA

Agreed to the above determination:

By: Dated: 10-1-07

ARCHITECTURE
 PLANNING
 1307 20TH STREET
 SUITE 102
 SAN FRANCISCO
 CALIFORNIA 94109
 www.gyn.com
 FAX 415-563-1809
 415-563-5555

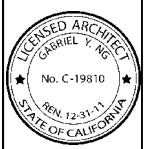
REVISIONS	BY
12/10/08	ML
8/10/09	ML
PER RDT CMT.#1	EC
1/19/11	MM/ML
PER NEIGHBOR	MM/ML
6/23/11	MM/ML
DR HEARING	MM/ML



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NEW SINGLE-FAMILY DWELLING
 1710 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

PRE-APPLICATION
 DETERMINATION LETTER



Date: 2/2/07
 Scale: AS NOTED
 Drawn: ML/EC
 Job: 060503
 Sheet:

A-0.1
 Of 7 Sheets

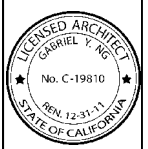
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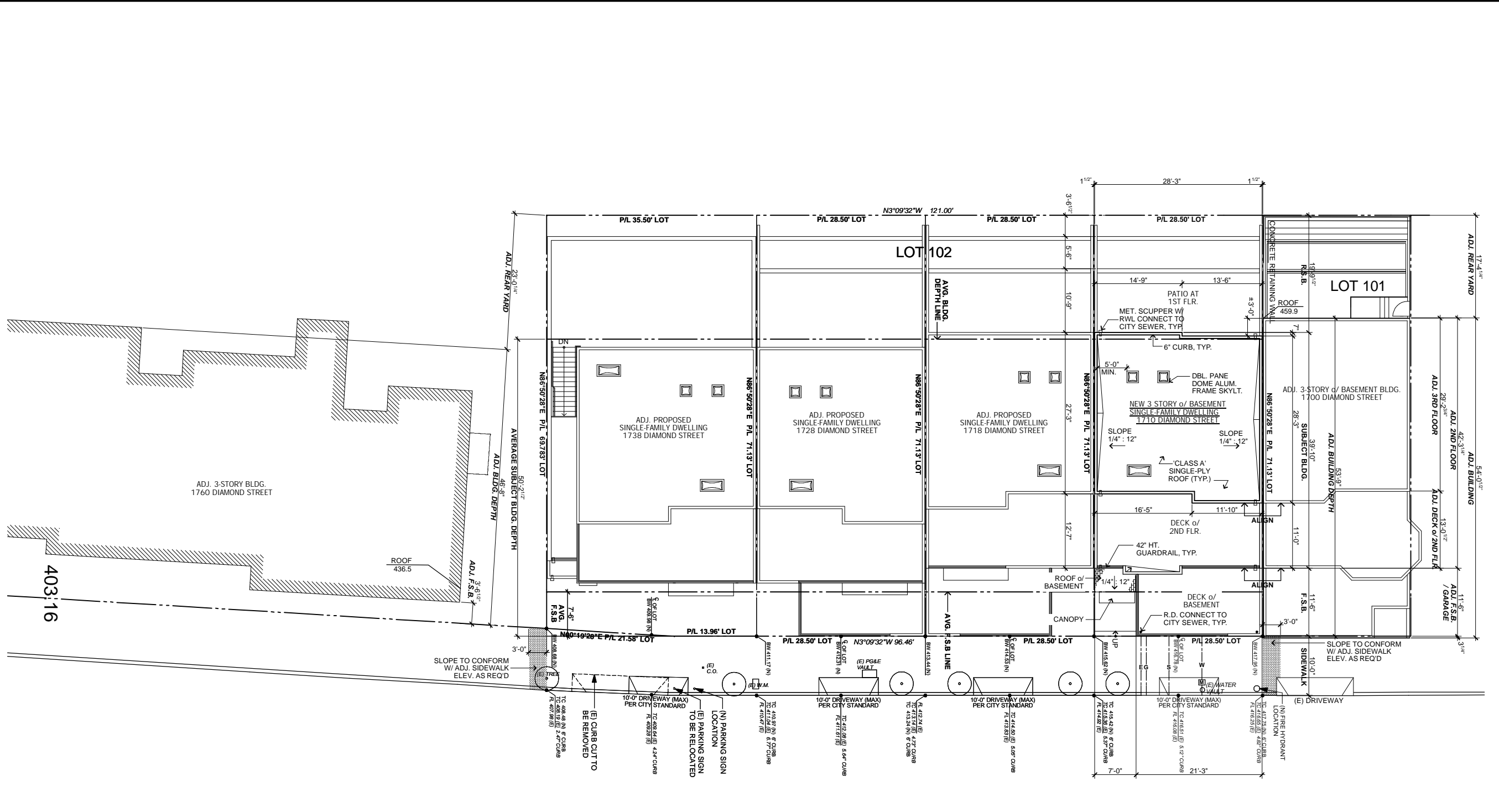
NEW SINGLE-FAMILY DWELLING
 1770 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

SITE / ROOF PLAN



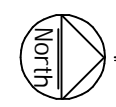
Date 2/2/07
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 Drawn ML/EC
 Job 060503
 Sheet

A-1
 Of 7 Sheets



- NOTES:**
- UNDERPINNING & SHORING IF REQUIRED UNDER SEPARATE PERMIT.
 - STATE INDUSTRIAL SAFETY PERMIT IS REQUIRED
 - PROVIDE TEMPERED (SAFETY) GLASS WITHIN 18" OF FLOOR PER SECTION 2406.3
 - PROVIDE SMOKE DETECTORS PER SEC. 907.2.10
 - FIREPLACE SHALL BE "UL LISTED"
 - ROOF DRAIN AND OVERFLOW DRAIN AT ROOF OR DECK SHALL CONNECT TO CITY SEWER
 - ALL LIGHTINGS SHALL COMPLY WITH 2005 CALIFORNIA TITLE 24 RESIDENTIAL STANDARDS
 - PROVIDE MET. STRAP TO WALL FOR WATER HEATER ON 18" PLATFORM
 - SKYLIGHT CONSTRUCTION PER SFBC 2405
 - SEE SOIL REPORT PREPARED BY EARTH SCIENCE CONSULTANTS DATED JAN 29, 2006
- APPLICABLE CODE AND ORDINANCES:**
- 2007 CALIFORNIA BUILDING CODE(CBC), W/ SAN FRANCISCO AMENDMENTS
 - 2005 ENERGY CODE - TITLE 24
 - 2007 CALIFORNIA MECHANICAL, ELECTRICAL, AND PLUMBING CODES, W/ SAN FRANCISCO AMENDMENT.

DIAMOND STREET
 (WIDTH VARIES)



SITE / ROOF PLAN

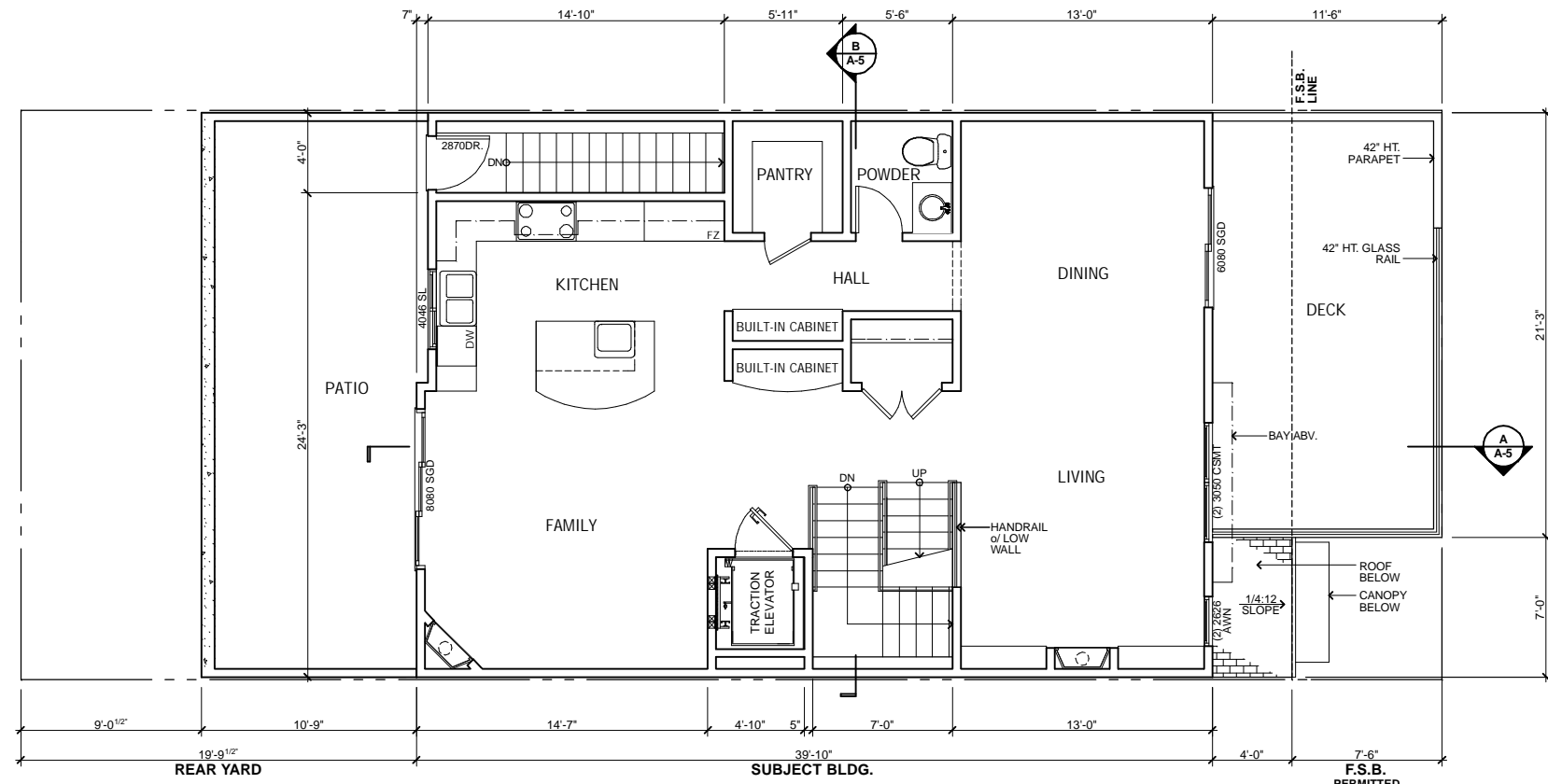
ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1' - 0"

Area Calculation (In Square Feet):

	Living Space	Garage	Total	Decks
3rd Floor	690.6		690.6	310.92
2nd Floor	1037.4		1037.4	
1st Floor	1011.0		1011.0	518.72
Basement		969.9	969.9	
Total	2739.0	969.9	3708.9	829.64

Total Living Area = 2739.0 S.F.
 Total Garage = 969.9 S.F.

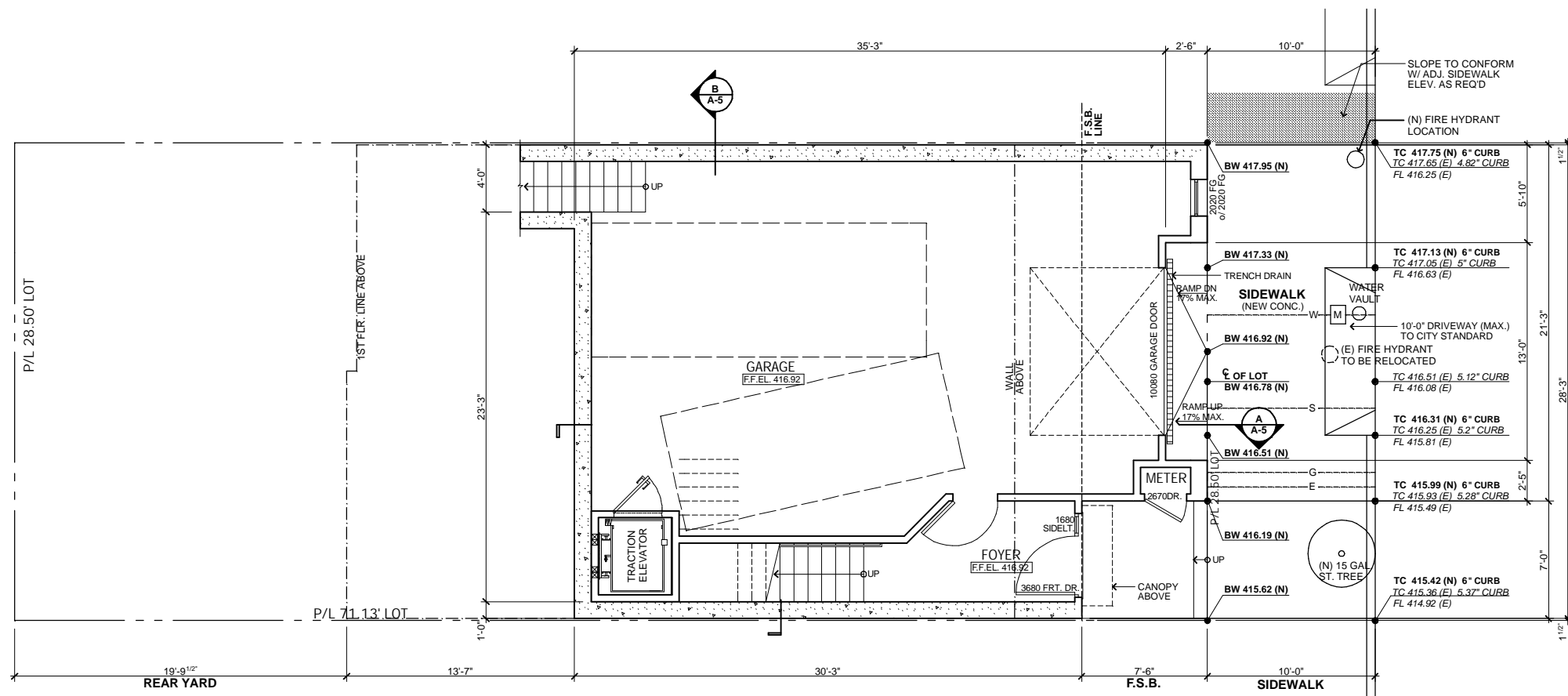
NOTE:
 Area Calculation as shown is intended for permit application purposes only and shall not be used for selling purpose.
 Final square footage and finished dimensions may vary from these plans due to construction variables.



FIRST FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"

F.S.B. PERMITTED OBSTRUCTION PER PLNG. CODE SEC. 136 (c) (27)



BASEMENT FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"

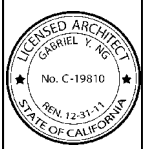
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SAN FRANCISCO CA 94112 FAX 415.682.8720
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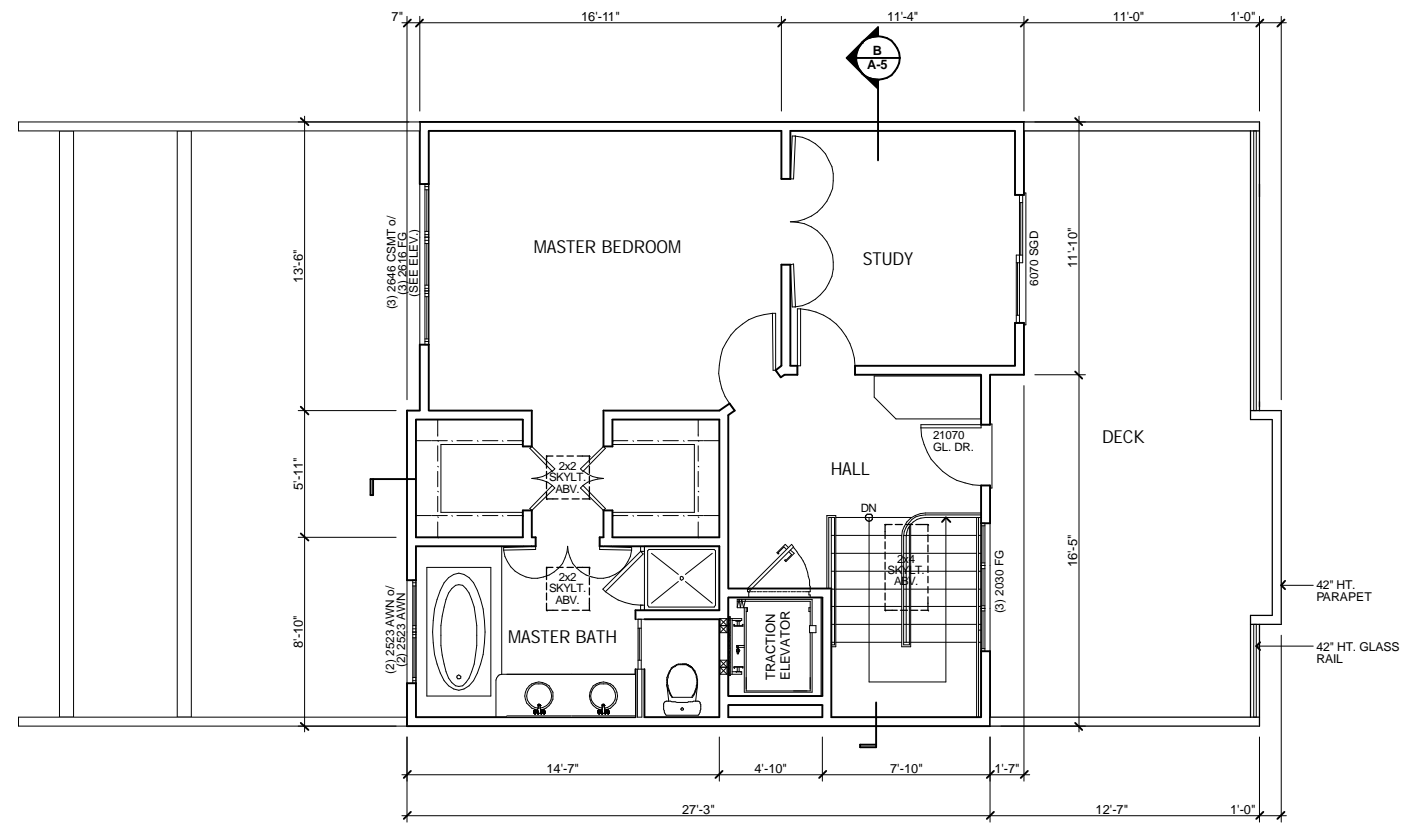
NEW SINGLE-FAMILY DWELLING
1710 DIAMOND STREET
BLOCK 7535, LOT 102
SAN FRANCISCO, CALIFORNIA

FLOOR PLANS



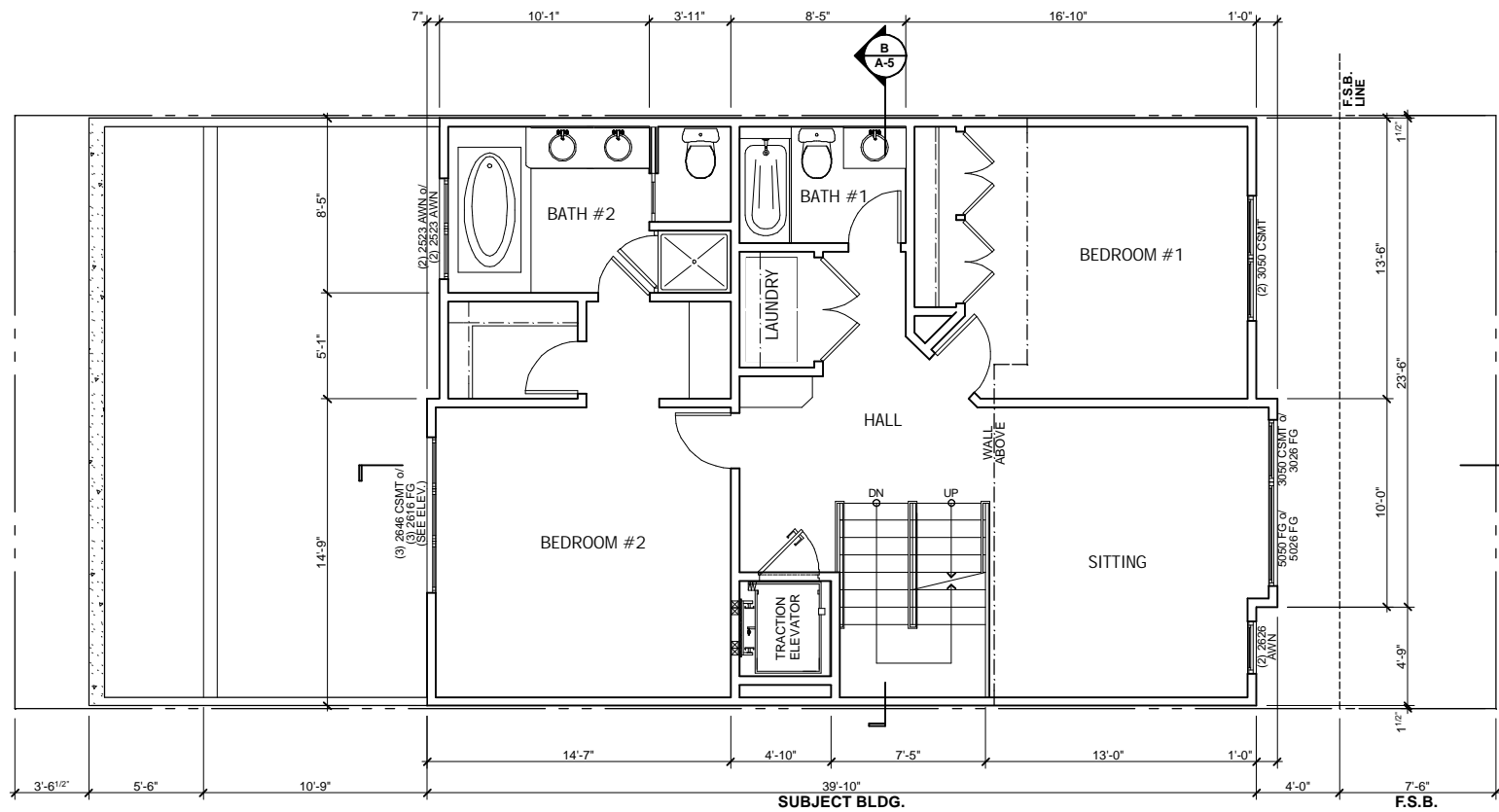
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Sheet

A-2
Of 7 Sheets



THIRD FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



SECOND FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



REVISIONS	BY
12/10/08	ML
8/10/09	EC
PER RDT CMT.#1	EC
1/19/11	MML
PER NEIGHBOR	MML
6/23/11	MML
DR HEARING	MML



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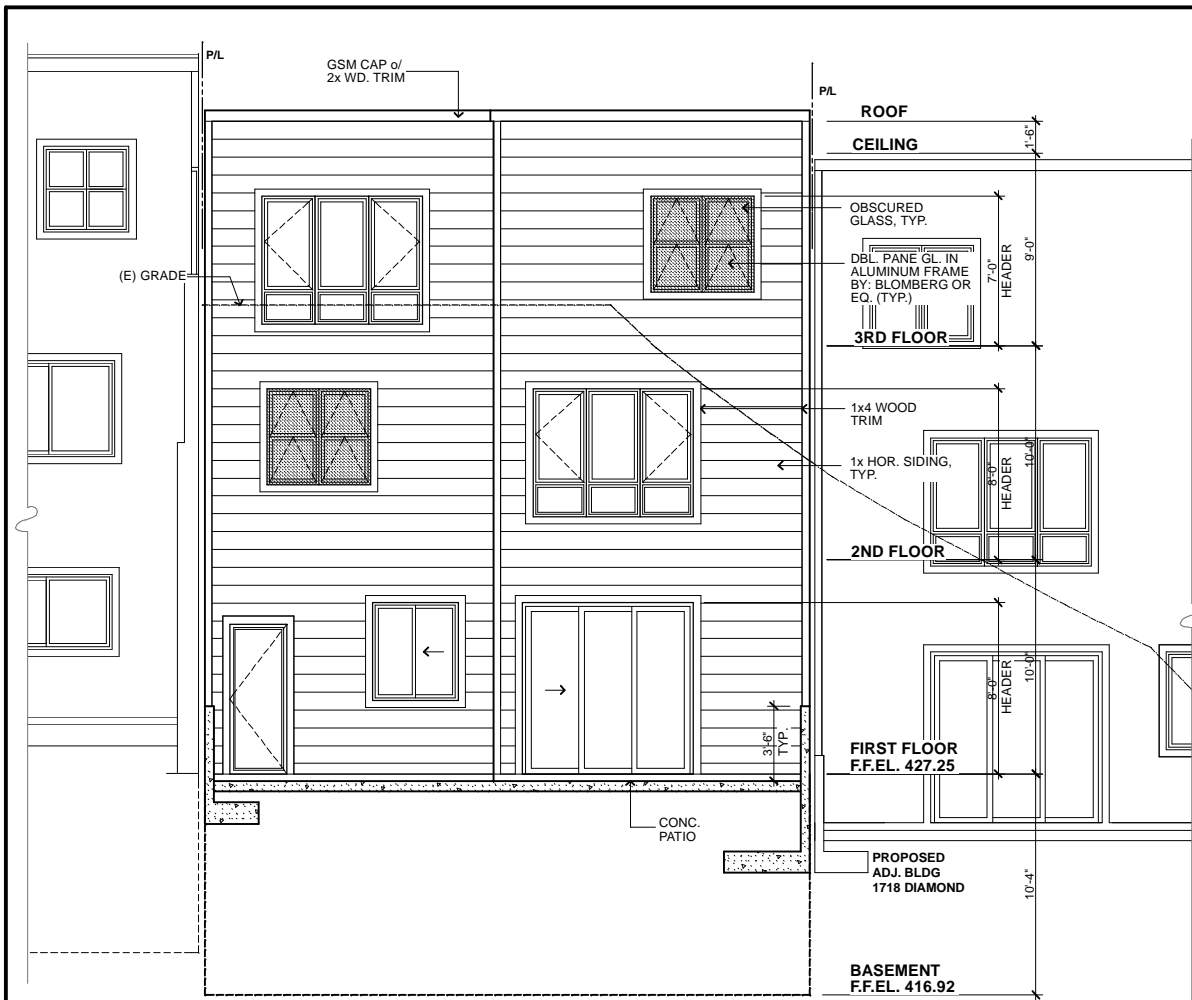
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FLOOR PLANS



Date 2/2/07
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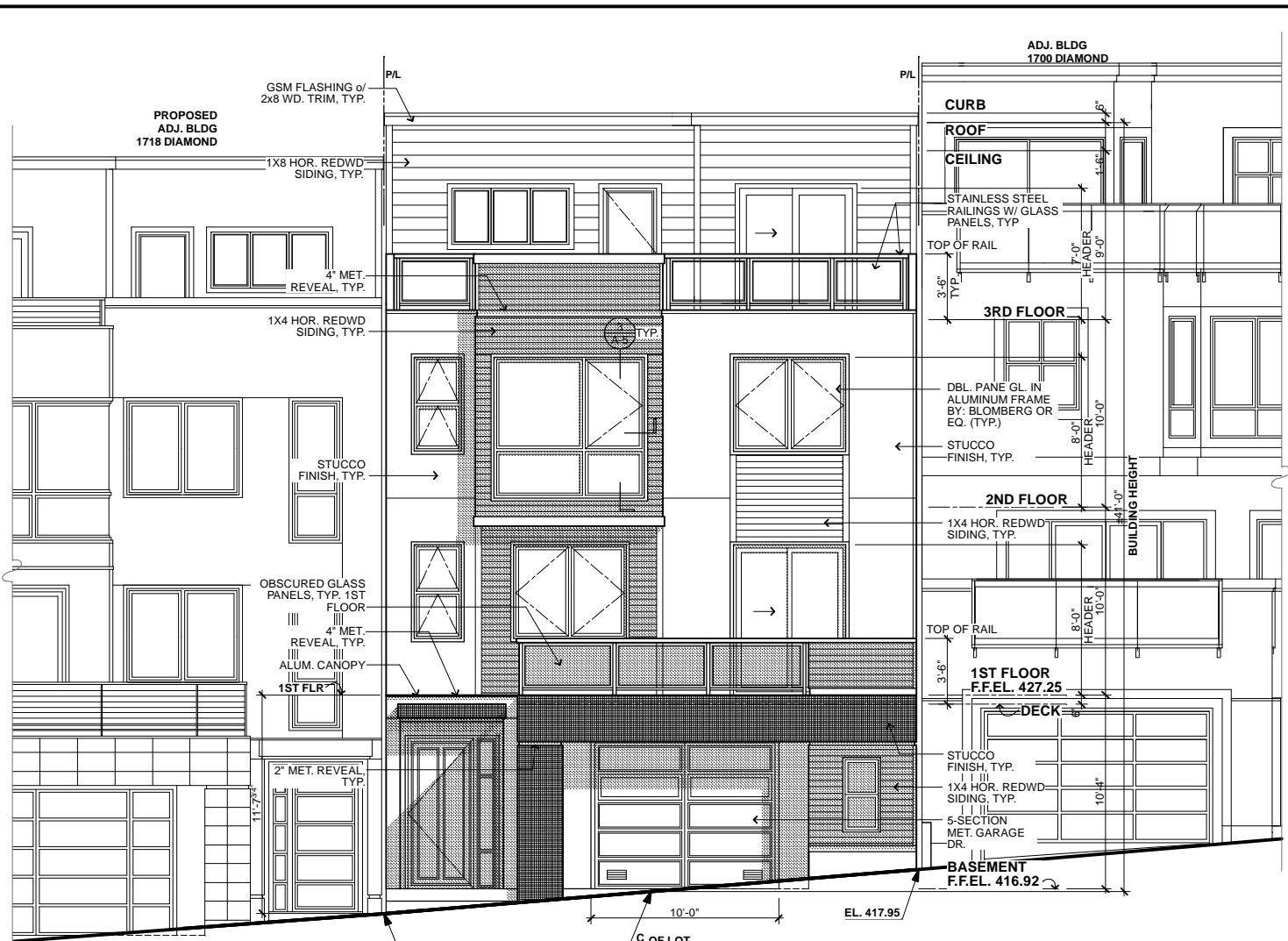
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 Of 7 Sheets



REAR ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N.

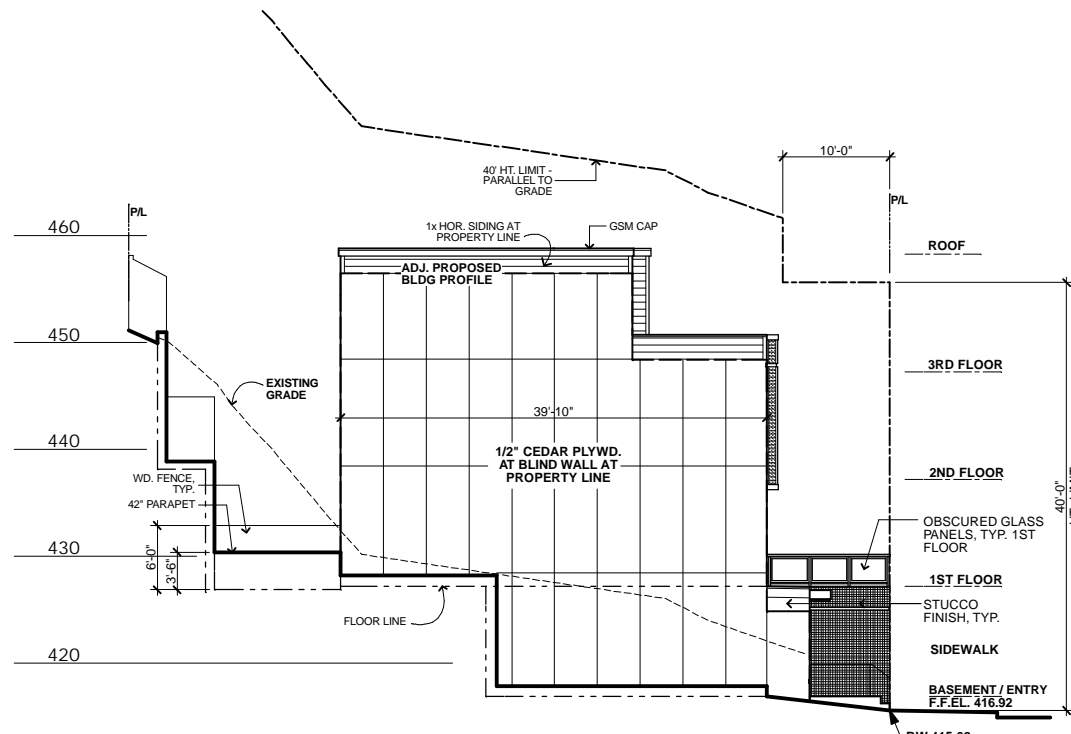
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

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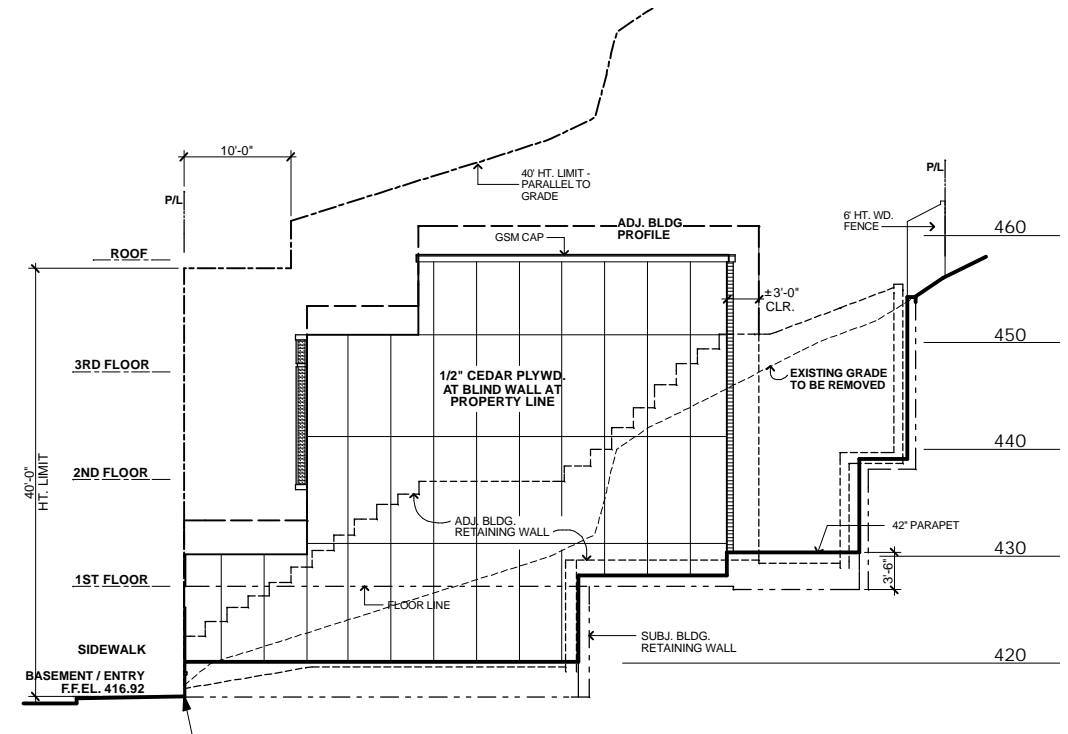
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N.

1/8" = 1'-0"



RIGHT SIDE ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N.

1/8" = 1'-0"

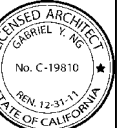
REVISIONS	BY
12/10/08	ML
8/10/09	ML
PER RDT CMT.#1	EC
1/19/11	MM/ML
PER NEIGHBOR	MM/ML
6/23/11	MM/ML
DR HEARING	MM/ML



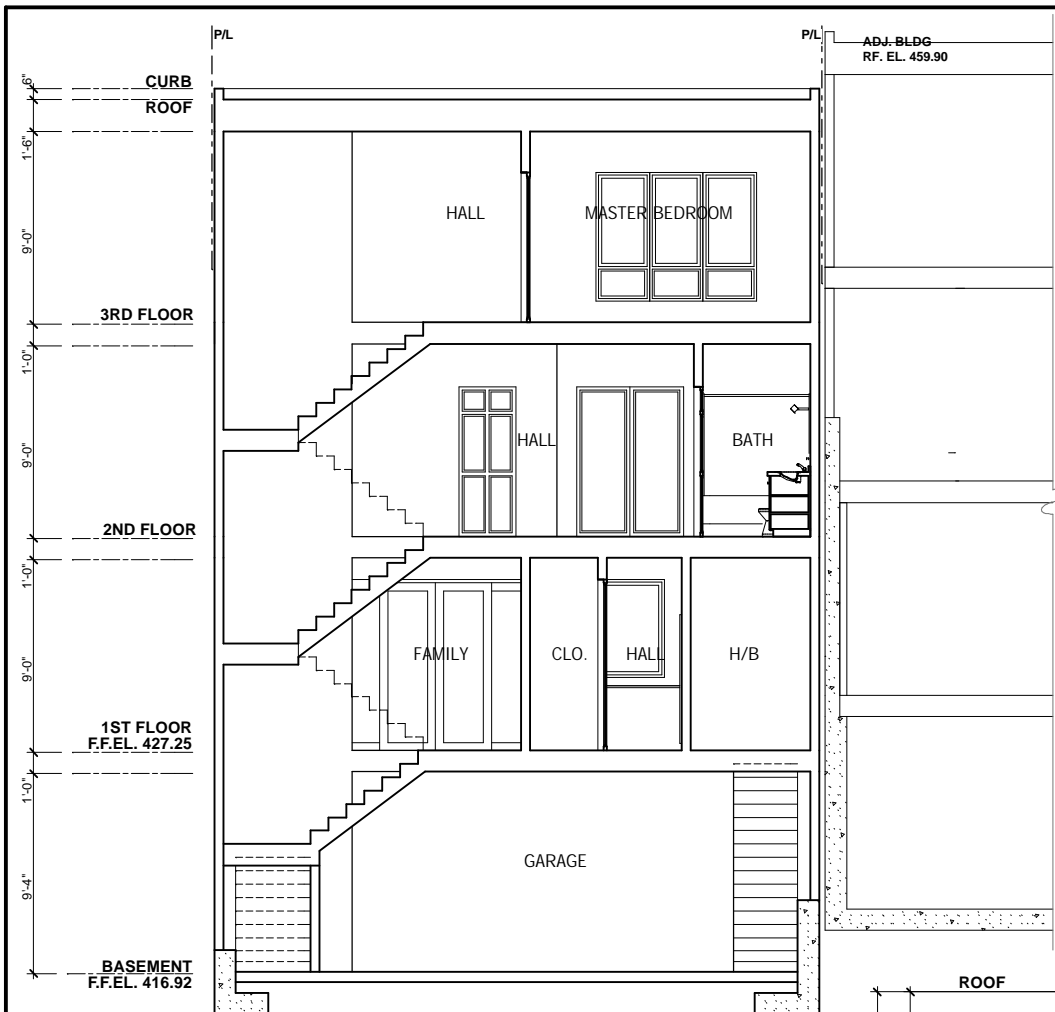
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NEW SINGLE-FAMILY DWELLING
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ELEVATIONS

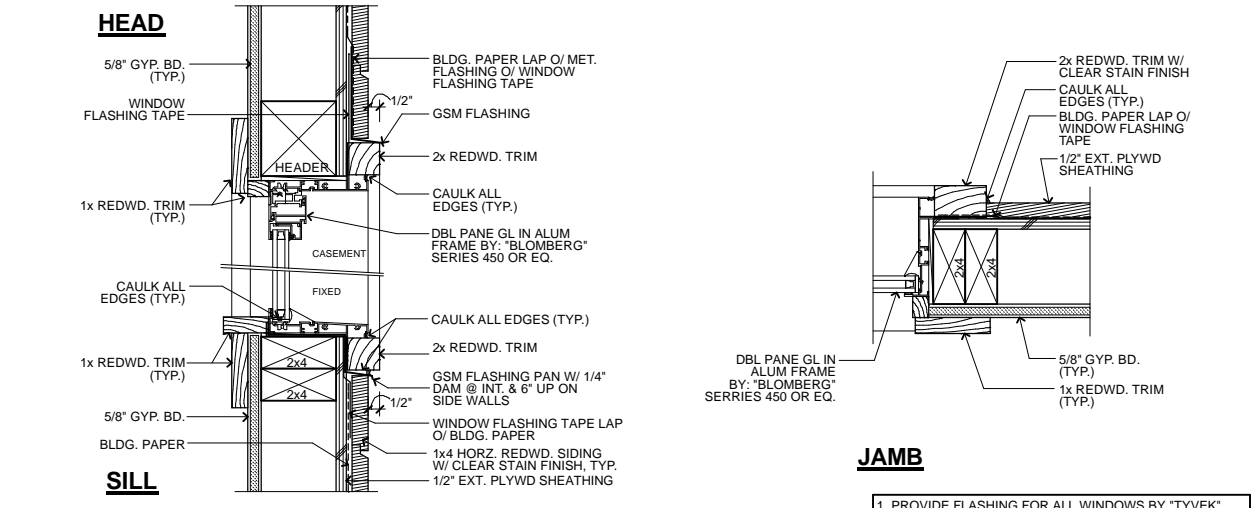


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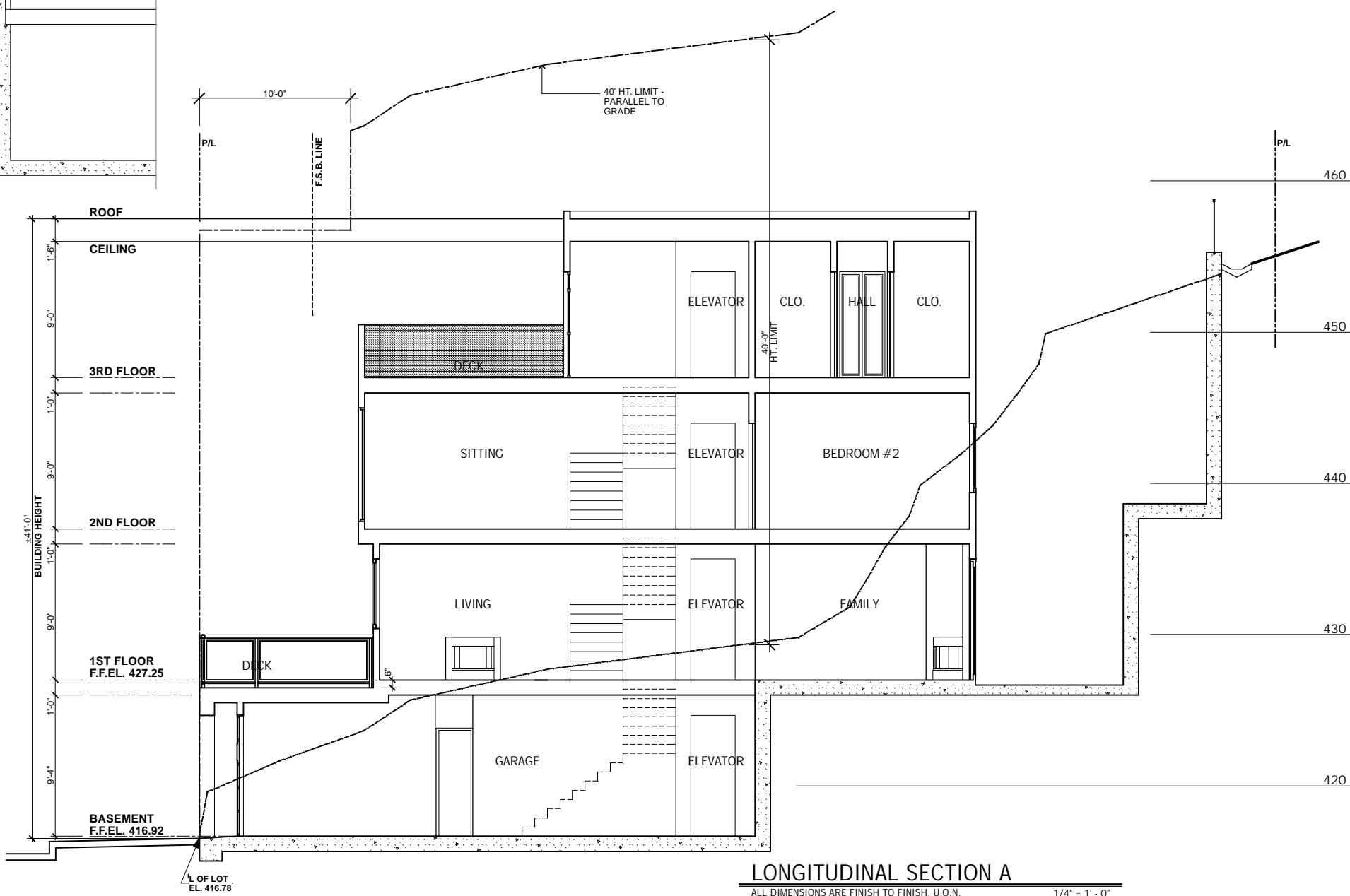
CROSS SECTION B

SCALE 1/4" = 1'-0"



1 WINDOW DETAIL - CASEMENT
SCALE 3" = 1'-0"

1. PROVIDE FLASHING FOR ALL WINDOWS BY "TYVEK" FLEX WRAP OR EQ.
2. INSTALL ALL WINDOWS PER MFR. RECOMMENDATION



LONGITUDINAL SECTION A

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1'-0"

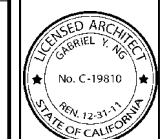
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SECTIONS



Date 2/2/07
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Sheet

A-5
Of 7 Sheets



PERSPECTIVE RENDERING - LOOKING DOWNHILL ON DIAMOND STREET



PERSPECTIVE RENDERING - LOOKING UPHILL ON DIAMOND STREET



GABRIEL Y. NG
& ASSOCIATES

PROPOSED FOUR NEW SINGLE FAMILY DWELLINGS

1710-18-28-38 DIAMOND STREET, BLOCK 7535, LOT 102, SAN FRANCISCO, CALIFORNIA



SYMBOLS

- COLUMN GRID LINE
- INTERIOR ELEVATION NUMBER WITH DIRECTION INDICATION SHEET NUMBER
- SECTION/DETAIL IDENTIFICATION SHEET NUMBER
- ENLARGED PLAN SECTION OR DETAIL REFERENCE
- ROOM/SPACE NUMBER
- DOOR NUMBER HARDWARE GROUP
- WINDOW NUMBER
- NEW STUD WALL - SEE DETAIL
- NEW STUD WALL WITH INSULATION SEE DETAIL
- NEW DOOR
- EXISTING CONDITION TO BE REMOVED
- EXISTING WALL/DOOR TO REMAIN
- MASONRY WALL
- F.D. FLOOR DRAIN
- R.D. ROOF DRAIN
- H.B. HOSE BIBB
- S.P. SPRINKLER HEAD
- (S.D.) SMOKE DETECTOR
- (T) THERMOSTAT
- C.A.R. COLD AIR RETURN
- HEATING DUCT REGISTER
- EXHAUST FAN
- EXHAUST FAN WITH HEAT FAN
- EXHAUST FAN WITH HEAT LAMP
- TELEPHONE OUTLET +12' UON
- TELEVISION OUTLET +12' UON
- DUPLEX RECEPTACLE (110V) +12' UON
- APPLIANCE CIRCUIT (220V) +12' UON
- DUPLEX RECEPTACLE WITH ONE SWITCHED OUTLET +12' UON
- GFI GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE +12' UON
- SWITCH +48' UON
- 3 3 WAY
- 4 4 WAY
- DIM DIMMER
- 'A' LIGHTING FIXTURE IDENTIFICATION TAG
- H.I.D. OR INCANDESCENT LIGHT FIXTURE RECESSED
- H.I.D. OR INCANDESCENT LIGHT FIXTURE CEILING MOUNTED
- CHANDELIER
- H.I.D. OR INCANDESCENT LIGHT FIXTURE WALL MOUNTED
- H.I.D. OR INCANDESCENT WALL SCONCE W/HEIGHT INDICATION
- FLUORESCENT FIXTURE RECESSED OR SURFACE MOUNTED
- FLUORESCENT FIXTURE WALL MOUNTED
- TRACK LIGHT FIXTURE CEILING MOUNTED W/LENGTH INDICATION
- GAS NATURAL GAS OUTLET
- HWH HOT WATER HEATER

DRAWING INDEX

A-0	2D FRONT VIEW
A-0.1	DBI DETERMINATION LETTER
A-1	SITE / ROOF PLAN
A-2	FLOOR PLANS
A-3	FLOOR PLANS
A-4	ELEVATIONS
A-5	SECTIONS & WINDOW DETAIL



DIAMOND STREET

ABBREVIATIONS

&	AND	C.B.	CATCH BASIN	DWG.	DRAWING	FDN.	FOUNDATION	INSUL.	INSULATION	O.A.	OVERALL	REINF.	REINFORCED	T.&G.	TONGUE & GROOVE
L	ANGLE	C.G.	CORNER GUARD	DWR.	DRAWER	FIN.	FINISH	INT.	INTERIOR	O.C.	ON CENTER	REQ.	REQUIRED	T.B.	TOWEL BAR
AT	ADJUST	C.I.	CAST IRON	E	EAST	FLASH.	FLASHING	O.D.	OUTSIDE DIAMETER (DIM.)	O.H.	OVERHEAD	RESIL.	RESILIENT	T.C.	TOP OF CURB
CL	CENTERLINE	C.O.	CLEANOUT	E	EAST	FLR.	FLOOR	JAN.	JANITOR	O.F.D.	OVERFLOW DRAIN	RET.	RETAINING	T.P.	TOP OF PAVEMENT
Ø	DIAMETER	C.T.	CERAMIC TILE	(E)	EXISTING	FLUOR.	FLUORESCENT	J.T.	JOINT	OBS.	OBSCURE	RGR.	REGISTER	T.P.D.	TOILET PAPER DISPENSER
#	POUND OR NUMBER	CAB.	CABINET	EXP.	EXPANSION JOINT	FRF.	FIREPROOF	KIT.	KITCHEN	OFF.	OFFICE	OPN.	OPENING	RM.	ROOM
PL	PROPERTY LINE	CEM.	CEMENT	FT.	FEET	FTG.	FOOTING	LAB.	LABORATORY	OPPG.	OPPOSITE	S	SOUTH	T.V.	TELEVISION
AD.	AREA DRAIN	CLG.	CEILING	E.W.	EACH WAY	FUR.	FURRING	LAV.	LAVATORY	OPP.	OPPOSITE	S.A.D.	SEE ARCHITECTURAL DRAWINGS	T.W.	TOP OF WALL
AP.	ACCESS PANEL	CLO.	CLOSET	E.W.C.	ELEC. WATER COOLER	FUT.	FUTURE	LT.	LIGHT	P.C.	PHOTO CELL	S.C.	SOLID CORE	TEL.	TELEPHONE
ACOUS.	ACOUSTICAL	CLR.	CLEAR	EL.	ELECTRICAL	G.B.	GRAB BAR	LAM.	LAMINATE	PLAM.	PLASTIC LAMINATE	S.C.D.	SEAT COVER DISPENSER	TER.	TERAZZO
ADJ.	ADJACENT	CLN.	CLEAN	ELEV.	ELEVATOR	G.D.	GARAGE DISPOSAL	LAV.	LAVATORY	P.T.D.	PAPER TOWEL DISPENSER	S.N.D.	SANITARY NAPKIN DISPENSER	THK.	THICK
AGGR.	AGGREGATE	CONC.	CONCRETE	EMER.	EMERGENCY	G.F.I.	GROUND FAULT INSULATED	LOOK.	LOOKER	PTR.	PAPER TOWEL RECEPTACLE	S.N.R.	SANITARY NAPKIN RECEPTACLE	TRD.	TREAD
ALUM.	ALUMINUM	CONN.	CONNECTION	EQ.	EQUAL	G.S.M.	GALVANIZED SHEET METAL	LKR.	LOOKER	PL	PLATE	S.S.K.	SERVICE SINK	TYP.	TYPICAL
APPROX.	APPROXIMATE	CONSTR.	CONSTRUCTION	ENCL.	ENCLOSURE	GA.	GUAGE	M.C.	MEDICINE CABINET	PLAS.	PLASTER	S.S.T.	STAINLESS STEEL	U.O.N.	UNLESS OTHERWISE NOTED
ARCH.	ARCHITECTURAL	CONT.	CONTINUOUS	EQ.	EQUAL	GL.	GALLON	MAX.	MAXIMUM	PLYWD.	PLYWOOD	SCHED.	SCHEDULE	UNF.	UNFINISHED
ASB.	ASBESTOS	CORR.	CORRIDOR	EQUIP.	EQUIPMENT	GRD.	GROUND	MECH.	MECHANICAL	PR.	PAIR	SECT.	SECTION	UR.	URINAL
ASPH.	ASPHALT	CNTR.	COUNTER	EXP.	EXPOSED	GRD.	GRADE	MEMB.	MEMBRANE	PRCST.	PRECAST	SHR.	SHOWER	VERT.	VERTICAL
B.R.	BEDROOM	EXT.	EXTERIOR	EXPO.	EXPOSED	GYP.	GYPSPUM	MET.	METAL	PT.	POINT	SHT.	SHEET	VEST.	VESTIBULE
BD.	BOARD	FA	FIRE ALARM	EXT.	EXTERIOR	MFR.	MANUFACTURER	MIR.	MIRROR	PTN.	PARTITION	SHT.	SHEET	W.	WEST
BITUM.	BITUMINOUS	F.A.	FIRE ALARM	GR.	GRADE	MIR.	MIRROR	MISC.	MISCELLANEOUS	Q.T.	QUARRY TILE	SHR.	SHOWER	W/	WITH
BLDG.	BUILDING	F.D.	FLOOR DRAIN	H.B.	HOSE BIBB	MIR.	MIRROR	MUL.	MULLION	R.	RISER	SHT.	SHEET	W.C.	WATER CLOSET
BLK.	BLOCKING	F.E.	FIRE EXTINGUISHER	H.C.	HOLLOW CORE	MISC.	MISCELLANEOUS	N.	NORTH	R.D.	ROUGH DRAIN	SO.	SQUARE	W/O	WITHOUT
BLK.	BLOCKING	F.F.C.	FACE OF CONCRETE	H.M.	HOLLOW METAL	MTO.	MOUNTED	N.I.C.	NOT IN CONTRACT	R.O.	ROUGH OPENING	STA.	STATION	W/P.	WATERPROOF
BM.	BEAM	F.G.	FACE OF FINISH	HW.	HARDWARE	MUL.	MULLION	N.T.S.	NOT TO SCALE	R.W.L.	RAIN WATER LEADER	STD.	STANDARD	W/ST.	WAINSCOT
BO.S.	BOTH SIDES	F.H.C.	FACE OF CONCRETE	HR.	HORIZONTAL	N	NORTH	N	NORTH	REF.	REFERENCE	STR.	STRUCTURAL	WT.	WEIGHT
BOT.	BOTTOM	F.H.C.	FACE OF CONCRETE	HT.	HEIGHT	N	NORTH	N.I.C.	NOT IN CONTRACT	RAD.	RADIUS	SUSP.	SUSPENDED		
		DS.	DOWNSPOUT	ID.	INSIDE DIAMETER (DIM.)	N.T.S.	NOT TO SCALE	NO. OR #	NUMBER	REF.	REFERENCE	SYM.	SYMMETRICAL		
		DW	DISHWASHER												

PROJECT DATA

BUILDING PERMIT APPLICATION #: 2007-02-06-3543

BLOCK/LOT: 7535 / 102 OCCUPANCY: R-3

ZONING: RM-1 NUMBER OF UNITS: 1

NUMBER OF STORIES: 3 STORY o/ BASEMENT

TYPE OF CONSTRUCTION: V - N HOUR

GENERAL NOTES

PLEASE TAKE NOTICE THAT THE DRAWINGS AS PREPARED BY GABRIEL Y. NG AND ASSOCIATES FOR THE PROJECT ARE LIMITED TO THE EXTENT AS REQUIRED FOR PLAN CHECK PURPOSES BY CITY AGENCIES HAVING JURISDICTION OVER THE PROJECT.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN-BUILD (DESIGN AND INSTALL) ALL SYSTEMS AND ELEMENTS AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, MECHANICAL, FIRE SPRINKLER AND ELECTRICAL SYSTEMS, AND ALL DETAILS FOR ROOFING, FLASHING, WATER PROOFING AND SOUND PROOFING STANDARDS.

THE USE OF THESE DRAWINGS FOR THE CONSTRUCTION OF THE PROJECT SHALL CONSTITUTE THE CONTRACTOR'S REPRESENTATION THAT IT HAS REVIEWED AND VERIFIED THE BUILDABILITY OF THE PROJECT AS SHOWN ON THESE DRAWINGS IN THE LIGHT OF SITE CONDITIONS AND APPLICABLE CODE REQUIREMENTS, AND THAT ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR SHALL UNDERTAKE FULL RESPONSIBILITIES TO DESIGN-BUILD ALL ELEMENTS AND MAKE NECESSARY ADJUSTMENTS AS REQUIRED FOR THE COMPLETION OF THE PROJECT IN ITS ENTIRETY PURSUANT TO ALL APPLICABLE CODE REQUIREMENTS, TRADE AND WORKMANSHIP STANDARDS.

ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY BUILDING CODE AND UNIFORM BUILDING CODE, AS WELL AS ALL APPLICABLE FEDERAL, STATE, OSHA, BAY AREA AIR QUALITY MANAGEMENT DISTRICT, COUNTY AND CITY ORDINANCES, AMENDMENTS AND RULINGS. THE CITY CODE SHALL GOVERN WHEN IT AND THE USC OR ANY OTHER REFERENCE CODES AND STANDARDS ARE IN CONFLICT.

THE CONTRACTOR SHALL GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE LAWFUL EXECUTION OF THE WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE LOT, EASEMENT, SOIL CONDITIONS, ALL PROPOSED DIMENSIONS, INCLUDING EXCAVATION, UNDERPINNING, DRAINAGE AND UTILITY LINES AT SUBJECT PROPERTY, AS WELL AS, AT ADJACENT PROPERTIES. IF THE CONTRACTOR ENCOUNTERS DISCREPANCIES IN THE DRAWINGS, HE SHALL CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF CORRECTIONS TO THE WORK IF HE NEGLECTS TO ADHERE TO THIS PROCEDURE.

THE DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR A FINISHED PIECE OF WORK. THE CONTRACTOR SHALL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE COMPLETED IN A GOOD AND WORKMANLIKE MANNER AND IN EVERY DETAIL, ALTHOUGH EVERY NECESSARY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. EXCEPT AS OTHERWISE SPECIFICALLY STATED, THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, FEES, MATERIALS, LABOR, TOOLS, AND EQUIPMENT FOR THE ENTIRE COMPLETION OF THE WORK INTENDED TO BE DESCRIBED.

AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE, SUBJECT PROPERTY, AND ADJACENT PROPERTIES. THE ARCHITECT SHALL NOT REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR THE OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTORS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

ALL DRAWINGS, SPECIFICATIONS, AND INFORMATION FURNISHED HERewith ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE HELD CONFIDENTIAL AND SHALL NOT BE USED FOR ANY PURPOSE OR PURPOSES OTHER THAN THOSE FOR WHICH THEY HAVE BEEN SUPPLIED AND PREPARED. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING, AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

ANY DRAWINGS ISSUED WITHOUT THE APPROVAL STAMP, SIGNED AND DATED BY THE BUILDING DEPARTMENT SHALL BE CONSIDERED IN THE PRELIMINARY STAGE AND SHALL NOT BE USED FOR CONSTRUCTION.

DO NOT SCALE DRAWINGS.

REVISIONS	BY
12/10/08	MML
8/10/09	EC
PER RDT CMT.#1	
1/19/11	MML
PER NEIGHBOR	
6/23/11	MML
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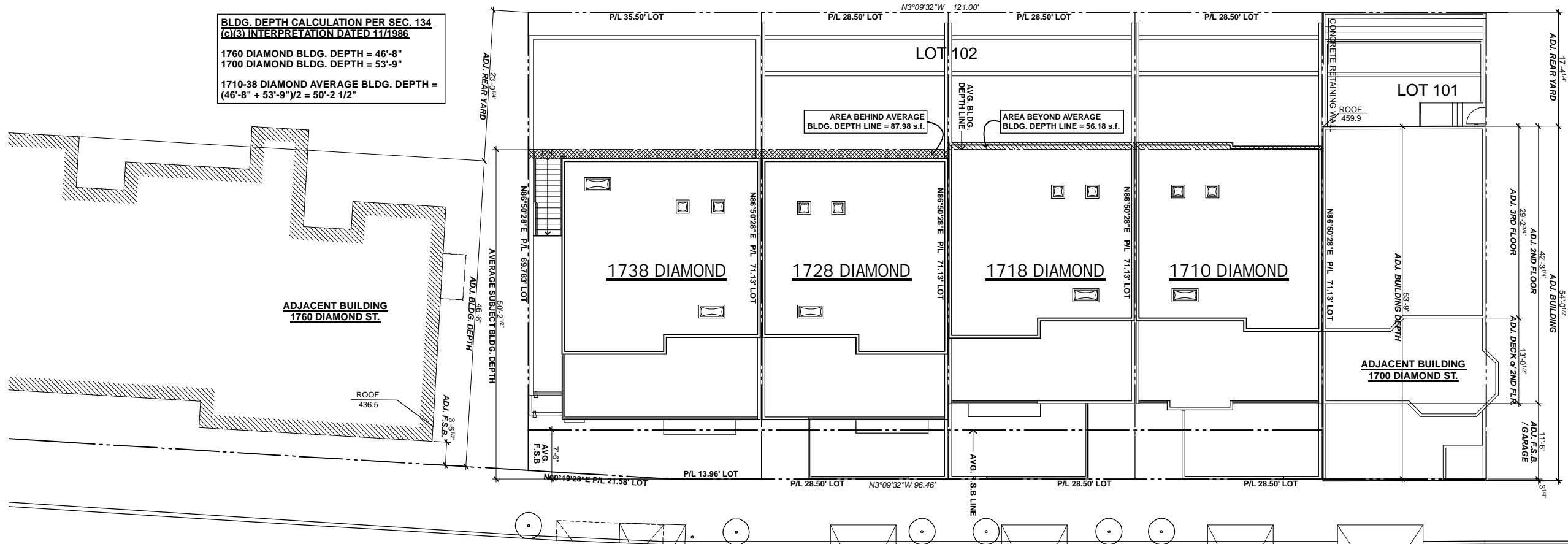
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2D FRONT VIEW



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BLDG. DEPTH CALCULATION PER SEC. 134 (c)(3) INTERPRETATION DATED 11/1986
 1760 DIAMOND BLDG. DEPTH = 46'-8"
 1700 DIAMOND BLDG. DEPTH = 53'-9"
 1710-38 DIAMOND AVERAGE BLDG. DEPTH = $(46'-8" + 53'-9")/2 = 50'-2 \frac{1}{2}"$



BUILDING DEPTH CALCULATION
 ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



GABRIEL Y. NG & ASSOCIATES

September 21st, 2007

Jeff Ma, Major Plan Check
 Department of Building Inspection
 1660 Mission Street, 2nd Floor
 San Francisco, CA 94103

Re: Address: 1710, 1718, 1728, & 1738 Diamond Street
 Block/Lot: Block 7535, Lot 102
 Project: Four New Single Family Dwelling Buildings

Dear Mr. Ma:

Pursuant to our meetings, I would like to confirm the discussions of the above reference projects per drawings dated February 2nd, 2007.

The proposed four new single-family dwellings (R-3) are 3-story-over-basement buildings of type 5 - no hour construction situated on one (to be subdivided) lot facing Diamond Street. Each house contains 3 stories of living space over garage at the basement level, equipped with a residential elevator to all floors. Three of the four buildings will be sitting on a 28.5 foot wide lot, the fourth at 35.5 feet.

The following items were discussed:

- Exiting:**
 - The second exit is required on 3rd floor per SFBC Sec. 1004.2.3.2. A fire escape may be used as the required 2nd exit, conform to the prescriptive requirement of AB-19. Local equivalency with AB-19 needs to be filed.
 - The 2nd exit corridor may go through the garage area, with fire sprinkler installed, and exit path separated from parking area by a guardrail on 12" ht. curb, conform to the prescriptive requirement of AB-20. Local equivalency with AB-20 needs to be filed.
- Since excavation will take place all at the same time and all buildings will be built without side setbacks. Some buildings will not have **Grade (Adjacent Ground Elevation)** along the side property line, the **Grade (Adjacent Ground Elevation)** will be determined by drawing a straight line connecting the finish grade elevation at the center of front building wall and the exterior finish grade elevation at the center of rearmost building retaining wall. We would like to confirm that this line will be the **Grade** to determine **Basement** definition per SFBC Sec. 203 and **Story** definition per SFBC Sec. 220.

It is our understanding that:

- The scope of this pre-application plan review is limited to the questions submitted by the applicant. Code issues not addressed at the pre-application process will be addressed at the time of permit application plan review.
- A copy of these notes shall be reproduced on not less than 11"x17" paper size and must be attached to the documents submitted for permit application. These understandings shall not be presumed to give authority to violate or cancel the provisions of the San Francisco Building Code, the San Francisco Fire Code or any other applicable laws and regulations.
- The decision is not to be used as a precedent since it is intended to apply only to this particular situation. Please be advised that this response is based upon the accuracy and completeness of information supplied by Gabriel Ng, architect to the San Francisco Department of Building Inspection.

Very truly yours,

Gabriel Y. Ng, AIA

Agreed to the above determination:

By:  Dated: 10-1-07

ARCHITECTURE
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 1307 20TH STREET
 SUITE 102
 SAN FRANCISCO
 CALIFORNIA 94109
 www.gyn.com
 FAX 415-563-1809
 415-563-5555

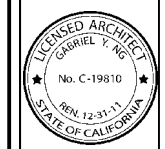
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DR HEARING	MM/ML



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 SAN FRANCISCO, CALIFORNIA

PRE-APPLICATION
 DETERMINATION LETTER



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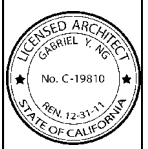
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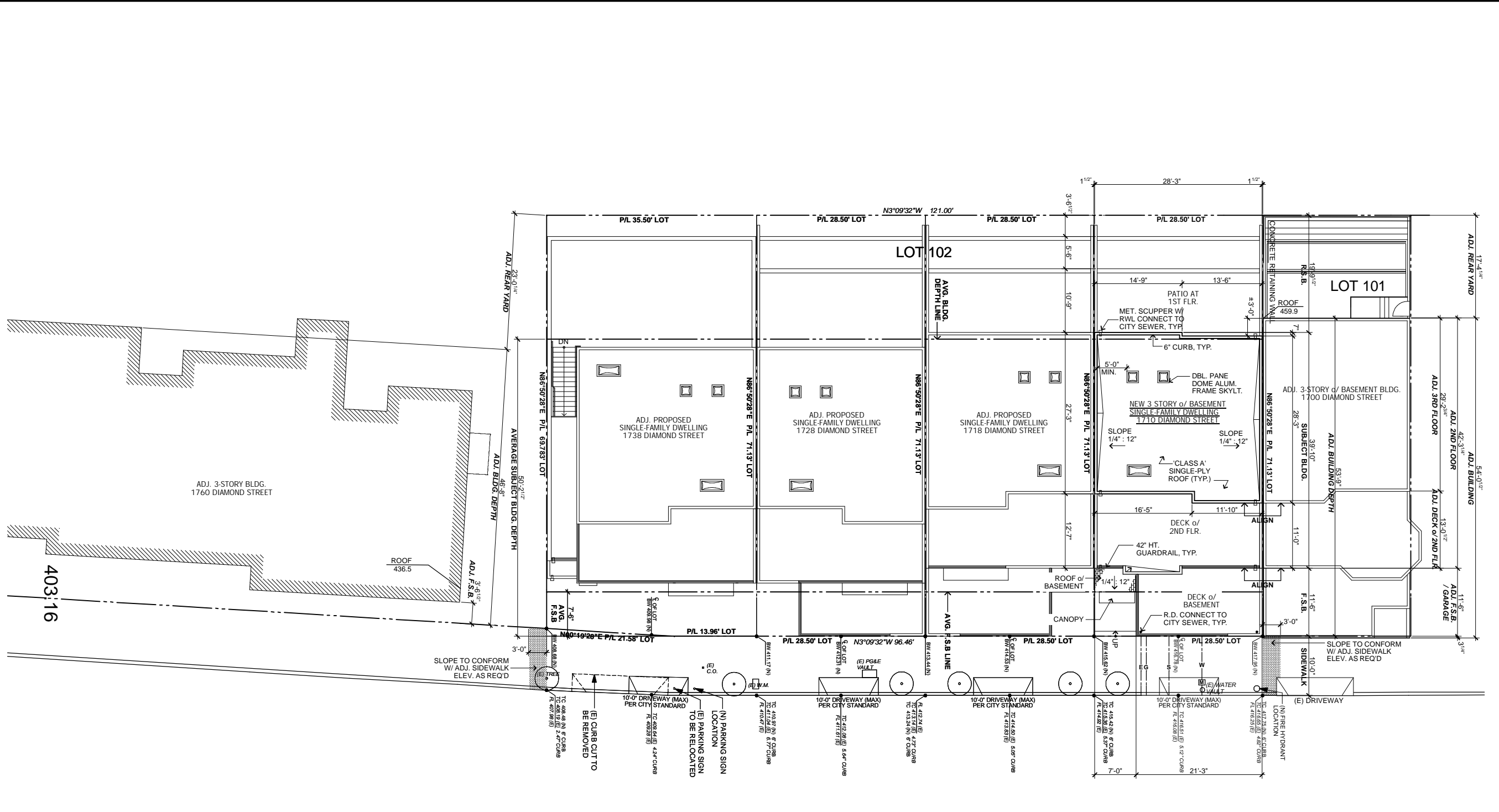
NEW SINGLE-FAMILY DWELLING
 1710 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

SITE / ROOF PLAN



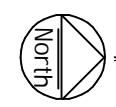
Date 2/2/07
 Scale AS NOTED
 Drawn ML/EC
 Job 060503
 Sheet

A-1
 Of 7 Sheets



- NOTES:**
- UNDERPINNING & SHORING IF REQUIRED UNDER SEPARATE PERMIT.
 - STATE INDUSTRIAL SAFETY PERMIT IS REQUIRED
 - PROVIDE TEMPERED (SAFETY) GLASS WITHIN 18" OF FLOOR PER SECTION 2406.3
 - PROVIDE SMOKE DETECTORS PER SEC. 907.2.10
 - FIREPLACE SHALL BE "UL LISTED"
 - ROOF DRAIN AND OVERFLOW DRAIN AT ROOF OR DECK SHALL CONNECT TO CITY SEWER
 - ALL LIGHTINGS SHALL COMPLY WITH 2005 CALIFORNIA TITLE 24 RESIDENTIAL STANDARDS
 - PROVIDE MET. STRAP TO WALL FOR WATER HEATER ON 18" PLATFORM
 - SKYLIGHT CONSTRUCTION PER SFBC 2405
 - SEE SOIL REPORT PREPARED BY EARTH SCIENCE CONSULTANTS DATED JAN 29, 2006
- APPLICABLE CODE AND ORDINANCES:**
- 2007 CALIFORNIA BUILDING CODE(CBC), W/ SAN FRANCISCO AMENDMENTS
 - 2005 ENERGY CODE - TITLE 24
 - 2007 CALIFORNIA MECHANICAL, ELECTRICAL, AND PLUMBING CODES, W/ SAN FRANCISCO AMENDMENT.

DIAMOND STREET
 (WIDTH VARIES)



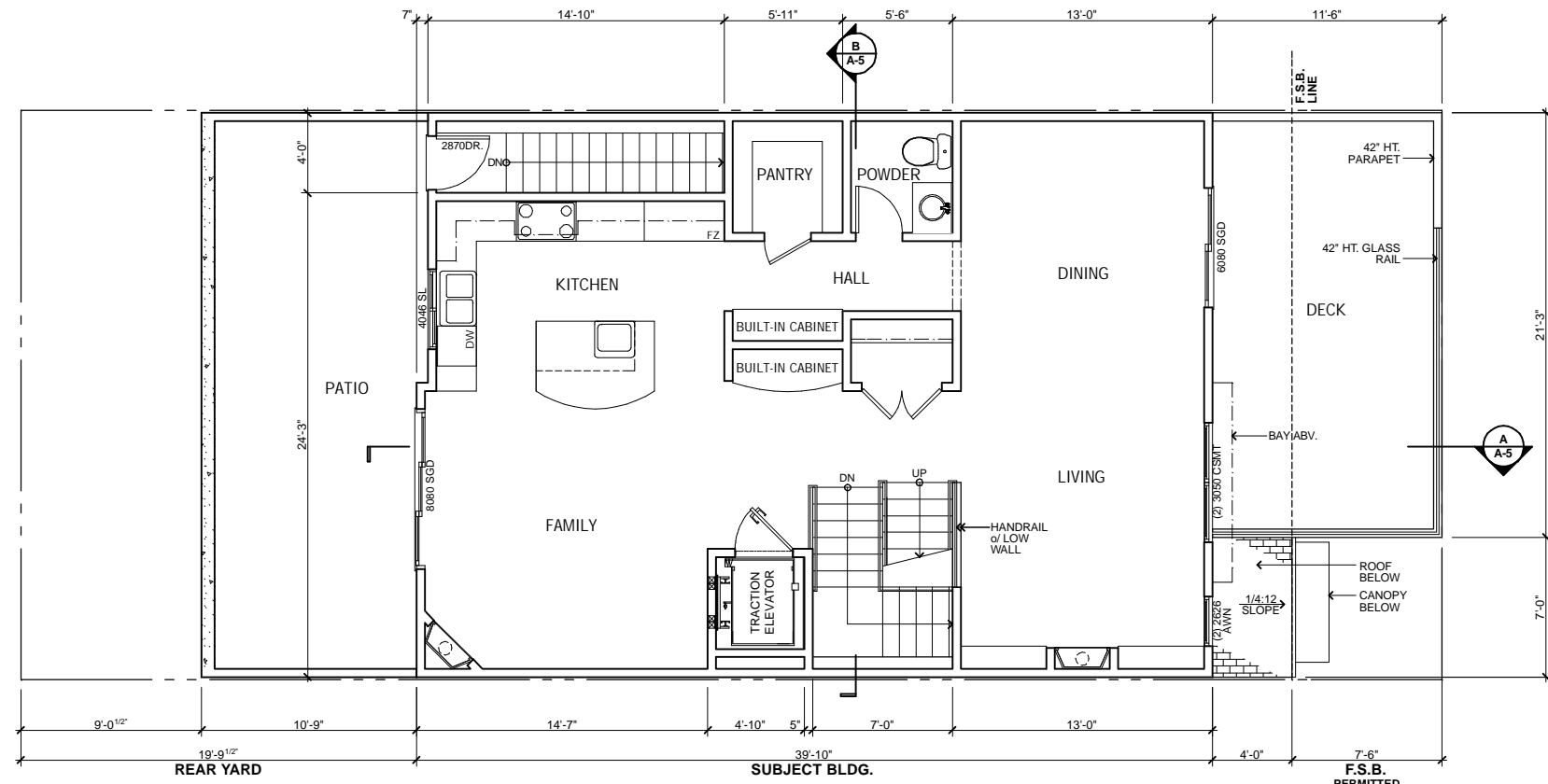
SITE / ROOF PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1' - 0"

Area Calculation (In Square Feet):				
	Living Space	Garage	Total	Decks
3rd Floor	690.6		690.6	310.92
2nd Floor	1037.4		1037.4	
1st Floor	1011.0		1011.0	518.72
Basement		969.9	969.9	
Total	2739.0	969.9	3708.9	829.64

Total Living Area = 2739.0 S.F.
 Total Garage = 969.9 S.F.

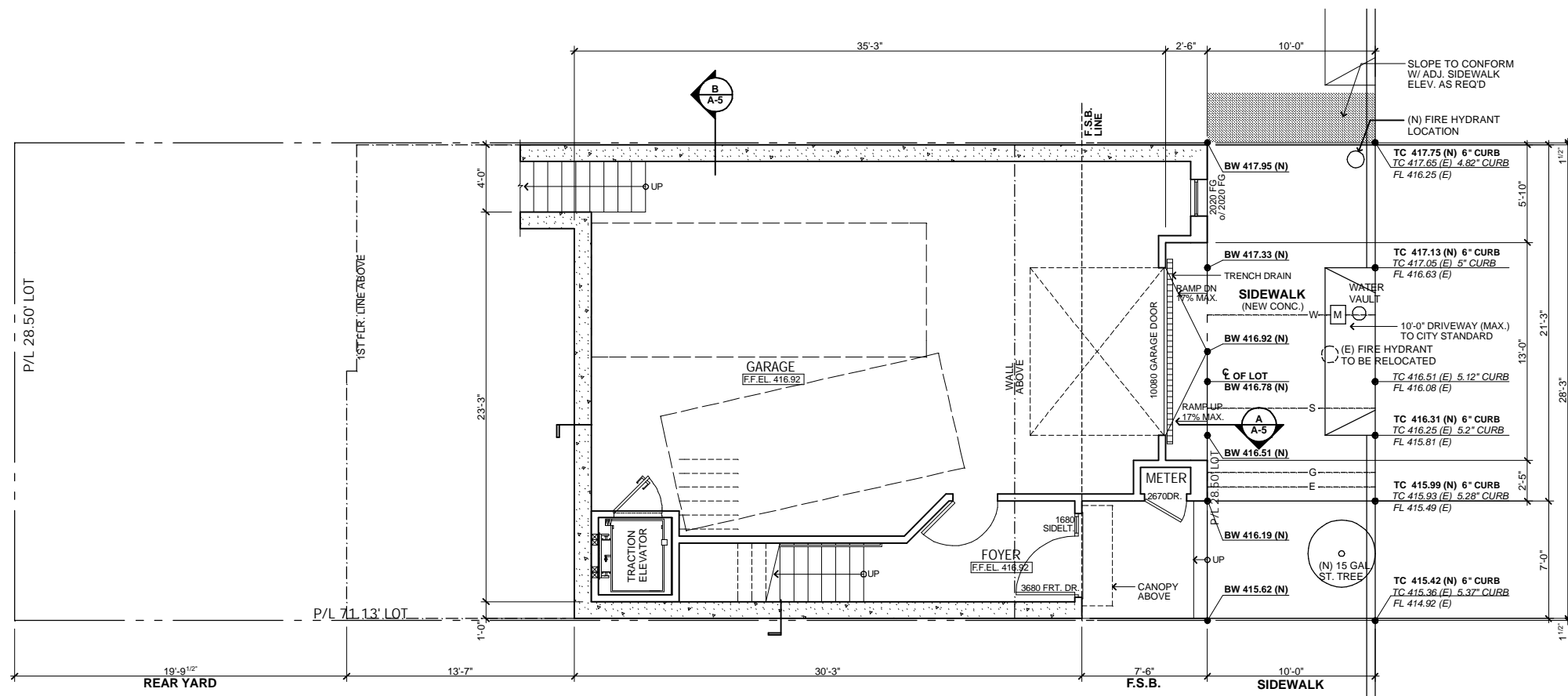
NOTE:
 Area Calculation as shown is intended for permit application purposes only and shall not be used for selling purpose.
 Final square footage and finished dimensions may vary from these plans due to construction variables.



FIRST FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"

F.S.B. PERMITTED OBSTRUCTION PER PLNG. CODE SEC. 136 (c) (27)



BASEMENT FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"

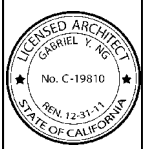
REVISIONS	BY
12/10/08	ML
8/10/09	ML
PER RDT CMT.#1	EC
1/19/11	MM/ML
PER NEIGHBOR	MM/ML
6/23/11	MM/ML
DR HEARING	MM/ML



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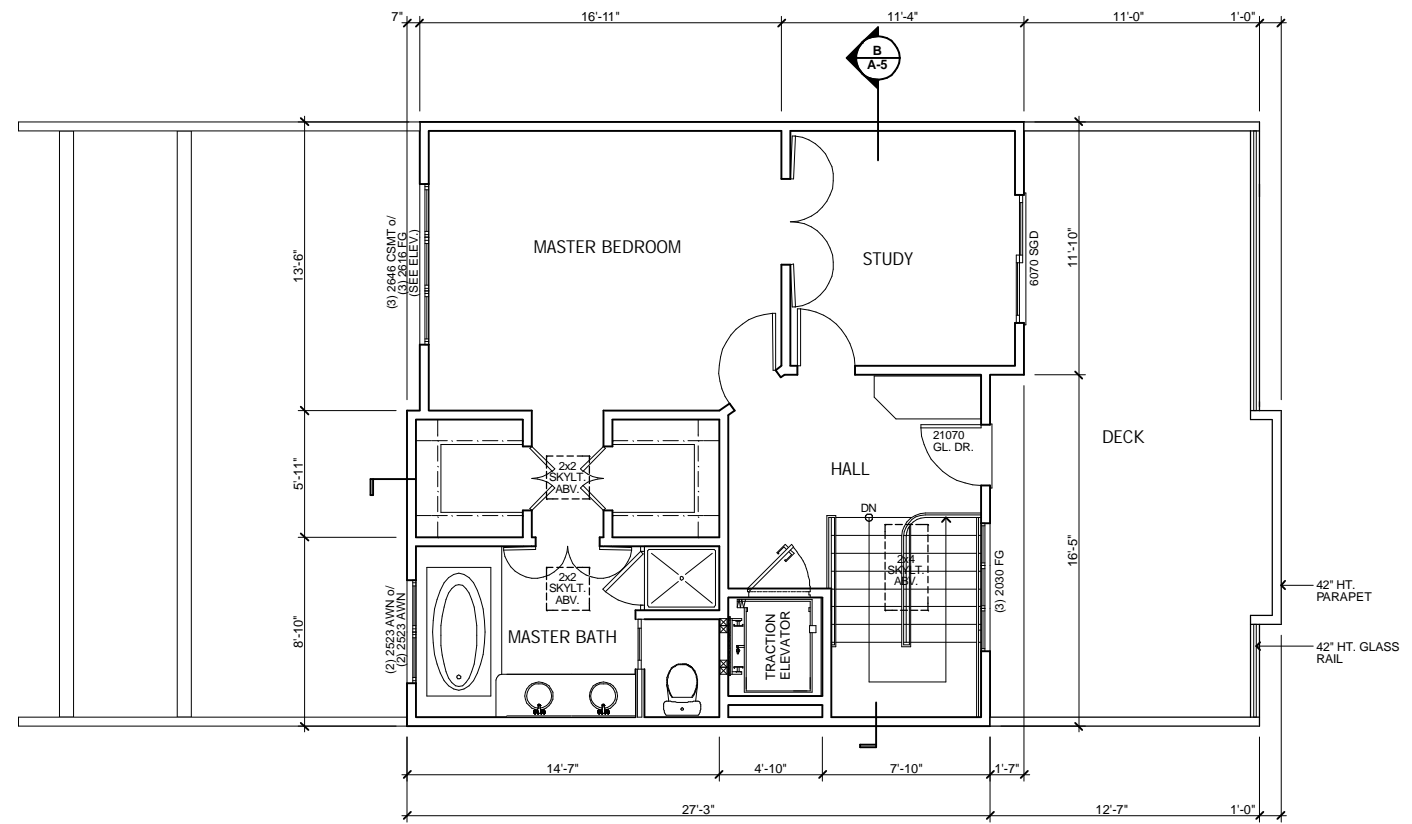
NEW SINGLE-FAMILY DWELLING
 1710 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

FLOOR PLANS



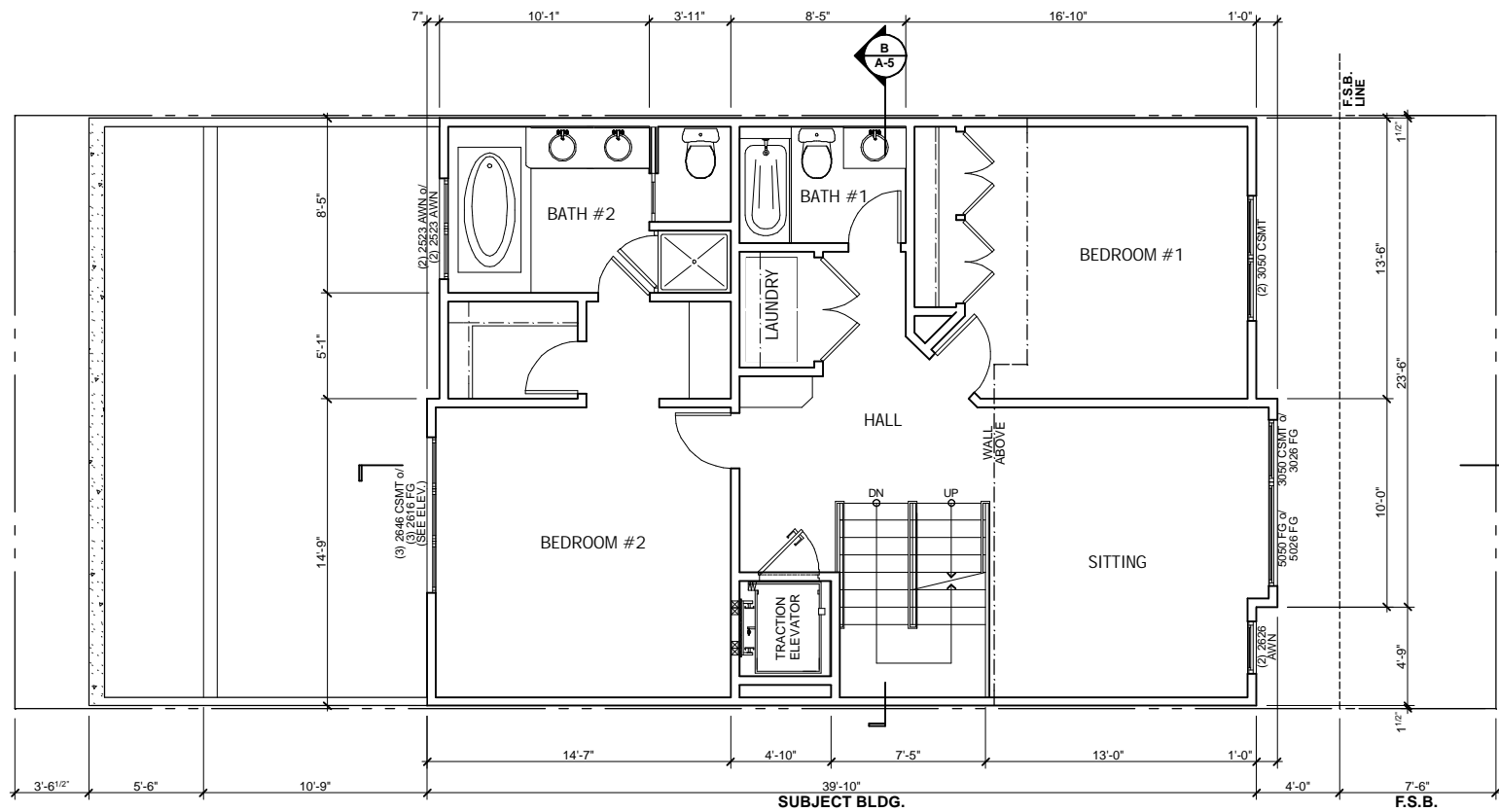
Date 2/2/07
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 Job 060503
 Sheet

A-2
 Of 7 Sheets



THIRD FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



SECOND FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



REVISIONS	BY
12/10/08	ML
8/10/09	EC
PER RDT CMT.#1	EC
1/19/11	MML
PER NEIGHBOR	MML
6/23/11	MML
DR HEARING	MML



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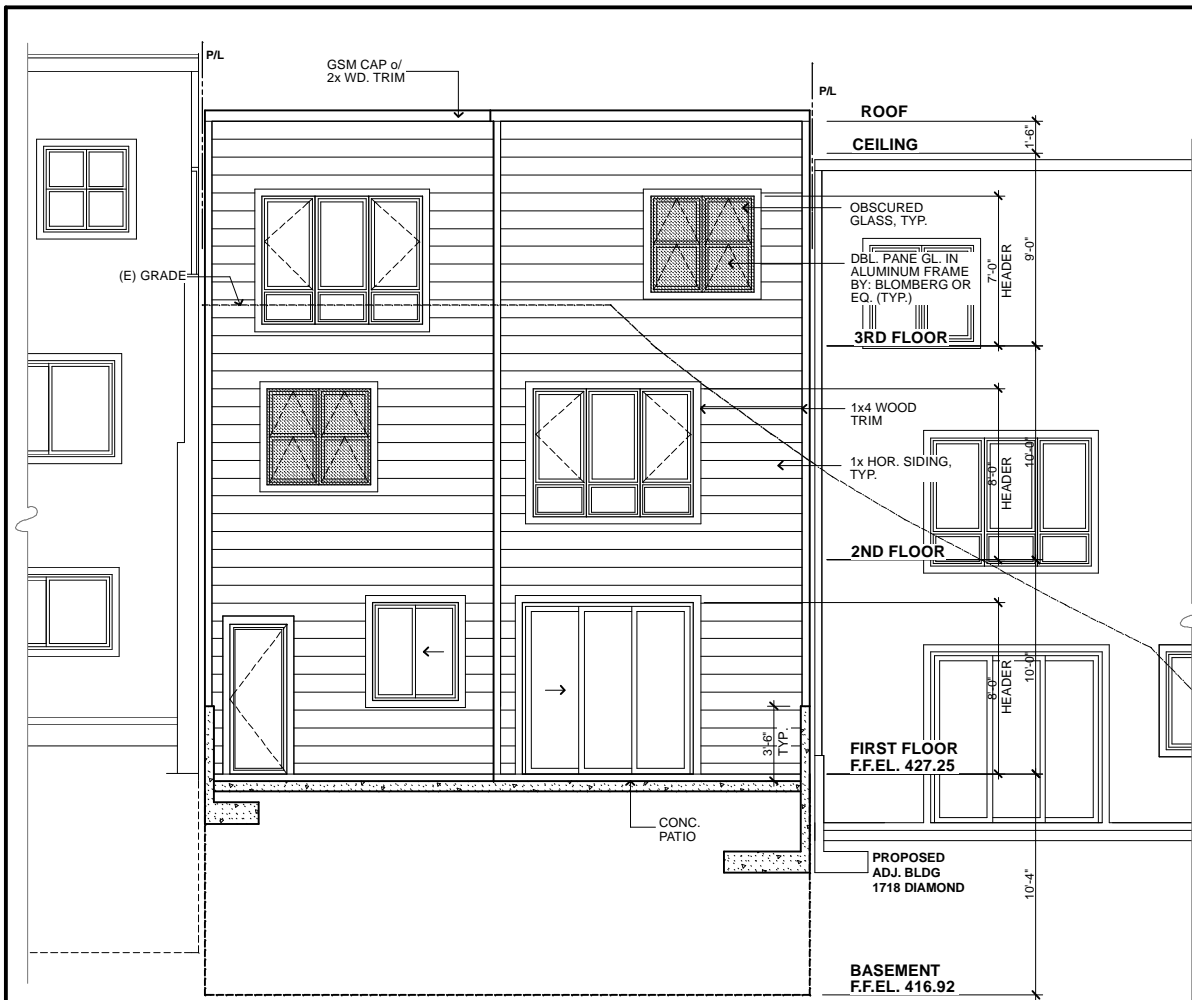
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 1710 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

FLOOR PLANS



Date 2/2/07
 Scale AS NOTED
 Drawn ML/EC
 Job 060503

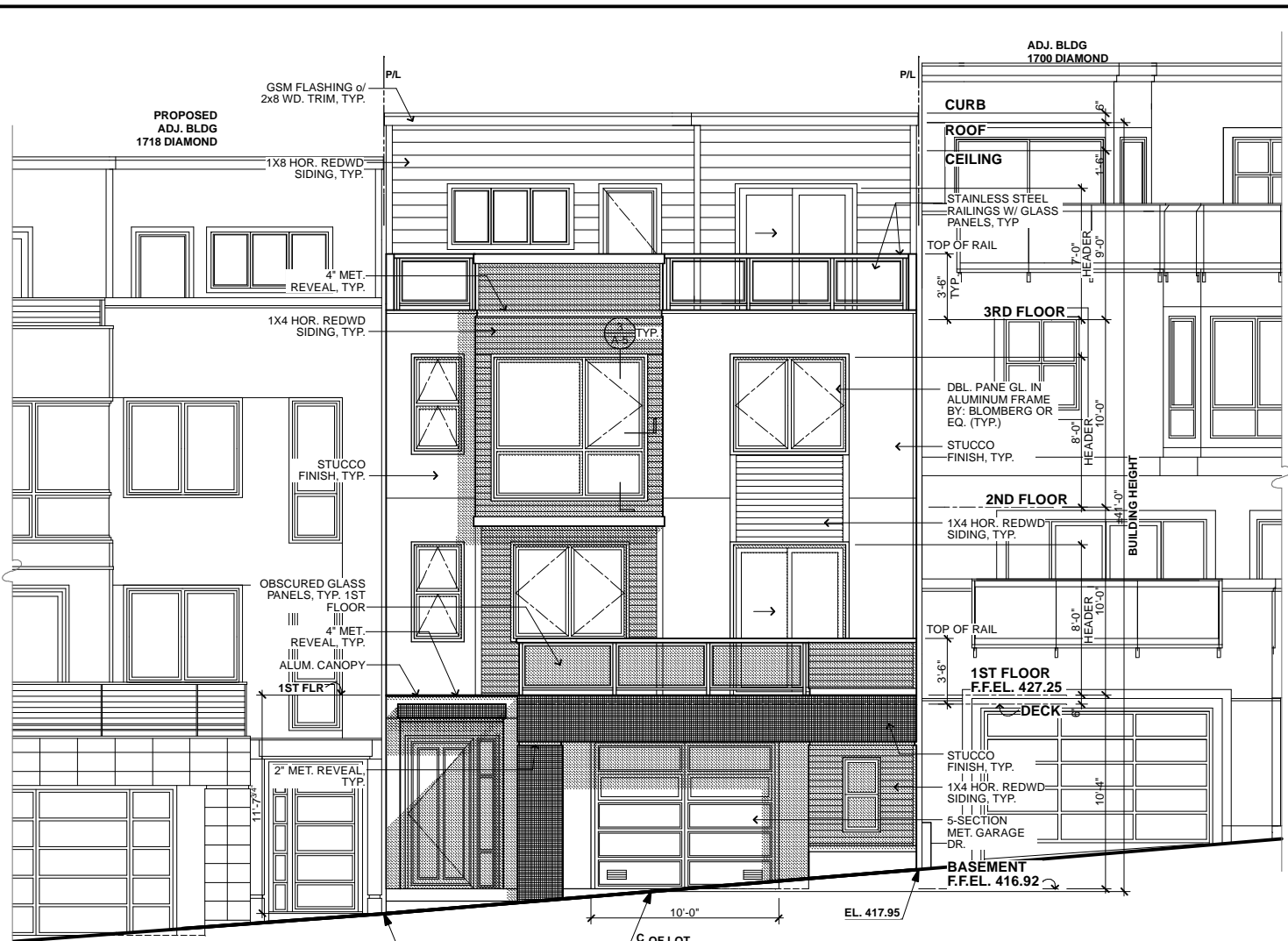
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A-3
 Of 7 Sheets



REAR ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N.

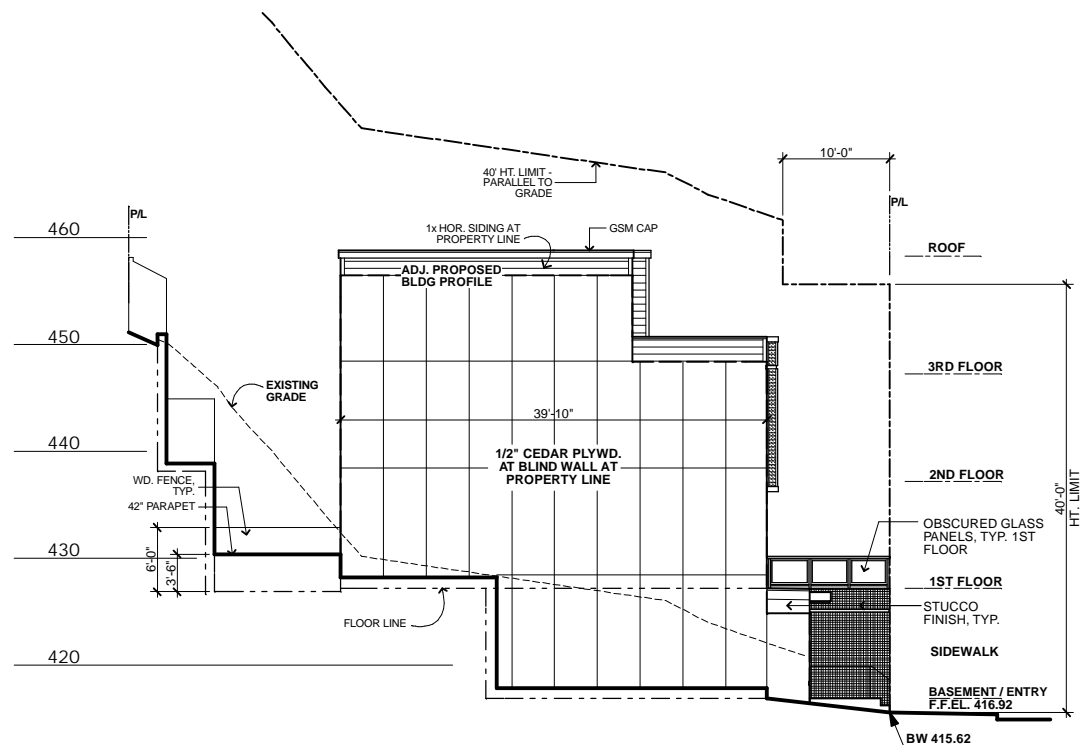
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FRONT ELEVATION

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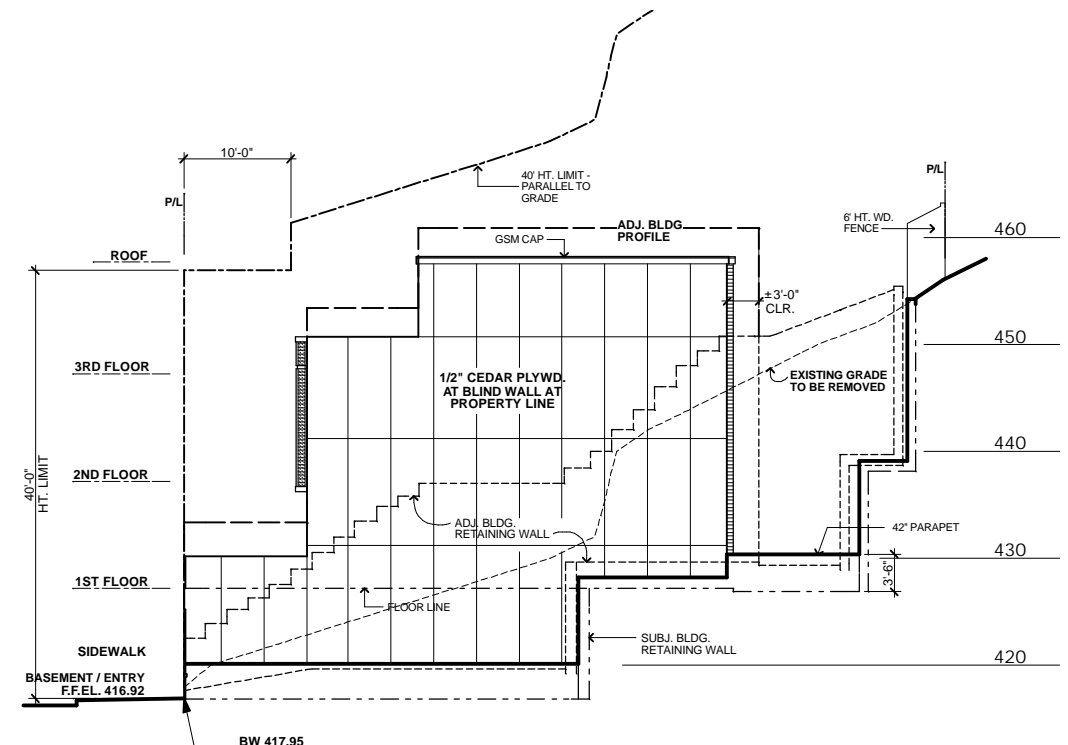
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N.

1/8" = 1'-0"



RIGHT SIDE ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N.

1/8" = 1'-0"

REVISIONS	BY
12/10/08	ML
8/10/09	ML
PER RDT CMT.#1	EC
1/19/11	MM/ML
PER NEIGHBOR	MM/ML
6/23/11	MM/ML
DR HEARING	MM/ML



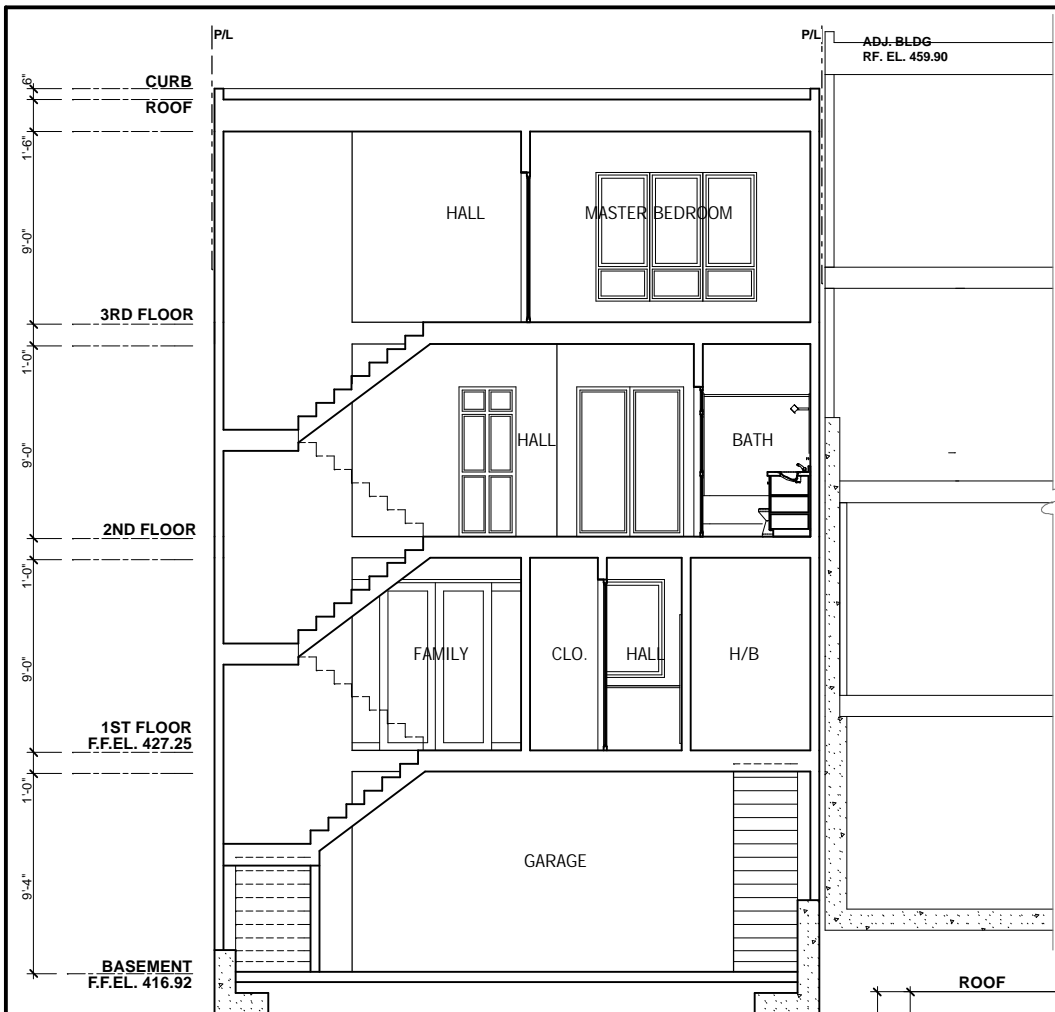
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NEW SINGLE-FAMILY DWELLING
 1710 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

ELEVATIONS

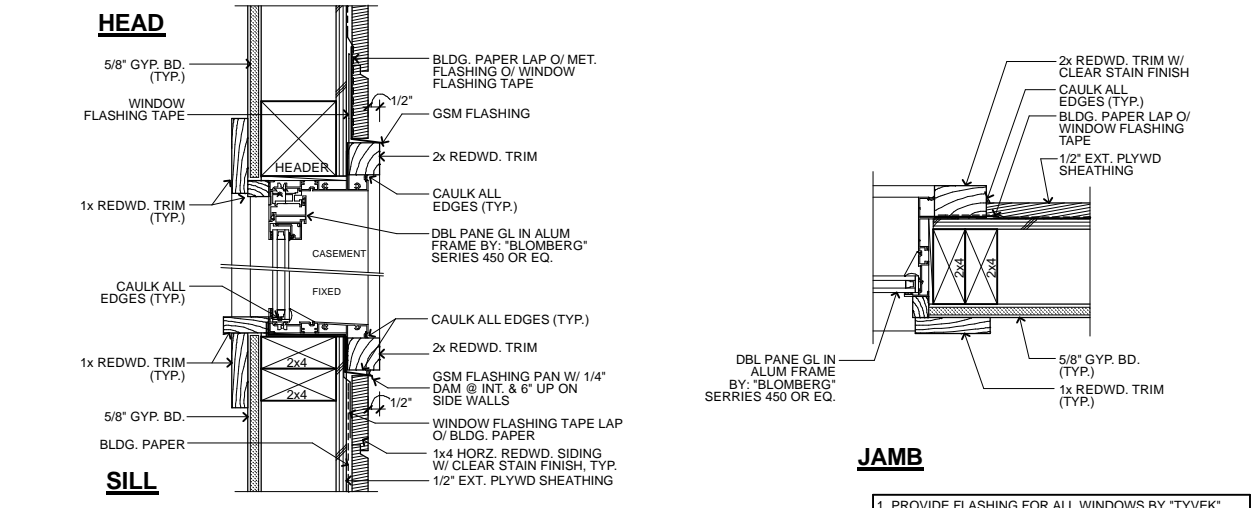


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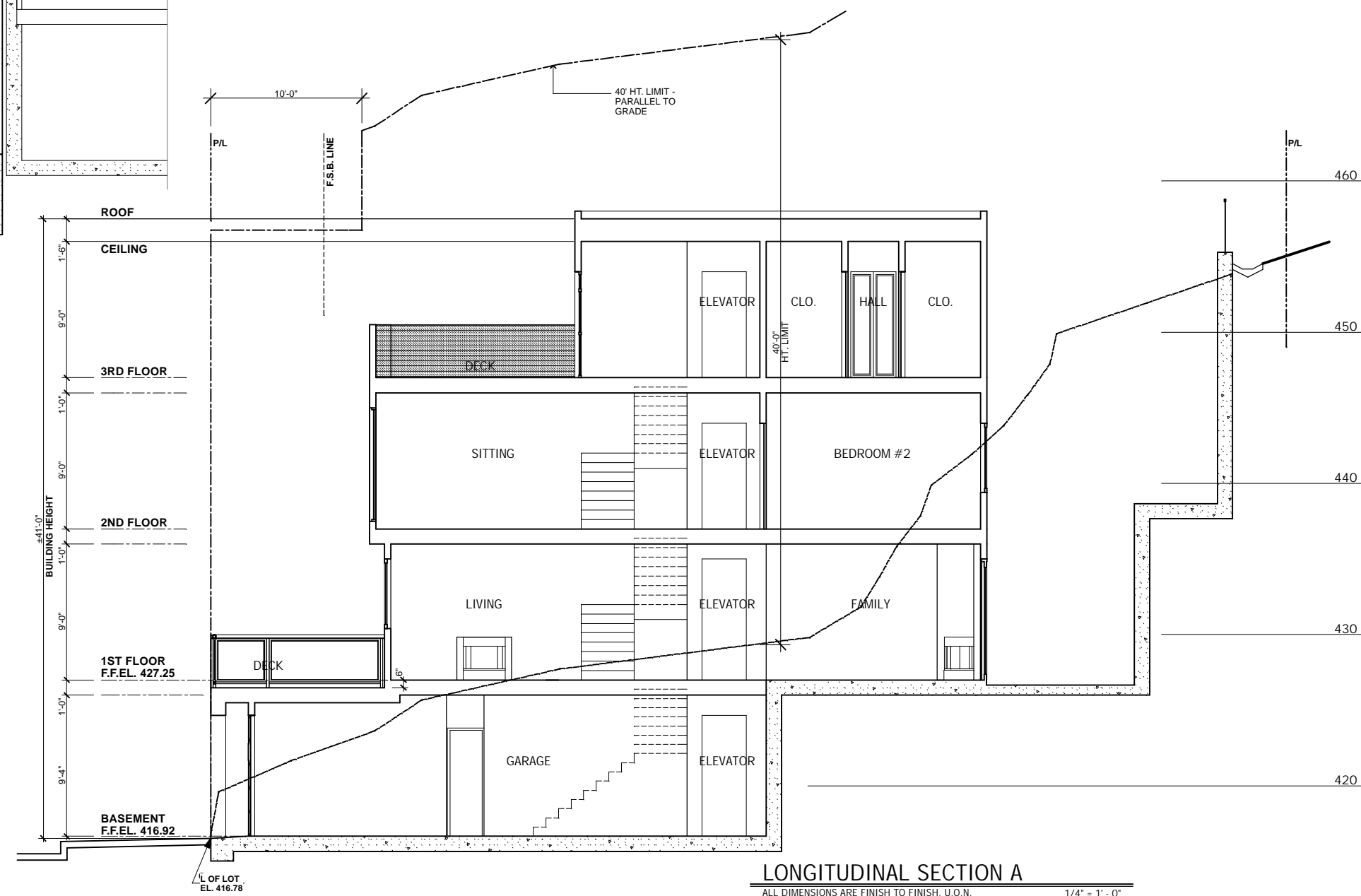
CROSS SECTION B

SCALE 1/4" = 1'-0"



1 WINDOW DETAIL - CASEMENT
SCALE 3" = 1'-0"

1. PROVIDE FLASHING FOR ALL WINDOWS BY "TYVEK" FLEX WRAP OR EQ.
2. INSTALL ALL WINDOWS PER MFR. RECOMMENDATION



LONGITUDINAL SECTION A

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1'-0"

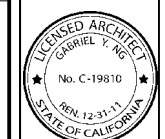
REVISIONS	BY
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8/10/09	EC
PER RDT CMT.#1	
1/19/11	MM/ML
PER NEIGHBOR	
6/23/11	MM/ML
DR HEARING	



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NEW SINGLE-FAMILY DWELLING
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SAN FRANCISCO, CALIFORNIA

SECTIONS



Date 2/2/07
Scale AS NOTED
Drawn ML/EC
Job 060503
Sheet

A-5
Of 7 Sheets

SYMBOLS

- Column grid line symbols
Interior elevation number with direction indication
Section/detail identification sheet number
Enlarged plan section or detail reference
Room/space number
Door number hardware group
Window number
New stud wall - see detail
New stud wall with insulation see detail
New door
Existing condition to be removed
Existing wall/door to remain
Masonry wall
F.D. Floor drain
R.D. Roof drain
H.B. Hose bibb
S.P. Sprinkler head
(S.D.) Smoke detector
(T) Thermostat
C.A.R. Cold air return
Heating duct register
Exhaust fan
Exhaust fan with heat fan
Exhaust fan with heat lamp
Telephone outlet +12' UON
Television outlet +12' UON
Duplex receptacle (110V) +12' UON
Appliance circuit (220V) +12' UON
Duplex receptacle with one switched outlet +12' UON
Ground fault insulated duplex receptacle +12' UON
Switch +48' UON
3 way
4 way
DIM. DIMMER
'A' Lighting fixture identification tag
H.I.D. or incandescent light fixture recessed
H.I.D. or incandescent light fixture ceiling mounted
Chandelier
H.I.D. or incandescent light fixture wall mounted
H.I.D. or incandescent wall sconce w/ height indication
Fluorescent fixture recessed or surface mounted
Fluorescent fixture wall mounted
Track light fixture ceiling mounted w/ length indication
Natural gas outlet
Hot water heater



DIAMOND STREET

ABBREVIATIONS

Table of abbreviations and their corresponding meanings, including terms like AND, ANGLE, AREA DRAIN, AREA DRAIN ACCESS PANEL, etc.

DRAWING INDEX

Table listing drawing sheets: A-0 (2D FRONT VIEW), A-0.1 (DBI DETERMINATION LETTER), A-1 (SITE / ROOF PLAN), A-2 (FLOOR PLANS), A-3 (FLOOR PLANS), A-4 (ELEVATIONS), A-5 (SECTIONS).

PROJECT DATA

Table with project information: BUILDING PERMIT APPLICATION #: 2007-02-06-3551, BLOCK/LOT: 7535 / 102, OCCUPANCY: R-3, ZONING: RM-1, NUMBER OF UNITS: 1, NUMBER OF STORIES: 3 STORY +/- BASEMENT, TYPE OF CONSTRUCTION: V-B.

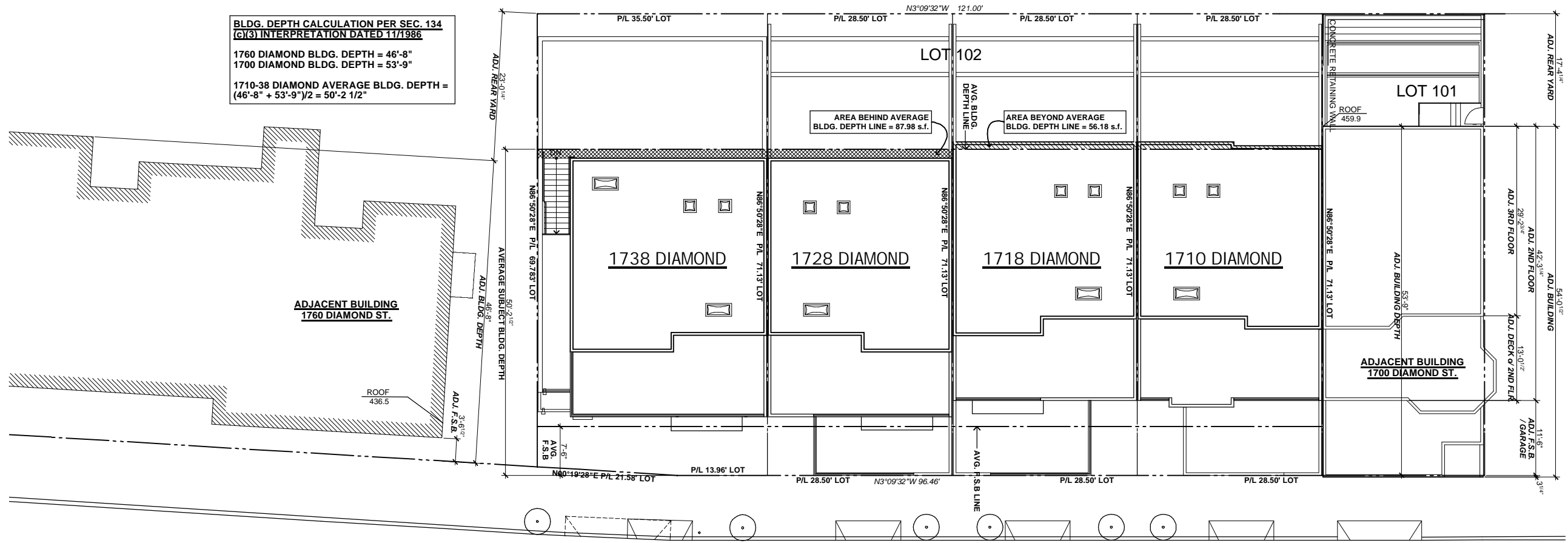
GENERAL NOTES

PLEASE TAKE NOTICE THAT THE DRAWINGS AS PREPARED BY GABRIEL Y. NG AND ASSOCIATES FOR THE PROJECT ARE LIMITED TO THE EXTENT AS REQUIRED FOR PLAN CHECK PURPOSES BY CITY AGENCIES HAVING JURISDICTION OVER THE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN-BUILD (DESIGN AND INSTALL) ALL SYSTEMS AND ELEMENTS AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, MECHANICAL, FIRE SPRINKLER AND ELECTRICAL SYSTEMS, AND ALL DETAILS FOR ROOFING, FLASHING, WATER PROOFING AND SOUND PROOFING STANDARDS.

Vertical sidebar containing: REVISIONS table (12/10/08 ML, 8/10/09 EC, 1/19/11 MML, 6/23/11 MML), PROJECT DATA, GENERAL NOTES, and ARCHITECT'S SEAL for Gabriel Y. Ng, State of California, No. C-19810.

2D FRONT VIEW

BLDG. DEPTH CALCULATION PER SEC. 134 (C)(3) INTERPRETATION DATED 11/1986
 1760 DIAMOND BLDG. DEPTH = 46'-8"
 1700 DIAMOND BLDG. DEPTH = 53'-9"
 1710-38 DIAMOND AVERAGE BLDG. DEPTH = $(46'-8" + 53'-9")/2 = 50'-2\ 1/2"$



BUILDING DEPTH CALCULATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



September 21st, 2007

Jeff Ma, Major Plan Check
 Department of Building Inspection
 1680 Mission Street, 2nd Floor
 San Francisco, CA 94103

Re: Address: 1710, 1718, 1728, & 1738 Diamond Street
 Block/Lot: Block 7535, Lot 102
 Project: Four New Single Family Dwelling Buildings

Dear Mr. Ma:

Pursuant to our meetings, I would like to confirm the discussions of the above reference projects per drawings dated February 2nd, 2007.

The proposed four new single-family dwellings (R-3) are 3-story-over-basement buildings of type 5 – no hour construction situated on one (to be subdivided) lot facing Diamond Street. Each house contains 3 stories of living space over garage at the basement level, equipped with a residential elevator to all floors. Three of the four buildings will be sitting on a 28.5 foot wide lot, the fourth at 35.5 feet.

The following items were discussed:

1. Exiting:
 - a) The second exit is required on 3rd floor per *SFBC Sec. 1004.2.3.2*. A fire escape may be used as the required 2nd exit, conform to the prescriptive requirement of *AB-19*. Local equivalency with *AB-19* needs to be filed.
 - b) The 2nd exit corridor may go through the garage area, with fire sprinkler installed, and exit path separated from parking area by a guardrail on 12" ht. curb, conform to the prescriptive requirement of *AB-20*. Local equivalency with *AB-20* needs to be filed.
2. Since excavation will take place all at the same time and all buildings will be built without side setbacks. Some buildings will not have *Grade (Adjacent Ground Elevation)* along the side property line, the *Grade (Adjacent Ground Elevation)* will be determined by drawing a straight line connecting the finish grade elevation at the center of front building wall and the exterior finish grade elevation at the center of rearmost building retaining wall. We would like to confirm that this line will be the *Grade* to determine *Basement* definition per *SFBC Sec. 203* and *Story* definition per *SFBC Sec. 220*.

ARCHITECTURE
 PLANNING
 1025 BUSH STREET
 SUITE 102
 SAN FRANCISCO
 CALIFORNIA 94109
 www.gyn.com
 415-451-9831
 415-543-0055

It is our understanding that:

- The scope of this pre-application plan review is limited to the questions submitted by the applicant. Code issues not addressed at the pre-application process will be addressed at the time of permit application plan review.
- A copy of these notes shall be reproduced on not less than 11"x17" paper size and must be attached to the documents submitted for permit application. These understandings shall not be presumed to give authority to violate or cancel the provisions of the San Francisco Building Code, the San Francisco Fire Code or any other applicable laws and regulations.
- The decision is not to be used as a precedent since it is intended to apply only to this particular situation. Please be advised that this response is based upon the accuracy and completeness of information supplied by Gabriel Ng, architect to the San Francisco Department of Building Inspection.

Very truly yours,

Gabriel Y. Ng, AIA

Agreed to the above determination:

By: Dated: 10-1-07

September 21st, 2007
 Mr. Jeff Ma, Major Plan Check
 1710, 1718, 1728, & 1738 Diamond Street
 Block 7535, Lot 102

REVISIONS	BY
12/10/08	ML
8/10/09	EC
PER RDT CMT#1	
1/17/11	MML
PER NEIGHBOR	
5/23/11	MML
DR HEARING	



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NEW SINGLE-FAMILY DWELLING
 1718 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

PRE-APPLICATION
 DETERMINATION LETTER



Date: 2/2/07
 Scale: AS NOTED
 Drawn: ML/EC
 Job: 060503
 Sheet:

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 Of 7 Sheets

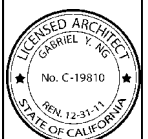
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PER RDT CMT#1	EC
1/19/11	MM/ML
PER NEIGHBOR	MM/ML
6/23/11	MM/ML
DR HEARING	MM/ML



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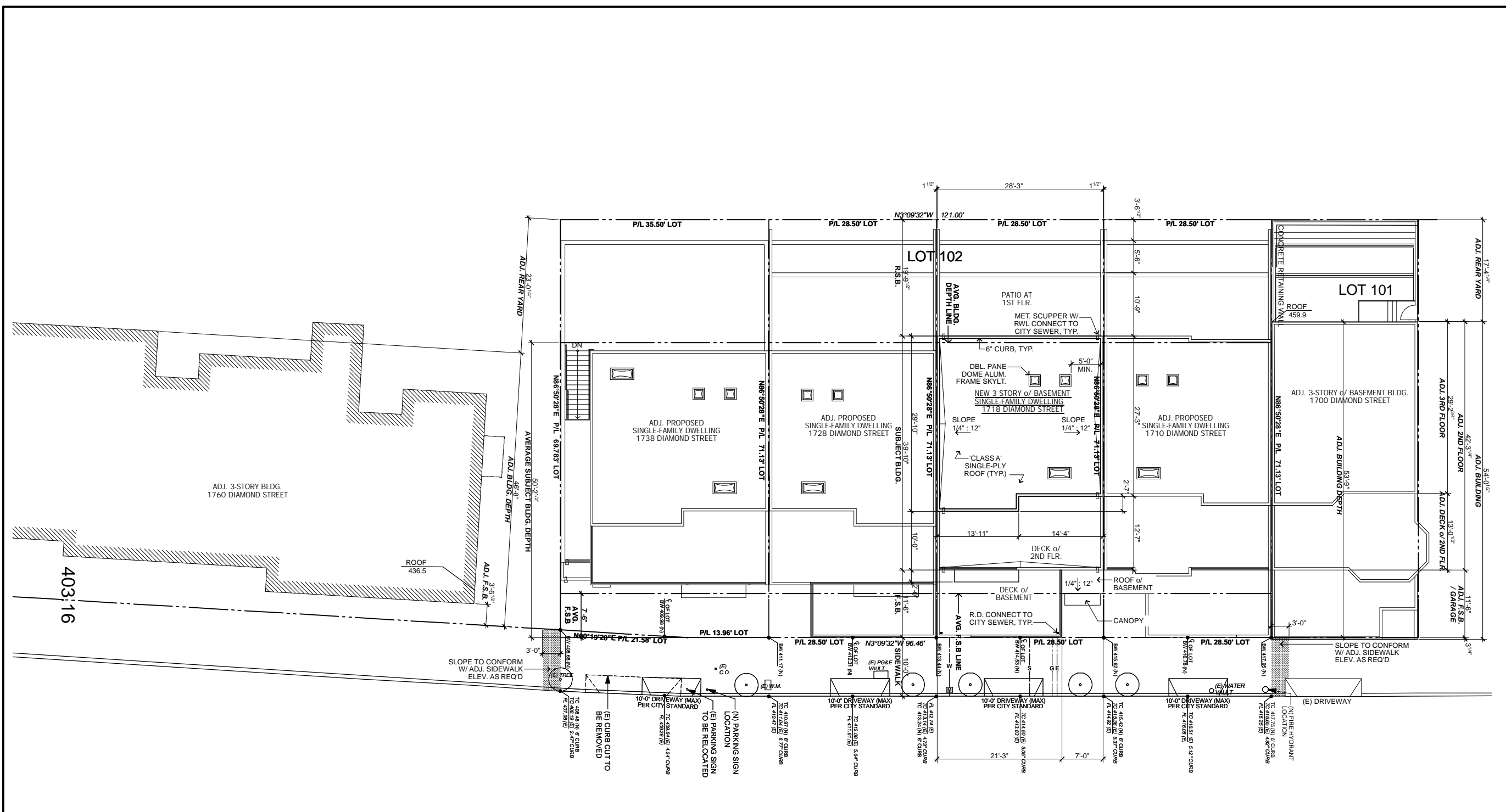
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SITE / ROOF PLAN



Date 2/2/07
 Scale AS NOTED
 Drawn ML/EC
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 Sheet

A-1
 Of 7 Sheets



DIAMOND STREET
 (WIDTH VARIES)

SITE / ROOF PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1' - 0"

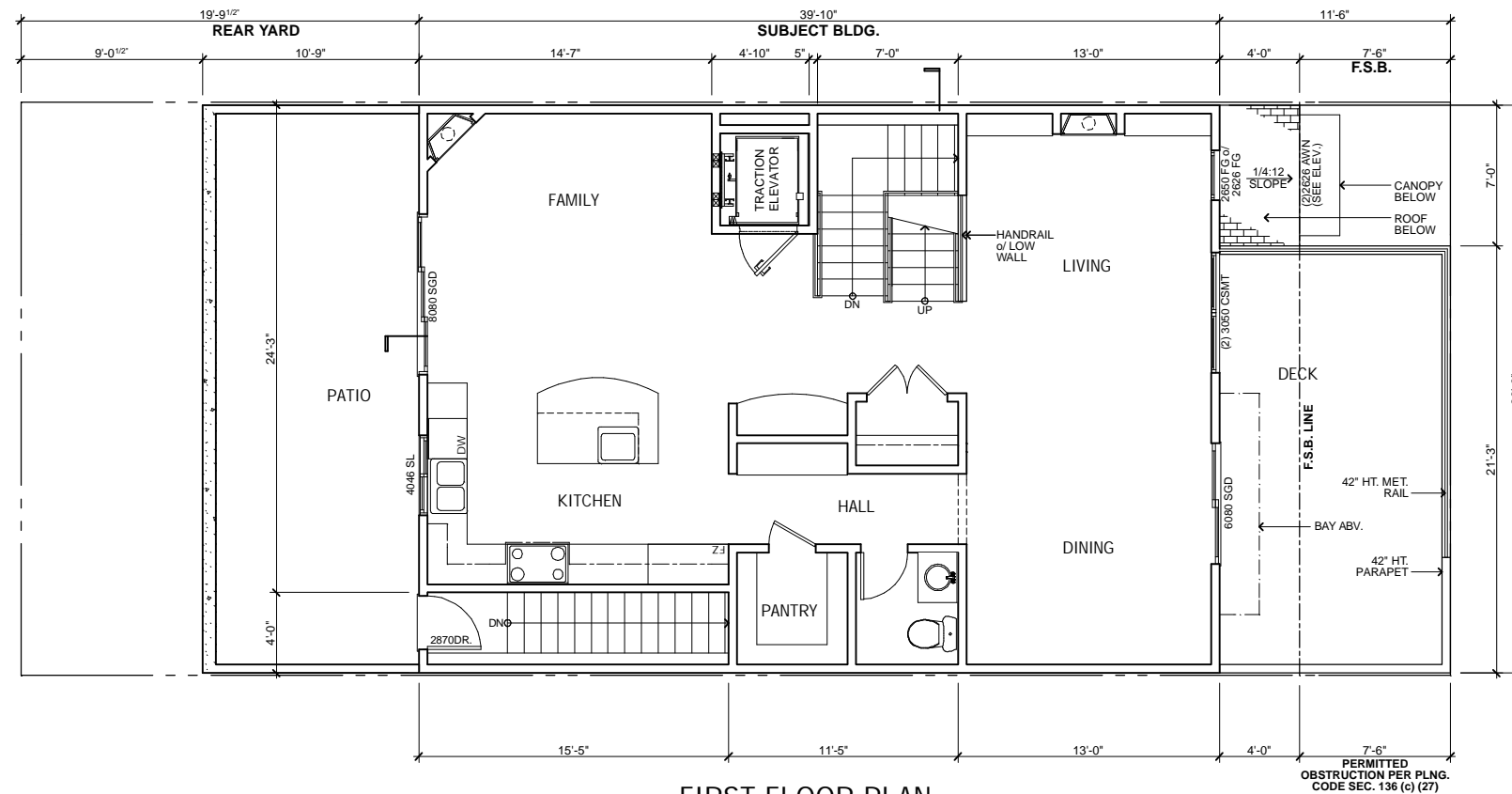
Area Calculation (In Square Foot):

	Living Space	Garage	Total	Decks
3rd Floor	715.7		715.7	294.1
2nd Floor	1059.0		1059.0	
1st Floor	1016.8		1016.8	506.1
Basement		981.3	981.3	
Total	2791.5	981.3	3772.8	800.3

Total Living Area = 2791.5 S.F.
 Total Garage = 981.3 S.F.

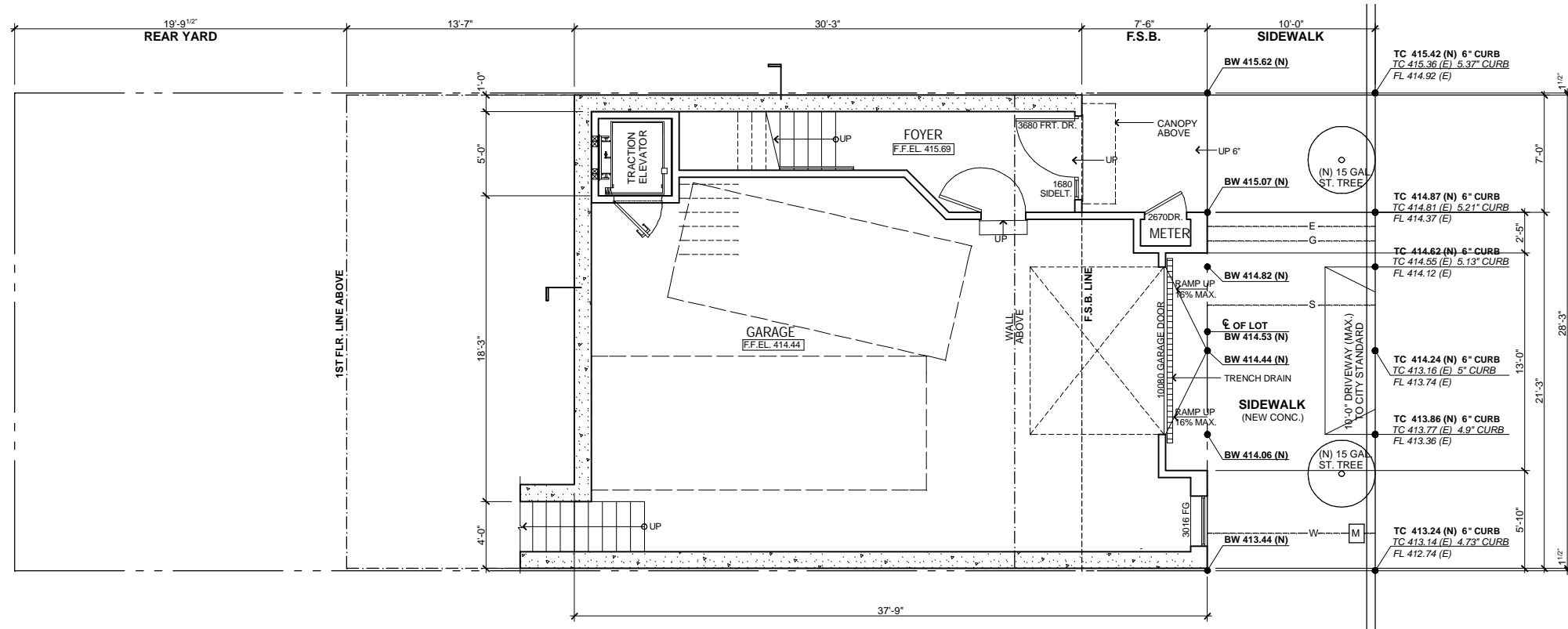
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FIRST FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



BASEMENT FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"

DIAMOND STREET
WIDTH VARIES

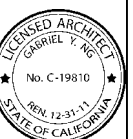
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8/10/09	ML
PER RDT CMT#1	EC
1/19/11	MM/ML
PER NEIGHBOR	MM/ML
6/23/11	MM/ML
DR HEARING	MM/ML



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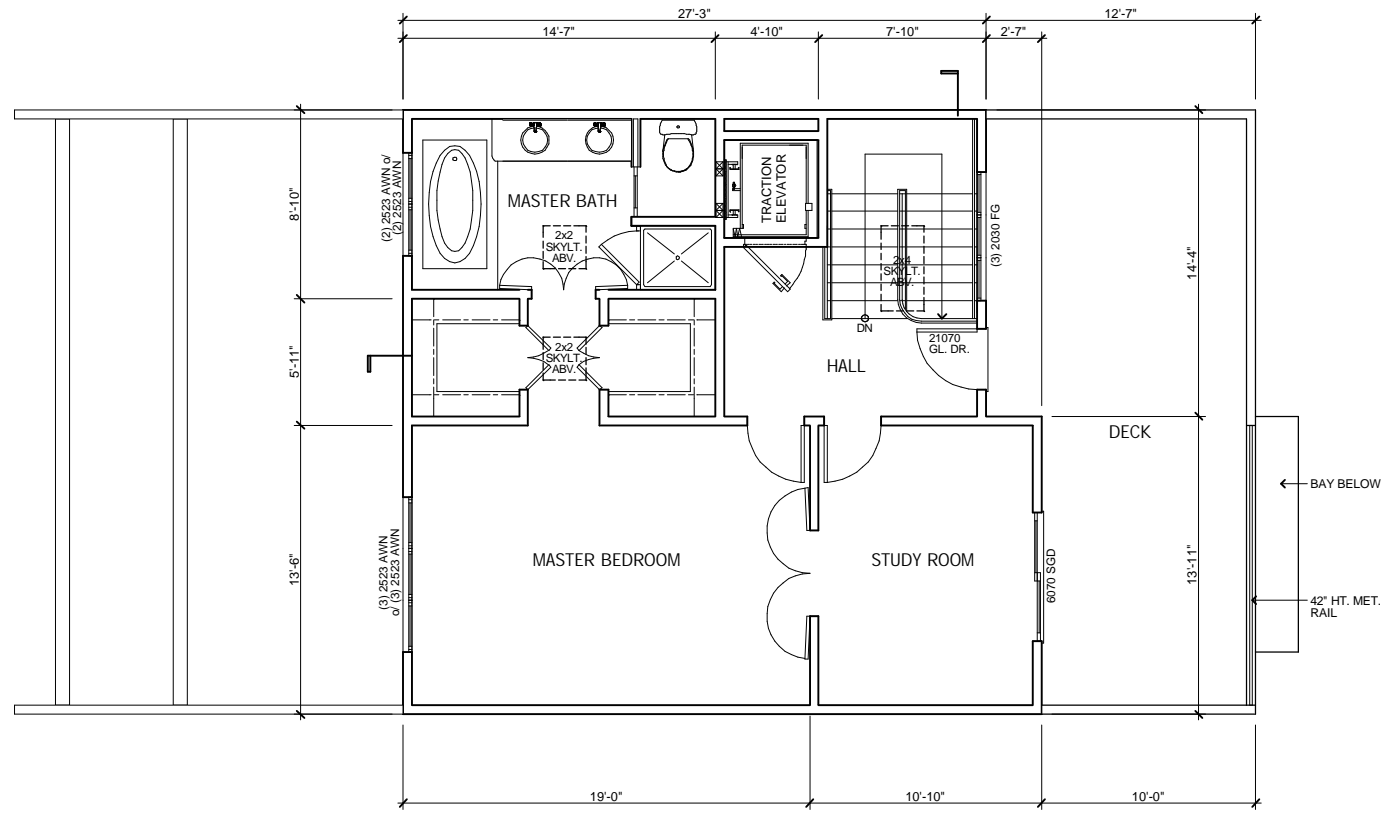
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FLOOR PLANS



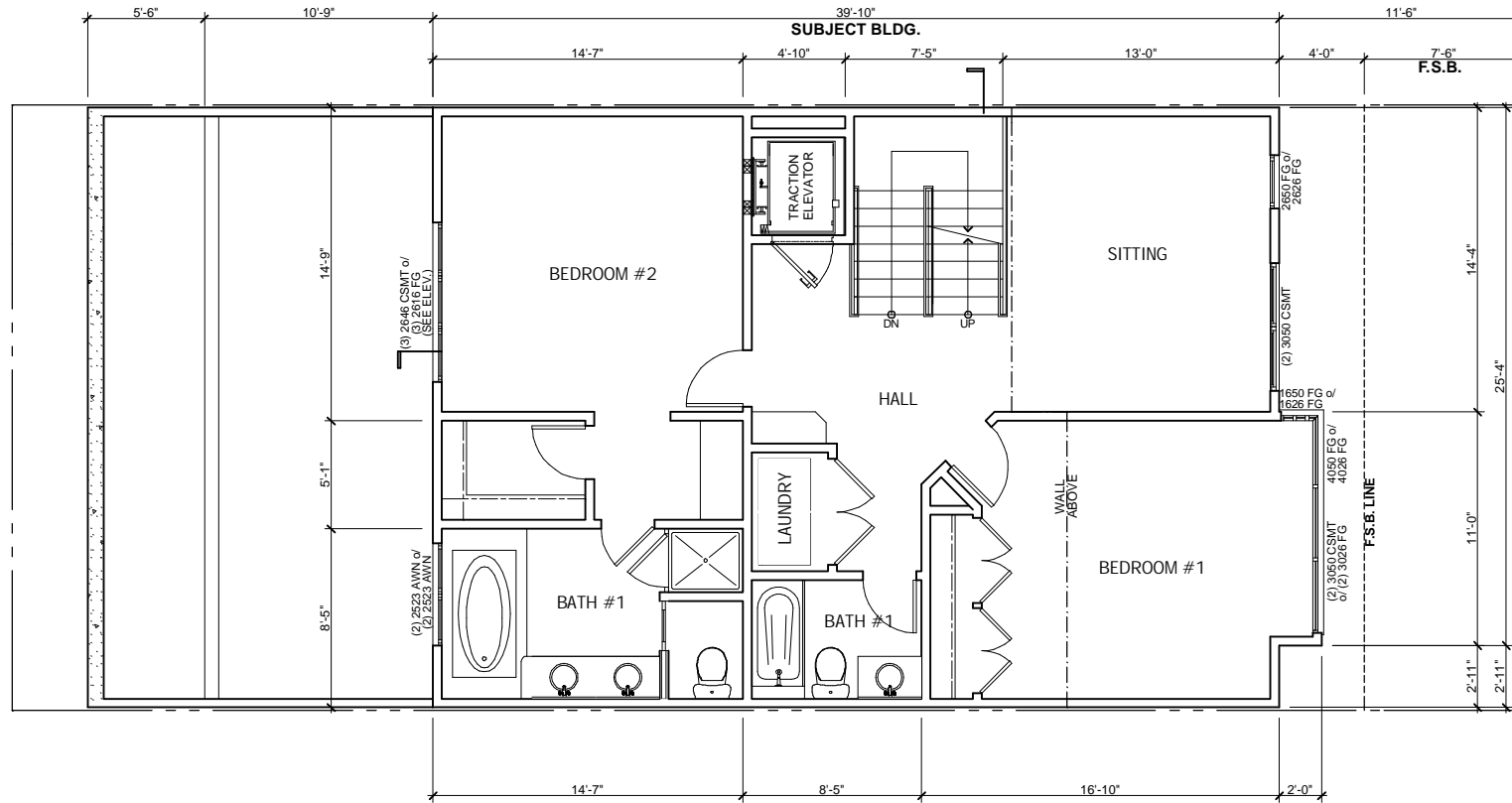
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Drawn ML/EC
Job 060503
Sheet

A-2
Of 7 Sheets



THIRD FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



SECOND FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



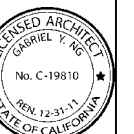
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1/19/11	MM/ML
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6/23/11	MM/ML
DR HEARING	MM/ML



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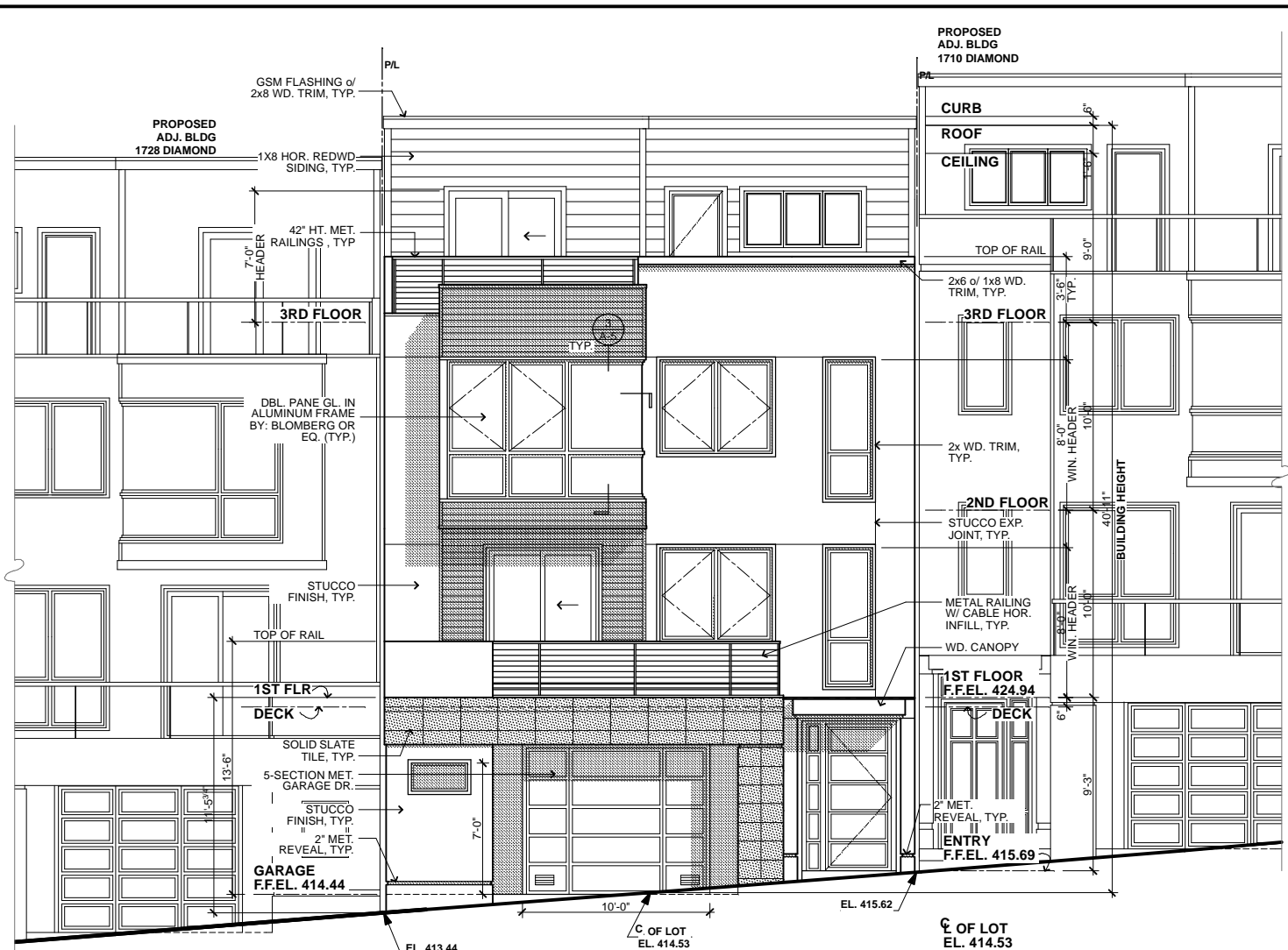
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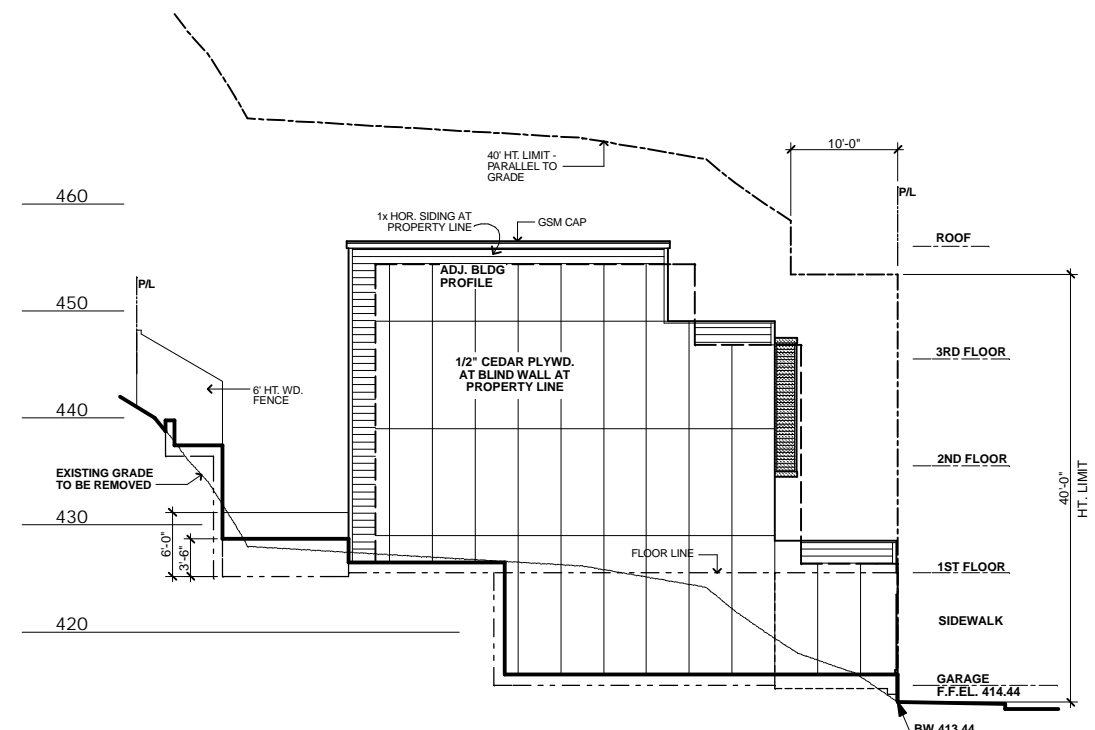
REAR ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



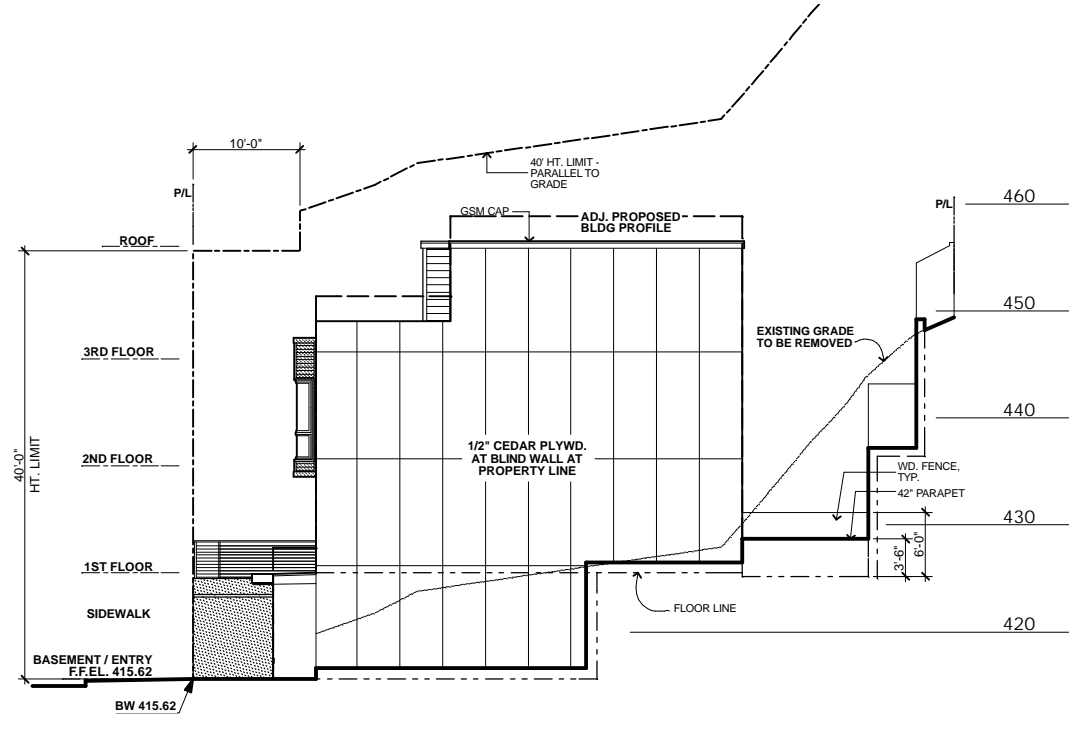
FRONT ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1'-0"



RIGHT SIDE ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1'-0"

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NEW SINGLE-FAMILY DWELLING
 1718 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

ELEVATIONS



Date 2/2/07
 Scale AS NOTED
 Drawn ML/EC
 Job 060503
 Sheet

REVISIONS	BY
12/10/08	ML
8/10/09	EC
PER RDT CMT#1	
1/19/11	MM/ML
PER NEIGHBOR	
6/23/11	MM/ML
DR HEARING	



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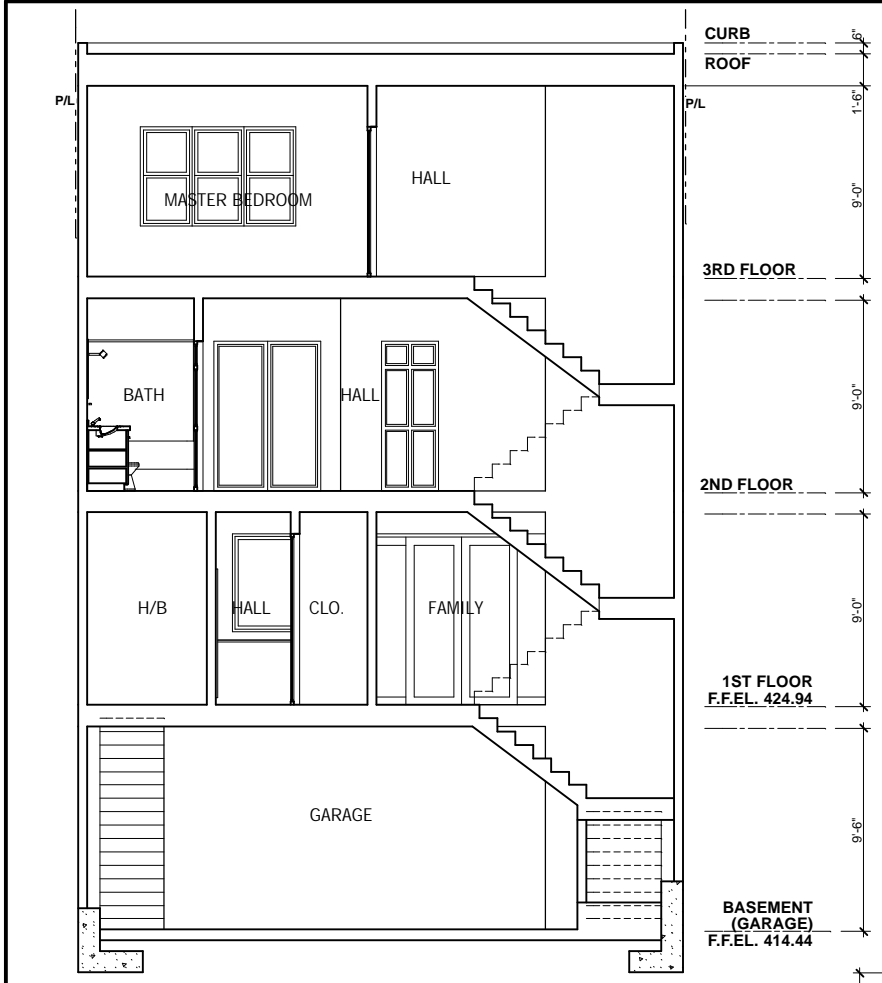
NEW SINGLE-FAMILY DWELLING
 1718 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

SECTIONS

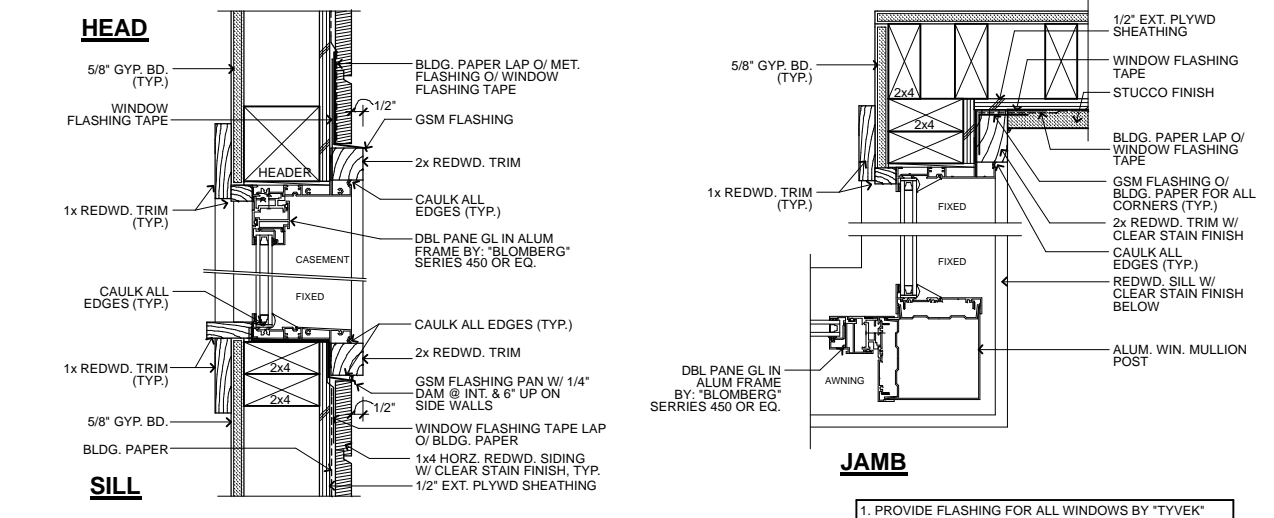


Date 2/2/07
 Scale AS NOTED
 Drawn ML/EC
 Job 060503
 Sheet

A-5
 Of 7 Sheets

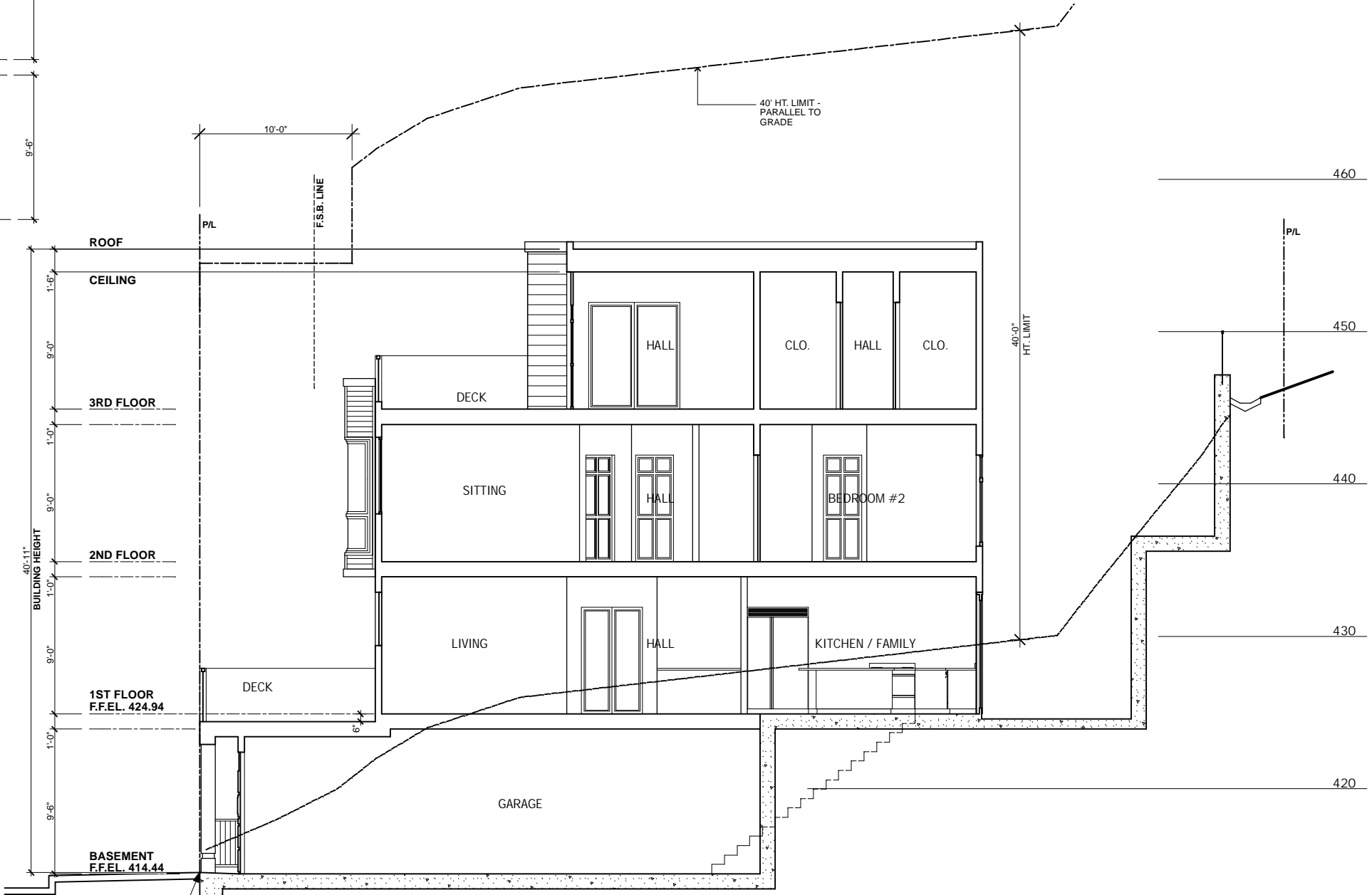


CROSS SECTION B
 SCALE 1/4" = 1'-0"



1 WINDOW DETAIL - ALUM. CASEMENT/ AWNING/ FIXED
 SCALE 3" = 1'-0"

1. PROVIDE FLASHING FOR ALL WINDOWS BY "TYVEK" FLEX WRAP OR EQ.
2. INSTALL ALL WINDOWS PER MFR. RECOMMENDATION



LONGITUDINAL SECTION A
 ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1'-0"

REVISIONS	BY
12/10/08	ML
8/10/09	EC
PER RDT CMT#1	
1/19/11	MML
PER NEIGHBOR	
5/23/11	MML
DR HEARING	



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NEW SINGLE-FAMILY DWELLING
 1728 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

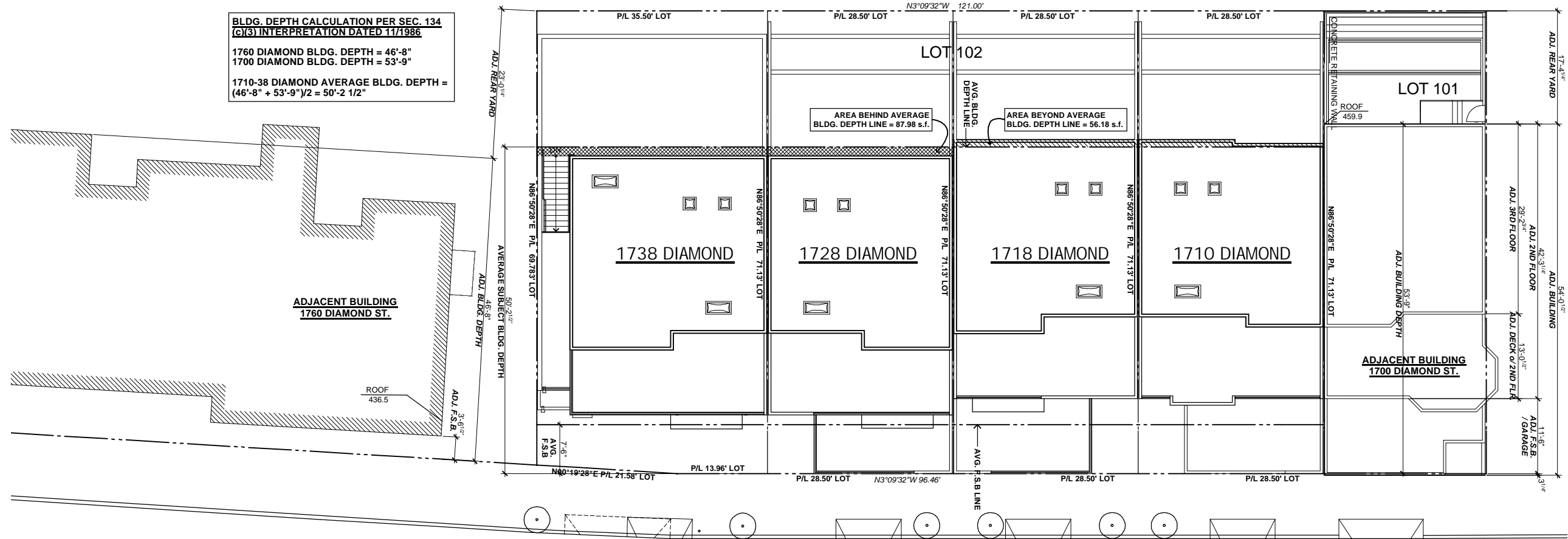
PRE-APPLICATION
 DETERMINATION LETTER



Date 2/2/07
 Scale AS NOTED
 Drawn ML/EC
 Job 060503
 Sheet

A-0.1
 Of 7 Sheets

BLDG. DEPTH CALCULATION PER SEC. 134 (C)(3) INTERPRETATION DATED 11/1986
 1760 DIAMOND BLDG. DEPTH = 46'-8"
 1700 DIAMOND BLDG. DEPTH = 53'-9"
 1710-38 DIAMOND AVERAGE BLDG. DEPTH = $(46'-8" + 53'-9")/2 = 50'-2 \frac{1}{2}"$



BUILDING DEPTH CALCULATION
 ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. SCALE: 1/8" = 1'-0"



September 21st, 2007

Jeff Ma, Major Plan Check
 Department of Building Inspection
 1660 Mission Street, 2nd Floor
 San Francisco, CA 94103

Re: Address: 1710, 1718, 1728, & 1738 Diamond Street
 Block/Lot: Block 7535, Lot 102
 Project: Four New Single Family Dwelling Buildings

Dear Mr. Ma:

Pursuant to our meetings, I would like to confirm the discussions of the above reference projects per drawings dated February 2nd, 2007.

The proposed four new single-family dwellings (R-3) are 3-story-over-basement buildings of type 5 – no hour construction situated on one (to be subdivided) lot facing Diamond Street. Each house contains 3 stories of living space over garage at the basement level, equipped with a residential elevator to all floors. Three of the four buildings will be sitting on a 28.5 foot wide lot, the fourth at 35.5 feet.

The following items were discussed:

- Exiting:**
 - The second exit is required on 3rd floor per SFBC Sec. 1004.2.3.2. A fire escape may be used as the required 2nd exit, conform to the prescriptive requirement of AB-19. Local equivalency with AB-19 needs to be filed.
 - The 2nd exit corridor may go through the garage area, with fire sprinkler installed, and exit path separated from parking area by a guardrail on 12" ht. curb, conform to the prescriptive requirement of AB-20. Local equivalency with AB-20 needs to be filed.
- Since excavation will take place all at the same time and all buildings will be built without side setbacks. Some buildings will not have **Grade (Adjacent Ground Elevation)** along the side property line, the **Grade (Adjacent Ground Elevation)** will be determined by drawing a straight line connecting the finish grade elevation at the center of front building wall and the exterior finish grade elevation at the center of rear-most building retaining wall. We would like to confirm that this line will be the **Grade** to determine **Basement** definition per SFBC Sec. 203 and **Story** definition per SFBC Sec. 220.

- It is our understanding that:
- The scope of this pre-application plan review is limited to the questions submitted by the applicant. Code issues not addressed at the pre-application process will be addressed at the time of permit application plan review.
 - A copy of these notes shall be reproduced on not less than 11"x17" paper size and must be attached to the documents submitted for permit application. These understandings shall not be presumed to give authority to violate or cancel the provisions of the San Francisco Building Code, the San Francisco Fire Code or any other applicable laws and regulations.
 - The decision is not to be used as a precedent since it is intended to apply only to this particular situation. Please be advised that this response is based upon the accuracy and completeness of information supplied by Gabriel Ng, architect to the San Francisco Department of Building Inspection.

Very truly yours,

Gabriel Y. Ng, AIA

Agreed to the above determination:

By: Jeff Ma, DBI
 Dated: 10-1-07

ARCHITECTURE
 PLANNING
 1375 CALIFORNIA STREET
 SUITE 102
 SAN FRANCISCO
 CALIFORNIA 94109
 www.gyn.com
 FAX 415-563-8859
 415-563-8655

REVISIONS	BY
12/10/08	ML
8/10/09	EC
PER RDT CMT#1	
1/19/11	MML
PER NEIGHBOR	
6/23/11	MML
DR HEARING	



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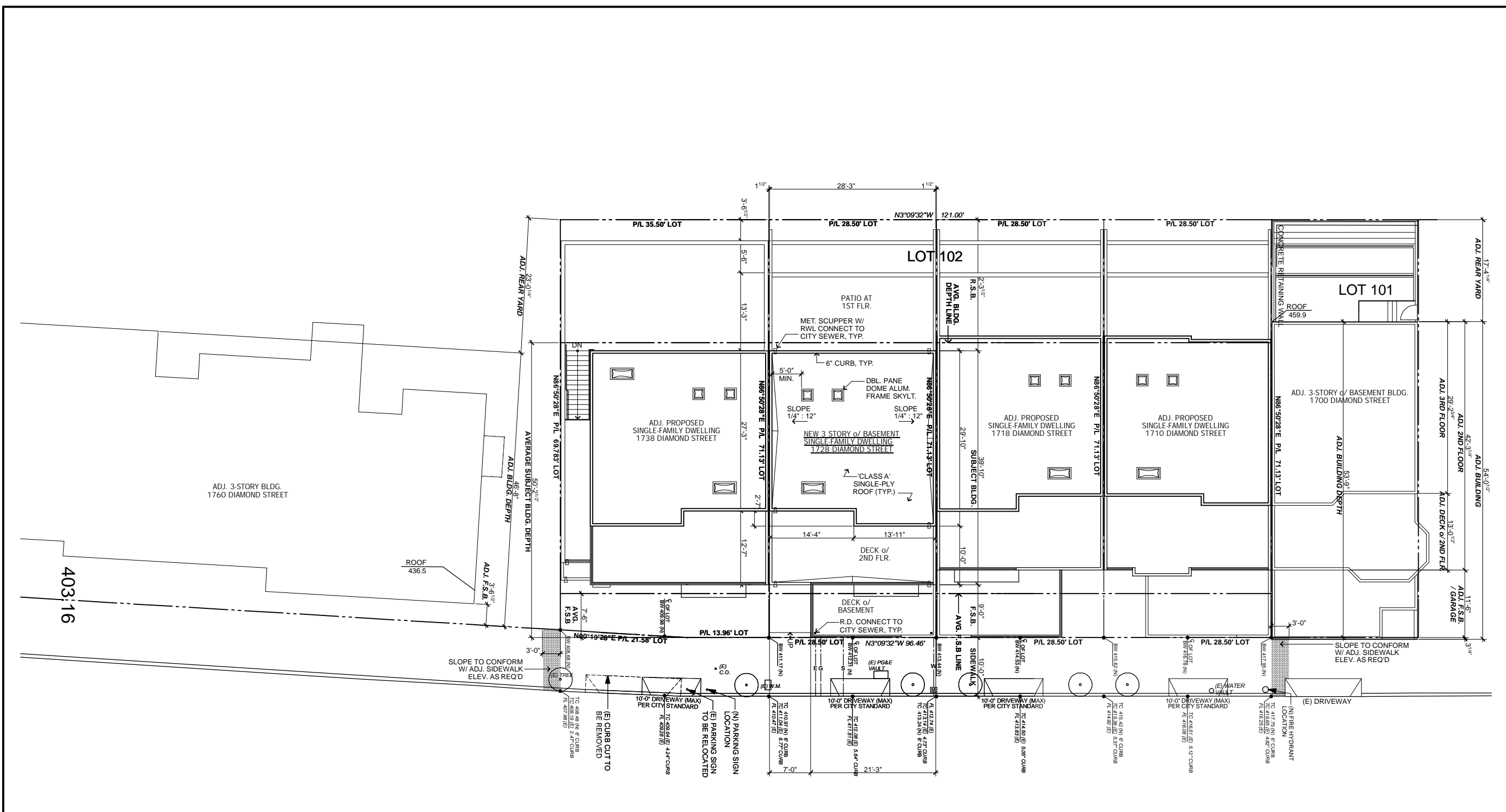
NEW SINGLE-FAMILY DWELLING
 1728 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

SITE / ROOF PLAN



Date 2/2/07
 Scale AS NOTED
 Drawn ML/EC
 Job 060503
 Sheet

A-1
 Of 7 Sheets



- NOTES:**
- UNDERPINNING & SHORING IF REQUIRED UNDER SEPARATE PERMIT.
 - STATE INDUSTRIAL SAFETY PERMIT IS REQUIRED
 - PROVIDE TEMPERED (SAFETY) GLASS WITHIN 18" OF FLOOR PER SECTION 2406.3
 - PROVIDE SMOKE DETECTORS PER SEC. 907.2.10
 - FIREPLACE SHALL BE "UL LISTED"
 - ROOF DRAIN AND OVERFLOW DRAIN AT ROOF OR DECK SHALL CONNECT TO CITY SEWER
 - ALL LIGHTINGS SHALL COMPLY WITH 2005 CALIFORNIA TITLE 24 RESIDENTIAL STANDARDS
 - PROVIDE MET. STRAP TO WALL FOR WATER HEATER ON 18" PLATFORM
 - SKYLIGHT CONSTRUCTION PER SFBC 2405
 - SEE SOIL REPORT PREPARED BY EARTH SCIENCE CONSULTANTS DATED JAN 29, 2006
- APPLICABLE CODE AND ORDINANCES:**
- 2007 CALIFORNIA BUILDING CODE(CBC), W/ SAN FRANCISCO AMENDMENTS
 - 2005 ENERGY CODE - TITLE 24
 - 2007 CALIFORNIA MECHANICAL, ELECTRICAL, AND PLUMBING CODES, W/ SAN FRANCISCO AMENDMENT.

DIAMOND STREET
(WIDTH VARIES)

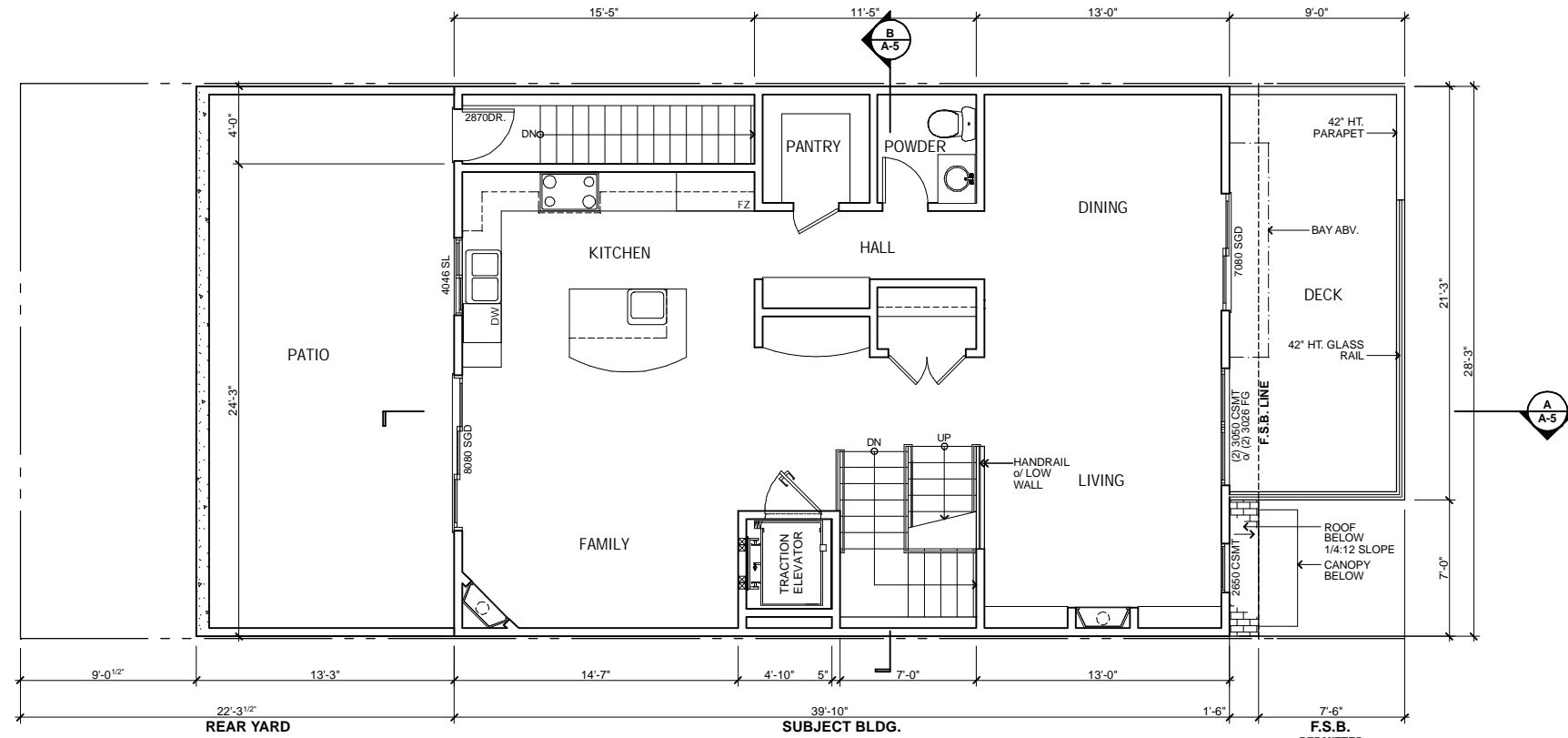
SITE / ROOF PLAN
ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1' - 0"

Area Calculation (In Square Foot):

	Living Space	Garage	Total	Decks
3rd Floor	715.7		715.7	294.1
2nd Floor	1056.7		1056.7	
1st Floor	1016.8		1016.8	523.6
Basement		981.5	981.5	
Total	2789.2	981.5	3770.7	817.8

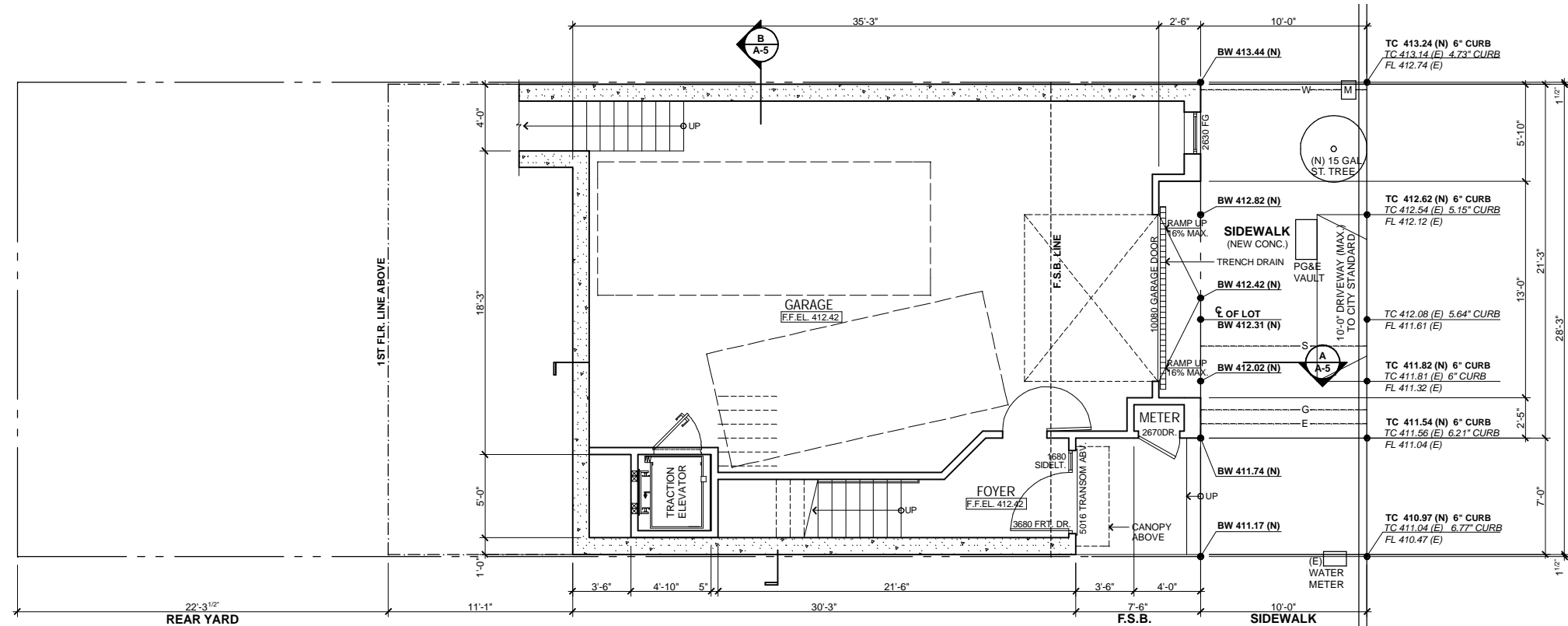
Total Living Area = 2789.2 S.F.
 Total Garage = 981.5 S.F.

NOTE:
 Area Calculation as shown is intended for permit application purposes only and shall not be used for selling purpose.
 Final square footage and finished dimensions may vary from these plans due to construction variables.



FIRST FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



BASEMENT FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"

DIAMOND STREET
WIDTH VARIES

REVISIONS	BY
12/10/08	ML
8/10/09	ML
PER RDT CMT#1	EC
1/19/11	MM/ML
PER NEIGHBOR	MM/ML
6/23/11	MM/ML
DR HEARING	MM/ML



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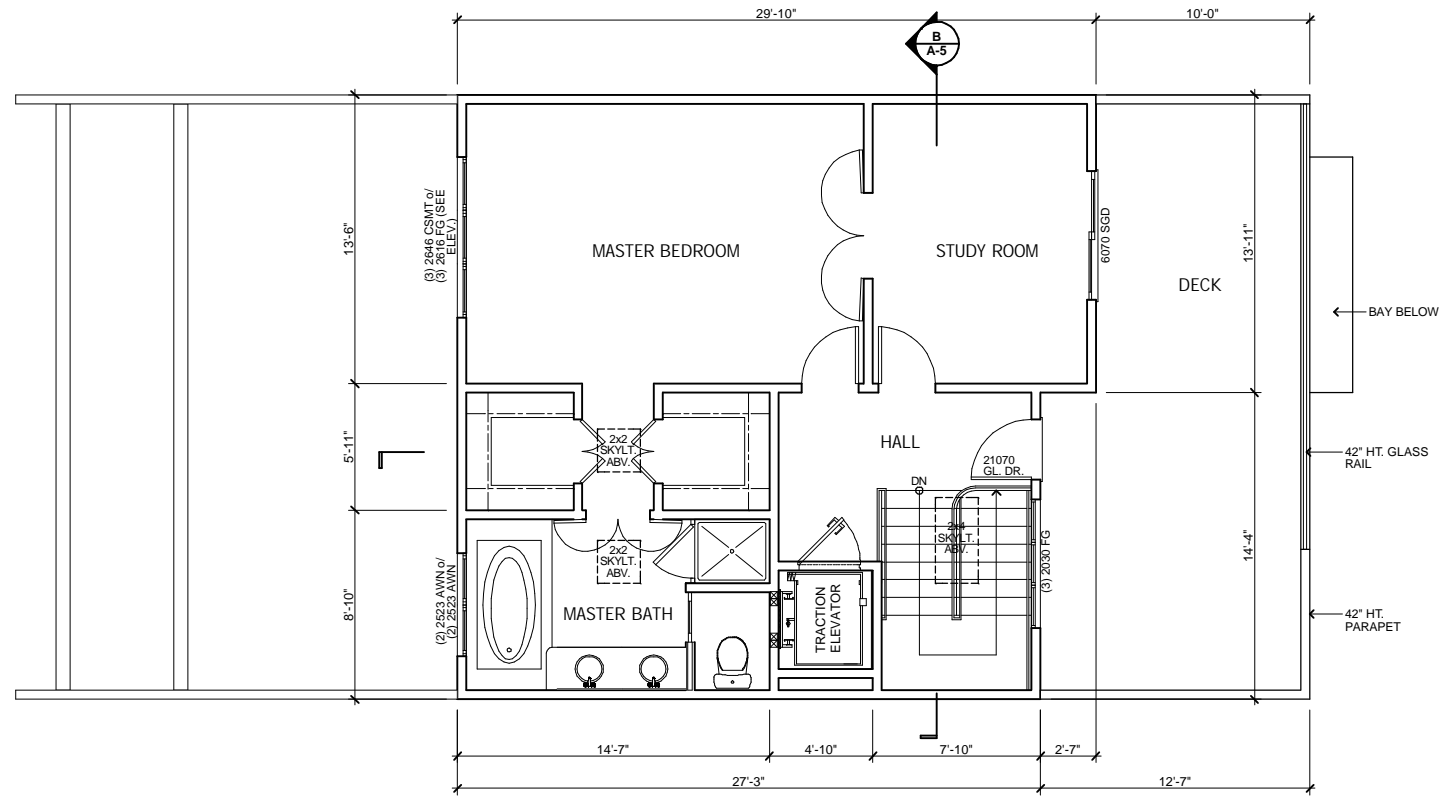
FLOOR PLANS



Date 2/2/07
Scale AS NOTED
Drawn ML/EC
Job 060503
Sheet

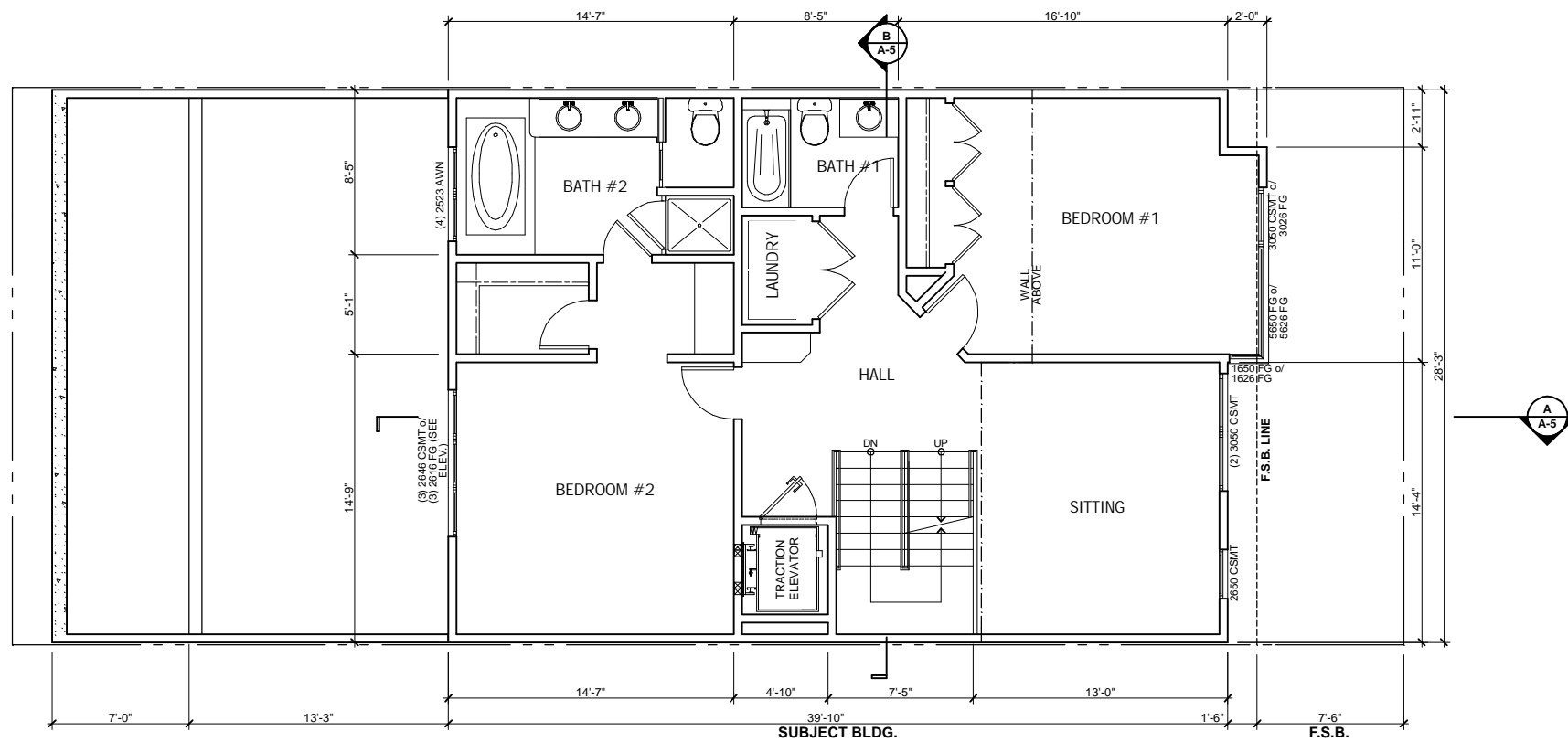
A-2

Of 7 Sheets



THIRD FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



SECOND FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



REVISIONS	BY
12/10/08	ML
8/10/09	ML
PER RDT CMT#1	EC
1/19/11	MMML
PER NEIGHBOR	MMML
6/23/11	MMML
DR HEARING	MMML



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NEW SINGLE-FAMILY DWELLING
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FLOOR PLANS



Date 2/2/07
 Scale AS NOTED
 Drawn ML/EC
 Job 060503
 Sheet

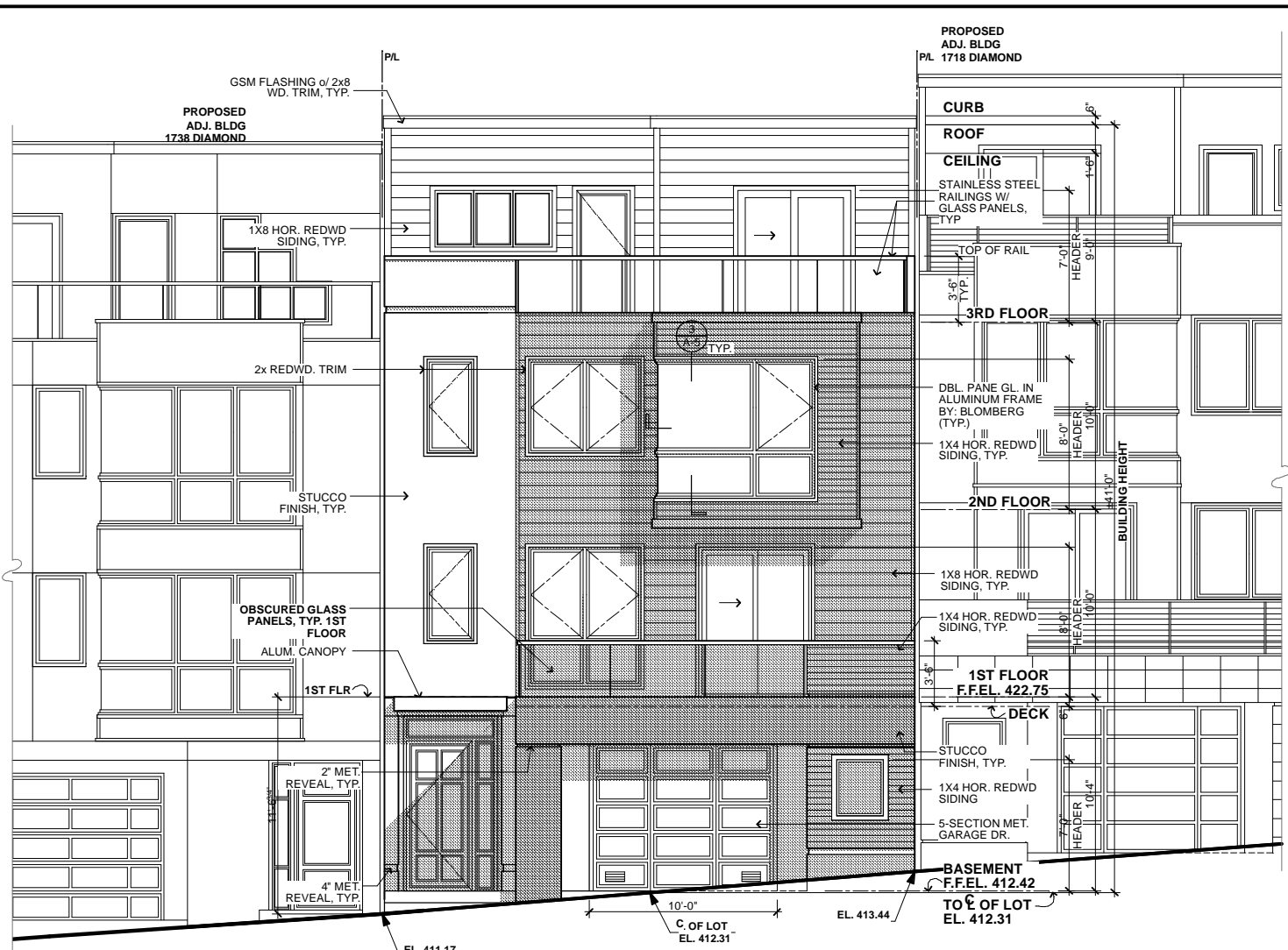
A-3

Of 7 Sheets



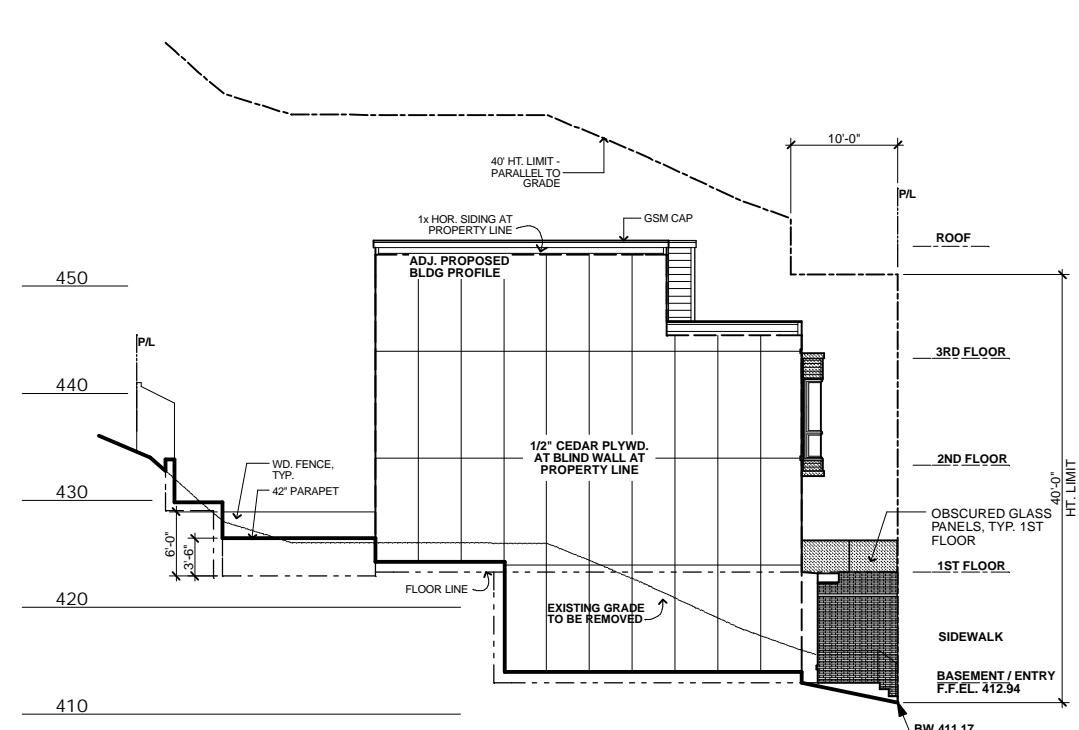
REAR ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



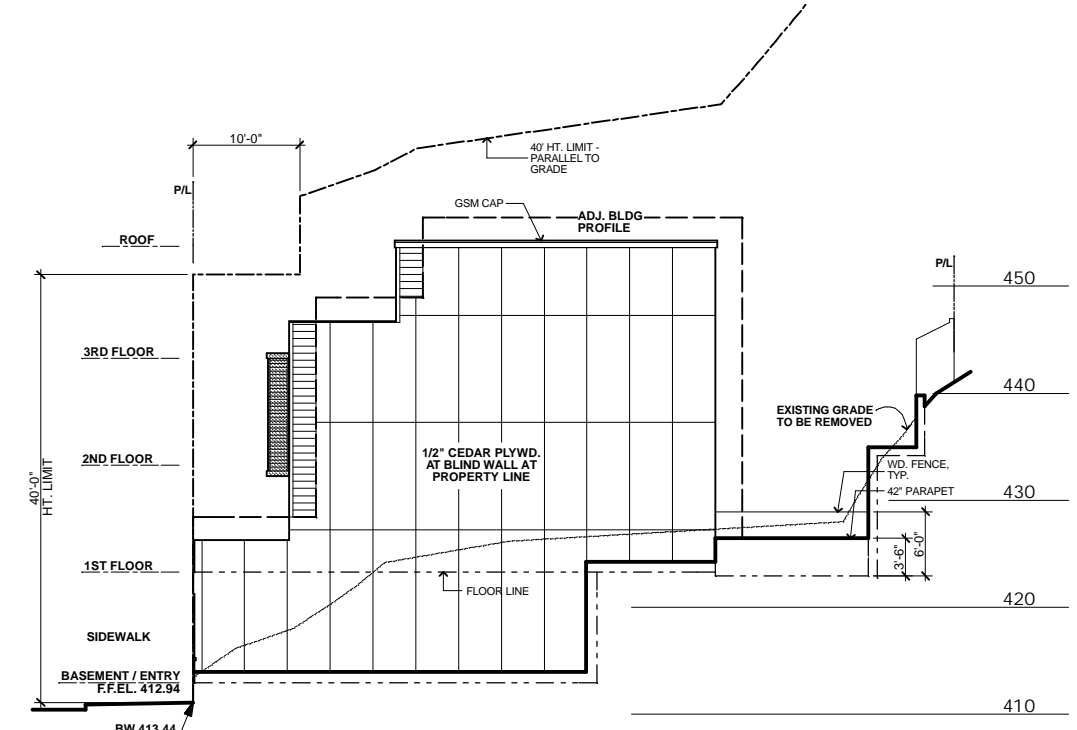
FRONT ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1'-0"



RIGHT SIDE ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1'-0"

REVISIONS	BY
12/10/08	ML
8/10/09	EC
PER RDT CMT#1	MM/ML
1/19/11	MM/ML
PER NEIGHBOR	MM/ML
6/23/11	MM/ML
DR HEARING	MM/ML



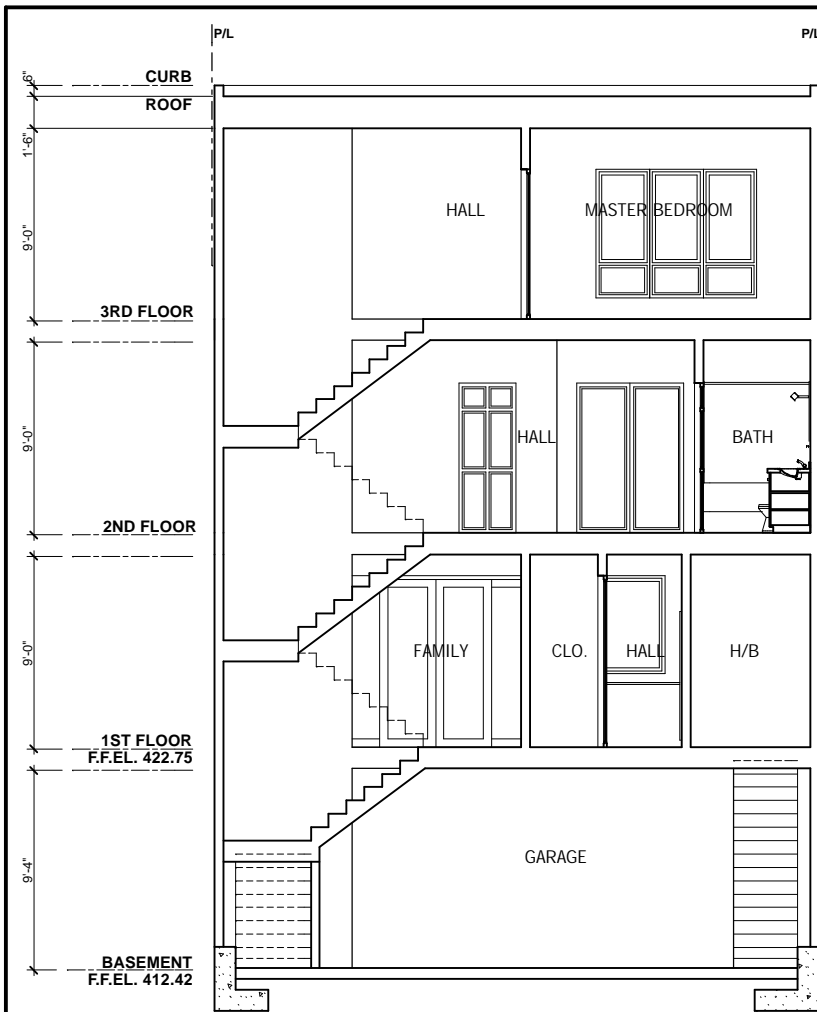
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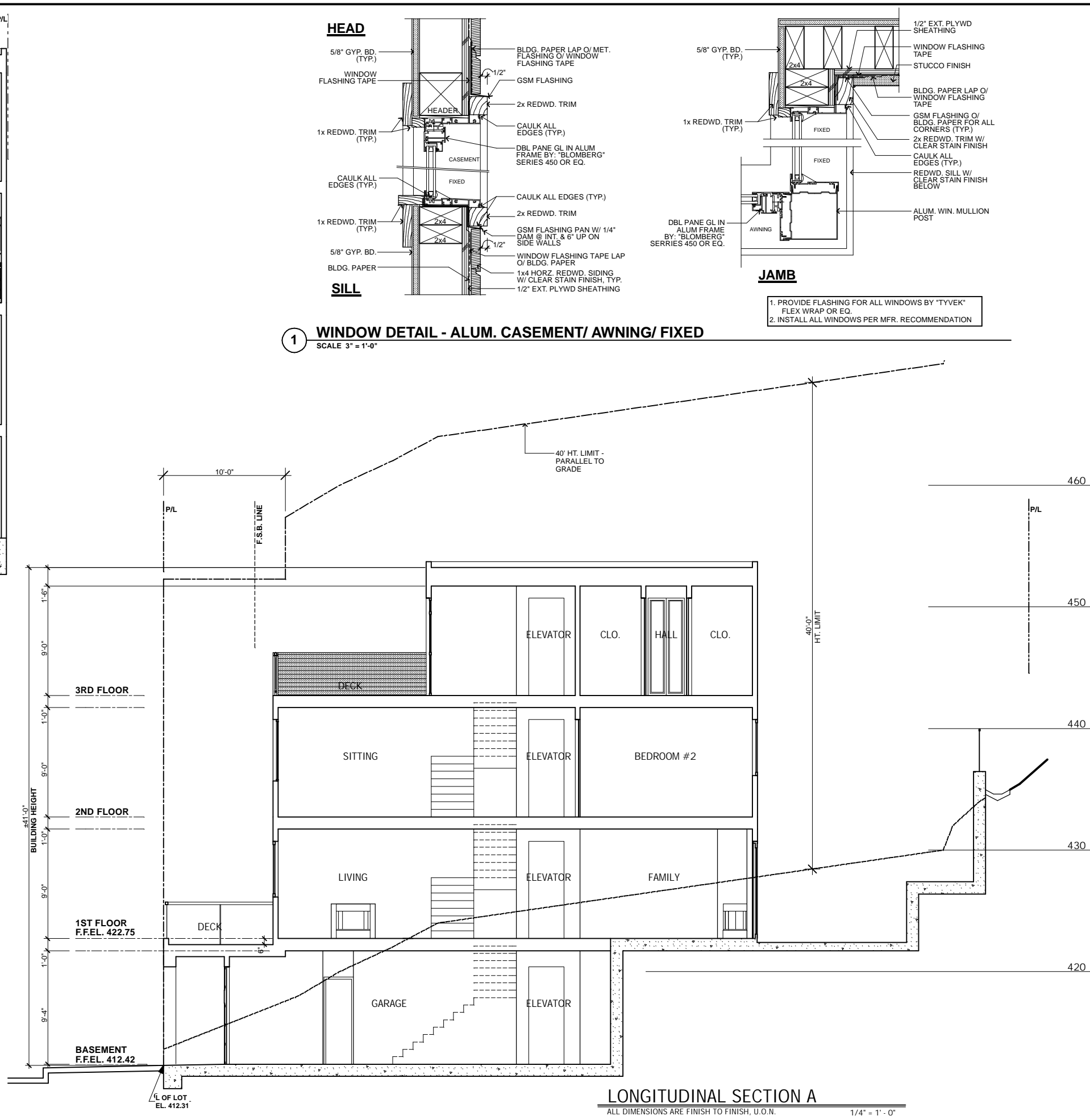
ELEVATIONS



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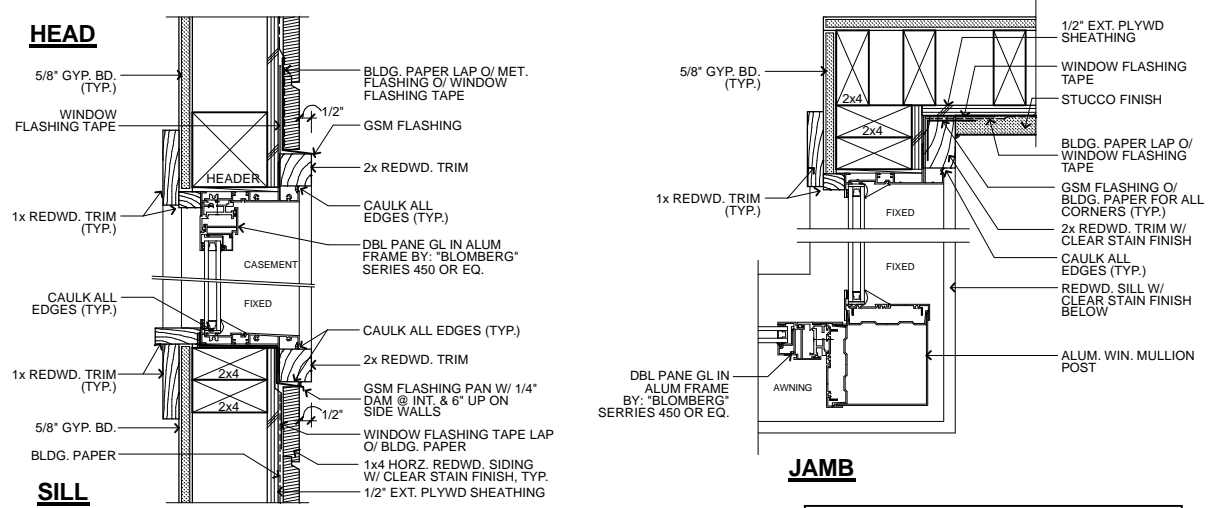


CROSS SECTION B
SCALE 1/4" = 1'-0"



LONGITUDINAL SECTION A
ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1'-0"

1 WINDOW DETAIL - ALUM. CASEMENT/ AWNING/ FIXED
SCALE 3" = 1'-0"



1. PROVIDE FLASHING FOR ALL WINDOWS BY "TYVEK" FLEX WRAP OR EQ.
2. INSTALL ALL WINDOWS PER MFR. RECOMMENDATION

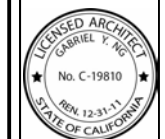
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SECTIONS



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SYMBOLS

- COLUMN GRID LINE
- INTERIOR ELEVATION NUMBER WITH DIRECTION INDICATION SHEET NUMBER
- SECTION/DETAIL IDENTIFICATION SHEET NUMBER
- ENLARGED PLAN SECTION OR DETAIL REFERENCE
- ROOM/SPACE NUMBER
- DOOR NUMBER HARDWARE GROUP
- WINDOW NUMBER
- NEW STUD WALL - SEE DETAIL
- NEW STUD WALL WITH INSULATION SEE DETAIL
- NEW DOOR
- EXISTING CONDITION TO BE REMOVED
- EXISTING WALL/DOOR TO REMAIN
- MASONRY WALL
- F.D. FLOOR DRAIN
- R.D. ROOF DRAIN
- H.B. HOSE BIBB
- S.P. SPRINKLER HEAD
- S.D. SMOKE DETECTOR
- T. THERMOSTAT
- C.A.R. COLD AIR RETURN
- HEATING DUCT REGISTER
- EXHAUST FAN
- EXHAUST FAN WITH HEAT FAN
- EXHAUST FAN WITH HEAT LAMP
- TELEPHONE OUTLET +12' UON
- TELEVISION OUTLET + 12' UON
- DUPLEX RECEPTACLE (110V) +12' UON
- APPLIANCE CIRCUIT (220V) +12' UON
- DUPLEX RECEPTACLE WITH ONE SWITCHED OUTLET +12' UON
- GFI GROUND FAULT INSULATED DUPLEX RECEPTACLE +12' UON
- SWITCH +48' UON
- 3 3 WAY
- 4 4 WAY
- DIM DIMMER
- 'A' LIGHTING FIXTURE IDENTIFICATION TAG
- H.I.D. OR INCANDESCENT LIGHT FIXTURE RECESSED
- H.I.D. OR INCANDESCENT LIGHT FIXTURE CEILING MOUNTED
- CHANDELIER
- H.I.D. OR INCANDESCENT LIGHT FIXTURE WALL MOUNTED
- H.I.D. OR INCANDESCENT WALL SCONCE W/ HEIGHT INDICATION
- FLUORESCENT FIXTURE RECESSED OR SURFACE MOUNTED
- FLUORESCENT FIXTURE WALL MOUNTED
- TRACK LIGHT FIXTURE CEILING MOUNTED W/ LENGTH INDICATION
- GAS NATURAL GAS OUTLET
- HWH HOT WATER HEATER



ABBREVIATIONS

&	AND	C.B.	CATCH BASIN	DWG.	DRAWING	FDN.	FOUNDATION	INSUL.	INSULATION	O.A.	OVERALL	REINF.	REINFORCED	T.&G.	TONGUE & GROOVE
L	ANGLE	C.G.	CORNER GUARD	DWR.	DRAWER	FIN.	FINISH	INT.	INTERIOR	O.C.	ON CENTER	REQ.	REQUIRED	T.B.	TOWEL BAR
@	AT	C.I.	CAST IRON	E.	EAST	FLASH.	FLASHING	JAN.	JANITOR	O.D.	OUTSIDE DIAMETER (DIM.)	RESIL.	RESILIENT	T.C.	TOP OF CURB
Q	CENTERLINE	C.O.	CLEANOUT	E.	EAST	FLR.	FLOOR	JAN.	JANITOR	O.F.D.	OVERFLOW DRAIN	RET.	RETAINING	T.P.	TOP OF PAVEMENT
Ø	DIAMETER	C.T.	CERAMIC TILE	(E)	EXISTING	FLUOR.	FLUORESCENT	J.T.	JOINT	O.H.	OVERHEAD	RGR.	REGISTER	T.P.D.	TOILET PAPER DISPENSER
#	POUND OR NUMBER	CAB.	CABINET	E.P.	EXPANSION JOINT	FRF.	FIREPROOF	KIT.	KITCHEN	OSB.	OSBURE	ROOM.	ROOM	T.V.	TELEVISION
#	PROPERTY LINE	CEM.	CEMENT	FT.	ELEC. PANEL BOARD	FT.	FOOTING	KIT.	KITCHEN	OFF.	OFFICE	OPNG.	OPENING	T.W.	TOP OF WALL
		CLG.	CEILING	E.W.	EACH WAY	FRT.	FURRING	LAB.	LABORATORY	OPNG.	OPENING	OPP.	OPPOSITE	S.	SOUTH
		CLG.	CULMING	E.W.C.	ELEC. WATER COOLER	FUR.	FURRING	LAV.	LAVATORY	OPP.	OPPOSITE	S.A.D.	SEE ARCHITECTURAL DRAWINGS	S.E.	SEE ELECTRICAL
		CLO.	CLOSET	EA.	EACH	FUT.	FUTURE	LAM.	LAMINATE	P.C.	PHOTO CELL	S.C.	SOLID CORE	T.B.	TERAZZO
		CLR.	CLEAR	ELEC.	ELECTRICAL	G.B.	GRAB BAR	LAV.	LAVATORY	P.LAM.	PLASTIC LAMINATE	S.C.D.	SEAT COVER DISPENSER	T.C.	TOP OF CURB
		COL.	COLUMN	EL.	ELEVATOR	G.D.	GARAGE DISPOSAL	LT.	LIGHT	P.T.D.	PAPER TOWEL DISPENSER	S.N.D.	SANITARY NAPKIN DISPENSER	THK.	THICK
		CONC.	CONCRETE	EMER.	EMERGENCY	G.I.	GALLON	M.C.	MEDICINE CABINET	PTR.	PAPER TOWEL RECEPTACLE	S.N.R.	SANITARY NAPKIN RECEPTACLE	TRD.	TREAD
		CONSL.	CONSTRUCTION	EQ.	EQUAL	G.S.M.	GALVANIZED SHEET METAL	M.E.M.B.	MEMBRANE	PL.	PLATE	S.S.	STAINLESS STEEL	TYP.	TYPICAL
		CONT.	CONTINUOUS	EQ.	EQUAL	GA.	GUAGE	MAX.	MAXIMUM	PLAS.	PLASTER	S.S.T.	STAINLESS STEEL	U.O.N.	UNLESS OTHERWISE NOTED
		CORR.	CORRIDOR	EQUIP.	EQUIPMENT	GL.	GALLON	MECH.	MECHANICAL	PLYWD.	PLYWOOD	SCHED.	SCHEDULE	UNF.	UNFINISHED
		CNTR.	COUNTER	EXP.	EXPOSED	GRD.	GROUND	MEM.	MEMBRANE	PR.	PRECAST	SECT.	SECTION	UR.	URINAL
		CTR.	CENTER	EXPO.	EXPOSED	GRD.	GROUND	MFR.	MANUFACTURER	PRCST.	PRECAST	SH.	SHOULDER	VERT.	VERTICAL
				EXT.	EXTERIOR	GYP.	GYPSPUM	MIR.	MIRROR	PT.	PARTITION	SHR.	SHOWER	VEST.	VESTIBULE
								MIR.	MIRROR	PTN.	PARTITION	SHT.	SHEET	W.	WEST
								MIR.	MIRROR	Q.T.	QUARRY TILE	SIM.	SIMILAR	W.	WITH
								MISC.	MISCELLANEOUS			SPEC.	SPECIFICATION	W.C.	WATER CLOSET
								MIR.	MIRROR	R.	RISER	SO.	SQUARE	WD.	WOOD
								MIR.	MIRROR	R.D.	ROUGH DRAIN	STA.	STATION	WO.	WITHOUT
								MIR.	MIRROR	R.O.	ROUGH OPENING	STD.	STANDARD	WP.	WATERPROOF
								MIR.	MIRROR	R.W.	RAIN WATER LEADER	STL.	STEEL	W.CST.	WAINSCOT
								MIR.	MIRROR	REF.	REFERENCE	STOR.	STORAGE	WT.	WEIGHT
								MIR.	MIRROR	RAD.	RADIUS	STR.	STRUCTURAL		
								MIR.	MIRROR	REF.	REFERENCE	SUSP.	SUSPENDED		
								MIR.	MIRROR	REFR.	REFRIGERATOR	SYM.	SYMMETRICAL		

DRAWING INDEX

A-0	2D FRONT VIEW
A-0.1	DBI DETERMINATION LETTER
A-1	SITE / ROOF PLAN
A-2	FLOOR PLANS
A-3	FLOOR PLANS
A-4	ELEVATIONS
A-5	SECTIONS

PROJECT DATA

BUILDING PERMIT APPLICATION #: 2007-02-06-3550

BLOCK/LOT:	7535 / 102	OCCUPANCY:	R-3
ZONING:	RM-1	NUMBER OF UNITS:	1
NUMBER OF STORIES:	3 STORY o/ BASEMENT		
TYPE OF CONSTRUCTION:	V - B		

GENERAL NOTES

PLEASE TAKE NOTICE THAT THE DRAWINGS AS PREPARED BY GABRIEL Y. NG AND ASSOCIATES FOR THE PROJECT ARE LIMITED TO THE EXTENT AS REQUIRED FOR PLAN CHECK PURPOSES BY CITY AGENCIES HAVING JURISDICTION OVER THE PROJECT.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN-BUILD (DESIGN AND INSTALL) ALL SYSTEMS AND ELEMENTS AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, MECHANICAL, FIRE SPRINKLER AND ELECTRICAL SYSTEMS, AND ALL DETAILS FOR ROOFING, FLASHING, WATER PROOFING AND SOUND PROOFING STANDARDS.

THE USE OF THESE DRAWINGS FOR THE CONSTRUCTION OF THE PROJECT SHALL CONSTITUTE THE CONTRACTOR'S REPRESENTATION THAT IT HAS REVIEWED AND VERIFIED THE BUILDABILITY OF THE PROJECT AS SHOWN ON THESE DRAWINGS IN THE LIGHT OF SITE CONDITIONS AND APPLICABLE CODE REQUIREMENTS, AND THAT ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR SHALL UNDERTAKE FULL RESPONSIBILITIES TO DESIGN-BUILD ALL ELEMENTS AND MAKE NECESSARY ADJUSTMENTS AS REQUIRED FOR THE COMPLETION OF THE PROJECT IN ITS ENTIRETY PURSUANT TO ALL APPLICABLE CODE REQUIREMENTS, TRADE AND WORKMANSHIP STANDARDS.

ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY BUILDING CODE AND UNIFORM BUILDING CODE, AS WELL AS ALL APPLICABLE FEDERAL, STATE, OSHA, BAY AREA AIR QUALITY MANAGEMENT DISTRICT, COUNTY AND CITY ORDINANCES, AMENDMENTS AND RULINGS. THE CITY CODE SHALL GOVERN WHEN IT AND THE USC OR ANY OTHER REFERENCE CODES AND STANDARDS ARE IN CONFLICT.

THE CONTRACTOR SHALL GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE LAWFUL EXECUTION OF THE WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE LOT, EASEMENT, SOIL CONDITIONS, ALL PROPOSED DIMENSIONS, INCLUDING EXCAVATION, UNDERPINNING, DRAINAGE AND UTILITY LINES AT SUBJECT PROPERTY, AS WELL AS, AT ADJACENT PROPERTIES. IF THE CONTRACTOR ENCOUNTERS DISCREPANCIES IN THE DRAWINGS, HE SHALL CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF CORRECTIONS TO THE WORK IF HE NEGLECTS TO ADHERE TO THIS PROCEDURE.

THE DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR A FINISHED PIECE OF WORK. THE CONTRACTOR SHALL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE COMPLETED IN A GOOD AND WORKMANLIKE MANNER AND IN EVERY DETAIL, ALTHOUGH EVERY NECESSARY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. EXCEPT AS OTHERWISE SPECIFICALLY STATED, THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, FEES, MATERIALS, LABOR, TOOLS, AND EQUIPMENT FOR THE ENTIRE COMPLETION OF THE WORK INTENDED TO BE DESCRIBED.

AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE, SUBJECT PROPERTY, AND ADJACENT PROPERTIES. THE ARCHITECT SHALL NOT REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR THE OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTORS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

ALL DRAWINGS, SPECIFICATIONS, AND INFORMATION FURNISHED HEREWITH ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE HELD CONFIDENTIAL AND SHALL NOT BE USED FOR ANY PURPOSE OR PURPOSES OTHER THAN THOSE FOR WHICH THEY HAVE BEEN SUPPLIED AND PREPARED. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING, AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

ANY DRAWINGS ISSUED WITHOUT THE APPROVAL STAMP, SIGNED AND DATED BY THE BUILDING DEPARTMENT SHALL BE CONSIDERED IN THE PRELIMINARY STAGE AND SHALL NOT BE USED FOR CONSTRUCTION.

DO NOT SCALE DRAWINGS.

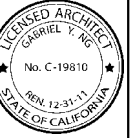
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PER NEIGHBOR	
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NEW SINGLE-FAMILY DWELLING
1738 DIAMOND STREET
BLOCK 7535, LOT 102
SAN FRANCISCO, CALIFORNIA

2D FRONT VIEW

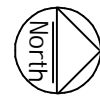
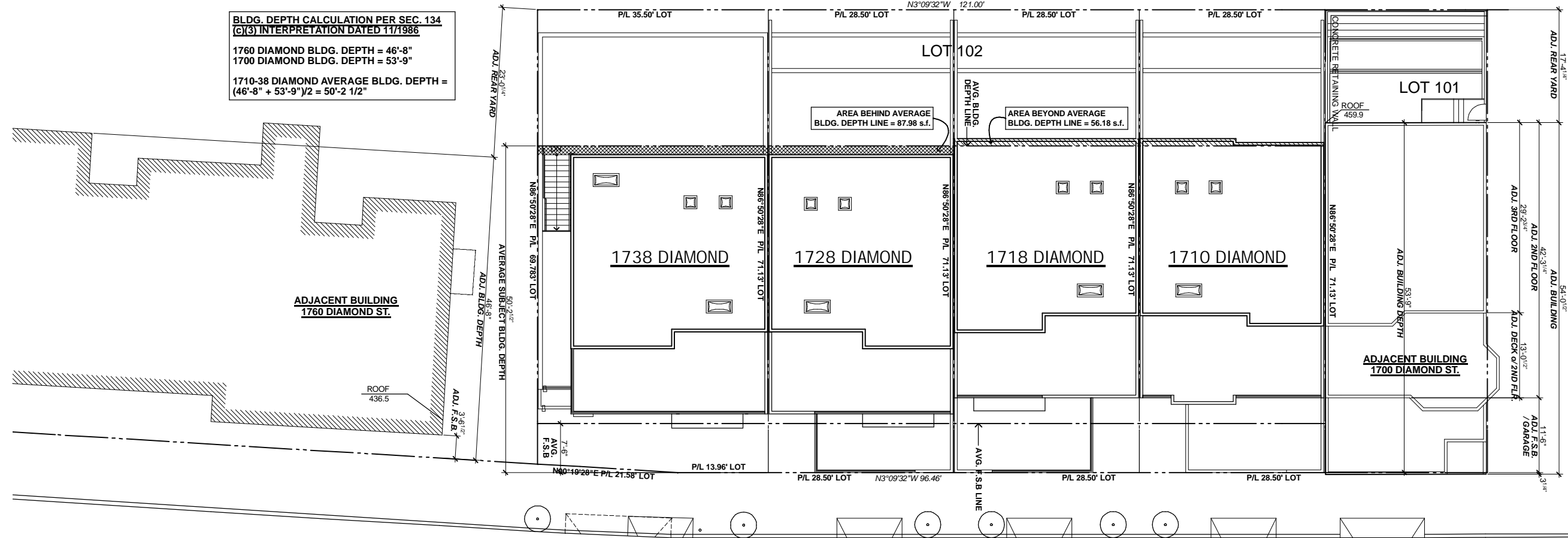


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Job 060503
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BLDG. DEPTH CALCULATION PER SEC. 134 (C)(3) INTERPRETATION DATED 11/1986

1760 DIAMOND BLDG. DEPTH = 46'-8"
 1700 DIAMOND BLDG. DEPTH = 53'-9"

1710-38 DIAMOND AVERAGE BLDG. DEPTH = $(46'-8" + 53'-9")/2 = 50'-2 1/2"$



BUILDING DEPTH CALCULATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N.

SCALE: 1/8" = 1'-0"



GABRIEL Y. NG & ASSOCIATES

September 21st, 2007

Jeff Ma, Major Plan Check
 Department of Building Inspection
 1660 Mission Street, 2nd Floor
 San Francisco, CA 94103

Re: Address: 1710, 1718, 1728, & 1738 Diamond Street
 Block/Lot: Block 7535, Lot 102
 Project: Four New Single Family Dwelling Buildings

Dear Mr. Ma:

Pursuant to our meetings, I would like to confirm the discussions of the above reference projects per drawings dated February 2nd, 2007.

The proposed four new single-family dwellings (R-3) are 3-story-over-basement buildings of type 5 – no hour construction situated on one (to be subdivided) lot facing Diamond Street. Each house contains 3 stories of living space over garage at the basement level, equipped with a residential elevator to all floors. Three of the four buildings will be sitting on a 28.5 foot wide lot, the fourth at 35.5 feet.

The following items were discussed:

- Exit:**
 - The second exit is required on 3rd floor per *SFBC Sec. 1004.2.3.2*. A fire escape may be used as the required 2nd exit, conform to the prescriptive requirement of *AB-19*. Local equivalency with *AB-19* needs to be filed.
 - The 2nd exit corridor may go through the garage area, with fire sprinkler installed, and exit path separated from parking area by a guardrail on 12" ht. curb, conform to the prescriptive requirement of *AB-20*. Local equivalency with *AB-20* needs to be filed.
- Since excavation will take place all at the same time and all buildings will be built without side setbacks. Some buildings will not have *Grade (Adjacent Ground Elevation)* along the side property line, the *Grade (Adjacent Ground Elevation)* will be determined by drawing a straight line connecting the finish grade elevation at the center of front building wall and the exterior finish grade elevation at the center of rearmost building retaining wall. We would like to confirm that this line will be the *Grade* to determine *Basement* definition per *SFBC Sec. 203* and *Story* definition per *SFBC Sec. 220*.

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 SUITE 100
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 CALIFORNIA 94109
 www.gyn.com
 FAX 415-363-8133
 415-360-0355

September 21st, 2007
 Mr. Jeff Ma, Major Plan Check
 1710, 1718, 1728, & 1738 Diamond Street
 Block 7535, Lot 102

It is our understanding that:

- The scope of this pre-application plan review is limited to the questions submitted by the applicant. Code issues not addressed at the pre-application process will be addressed at the time of permit application plan review.
- A copy of these notes shall be reproduced on not less than 11"x17" paper size and must be attached to the documents submitted for permit application. These understandings shall not be presumed to give authority to violate or cancel the provisions of the San Francisco Building Code, the San Francisco Fire Code or any other applicable laws and regulations.
- The decision is not to be used as a precedent since it is intended to apply only to this particular situation. Please be advised that this response is based upon the accuracy and completeness of information supplied by Gabriel Ng, architect to the San Francisco Department of Building Inspection.

Very truly yours,

Gabriel Y. Ng, AIA

Agreed to the above determination:

By: Date: 10-1-07

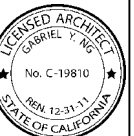
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12/10/08	ML
8/10/09	EC
PER RDT CMT#1	EC
1/19/11	MML
PER NEIGHBOR	MML
6/23/11	MML
DR HEARING	MML



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NEW SINGLE-FAMILY DWELLING
 1738 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

PRE-APPLICATION DETERMINATION
 LETTER



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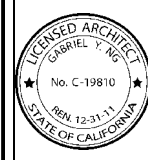
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PER NEIGHBOR	MM
6/23/11	MM
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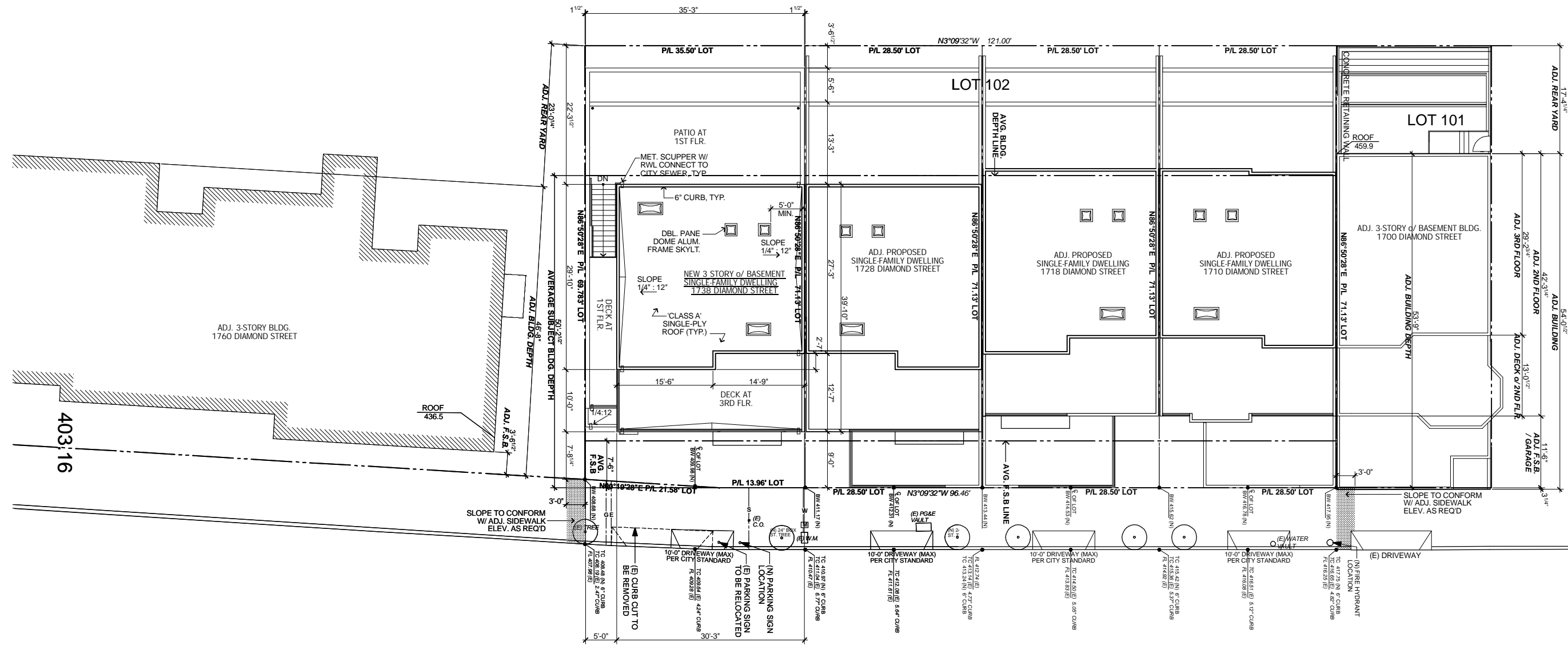
NEW SINGLE-FAMILY DWELLING
 1738 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

SITE / ROOF PLAN



Date 2/2/07
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 Of 7 Sheets



- NOTES :**
- UNDERPINNING & SHORING IF REQUIRED UNDER SEPARATE PERMIT.
 - STATE INDUSTRIAL SAFETY PERMIT IS REQUIRED
 - PROVIDE TEMPERED (SAFETY) GLASS WITHIN 18" OF FLOOR PER SECTION 2406.3
 - PROVIDE SMOKE DETECTORS PER SEC. 907.2.10
 - FIREPLACE SHALL BE "UL LISTED"
 - ROOF DRAIN AND OVERFLOW DRAIN AT ROOF OR DECK SHALL CONNECT TO CITY SEWER
 - ALL LIGHTINGS SHALL COMPLY WITH 2005 CALIFORNIA TITLE 24 RESIDENTIAL STANDARDS
 - PROVIDE MET. STRAP TO WALL FOR WATER HEATER ON 18" PLATFORM
 - SKYLIGHT CONSTRUCTION PER SFBC 2405
 - SEE SOIL REPORT PREPARED BY EARTH SCIENCE CONSULTANTS DATED JAN 29, 2006
- APPLICABLE CODE AND ORDINANCES:**
- 2007 CALIFORNIA BUILDING CODE(CBC), W/ SAN FRANCISCO AMENDMENTS
 - 2005 ENERGY CODE - TITLE 24
 - 2007 CALIFORNIA MECHANICAL, ELECTRICAL, AND PLUMBING CODES, W/ SAN FRANCISCO AMENDMENT.

DIAMOND STREET
 (WIDTH VARIES)



SITE / ROOF PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1' - 0"

Area Calculation (In Square Feet):

	Living Space	Garage	Total	Decks
3rd Floor	775.4		775.4	317.67
2nd Floor	1138.6		1138.6	
1st Floor	1175.3		1175.3	716.76
Basement		1003.7	880.2	
Total	3089.3	1003.7	3969.5	1034.43

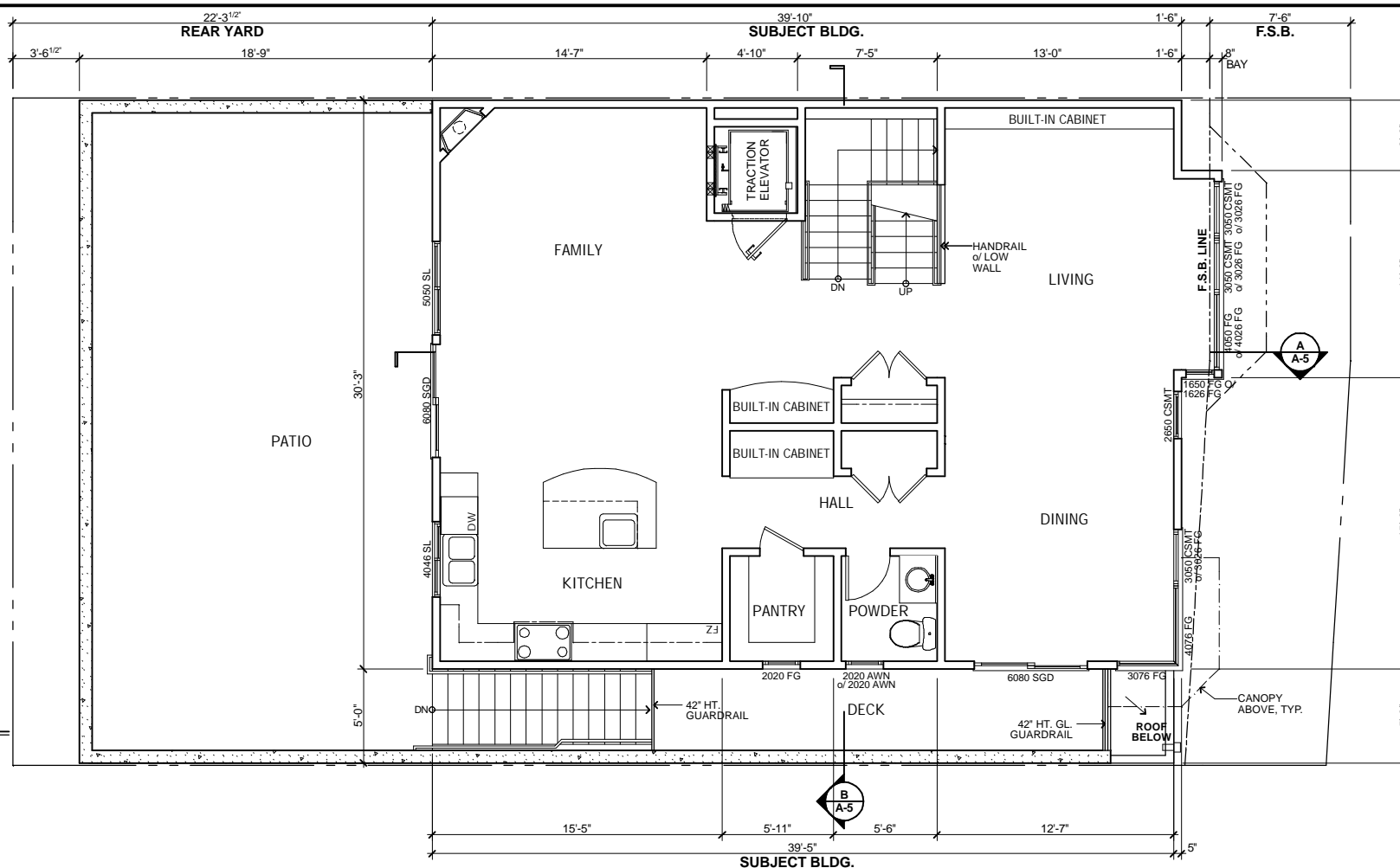
Total Living Area = 3089.3 S.F.
 Total Garage = 1003.7 S.F.

NOTE:
 Area Calculation as shown is intended for permit application purposes only and shall not be used for selling purpose.
 Final square footage and finished dimensions may vary from these plans due to construction variables.

FIRST FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N.

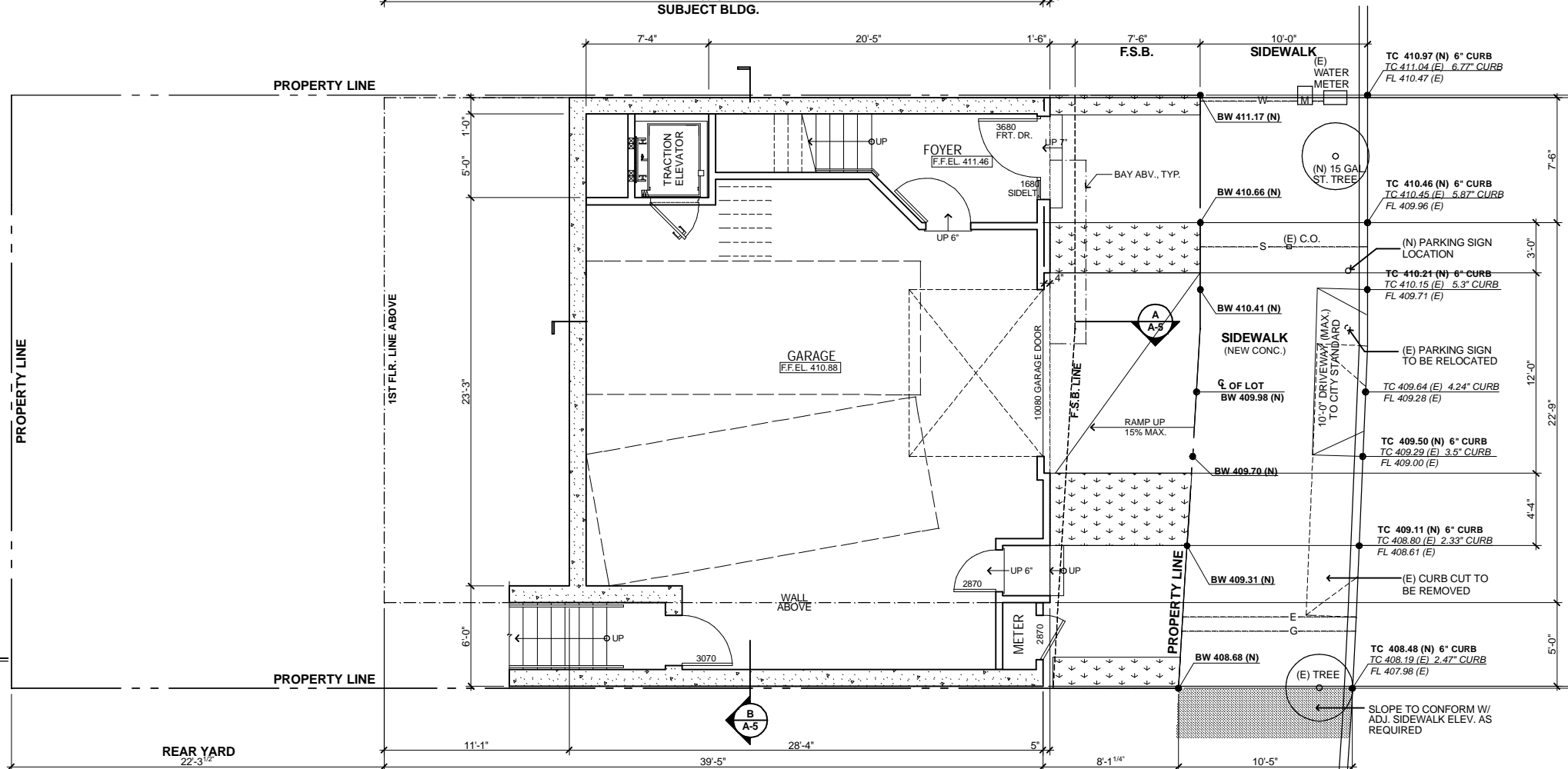
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BASEMENT FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N.

1/4" = 1' - 0"



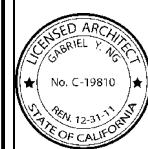
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PER NEIGHBOR	MML
6/23/11	MML
DR HEARING	MML



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NEW SINGLE-FAMILY DWELLING
 1738 DIAMOND STREET
 BLOCK 7535, LOT 102
 SAN FRANCISCO, CALIFORNIA

FLOOR PLANS



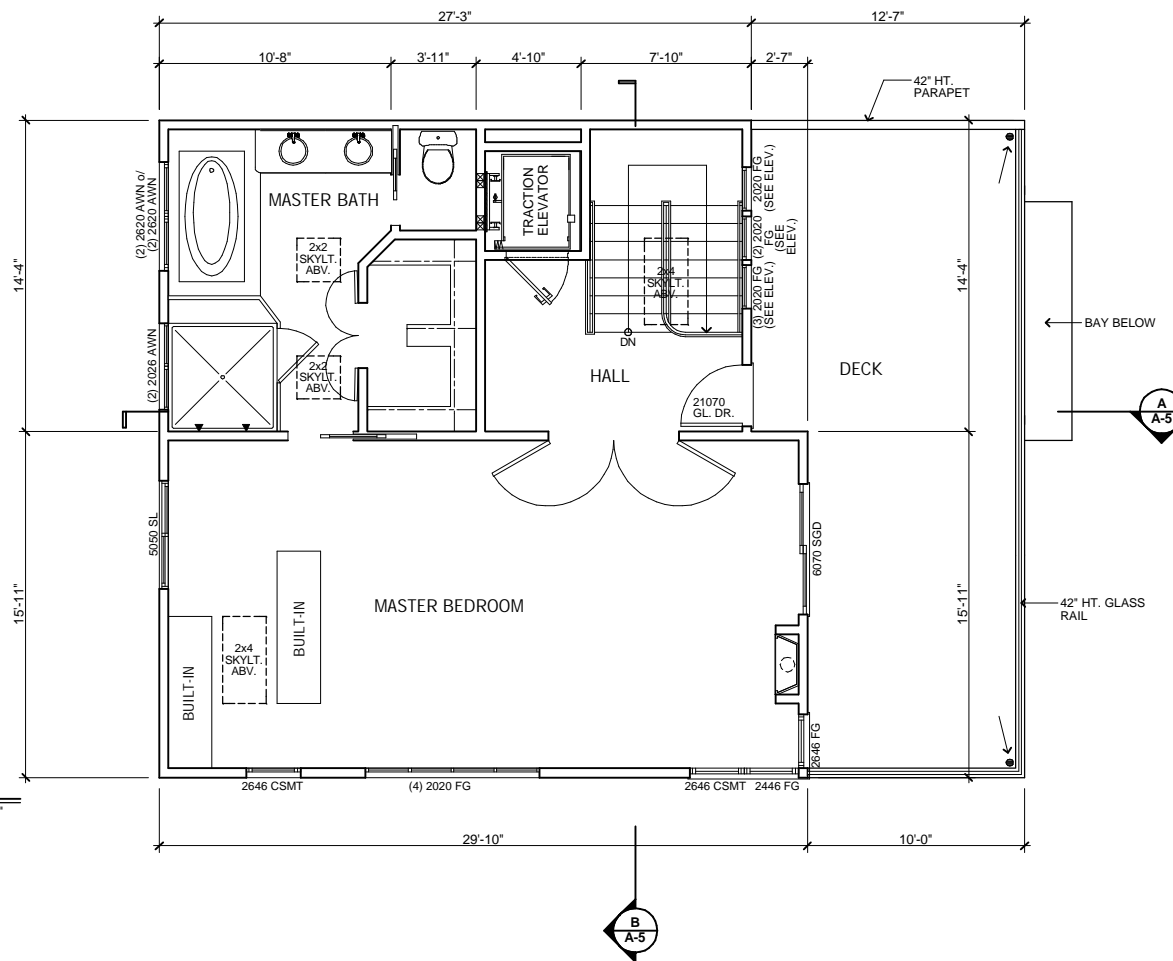
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DIAMOND STREET
 WIDTH VARIES

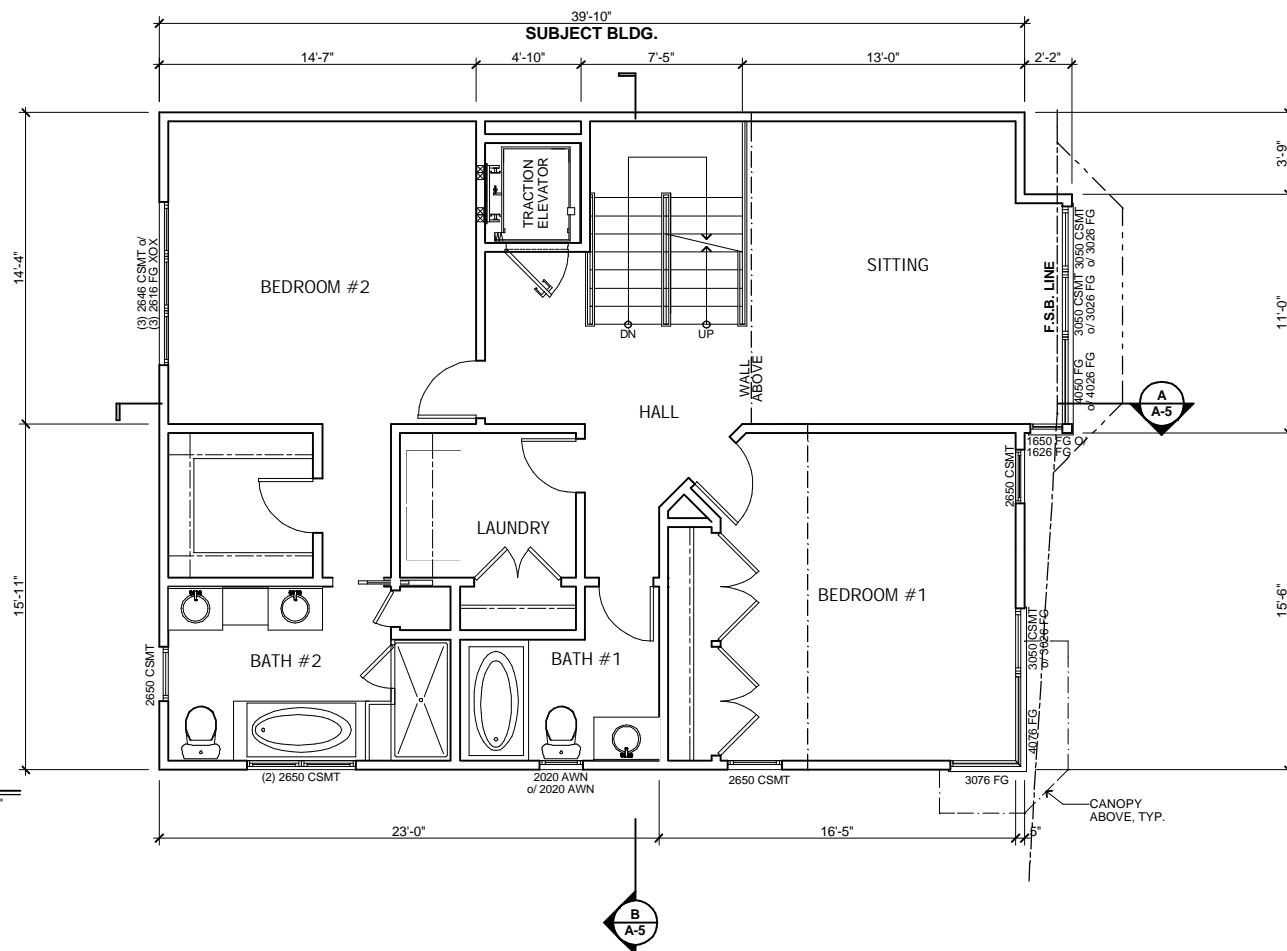
THIRD FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



SECOND FLOOR PLAN

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1' - 0"



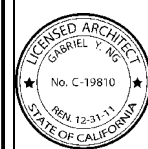
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PER NEIGHBOR	MML
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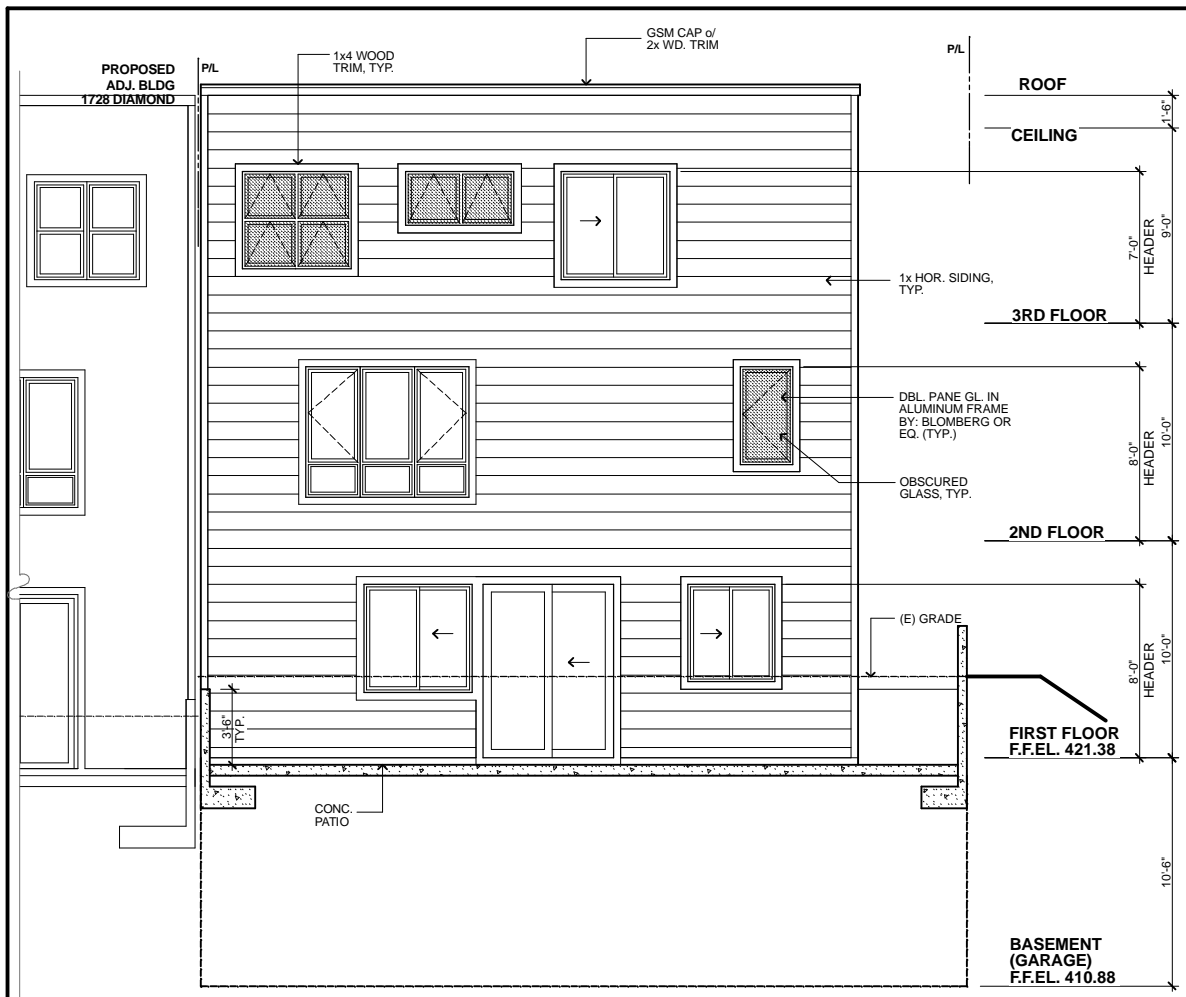
NEW SINGLE-FAMILY DWELLING
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 SAN FRANCISCO, CALIFORNIA

FLOOR PLANS



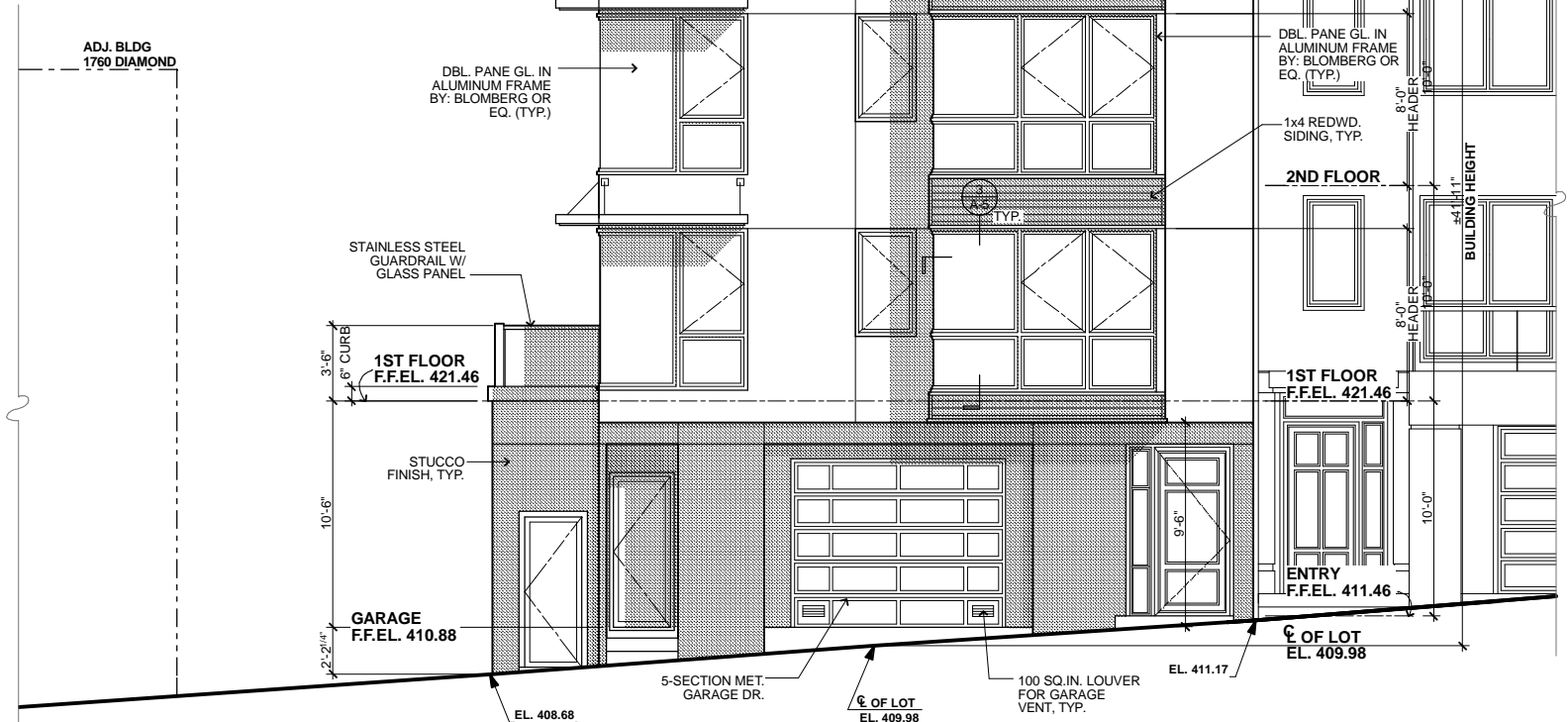
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A-3
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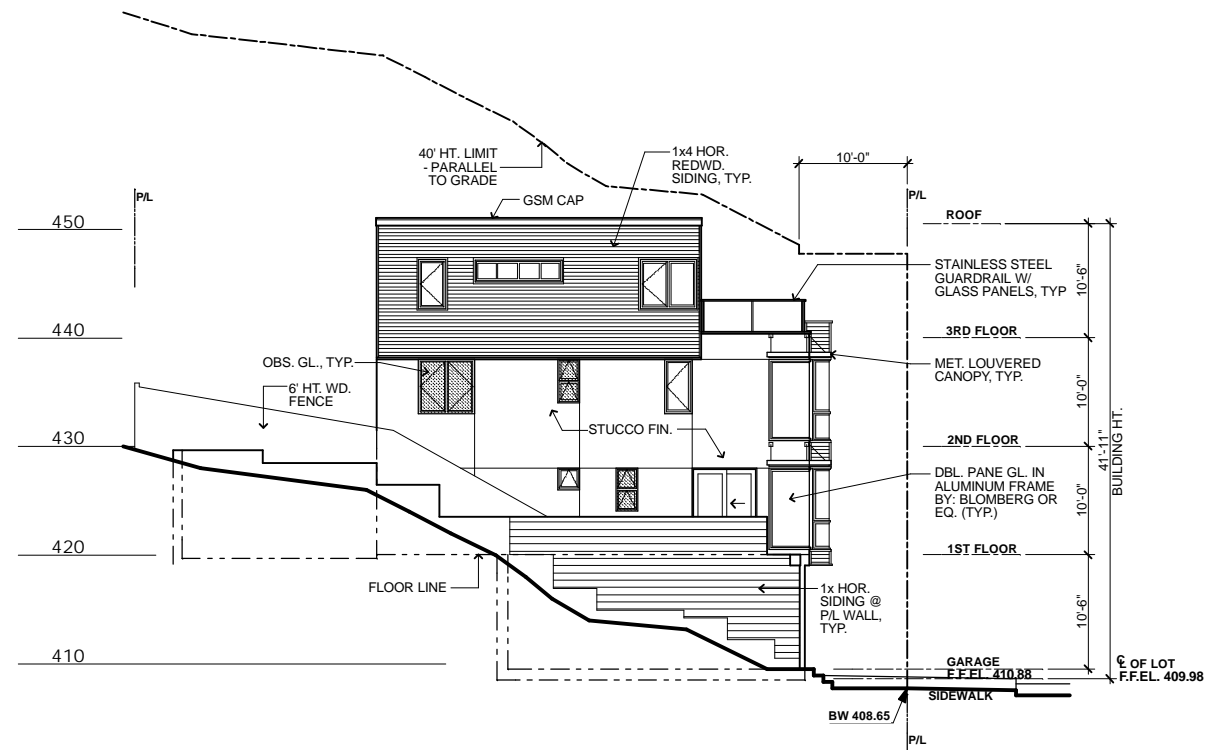
REAR ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



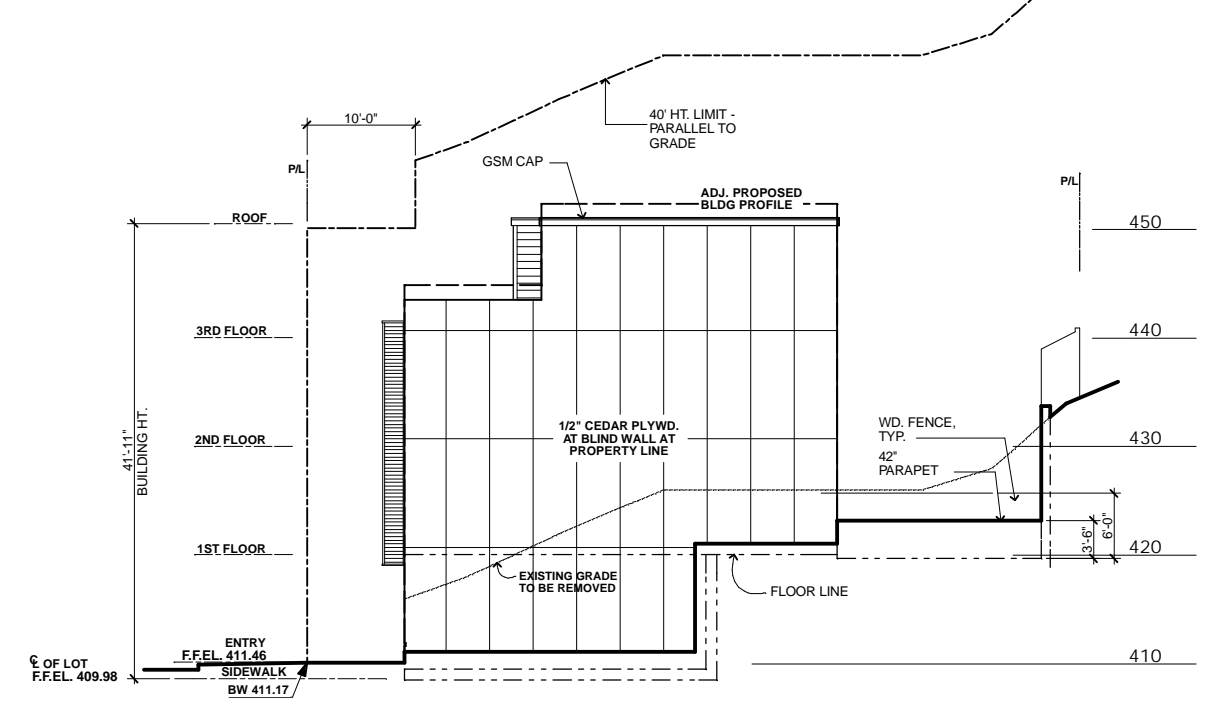
FRONT ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1'-0"



RIGHT SIDE ELEVATION

ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/8" = 1'-0"

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1/19/11	MML
PER NEIGHBOR	MML
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ELEVATIONS



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PER NEIGHBOR	MML
6/23/11	MML
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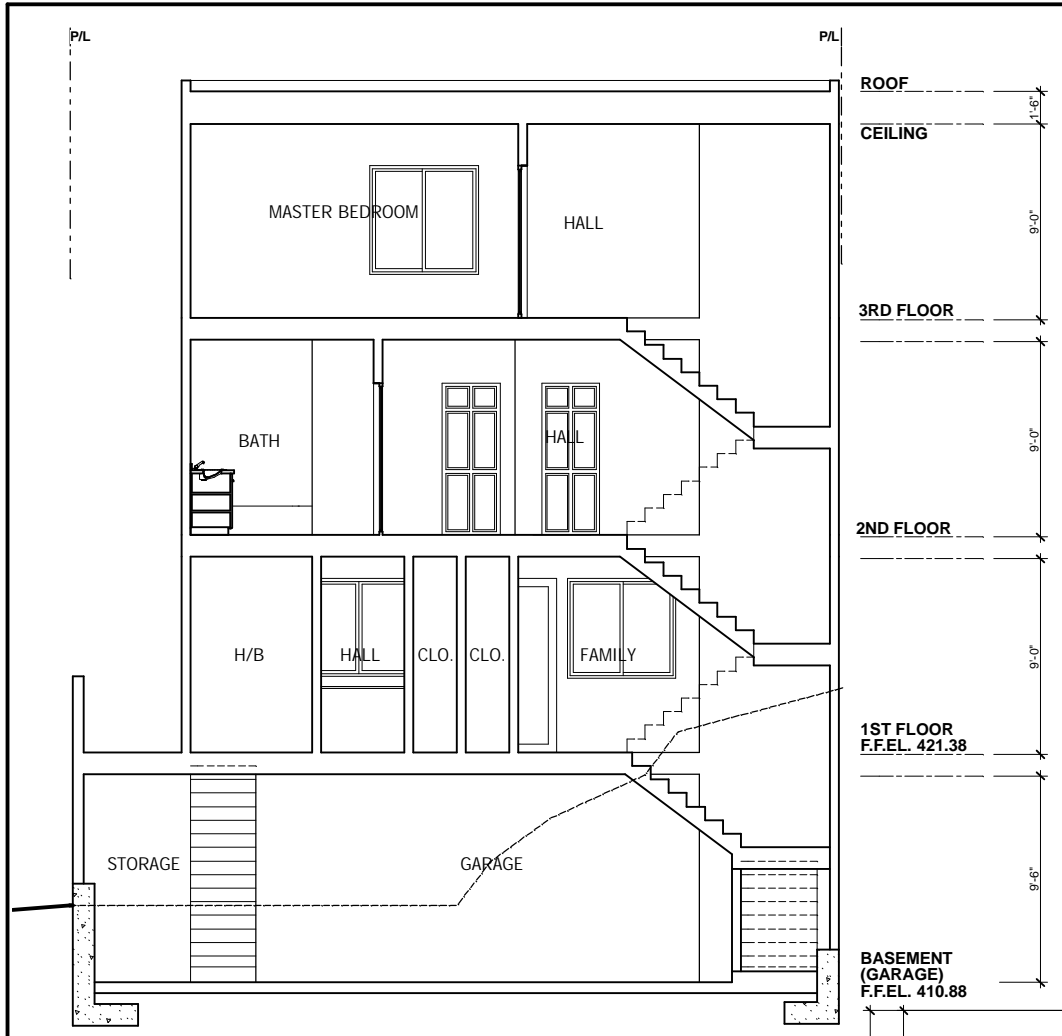
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SECTIONS

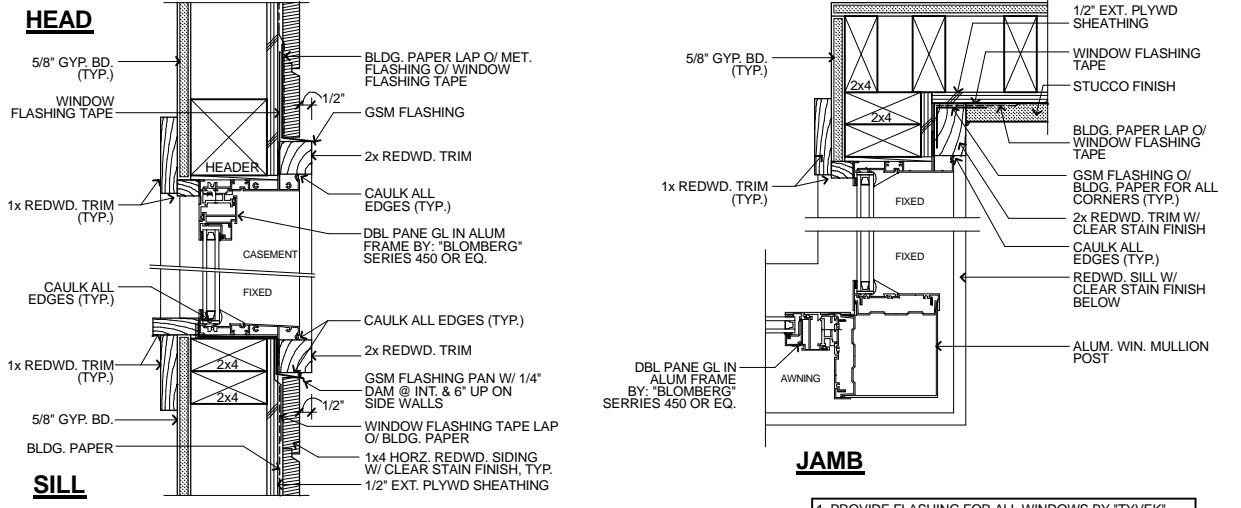


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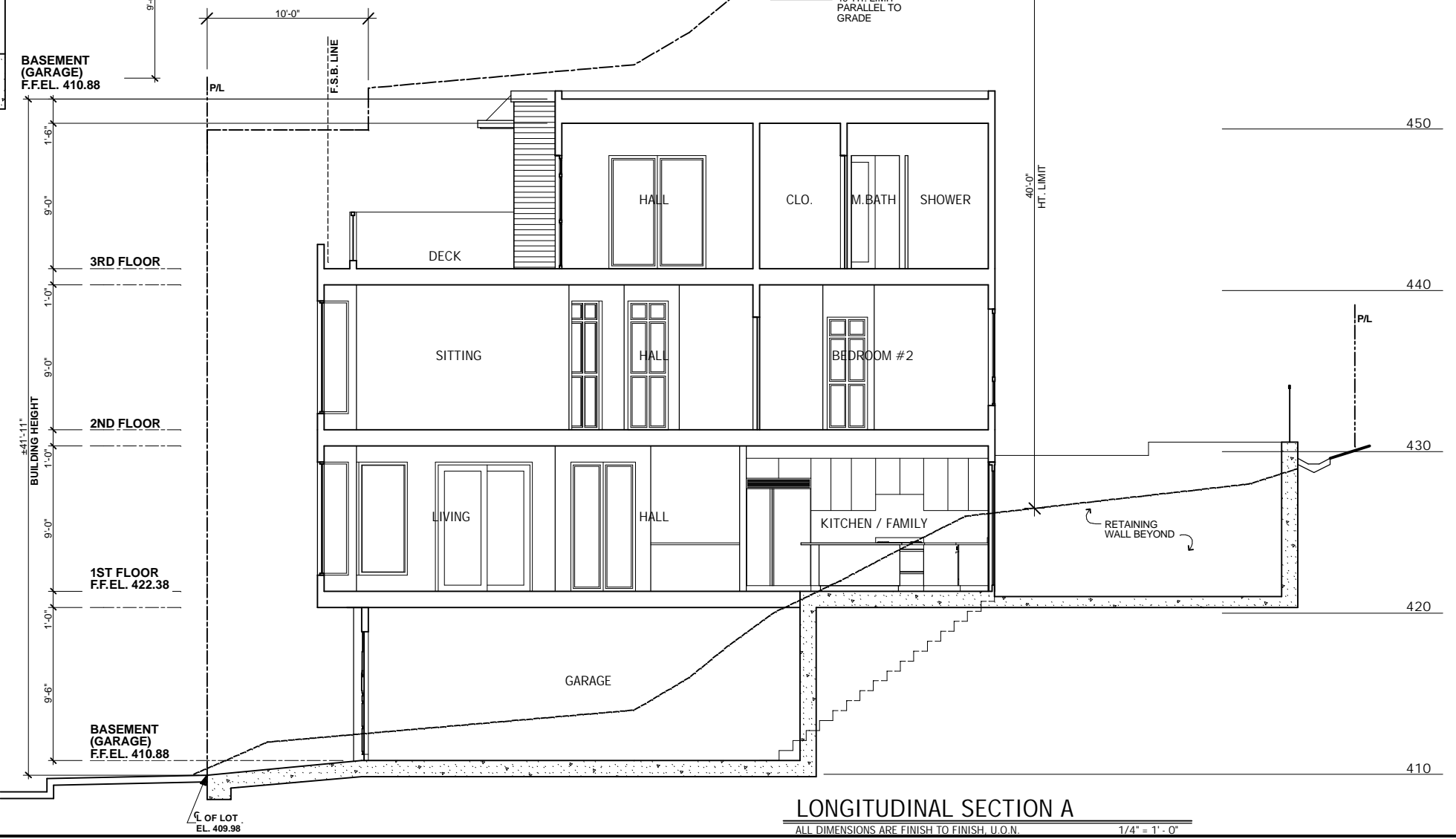


CROSS SECTION B
SCALE 1/4" = 1'-0"



1 WINDOW DETAIL - ALUM. CASEMENT/ AWNING/ FIXED
SCALE 3" = 1'-0"

1. PROVIDE FLASHING FOR ALL WINDOWS BY "TYVEK" FLEX WRAP OR EQ.
2. INSTALL ALL WINDOWS PER MFR. RECOMMENDATION



LONGITUDINAL SECTION A
ALL DIMENSIONS ARE FINISH TO FINISH, U.O.N. 1/4" = 1'-0"