

SHEET INDEX

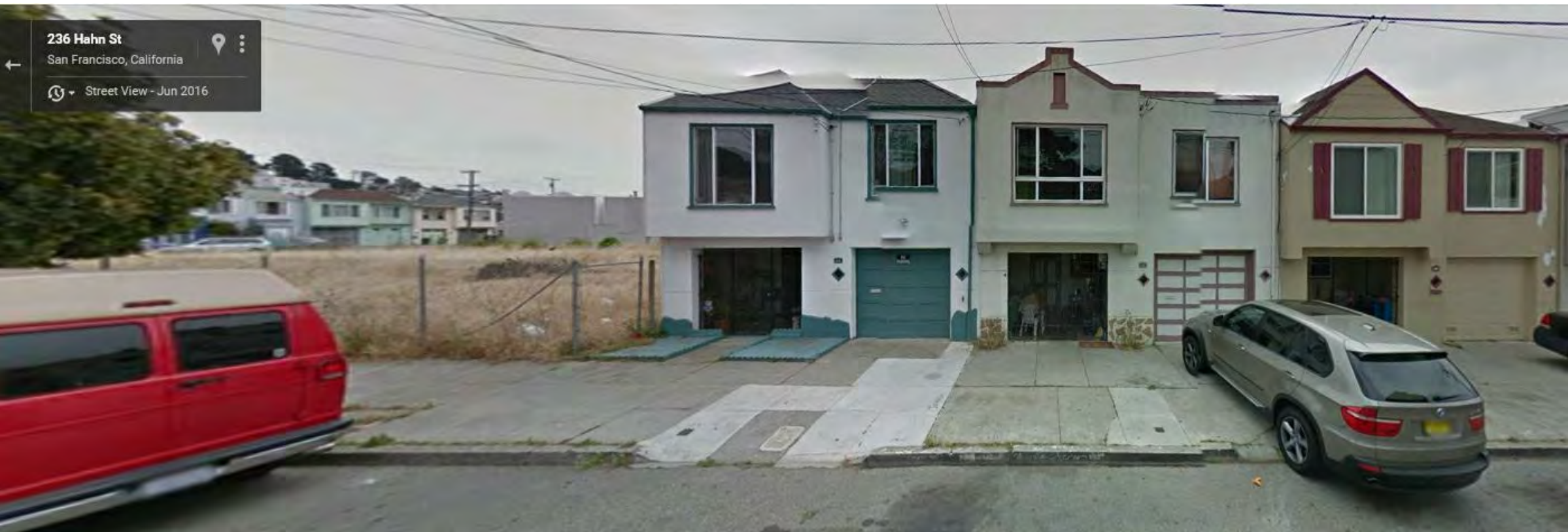
T0.0	COVER SHEET
T0.1	MATERIAL COLOR BOARD
T1.1	BUILDING RENDERINGS
T1.2	BUILDING RENDERINGS
T1.3	BUILDING RENDERINGS
T1.4	BUILDING RENDERINGS
L1.01	STREET LEVEL LANDSCAPE MATERIALS PLAN
L1.02	PODIUM LEVEL LANDSCAPE MATERIALS PLAN
A1.1	SITE PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	THIRD & FOURTH FLOOR PLAN
A2.4	FIFTH FLOOR PLAN
A2.5	ROOF PLAN



VIEW AT THE CORNER OF SUNNYDALE AVENUE AND HAHN STREET.



SUNNYDALE AVENUE - NEIGHBORING PROPERTIES.



HAHN STREET - NEIGHBORING PROPERTIES.

# UDAT REVIEW

## 1491 SUNNYDALE AVENUE, SF

### PARCEL Q AFFORDABLE HOUSING

SUMMARY SCOPE OF WORK

CONSTRUCTION OF NEW 5 STORY TYPE V-A OVER TYPE I-A BUILDING TO ACCOMMODATE 55 UNITS OF AFFORDABLE FAMILY APARTMENTS. THE BUILDING SHALL INCLUDE STRUCTURED PARKING, OFFICE, COMMUNITY SPACE, LAUNDRY ROOMS, AND OTHER SUPPORT SPACES. ALSO INCLUDES THE CONSTRUCTION OF OUTDOOR PLAY AREAS, LANDSCAPE, BICYCLE PARKING AND OTHER SITE IMPROVEMENTS.

PROJECT DATA

ADDRESS	1491 SUNNYDALE AVENUE, SAN FRANCISCO CA, 94134
A.P.N.	BLOCK 6356 LOTS 061-068
MUNICIPALITY	SAN FRANCISCO/ SAN FRANCISCO COUNTY
ZONE	EXISTING ZONING (INC. SPECIAL USE DIST, HEIGHT AND BULK DIST., ETC) NC-1 PROPOSED ZONING NC-2 SPECIAL USE DISTRICT SUNNYDALE HOPE SF GENERAL PLAN
USES	PERMITTED (PERMITTED, CONDITIONAL USE, A.U.P., ETC.) RESIDENTIAL MINOR USE PERMIT CALIFORNIA BUILDING CODE OCCUPANCY TYPE TYPE VA OVER TYPE I
SITE AREA	SQUARE FEET 21,755 S.F. ACRES 0.50 ACRES
DENSITY	UNITS / ACRE PROPOSED UNITS / ACRE 110 UNI/ACRE FLOOR AREA RATIO PROPOSED FAR (CONFIRM IF UNCONDITIONED GARAGE/UTILITY COUNTED) 2.21 LOT COVERAGE LOT COVERAGE PROPOSED 64%
HEIGHT	CA BUILDING CODE CONSTRUCTION TYPE 1 TYPE I + 4 TYPE V MAX. ALLOWABLE HEIGHT PER SUNNYDALE HOPE SF DESIGN STANDARDS 60' PROPOSED HEIGHT 60'
DEFINITION	( E) GRADE MEASURED FROM HIGHEST POINT OF FINISHED ROOF MEASURED TO ELEVATOR OR STAIR EXCEPTIONS
SETBACKS, YARDS, AND COURTS	FRONT 0' SIDE - INTERIOR 0' SIDE - STREET 5' REAR - CORNER LOT - 25% LOT AREA OPEN FLOOR 2. MIN 15' DIMENSION N/A
SPECIAL PROVISIONS	PROJECTIONS - BAYS / BALCONIES 4' HAHN SIDE SETBACK MAX PROJECTION INTO REQUIRED SETBACK 3' DEEP, 9' WIDE MAX OVERALL BAY WIDTH 3' CORNICE PROJECTIONS - CORNICE / CANOPY
OPEN SPACE (S.F.)	REQUIRED AT 80SF / UNIT PER SUNNYDALE DESIGN STANDARDS 4,400 S.F. MIN. DIMS - PRIVATE 10' PATIO / 6' BALC MIN. DIMS - COMMON 15' 300 S.F.
PROVIDED - COMMON	MAIN COURTYARD 4,920 S.F.
PROVIDED - PRIVATE	0 S.F.
TOTAL OPEN SPACE PROVIDED	4,920 S.F.
PARKING	REQUIRED REQUIRED PARKING AT #1 RATIO 55 STALLS MISC. REQUIRED (ELECTRIC VEHICLE, CARPOOL, CARSHARE, ETC.) 1 CARSHARE ALLOWABLE COMPACT STALL DIMENSIONS - REGULAR 8'X18' STALL DIMENSIONS - COMPACT 7.5'X15' AISLE WIDTH REQUIRED 24'
PROVIDED	TOTAL PROVIDED 30 STALLS ACCESSIBLE PROVIDED 2 STALLS COMPACT PROVIDED 11 STALLS
BICYCLES	LONG TERM (1:1 "CLASS 1" STALL PER UNIT) 55 INTERIOR BIKE ROOM SHORT TERM (1:20 "CLASS 2" PARKING) 3 EXTERIOR RACKS NEAR ENTRY
TRASH / RECYCLING	TYPES (TRASH+RECYCLING + COMPOST) TRASH+RECYCLING + COMPOST STORAGE / PICKUP REQUIREMENTS
UNITS	STUDIO 2 4% ONE-BEDROOM 20 36% TWO-BEDROOM 19 35% THREE-BEDROOM 14 25% TOTAL 55

Co-Developer:  
**The Related Companies of CA**  
44 Montgomery Street, Suite 1050  
San Francisco, CA 94104  
tel: (415) 653 3167  
attn: Jonathan Mark

Co-Developer:  
**Mercy Housing**  
1360 Mission St., #300  
San Francisco, CA 94103  
tel: (415) 355-7118  
attn: Ramie Dare

Architect:  
**HKIT**  
538 Ninth Street, Suite 240  
Oakland, CA 94607  
tel: (510) 625-9800  
attn: Paul McElwee

Contractor:  
**Cahill Contractors**  
425 California Street, Suite 2200  
San Francisco, CA 94104  
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Landscape Architect  
**Miller Company Landscape Architects, Inc.**  
1585 Folsom Street  
San Francisco, CA 94103  
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Civil Engineer  
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45 Fremont Street, 28th Floor  
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attn: Tommy Siu

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South San Francisco, CA 94080  
tel: (650) 871 0220  
attn: Michael Voigtlander

Sustainability Consultant  
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Berkeley, CA 94710  
tel: (510) 863 1109  
attn: Andrew Williams



ARIAL VIEW SHOWING VACANT LOT/ AREA OF PROPOSED WORK AT THE CNR OF SUNNYDALE AVENUE AND HAHN STREET.





AERIAL VIEW TOWARDS SE SHOWING CORNER OF SUNNYDALE AND HAHN STREET

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VIEW TOWARDS THE SOUTH-EAST SHOWING THE PROPOSED BUILDING AT THE CORNER OF SUNNYDAYLE AND HAHN STREET.

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HAHN STREET LOOKING NORTH - SHOWING ADJACENT PROPERTIES.



SUNNYDALE AVENUE LOOKING WEST - SHOWING ADJACENT PROPERTIES.

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AERIAL VIEW TOWARDS NW SHOWING PODIUM LEVEL TERRACE AND NEIGHBORING PROPERTIES.

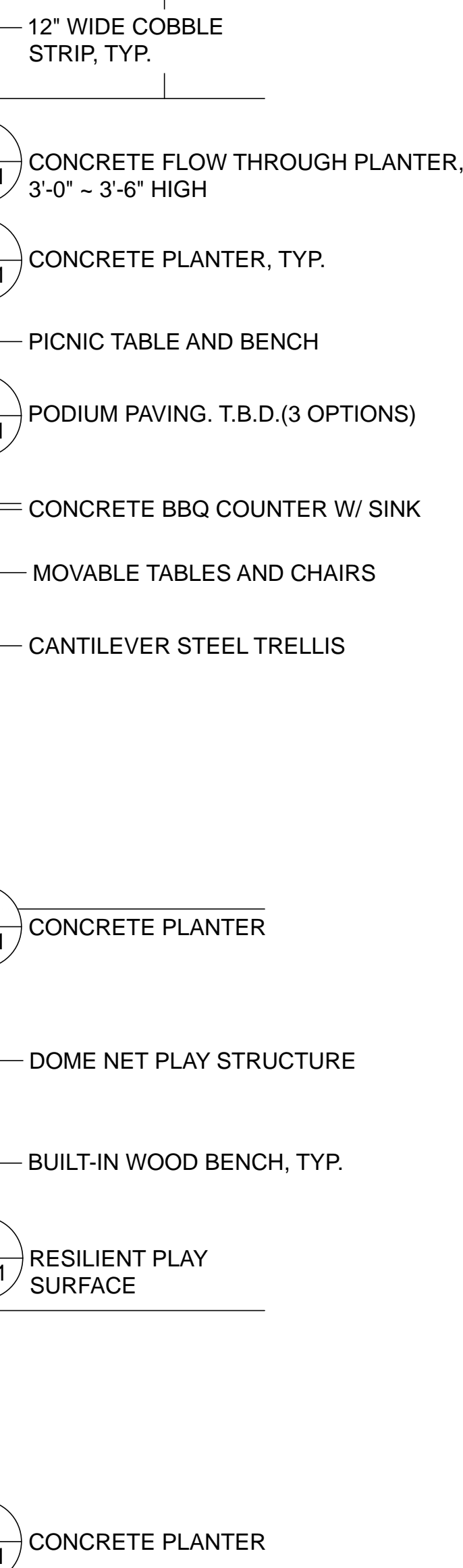
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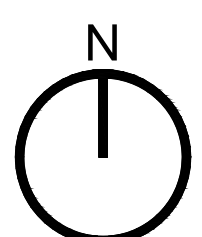




HAHN STREET



SCALE:  $1/8" = 1'-0"$



SCALE

L1.02



GENERAL NOTES- SITE PLAN

- A. FOR FENCING, PEDESTRIAN PAVING LAYOUT, LANDSCAPING, IRRIGATION, SITE FURNISHINGS AND LANDSCAPE LIGHTING, S.L.D.
- B. FOR ON-SITE AND OFF-SITE DEMOLITION, SITE UTILITIES, VEHICLE PAVING, AND STRIPING, PARKING AREA SIGNAGE, GRADING AND STREET IMPROVEMENTS, S.C.D.
- C. FOR SITE LIGHTING, S.E.D. AND S.L.D.
- D. COORDINATE ALL DIGGING WITH EXISTING UTILITIES.
- E. PAINT ALL EXPOSED UTILITIES, SUCH AS BACKFLOW PREVENTERS, METERS, TRANSFORMERS, ETC. TO EXTENT PERMISSIBLE BY LOCAL UTILITIES. COLOR TO BE SELECTED BY ARCHITECT.

SHEET NOTES- SITE PLAN

- 1 PROPERTY LINE
- 2 DRIVEWAY, S.C.D.
- 3 GAS METERS. REFER TO DRY UTILITY, CIVIL AND PLUMBING DRAWINGS
- 4 UNDERGROUND ELECTRIC TRANSFORMER VAULT, S.E.D.
- 5 EXISTING OVERHEAD UTILITY LINES TO BE UNDERGROUNDED. SEE JOINT TRENCH DRAWINGS.
- 6 VISITOR BICYCLE PARKING, S.L.D.
- 7 RESIDENT BICYCLE STORAGE
- 8 BIO-RETENTION/ FLOW THROUGH PLANTER, S.L.D., S.C.D.
- 9 AT GRADE PLANTER, S.L.D., S.C.D.





GENERAL NOTES- FIRST FLOOR PLAN

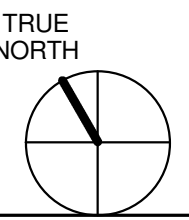
- A. FOR WALL TYPES, SEE SHEETS A8.0. REFER ALSO TO ENLARGED PLANS
- B. ALL WALLS TO BE TYPE "A" U.O.N., REFER ALSO TO ENLARGED PLANS
- C. DIMENSIONS TO WINDOWS ARE C.L. DIMENSIONS TO DOORS ARE C.L. MIN. DIMENSION AT DOOR JAMB 4".
- D. REFER TO DOOR, WINDOW, AND FINISH SCHEDULES FOR ADDITIONAL INFORMATION.
- E. FOR TYPICAL UNIT PLANS, SEE 3/16" PLANS
- F. FOR SECURITY SYSTEMS, REFER TO PLANS AND CUT SHEETS IN SPECIFICATIONS.
- G. SEE SITE PLAN AND SLAB PLAN FOR LOCATIONS OF CONCRETE CURBS AT WALLS

SHEET NOTES- FIRST FLOOR PLAN

- 1 PROPERTY LINE
- 2 SUBSURFACE TRANSFORMER VAULT, SEE CIVIL, ELECTRICAL, AND DRY UTILITY PLANS
- 3 ONE-WAY GARAGE ENTRY DRIVE
- 4 MOP SINK
- 5 TRASH BINS BY OWNER, N.I.C.
- 6 FIRE RATED SOFFIT ENCLOSURE AT GARAGE EXHAUST DUCT
- 7 GARAGE EXHAUST SHAFT
- 8 BICYCLE RACK (INTERIOR)
- 9 LAUNDRY MACHINES
- 10 COUNTER
- 11 LINE OF BUILDING ABOVE
- 12 TRASH CHUTES
- 13 PAVEMENT GRAPHICS
- 14 WALK-OFF ENTRY MAT
- 15 EXHAUST DUCT
- 16 MECH./ PLUMBING SHAFT
- 17 SUPPLY DUCT
- 18 WET STANDPIPE
- 19 BIO-RETENTION/ FLOW THROUGH PLANTER, S.C.D., S.L.D.
- 20 AT GRADE PLANTER, S.C.D., S.L.D.

FLOOR PLAN LEGEND

- FOR ADDITIONAL ARCH. SYMBOLS, SEE G0.01
- 1 HOUR RATED ASSEMBLY
  - 2 HOUR RATED ASSEMBLY
  - 3 HOUR RATED ASSEMBLY
  - 3 HOUR RATED ASSEMBLY, REFER CBC TABLE 721.1 FOR MINIMUM PROTECTION OF STRUCTURAL PARTS
  - 60" DIA. ACCESSIBLE WHEELCHAIR TURNING RADIUS
  - 30" X 48" ACCESSIBLE WHEELCHAIR CLEARANCE
  - D.S. DOWNSPOUT, S.C.D. FOR CONNECTION AND SEE
  - F.E.C. RECESSED FIRE EXT. CABINET, SEE
  - F.E.C. SURFACE MOUNTED FIRE EXTINGUISHER CABINET
  - INDICATES DEPRESSED SLAB, SEE SLAB PLAN AND STRUCTURAL DRAWINGS
  - LOCATION OF 6" CONCRETE CURB AT BASE OF WALL
  - ACCESSIBLE PATH OF TRAVEL



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GENERAL NOTES- SECOND FLOOR PLAN

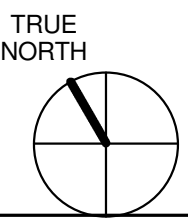
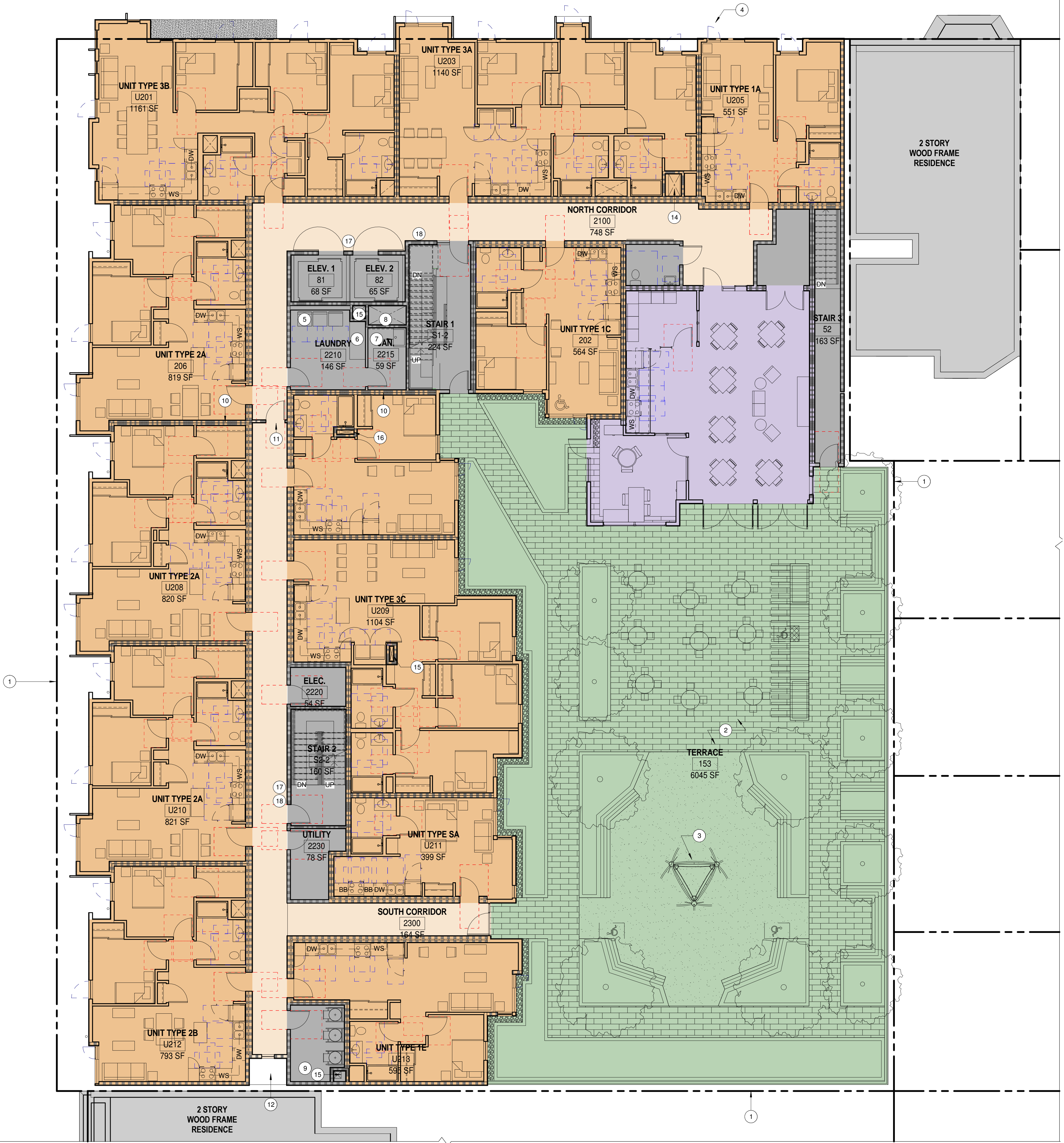
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- B. ALL WALLS TO BE TYPE "A" U.O.N., REFER ALSO TO ENLARGED PLANS
- C. DIMENSIONS TO WINDOWS ARE C.L. DIMENSIONS TO DOORS ARE C.L. MIN. DIMENSION AT DOOR JAMB 4".
- D. REFER TO DOOR, WINDOW, AND FINISH SCHEDULES FOR ADDITIONAL INFORMATION.
- E. FOR TYPICAL UNIT PLANS, SEE 3/16" PLANS
- F. FOR SECURITY SYSTEMS, REFER TO PLANS AND CUT SHEETS IN SPECIFICATIONS.
- G. SEE SITE PLAN AND SLAB PLAN FOR LOCATIONS OF CONCRETE CURBS AT WALLS

SHEET NOTES- SECOND FLOOR PLAN

- 1 PROPERTY LINE
- 2 LANDSCAPED PODIUM, S.L.D. STRUCTURAL SLAB SLOPED TO DRAIN WITH DECK DRAINS/ OVERFLOW DRAINS
- 3 PLAY STRUCTURE, S.L.D.
- 4 LINE OF BUILDING ABOVE
- 5 LAUNDRY MACHINES, BY OWNER, N.I.C.
- 6 LAUNDRY COUNTER
- 7 MOP SINK
- 8 SHAFT, S.M.D.
- 9 TRASH CHUTES
- 10 2HR-RATED CONTINUOUS FIRE BARRIER
- 11 HORIZONTAL EXIT DOOR W/ ELECTRIC-MAGNETIC, HOLD-OPEN DEVICE
- 12 ROOF DRAIN
- 13 CRICKET VALLEY
- 14 SUPPLY DUCT
- 15 EXHAUST DUCT
- 16 MECH / PLUMBING SHAFT
- 17 TWO-WAY COMMUNICATION
- 18 WET STANDPIPE

FLOOR PLAN LEGEND

- FOR ADDITIONAL ARCH. SYMBOLS, SEE G0.01
- 1 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- 3 HOUR RATED ASSEMBLY
- 3 HOUR RATED ASSEMBLY, REFER CBC TABLE 721.1 FOR MINIMUM PROTECTION OF STRUCTURAL PARTS
- 60" DIA. ACCESSIBLE WHEELCHAIR TURNING RADIUS
- 30" X 48" ACCESSIBLE WHEELCHAIR CLEARANCE
- D.S. DOWNSPOUT, S.C.D. FOR CONNECTION AND SEE
- F.E.C. RECESSED FIRE EXT. CABINET, SEE
- F.E.C. SURFACE MOUNTED FIRE EXTINGUISHER CABINET
- INDICATES DEPRESSED SLAB, SEE SLAB PLAN AND STRUCTURAL DRAWINGS
- LOCATION OF 6" CONCRETE CURB AT BASE OF WALL
- ACCESSIBLE PATH OF TRAVEL



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A. FOR WALL TYPES, SEE SHEETS A8.0. REFER ALSO TO ENLARGED PLANS

B. ALL WALLS TO BE TYPE "A" U.O.N., REFER ALSO TO ENLARGED PLANS

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E. FOR TYPICAL UNIT PLANS, SEE 3/16" PLANS

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F. FOR SECURITY SYSTEMS, REFER TO PLANS AND CUT SHEETS IN SPECIFICATIONS.

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







G. SEE SITE PLAN AND SLAB PLAN FOR LOCATIONS OF CONCRETE CURBS AT WALLS

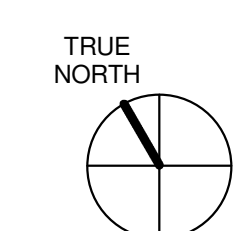
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- 1 PROPERTY LINE
- 2 LANDSCAPED PODIUM, S.L.D. STRUCTURAL SLAB SLOPED TO DRAIN WITH DECK DRAINS/ OVERFLOW DRAINS
- 3 PLAY STRUCTURE, S.L.D.
- 4 LINE OF BUILDING ABOVE
- 5 LAUNDRY MACHINES. BY OWNER, N.I.C.
- 6 LAUNDRY COUNTER
- 7 MOP SINK
- 8 SHAFT, S.M.D.
- 9 TRASH CHUTES
- 10 2HR-RATED CONTINUOUS FIRE BARRIER
- 11 HORIZONTAL EXIT DOOR W/ ELECTRIC-MAGNETIC, HOLD-OPEN DEVICE
- 12 SCUPPER/ DOWNSPOUT
- 13 CRICKET VALLEY
- 14 SUPPLY DUCT
- 15 EXHAUST DUCT
- 16 MECH./PLUMBING SHAFT
- 17 TWO-WAY COMMUNICATION
- 18 FIRE DEPARTMENT CONNECTION (FDC)

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FOR ADDITIONAL ARCH. SYMBOLS, SEE G0.01

- |   |   |
|---|---|
|  | 1 HOUR RATED ASSEMBLY   |
|  | 2 HOUR RATED ASSEMBLY   |
|  | 3 HOUR RATED ASSEMBLY   |
|  | 4 HOUR RATED ASSEMBLY   |
|  | 60" DIA. ACCESSIBLE WHEELCHAIR TURNING RADIUS                   |
|  | 30" X 48" ACCESSIBLE WHEELCHAIR CLEARANCE                       |
|  | D.S.P.  |
|  | RECESSED FIRE EXT. CABINET, SEE                                 |
|  | SURFACE MOUNTED FIRE EXTINGUISHER CABINET                       |
|  | INDICATES DEPRESSED SLAB, SEE SLAB PLAN AND STRUCTURAL DRAWINGS |
|  | LOCATION OF 6" CONCRETE CURB AT BASE OF WALL                    |
|  | ACCESSIBLE PATH OF TRAVEL                                       |



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GENERAL NOTES- FIFTH FLOOR PLAN

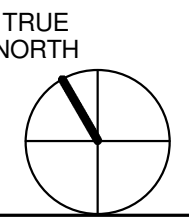
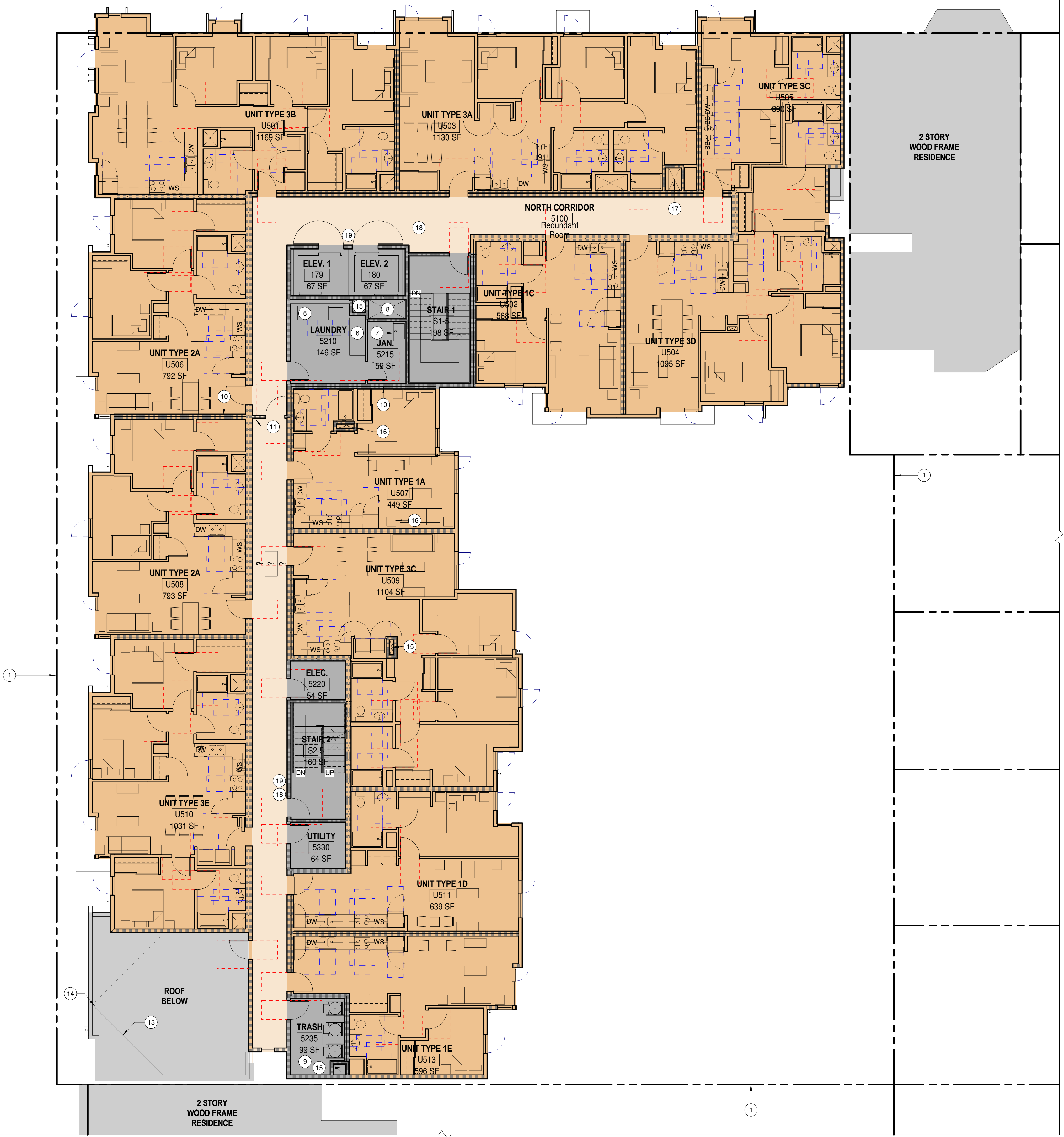
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- E. FOR TYPICAL UNIT PLANS, SEE 3/16" PLANS
- F. FOR SECURITY SYSTEMS, REFER TO PLANS AND CUT SHEETS IN SPECIFICATIONS.
- G. SEE SITE PLAN AND SLAB PLAN FOR LOCATIONS OF CONCRETE CURBS AT WALLS

SHEET NOTES- FIFTH FLOOR PLAN

- 1 PROPERTY LINE
- 2 LANDSCAPED PODIUM, S.L.D. STRUCTURAL SLAB SLOPED TO DRAIN WITH DECK DRAINS/ OVERFLOW DRAINS
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- 5 LAUNDRY MACHINES, BY OWNER, N.I.C.
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- 15 EXHAUST DUCT
- 16 MECH./ PLUMBING SHAFT
- 17 SUPPLY DUCT
- 18 FIRE DEPARTMENT CONNECTION
- 19 TWO-WAY COMMUNICATION

FLOOR PLAN LEGEND

- FOR ADDITIONAL ARCH. SYMBOLS, SEE G0.01
- 1 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY
- 3 HOUR RATED ASSEMBLY
- 3 HOUR RATED ASSEMBLY, REFER CBC TABLE 721.1 FOR MINIMUM PROTECTION OF STRUCTURAL PARTS
- 60" DIA. ACCESSIBLE WHEELCHAIR TURNING RADIUS
- 30" X 48" ACCESSIBLE WHEELCHAIR CLEARANCE
- D.S. DOWNSPOUT, S.C.D. FOR CONNECTION AND SEE
- F.E.C. RECESSED FIRE EXT. CABINET, SEE
- F.E.C. SURFACE MOUNTED FIRE EXTINGUISHER CABINET
- INDICATES DEPRESSED SLAB, SEE SLAB PLAN AND STRUCTURAL DRAWINGS
- LOCATION OF 6" CONCRETE CURB AT BASE OF WALL
- ACCESSIBLE PATH OF TRAVEL



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GENERAL NOTES- ROOF PLAN

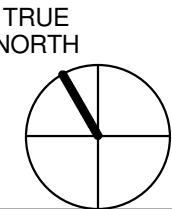
- A. MEMBRANE ROOFING SYSTEM TO BE CLASS "A" T.P.O. OVER PROTECTION BOARD, U.O.N. FOR ASSEMBLY DETAIL, SEE
- B. ROOF ELEVATIONS ARE FROM 0'-0" DATUM AT 1ST FLOOR LEVEL. ELEVATIONS AT ROOF STRUCTURE ARE TO TOP OF DECK/ CRICKET. ELEVATION AT PARAPET ARE TO TOP OF FRAMING.
- C. PROVIDE GRAVITY VENTS DISTRIBUTED EVENLY TO MEET FREE VENTED AREA AT 1' PER 150' ATTIC AREA. COORDINATE VENT LOCATIONS WITH OTHER PENETRATIONS. WHERE PLYWOOD CRICKETS ARE USED, PROVIDE HOLES IN PLYWOOD SHEATHING BELOW AT MIN. 8'-0" APART TO VENTILATE SPACES UNDER CRICKETS, SEE
- D. MAINTAIN MIN. 6' CLEAR "DANGER ZONE" AT EDGES OF ROOF WITHOUT PARAPET OR PARAPET EXTENDING 42" IN HEIGHT ABOVE DECK SURFACE. DEMARCAT E ZONE WITH YELLOW STRIPING AND LOCATE ALL EQUIPMENT 6' OUTSIDE OF ZONE.
- E. SOLAR CONTRACTOR TO PROVIDE LAYOUT FOR SOLAR HOT WATER PREHEAT SYSTEM, COMPLETE. ALSO PROVIDE STANCHION LAYOUT AND OTHER MEASURES REQUIRED FOR FUTURE P.V. INSTALLATION. REFER TO SOLAR DRAWINGS. FOR STANCHION MOUNTING, S.S.D.
- F. TYPICAL ROOF SLOPE 3/8" PER FT. SLOPE AT CRICKETS 1/4" PER FT. MIN. ALLOWABLE SLOPE (AT VALLEY INTERSECTIONS AND OTHER LOCATIONS) 1/4" PER FT.
- G. PROVIDE PARAPET BRACING AS REQ'D, S.S.D.
- H. S.M.D. FOR ROOF EQUIPMENT LOCATION. PROVIDE CURBS AND PADS AS REQUIRED.
- I. AT PIPE PENETRATIONS, STANCHIONS WITH TOP ACCESS, APPLY PRE-MOLDED PIPE FLASHING, SEE WHERE TOP ACCESS NOT POSSIBLE, PROVIDE FIELD INSTALLED T.P.O. MEMBRANE FLASHING PER MFR. RECOMMENDATION TO ACHIEVE SPECIFIED WARRANTY.
- J. VEGETATED ROOF WITH MEMBRANE. VEGETATED PANELS AND MEMBRANE BY SAME MANUFACTURER. PROVIDE IRRIGATION, ACCESS AND GUARDRAILS AS REQUIRED.
- H. PROVIDE BUILDING EXTERIOR MAINTENANCE SYSTEM PER O.S.H.A. REQUIREMENTS.

SHEET NOTES- ROOF PLAN

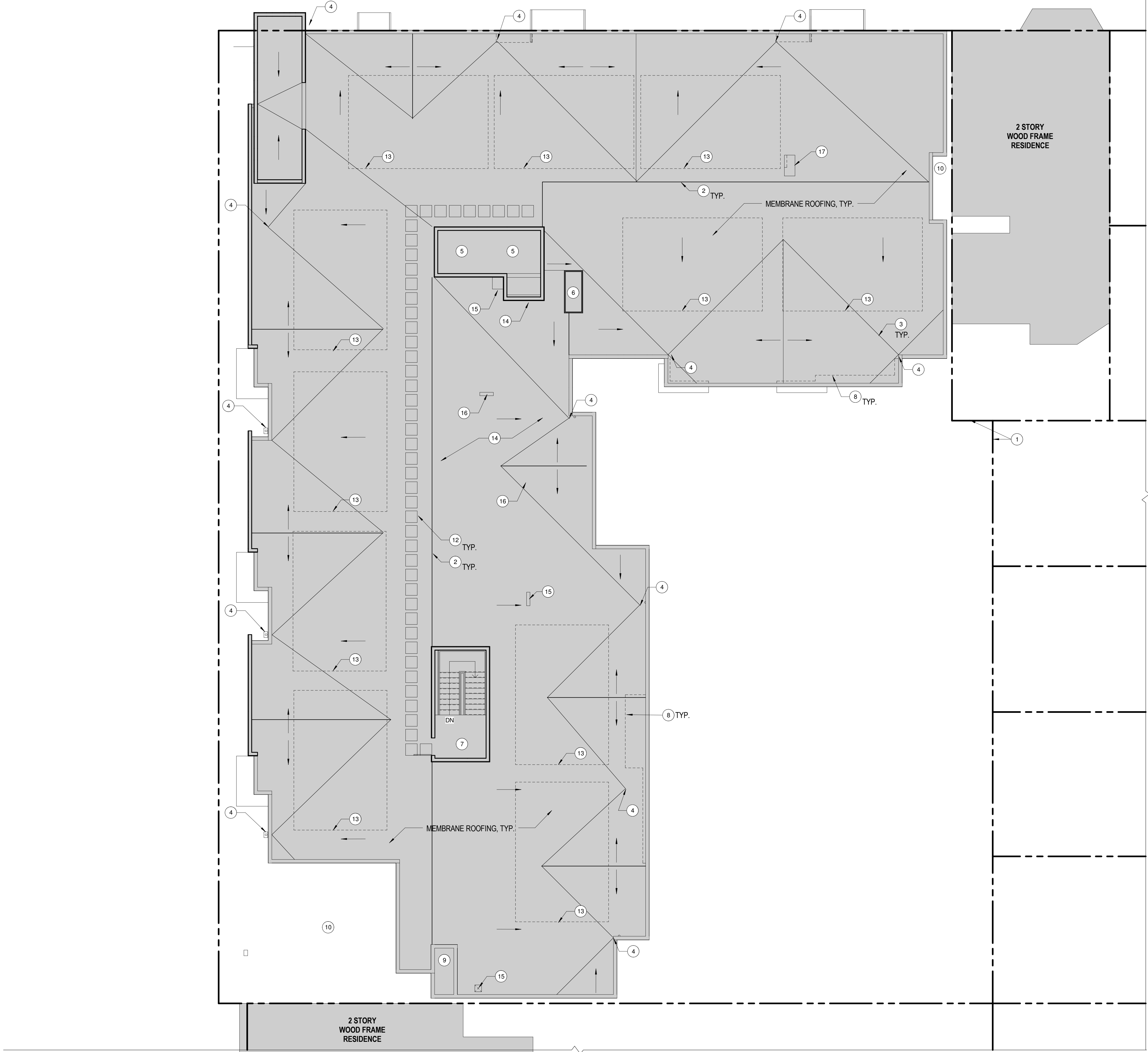
- 1 PROPERTY LINE  
2 CRICKET RIDGELINE  
3 CRICKET VALLEY  
4 SCUPPER & DOWNSPOUT  
5 ELEVATOR OVERRUN  
6 SKYLIGHT  
7 STAIR TO ROOF  
8 LINE OF WALL BELOW  
9 TRASH CHUTE TERMINATION  
10 ROOF BELOW. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION  
11 SOLAR HOT WATER PANELS  
12 WALK PADS (NOT ALL SHOWN)  
13 P.V. ARRAY  
14 GARAGE EXHAUST  
15 EXHAUST DUCT  
16 MECH/ PLUMBING SHAFT  
17 SUPPLY DUCT

ROOF PLAN LEGEND

MEMBRANE ROOF (SEE GENERAL NOTE "A")



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- 1 GRADE LINE, S.C.D.
- 2 BIO-RETENTION/ FLOW THROUGH PLANTER, S.L.D., S.C.D. BOARD FORM CONC. FINISH (CC-10)
- 3 ALUMINUM STOREFRONT (AL-10)
- 4 VERTICAL ALUMINUM SUNSHADE (AL-12) (AL-13) (AL-14)
- 5 HORIZONTAL ALUMINUM SUNSHADE (AL-15)
- 6 ELEVATOR PENTHOUSE
- 7 UNIT WINDOW: THERMALLY BROKEN CLEAR ANODIZED ALUMINUM (AL-11)
- 8 SECTIONAL OVERHEAD GARAGE DOOR (AL-17)
- 9 BICYCLE PARKING, S.L.D.
- 10 GAS METERS
- 11 UNDEGROUND TRANSFORMER VAULT
- 12 BOARD FORM PATTERNED CONCRETE
- 13 ALUMINUM RAILING PANELS (BOK OR EQUIVALENT) (AL-16)
- 14 WIRE MESH VERTICAL TRELLIS
- 15 LINE OF ADJACENT STRUCTURE, DASHED
- 16 STAIR TO ROOF
- 17 ENTRANCE CANOPY: HEAVY GAUGE ALUMINUM FASCIA. CEDAR PLANK SOFFIT.
- 18 AT GRADE PLANTER, S.L.D., S.C.D.



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SHEET NOTES- SECTIONS & EXT. ELEVS.

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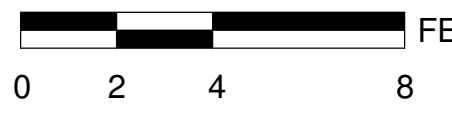
1 BUILDING ELEVATION - SOUTH Copy 1  
1/8" = 1'-0"



2 BUILDING ELEVATION - WEST ALONG HAHN ST. Copy 1  
1/8" = 1'-0"

ELEVATION MATERIAL LEGEND

- FIBER CEMENT PANEL (FC-10) (FC-11)
- FIBER CEMENT PLANK (FC-15) (FC-16)
- CONCRETE (CC-10) (CC-11)
- METAL PANEL (MP-10)
- METAL PANEL (MP-11)
- METAL PANEL (MP-12)
- FIBER CEMENT PLANK



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1 BUILDING ELEVATION - COURTYARD EAST Copy 1  
1/8" = 1'-0"



2 BUILDING ELEVATION - COURTYARD SOUTH Copy 1  
1/8" = 1'-0"

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- METAL PANEL (MP-12)
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0 2 4 8 FEET

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